

5.2 T220501 PA - 74-76 Ahern Road, Pakenham VIC 3810 - Construction of Seventeen (17) Dwellings on a Lot

Responsible GM: Lili Rosic
Author: Benjamin Jones

Recommendation(s)

That Council having caused notice of Planning Application No. T220501 to be given under Section 52 of the *Planning and Environment Act 1987* and having considered all the matters required under Section 60 of the *Planning and Environment Act 1987*, Refuse to Grant a Permit in respect of the land known and described as L1 PS317592E V10172 F256, 74-76 Ahern Road, Pakenham VIC 3810, for the '*Construction of Seventeen (17) Dwellings on a Lot*', on the following grounds:

1. The proposal does not appropriately respond to relevant Planning Policy Framework considerations as follows:
 - a. Clause 12.01-1S Protection of Biodiversity, Clause 12.05-2 Landscapes, Clause 15.01-2S Building Design and Clause 21.02-3 Biodiversity as the proposal does not adequately seek to protect or enhance the biodiversity of the site, and ignores the character and importance of the sites vegetation due to substantial removal of vegetation on the site to accommodation the built form
 - b. Clause 15.01-2S Building Design, Clause 15.01-4S Healthy neighbourhoods and Clause 21.03-1 Housing as the design does not encourage any walkability through the site, nor provide for inclusive and accessibility as the majority of dwellings are double storey without bedrooms on the ground floor severely restricting availability to a wide spectrum of the market.
 - c. Clause 15.01-1S Urban Design, Clause 15.01-1R, Clause 15.01-2S Building Design, Clause 15.01-5S, Clause 21.03-1 Housing and Clause 21.06-1 Urban Design as the proposal does not respond appropriately to the existing or envisaged preferred future character of the area and results in poor built form and urban design outcomes.
 - d. Clause 16.01-1S Housing Supply, Clause 16.01-1R Housing Supply – Metropolitan Melbourne, Clause 16.01-2S Housing Affordability and Clause 21.03-1 Housing as the proposal has limited diversity within the development or provide appropriate levels of differing accommodation for a wide spectrum of the market
2. The proposal is inconsistent with the purposes and decision guidelines of the General Residential Zone as it is considered to be an overdevelopment of the site as it provides for a poor response to relevant Planning Policy Framework considerations and does not respect the character of the area and fails to provide appropriate diversity to the site.
3. The proposal is inconsistent with the purpose, design standards and decision guidelines of Clause 52.06 (Car Parking).

4. The proposal is inconsistent with the following standards and/or objectives of Clause 55:
- a. Clause 55.02-1 (Standard B1) - Neighbourhood Character;
 - b. Clause 55.02-2 (Standard B2) - Residential Policy;
 - c. Clause 55.02-3 (Standard B3) - Dwelling Diversity;
 - d. Clause 55.02-5 (Standard B5) – Integration with the Street;
 - e. Clause 55.03-1 (Standard B6) - Street Setback;
 - f. Clause 55.03-5 (Standard B10) - Energy Efficiency;
 - g. Clause 55.03-8 (Standard B13) - Landscaping;
 - h. Clause 55.05-1 (Standard B25) – Accessibility;
 - i. Clause 55.06-1 (Standard B31) - Design Detail; and
 - j. Clause 55.06-2 (Standard B32) – Front Fences.

Attachments

1. T220510 PA - Locality Map [5.2.1 - 1 page]
2. T220510 PA - Development Plans [5.2.2 - 19 pages]
3. T220510 PA - Clause 55 Assessment [5.2.3 - 7 pages]
4. CONFIDENTIAL REDACTED - T220501 PA - Objections [Confidential] [5.2.4 - 14 pages]

Executive Summary

APPLICATION NO.:	T220501
APPLICANT:	Mainline Property Investments Pty Ltd c/o Urban Arc Planning
LAND:	Lot 1 PS317592E 74 – 76 Ahern Road, Pakenham VIC 3810
PROPOSAL:	Construction of Seventeen (17) Dwellings on a Lot
PLANNING CONTROLS:	General Residential Zone – Schedule 1 Development Contributions Plan Overlay – Schedule 1
NOTIFICATION & OBJECTIONS:	Pursuant to Section 52 of the <i>Planning and Environment Act 1987</i> , the application was advertised by the placing of signs on site and sending notices in the mail to nearby property owners. Five (5) objections were received.

KEY PLANNING CONSIDERATIONS:	Compliance with State and Local Planning Policy Response to Neighbourhood Character Urban Design Car Parking & Traffic Compliance with Clause 55 ResCode Standards
RECOMMENDATION:	That Council Refuse to Grant a Planning Permit, on the grounds contained within this report.

Background

There is no previous planning permit history for the site

The subject application was lodged on 25 July 2022, following which a preliminary assessment was undertaken and the applicant was advised of several concerns relating to the design and detail of the proposal along with its proposed density, within Council's Request for Further Information issued on 22 August 2022.

Subsequently, Council Officers discussed these concerns multiple time with the applicant with a view to resolve the concerns associated with the proposal, however the response to Council's Request for Further Information, received on 25 January 2023, included minimal changes to the proposed design/layout. The applicant sought to proceed to public notification noting concerns remained outstanding, and that the proposal would ultimately be recommended for refusal if no further amendments to the design/layout were made.

Public notice was undertaken between 27th January 2023 and 10th February 2023, following which a total of five (5) objections were received by Council.

The applicant has been provided with a further opportunity to amend the proposal to respond to outstanding concerns, however, has sought to proceed on the understanding that the proposal is recommended for refusal.

Subject Site



Figure 6 – Aerial view of subject Site (NearMap, February 2023)

The site is located on the south-east corner of the Ahern Road / Allan Close intersection, forming part a four-way roundabout.

Located within an established residential area, the site is located:

- 150m south of Don Jackson Reserve.
- 800m west of Pakenham Hills Primary School.
- 950m south of the Urban Growth Boundary.
- 1km north of Princes Highway and 2km north of the Pakenham Railway Station.
- 2.2km east of Toomuc Reserve (Sports Complex and Creek).

The site contains an existing single storey dwelling, outbuildings and a tennis court situated within a garden setting, with a substantial number of trees and shrubs, making it a relative outlier compared to much of its surrounds.

Seven individual properties adjoin the properties with addresses from Ahern Road, The Ridgeway, Edan Court, Pownceby Court and Allan Close. Each of these seven sites contain a detached single storey dwelling with conventional roof forms on larger allotments, which is the predominant built form feature in the surrounds, however some unit developments are noted

within relative proximity to the subject site (64 Ahern Road, 81-83 Ahern Road, 3 Thwaites Road and at Reginald Close).

Proposal

Approval is sought for the construction of seventeen (17) double-storey dwellings on the lot, with varied typology as follows:

Dwellings 1, 3-13, 16 & 17

- Meals/kitchen area, living room & bathroom at Ground Floor;
- 3 bedrooms at First Floor; and
- 2 car garage.

Dwellings 2 & 15

- Meals/kitchen area, living room & bathroom at Ground Floor;
- 3 bedrooms at First Floor; and
- 1 car garage and tandem space.

Dwelling 14

- Meals/kitchen area, living room & bathroom at Ground Floor;
- 2 bedrooms at First Floor;
- 1 car garage.

Each dwelling is to be provided with secluded private open space at ground level ranging from 41m² to 130m², and no balconies are provided at the upper floor.

All dwellings are to be accessed from existing crossover located along the sites north-western frontage to Ahern Road with a number of internal accessways providing pedestrian and vehicular access to dwellings. Three visitor car parking spaces are also proposed to be located on site.

Due to the slope of land, a number of retaining walls are proposed throughout the development to provide for flat pad sites for dwelling and yards.

Materials, colours and finishes are muted in tone, in various shades of grey, with ground floor of dwellings to be rendered brickwork and first floor level selected weatherboard cladding.

A substantial amount of vegetation is proposed to be removed from the site. Ten trees are to be retained, with the remainder to be removed to accommodate the development.

Private waste collection is required, and as such Council collection will not be utilised.



Figure 7 - Proposed Ground Floor Plan.



Figure 8 - Proposed Elevations (partial).



Figure 9 - Proposed Colour Schedule

Planning Scheme Provisions

Zone

The land is subject to the following zone

- General Residential Zone – Schedule 1.

Overlays

The land is subject to the following zone:

- Development Contributions Plan Overlay – Schedule 1

Planning Policy Framework (PPF)

The relevant clauses of the PPF are:

- Clause 11.01-1S – Settlement
- Clause 11.02-1S – Supply of Urban Land
- Clause 12.01-1S Protection of Biodiversity
- Clause 15.01-1S – Urban Design
- Clause 15.01-1R Urban Design - Metropolitan Melbourne

- Clause 15.01-2S – Building Design
- Clause 15.01-4S Healthy neighbourhoods
- Clause 15.01-5S – Neighbourhood Character
- Clause 16.01-1S – Housing Supply
- Clause 16.01-1R Housing Supply – Metropolitan Melbourne
- Clause 16.01-2S – Housing Affordability

Local Planning Policy Framework (LPPF)

The relevant clauses of the LPPF are:

- Clause 21.01 – Cardinia Shire Key Issues and Strategic Vision
- Clause 21.02-3 Biodiversity
- Clause 21.03-1 – Housing
- Clause 21.03-2 – Urban Established Area – Beaconsfield and Pakenham
- Clause 21.06-1 – Urban Design

Relevant Particular/General Provisions and Relevant Incorporated or Reference Documents

The relevant Particular and General Provisions are:

- Clause 52.06 – Car Parking
- Clause 53.18 – Stormwater Management in Urban Development
- Clause 55 – Two or More Dwellings on a Lot and Residential Buildings
- Clause 65 – Decision Guidelines
- Clause 66 – Referral and Notice Provisions

Planning Permit Triggers

The proposal for construction of seventeen (17) double storey dwellings on the lot, triggers the need for a planning permit under the following provisions of the Cardinia Planning Scheme:

- Pursuant to Clause 32.08 – 6 (*General Residential Zone – Construction and Extension of Two or More Dwellings on a Lot*); a permit is required to construct two or more dwellings on a lot.

Public Notification

The application has been advertised pursuant to Section 52 of the *Planning and Environment Act 1987*, by:

- Sending notices to the owners and occupiers of adjoining and nearby land; and
- Placing a sign on site.

The notification has been carried out correctly, with a statutory declaration submitted to Council on 16 February 2023.

Council has received five (5) objections to date.

The key issues that were raised in the objections are summarised below:

- Overdevelopment of Site (Inappropriate Density);
- Consistency with Neighbourhood Character;
- Overlooking Impacts;
- Overshadowing Impacts;
- Removal of Vegetation;
- Provision of Car Parking;
- Increase in Traffic Congestion and Impacts on Local Road Network; and
- Noise Impacts Associated with Construction

A response to the concerns raised above is provided within relevant sections of the assessment provided below.

Referrals

External Referrals/Notices:

The application was not required to be referred to any relevant referral authority pursuant to Clause 66 of the Cardinia Planning Scheme.

Internal Referrals:

Internal Department	
Strategic Planning Department	No objection.
Urban Design	No objection; subject to conditions.
Development Infrastructure Services	No objection; subject to conditions.
Traffic & Transport Services	Not Supported.
Waste Management Services	No objection.

Discussion

The key issues regarding the proposal include:

- Response to the Planning Policy Framework and Local Planning Policy Framework;
- Response to the Zones and Overlays that apply to the site;
- Response to Neighbourhood Character;
- Response to the objectives and standards of Clause 55; and
- Consideration of reasons for objection.

Planning Policy Framework

A number of State and Local policies are relevant to this application for multiple dwellings. Many of these policies have repetitive considerations and themes, and as such may be listed multiple times within this assessment.

Clause 11 Settlement identifies that Planning is to anticipate and respond to, among other things, the needs of existing and future communities, and contribute to healthy neighbourhoods, a diversity of choice, and high standards of urban design in appropriately located areas.

Clause 11.01-1S Settlement seeks to “facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements” as to which Pakenham is one of these settlements. Infill development opportunities are appropriately identified as one way to limit urban sprawl, with a need to focus these infill opportunities in areas close to transport and other services. Clause 11.01-1R Settlement – Metropolitan Melbourne further expands on this overarching planning aim.

It is acknowledged that the site is suitable for infill development to provide for diversity of choice within an existing established settlement (Clause 11.01-1S, Clause 11.01-1R).

Whilst being located within an established residential area and having a public transport option within the vicinity (Bus 927m (Pakenham Railway Station to Pakenham Primary School)), secondary bus routes are not within an overly walkable catchment being Bus 925 (900m to the west as the crow flies (1.1km walk)), and Bus 840 and 929 (900m to the east as the crow flies (1.3km walk)). Community services within a 400m walkable catchment radius are also limited, with only the Don Jackson Reserve being within 400m. As such, the limited services within an immediately walkable catchment temper expectations of appropriate infill density.

This is best described within the applicant’s Town Planning Report which when discussing the site’s location concludes the site is on the *“periphery of the core of the central activity centre of Pakenham. It is within walking distance to a large public oval/reserve to the north and is approximately 1km north of the Princes Highway arterial road.”* No significant services or facilities are noted with the exception of one open space area and an arterial road within the immediate walkable catchment.



Figure 10 – Aerial Imagery showing 400m radius of the site, (NearMap, Feb 2023)

Clause 12 Environmental and Landscape Values broadly seeks to provide policy support to protect the health of ecological systems and the biodiversity they support. Clause 12.01-1S Protection of Biodiversity seeks “to protect and enhance Victoria’s biodiversity”, with supporting strategies including to ensure decision making factors in cumulative impacts and fragmentation of habitat. Additionally, Clause 12.05-2 seeks to “*protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.*”

Whilst noting the site is not subject to any particular zones or overlays that would otherwise provide greater identification and protection of the environment and landscape biodiversity, that does not mean that the site does not provide any environmental value. The site incorporates substantial canopy and bushy cover (predominantly along property boundaries), which is a slightly unique feature, as much of the surrounding properties do not include as much canopy cover and biodiversity compared to the subject site.

The Arborist Report provided with the application identifies and assesses seventy-four (74) trees, ten (10) of which are located on adjoining land (private property or within road reserves).

Of the remaining sixty-four (64), eight (8) trees / groups of trees (Trees 6, 17, 40, 46, 54*, 57, 61 & 66) have been identified and listed as ‘moderate’ protection value and are “worthy of

retention” with a “moderate to high landscape significance” and that “where possible and practical, these trees should be considered for protection.”

Of the eight (8) trees included as part of the group of trees recommended for protection, only four (4) individual trees are proposed to be retained as shown on plans (Tree 17, 40, 57, 61). The proposal further seeks to retain six (6) individual trees (Tree 5, 7, 10, 36, 41 and 45) which all have a low value and retention rating.

Minimal justification is provided within the Town Planning Report for the removal of fifty-four (54) of the sixty-four (64) trees / group of trees on site, including only retaining 50% of the identified trees “worthy of retention” with a “moderate to high landscape significance.” The Town Planning Report identifies that a planning permit is not required for removal, however it is submitted that appropriate town planning and urban design practice seeks to retain canopy vegetation where possible to respond to policy seeking to protect and enhance the environment.

Not only is such a substantial amount of vegetation to be removed considered to be representative of an excessive density and overdevelopment, the 2,675m² (59% of the site) of hard cover areas severely restricts landscaping opportunities and the proposal results in an overall net loss of canopy coverage and biodiversity. Additionally, any benefit of proposed new landscaping will not be seen for several years.

A significant opportunity remains to retain additional vegetation and propose additional landscaping based on an amended proposal at a more appropriate density.



Figure 11 – Aerial Imagery of subject site, showing existing vegetation (Nearmap, Feb 2023)

Clause 15 Built Environment and Heritage broadly seeks to *“recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods”* through ensuring that planning respects existing and preferred built form and streetscape character, and results in functional, accessible, safe and diverse physical and social environments.

Clause 15.01 Built Environment includes a number of sub-clauses including Clause 15.01-1S Urban Design which has an objective to *“to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.”* Strategies include:

- *Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.*
- *Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.*
- *Ensure the interface between the private and public realm protects and enhances personal safety.*
- *Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.*

Clause 15.01-1R Urban Design – Metropolitan Melbourne expands further, with an objective to *“create a distinctive and liveable city with quality design and amenity”* with supporting objectives including to *“support the creation of well-designed places that are memorable, distinctive and liveable.”*

Further, Clause 15.01-2S Building Design seeks to *“achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.”* Several similar strategies overarchingly seek for development to minimise impact of development on neighbouring properties and the public realm, and to encourage development to retain existing vegetation.

Clause 15.01-4S Healthy Neighbourhoods seeks to *“achieve neighbourhoods that foster healthy and active living and community wellbeing”* whilst Clause 15.01-5S Neighbourhood Character seeks to *“recognise, support and protect neighbourhood character, cultural identity, and sense of place.”* Strategies include to:

- *Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.*
- *Ensure the preferred neighbourhood character is consistent with medium and higher density housing outcomes in areas identified for increased housing.*
- *Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:*
 - *Pattern of local urban structure and subdivision.*
 - *Underlying natural landscape character and significant vegetation.*

- *Neighbourhood character values and built form that reflect community identity.*

With the site being in an established residential area and in lieu of any guiding Structure Plan or Neighbourhood Character Study, it is required to review the relevant zoning and overlay provisions as well as site and desktop inspections to determine both existing and preferred future character considerations.

Whilst the site is not subject to any character or design overlay and that the zone (and supporting schedule) does not include any specific character objectives, this does not mean that either existing or preferred character do not exist.

A review of the surrounds identifies that:

- The subdivision pattern generally regards single dwellings on detached lots.
- Street setbacks are generally consistent, with landscaping opportunities to the front and rear with rear yards relatively generous and consistent.
- Built form is congruent to single-storey single dwellings on lots, however double storey elements are noted generally where extensions have been added to the rear whilst single storey still appears as the dominant form to the street.
- Brick is a common external material, with conventional roof forms and minimal eaves, reflecting a general 1960s/1970s typology.
- Multi-dwelling development is an emerging trend, where some double-storey development occurs.
- Density of multi-dwelling developments varies, noting that multi-dwelling development is occurring on single or double blocks and as such unit development may only be resulting in 6-8 units on larger lots.
- There are no examples of double storey-built forms throughout entire widths and depths of sites.

The 'Upper Floor Plan' best identifies the substantial and excessive double storey elements located throughout the site, with substantial and excessive internal accessways required to provide vehicular access to the dwellings. This is exacerbated by the site being located on a relative highpoint, and as such the built form will be seen from various directions.

The density of the development, as well as the continued double-storey elements are not an existing, or preferred character element when assessing the site and surrounds.

The General Residential Zone specifically seeks to "*encourage development that respects the neighbourhood character of the area*" whilst allowing for a "*diversity of housing types and housing growth particularly in locations offering good access to services and transport.*" Multi dwelling development is possible for the site to assist in diverse housing opportunities, however the vegetation, slope of land and surrounding character all limit development potential to some degree. Whilst appropriate design can 'overcome' these matters, the proposal at hand results in visual bulk and massing inconsistent with the character of the area. Further extrapolating this issue is that due to the site being on a corner, double storey-built form will pierce the public realm and result in adverse visual impacts incongruent with the character of the area. In short, the proposal is considered overdevelopment of the site at the cost of neighbourhood character

due to the built form outcomes of continued double storey through the depth and width of the site, density, bulk and massing.



Figure 12 - Proposed upper floor plan identifies extensive double-storey built form throughout the site.



Figure 13 - Proposed Elevations (partial).



Figure 14 - Aerial imagery of the residential properties to the east of the subject site (NearMap, Feb 2023)



Figure 15 – Typical view of Pownceby Court to the north east of the subject site (Google Streetview, Feb 2023).



Figure 16 - Aerial imagery of the development pattern south of the subject site (NearMap, Feb 2023)



*Figure 17 – Typical development of The Ridgeway to the south of the subject site
(Google Streetview, Feb 2023).*



*Figure 18 – Typical development found within Thwaites Road to the south of the site
(Google Streetview, Feb 2023).*



Figure 19 - New single storey unit development at corner of Thwaites and Ahern Road, south of the subject site (Google Streetview, Feb 2023).



Figure 20 - Aerial imagery of the development pattern west of the subject site (NearMap, Feb 2023)



Figure 21 – Eagle Drive, west of the subject site looking further south-west (Google Streetview, Feb 2023).

Clause 16 Housing has similar considerations and notes that “*Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure*”. Clause 16.01-1S Housing Supply seeks “*to facilitate well-located, integrated and diverse housing that meets community needs*” with various supporting strategies including:

- *Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.*
- *Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*
- *Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.*
- *Encourage the development of well-designed housing that:*
 - o *Provides a high level of internal and external amenity.*
 - o *Incorporates universal design and adaptable internal dwelling design.*

These strategies are generally mirrored and expanded on at Clause 16.01-1R Housing Supply – Metropolitan Melbourne and Clause 16.01-2S Housing Affordability

Whilst the development provides for a unit development, which is in principle a diverse dwelling type compared to the general housing stock in the area, an ‘*appropriate quantity, quality and type*’ should be provided in accordance with policy outlined above.

Upon this consideration of policy, the diversity of dwelling typology within the development is limited with all seventeen (17) dwellings being double storey in nature and only one incorporating a bedroom at the ground floor which significantly limits the potential for dwellings to accommodate those with limited mobility or specific needs (such as stairwells and small children, aged residents etc).

Additionally, sixteen (16) of the seventeen (17) dwellings are three bedrooms which does not result in appropriate diversity, such as housing stock with two bedrooms or four bedrooms for smaller or larger family units.

Local Planning Policy Framework seeks to support and expand on the Planning Policy Framework.

Clause 21.01 Cardinia Shire Key Issues and Strategic Vision identifies key influences including urban pressures on rural hinterland and the green wedge, and key issues including the *“sustainable development of the Urban Established Areas”*.

Clause 21.02 Environment supports Clause 12 Environmental and Landscape Values. Clause 21.02-3 Biodiversity identifies Cardinia Shire’s diverse environment and decline and fragmentation of habitat and loss of biodiversity. Objective 1 seeks to ensure no net loss in the quantity and quality of native vegetation in the municipality by seeking to ensure that *“the siting of buildings and works avoids and minimises the removal or fragmentation of native vegetation.”*

As assessed under Clause 12 above, the proposal results in the removal of a significant percentage of vegetation from the site, inclusive of over 50% of trees/group of trees deemed “worthy of retention” with a “moderate to high landscape significance” and that “where possible and practical, these trees should be considered for protection.” Whilst some landscaping opportunities exist to replant vegetation, a concept landscape plan has been provided with application that provides minimal comfort that a net benefit of biodiversity and canopy cover is to result from the proposal.

Clause 21.03 Settlement and Housing seeks to expand on and support various elements of Clause 11 Settlement, Clause 15 Built Environment and Heritage and Clause 16 Housing.

Clause 21.03-1 Housing identifies that housing in Cardinia Shire is dominated by detached dwellings, and more diverse forms of housing are required. This need is balanced by objectives and strategies including:

- *Balancing diversity of housing choices in rural townships while ensuring consistency with the character of the township.*
- *Recognising the demand for specialist design housing including housing for the aged, people with a disability or mobility issues.*
- *Providing opportunity for development of ‘Affordable Housing’.*
- *Ensure that future housing growth is effectively managed to maintain and enhance the qualities of the municipality.*

- *Encourage an increase in densities that has a high standard of urban design, timely provision of infrastructure and is consistent with the existing and/or preferred neighbourhood character.*
- *Encourage medium density housing to be located within or at the interface of activity centres and overlooking local and linear open space.*
- *Ensure residential development and subdivisions are designed to be responsive to existing urban character.*
- *Encourage the development of a diverse, flexible, adaptable range of housing types and tenures.*
- *Encourage the development of appropriately located and designed accommodation for the aged including options for ageing in place.*

Clause 21.03-2 Urban Established Area – Beaconsfield and Pakenham identifies that the site, located within an established area of Pakenham is suitable for appropriate development resulting in diversity of housing types and sizes and an increase in the provision of ‘affordable housing.’

As assessed under Clause 11 Settlement, Clause 15 Built Environment and Heritage and Clause 16 Housing, the limited diversity of dwellings within the development, the proposal results in a distinct lack of dwellings being appropriate for various spectrums of the market due to bedrooms being located on upper floors, and all dwellings being double storey in nature.

Further, as assessed above under Clause 11 Settlement, Clause 15 Built Environment and Heritage and Clause 16 Housing, the proposal does not appropriately respond to the existing or preferred neighbourhood characteristics predominantly due to the bulk, massing and nature of 17 double-storey dwellings as a direct result of over development of the site. The proposal results in over 35 dwellings per hectare, and while there is no prescribed ‘maximum density’, the proposed density is not supported or directed by policy in this location.

These matters negate the proposal’s intent to provide for development in an appropriate area.

Clause 21.06 Particular Uses and Development includes Clause 21.06-1 Urban Design which mirrors elements of policy seeking for design to respond to the site, surrounds and character to result in good built form outcomes.

The slope of the land results in various areas of cut, fill, pads and retaining walls to allow for such intensive development whilst continued double storey-built form and a lack of varied materiality results in a ‘cookie cutter’ design which appears to have focused on achieving maximum yield as opposed to considering the site and surrounds on its merit. Elevation plans identify a relatively uninspiring and bleak built form outcome that does not respond to or respect the character of the area.

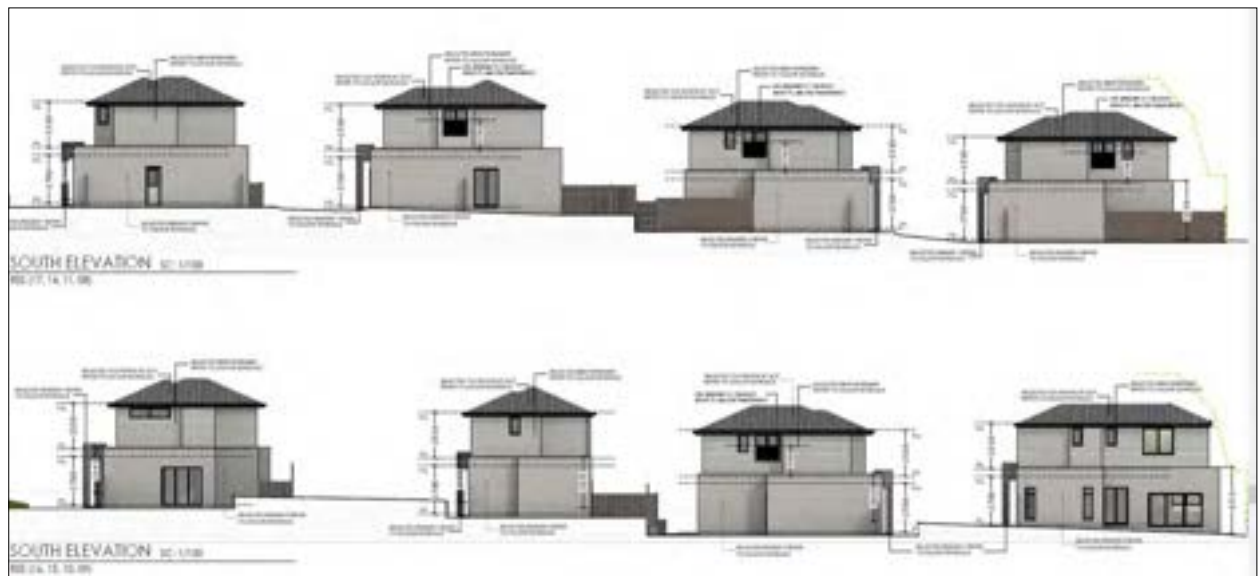


Figure 22 – Proposed Development Elevations (South) displaying uniform design and limited variation in design.



Figure 23 – Proposed Development Elevations (North) displaying uniform design and limited variation in design.



Figure 24 - Proposed Development Elevations (Internal) displaying uniform design and limited variation in design.

Conclusion

Upon assessment of the relevant Planning Policy Framework and Local Planning Policy Framework, the proposal provides a mixed response to the considerations, purposes, objectives and strategies.

The proposal seeks to maximise yield at the expense of good planning outcomes.

The proposal does not appropriately respond to:

- Clause 12.01-1S Protection of Biodiversity, Clause 12.05-2 Landscapes, Clause 15.01-2S Building Design and Clause 21.02-3 Biodiversity as the proposal does not adequately seek to protect or enhance the biodiversity of the site and ignores the character and importance of the sites vegetation due to substantial removal of vegetation on the site to accommodate the built form.
- Clause 15.01-2S Building Design, Clause 15.01-4S Healthy neighbourhoods and Clause 21.03-1 Housing as the design does not encourage any walkability through the site, and would otherwise benefit from separated or designated pedestrian connections throughout the site, nor provide for inclusive and accessibility as the majority of dwellings are double storey without bedrooms on the ground floor severely restricting availability to a wide spectrum of the market.
- Clause 15.01-1S Urban Design, Clause 15.01-1R, Clause 15.01-2S Building Design, Clause 15.01-5S, Clause 21.03-1 Housing and Clause 21.06-1 Urban Design as the proposal does not respond appropriately to the existing or envisaged preferred future character of the area and results in poor built form and urban design outcomes.
- Clause 16.01-1S Housing Supply, Clause 16.01-1R Housing Supply – Metropolitan Melbourne, Clause 16.01-2S Housing Affordability and Clause 21.03-1 Housing as the proposal has limited diversity within the development or provide appropriate levels of differing accommodation for a wide spectrum of the market.

It is acknowledged the site has development potential, however the proposal at hand is not supported by the relevant policy.

General Residential Zone - Schedule 1

The subject site is zoned General Residential Zone – Schedule 1, the purpose of which seeks to encourage development that respects the neighbourhood character of the area, and to encourage a diversity of housing type and growth in locations offering good access to services and transport. It is acknowledged that the Schedule to the Zone does not provide any further guidance in relation to neighbourhood character objectives.

In this application, a permit is required through this planning control to construct two or more dwellings on a lot pursuant to Clause 32.08-6, and that the proposal must meet the minimum garden area pursuant to Clause 32.08-4. Pursuant to this clause, a total of 35% of the site is to be set aside for Garden Area. The proposal provides for 39.8% garden area which appropriately meets this threshold.

Clause 32.08-13 provides for a number of decision guidelines for the Responsible Authority (Council) to consider, as deemed relevant. These consider several themes, including general matters as well as dwelling and residential building matter including the proposals response to Clause 55 (an assessment of which is provided as an appendix to this report and is discussed further below).

For reasons outlined within the Planning Policy Framework assessment chapter, the proposal does not appropriately respond to the neighbourhood character of the area or encourage an appropriate level of diversity in housing based on sound and solid planning and urban design principles. This site can accommodate an increase in development and density to provide a diversity in housing choice (assessed from a wider precinct level as well as internally to the sites boundaries), yet the proposal regards an overdevelopment of the site seeking to maximise yield at the expense of the character and appropriate built form outcomes.

The assessed proposal also has a mixed response to the relevant decision guidelines as:

- The proposal does not appropriately respond to several of the relevant Planning Policy Framework considerations
- The proposal does not appropriately respond to the purposes of the General Residential Zone.
- The proposal has a mixed response to several standards and objectives of Clause 55.

As such, it is concluded that the proposal does not appropriately respond to the purposes and decision guidelines of the General Residential Zone and should not be supported in its current form.

Development Contributions Plan Overlay - Schedule 1

DCPO1 provides guidance and particulars for required development contributions if a permit were to be issued. As a planning permit is not recommended for reasons outlined in this report, this Overlay is not considered further.

Particular and General Provisions

A number of particular and general provisions are required to be considered.

Clause 52.06 Car Parking

The purpose of Clause 52.06 is to ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality car parking requirements for the proposal.

A planning permit is otherwise required to reduce the number of parking spaces required.

The car parking requirements for the proposal are outlined in Clause 52.06-5 are as following:

Type	Rate	Parking required
Dwellings with 2 bedrooms	1 car space	1 x 1 = 1
Dwellings with 3 or more bedrooms	2 car spaces	16 x 2 = 32
Developments of 5 or more dwellings	1 visitor car space per 5 dwellings	3
Total required		36 spaces

The proposal meets the numerical requirements and provides:

- 1 car space to the two-bedroom Unit;
- 2 car spaces to all three bedroom units (via either double car garage or a single car garage plus tandem space; and
- Provides the required three visitor spaces.

Two visitor spaces are provided to the south of an internal accessway and require visitors to undertake a three-point turn (assumed to be at the 'T intersection' of the internal accessway) which is not deemed appropriate.

However, if a permit was to be issued, it is considered this issue could be resolved through a permit condition.

A number of other considerations are outlined in Clause 52.06 including standards for accessways, car parking spaces, gradients, urban design, safety and landscaping.

In addition to the above, the application has been referred to Councils Traffic & Transport Services whom have reviewed the proposal and advised that it provides for inappropriate overall access to the site being from the existing crossover (due to the increased density and traffic volumes it will now be required to serve).

Clause 53.18 Stormwater Management and drainage infrastructure

The purpose of Clause 53.18 is to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

The application has been referred to Council's Development Infrastructure Services Department, and they have not objected to the application.

Clause 55 Two or More Dwellings on a Lot

As identified within the Clause 55 Assessment provided at Appendix 1, the proposal does not appropriately align with a number of objectives and/or standards of Clause 55 including:

- Clause 55.02-1 Neighbourhood Character standard (and objective)
- Clause 55.02-2 Residential Policy standard (and objectives)
- Clause 55.02-3 Dwelling Diversity (and objectives)
- Clause 55.03-1 Street Setback standard (and objectives)
- Clause 55.03-2 Building Height (and objectives)
- Clause 55.03-5 Energy Efficiency (and objectives)
- Clause 55.03-8 Landscaping standard (and objectives)
- Clause 55.03-10 Parking Location (and objectives)
- Clause 55.04-1 Side and Rear Setbacks (and objectives)

- Clause 55.05-1 Accessibility (and objectives)
- Clause 55.06-1 Design Detail standard (and objectives)

The Clause 55 assessment, in conjunction with the Neighbourhood Character assessment above, identifies that the shortcomings of the proposal are generally as a result of overdevelopment of the site, resulting in an outcome that does not respond appropriately to the existing or preferred neighbourhood character.

Double-storey development throughout the site, dominated by internal accessways, is a poor outcome whilst the dwellings are limited in diversity and do not provide any bedrooms at the ground floor to provide housing opportunity to large segments of the market.

The overdevelopment and high yield results in a number of design concerns outlined throughout this report. Whilst policy dictates the site can accommodate some development, the proposal at hand is not well-considered and results in an unsuitable design outcome. Further details are included in Attachment 5.5.3, 55.02-1 Neighbourhood character objectives.

Objections

A total of 5 objections were received to this application at the time of writing this report.

The following comments are provided in response to concerns raised by objectors, in no order:

Theme of Objection	Response
Loss of privacy due to removal of vegetation. overlooking at ground floor (due to slope of land) and upper floor windows to adjoining properties	Upper floor window treatments are proposed to be built to relevant standards to reduce/minimise overlooking, whilst fencing at the ground floor level also meets relevant requirements. Vegetation is not considered as screening for the purpose of overlooking particulars.
Overshadowing to adjoining properties	Shadow diagrams provided identify additional overshadowing to some properties, however remains compliant with overshadowing requirements as assessed via Clause 55.
Noise impacts from proposed construction (and other various construction impacts) and subsequent noise from future residents	Being in an established residential area, noise from future residents is not a valid planning matter. If a permit were to be issued, relevant conditions could ensure appropriate mitigation of noise during construction to meet required EPA guidelines.
Poor response to neighbourhood character due to density, height etc	As assessed throughout this report, the proposal does not appropriately respond to the existing or preferred neighbourhood character.
Reduction in property value of adjoining/nearby residences	Not a valid planning consideration but the assumed reasons for the concerns around reduction in property value are discussed in this report.
Removal of significant amounts of vegetation (and/or particular trees), inclusive of trees noted as 'worthy of retention' and	As assessed throughout this report, the proposal does not appropriately respond to policy seeking for tree retention balanced against expected development potential of the site.

subsequent impacts to flora, fauna, habitat etc	
Construction Impacts	If a planning permit were to be issued, relevant and standard conditions could be placed on any permit issued to control construction particulars to mitigate construction impacts.
Drainage impacts due to additional built form	If a planning permit were to be issued, relevant and standard conditions would be placed on any permit issued to control drainage solutions to ensure no detrimental impacts to the site or surrounds.
Traffic congestion at roundabout and other traffic impacts	The existing road network is deemed capable of handling increased traffic, however as outlined above Councils Traffic & Transport Services Department are not supportive of the increased density being served via the existing crossover within close proximity to round-about.

Clause 65 Decision Guidelines

The application has been assessed against Clause 65 – Decision Guidelines. For the reasons outlined above, the application is not responsive to many of the considerations contained in Clause 65, and as such, is not supported.

Conclusion

The proposal seeks to leverage off key policies in the scheme that attempt to direct and encourage residential growth in appropriate areas and provide for a range of diverse housing options in well serviced and accessible areas.

Substantial residential intensification of the site is proposed through the introduction of seventeen (17) double-storey dwellings – sixteen (16) of which are three bedrooms, with all dwellings only incorporating bedrooms at the first floor.

The proposal results in poor design outcomes not appropriate for the site or surrounds and presents an unacceptable transformation directly due to overdevelopment of the site.

It is therefore recommended that Council refuse to grant a Planning Permit, on the grounds contained within the recommendation section of this report.



T220501 PA - Locality Map

Disclaimer: This content is provided "as is" without
warranty of any kind. 20-Mar-2023

[View map online](#)

1 : 2,000 at A4

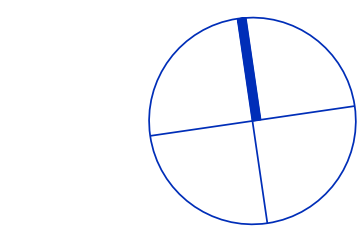


74-76 AHERN ROAD, PAKENHAM

PROPOSED RESIDENTIAL DEVELOPMENT



ISO full bleed A1 (594.00 x 841.00 MM), THOMAS ANDERSON DESIGN



LEGEND

- PREVAILING WINDS
- PEDESTRIAN ACCESS
- NOISE AND TRAFFIC SOURCE
- DESIRABLE VIEWS FROM THE SITE
- VEHICLE ENTRY TO SITE
- LOCATION OF LOWEST & HIGHEST POINTS ON THE SITE
- SITE FILL

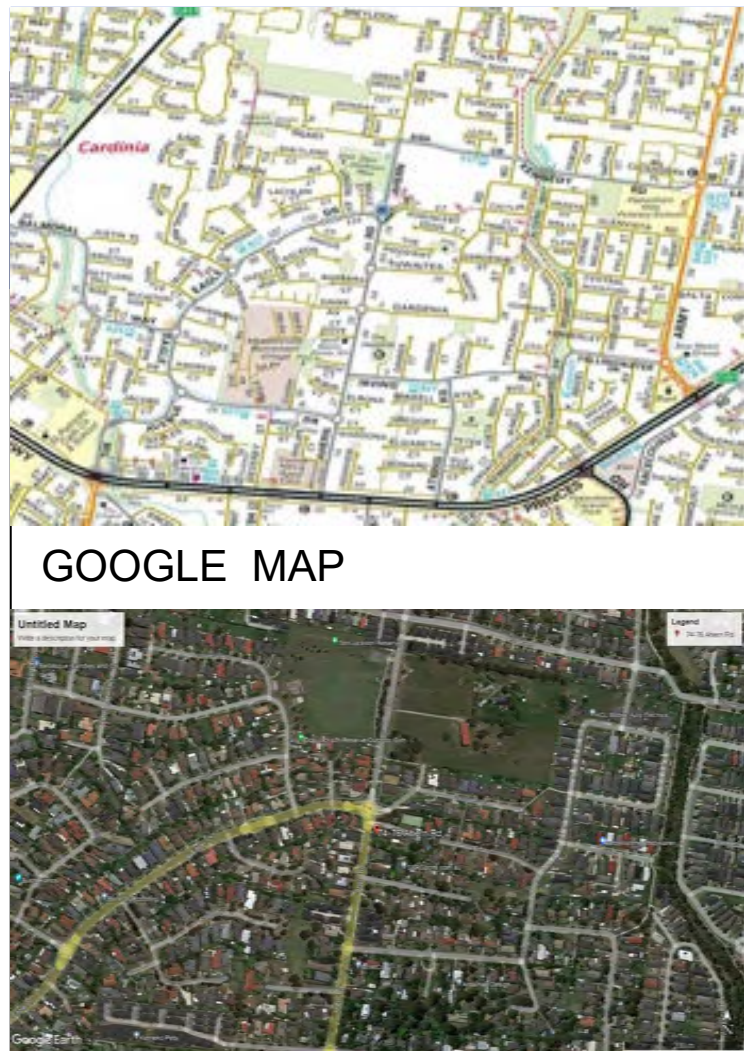
LOCATION TO C.B.D.	60 KM TO MELBOURNE
PROXIMITY TO PARKS	RESERVE 240 M
PRIMARY SCHOOLS	SCHOOL 910 M
SECONDARY SCHOOLS	SCHOOL 1.5 KM
SHOPS	SHOPPING CENTRE 1.82 KM
PUBLIC TRANSPORT	927 100 M
BUS STOP	925 1.1 KM
TRAIN STATION	STATION 2.5 KM

SITE ANALYSIS PLAN CERTIFICATION

THIS SITE CONTEXT PLAN HAS BEEN PREPARED FROM SITE VISITS, LICENSED SURVEYOR'S SURVEY & STATUTORY AUTHORITY RECORDS & IS A FAIR REPRESENTATION OF EXISTING CONDITIONS & FEATURES OF THE PROPOSED SUBJECT SITE & SURROUNDING ENVIRONS. FOR THE PURPOSE OF MEDIUM DENSITY DEVELOPMENT AS REQUIRED BY "RESCODE". NEIGHBOURS DIMENSIONS AND PLANT SPECIES ARE AS ACCURATE AS POSSIBLE.

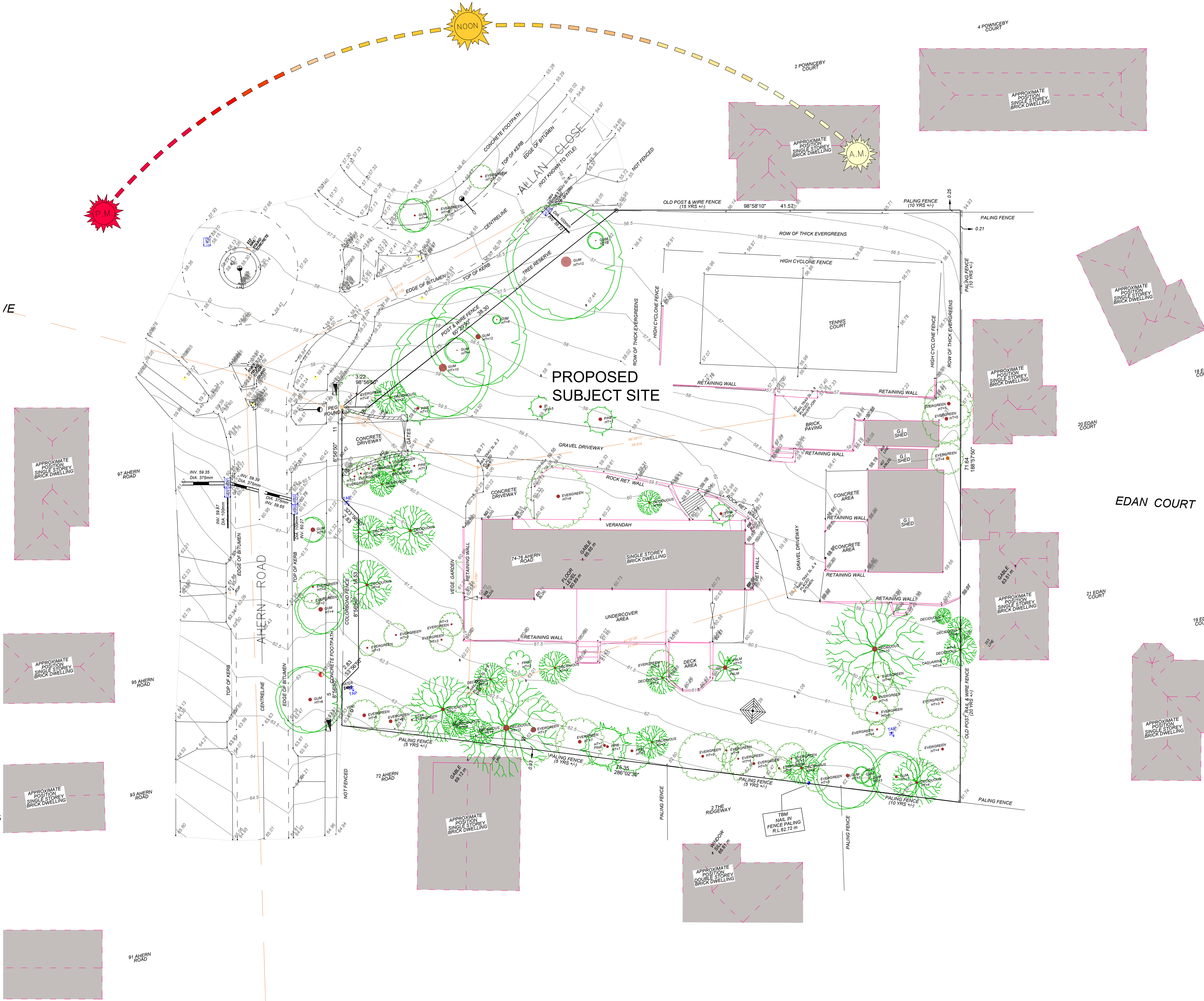
SIGNED: REF No: DATE: ON BEHALF OF THOMAS ANDERSON DESIGN

MELWAY REF. 317 E4



SITE CONTEXT PLAN
SCALE 1:250

- HOT SUMMER WINDS
- PREVAILING WINTER WINDS
- & PREVAILING SUMMER WINDS
- COLD WINTER WINDS

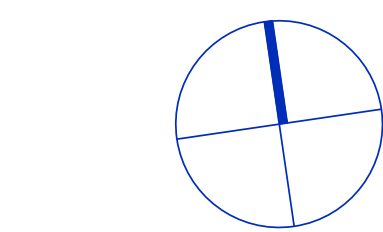


PROPOSED RESIDENTIAL DEVELOPMENT
CLIENT: MAINLINE DEVELOPMENT

74-76 AHERN ROAD, PAKENHAM
PAKENHAM



22-0206
ISSUE B
DRAWN: FA
22/07/2022
SHEET SIZE A1



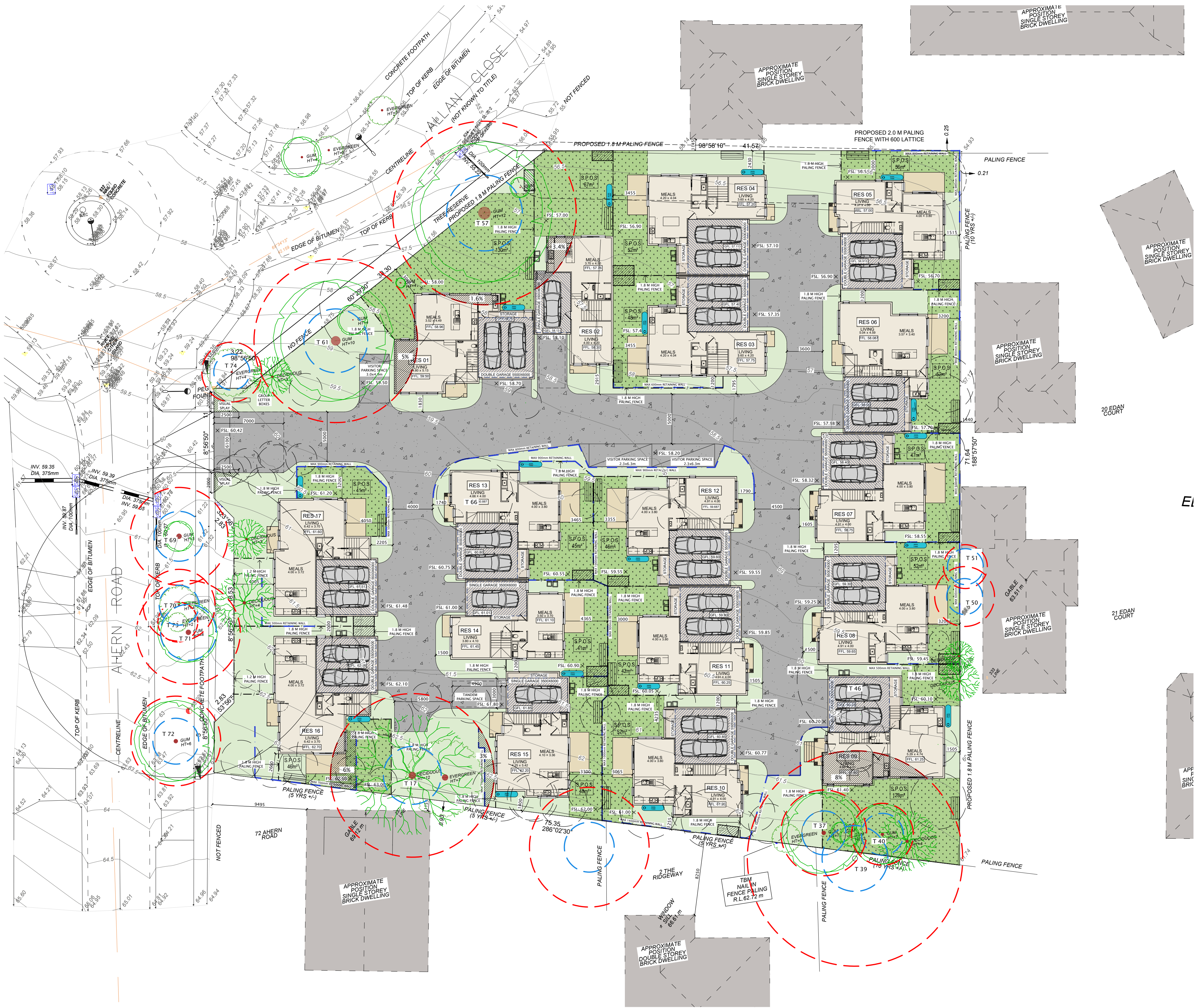
LEGEND

- SPOS - DIMENSION OVER 3.0M
- POS - DIMENSION UNDER 3.0M/ POS
- COMMON PROPERTY
- ALL WEATHER SEAL COATING DRIVEWAY
- PERMEABLE PAVING
- PERMEABLE TIMBER DECKING
- NEW CONCRETE CROSSOVER
- EXISTING TREES TO BE RETAINED
- TREE TPZ
- TREE SRZ
- 1.8M HIGH TIMBER PALING FENCE
- EXTENT OF 600MM HIGH LATTICE EXTENSION
- FINISHED FLOOR LEVEL
- FINISHED SURFACE LEVEL (CUT - FILL LEVEL)
- CLOTHES LINE
- SECURITY LIGHT: 'SENSOR LIGHT'
- BOLLARD LIGHT
- TAP
- L BOX
- 3000 L WATER TANK TO BE CONNECTED TO TOILET FLUSHING
- REMOTE METER
- RUBBISH AND RECYCLE BIN LOCATION
- RETAINING WALLS
- RETAINING WALL AS PER PLAN
- TREATED PINE SLEEPER WITH AGG. DRAIN - OR REFER ENG. DESIGN
- COLLAPSABLE COLORBOND SHED IN MUTED TONES ON 100MM CONC. SLAB
- SECLUDED PRIVATE OPEN SPACE
- PROPOSED TREE
- BIN COLLECTION FOOTPRINT
- TREE PROTECTION FENCE

SITE STATISTICS

Total Site Area	4534.0 m2
Total Site Cover	1760.5 m2
Total Site Cover Ratio	38.8 %
Overall Driveway Area	914.6 m2
Total Hard Cover Area(Permeability)	2675 m2
Total Hard Cover Ratio(Permeability)	59.0 %
GARDEN AREA	1805.0 m2
Garden Area Ratio	39.8 %

SITE PLAN SCALE 1:200 @ A1



RES 16, 17 STATISTICS			
AREA	m2	sq's	
GROUND FLOOR:	71.8	7.7	
FIRST FLOOR:	67.2	7.2	
GARAGE:	35.0	3.8	
PORCH:	2.9	0.3	
TOTAL:	176.9	19.0	

RES 15 STATISTICS			
AREA	m2	sq's	
GROUND FLOOR:	59.2	6.4	
FIRST FLOOR:	65.0	7.0	
GARAGE:	25.8	2.8	
PORCH:	3.0	0.3	
TOTAL:	153.0	16.5	

RES 14 STATISTICS			
AREA	m2	sq's	
GROUND FLOOR:	56.9	6.1	
FIRST FLOOR:	47.5	5.1	
GARAGE:	24.3	2.6	
PORCH:	1.8	0.2	
TOTAL:	130.5	14.0	

RES 13,12,11,10,08,07,05 STATISTICS			
AREA	m2	sq's	
GROUND FLOOR:	64.5	6.9	
FIRST FLOOR:	72.0	7.8	
GARAGE:	38.4	4.1	
PORCH:	2.2	0.2	
TOTAL:	177.1	19.1	

RES 09 STATISTICS			
AREA	m2	sq's	
GROUND FLOOR:	71.3	7.7	
FIRST FLOOR:	64.5	6.9	
GARAGE:	40.9	4.4	
PORCH:	3.0	0.3	
TOTAL:	179.7	19.3	

RES 06 STATISTICS			
AREA	m2	sq's	
GROUND FLOOR:	65.5	7.1	
FIRST FLOOR:	74.2	8.0	
GARAGE:	37.9	4.1	
PORCH:	2.6	0.3	
TOTAL:	180.2	19.4	

RES 03, 04 STATISTICS			
AREA	m2	sq's	
GROUND FLOOR:	63.7	6.9	
FIRST FLOOR:	72.3	7.8	
GARAGE:	38.4	4.1	
PORCH:	1.3	0.1	
TOTAL:	175.7	18.9	

RES 02 STATISTICS			
AREA	m2	sq's	
GROUND FLOOR:	64.0	6.9	
FIRST FLOOR:	67.2	7.2	
GARAGE:	22.8	2.5	
PORCH:	2.2	0.2	
TOTAL:	156.2	16.8	

RES 01 STATISTICS			
AREA	m2	sq's	
GROUND FLOOR:	76.0	8.2	
FIRST FLOOR:	73.7	7.9	
GARAGE:	38.3	4.1	
PORCH:	3.1	0.3	
TOTAL:	191.1	20.6	

PROPOSED RESIDENTIAL DEVELOPMENT

CLIENT: MAINLINE DEVELOPMENT

174-76 AHERN ROAD, PAKENHAM

PAKENHAM

T A D thomasandersondesign

22-0206

ISSUE B

DRAWN: FA

22/07/2022

SHEET SIZE A1

2

- LEGEND
- S.P.O.S. - DIMENSION OVER 3.0M
 - P.O.S. - DIMENSION UNDER 3.0M POS
 - COMMON PROPERTY
 - ALL WEATHER SEAL COATING DRIVEWAY
 - PERMEABLE PAVING
 - PERMEABLE TIMBER DECKING
 - NEW CONCRETE CROSSOVER
 - EXISTING TREES TO BE RETAINED
 - TREE TP2
 - TREE SBT
 - 1.8M HIGH PALING FENCE
 - EXTENT OF 600MM HIGH LATTICE EXTENSION
 - FINISHED FLOOR LEVEL
 - FINISHED SURFACE LEVEL (CUT - FULL LEVEL)
 - CLOTHES LINE
 - SECURITY LIGHT / SENSOR LIGHT
 - BOLLARD LIGHT
 - TAP
 - TAP
 - LETTER BOX
 - 2000 L WATER TANK TO BE CONNECTED TO TOILET FLUSHING
 - REAROTE METER
 - RUBBISH AND RECYCLE BIN LOCATION
 - RETAINING WALLS
 - RETAINING WALLS AS PER PLAN
 - RETAINING WALLS WITH WOOD, DRAIN - OR REFER ENG. DESIGN
 - COLLAPSABLE COLORBOND SHED IN VISUAL TONES ON 100MM CONC. SLAB
 - S.P.O.S.
 - SECURED PRIVATE OPEN SPACE
 - PROPOSED TREE
 - BIN COLLECTION FOOTPRINT
 - TREE PROTECTION FENCE

SITE STATISTICS

Total Site Area	4534.0 m2
Total Site Cover	1760.5 m2
Total Site Cover Ratio	38.8 %
Overall Driveway Area	914.6 m2
Total Hard Cover Area(Permeability)	2475 m2
Total Hard Cover Ratio(Permeability)	59.0 %
GARDEN AREA	1805.0 m2
Garden Area Ratio	39.8 %

GROUND FLOOR PLAN SCALE 1:100 @ A0

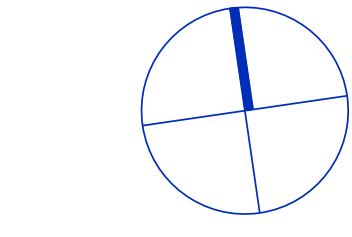
74-76 AHERN ROAD, PAKENHAM
CARRUM DOWNS

PROPOSED RESIDENTIAL DEVELOPMENT
CLIENT: MAINLINE DEVELOPMENT

TAD
thomasandersondesign

21-0677
ISSUE C
DRAWN: FA
14/04/2022
SHEET SIZE A1

3



LEGEND

- SPOS - DIMENSION OVER 3.0M
- POS - DIMENSION UNDER 3.0M POS
- COMMON PROPERTY
- ALL WEATHER SEAL COATING DRIVEWAY
- PERMEABLE PAVING
- PERMEABLE TIMBER DECKING
- NEW CONCRETE CROSSOVER
- EXISTING TREES TO BE RETAINED
- TREE TP2
- TREE SBT
- 1.8M HIGH TIMBER PALING FENCE
- EXTENT OF 600MM HIGH LATTICE EXTENSION
- FINISHED FLOOR LEVEL
- FINISHED SURFACE LEVEL (CUT - FULL LEVEL)
- CLOTHES LINE
- SECURITY LIGHT "SENSOR LIGHT"
- BOLLARD LIGHT
- TAP
- LETTER BOX
- 2000 L WATER TANK TO BE CONNECTED TO TOILET FLUSHING
- REMOTE METER
- RUBBISH AND RECYCLE BIN LOCATION
- RETAINING WALLS
- RETAINING WALLS AS PER PLAN
- RETAINING WALLS WITH AGO, DRAIN - OR REFER ENCL. DESIGN
- COLLAPSABLE COLORBOND SHED IN 100MM CONIC SLAB
- S.P.O.S.
- SECURED PRIVATE OPEN SPACE
- PROPOSED TREE
- BIN COLLECTION FOOTPRINT
- TREE PROTECTION FENCE

SITE STATISTICS

Total Site Area	4534.0 m2
Total Site Cover	1760.5 m2
Total Site Cover Ratio	38.8 %
Overall Driveway Area	914.6 m2
Total Hard Cover Area(Permeability)	2475 m2
Total Hard Cover Ratio(Permeability)	59.0 %
GARDEN AREA	1805.0 m2
Garden Area Ratio	39.8 %

FIRST FLOOR PLAN

SCALE 1:100 @ A0

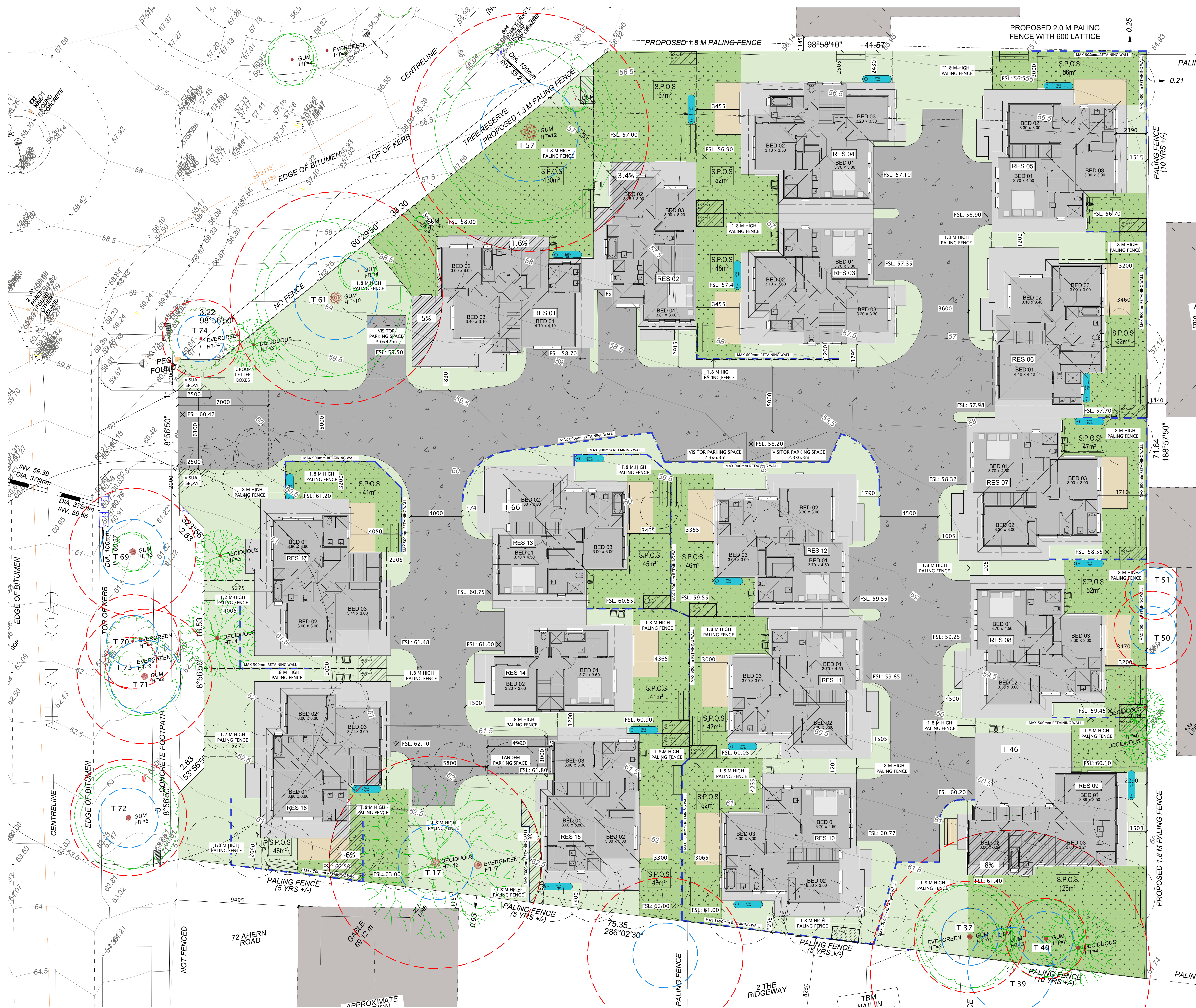
74-76 AHERN ROAD, PAKENHAM
CARRUM DOWNS

PROPOSED RESIDENTIAL DEVELOPMENT
CLIENT: MAINLINE DEVELOPMENT

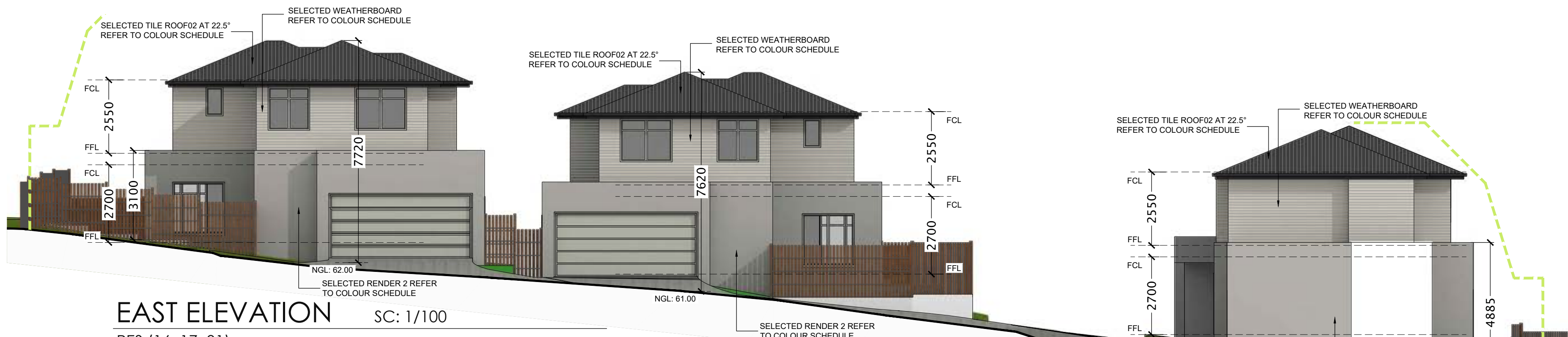
TAD
thomasandersondesign

21-0677
ISSUE C
DRAWN: FA
14/04/2022
SHEET SIZE A1

4



EAST ELEVATION



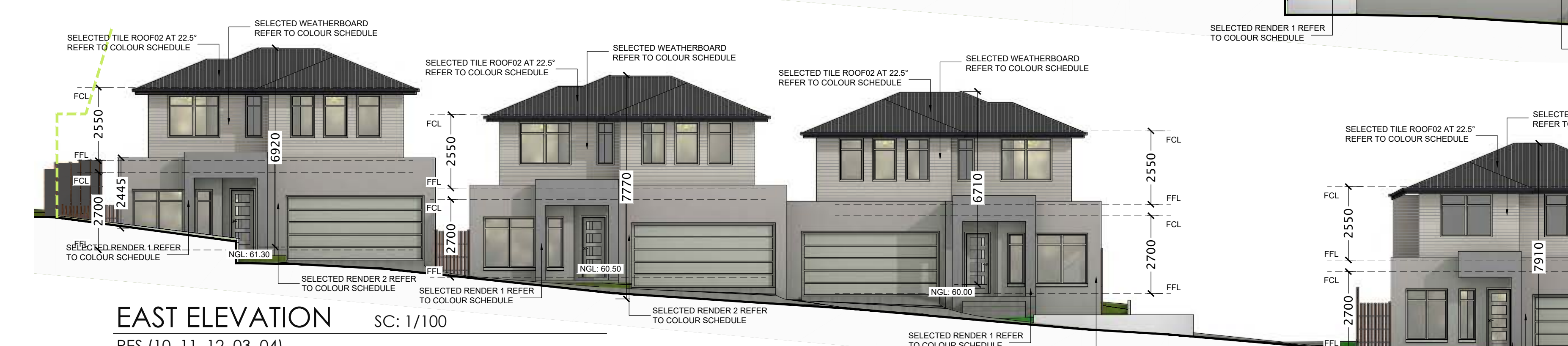
EAST ELEVATION SC: 1/100

RES (16, 17, 01)



EAST ELEVATION SC: 1/100

RES (15, 14, 13, 02)



EAST ELEVATION SC: 1/100

RES (10, 11, 12, 03, 04)



EAST ELEVATION SC: 1/100

RES (09, 08, 07, 06, 05)

COLOUR SCHEDULE:

Weatherboards	Surfmist
Roofing	Classic Storm Grey
Gutter	Monument
Fascia & Downpipes	Monument
Windows	Surfmist
Main Render	DUNE
Entry Feature Render	GULLY
Front Door	PMAD 101 / Surfmist
External Doors	Surfmist
Garage Door	Simline / DUNE
Water tanks	If applicable Monument
Letter boxes	MCL Slim
Driveway	Natural Colour
Sheds	If Applicable Monument

PROPOSED RESIDENTIAL DEVELOPMENT

CLIENT: MAINLINE DEVELOPMENT

174-76 AHERN ROAD, PAKENHAM

PAKENHAM



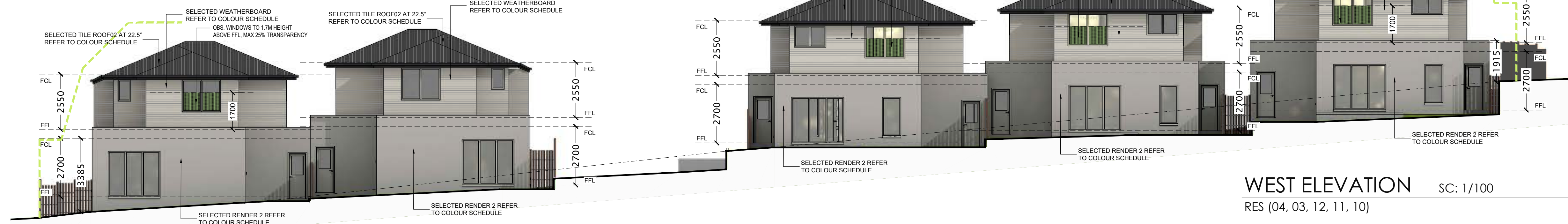
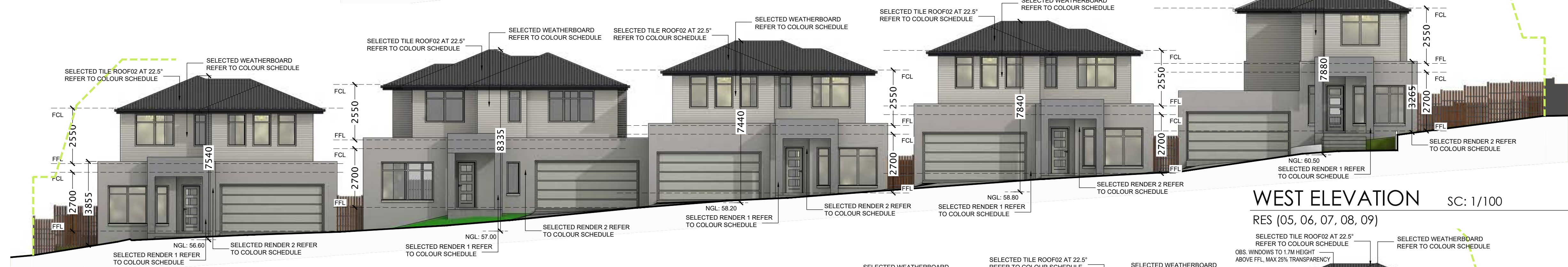
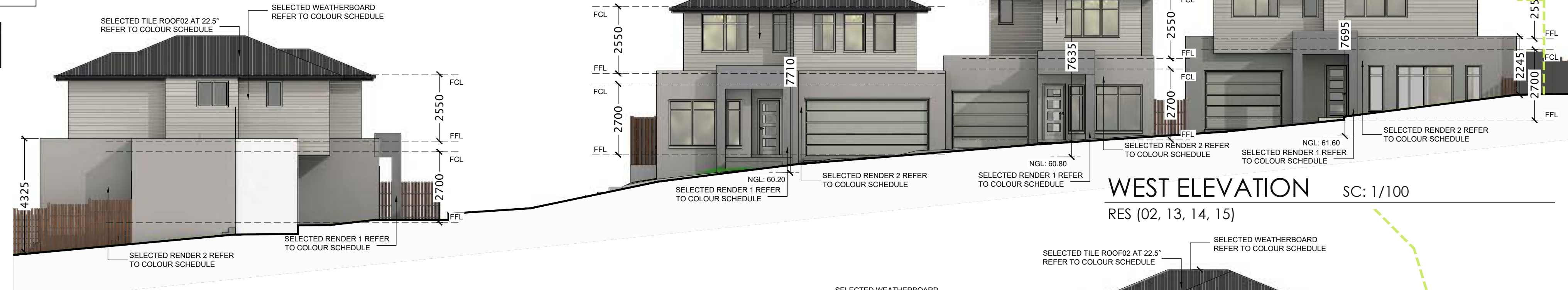
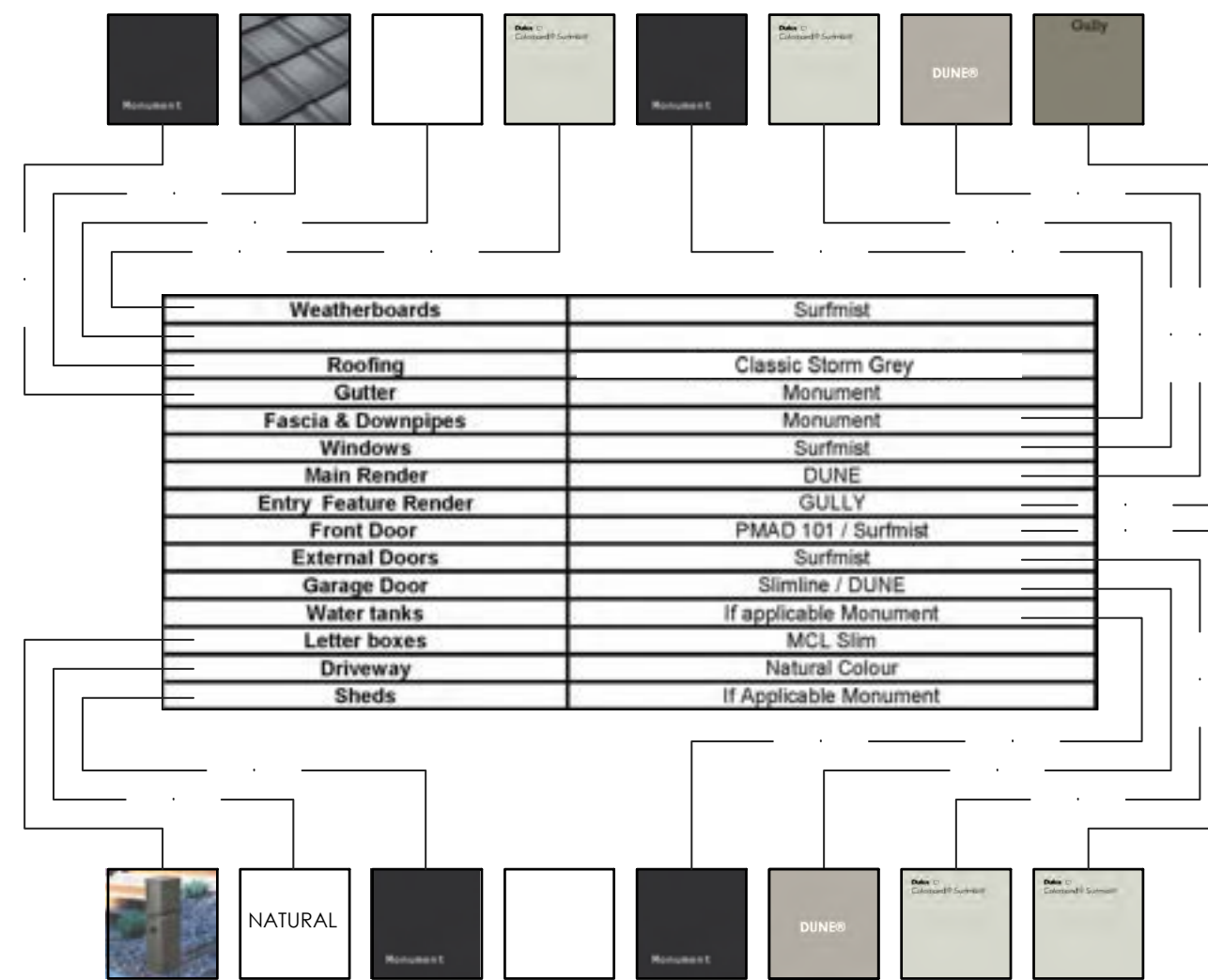
22-0206
ISSUE B
DRAWN: FA
22/07/2022
SHEET SIZE A1

5

ELEVATIONS SCALE 1:100 @ A1

WEST ELEVATION

COLOUR SCHEDULE:



PROPOSED RESIDENTIAL DEVELOPMENT

CLIENT: MAINLINE DEVELOPMENT

74-76 AHERN ROAD, PAKENHAM
PAKENHAM

T | A | D
thomasandersondesign

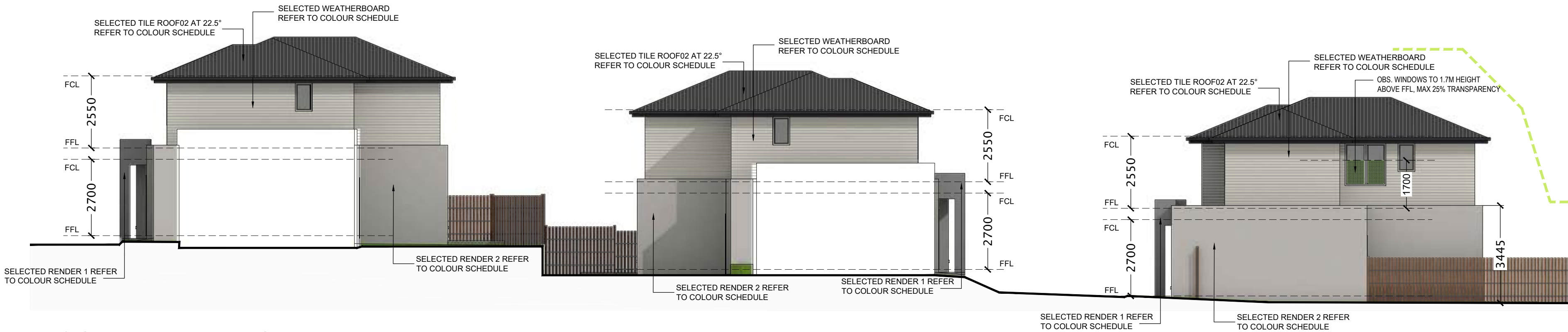
2-0206
ISSUE B
DRAWN: FA
2/07/2022
SHEET SIZE A1

6

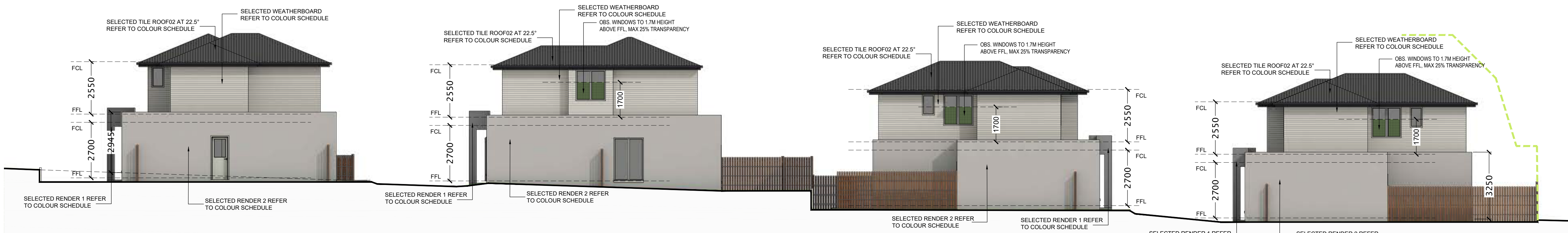
ELEVATIONS

ISO full bleed A1 (594.00 x 841.00 MM), THOMAS ANDERSON DESIGN

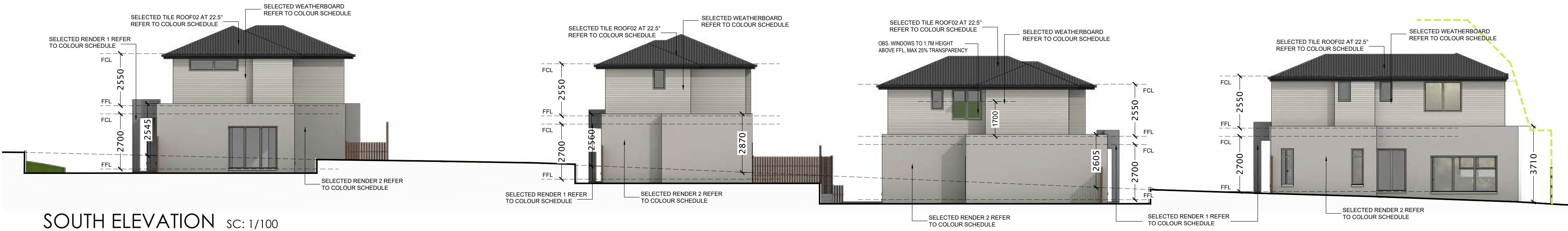
SOUTH ELEVATION



SOUTH ELEVATION SC: 1/100
RES (13, 12, 07)



SOUTH ELEVATION SC: 1/100
RES (17, 14, 11, 08)



SOUTH ELEVATION SC: 1/100
RES (16, 15, 10, 09)

ELEVATIONS SCALE 1:100 @ A1

ISO full bleed A1 (594.00 x 841.00 MM), THOMAS ANDERSON DEISGN

COLOUR SCHEDULE:

Roofing	Weatherboards	Surfmist
Gutter	Classic Storm Grey	Monument
Fascia & Downpipes	Monument	Surfmist
Windows	Surfmist	DUNE
Main Render	DUNE	GULLY
Entry Feature Render	PMAD 101 / Surfmist	Surfmist
Front Door	Surfmist	Simline / DUNE
External Doors	Simline / DUNE	If applicable Monument
Garage Door	If applicable Monument	MCL Slim
Water tanks	MCL Slim	Natural Colour
Letter boxes	Natural Colour	If Applicable Monument
Driveway	If Applicable Monument	
Sheds		

PROPOSED RESIDENTIAL DEVELOPMENT

CLIENT: MAINLINE DEVELOPMENT

174-76 AHERN ROAD, PAKENHAM

PAKENHAM

T A D
thomasandersondesign

22-0206

ISSUE B

DRAWN: FA

22/07/2022

SHEET SIZE A1

7

NORTH ELEVATION



COLOUR SCHEDULE:

Weatherboards	Surfmist
Roofing	Classic Storm Grey
Gutter	Monument
Fascia & Downpipes	Monument
Windows	Surfmist
Main Render	DUNE
Entry Feature Render	GULLY
Front Door	PMAD 101 / Surfmist
External Doors	Surfmist
Garage Door	Simline / DUNE
Water tanks	If applicable Monument
Letter boxes	MCL Slim
Driveway	Natural Colour
Sheds	If Applicable Monument

NORTH ELEVATION SC: 1/100
RES (08, 11, 14)



NORTH ELEVATION SC: 1/100
RES (07, 12, 13, 17)



NORTH ELEVATION SC: 1/100
RES (09, 10, 15, 16)

PROPOSED RESIDENTIAL DEVELOPMENT
CLIENT: MAINLINE DEVELOPMENT

174-76 AHERN ROAD, PAKENHAM
PAKENHAM



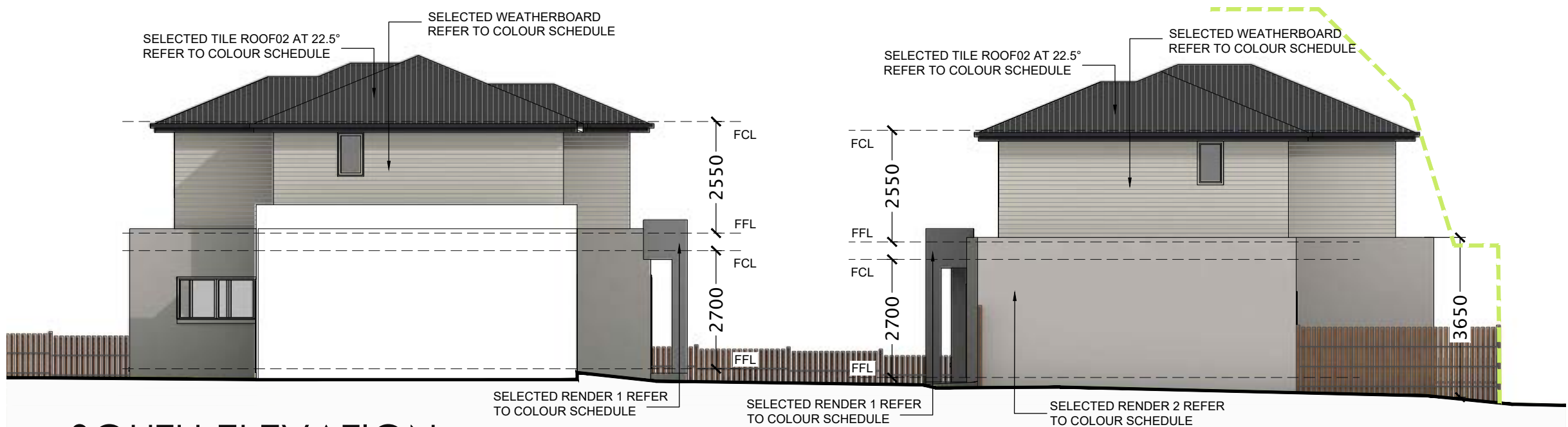
22-0206
ISSUE B
DRAWN: FA
22/07/2022
SHEET SIZE A1

8

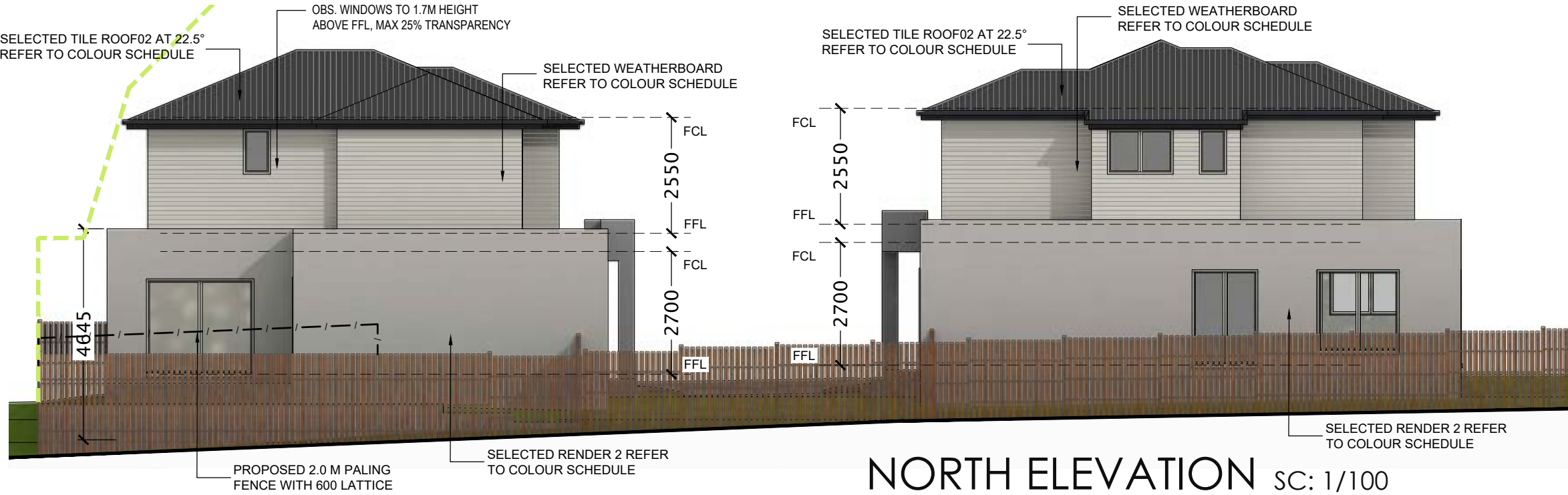
ELEVATIONS SCALE 1:100 @ A1

ISO full bleed A1 (594.00 x 841.00 MM), THOMAS ANDERSON DEISGN

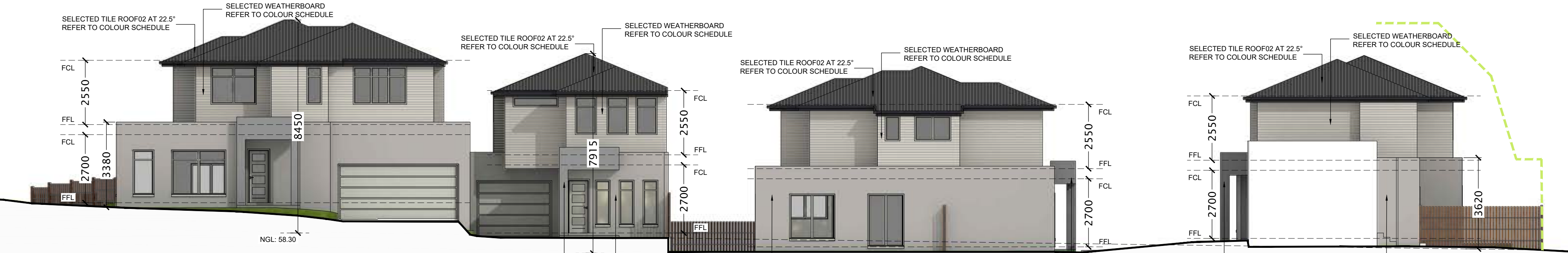
NORTH & SOUTH ELEVATION



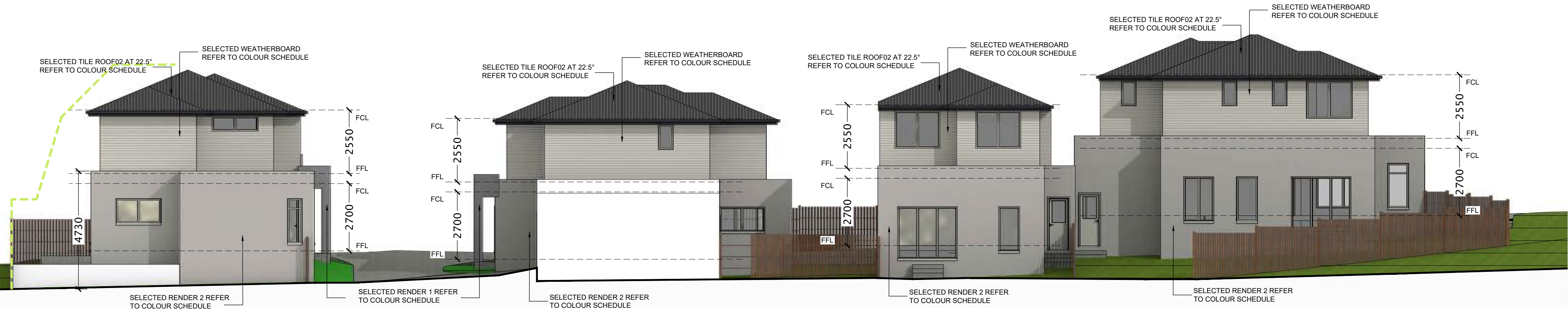
SOUTH ELEVATION SC: 1/100
RES (04, 05)



NORTH ELEVATION SC: 1/100
RES (05, 04)



SOUTH ELEVATION SC: 1/100
RES (01, 02, 03, 06)



NORTH ELEVATION SC: 1/100
RES (06, 03, 02, 01)

COLOUR SCHEDULE:

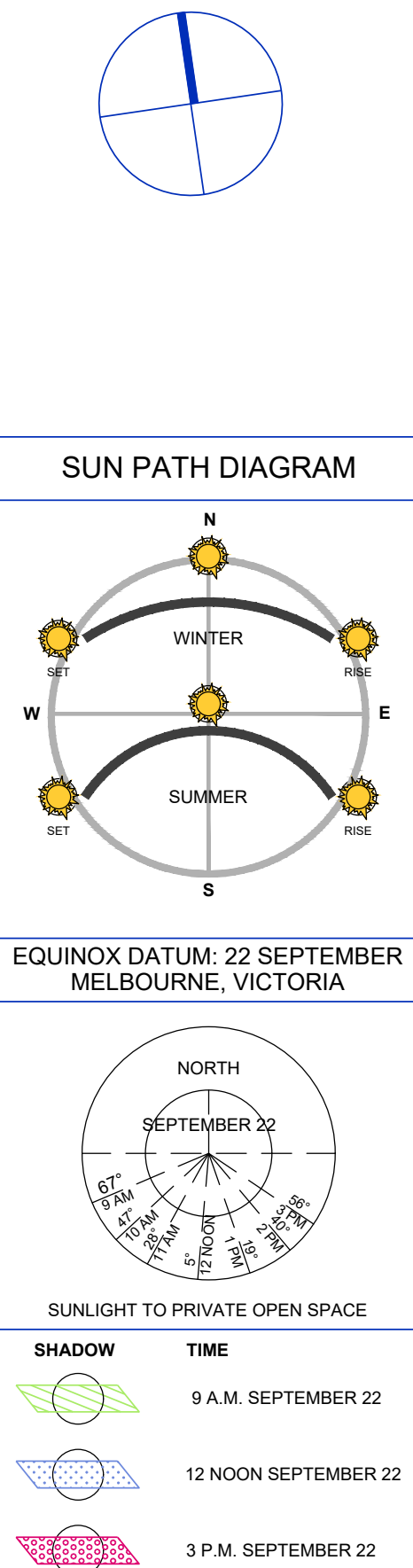
Weatherboards	Surfmist
Roofing	Classic Storm Grey
Gutter	Monument
Fascia & Downpipes	Monument
Windows	Surfmist
Main Render	DUNE
Entry Feature Render	GULLY
Front Door	PMAD 101 / Surfmist
External Doors	Surfmist
Garage Door	Slimline / DUNE
Water tanks	If applicable Monument
Letter boxes	MCL Slim
Driveway	Natural Colour
Sheds	If Applicable Monument

PROPOSED RESIDENTIAL DEVELOPMENT
CLIENT: MAINLINE DEVELOPMENT

174-76 AHERN ROAD, PAKENHAM
PAKENHAM



22-0206
ISSUE B
DRAWN: FA
22/07/2022
SHEET SIZE A1



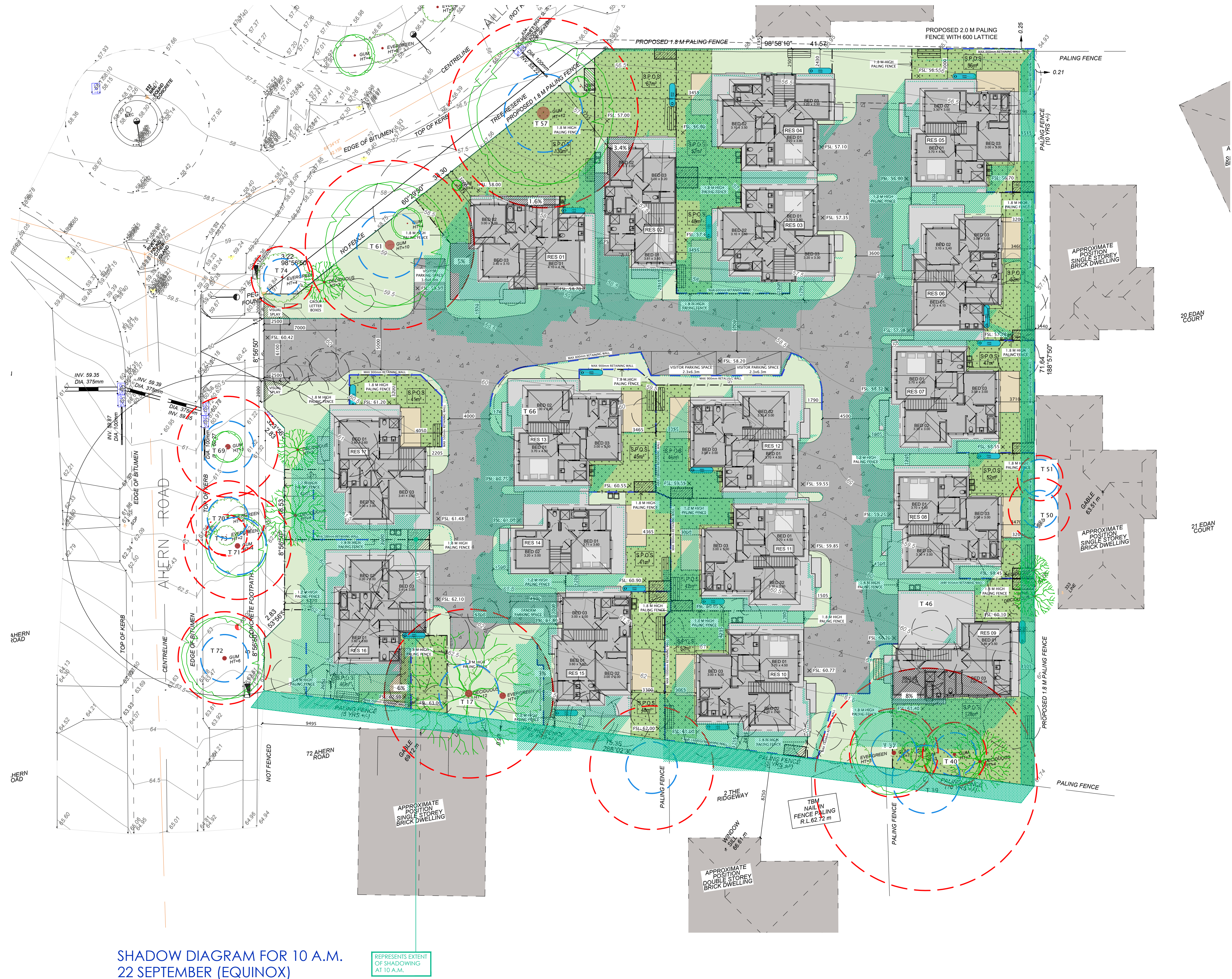
SHADOW DIAGRAM
SCALE 1:250 @ A1

PROPOSED RESIDENTIAL DEVELOPMENT
CLIENT: MAINLINE DEVELOPMENT

74-76 AHERN ROAD, PAKENHAM
PAKENHAM

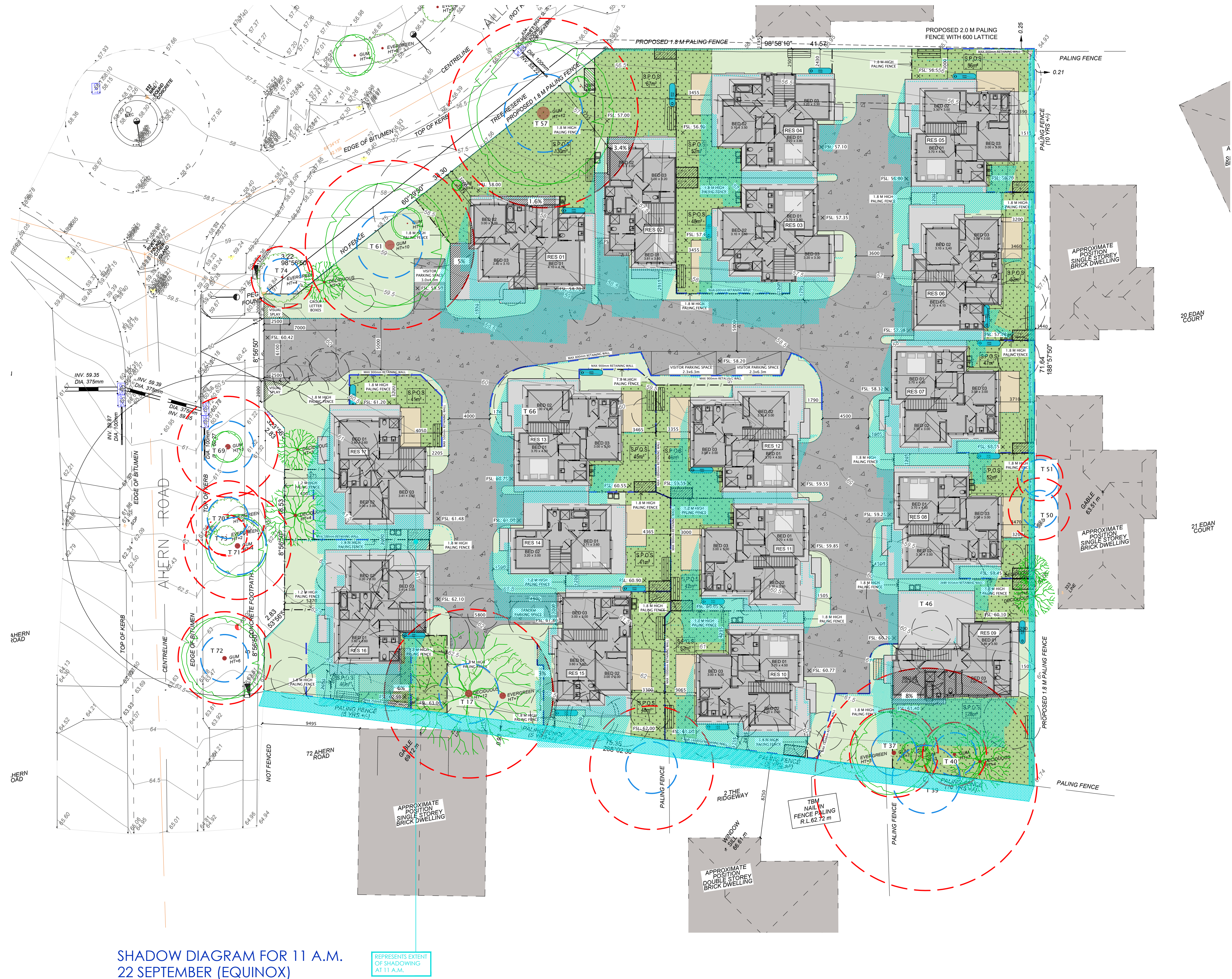
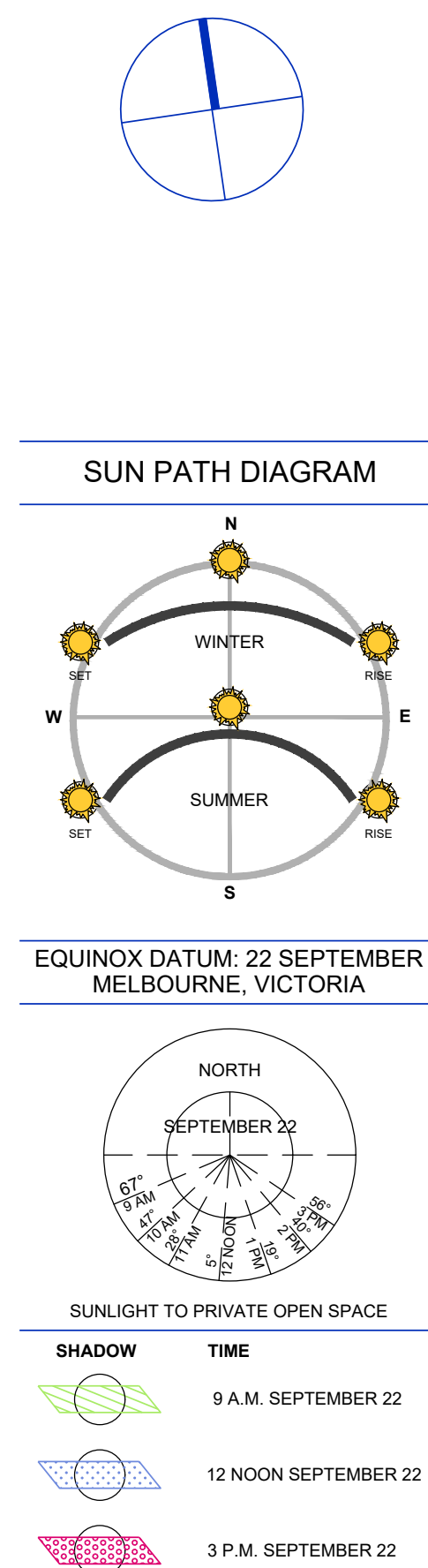


22-0206
ISSUE B
DRAWN: FA
22/07/2022
SHEET SIZE A1



REPRESENTS EXTENT
OF SHADOWING
AT 10 A.M.

22-0206
ISSUE B
DRAWN: FA
22/07/2022
SHEET SIZE A1

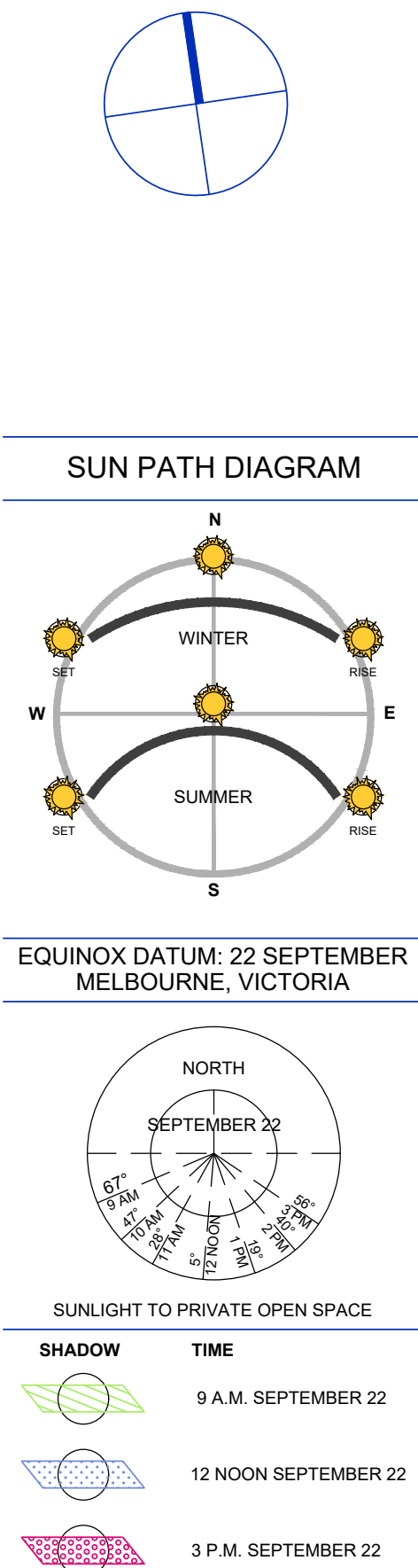
SHADOW DIAGRAM FOR 11 A.M.
22 SEPTEMBER (EQUINOX)

REPRESENTS EXTENT
OF SHADOWING
AT 11 A.M.

SHADOW DIAGRAM

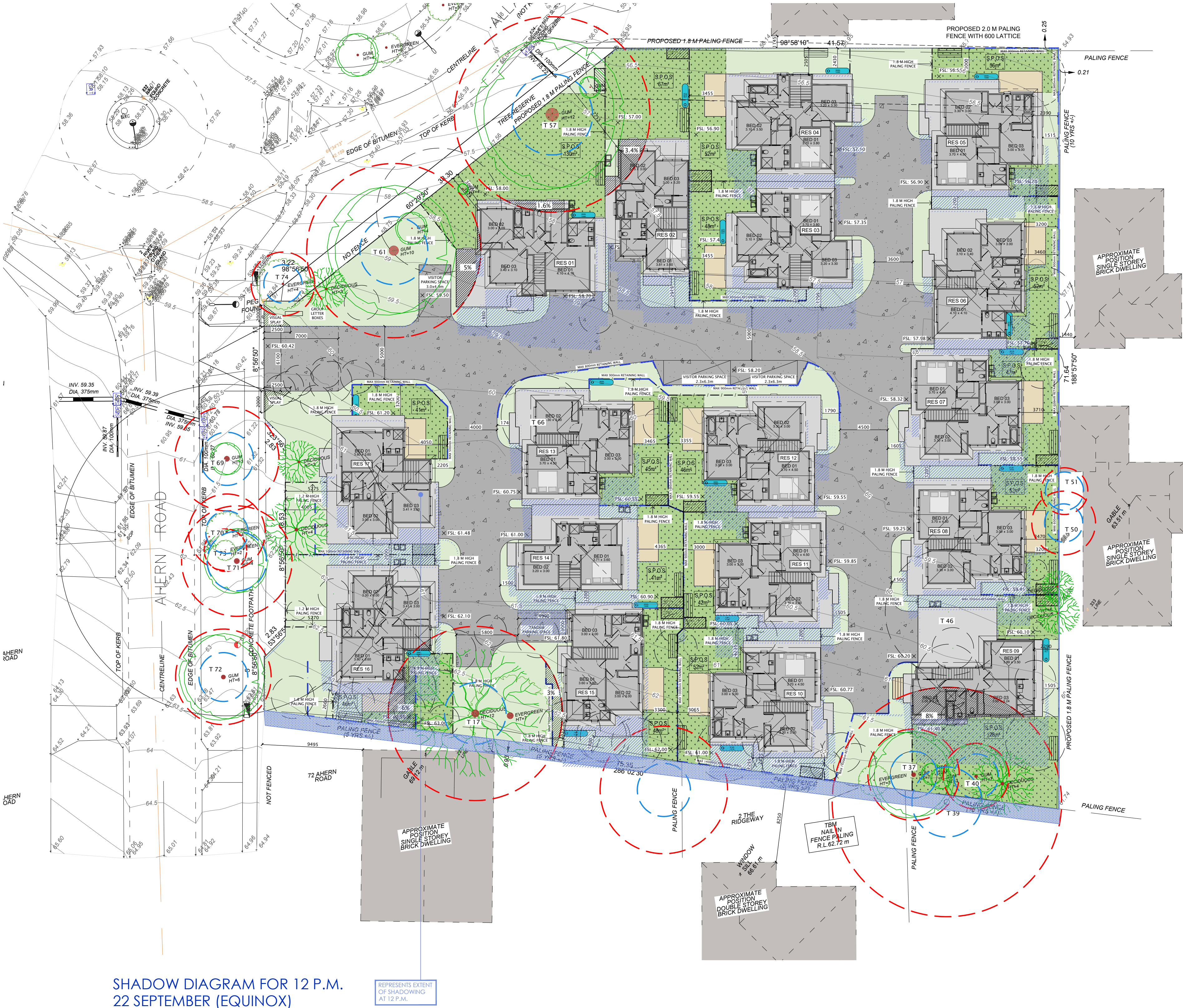
SCALE 1:250 @ A1

ISO full bleed A1 (594.00 x 841.00 MM), THOMAS ANDERSON DESIGN



SHADOW DIAGRAM

SCALE 1:250 @ A1

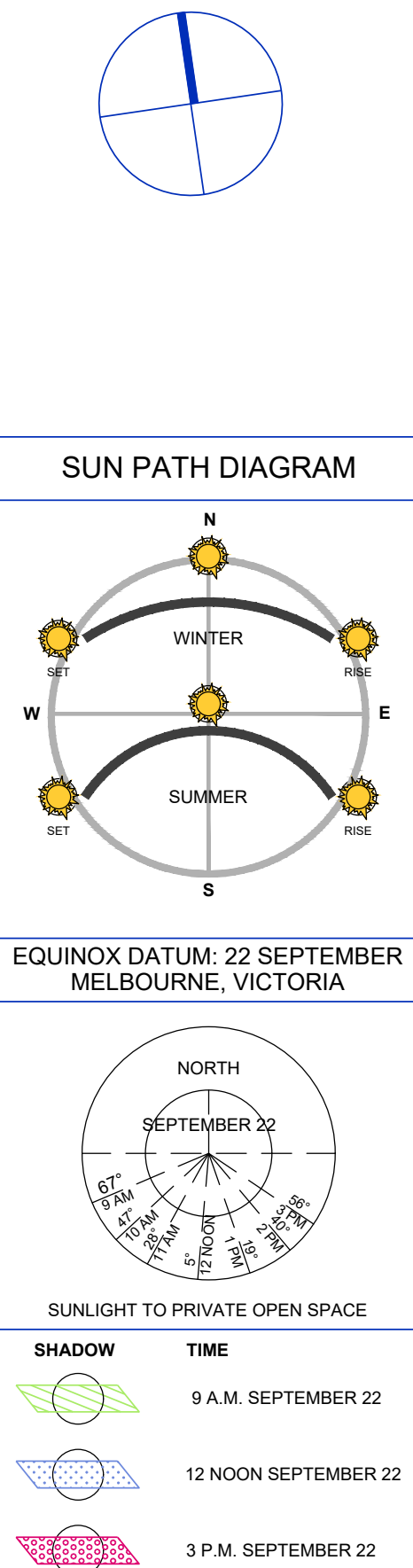


PROPOSED RESIDENTIAL DEVELOPMENT
CLIENT: MAINLINE DEVELOPMENT

174-76 AHERN ROAD, PAKENHAM
PAKENHAM

T A D
thomasandersondesign

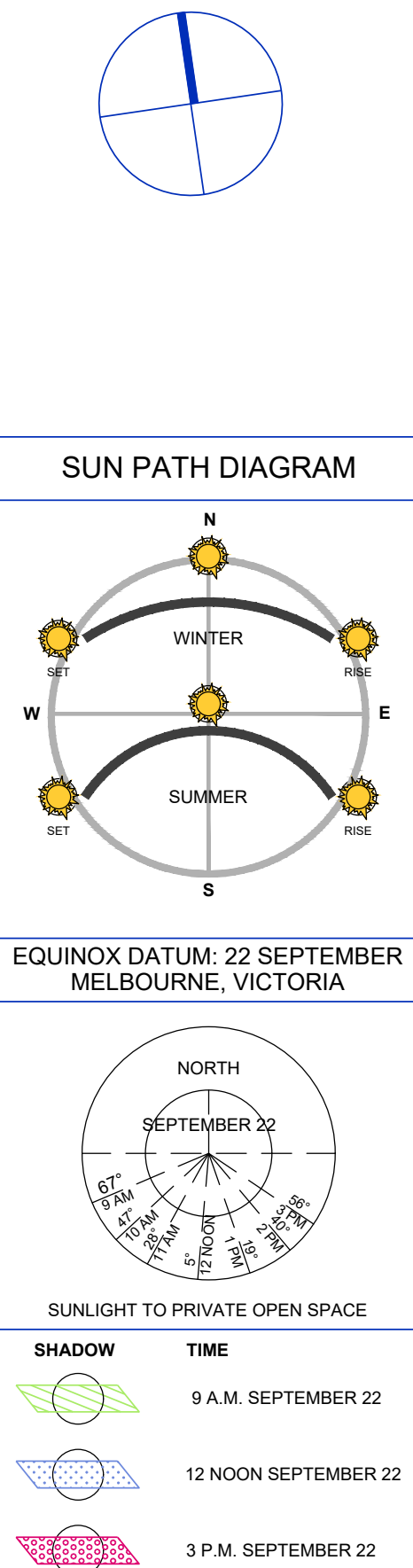
22-0206
ISSUE B
DRAWN: FA
22/07/2022
SHEET SIZE A1



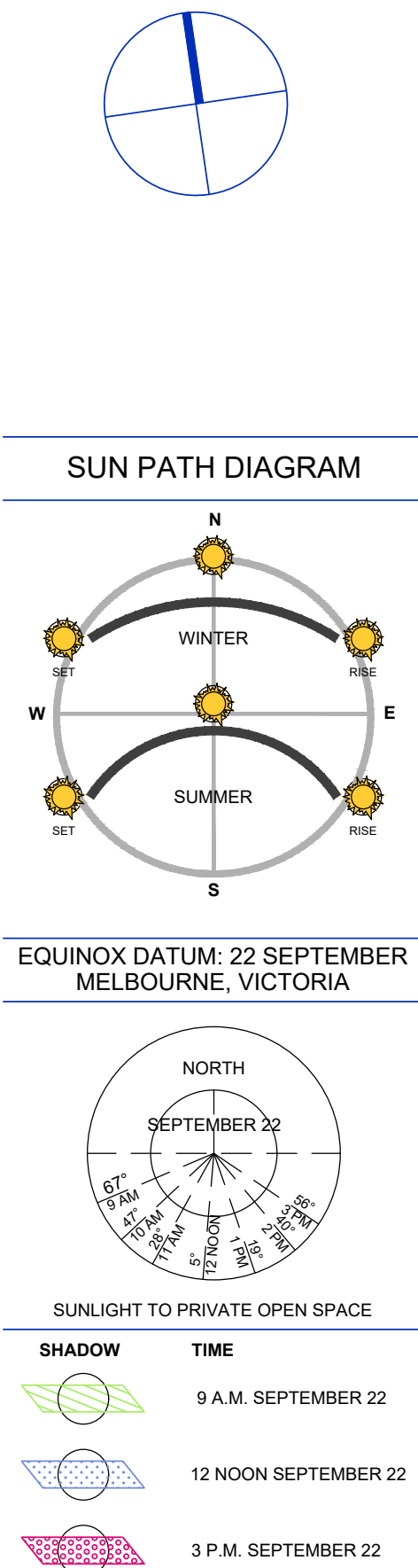
SHADOW DIAGRAM FOR 1 P.M. 22 SEPTEMBER (EQUINOX)

REPRESENTS EXTENT OF SHADOWING AT 1 P.M.

SHADOW DIAGRAM
SCALE 1:250 @ A1



SHADOW DIAGRAM
SCALE 1:250 @ A1



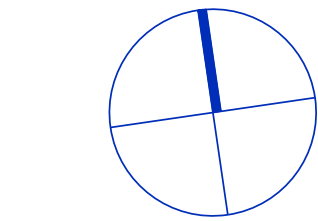
SHADOW DIAGRAM
SCALE 1:250 @ A1

PROPOSED RESIDENTIAL DEVELOPMENT
CLIENT: MAINLINE DEVELOPMENT

74-76 AHERN ROAD, PAKENHAM
PAKENHAM



22-0206
ISSUE B
DRAWN: FA
22/07/2022
SHEET SIZE A1



LEGEND

- GARDEN AREAS
- COMMON PROPERTY
- SEALED REINFORCED CONCRETE DRIVEWAY

SITE STATISTICS

Total Site Area	4534.0 m2
Garden Area	1805
Garden Area Ratio	39.8

GARDEN AREA PLAN
SCALE 1:200 @ A1



PROPOSED RESIDENTIAL DEVELOPMENT
CLIENT: MAINLINE DEVELOPMENT

174-76 AHERN ROAD, PAKENHAM
PAKENHAM



22-0206
ISSUE B
DRAWN: FA
22/07/2022
SHEET SIZE A1

CATCHMENT AREAS:

PLAN COLOUR	CATCHMENT TYPE	AREA m ²	TREATMENT
	ROOF TO TANKS	1781	17 x 3000L RAINWATER TANKS
	ROOF	38	NONE
	CONCRETE PAVEMENT	905	NONE
	LANDSCAPING	1812	NONE
	TOTAL SITE AREA	4535	

PROPOSED RESIDENTIAL DEVELOPMENT

74 AHERN RD, PAKENHAM, VICTORIA 3810

STORMWATER MANAGEMENT PLAN

LEGEND	
DRAINAGE PIPES	PROPOSED PRIVATE DRAIN (20% AEP) EXISTING DRAINAGE OVERSIZED DETENTION PIPES
OVERLAND FLOW	INDICATED BY FLOW ARROWS ON PLAN
RAINWATER TANKS	MIN. 3000L RAINWATER TANK (TO BE CONNECTED FOR RE-USE IN TOILET FLUSHING)
LEVELS	EXISTING CONTOURS EXISTING SPOT LEVELS

STORMWATER MANAGEMENT PLAN

WSUD

URBAN STORMWATER BEST PRACTICE ENVIRONMENTAL GUIDELINES TO BE MET THROUGH THE INSTALLATION OF RAINWATER TANKS AND PAYMENT OF A PARTIAL STORMWATER QUALITY OFFSET TO MELBOURNE WATER OF \$37,868.

ON-SITE DETENTION

PSD = 37.5 L/s
DETENTION STORAGE REQUIREMENT = 33.54 m³
10 YEAR (10%) DEVELOPMENT FLOWS DETAINED BACK TO 5 YEAR (20%) PRE-DEVELOPMENT FLOW.

ON-SITE DETENTION HAS BEEN DETERMINED VIA SWINBURNE UNDERGROUND METHOD
REQUIRED DETENTION STORAGE TO BE STORED ON-SITE VIA THE USE OF -

- 17,000L WITHIN 17 x 3000L RAINWATER TANKS (1000L WITHIN EACH TANK)
- STORMWATER PITS
- OVERSIZED PIPES BETWEEN PITS A TO F.

MELBOURNE WATER DRAINAGE SCHEME:

THIS SITE IS LOCATED IN THE 1604 KENNEDY CREEK DRAINAGE SCHEME

MELBOURNE WATER STORMWATER QUALITY OFFSETS CALCULATOR

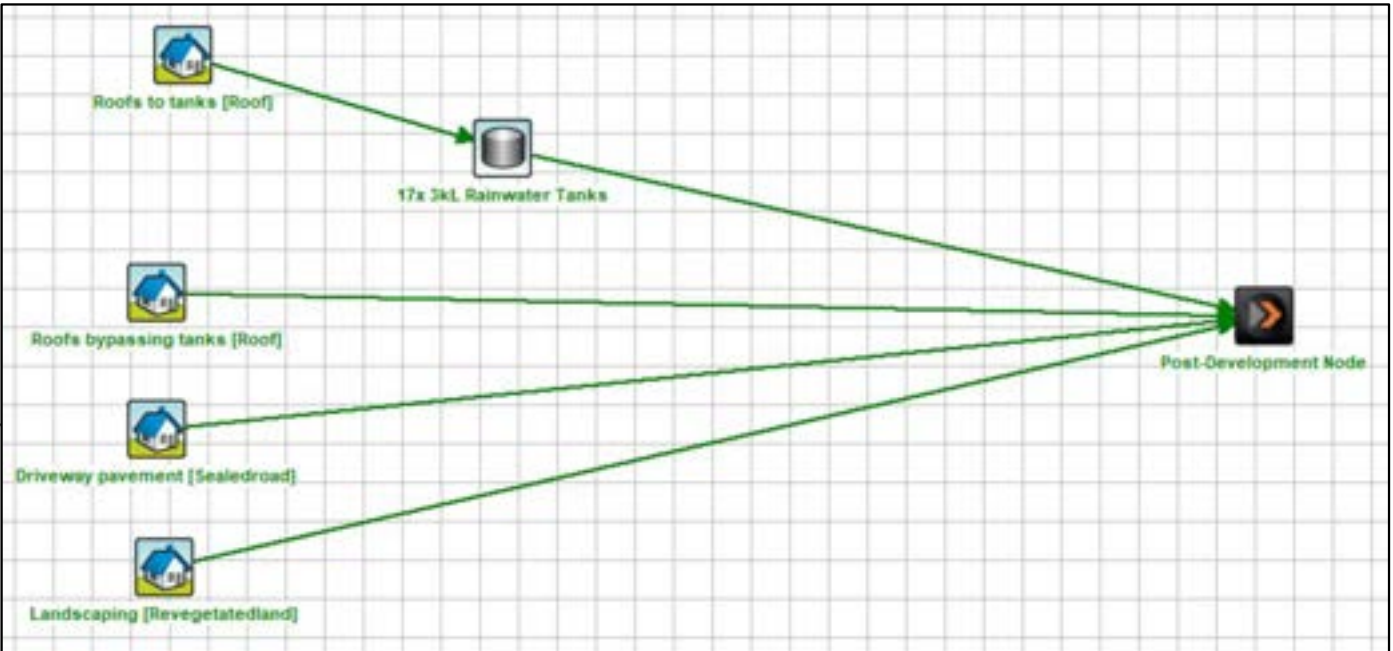
DRAINAGE DESIGN PARAMETERS:

MINOR FLOWS:
20% AEP UNDERGROUND PIPED DRAINAGE NETWORK DIRECTED TO DETENTION SYSTEM IN THE NORTH EAST CORNER OF THE SITE.

MAJOR FLOWS:
1% AEP THE OVERLAND FLOW PATH EXITING THE SITE.

THE CONCEPTUAL STORMWATER DRAINAGE SYSTEM ON THIS SITE HAS BEEN DESIGNED, WITH THE USE OF "MUSIC" (MODEL FOR URBAN STORMWATER IMPROVEMENT CONCEPTUALISATION), SUCH THAT STORMWATER RUNOFF EXITING THE LAND MEETS THE CURRENT BEST PRACTICE PERFORMANCE OBJECTIVES FOR STORMWATER QUALITY, AS CONTAINED IN THE URBAN STORMWATER BEST PRACTICE ENVIRONMENTAL MANAGEMENT GUIDELINES (VICTORIAN STORMWATER COMMITTEE, 1999) AS FOLLOWS:

- 80% REDUCTION OF THE TYPICAL ANNUAL LOAD OF SUSPENDED SOLIDS (4.2% ACHIEVED)
- 45% REDUCTION OF THE TYPICAL ANNUAL LOAD OF TOTAL PHOSPHORUS (9.9% ACHIEVED)
- 45% REDUCTION OF THE TYPICAL ANNUAL LOAD OF TOTAL NITROGEN (19.5% ACHIEVED)
- 70% REDUCTION OF THE TYPICAL ANNUAL LOAD OF GROSS POLLUTANTS (50.1% ACHIEVED)



MUSIC MODEL

No.	Greenfield scheme name	Hydraulic	Water quality	Includes scheme WQ works	Calculator	Effective date	Hydraulic	Water quality
1604	Kennedy Creek DS	\$44,184	\$35,094	No	Calculator			

1604 Kennedy Creek DS as at 17 Jan 2023

Standard residential rates:

\$44,184 (hydraulic)
\$35,094 (water quality)

Area (in ha): 0.4535

Development type: High density res (>300m²)

Best practice expected / achieved %: 19.5

The calculator stipulates the level of best practice expected within a development. The level of treatment achieved (% of best practice) can be increased beyond the expected amount or decreased where mitigating circumstances prevent local treatment.

Calculate Clear Close Print

Calculated at \$40,358 (water quality) and \$50,812 (hydraulic) (115 x residential rate) per hectare.

Hydraulic contribution: \$23,043

Water quality contribution reduction for on-site treatment: \$3,477

Water quality contribution payable: \$14,825

Final total contribution: \$37,868

	Sources	Residual Load	% Reduction
Flow (ML/yr)	1.82	1.56	14
Total Suspended Solids (kg/yr)	207	198	4.2
Total Phosphorus (kg/yr)	0.464	0.418	9.9
Total Nitrogen (kg/yr)	4.08	3.29	19.5
Gross Pollutants (kg/yr)	69.9	34.9	50.1

MUSIC MODEL RESULTS

TOTAL SITE AREA
= 4535m²

PRELIMINARY ISSUE

NO	REVISION	DATE	NO	REVISION	DATE
P2	RAINWATER TANK LOCATIONS UPDATED	24/01/23			
P1	PRELIMINARY ISSUE	20/01/23			

CONTRACTOR MUST DIAL 1100 TO CONFIRM LOCATION OF EXISTING SERVICES AND COMPLY WITH ANY AUTHORITY REQUIREMENTS REGARDING EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY WORKS.

STORMWATER MANAGEMENT PLAN

LENGTHS ARE IN METRES
SCALE 1 : 200 @ A1

DATUMS USED FOR THIS DESIGN/DRAWING
VERTICAL: AHD - REFER BENCH MARKS ON PLAN
VIDE PH 387 RL45.4.7 VERIFIED BY PH 388 RL46.07
HORIZONTAL: MEA REFER FEATURE SURVEY PREPARED BY PENINSULA SURVEY GROUP
DATED 1/06/2022
FILE REF: 7196/TRP-FL VERSION: 1

Lanigan Civil

Patama Pty Ltd (ABN: 79 108 035 463)
Trading as Lanigan Civil
Consulting Civil Engineers
Unit 4, 7-9 Hall Street, Braeside VIC 3195
Tel: 03 9558 4380 Fax: 03 9587 9707
Email: admin@lanigancivil.com.au

74-76 AHERN ROAD,
PAKENHAM
17 UNIT DEVELOPMENT

STORMWATER MANAGEMENT PLAN

NORTH	DESIGNED	DRAWN	CHECKED
	--	C.S	--
DATE	16-01-23	SCALE	AS NOTED
DRG NO	LC2601-SMP	ISSUE	P2

Appendix 1:**T220501 PA – 74-76 Ahern Road, Pakenham - Clause 55 Assessment:****Particular Provisions****55.02-1 Neighbourhood character objectives**

- To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.
- To ensure that development responds to the features of the site and the surrounding area.

Objective met	No
Standard B1	Refer to report discussion identifying the proposal does not meet existing or preferred neighborhood character.

55.02-2 Residential policy objectives

- To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.

Objective met	No
Standard B2	A written statement has been provided, however please refer to the report identifying that the proposal is not in accordance with the Planning Policy Framework.

55.02-3 Dwelling diversity objective

- To encourage a range of dwelling sizes and types in developments of ten or more dwellings.

Objective met	No
Standard B3	The proposal provides for only one dwelling being a 'varied' two-bedroom dwelling compared to the remainder being three bedrooms.

55.02-4 Infrastructure objectives

- To ensure development is provided with appropriate utility services and infrastructure.
- To ensure development does not unreasonably overload the capacity of utility services and infrastructure.

Objective met	Yes
Standard B4	The site has the availability of connection for utilities and is not expected to overload any services or infrastructure.

55.02-5 Integration with the street objective

- To integrate the layout of development with the street.

Objective met	No
----------------------	----

Standard B5	Units 1 & 2 fail to appropriately address street frontage and rather seek to 'turn their back' on the street frontage. Through appropriate design these dwellings would be able to appropriately orientate toward street frontage.
--------------------	--

55.03 SITE LAYOUT AND BUILDING MASSING**55.03-1 Street setback objective**

- To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.

Objective met	No
Standard B6	The site is considered a corner lot, which requires a 9m setback to Ahern Road. The proposal provides a 4m setback to the boundary, however it is noted that the boundary alignment varied. Regardless, the front setback to Ahern Road would not meet the required 9m if taken from the alignment of the boundary of 72 Ahern Road to the south.

55.03-2 Building height objective

- To ensure that the height of buildings respects the existing or preferred neighbourhood character.

Objective met	Yes
Standard B7	The proposed development complies with maximum building height requirements.

55.03-3 Site coverage objective

- To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.

Objective met	Yes
Standard B8	Site coverage proposed is 38.8% and compliant with the Standard. The proposal benefits from being on a large site, and the minimal ground floor footprints (due to dwellings being double-storey) assist to result in low site coverage.

55.03-4 Permeability and Stormwater Management objectives

- To reduce the impact of increased stormwater run-off on the drainage system.
- To facilitate on-site stormwater infiltration.
- To encourage stormwater management that maximises the retention and reuse of stormwater.

Objective met	Yes
Standard B9	41% site permeability has been provided.

55.03-5 Energy efficiency objectives

- To achieve and protect energy efficient dwellings and residential buildings.
- To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.

Objective met	No
----------------------	----

Standard B10 Buildings should be:	Whilst dwellings and associated open space areas all have a north facing element, concerns are raised with the layout of 7 of the dwellings (10,11,12,13,14,15 and 16) and the location of living rooms within the dwellings (predominantly facing south) and/or lack of north facing windows to living rooms (however it is acknowledged that 'meals' rooms are north facing). The development has not maximised north-facing windows to an appropriate degree. Additionally, to avoid overlooking many of the north facing windows from bedrooms on the upper floor are small highlight windows to avoid overlooking.
--	---

55.03-6 Open space objective

- To integrate the layout of development with any public and communal open space provided in or adjacent to the development.

Objective met	Not applicable
Standard B11	N/A - The site does not adjoin any public open space.

55.03-7 Safety objective

- To ensure the layout of development provides for the safety and security of residents and property.

Objective met	Yes
Standard B12	The dwelling entrances are generally visible from the internal accessways.

55.03-8 Landscaping objectives

- To encourage development that respects the landscape character of the neighbourhood.
- To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.
- To provide appropriate landscaping.
- To encourage the retention of mature vegetation on the site.

Objective met	No
Standard B13	As assessed within this report, the amount of vegetation to be removed is not deemed acceptable or required but is a result of the project vision to maximise yield which results in an overdevelopment of the site. A formalised detailed landscape plan has not been provided with the application to determine appropriate landscaping responses.

55.03-9 Access objectives

- To ensure vehicle access to and from a development is safe, manageable and convenient.
- To ensure the number and design of vehicle crossovers respects the neighbourhood character.

Objective met	Yes
Standard B14	The proposal complies with numerical standard; however engineering concerns are noted within report.

55.03-10 Parking location objectives

- To provide convenient parking for resident and visitor vehicles. To avoid parking and traffic difficulties in the development and the neighbourhood.
- To protect residents from vehicular noise within developments.

Objective met	Yes
Standard B15	Proposal complies with standard.

55.04 AMENITY IMPACTS**55.04-1 Side and rear setbacks objective**

- To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Objective met	Yes
Standard B17	The proposal complies with numerical standard for side and rear setback requirements.

55.04-2 Walls on boundaries objective

- To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Objective met	N/A
Standard B18	No walls on boundaries are proposed.

55.04-3 Daylight to existing windows objective

- To allow adequate daylight into existing habitable room windows.

Objective met	Yes
Standard B19	The setbacks of the walls of the dwellings to adjoining habitable room windows are demonstrated through shadow diagrams at 9am, 12pm and 3pm satisfy the requirements of the Standard showing no overshadowing to adjoining habitable rooms.

55.04-4 North-facing windows objective

- To allow adequate solar access to existing north-facing habitable room windows.

Objective met	Yes
Standard B20	No north-facing habitable room window of any of an adjoining dwelling is less than 3m from the common boundary.

55.04-5 Overshadowing open space objective

- To ensure buildings do not significantly overshadow existing secluded private open space.

Objective met	Yes
----------------------	-----

Standard B21	The proposed development will have some overshadowing impact on adjoining properties (72 Ahern, 2 The Ridgeway, 20 Edan Court, 21 Edan Court) however the overshadowing is deemed acceptable, and the sites will still receive suitable sunlight regarding the numerical requirements.
---------------------	--

55.04-6 Overlooking objective

- To limit views into existing secluded private open space and habitable room windows.

Objective met	Yes.
Standard B22	Overlooking from ground level and upper storeys will be managed through a combination of fencing and window treatments to ensure compliance with the Standard.

5.04-7 Internal views objective

- To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

Objective met	Yes
Standard B23	Complies, no internal overlooking due to a combination of fencing and window treatments.

55.04-8 Noise impacts objectives

- To contain noise sources in developments that may affect existing dwellings.
- To protect residents from external noise.

Objective met	Yes
Standard B24	There are no foreseen circumstances where building services will impact on bedrooms and habitable areas of proposed internal dwellings to the development or existing external dwellings.

55.05 ON-SITE AMENITY AND FACILITIES**55.05-1 Accessibility objective**

- To encourage the consideration of the needs of people with limited mobility in the design of developments.

Objective met	No
Standard B25	Whilst the standard is met regarding access to the dwelling, all dwellings include bedrooms at the upper floor which does not fully consider the needs of those with limited mobility.

55.05-2 Dwelling entry objective

- To provide each dwelling or residential building with its own sense of identity.

Objective met	Yes
Standard B26	Each dwelling will have an easily identifiable entrance with some differentiation between properties.

55.05-3 Daylight to new windows objective

- To allow adequate daylight into new habitable room windows.

Objective met	Yes
Standard B27	All the habitable room windows of the proposed development will have sufficient access to daylight and ventilation.

55.05-4 Private open space objective

- To provide adequate private open space for the reasonable recreation and service needs of residents.

Objective met	Yes
Standard B28	All dwellings are provided with the numerical requirement for private open space.

55.05-5 Solar access to open space objective

- To allow solar access into the secluded private open space of new dwellings and residential buildings.

Objective met	Yes
Standard B29	The numerical standard is met.

55.05-6 Storage objective

- To provide adequate storage facilities for each dwelling.

Objective met	Yes
Standard B30	Each dwelling has been provided with 6 cubic metres of storage facility in the private open space of each dwelling.

55.06 DETAILED DESIGN**55.06-1 Design detail objective**

- To encourage design detail that respects the existing or preferred neighbourhood character.

Objective met	No
Standard B31	Refer to neighbourhood character discussion identifying the proposal does not respect the existing or preferred neighbourhood character.

55.06-2 Front fences objective

- To encourage front fence design that respects the existing or preferred neighbourhood character.

Objective met	No
Standard B32	Proposal does not comply with requirement along sites north-western frontage due to orientation of Units 1 & 2.

55.06-3 Common property objectives

- To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.
- To avoid future management difficulties in areas of common ownership.

Objective met	Yes
Standard B33	The proposal involves the use of common access and parking areas. A body or owners corporation will be required to ensure ongoing management of common areas. These areas are clear delineated by internal fencing to avoid conflict.

55.06-4 Site services objectives

- To ensure that site services can be installed and easily maintained.
- To ensure that site facilities are accessible, adequate and attractive.

Objective met	Yes
Standard B34	Each dwelling has ample space for the provision of the required services including bin enclosures, mailboxes etc. It is noted private waste collection will be required.