

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	Lot 10 LP6949 18 Amphlett Avenue, Cockatoo
The application is for a permit to:	Development of the land for a dwelling and vegetation removal
The applicant for the permit is:	MAP Building Consultant Services
The application reference number is:	T170025
You may look at the application and any documents that support the application at the office of the Responsible Authority:	Cardinia Shire Council 20 Siding Avenue Officer 3809 This can be done during office hours and is free of charge. Documents can also be viewed on Council's website www.cardinia.vic.gov.au .

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must
- * be sent to the Responsible Authority in writing, at Cardinia Shire Council, PO Box 7, Pakenham, Vic, 3810 or email at mail@cardinia.vic.gov.au
 - * include the name and address of the objector/ submitter
 - * include the application number and site address
 - * include the reasons for the objection, and
 - * state how the objector would be affected.

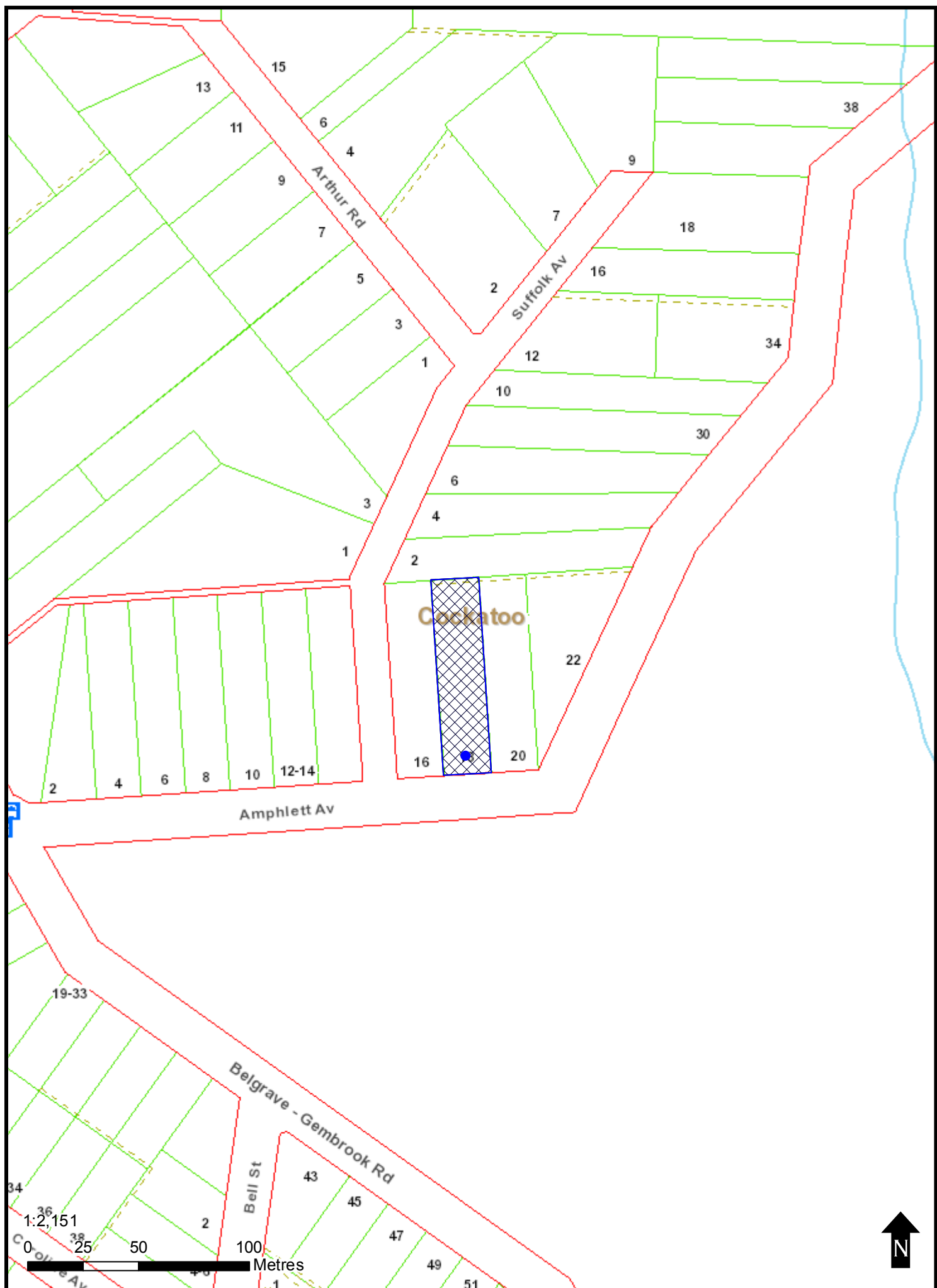
The Responsible Authority will not decide on the application before:	10 May 2017
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If you object, the Responsible Authority will advise you of its decision.


Please be aware that copies of objections/submissions received may be made available to any person for the purpose of consideration as part of the planning process.

For additional information or advice contact Cardinia Shire Council, Planning Department on 1300 787 624 or mail@cardinia.vic.gov.au

Your objection/ submission and personal information is collected by Cardinia Shire Council for the purposes of the planning process as set out in the *Planning and Environment Act 1987*. If you do not provide your name and address, Council will not be able to consider your objection/ submission. Your objection/ submission will be available free of charge at the Council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the *P&E Act*. You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright.



- MELWAY REF **REF.**
- SITE SOIL CLASSIFICATION
CLASS 'P' TO AS 2870-2011
- DWELLING & GARAGE: WAFFLE POD CONCRETE SLAB.
- SITE CUT AND FILL TO **RL 98.60**
- FREEBOARD **310mm**
- REBATE TO HOUSE **135mm**
- STEP DOWN TO PORCH **135mm**
- STEP DOWN TO GARAGE **N/A**

 DENOTES AREA OF ADDITIONAL SITE SCAPE DUE TO WAFFLE POD STEP DOWN

- PROPERTY SUBJECT TO HIGH WIND SPEEDS OF **N1 RATINGS (28 m/s)**
- POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY, THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

SLIMLINE WATER TANKS LOCATED TO REAR OF DWELLING WILL HAVE ALLOWANCE TO SUPPLY WATER FOR FIRE FIGHTING. CFA CONNECTION POINT TO BE LOCATED TO FRONT OF DWELLING. TO BE CONFIRMED AS PER TOWN PLANNING PERMIT & CFA REQUIREMENTS

BAL-29
PROVIDE BURNING RATED CONSTRUCTION TO COMPLY WITH CLAUSES 7.4, 7.5, 7.6, 7.7 AND 7.8 OF THE AUSTRALIAN STANDARD AS 3098-2006 AND SHALL INCORPORATE BUT IS NOT LIMITED TO, THE FOLLOWING RULES:
EXTERNAL WALLS
• CLADDING MAY BE: FIBRE CEMENT SHEET CLADDING NOT LESS THAN 10MM THICK OR METAL SHEETING OR ANY COMBINATION OF THESE.
• FINISH ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS TO PREVENT GAPS GREATER THAN 3 MM.
• JOINTS AND VERTICALS TO BE SCREENED WITH ALUMINIUM MESH WITH MAXIMUM APERTURE SIZE OF 2MM.
• SCREEN FITTED SCREENS FOR WINDOWS AND DOORS TO HAVE ALUMINIUM FRAMES AND ALUMINIUM MESH WITH MAXIMUM APERTURE SIZE OF 2MM AND SHALL FIT CLOSELY TO PREVENT GAPS GREATER THAN 3MM.
SCREENS
• SCREENS SHALL BE CONSTRUCTED WITH 2MM MINIMUM THICKNESS TOLERANCE GLASS TO ALL WINDOWS.
• THE OPENABLE PORTION SHALL BE SCREENED.
• WINDOWS LESS THAN 400MM FROM THE GROUND OR DECK OR CHIMNEY/GARAGE ROOF WITH PITCH LESS THAN 18 DEGREES SHALL BE SCREENED EXTERNALLY.
DOORS
• FRONT ENTRY AND GARAGE REAR ACCESS DOORS (IF APPLICABLE) TO HAVE METAL OR BUSHING-RESISTING TIMBER DOOR FRAME.
• ALUMINIUM HINGED FLYDOOR WITH ALUMINIUM MESH TO ALL EXTERNAL HINGED DOORS.
SCREENS
• DRAUGHT EXCLUDERS/SEALS AT BASE OF ALL EXTERNAL HINGED DOORS.
• HINGED DOORS WITH GLAZING SHALL USE TOLERANCE GLASS, MINIMUM 10MM THICK.
• GLAZED DOORS TO HAVE EXTERNAL ALUMINIUM FRAMES ALONG FLYDOORS WITH ALUMINIUM MESH WITH MAXIMUM APERTURE SIZE OF 2MM TO THE OPENABLE PORTION. THE FIXED PORTION SHALL BE SCREENED ALSO OR TO HAVE 2MM TOLERANCE GLAZING.
• GARAGE DOORS TO BE FITTED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS, WITH GAPS NO GREATER THAN 3MM. KITCHEN BUSH ON TOP IN CONTACT WITH DOOR.
• BREAKDOWN OVER GARAGE DOOR OPENING.
ROOFS
• ROOF TO BE FULLY SHARDED DIRECTLY BELOW ROOF RAYONS AND EXTENDING INTO GUTTERS AND VALLEYS. PREVENT GAPS WHERE SHARDED MEETS FASCIA, GUTTER, VALLEY AND THE LINE. INSTALL STORM SEALS TO BOTH SIDES OF VALLEYS.
• SHEET ROOFING MAY HAVE POLY-BACKED INSULATION INSTALLED OVER SHEETS. SHEETS GREATER THAN 2MM TO BE SCREENED WITH ALUMINIUM MESH WITH MAXIMUM APERTURE SIZE OF 2MM.
• EXPOSED ROOFING LATHES SHALL HAVE A NON-COMBUSTIBLE COVER WITH MESH MADE OF 2MM BRONZE OR ALUMINIUM MAXIMUM APERTURE SIZE OF 2MM.
• COLORBOND FASCIA AND BARGEBOARDS FIXED AT 400MM CTS (TRUSSES AT 400MM CENTRES).
PIPES OR CONDUIT (VENT PIPES, FLUES AND THE LIKE) THAT PENETRATE THE ROOF COVERING SHALL BE NON-COMBUSTIBLE.
• PENETRATION IN ROOF COVERING SHALL BE FITTED WITH ALUMINIUM EMERGENCY GUARD MESH WITH 2MM MAX APERTURE.
• ALL ROOF PENETRATIONS TO BE SEALED TO PREVENT GAPS GREATER THAN 3MM.
• METAL FLASHING/SHOULDER COLLARS TO ROOF PENETRATIONS.
• FLASHINGS SHALL COMPLY WITH REQUIREMENTS FOR WALLS.
• PROVIDE ROOF VENTILATION TO FULLY SHARDED ROOFS.
SCREENS AT GUTTERS
• SCREENS, STAYS AND LATHING SHALL BE MADE FROM NON-COMBUSTIBLE MATERIAL OR BUSHING-RESISTING TIMBER.
• SCREENS TO HAVE 2MM MINIMUM SPACING, MINIMUM 2MM SPACING.
WATER TANKS
• ALL ABOVE GROUND EXPOSED PIPES (WATER & GAS) TO BE METAL.

PLANNING PERMIT REQUIRED AS PER PSI

NOTE RE BAL: IF THE BAL RATINGS COME BACK HIGHER, SOME MATERIALS ARE SUBJECT TO CHANGE AS PER BAL REQUIREMENTS.

SITE COVERAGE ANALYSIS	
BUILDING AREA:	176.00 sq.m
SITE AREA:	1886.00 sq.m
SITE COVERAGE:	9.33 %

DATE	AMENDMENT	BY
26.10.16	ADD FORM 8 POST TENDER (06.10.16) PQ to CON.	RS
26.10.16	ADD SOIL AND SURVEY.	RS
02.11.16	ADD GV DOCS.	RS
22.11.16	ADD PCV01 & AMENDMENT FOR TP.	RS
13.12.16	ADD PCV0 2	SK
19.12.16	AMENDMENTS FOR TOWN PLANNING	EA
23.12.16	TANK NOTES UPDATED	EA

LOT 9
SINGLE STOREY
WEATHERBOARD DWELLING
FASCIA AND GUTTER

RIDGE HT 107.55m

T.B.M. -
ELECTRICITY PIT
R.L. 100.00

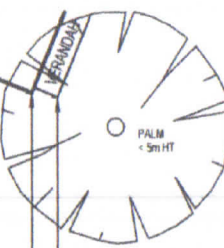
EDGE OF BITUMEN

AMPHLETT AVENUE
268°57' 21.34

PROPOSED CROSS-OVER BY
CLIENT AFTER HAND OVER TO
COUNCIL REQUIREMENTS
(Cross Over 3m wide)



LOT 11
SINGLE STOREY
WEATHERBOARD DWELLING
FASCIA AND GUTTER



Ref to Arborist Report for
Width of Canopy of Trees for
Trees 1, 2, 3, 4 28 & 29

SIMONDS HOMES VICTORIA P/L ACN 050 197 810
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ENQUIRIES 1300 SIMONDS
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INTERNET www.simonds.com.au

THE GREAT AUSTRALIAN BUILDER **SIMONDS**

Spec: **NEW LIVING RANGE**
(ALFRESCO + DINING OPTION + BUTLERS' OPTION)
- DEVELOPMENT DIVISION PURPOSE ONLY -
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View: **SITE PLAN**
Customer: **MS.NICOLE L PHILBRICK & MR.DARREL B BLIGH.**
Address: **LOT 10, 18 AMPHLETT AVENUE, COCKATOO, VIC.**

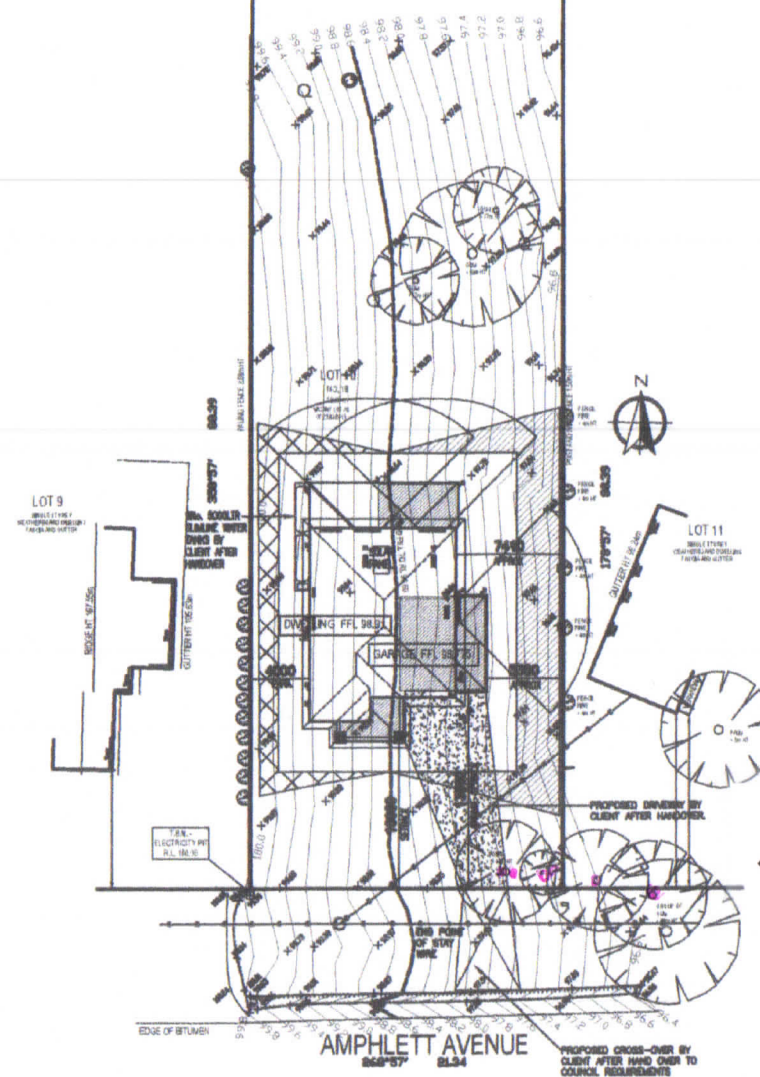
V1

Scale: 1:250@A3
Date: 26.10.16
House: **STANTEN_2814**
Facade: **BALTIMORE**
Drawn: **DB RS** Job No: **51070 CON**
Checked: **RS** Sheet No: **1.1**

LOT 13
SINGLE STOREY
WEATHERBOARD DWELLING
FASCIA AND GUTTER

88°57' 21.34

NO FENCE
1.83m EASEMENT



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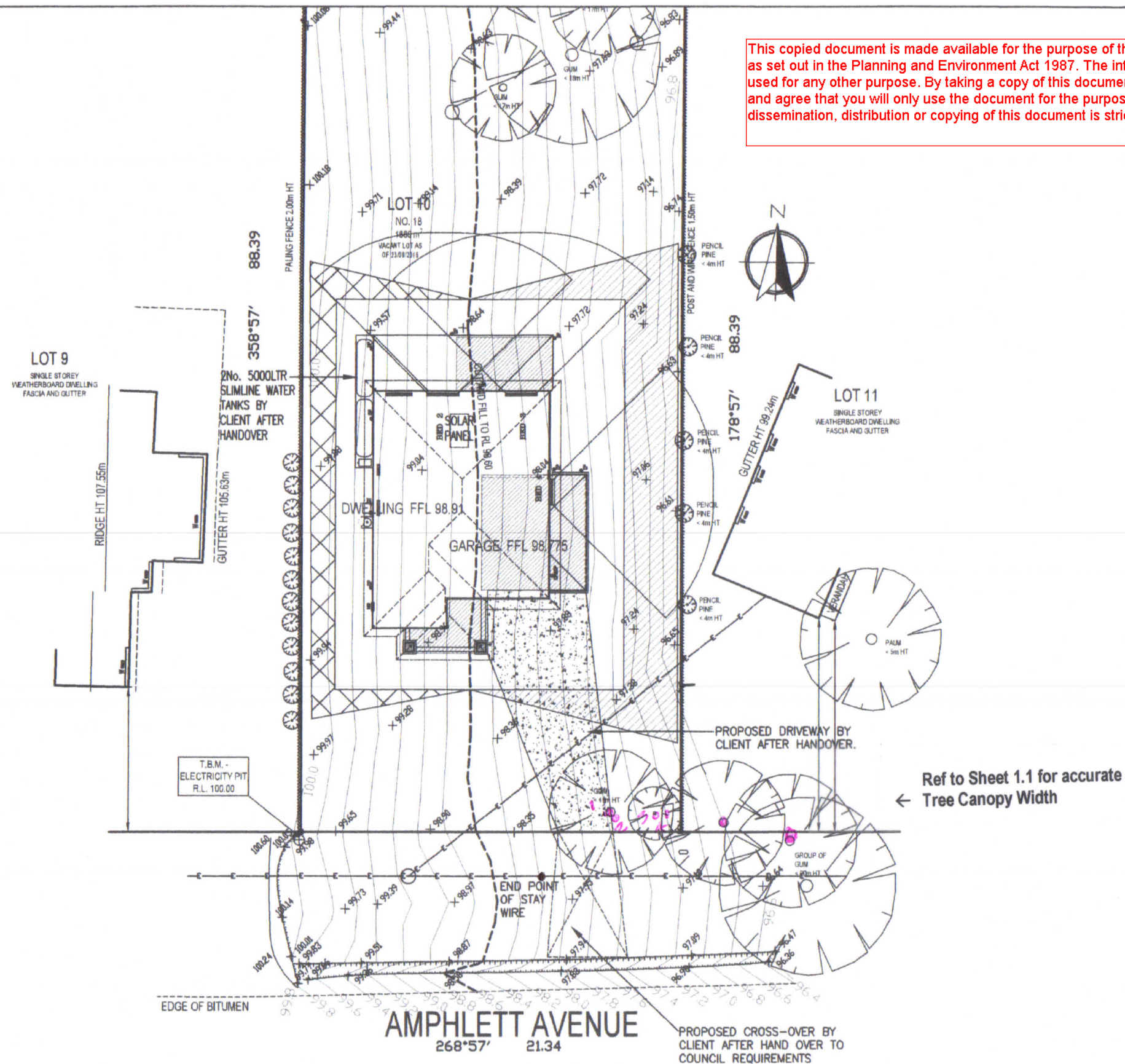
View: **SITE PLAN**
Customer: **MS.NICOLE L PHILBRICK & MR.DARREL B BLIGH.**
Address: **LOT 10, 18 AMPHLETT AVENUE, COCKATOO, VIC.**

V1

Scale: 1:500@A3
Date: 26.10.16

House: **STANTEN_2814**
Facade: **BALTIMORE**
Drawn: **DB RS** Job No: **51070 CON**
Checked: **RS** Sheet No: **1.2**

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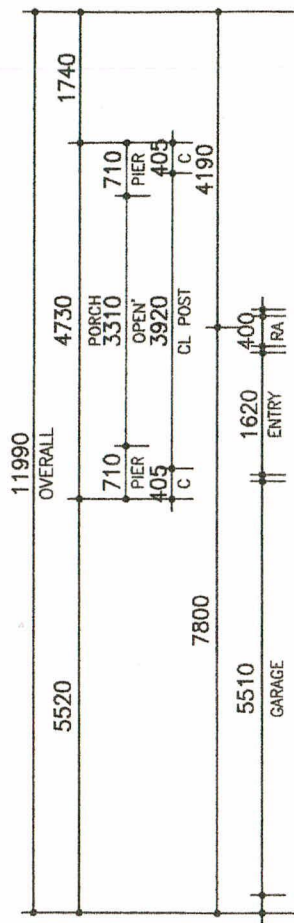
ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS

SELECTED CERAMIC FLOOR TILING

* DENOTES 2340mm CORINTHIAN BALMORAL PBAL 2.

PROVIDE SQUARE SET PLASTER TO GROUND FLOOR.

ELEVATION A



PROVIDE SEALED INSITU WASTE CONNECTION TO GROUND FLOOR BATH & SHOWER WASTE POINTS

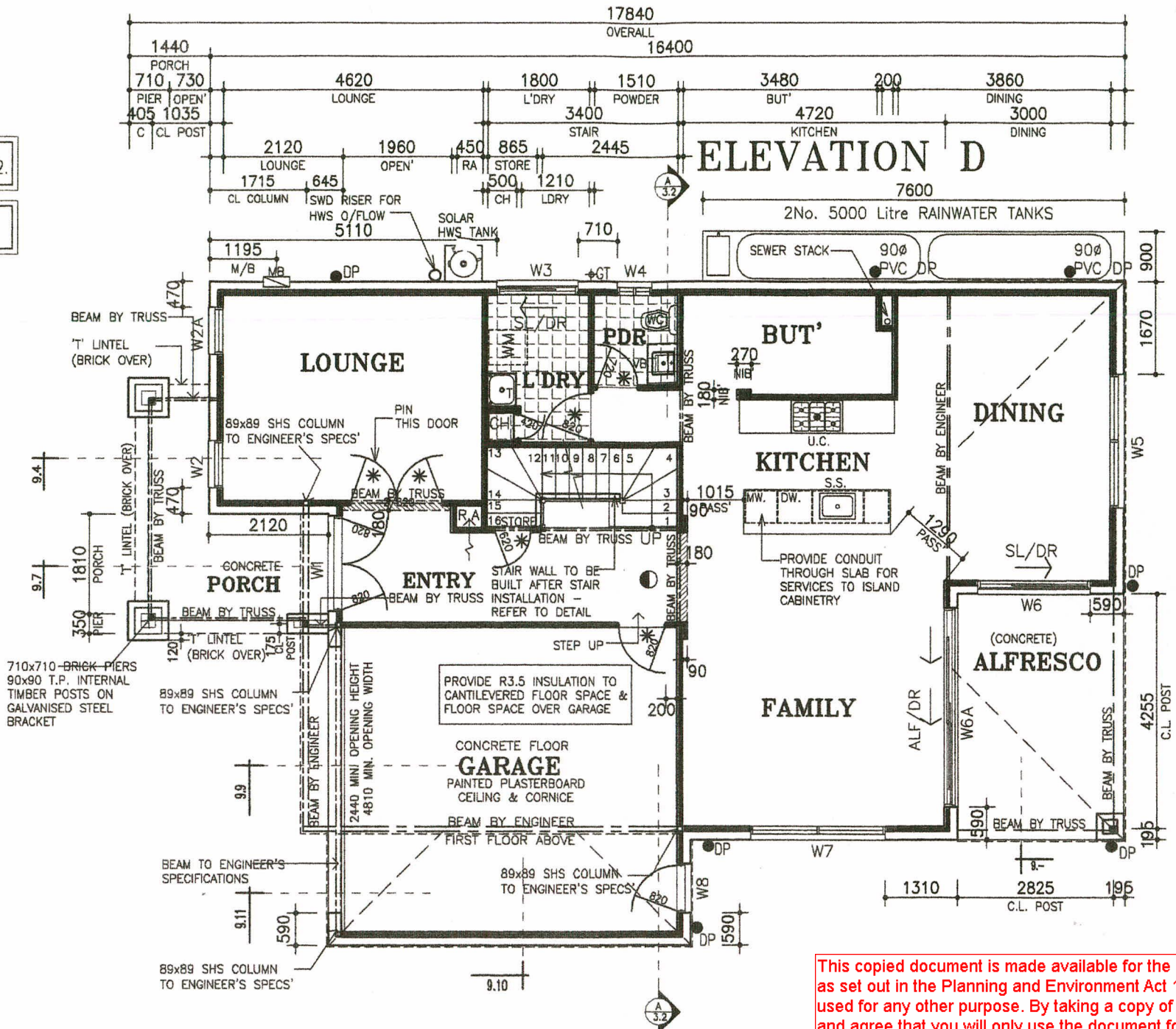
SMOKE DETECTOR TO A.S. 3786 - MULTIPLE POINTS TO BE INTERCONNECTED

MANHOLE

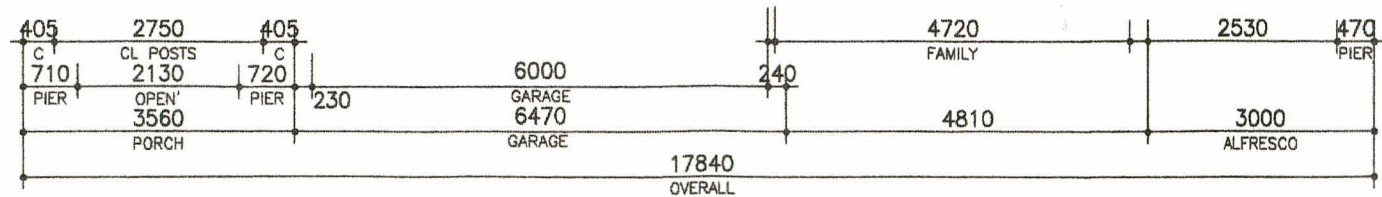
ALL WET AREAS TO COMPLY WITH A.S. 3740

NOTE: ALL SANITARY COMPARTMENTS TO COMPLY WITH CURRENT B.C.A. PART 3.8.3.3.

NOTE: REF. FRE. WM. CO. DW INDICATE POSITION ONLY.



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ELEVATION B

- DENOTES 300mm DEEP BULKHEAD TO PLASTER FACE - UNLESS NOTED OTHERWISE. REFER ALSO INTERNAL ELEVATIONS.

NOTE: BULKHEADS & NIBS ARE NOMINAL SIZES ONLY.

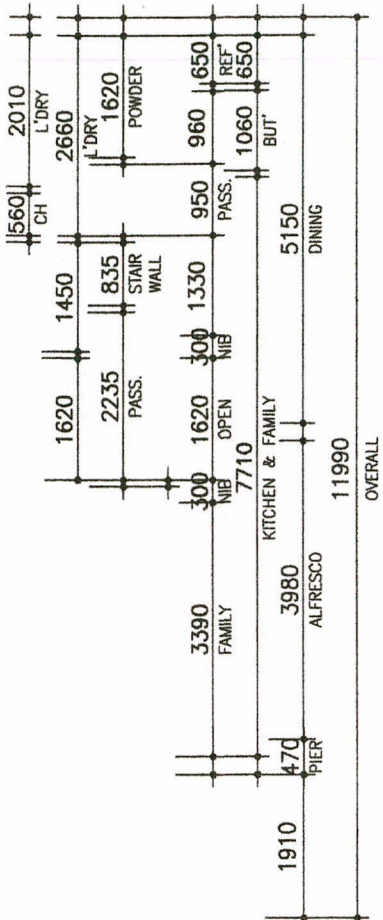
NOTE: LIFT-OFF HINGES TO W.C. DOOR UNLESS DISTANCE TO PAN IS 1.2m OR GREATER

NOTE: DIMENSIONS LOCATING WINDOWS ARE NOMINAL.

NOTE: ALL INTERNAL DOOR HEIGHTS TO BE 2040mm. HIGH UNLESS OTHERWISE NOTED.

NOTE: DIMENSIONS FOR WALL SETOUT ARE NOMINAL & TO FACE OF STUDWORK.

ELEVATION C



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View:

GROUND FLOOR PLAN

Customer:

MS.NICOLE L PHILBRICK & MR.DARREL B BLIGH.

Address:

LOT 10, 18 AMPHLETT AVENUE, COCKATOO, VIC.

V1

Scale: 1:100@A3

Date: 26.10.16

AREAS.

Ground Floor:	115.80	sq.m	12.47	sqr
First Floor:	122.74	sq.m	13.21	sqr
Subtotal:	238.54	sq.m	25.68	sqr
Porch:	10.57	sq.m	1.14	sqr
Garage:	36.28	sq.m	3.91	sqr
Balcony:	9.53	sq.m	1.03	sqr
Alfresco:	13.35	sq.m	1.44	sqr
Total Area:	308.27	sq.m	33.18	sqr

House:

STANTEN_2814

Facade:

BALTIMORE

Drawn:

Job No:

DB RS

51070 CON

Checked:

Sheet No:

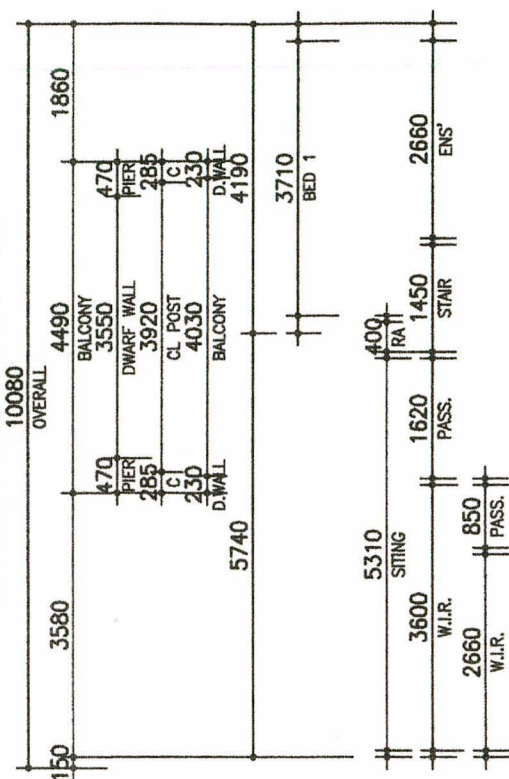
2.1

THE GREAT AUSTRALIAN BUILDER SIMONDS

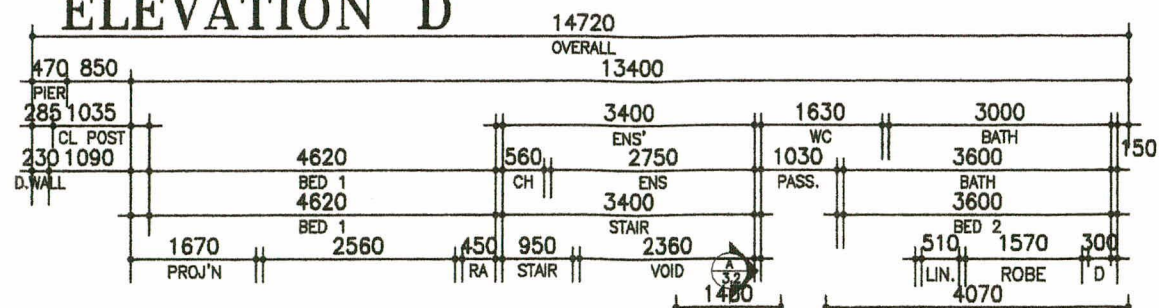
SELECTED OVERLAY TIMBER FLOORING
SELECTED CARPET (EXCL. GARAGE)
SELECTED CERAMIC FLOOR TILING

⊗ PROVIDE 19 No. IMPRESSION CMB DOORS TO FF

ELEVATION A

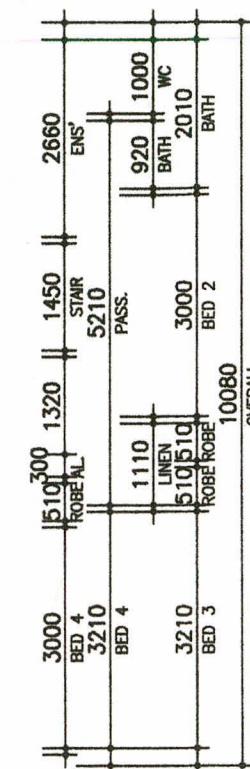
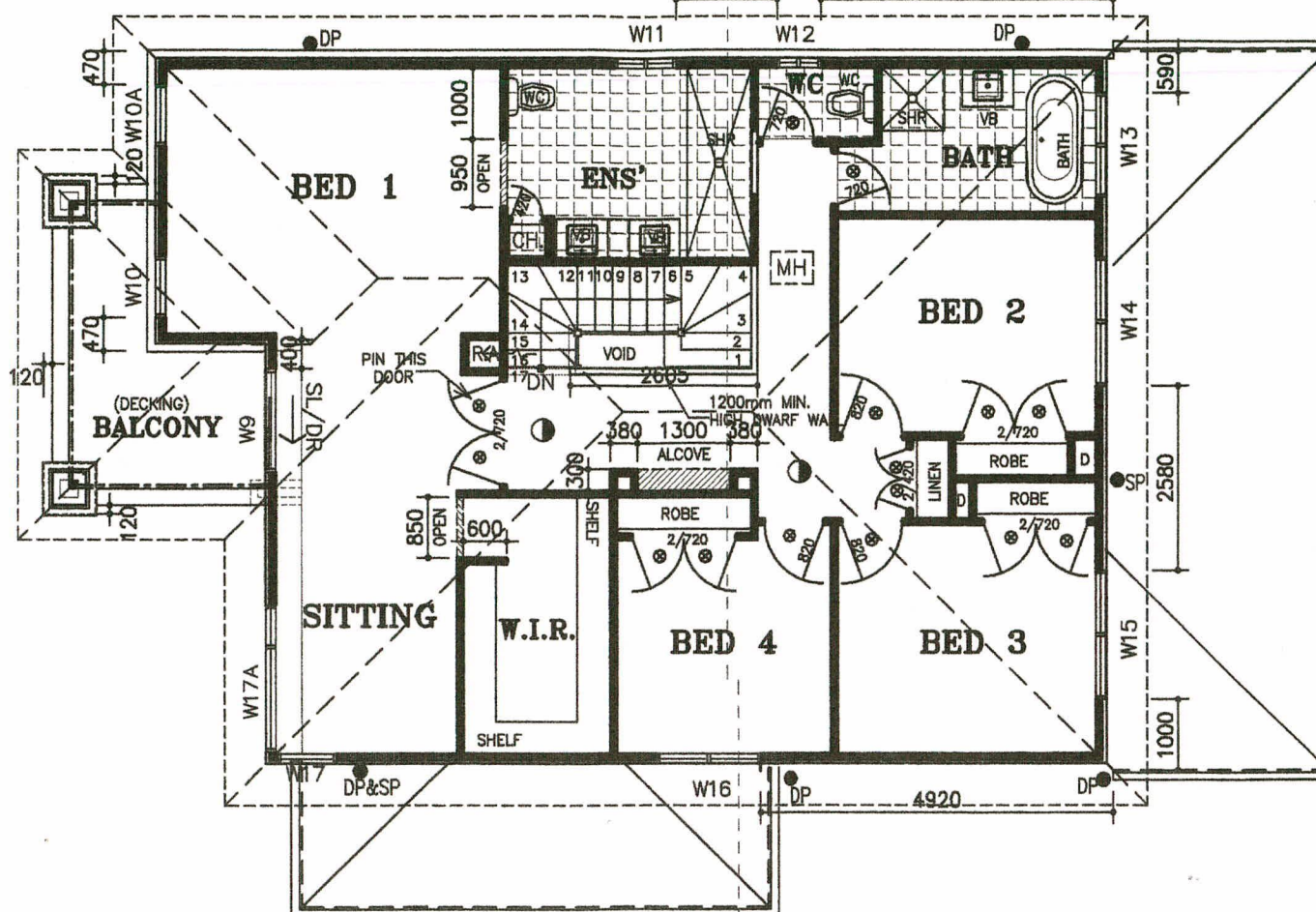


ELEVATION D



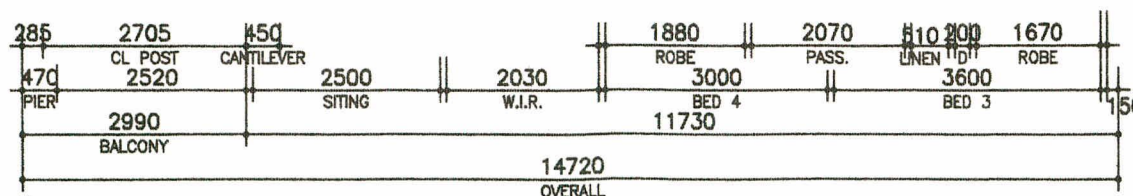
ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS

— DENOTES 150mm DEEP BULKHEAD TO PLASTER FACE — UNLESS NOTED OTHERWISE, REFER ALSO INTERNAL ELEVATIONS.
NOTE: DIMENSIONS LOCATING WINDOWS ARE NOMINAL.
NOTE: ALL INTERNAL DOOR HEIGHTS TO BE 2040mm. HIGH UNLESS OTHERWISE NOTED.
NOTE: DIMENSIONS FOR WALL SETOUT ARE NOMINAL & TO FACE OF STUDWORK.
NOTE: BULKHEADS & NBS ARE NOMINAL SIZES ONLY.
NOTE: LIFT-OFF HINGES TO W.C. DOOR UNLESS DISTANCE TO PAN IS 1.2m OR GREATER



ELEVATION C

ELEVATION B



[MH] MANHOLE

● SMOKE DETECTOR TO A.S 3786 — MULTIPLE POINTS TO BE INTERCONNECTED

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Spec:

NEW LIVING RANGE

(ALFRESCO + DINING OPTION + BUTLERS' OPTION)

— DEVELOPMENT DIVISION PURPOSE ONLY —

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View:

FIRST FLOOR PLAN

Customer:

MS.NICOLE L PHILBRICK & MR.DARREL B BLIGH.

Address:

LOT 10, 18 AMPHLETT AVENUE, COCKATOO, VIC.

V1

Scale: 1:100@A3

Date: 26.10.16

House:

STANTEN_2814

Facade:

BALTIMORE

Drawn:

DB RS

Checked:

Job No:

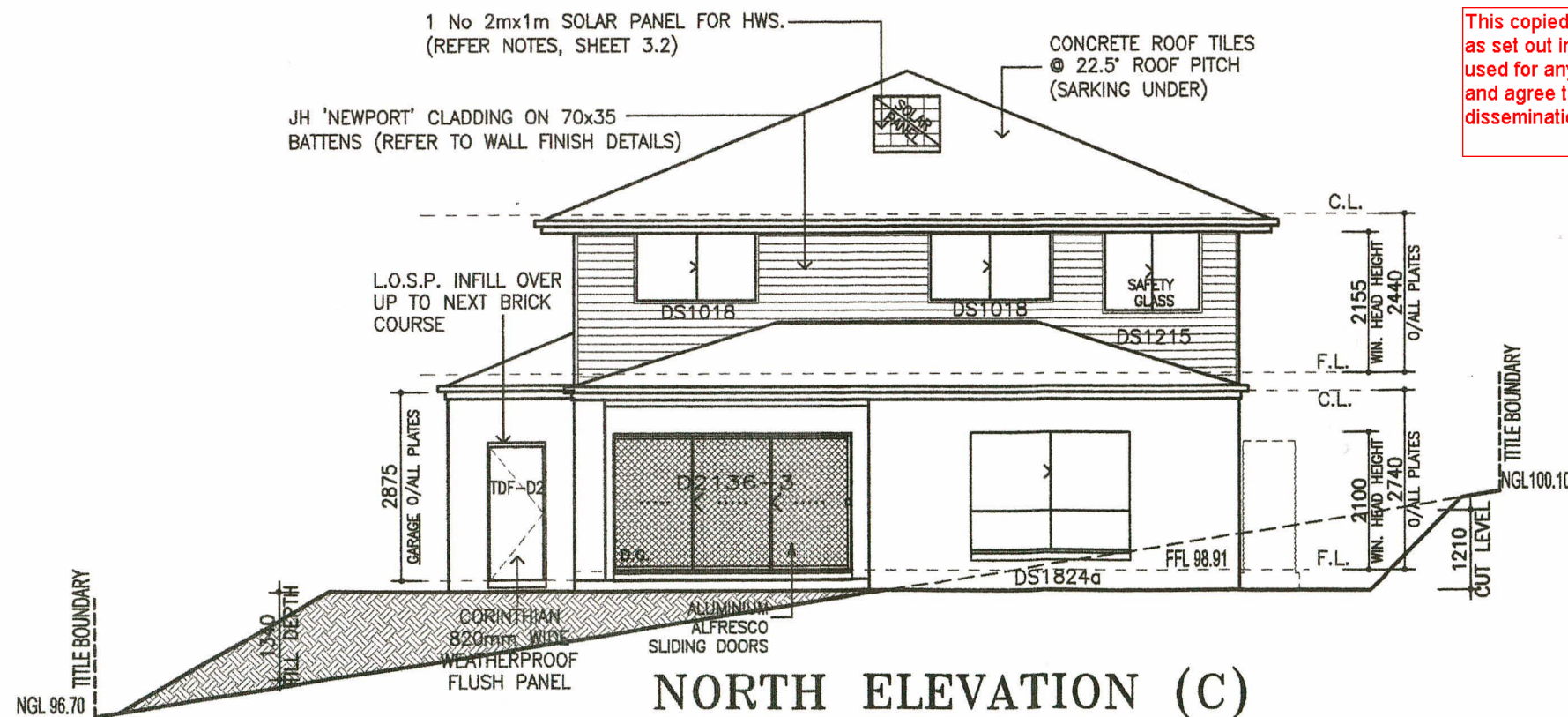
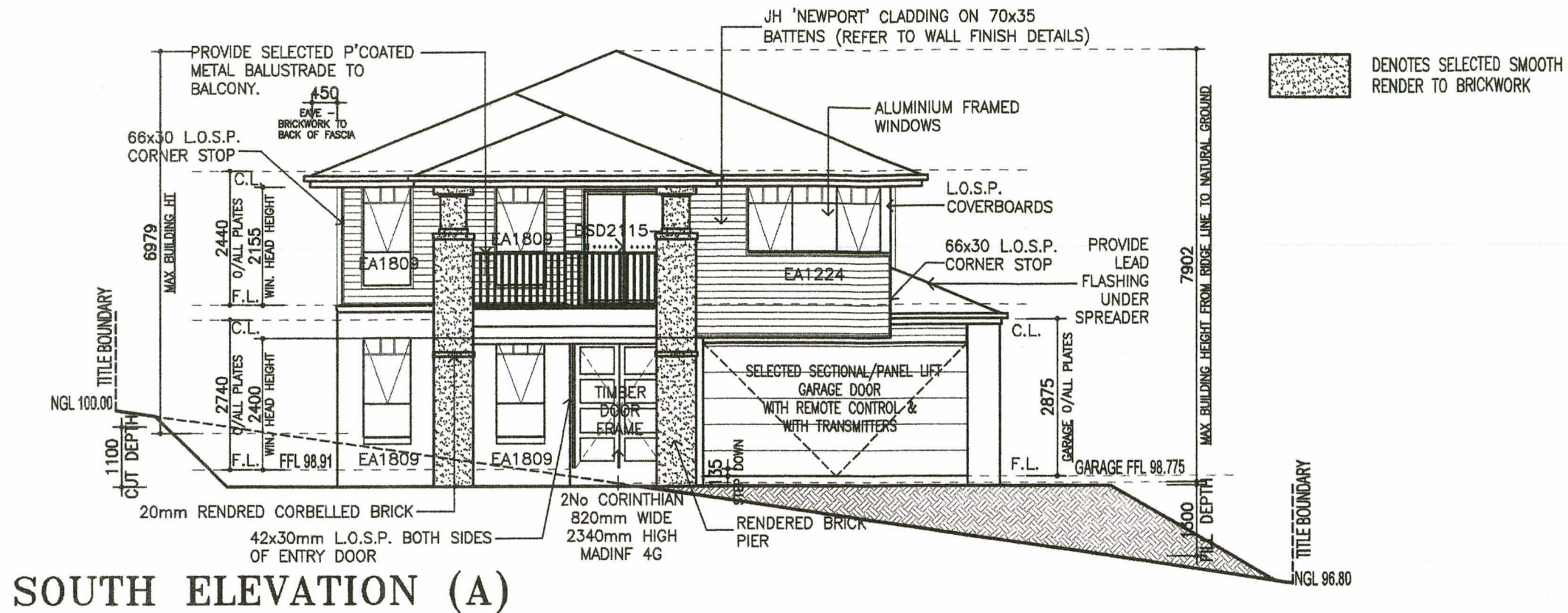
51070 CON

Sheet No:

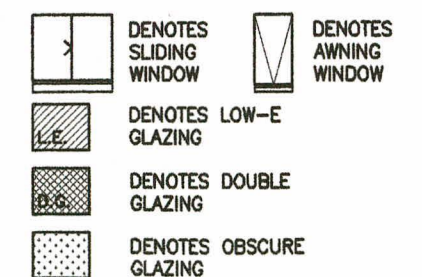
2.2

THE GREAT AUSTRALIAN BUILDER

SIMONDS



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NOTE: ALL WINDOWS TO BE SET AT 2100mm O/A HEAD UNLESS NOMINATED OTHERWISE/IF BRICKWORK OVER, ADJUST HEAD HEIGHT TO WITHIN 5-10mm OF LINTEL
NOTE: PROVIDE BACKFILL TO ALL EXTERNAL OPENINGS TO PROVIDE A 190mm MAX. STEP UP INTO HOUSE AS PER BCA REQUIREMENTS.
NOTE: CONTROL JOINTS TO ENGINEERS RECOMMENDATIONS

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View: **ELEVATIONS 1**
Customer: **MS.NICOLE L PHILBRICK & MR.DARREL B BLIGH.**
Address: **LOT 10, 18 AMPHLETT AVENUE, COCKATOO, VIC.**

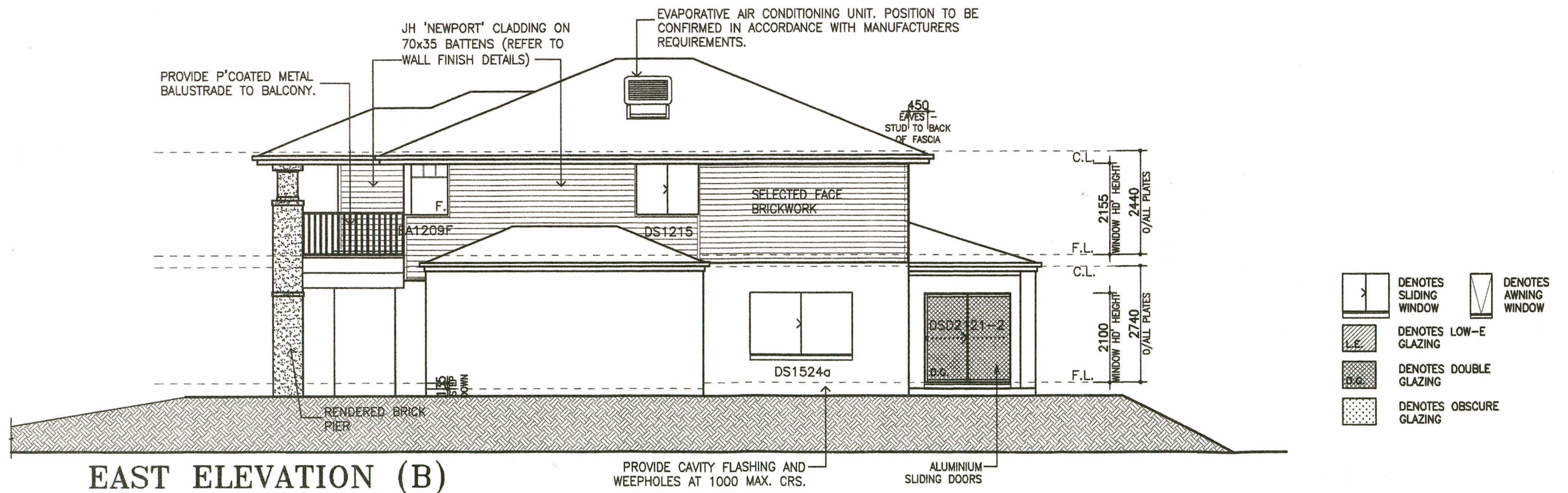
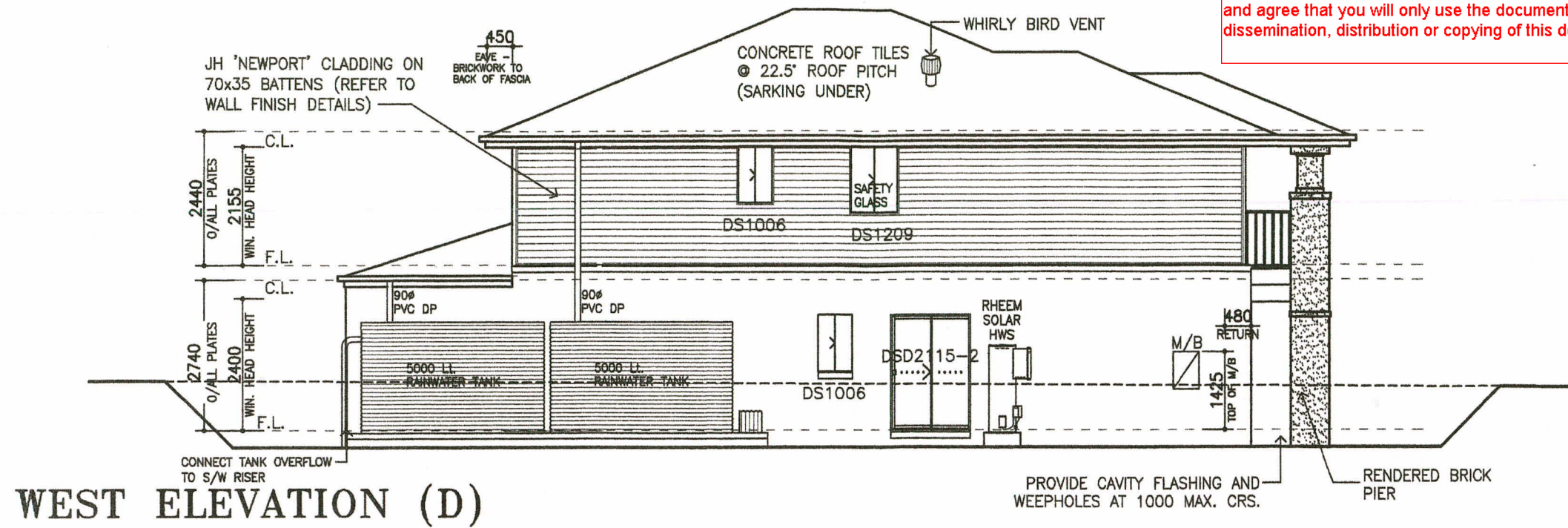
V1

Scale: **1:100@A3**
Date: **26.10.16**

House: **STANTEN_2814**
Facade: **BALTIMORE**
Drawn: **DB RS** Job No: **51070 CON**
Checked: **RS** Sheet No: **3.1**

ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS

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View: **ELEVATIONS 2**
Customer: MS.NICOLE L PHILBRICK & MR.DARREL B BLIGH.
Address: LOT 10, 18 AMPHLETT AVENUE, COCKATOO, VIC.

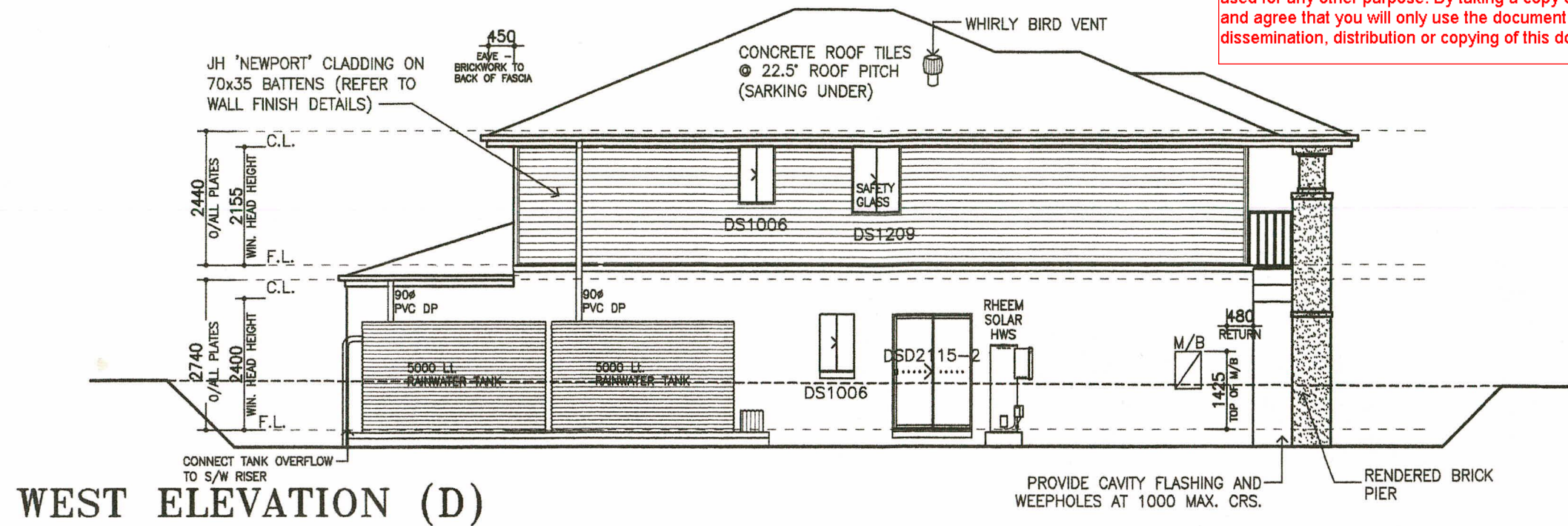
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Scale: 1:100@A3
Date: 26.10.16

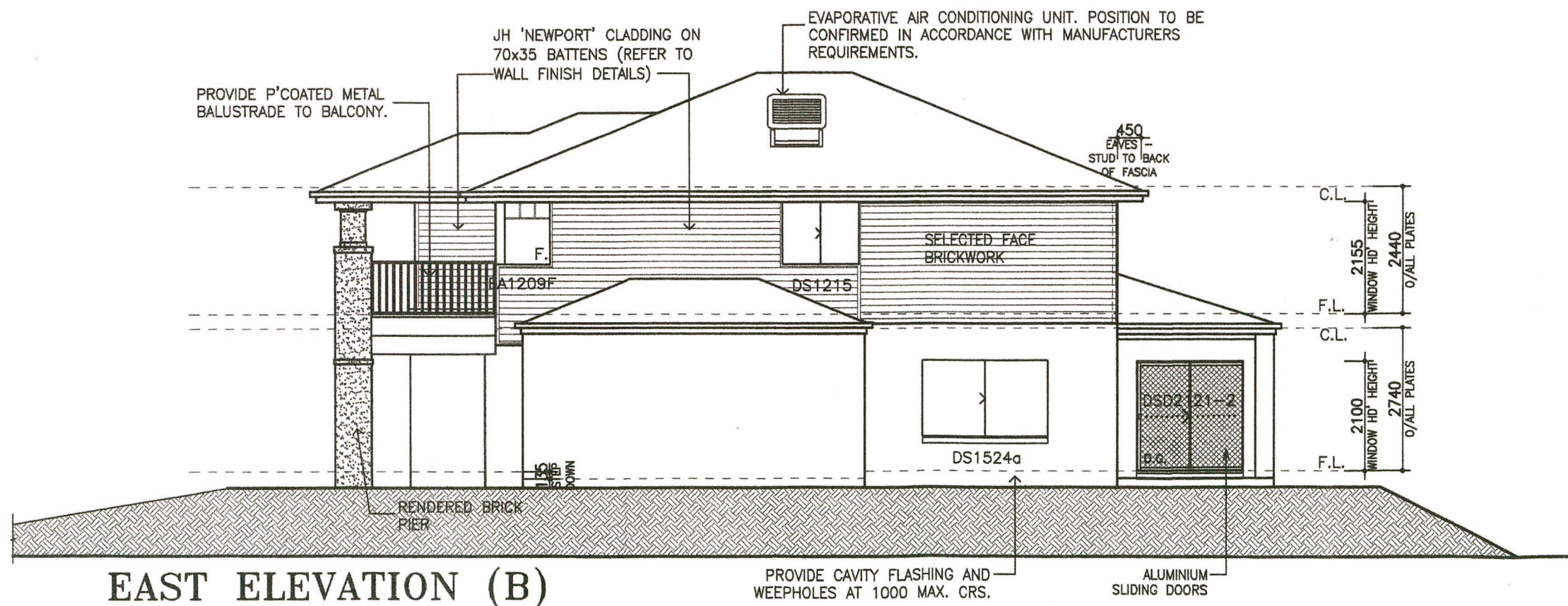
House: STANTEN_2814
Facade: BALTIMORE
Drawn: DB RS Job No: 51070 CON
Checked: Sheet No: 3.2

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WEST ELEVATION (D)



EAST ELEVATION (B)

-  DENOTES SLIDING WINDOW
-  DENOTES AWNING WINDOW
-  DENOTES LOW-E GLAZING
-  DENOTES DOUBLE GLAZING
-  DENOTES OBSCURE GLAZING

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Scale: 1:100@A3
Date: 26.10.16

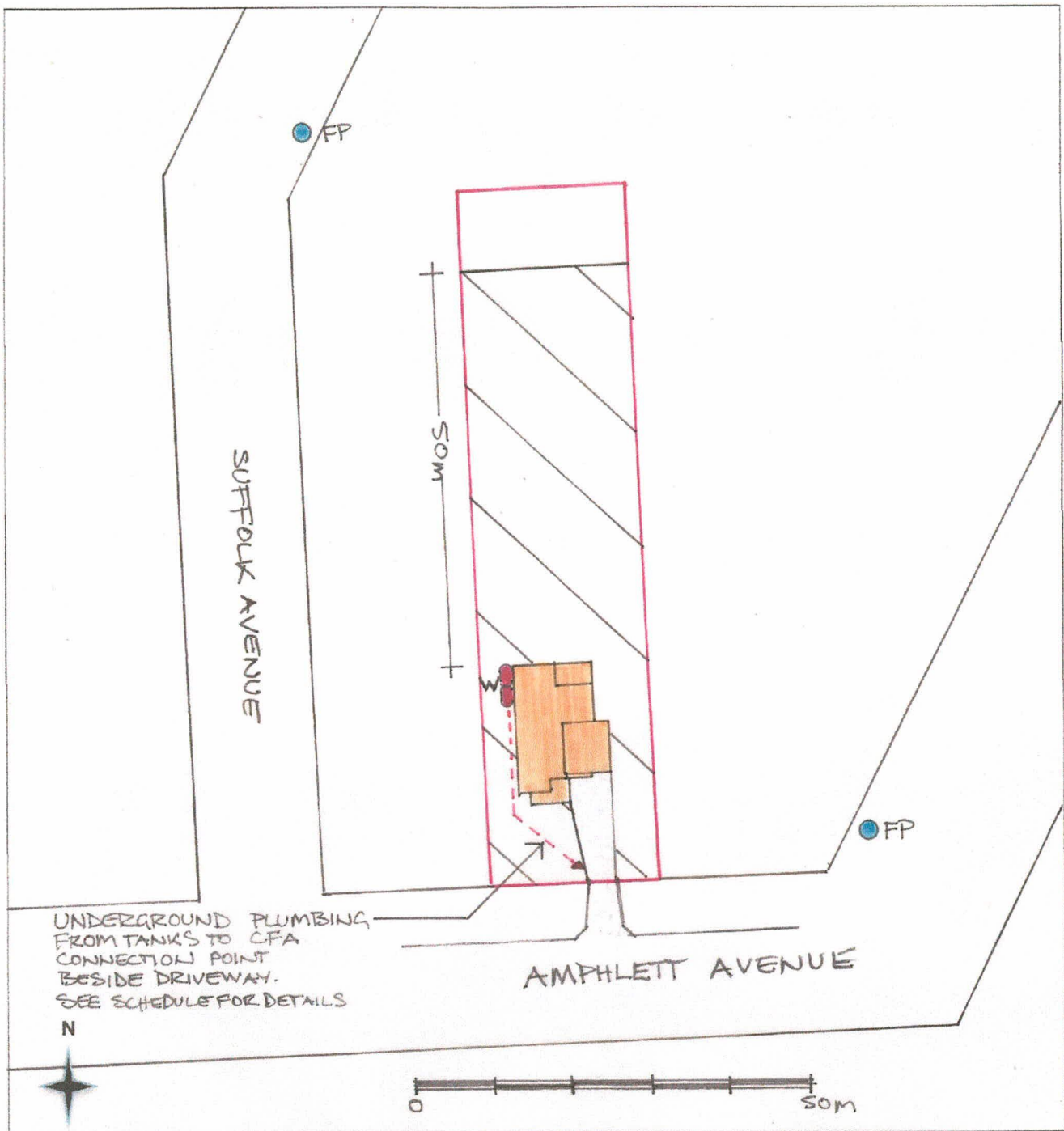
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Facade: BALTIMORE
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BUSHFIRE MANAGEMENT PLAN

18 AMPHLETT AVENUE, COCKATOO

VERSION B

24 December 2016



LEGEND

VEGETATION CLASS: MODIFIED & FOREST

BUSHFIRE ATTACK LEVEL: BAL 29



PROPOSED DWELLING



DEFENDABLE SPACE



PROPOSED ACCESS



W WATER SUPPLY (nominal location)



PROPERTY BOUNDARY



FP HYDRANT / FIRE PLUG

SCALE 1: 750

REFER TO DETAILED SCHEDULE OF BUSHFIRE PROTECTION MEASURES ON THE FOLLOWING PAGE

BUSHFIRE PROTECTION MEASURES SCHEDULE

18 AMPHLETT AVENUE, COCKATOO

DEFENDABLE SPACE VEGETATION MANAGEMENT

Defendable space of 50m or to the property boundary (whichever is the lesser) to be applied in all directions. Within this area, vegetation must be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared Fire Danger Period
- All leaves and vegetation debris must be removed at regular intervals during the declared Fire Danger Period
- Within 10m of a building, flammable objects must not be located close to the vulnerable parts of the building
- Plants greater than 10cm in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under canopy trees.
- Individual and clumps of shrubs must not exceed 5m² in area and must be separated by at least 5m.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5m.
- There must be a clearance of at least 2m between the lowest tree branches and ground level.

WATER SUPPLY FOR FIRE FIGHTING PURPOSES

A water supply with an effective capacity of **10,000 litres** must be established on the site which meets the following requirements:

- Is stored in an above ground tank constructed of concrete or metal
- All fixed above ground water pipes and fittings required for fire fighting purpose must be made of corrosive resistant metal.
- Incorporate a ball or gate valve (65mm BSP) and coupling (64mm CFA 3 TPI male fitting)
- The outlet of the tank must be within 4m of the access way and be unobstructed.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the CFA must be provided.
- Any pipework and fittings from the tank to the remote outlet/riser must be a minimum 100mm, Class 12
- The riser pipe and fittings from the feeder pipe to the outlet can be reduced to a minimum 65mm, Class 12 pipe (excluding CFA coupling)
- The centre line of the suction connections shall be located at a height between 450mm and 600mm from the finished ground level
- All below ground pipelines to be installed to at least the following depths:
 - 300mm if subject to vehicle traffic
 - 75mm under dwellings or concrete slabs
 - 225mm in all other locations

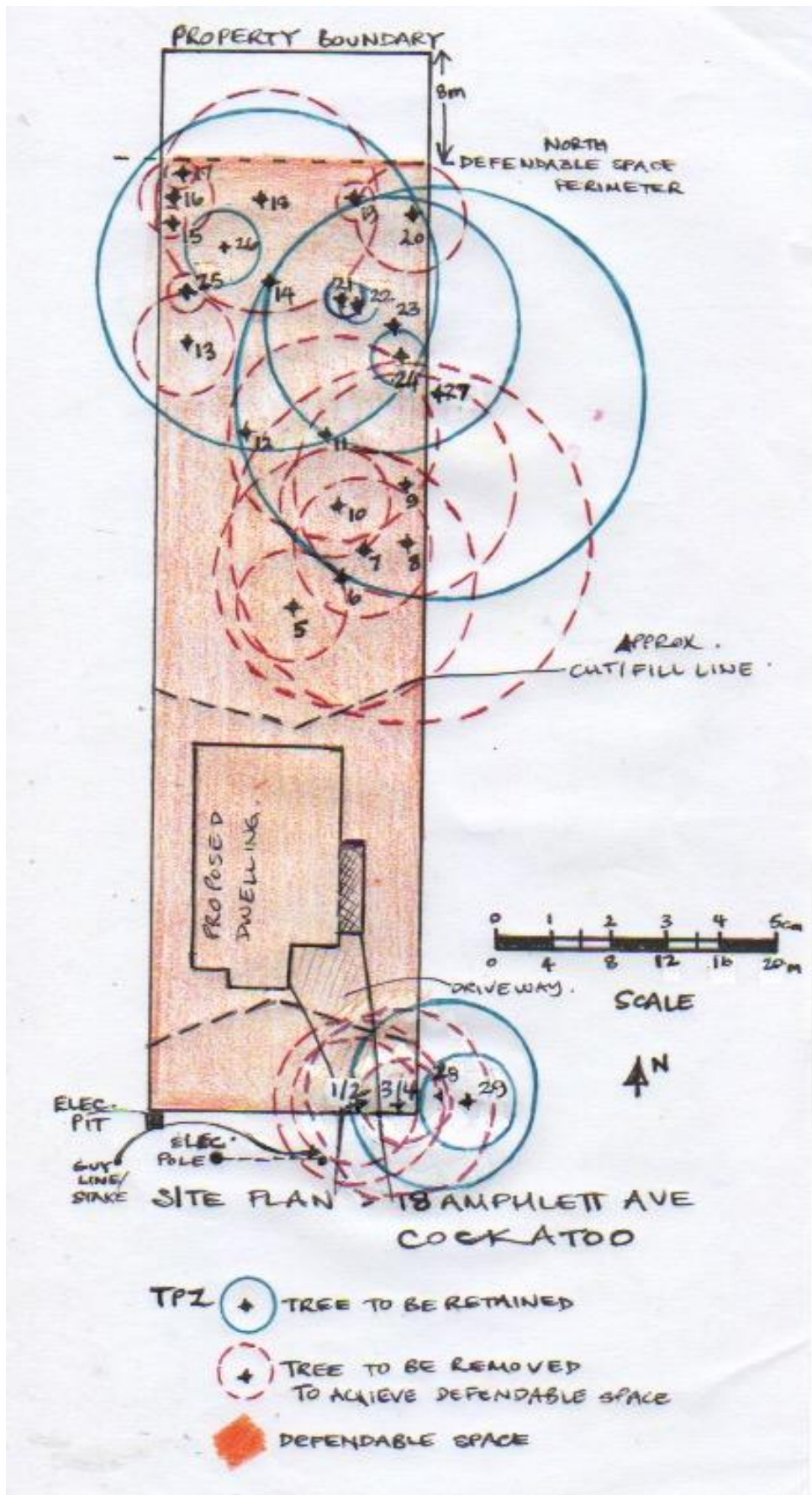
ACCESS DESIGNED TO ACCOMMODATE CFA ACCESS

- Not required - Length of driveway is less than 30m.
- Access to within 4m of the water supply outlet will be provided.

CONSTRUCTION

The **dwelling** must be designed and constructed to a minimum Bushfire Attack Level of **BAL 29** in accordance with AS3959-2009

No construction requirements are being applied to the **shed**



Map 3 Site Map showing tree location and defendable space

Vegetation Assessment

3.0

Table 1. Tree List at 18 Amphlett Ave, Cockatoo

No.	Species	DBH cm	TPZ m	SRZ m	Hgt~ m	Wth~ m	L.S.	Sig.	ULE yrs	Struct	Roots	Cpy	R/ Ret	Notes
1	<i>Eucalyptus obliqua</i> (Messmate)	47.7	5.7	2.6	15	8	Mat	High	<5	2	2	3	R	Growing with T2, so intertwined if one is removed they would both be lost, large epicormic on W side, insect and possum damage, low use accessway within TPZ, service line through canopy, has had some pruning – healing well, fissures in bark.
2	<i>Acacia dealbata</i>	38.8	4.7	2.5	13	12	Sen	High	<5	1	2	3	R	Growing with T1, lots of included bark between them, branches rubbing, ivy growing at base and up trunk, some deadwood, branches pruned long ago - healing well, low use accessway within TPZ, service line through canopy, cracks in trunk – exuding sap.
3	<i>Eucalyptus obliqua</i>	58.2	6.9	2.9	18	10	Mat	High	5+	2	1	3	R	Growing with T4- if one is removed they would both be lost, lost apical dominance, has a lignotuberous shoot to the N, lots of sap, fence within SRZ/TPZ.
4	<i>Acacia dealbata</i> (Silver Wattle)	28.6	3.4	2.1	15	7	Mat	High	5+	2	1	3	R	Growing right next to Tree 3 they have included bark together – trunks no more than 30cm apart up higher, some deadwood, some previous pruning, lots of sap, single

														sided – allelopathic effect from T2, exposed SR, fence within SRZ/TPZ.
5	<i>Eucalyptus obliqua</i>	38.2	4.6	2.4	15	4	Sen	High	<5	1	1	2	R	Growing on an island from altered NGL, all canopy is epicormics, lost apical dominance, large scar on E side, trunk ooze, termites & beetles, insect damage to leaves.
6	<i>Eucalyptus obliqua</i>	82.8	9.9	3.4	19	19	Mat	High	<5	1	3	3	R	Bifurcated up high – repeated, burnt S side, lots of large deadwood, dieback from tips, trunk insect galls, exposed large SR, lots of sap, altered NGL.
7	<i>Eucalyptus obliqua</i>	44.6	5.3	2.6	19	7	Sen	High	<5	1	3	3	R	Lost apical dominance, insect galls, lots of sap, majority of canopy is epicormics, lifting bark, insect damage. Recommended
8	<i>Eucalyptus obliqua</i>	105.0	12.6	3.5	20	15	Sen	High	<5	1	2	3	R	Bifurcated 2m up high – rot in included bark, burnt trunk SW side, altered NGL, 80% of canopy is epicormics, insect damage, fissures in bark, sap, fence in SRZ/TPZ, existing impact.
9	<i>Eucalyptus obliqua</i>	68.4	8.2	2.9	18	14	Sen	High	<5	1	3	2	R	Bifurcated up high, lots of large deadwood, bark lifting, fissures in bark, recently lost branches, epicormics, insect damage, fence within SRZ/TPZ.
10	<i>Eucalyptus radiata</i>	35.0	4.2	2.4	15	10	Mat	High	5+	2	2	3	R	Majority of canopy is epicormics, dieback from apical tip – shoots bifurcated around this, NGL altered – inc. large depression in TPZ.
11	<i>Eucalyptus obliqua</i>	39.78+ 50.92=	8.0	3.1	18	8	Sen	High	<5	1	2	1	R	Repeated bifurcation, 1 co-dependant fallen, included bark &

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[illegible]

	Wattle)													
22	<i>Acacia mucronata</i>	4+5.5+ 5.5=8	1= 1.5 default										Ret	
23	<i>Eucalyptus cypellocarpa</i>	78.0	9.4	3.1	18	18	Mat	High	5+	2	3	2	Ret	Bifurcated up high - repeated, holly & ivy growing at base, lots of deadwood, insect damage, dieback from tips – thin canopy, disturbance in RZ, fence in SRZ/TPZ.
24	<i>Acacia melanoxylon</i>	11.1	1.3 (2m default)	1.5	6	4	Mat	High	10+	4	4	3	Ret	Reasonable specimen, some deadwood, psyllid infestation, slight lean to E.
25	<i>Eucalyptus cypellocarpa</i>	10	1.2= 1.5Def.										R	
26	<i>Acacia mucronata</i>	13+15 +4.7+ 4.2=21	2.5										Ret	
27	<i>Eucalyptus cypellocarpa</i>	120.0	14.4	3.9	18	18	Mat	High	10+	3	3	4	Ret	Next Door to N. Lots of large epicormics, large scar at base, rope around trunk 2m up, minor deadwood, fence & water tank in SRZ.
28	<i>Eucalyptus macrorhyncha</i> (Red Stringybark)	55.0	6.6	2.8	20	12	Mat	High	5+	2	2	2	Ret	ND – N. Bifurcated up high, allelopathic effect <i>E. obliqua</i> to N, some deadwood, insect damage, fence, services & pond in SRZ/TPZ, should be pruned away from power lines.
29	<i>Eucalyptus obliqua</i>	30.0	3.6	2.1	14	10	Mat	High	<5	1	2	3	Ret	ND – N. lost apical dominance, epicormics, odd branching, allelopathic effect – leaning on fence, insect damage, fence, services & pond in SRZ/TPZ.

Legend:

DBH = Diameter at Breast Height, measured in centimetres, L.O.T. in EVC 16 = 70cm

Hgt = Height, measured in metres

Wth = Width, measured in metres

TPZ = Tree Protection Zone, calculated as 12 x DBH

SRZ = Structural Root Zone => Xm

L.S. = Life stage:

Young

Mat = Mature

Sen = Senescing

Sig. = Significance, assessed as high, moderate or low

ULE = Useful Life Expectancy, estimated in years

Struct. = Structure, scored out of 5 (1=poor to 5=excellent)

Roots = root environment health, scored out of 5

Cpy = Canopy health, scored out of 5

R/Ret = tree proposed to be R=Removed/Ret=Retained

NGL = Natural Ground Level

SR = Structural Roots

ND = Next Door

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