

# Notice of Application for a Planning Permit

**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250481  
Date Prepared: 01 June 2026

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The land affected by the application is located at:	L1 PS440654 V10576 F981 112 Foott Road, Beaconsfield Upper VIC 3808
The application is for a permit to:	Buildings and works for two outbuildings (carport and shed)

**A permit is required under the following clauses of the planning scheme:**

35.06-5	Construct a building or construct or carry out works associated with dwelling
35.06-5	Construct a building within nominated setbacks
42.01-2	Construct a building or construct or carry out works
44.06-2	Construct a building or construct or carry out works associated with dwelling

**APPLICATION DETAILS**

The applicant for the permit is:	[REDACTED]
Application number:	T250481

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

This can be done during office hours and is free of charge.

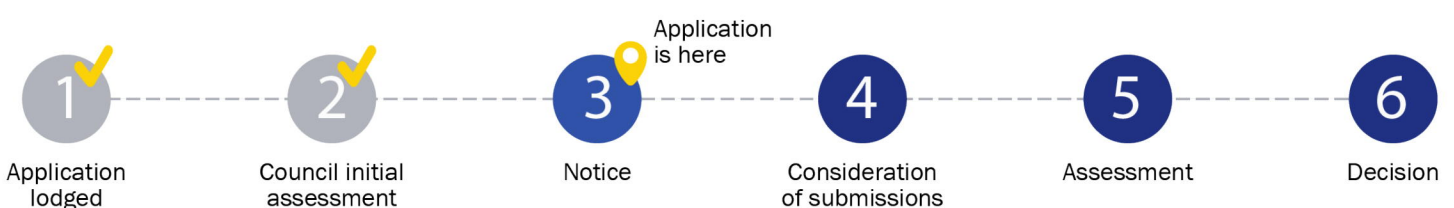
Documents can also be viewed on Council's website at [cardinia.vic.gov.au/advertisedplans](http://cardinia.vic.gov.au/advertisedplans) or by scanning the QR code.



**HOW CAN I MAKE A SUBMISSION?**

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	<b>17 June 2026</b>
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<p><b>WHAT ARE MY OPTIONS?</b></p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> <li>• be made to the Responsible Authority in writing;</li> <li>• include the reasons for the objection; and</li> <li>• state how the objector would be affected.</li> </ul>	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>
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**ePlanning****Application Summary**

Portal Reference A32527LP

**Basic Information**

Proposed Use	A carport adjacent to the existing house.
Current Use	Single dwelling with machinery shed. Existing concrete pad where vehicles are parked is proposed to be covered with a carport
Cost of Works	\$20,000
Site Address	112 Foott Road Beaconsfield Upper 3808

**Covenant Disclaimer**

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

 Note: During the application process you may be required to provide more information in relation to any encumbrances.**Contacts**

Type	Name	Address	Contact Details
Applicant	[Redacted]		
Owner			
Preferred Contact			

**Fees**

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 11 Not more than \$100,000	\$1,302.80	100%	\$1,302.80
<b>Total</b>			<b>\$1,302.80</b>

**Documents Uploaded**

Date	Type	Filename
11-08-2025	Site plans	Foott Road Carport Birdseye.jpg
11-08-2025	Additional Document	VYSBL-498408-1 - Chris MacMeikan - Contracts.pdf

**Civic Centre**  
20 Siding Avenue, Officer, Victoria**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham MC, 3810**Email:** mail@cardinia.vic.gov.au**Monday to Friday 8.30am–5pm**  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	[REDACTED]	112 Foott Road, BEACONSFIELD UPPER VIC 3808	M: 0407-332-920 E: chris.macmeikan@gmail.com
Submission Date	[REDACTED]		

## Declaration

By ticking this check [REDACTED] that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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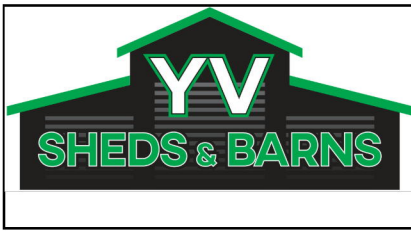
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**Quote / Order for kit building**

Date: 08/08/2025

Quote No: YVSBL-498408-1

Quote No: [REDACTED]

**YV Sheds & Barns**

Registered trading name: YV Sheds & Barns

ABN: 74320635093

Licence:

**Mailing Address-**

1/161 Canterbury rd Kilsyth Vic 3137

Phone- 1300136142

Fax-

Mobile- 1300136142

Sales Email:

[simon.yvsheds@gmail.com](mailto:simon.yvsheds@gmail.com)

Administrator Email:

[admin@yvsheds.com.au](mailto:admin@yvsheds.com.au)

**The user is responsible for entering correct engineering parameters. The engineer will have the right to override any entered design information.**

Phone: 0407332920

[View Shed in 3D](#)



**Building Details**

Wind region: A Terrain Cat: 2.5 Imp LVL: 2 Class: 10a Design Wind Speed: 47 m/s VR: 44.98 m/s MS: 1 MT: 1

Building Series: Domestic Purlin and Girt Type: Z150 Roof Type: Gable Roof Pitch: 22.5 Deg CPI: +0.7, -0.65

**SHED 22.5 Deg**

Span: 7000mm

Length: 12000mm

Gutter Height: 2400 mm

Building Use: 10ad

Base Fixing: On Slab - Dyna Bolt Anchor (5mm) SHS Base Fixing:

Bay size: 6000mm

No. of bays: 2

**Additional Items**

Roof: Ironstone

Ridge: Ironstone

Barge: Ironstone

Gutter: Ironstone

600mm Wide Eave overhang, Grid 1 (Grid A to B)

600mm Wide Eave overhang, Grid 3 (Grid A to B)

**Type**

CORRUGATED 0.42 XRW

Roll Top

0.55 BMT

Trimline Gutter

Unlined eave overhang

Unlined eave overhang

**Quantity**

36

3

4

4

7.6 lineal meters

7.6 lineal meters

**This Quote includes**

Delivery to site subject to T&C

Engineering documents

Full working drawings

**\*\*Council fees additional cost\*\***

**Building Kit Payment Schedule**

Deposit

Manufacture Payment

Kit Total

\$3,480.00

\$10,440.00

\$13,920.00

**Quote Price**

Concrete

Construct

Building Kit Total

**Total Job Estimate INC GST**

\$0.00

\$0.00

\$13,920.00

**\$13,920.00**

**\*\*Concrete pricing is based on 100mm slab with A,S & M soil type unless soil test provided . Concrete to be confirmed upon site visit and clear and level site.**

*I have read the details of the quote, and read the terms and conditions of the order and agree to place this order.*

Chris MacMeikan

Signature: ..... Date: .....

Order accepted by  
YV Sheds & Barns

Signature: ..... Date: .....

**The attached price is valid for a period of 14 days from the date of this quotation!**

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# 112 FOOTT ROAD, BEACONSFIELD UPPER, 3808

- PAGE 1 - COVER PAGE
- PAGE 2 - NOTES
- PAGE 3 - PROPOSED SITE PLAN (1:500)
- PAGE 4 - PROPOSED SITE PLAN (1:200)
- PAGE 5 - PROPOSED FLOOR PLAN - SHED
- PAGE 6 - PROPOSED ELEVATIONS- SHED
- PAGE 7 - PROPOSED ELEVATIONS - SHED
- PAGE 8 - 3D - SHED




















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## SYMBOL LEGEND

 EXISTING TREE	 TPZ - TREE PROTECTION ZONE	 SIDE PIT	 STREET SIGN	 TITLE BOUNDARY	 EXISTING FENCE MEASURE POINT (AS PER RE-ESTABLISHMENT SURVEY)
 EXISTING TREE TO BE REMOVED	 SRZ - STRUCTURAL ROOT ZONE	 FIRE HYDRANT	 SEWERAGE PIT	 EASEMENT LINE	 EXISTING FENCE
 PROPOSED TREE	 TELSTRA PIT	 POWER POLE / STREET LIGHT	 T.B.M RIVET		 EXISTING GATE

	DESIGN & ARCHITECTURAL DRAWINGS BY:- <b>silverpoint</b> BUILDING DESIGNERS AND PLANNING CONSULTANTS Registered Building Practitioner - DP-AD2466 Spiro Perdikomatis - Mobile: 0414 681 787 Email:- info@silverpointbd.com.au	© 2024 COPYRIGHT WARNING THESE PLANS ARE THE EXCLUSIVE PROPERTY OF SPIRO PERDIKOMATIS OF SILVERPOINT AND ARE SUBJECT TO THE COPYRIGHT LAWS OF AUSTRALIA. THE UNAUTHORISED USE, BUILDING, COPYING OR ADAPTATION OF IDEAS CONTAINED IN THESE PLANS IS AN INFRINGEMENT OF COPYRIGHT AND OFFENDERS WILL BE PROSECUTED TO THE FULL LIMITS OF THE LAW. SPIRO PERDIKOMATIS OF SILVERPOINT DOES NOT GRANT THE CLIENT, BUILDER, SUB - CONTRACTOR(S) ETC, THE LICENSE TO BUILD THESE PLANS WITHOUT WRITTEN PERMISSION.	This is the drawing referred to in the contract. These drawings, contract and specifications are the only documents recognised by the builder. No verbal arrangements will be recognised. Any alterations, additions or deletions must be signed for prior to commencement of the works, by owner/s on approved "Variation to contract" form.	SIGNED BY Owner:- ..... Owner:- ..... Builder:- ..... Date:- / /	DRAWN : 20/11/2025 REVISED: 13/04/2026 (V3) REVISED: 14/04/2026 (V4) REVISED: 17/04/2026 (V5) REVISED: 21/04/2026 (V6) REVISED: 21/04/2026 (V7)	<b>COVER PAGE / SITE PLAN</b>
	ADDRESS: 112 FOOTT ROAD, BEACONSFIELD UPPER, 3808			Scale: Dwg No: WD/112-06 Drawn By: VP Sheet: 1 of 8		

GENERAL NOTES 1 (GN1):-		GENERAL NOTES 2 (GN2):-		GENERAL NOTES 3 (GN3):-	
GN1.1	ALL EXISTING CONDITIONS, ETC. TO BE VERIFIED ON SITE PRIOR TO ORDERING & COMMENCEMENT OF ANY WORK WHAT SO EVER TO ENSURE DOCUMENTATION ACCURATELY REFLECTS SITE CONDITIONS	GN2.1	SMOKE ALARMS TO BE HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 9.5. AND TO COMPLY WITH AS3786	GN3.1	EXISTING WALL TO REMAIN
GN1.2	ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERING AND PROJECT SPECIFICATIONS. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL PLANS AND ENGINEERING IS TO BE REPORTED IMMEDIATELY TO THE DESIGNER/ DRAFTSMAN PRIOR TO THE COMMENCEMENT OF ANY WORK WHAT SO EVER. THE SUBSEQUENT CONTINUANCE OF WORK WILL BE DEEMED AN ACCEPTANCE OF ALL LIABILITY BY THE BUILDER/ OWNER/ SUB-CONTRACTOR (WHICH EVER IS APPLICABLE) AND NO LIABILITY WILL BE ACCEPTED BY THE DESIGNER/DRAFTSMAN WHAT SO EVER.	GN2.2	PROVIDE EXHAUST FANS AS REQUIRED, MINIMUM FLOW RATE OF— (A) 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND (B) 40 L/S FOR A KITCHEN OR LAUNDRY. IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 10.8.2	GN3.2	EXISTING WALL TO BE DEMOLISHED
GN1.3	IN THE CASE OF EXTENSIONS AND RENOVATIONS:- THE BUILDER/SUB-CONTRACTOR/ENGINEER (WHERE REQUIRED) AND/OR THE CLIENT IS TO CONFIRM ON SITE EXISTING METHOD OF CONSTRUCTION USED IN EXISTING DWELLING PRIOR TO COMMENCEMENT OF ANY WORK. THE BUILDER/SUB-CONTRACTOR, ENGINEER AND/OR CLIENT IS TO ENSURE THAT THEY HAVE MADE ALL NECESSARY ALLOWANCES BOTH MONETARY AND MATERIAL OR WHAT EVER IS REQUIRED TO SUIT THE EXISTING SITE CONDITIONS. SHOULD ANY DISCREPANCIES OCCUR BETWEEN ALL OR ANY DOCUMENTATION, IT WILL BE THE BUILDERS/SUB-CONTRACTORS AND/OR CLIENTS RESPONSIBILITY TO INFORM THE ENGINEER AND/OR SUPPLIERS OF SUCH CHANGE AND/OR REQUIREMENTS.	GN2.3	ARTICULATION JOINTS IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 5.6.8	GN3.3	(240MM) PROPOSED SELECT BRICK VENEER WALL INSTALLATION TO MANUFACTURERS COMPUTATIONS AND DETAILS
GN1.4	IN THE CASE OF EXTENSION AND OR RENOVATIONS:- THIS DRAFTING OFFICE HAS MADE AN ASSUMPTION IN REGARDS TO THE EXISTING ROOF PITCH AND THE PROPOSED WORKS AND TAKES NO RESPONSIBILITY FOR THE ASSUMPTION. THE BUILDER/ SUB-CONTRACTOR AND/ OR CLIENT SHALL CONFIRM THE EXISTING PITCH AND PROPOSED PITCH ON SITE PRIOR TO ANY ORDERING AND/ OR COMMENCEMENT OF ANY WORK WHAT SO EVER.	GN2.4	THE WORKING DRAWING DIMENSIONS MAY VARY OR BE ADJUSTED TO COMPLY WITH ENGINEERS COMPUTATIONS AND DRAWINGS AND OR EXISTING SITE CONDITIONS.	GN3.4	(230MM) PROPOSED SELECT DOUBLE BRICK WALL INSTALLATION TO MANUFACTURERS COMPUTATIONS AND DETAILS
GN1.5	IN THE CASE OF EXTENSION AND RENOVATIONS:- DUE TO VARIED WALL THICKNESS AND AGE OF THE EXISTING HOUSE, SOME INTERNAL AND EXTERNAL DIMENSIONS MAY VARY FROM THAT INDICATED ON THE ARCHITECTURAL PLANS. THEREFORE THE BUILDER/ SUB-CONTRACTORS AND/ OR CLIENT SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT AND/ OR ORDERING OF ANY WORKS WHAT SO EVER TO ENSURE THEY ARE SATISFIED WITH THE ENCLOSED ARCHITECTURAL DOCUMENTATION. ANY DISCREPANCIES MUST BE NOTIFIED TO THIS OFFICE IMMEDIATELY. FAILURE TO REPORT ANY DISCREPANCIES WHAT SO EVER PRIOR TO COMMENCEMENT OF ANY WORK, AND THE CONTINUANCE OF WORK PROCEEDING WILL BE DEEMED AN ACCEPTANCE OF ALL LIABILITY BY THE BUILDER/ SUB-CONTRACTORS AND CLIENT, AND NO LIABILITY WILL BE ACCEPTED BY THE DESIGNER/DRAFTSMAN WHAT SO EVER.	GN2.5	ALL WET AREAS WALLS AND FLOORS TO BE WATERPROOFED IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 10.2 AND TO COMPLY WITH AS3740 (IF UNENCLOSED SHOWER AREA IS PROVIDED, THE ENTIRE FLOOR IS REQUIRED TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WITH THE WATERSTOP BEING POSITIONED AT THE ENTRANCE DOORWAY OF THE WET AREA.	GN3.5	(230MM) PROPOSED SELECT SINGLE BRICK WALL WITH BRICK PIERS INSTALLATION TO MANUFACTURERS COMPUTATIONS AND DETAILS
GN1.6	THE CLIENT IS TO ENSURE THAT ONLY REGISTERED BUILDING PRACTITIONERS WHO ARE PROPERLY QUALIFIED AND INSURED FOR THE WORK FOR WHICH THEY HAVE BEEN ENGAGED. FAILURE TO COMPLY WITH THIS WILL BE DEEMED AN ACCEPTANCE BY THE CLIENT OF ALL LIABILITY WHAT SO EVER, AND NO LIABILITY WILL BE ACCEPTED BY DESIGNER/DRAFTSMAN WHAT SO EVER.	GN2.6	PROVIDE TILED WATER RESISTANT FLOOR SURFACES TO ALL WET AREAS AS REQUIRED IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 10.2 AND AS3740	GN3.6	(165MM) PROPOSED SELECT RENDERED CLADDING FINISH ON (90MM) STUD WALL. (75MM) LIGHTWEIGHT CLADDING TO BUILDING SURVEYORS SATISFACTION. INSTALLATION TO ENGINEERS COMPUTATIONS AND DETAILS
GN1.7	THE BUILDER/ SUB-CONTRACTOR AND/ OR CLIENT IS TO CHECK AND VERIFY ALL DIMENSIONS INCLUDING ALL LEVELS ON SITE PRIOR TO COMMENCEMENT TO ANY WORKS WHAT SO EVER, AND WHILST EVERY CARE IS TAKEN, NO LIABILITY WILL BE ACCEPTED BY THE DESIGNER/ DRAFTSMAN FOR ANY ERRORS AND/ OR OMISSIONS.	GN2.7	SHOWER BASE AREA TO BE GRADED TO FLOOR WASTE. FLOOR GRADE TO BE 1:60 TO 1:80 FLOOR GRADE TO SATISFACTION OF BUILDING SURVEYOR	GN3.7	(165MM) PROPOSED SELECT WEATHERBOARD CLADDING FINISH ON (90MM) STUD WALL. (75MM) LIGHTWEIGHT CLADDING TO BUILDING SURVEYORS SATISFACTION. INSTALLATION TO ENGINEERS COMPUTATIONS AND DETAILS
GN1.8	THE BUILDER/ SUB-CONTRACTOR/ BUILDING SURVEYOR AND CLIENT ARE TO ENSURE THAT ALL NEW WORK BE IN ACCORDANCE WITH THE "BUILDING CODE OF AUSTRALIA", THE "AUSTRALIAN STANDARDS" AND LOCAL GOVERNING AUTHORITY REQUIREMENTS.	GN2.8	WHERE A THRESHOLD OF A DOORWAY IS MORE THAN 230MM ABOVE THE ADJOINING SURFACE IT MUST INCORPORATE STEPS HAVING RISER AND GOING DIMENSIONS IN ACCORDANCE WITH NVV 20CC HOUSING PROVISION STANDARD - PART 10.2.17	GN3.8	(90MM) PROPOSED SELECT INTERNAL STUD WALL. INSTALLATION TO MANUFACTURERS COMPUTATIONS AND DETAILS. PROPOSED INTERNAL STUD WALL TO BE SIMILAR TO EXISTING
GN1.9	THE BUILDER/ SUB-CONTRACTOR AND/ OR CLIENT ARE TO ENSURE AND CONFIRM WITH OUT FAIL THAT THE SELECTED "TRUSS MANUFACTURER" CARRIES OUT AN ON SITE CHECK MEASURE OF SITE CONDITIONS PRIOR TO COMMENCEMENT OF ANY TRUSS WORKS (WHETHER BEING FLOOR, WALL OR ROOF TRUSSES), AND/ OR ORDERING OF ANY MATERIALS WHAT SO EVER.	GN2.9	WASTE POINT - ENCLOSED SHOWER FLOORING TO BE MINIMUM 1:100 GRADING TOWARDS THE WASTE POINT. INCLUDE FRAME ENCLOSURE, DOORS WITH DEFLECTORS. TO SATISFACTION OF BUILDING SURVEYOR		
GN1.10	THE BUILDER/ SUB-CONTRACTOR AND/ OR CLIENT IS TO ENSURE THAT ALL STORM WATER DRAINS AND SEWER PIPES ARE LOCATED AT A FAR ENOUGH DISTANCE FROM SLABS, EDGE BEAMS AND FOOTINGS SO THAT UNDERMINING AND WEAKENING OF FOOTINGS AND GENERAL MOISTURE PENETRATION AND DAMPNESS WILL NOT OCCUR.	GN2.10	PROVIDE GRADING TO EXTERNAL SURFACES LAND TO BE GRADED AWAY FROM DWELLING 50MM OVER THE FIRST 1000MM TO PREVENT WATER DAMAGE IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 3.3.3		
<b>BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS (BCA:-)</b>		GN2.11	PROVIDE TERMITE COLLARS TO ALL SLAB PENETRATIONS AND RETICULATION SYSTEM TO BE PROVIDED TO PERIMETER OF THE BUILDING. OR SIMILAR ADEQUATE TERMITE MANAGEMENT SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 3.4 AND TO COMPLY WITH AS3660		
BCA.1	TERMITE TREATMENT:- AREA BENEATH BUILDINGS SHALL BE TREATED AGAINST TERMITE INFESTATION, IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 3.4.	GN2.12	WHERE A PLIABLE BUILDING MEMBRANE IS INSTALLED IN AN EXTERNAL WALL, IT MUST- (I) COMPLY WITH AS/NZS 4200.1; AND (II) BE INSTALLED IN ACCORDANCE WITH AS 4200.2; (III) BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6, 7 AND 8 (IV) BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER WHICH FORMS THE EXTERNAL ENVELOPE OF A BUILDING		
BCA.2	CONCRETE:- ALL CONCRETE SHALL COMPLY WITH AS2870 - LATEST EDITION AND SHALL BE MINIMUM N 20 UNLESS OTHERWISE SPECIFIED BY ENGINEER.	GN2.13	ALL WINDOW SIZES NOMINATED ARE NOMINAL ONLY, AND ARE SUBJECT TO CHANGE TO SUIT SELECTED MANUFACTURER PRODUCT RANGE AND SIZES, THE BUILDER TO CHECK MANUFACTURER'S STANDARD SIZES PRIOR TO ANY WORK.		
BCA.3	BRICKWORK:- ALL BRICKWORK TO BE IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 5.1	GN2.14	ALL GLAZING TO BE IN ACCORDANCE WITH AS1288 AND AS2047. WHERE FULL HEIGHT GLAZING IS CAPABLE OF BEING MISTAKEN FOR AN OPENING, GLAZING MANIFESTATIONS/DECALS ARE REQUIRED TO BE PROVIDED. THESE MUST MEASURE MINIMUM 20MM IN HEIGHT AND BE LOCATED BETWEEN 700MM-1200MM ABOVE FINISHED FLOOR LEVEL. A BROKEN LINE/PATTERN IS PERMISSIBLE.		
BCA.4	TIMBER:- FRAMING TIMBER TO COMPLY WITH AS1684 "NATIONAL TIMBER FRAMING CODE", LATEST EDITION.	GN2.15	PROVIDE A MINIMUM 2000L WATER TANKS FOR EACH DWELLING TO BE IN ACCORDANCE AND CONSISTENT WITH PLANNING ENDORSED DRAWINGS. RAINWATER TANKS CONNECTED TO SANITARY FLUSHING SYSTEMS WITH MINIMUM 50M2 ROOF CATCHMENT AREA		
BCA.5	STEEL:- STRUCTURAL STEEL SHALL COMPLY WITH THE REQUIREMENTS OF AS 4100 "STEEL STRUCTURES" - LATEST EDITION.	GN2.16	PROVIDE LIFT OFF HINGES TO ALL DOORS WITHIN 1.2M OF THE CLOSEST PAN		
BCA.6	NATURAL LIGHTING:- NATURAL LIGHTING TO BE IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 10.5.1	GN2.17	ALL FIRST FLOOR WINDOWS WITH A SILL HEIGHT BELOW 1.7M TO BE RESTRICTED TO LESS THAN 125MM OPENINGS.		
BCA.7	VENTILATION:- ALL VENTILATION TO BE IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 10.6	GN2.18	PROVIDE FIXED OBSCURE GLAZING TO 1700MM ABOVE FFL TO AVOID OVERLOOKING TO COMPLY WITH CLAUSE 55.04-6, STANDARD B22. OPERABLE AWNING WINDOW MAX. 125MM OPENING		
BCA.8	IMPERVIOUS COVERINGS - WET AREAS: PROVIDE IMPERVIOUS FLOOR TO ALL WET AREAS IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 10.2	GN2.19	PROVIDE THE FOLLOWING DETAILS TO THE STAIR & BALUSTRADE CONSTRUCTION: A) CONSTANT RISER AND GOING DIMENSIONS BETWEEN 115-190MM AND 240-355MM RESPECTIVELY, WITH A SLOPE RELATIONSHIP (2R+G) BETWEEN 550-700. B) SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN P3 OR R10 (P3 NOSING STRIP ON TREADS ONLY) FOR DRY SURFACES WHEN TESTED IN ACCORDANCE WITH AS4586-2013. C) CONTINUOUS SINGLE HANDRAIL ON ONE SIDE OF THE FLIGHT. HANDRAILS ARE TO HAVE NO OBSTRUCTION ON OR ABOVE THEM THAT WILL TEND TO BREAK A HANDHOLD, EXCEPT FOR NEWEL POSTS, BALL TYPE STANCHIONS, OR THE LIKE. D) BALUSTRADING A MINIMUM 1000MM ABOVE FINISHED FLOOR AND 865MM ABOVE STEPS AND TO ALL AREAS WHERE FALLS ARE GREATER THAN 1000MM. E) ENSURE BALUSTRADING OPENINGS DO NOT EXCEED 125MM WITHIN BALUSTRADING AND BETWEEN TREADS. F) MINIMUM HEAD CLEARANCE TO ACHIEVE NO LESS THAN 2.0M G) SPACING AND SPANS OF WIRE BALUSTRADING ARE TO COMPLY WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 11.3.6 ALL STAIR & BALUSTRADING CONSTRUCTION TO BE CONSTRUCTED IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 11		
BCA.9	EXPOSED METAL:- ALL EXPOSED METAL WORK EMBEDDED IN OR SUPPORTING BRICKWORK TO BE IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 5.6.7 (TABLE 5.6.7B)	GN2.20	PROVIDE FIRE RATED EAVES WITHIN WITHIN 450MM OF THE ALLOTMENT BOUNDARY, - EAVES AND FASCIA BE FIRE RATED TO 60 MINUTES FIRE RESISTANCE, TESTED FROM THE OUTSIDE ONLY. - 2 X 16 MM FIRE RATED PLASTERBOARD TO THE FASCIA. - 2 X 13 MM FIRE RATED PLASTERBOARD TO THE EAVES. - GUTTER (IF ANY) TO BE NON-COMBUSTIBLE. IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 9.2.9		
BCA.10	SUB-FLOOR VENTILATION:- PROVIDE EVENLY DISTRIBUTED SUB FLOOR VENTS IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS STANDARD - PART 6.2	GN2.21	PROVIDE INSULATION IN ACCORDANCE WITH ENERGY REPORT		
		GN2.22	DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS		
		GN2.24	ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.		
		GN2.25	THESE DRAWINGS TO BE READ INCONJUNCTION WITH FULLY CERTIFIED STRUCTURAL ENGINEER'S, COMPUTATIONS, DRAWINGS AND SOIL REPORT.		




**Cardinia**

**ADVERTISED MATERIAL**

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Date Prepared: 01 June 2026

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 <p>DESIGN &amp; ARCHITECTURAL DRAWINGS BY:-</p> <p><b>silverpoint</b></p> <p>BUILDING DESIGNERS AND PLANNING CONSULTANTS</p> <p>Registered Building Practitioner - DP-AD2466</p> <p>Spiro Perdikomatis - Mobile: 0414 681 787</p> <p>Email:- info@silverpointbd.com.au</p>	<p>© 2024 COPYRIGHT WARNING</p> <p>THESE PLANS ARE THE EXCLUSIVE PROPERTY OF SPIRO PERDIKOMATIS OF SILVERPOINT AND ARE SUBJECT TO THE COPYRIGHT LAWS OF AUSTRALIA. THE UNAUTHORISED USE, BUILDING, COPYING OR ADAPTATION OF IDEAS CONTAINED IN THESE PLANS IS AN INFRINGEMENT OF COPYRIGHT AND OFFENDERS WILL BE PROSECUTED TO THE FULL LIMITS OF THE LAW. SPIRO PERDIKOMATIS OF SILVERPOINT DOES NOT GRANT THE CLIENT, BUILDER, SUB - CONTRACTOR(S) ETC, THE LICENSE TO BUILD THESE PLANS WITHOUT WRITTEN PERMISSION.</p>	<p>This is the drawing referred to in the contract. These drawings, contract and specifications are the only documents recognised by the builder. No verbal arrangements will be recognised. Any alterations, additions or deletions must be signed for prior to commencement of the works, by owner/s on approved "Variation to contract" form.</p>	<p>SIGNED BY</p> <p>Owner:- .....</p> <p>Owner:- .....</p> <p>Builder:- .....</p> <p>Date:- / /</p> <p>112 FOOTT ROAD, BEACONSFIELD UPPER, 3808</p>	<p>DRAWN : 20/11/2025</p> <p>REVISED: 13/04/2026 (V3)</p> <p>REVISED: 14/04/2026 (V4)</p> <p>REVISED: 17/04/2026 (V5)</p> <p>REVISED: 21/04/2026 (V6)</p> <p>REVISED: 21/04/2026 (V7)</p>	<p style="text-align: center;"><b>NOTES</b></p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Scale:</td> <td style="width: 50%;">Dwg No: WD/112-06</td> </tr> <tr> <td>Drawn By: VP</td> <td>Sheet: 2 of 8</td> </tr> </table>	Scale:	Dwg No: WD/112-06	Drawn By: VP	Sheet: 2 of 8
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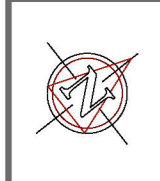
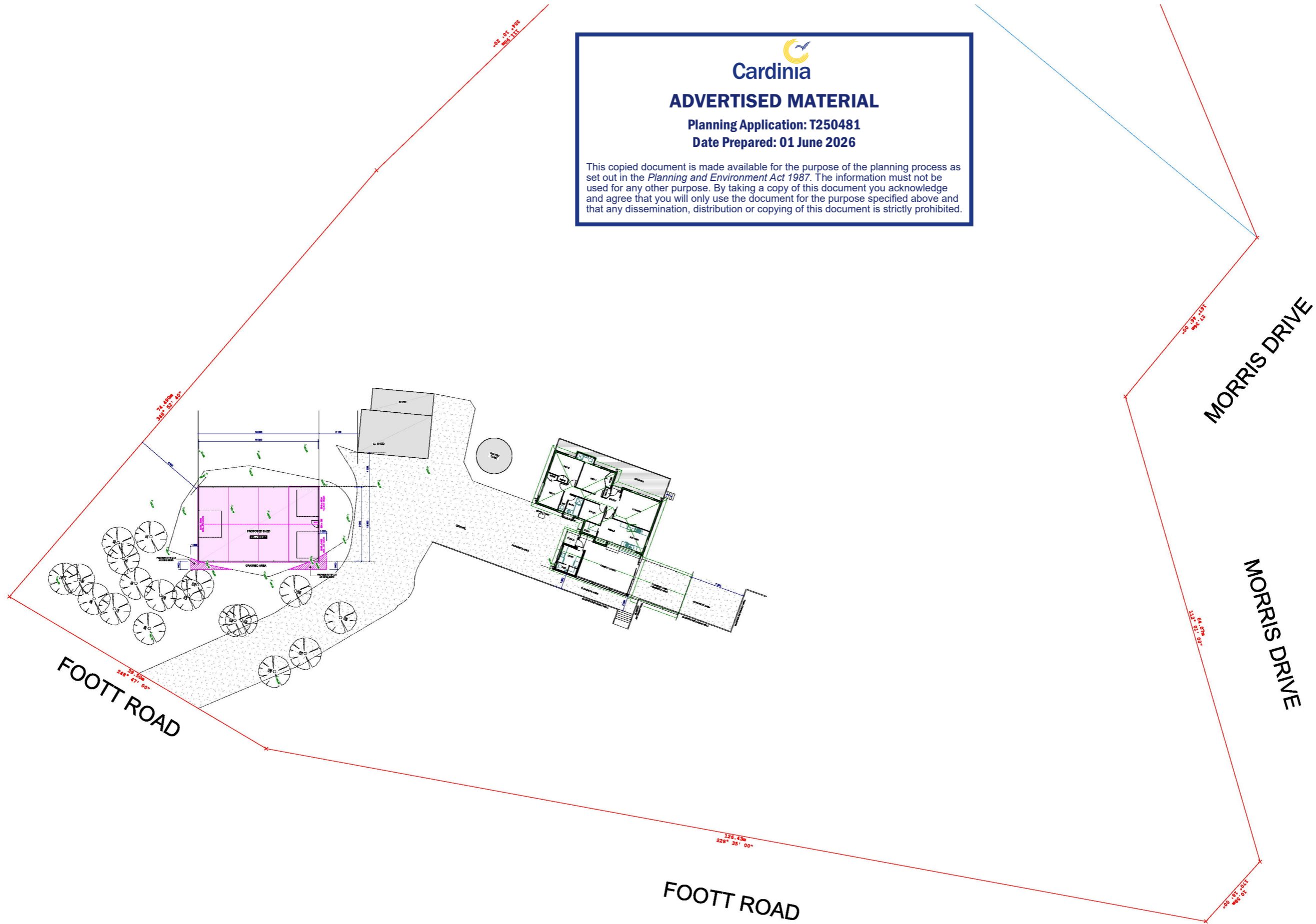
ALL DIMENSIONS AND LEVELS MUST BE VERIFIED PRIOR TO COMMENCING ANY WORK WHATSOEVER OR ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS. ALL WRITTEN DIMENSIONS ARE NOMINAL ONLY.



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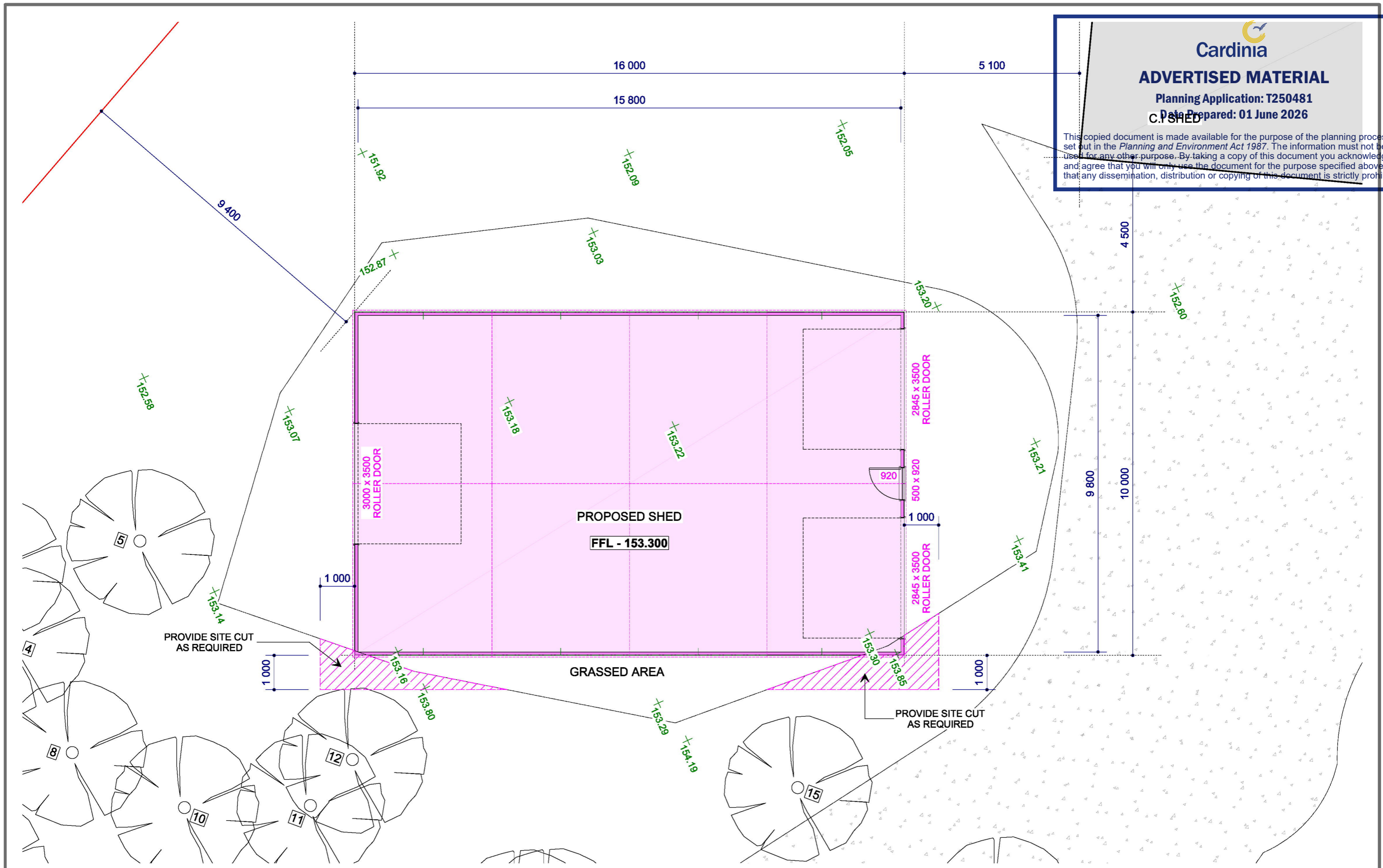
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PROPOSED SITE PLAN (1:500)	
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**PROPOSED FLOOR PLAN SHED**

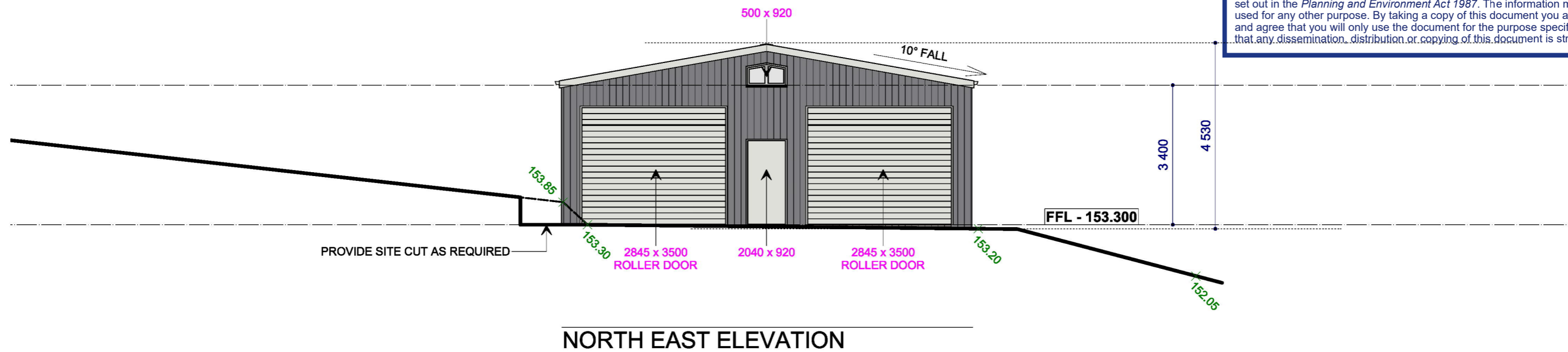
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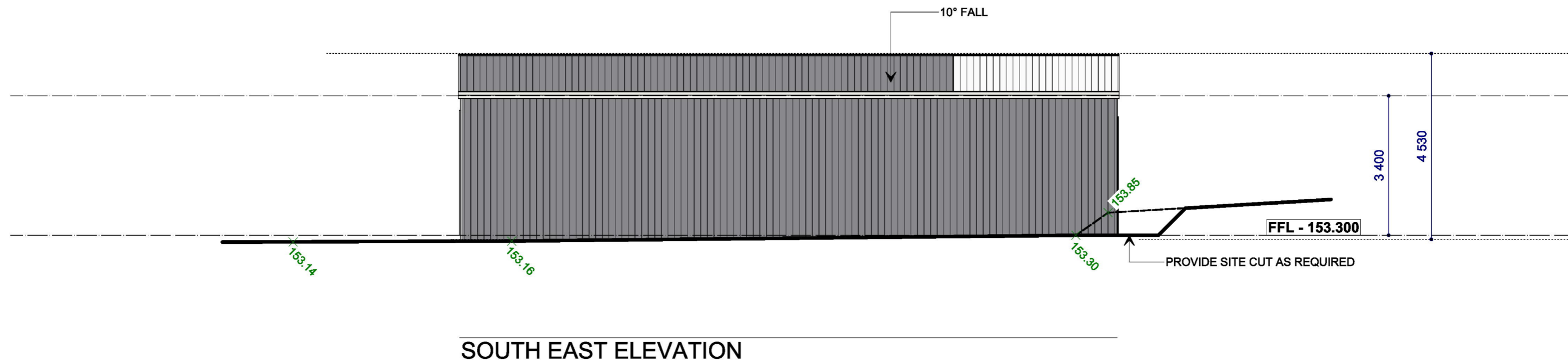
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**NORTH EAST ELEVATION**



**SOUTH EAST ELEVATION**

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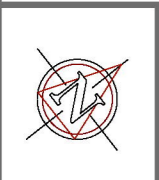
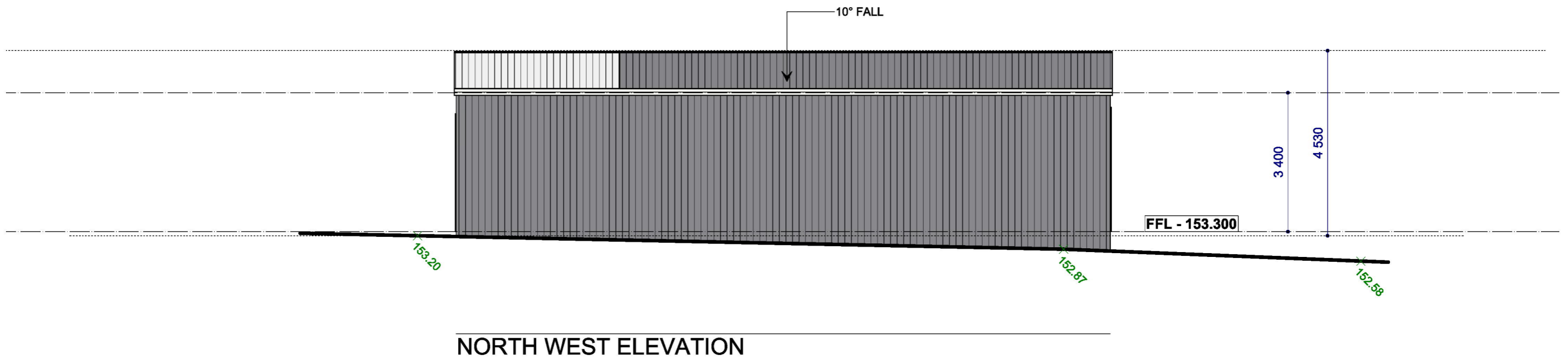
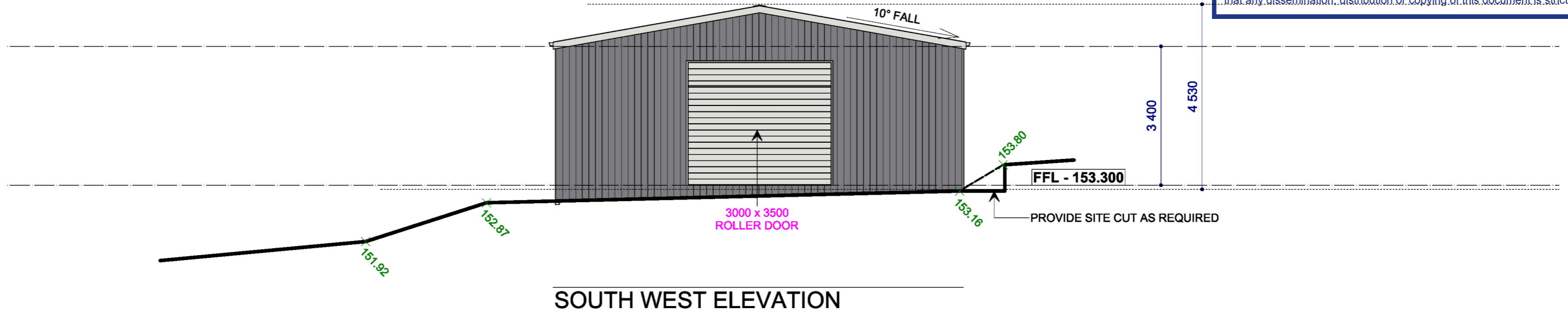
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PROPOSED ELEVATIONS SHED	
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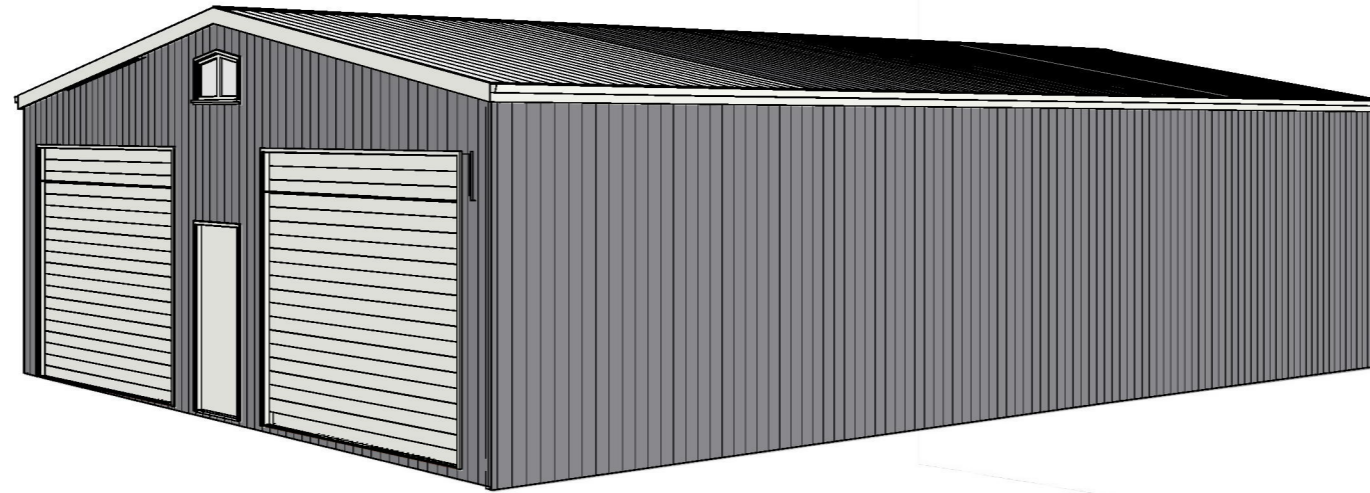
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 Sheet: 8 of 8

# SPECIFICATON NOTES

## GENERAL:

DRAWINGS PREPARED FROM INFORMATION SUPPLIED BY THE OWNER AND/OR BUILDER

ALL DIMENSIONS ARE IN MILLMETRES AND SHALL BE VERIFIED ON SITE

### DO NOT SCALE FROM DRAWING

ALL DIMENSIONS AND ALL FLOOR LEVELS PROVIDED ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION

IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS

ALL STRUCTURAL ELEMENTS ARE TO BE DESIGNED BY A PRACTICING STRUCTURAL ENGINEER

ALL METAL FITTINGS USED IN STRUCTURAL TIMBER JOINTS AND BRACING MUST HAVE CORROSION PROTECTION

AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRODUCT SPECIFICATION

NCC REFERS TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA - VOLUME 2 (NCC 2022)

ABCB REFERS TO AUSTRALIAN BUILDING CODES BOARD, (ABCB)

ALL CONSTRUCTION WORK MUST BE COMPLETED STRICTLY IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC 2022) VOLUME 2, NCC VOLUME 3 'PLUMBING CODE OF AUSTRALIA' & THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS

## STATUTORY REQUIREMENTS:

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC, CONDITIONS IMPOSED BY THE LOCAL AUTHORITY AND THE COMMITMENTS OUTLINED IN THE RELEVANT BASIX CERTIFICATE AND/OR NATHER'S ASSESSMENT.

THE BUILDER IS TO COMPLY WITH THE REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER THE BUILDING WORKS AND THE PROVISIONS OF THE HOME BUILDING ACT

PRIOR TO THE COMMENCEMENT OF BUILDING WORK, THE BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF SUBCONTRACTORS. WHERE THE LOCAL AUTHORITY REQUIRES THE TEMPORARY TOILET TO BE CONNECTED TO THE SEWER MAINS, THE ADDITIONAL COST SHALL BE BORNE BY THE OWNER. ON COMPLETION, THE BULDER SHALL REMOVE THE AMENITY

## NCC REQUIREMENTS:

### SECTION H CLASS 1 & 10 BUILDINGS.

#### PART H1 STRUCTURE:

A CLASS 1 OR 10 BUILDING'S STRUCTURAL RELIABILITY & RESISTANCE SHALL COMPLY WITH **H1P1** OF NCC

A CLASS 1 OR CLASS 10 BUILDING MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2 (**PARTS 2.1 & 2.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS, OR THE RELEVANT PROVISIONS OF **H1D2, H1D3-H1D12** OF NCC FOR STRUCTURAL PROVISIONS OR ANY COMBINATION THEREOF

ALL SITE PREPERATION & EARTHWORKS SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS AND **H1D3** OF NCC AND SECTION 3 (**PARTS 3.1-3.4**) & SECTION 4 (**PART 4.2.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ALL FOOTINGS & SLABS, EXCAVATIONS AND UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE ENGINEER'S DETAILS AND H1D4 AND **NSW H1D4(1)** AND **H2D3** OF NCC & SECTION 4 (**PARTS 4.1-4.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ALL MASONRY SHALL COMPLY WITH **H1D5** AND **H2D4** OF NCC & SECTION 5 (**PARTS 5.1-5.7**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS

TIMBER FRAMEWORK SHALL COMPLY WITH **H1D6** OF NCC, **AS1684** & SECTION 6 (**PARTS 6.1-6.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS

STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION AND **H1D6** OF NCC & SECTION 6 (**PARTS 6.1-6.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS

ALL ROOF CLADDING & WALL CLADDING SHALL COMPLY WITH **H1D7** AND **H2D6** OF NCC & SECTION 7 (**PARTS 7.1-7.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

ALL GLAZING SHALL COMPLY WITH **H1D8** AND **H2D7** OF NCC & SECTION 8 (**PARTS 8.1-8.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS

A CLASS 1 BUILDING CONSTRUCTED IN A FLOOD HAZARD AREA SHALL COMPLY WITH **H1P2** & **H1D10** OF NCC & CONSTRUCTED IN ACCORDANCE WITH THE AUSTRALIAN BUILDING CODES BOARD (ABCB) STANDARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS

ATTACHMENT OF FRAMED DECKS & BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE SHALL BE IN

ACCORDANCE WITH **H1D11** OF NCC & SECTION 12 (**PART 12.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS

PILED FOOTINGS TO BE IN ACCORDANCE WITH **H1D12** OF NCC & IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

#### PART H2 DAMP & WEATHERPROOFING:

RAINWATER MANAGEMENT, INCL. SURFACE WATER SHALL COMPLY WITH PART **H2P1** OF NCC WEATHERPROOFING OF A BUILDING SHALL COMPLY WITH PART **H2P2** OF NCC

RISING DAMP SHALL COMPLY WITH PART **H2P3** OF NCC & PART **NSW H2P3(1) & (2)**

DRAINAGE FOR SWIMMING POOLS SHALL COMPLY WITH PART **H2P4** OF NCC

DRAINAGE SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH PART **H2D2** OF NCC & SECTION 3 (**PART 3.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS

SUBFLOOR VENTILATION TO BE IN ACCORDANCE WITH **H2D5** AND **H2P3** OF NCC & SECTION 5 (**PART 5.7**) & SECTION 6 (**PART 6.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

EXTERNAL WATERPROOFING FOR ROOFING SYSTEMS ON FLAT ROOFS, ROOF TERRACES, BALCONIES & TERRACES & OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH **H2D8** OF NCC

#### PART H3 FIRE SAFETY:

A CLASS 1 BUILDING MUST BE PROTECTED FROM THE SPREAD OF FIRE IN ACCORDANCE WITH **H3P1** OF NCC

ALL OCCUPANTS OF A CLASS 1 BUILDING MUST BE PROVIDED WITH AUTOMATIC WARNING ON THE DETECTION OF SMOKE IN ACCORDANCE WITH **H3P2**

CLASS 1 & 10 BUILDINGS WITHIN THE BUSHFIRE ZONE MUST BE CONSTRUCTED WITH MATERIALS CONTAINING FIRE HAZARD PROPERTIES & NON-COMBUSTIBLE ELEMENTS IN ACCORDANCE WITH **H3D2** OF NCC

FIRE SEPARATION OF EXTERNAL WALLS MUST COMPLY WITH **H3D3** OF NCC & **PART 9.2** OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

FIRE PROTECTION OF SEPARATING WALLS AND FLOORS MUST COMPLY WITH **H3D4** OF NCC & **PART 9.3** OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

FIRE SEPARATION OF GARAGE-TOP DWELLINGS MUST COMPLY WITH **H3D5** AND **NSWH3D5** OF NCC & SECTION 9 (**PARTS 9.3 & 9.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

SMOKE ALARMS & EVACUATION LIGHTING TO BE INSTALLED IN ACCORDANCE WITH **H3D6** OF NCC & SECTION 9 (**PART 9.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

#### PART H4 HEALTH & AMENITY:

WET AREAS TO BE CONSTRUCTED & WEATHERPROOFED IN ACCORDANCE WITH **H4D2, H2P1 & H2D8** OF NCC & SECTION 10 (**PART 10.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

MATERIALS & INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS MUST COMPLY WITH **H4D3** OF NCC & SECTION 10 (**PART 10.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ROOM HEIGHTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH **H4D4** AND **H4P2** OF NCC & SECTION 10 (**PART 10.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

HEALTH & AMENITY FACILITIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH **H4D5** AND **H4P3** OF NCC & SECTION 10 (**PART 10.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

LIGHT SHALL COMPLY WITH **H4D6** AND **H4P4** OF NCC & SECTION 10 (**PART 10.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ARTIFICIAL LIGHTING IS TO BE INSTALLED IN ACCORDANCE WITH **H4D6** OF NCC & SECTION 10 **PART 10.5.2** TO ANY SANITARY COMPARTMENT, BATHROOM, SHOWER ROOM, AIRLOCK & LAUNDRIES IF NATURAL LIGHTING IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF **PART 10.5.1** IS NOT AVAILABLE

VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH **H4D7** AND **H4P5** OF NCC & SECTION 10 (**PART 10.6**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. AND INSTALLED TO MANUFACTURERS SPECIFICATIONS

SOUND INSULATION IS TO BE INSTALLED IN ACCORDANCE WITH **H4D8** AND **H4P6** OF NCC & SECTION 10 (**PART 10.7**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS. AND INSTALLED TO MANUFACTURERS SPECIFICATIONS

CONDENSATION AND WATER VAPOUR MANAGEMENT SHALL COMPLY WITH **H4D9** AND **H4P7** OF NCC & SECTION 10 (**PART 10.8**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

#### PART H5 SAFE MOVEMENT & ACCESS:

CLASS 1 AND 10 BUILDINGS MUST BE CONSTRUCTED IN ACCORDANCE WITH **H5P1** OF NCC

STAIRWAYS AND RAMPS MUST BE CONSTRUCTED IN ACCORDANCE WITH **H5D2** OF NCC & SECTION 11 (**PART 11.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

BARRIERS AND HANDRAILS MUST BE INSTALLED IN ACCORDANCE WITH **H5D3** AND **H5P2** OF NCC & SECTION 11 (**PART 11.3**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

#### PART H6 ENERGY EFFICIENCY:

THERMAL PERFORMANCE OF A CLASS 1 AND 10 BUILDING SHALL COMPLY WITH **H6D2** AND **H6P1** OF NCC AND SECTION 13 (**PARTS 13.2- 13.5**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

THE ENERGY VALUE AND/OR USAGE OF A BUILDING'S DOMESTIC SERVICES MUST COMPLY WITH **H6D2** AND **H6P2** OF NCC AND SECTION 13 (**PARTS 13.6-13.7**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

#### PART H7 ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION REQUIREMENTS:

SWIMMING POOLS, INCLUDING POOL DEPTHS, SAFETY BARRIERS & WATER RETICULATION SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH **H7D2** AND **NSWH7D2(1)** AND **H7P1** AND **H7P2** OF NCC. SWIMMING POOL DRAINAGE IS TO COMPLY WITH **H2P4** OF NCC

ALL CLASS 1 AND 10 BUILDINGS LOCATED IN ALPINE AREAS MUST COMPLY WITH **H7D3** AND **H7P4** OF NCC & SECTION 12 (**PART 12.2**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

ALL CLASS 1 AND 10 BUILDINGS LOCATED IN BUSHFIRE PRONE AREAS MUST COMPLY WITH **H7D4** AND **NSWH7D4** AND **H7P5**

A PRIVATE BUSHFIRE SHELTER IS TO BE CONSTRUCTED IN ACCORDANCE WITH **H7P6** OF NCC FOR CLASS 10C BUILDINGS LOCATED IN A BUSHFIRE PRONE AREA ONLY

HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES ARE TO BE INSTALLED IN ACCORDANCE WITH **H7D5** AND **H7P3** AND SECTION 12 (**PART 12.4**) OF THE AUSTRALIAN BUILDING CODES BOARD (ABCB) HOUSING PROVISIONS.

### AUSTRALIAN STANDARD (AS) REQUIREMENTS:

ALL SITE PREPERATION & EARTH RETAINING STRUCTURES SHALL BE IN ACCORDANCE WITH **AS4678** & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

CONCRETE SLAB AND FOOTINGS TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH **AS2870** & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

PILED FOOTINGS TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH **AS2159** & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

ALL MASONRY TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH **AS3700**

THE STRUCTURAL DESIGN OF ALL BUILDING(S) TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH **AS/NZS1170** & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

STEEL STRUCTURES TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH **AS4100** & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

COLD-FORMED STEEL STRUCTURES TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH **AS/NZS4600** & STRICTLY IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

WINDOWS AND DOORS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH **AS2047**

ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 AND ERECTED, FXED AND BRACED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

SHEET METAL ROOFING SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH **AS1562**

TERRACOTTA, FIBRE-CEMENT AND TIMBER SLATES AND SHINGLES SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH **AS4597**

ROOF TILES SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH **AS2050**

METAL WALL CLADDING SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH **AS1562**

AUTOCLAVED AERATED CONCRETE WALL CLADDING SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH **AS5146**

ALL WINDOWS & GLAZED DOORS SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH **AS2047** & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

ALL GLAZING & GLAZED ASSEMBLIES SHALL BE DESIGNED, MANUFACTURED & INSTALLED IN ACCORDANCE WITH **AS1288** & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

STRIP AND SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH **AS1684**

INSTALLATION OF PARTICLEBOARD FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH **AS1860**

ALL TMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH **AS2688** AND **AS52689** UNLESS LISTED OTHERWISE IN SCHEDULE OF WORKS

TIMBER FRAMING IS TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH **AS1720** & RESIDENTIAL TIMBER-FRAMED CONSTRUCTION **AS1684** & STRICTLY IN ACCORDANCE WITH THE RESIDENTIAL TIMBER FRAMING CODE.

ALL PLUMBING SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT SUPPLY AUTHORITY AND AS3500, AND IN ACCORDANCE WITH THE AUSTRALIAN BUILDING CODES BOARD (ABCB), NCC VOLUME 3 'PLUMBING CODE OF AUSTRALIA'

ALL PLUMBING WORK MUST CARRIED OUT BY A LICENSED PLUMBER

DRAINAGE SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH **AS3500**

WATERPROOFING OF DOMESTIC WET AREAS SHALL BE IN ACCORDANCE WITH **AS3740** & CERAMIC TILES MUST BE IN ACCORDANCE WITH **AS3958** & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

INTERIOR & ARTIFICIAL LIGHTING SHALL BE DESIGNED & INSTALLED IN ACCORDANCE WITH **AS/NZS1680**

SWIMMING POOLS, INCLUDING POOL DEPTHS, SAFETY BARRIERS & WATER RETICULATION SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH **AS1926** & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

DOMESTIC COLID-FUEL BURNING APPLIANCES MUST BE INSTALLED IN ACCORDANCE WITH **AS/NZS2918** & STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

BUILDINGS LOCATED IN BUSHFIRE PRONE AREAS MUST COMPLY WITH **AS3959** & STRICTLY IN ACCORDANCE WITH THE CONSTRUCTION REQUIREMENTS PRESCRIBED WITHIN THE RELEVANT BAL RATING, ASSESSED WITHIN **AS3959**.

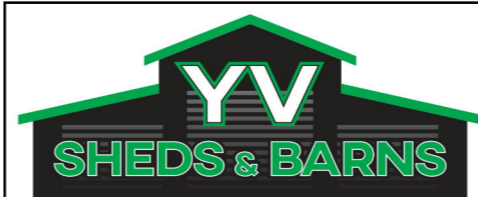
ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 9.2 PIER SPACINGS FOR ONE WAY SPANNING WALLS, OF AUSTRALIAN STANDARD **AS4773.1-2010** MASONRY IN SMALL BUILDINGS. REFER TO THE TABLE EXTRACT FOR DETAILS.



**ADVERTISED MATERIAL**  
**Planning Application: T250481**  
**Date Prepared: 01 June 2026**

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Signature: .....  
 Date: .....



Title Name: **SPECIFICATION NOTES FOR A SHED 7.0M x 12.0M x 2.4M**

Client: Chris MacMeikan

Site address: 112 Foott Rd  
Beaconsfield Upper, Victoria, 3808

Job No.	YVSBL-498408-1
Dwg No.	03
Date	08-Aug-2025
Rev	1
	A3

# Receipt

Receipt No	EPLAN010225
Amount Paid	\$1,302.80
Transaction Status	Processing
Transaction Date	11/08/2025 9:36:16 PM
Reference 1	T27537330
Reference 2	T250481
Reference 3	A32527LP

Applicant  
Applicant Address

Owner  
Owner Address

Preferred Contact  
Preferred Contact Address



Site Address 112 Foott Road Beaconsfield Upper 3808

Portal Reference A32527LP  
ReferenceNumber T250481

InvoiceNumber 499532  
InvoiceDate 11-Aug-2025  
InvoicePayByDate 10-Sep-2025

Regulation	Description	Amount	Modifier	Modified Amount
9 - Class 11	Not more than \$100,000	\$1,302.80	100%	\$1,302.80

**Total Amount \$1,302.80**