

Notice of Application for a Planning Permit

The land affected by the application is located at:	L305 PS912235 V12650 F774 21 Scenic Rise, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a dwelling, fence and earthworks)

A permit is required under the following clauses of the planning scheme:

42.01-2	Construct a building or construct or carry out works
42.01-2	Construct a fence

APPLICATION DETAILS

The applicant for the permit is:	ABN GROUP
Application number:	T260251

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

This can be done during office hours and is free of charge.

Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.



HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:

12 June 2026

WHAT ARE MY OPTIONS?

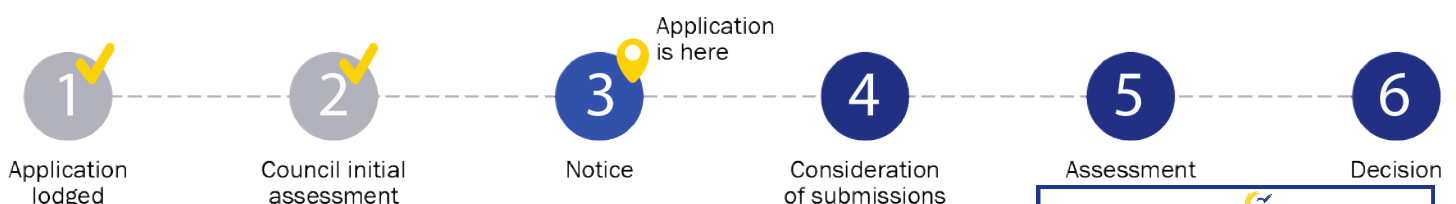
Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

If you object, the Responsible Authority will notify you of the decision when it is issued.

An objection must:

- be made to the Responsible Authority in writing;
- include the reasons for the objection; and
- state how the objector would be affected.

The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.




ADVERTISED MATERIAL
 Planning Application: T260251
 Date Prepared: 28 May 2026

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Application Summary

Portal Reference: A22616GL

Basic Information

Proposed Use: Construction of a new residential dwelling
 Current Use: Vacant
 Cost of Works: \$266,950
 Site Address: Lot 7247 (#14) Adega Avenue, AINTREE VIC 3335

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? **No such encumbrances are breached**

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	[Redacted]		
Owner			
Preferred Contact			

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
Total			\$1,462.50

Documents Uploaded

Date	Type	Filename
17-04-2026	A Copy of Title	219750 - TITLE.pdf


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Civic Centre
 20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
 Purton Road, Pakenham, Victoria

Postal Address
 Cardinia Shire Council
 P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
 5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	[REDACTED]
Submission Date	17 April 2026 - 09:53:AM

Declaration

By ticking this checkbox, I declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 12650 FOLIO 774

Security no : 124131145096L
Produced 06/01/2026 06:05 PM

LAND DESCRIPTION

Lot 305 on Plan of Subdivision 912235M.
PARENT TITLE Volume 12650 Folio 766
Created by instrument PS912235M 06/01/2026

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



COVENANT PS912235M 06/01/2026

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS912235M FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER	PLAN OF SUBDIVISION	STATUS	DATE
PS912235M (B)	PLAN OF SUBDIVISION	Registered	06/01/2026

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

ADMINISTRATIVE NOTICES

NIL



DOCUMENT END



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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 06/01/2026 06:05:29 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
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Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC


Cardinia

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Postcode 3809

Additional Details
Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	[REDACTED]
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:
NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



Imaged Document Cover Sheet

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Document Type	Instrument
Document Identification	AX385769J
Number of Pages (excluding this cover sheet)	17
Document Assembled	06/01/2026 18:05

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)



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PO Box 3, Collins Street West VIC 8007 Australia
DX 554 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

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Deed of Agreement

Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*



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plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) *A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) *A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.



This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

- Act** means the *Planning and Environment Act 1987* (Vic).
- Agreement** means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.
- Building Design Guidelines** means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

Deed of Agreement

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Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.


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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

Deed of Agreement

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8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

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8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.



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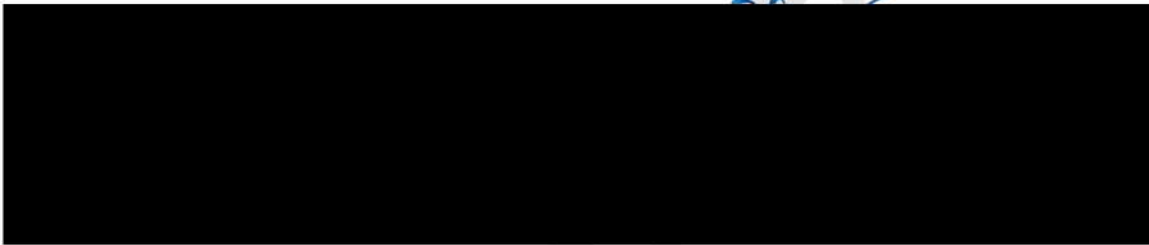
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Schedule

Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001:



ary

.....
Print full name

.....
Print full name

AX385


Cardina

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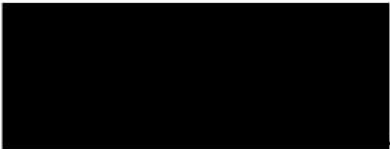
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Executed as a deed

Signed, sealed and delivered as a deed by the parties

Signed sealed and delivered by **Luke Connell,**)

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation)
in the presence of:)



Signature of witness

The execution of this document has been witnessed by me in accordance with the requirements for witnessing by audio-visual link under section 12 of the Electronic Transactions (Victoria) Act 2000. (Strike out if inapplicable)



.....
Name of witness
(BLOCK LETTERS)

 Cardinia ADVERTISED MATERIAL Planning Application: T260251 Date Prepared: 28 May 2026 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>

Executed by BNG (PAKENHAM) PTY LTD (ACN 640125686) in accordance with section 127 of the *Corporations Act 2001* (Cth) by:



Full name (print)

Full name (print)

Schedule 1

Building Envelope Plan

AX385769J



ADVERTISED MATERIAL

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Schedule 2

Vegetation Plan

AX385769J



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PLAN OF SUBDIVISION	EDITION 1	PS912235M
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<p>LOCATION OF LAND</p> <p>PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: —</p> <p>CROWN ALLOTMENT: 32(PT), 33(PT) & 34(PT) TITLE REFERENCE: VOL. 12650 FOL. 766 LAST PLAN REFERENCE: PS927178N (LOT G) POSTAL ADDRESS: 108 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 366 430 ZONE: 55 (of approx centre of land in plan) N: 5 786 550 GDA 2020</p>	<p>Council Name: Cardinia Shire Council Council Reference Number: S23-029 Planning Permit Reference: T160690-2 SPEAR Reference Number: S210356P</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988. 11/07/2024</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification</p> <p>Digitally signed by: Sonia Higgins for Cardinia Shire Council on 04/12/2025</p> <p>Statement of Compliance issued: 12/12/2025</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance</p>
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VESTING OF ROADS AND/OR RESERVES	NOTATIONS
----------------------------------	-----------

IDENTIFIER	COUNCIL/BODY/PERSON	NOTATIONS
ROAD R1 RESERVE No.1	CARDINIA SHIRE COUNCIL CARDINIA SHIRE COUNCIL	LOTS 1 TO 300 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4. OTHER PURPOSE OF PLAN: TO REMOVE THAT PART OF THE SEWERAGE EASEMENT CREATED AS E-3 ON PS848743W CONTAINED WITHIN SUNNY VISTA ON THIS PLAN. GROUND FOR REMOVAL OF EASEMENT: AGREEMENT FROM ALL INTERESTED PARTIES (SECTION 6(1)K SUBDIVISION ACT 1988)
<p style="text-align: center; font-weight: bold;">NOTATIONS</p> <p>DEPTH LIMITATION: DOES NOT APPLY</p> <p>This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675</p>		

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EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4 E-2 E-2 E-4	PIPELINE DRAINAGE SEWERAGE SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	24.38 SEE DIAG SEE DIAG 6	INST. D613929 PS848743W PS848743W PS848743W	VICTORIA PIPELINES COMMISSION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION SOUTH EAST WATER CORPORATION
E-5, E-7 E-6, E-7 E-9 E-8, E-9	SEWERAGE DRAINAGE SEWERAGE DRAINAGE	SEE DIAG SEE DIAG SEE DIAG SEE DIAG	PS902144W PS902144W THIS PLAN THIS PLAN	SOUTH EAST WATER CORPORATION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION CARDINIA SHIRE COUNCIL

<p>Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au</p>	SURVEYORS FILE REF: 2000490/03 2000490-03-PS-V7.DWG	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 4
	Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (7), 03/12/2025. SPEAR Ref: S210356P		Land Use Victoria Plan Registered 04:36 PM 06/01/2026 Assistant Registrar of Titles

PS912235M

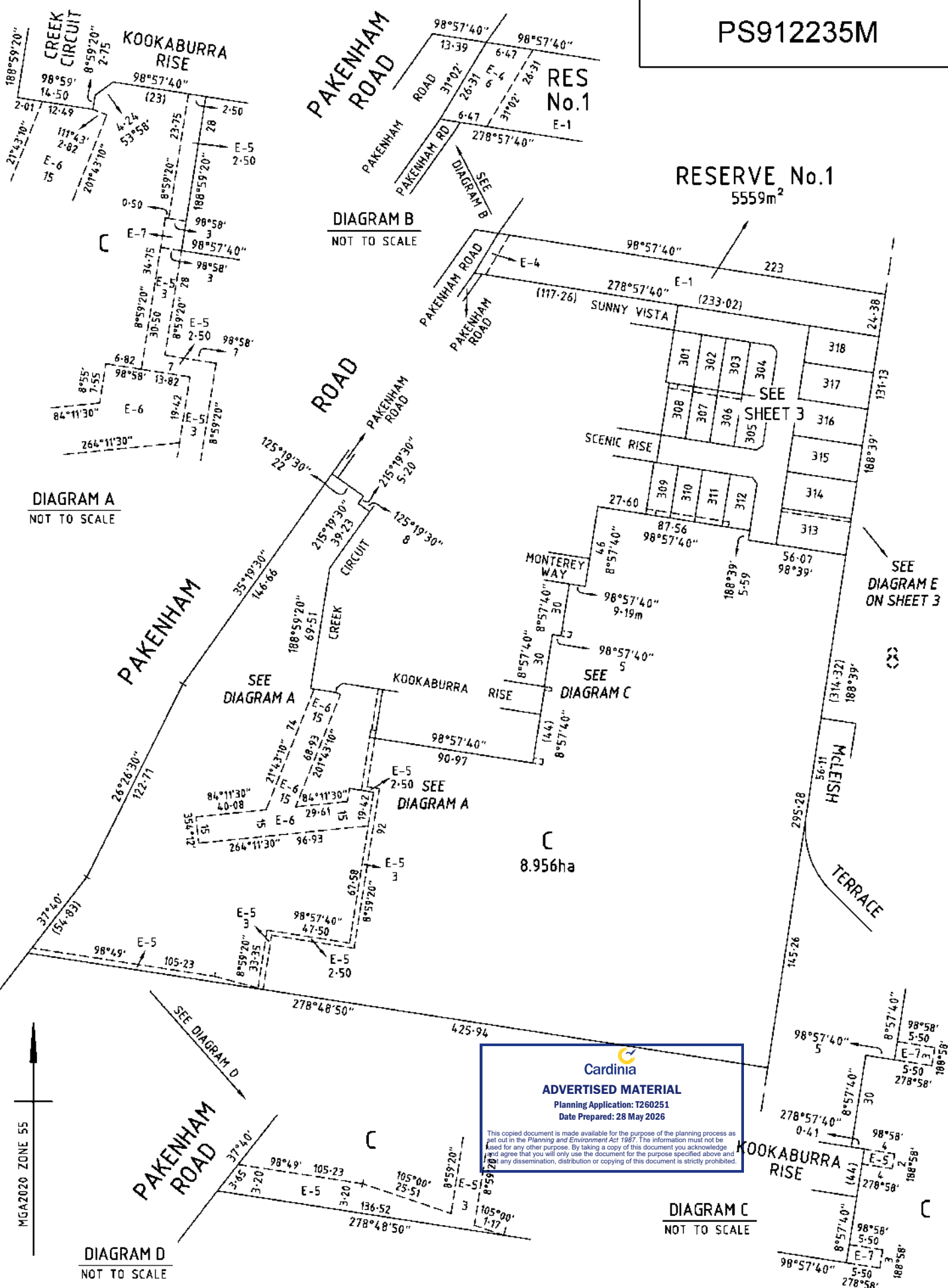


DIAGRAM A
NOT TO SCALE

DIAGRAM B
NOT TO SCALE

RESERVE No.1
5559m²

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DIAGRAM C
NOT TO SCALE

DIAGRAM D
NOT TO SCALE

BW Beveridge Williams
 development & environment consultants
 Melbourne ph : 03 9524 8888
 www.beveridgewilliams.com.au

SURVEYORS REF 2000490/03
 SCALE 1 : 2000
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20 0 20 40 60 80
 LENGTHS ARE IN METRES

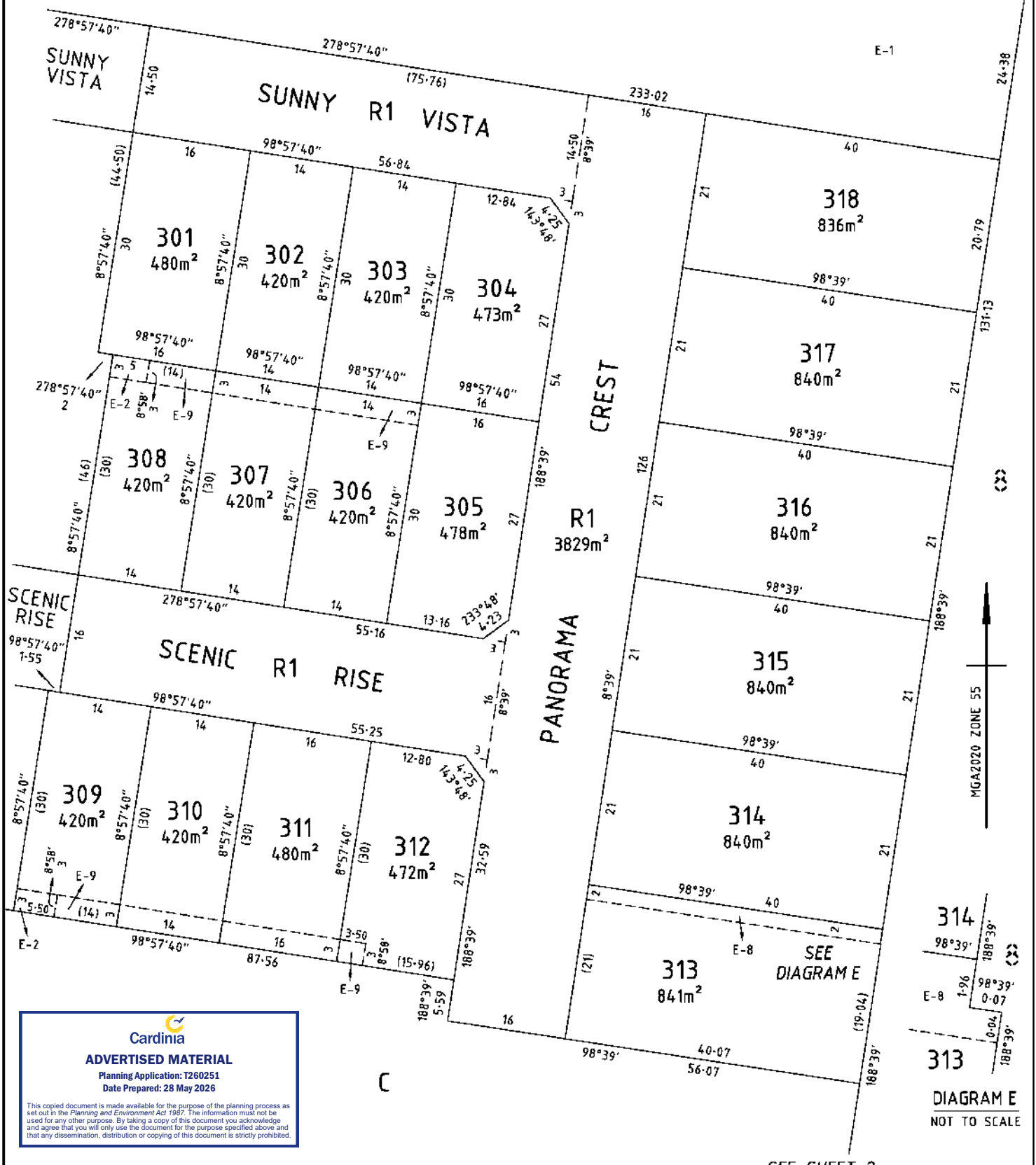
ORIGINAL SHEET SIZE: A3 SHEET 2

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 04/12/2025,
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SEE SHEET 2

RESERVE No.1



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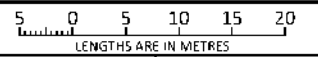
SEE SHEET 2

DIAGRAM E
 NOT TO SCALE

BW Beveridge Williams
 development & environment consultants
 Melbourne ph : 03 9524 8888
 www.beveridgewilliams.com.au

SURVEYORS REF
 2000490/03

SCALE
 1 : 500



ORIGINAL SHEET
 SIZE: A3

SHEET 3

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Digitally signed by:
 Cardinia Shire Council,
 04/12/2025,
 SPEAR Ref: S210356P

PS912235M

SUBDIVISION ACT 1988
CREATION OF RESTRICTION 'A'

THE REGISTERED PROPRIETOR OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 301 TO 318 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 301 TO 318 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <https://portal.beveridgewilliams.com.au>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:
 - (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
 - (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 301 TO 318 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 301 TO 318 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS.

EXPIRY:


THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

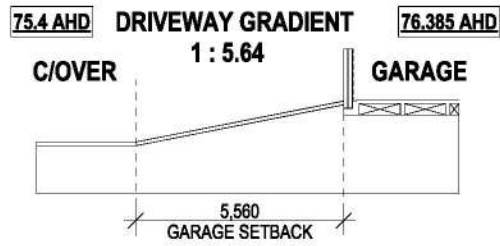
- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



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P CLASS SITES
CUT BATTERS: ALL TO BE @ 1:1
FILL BATTERS: ≤ 600mm @ 1:1
 > 600mm @ 1:2
 NO CUT/FILL TO BE WITHIN 100MM OF NEIGHBOURING LOTS SIDE BOUNDARY

AHD NOTE:
 ● ANY FINISHED SURFACE LEVEL (EXCLUDING ACCESS DRIVEWAY AND PATHS) OF THE SAID LOT HAS A MINIMUM REDUCED LEVEL OF 3.30m AHD. AHD REDUCED LEVEL VIDE CONWARRE PM RL 11.291 (SMEM 06.02.2019).
 ● ANY BUILDING FINISHED FLOOR LEVEL HAS A MINIMUM REDUCED LEVEL OF 3.60m AHD. AHD REDUCED LEVEL VIDE CONWARRE PM RL 11.291 (SMEM 06.02.2019).

SITE PERMEABILITY	
BUILD AREA & D/WAY:	214.29m ² = 44.83%
PERMEABLE/GARDEN AREA:	263.71m ² = 55.17%
TOTAL AREA:	478m ² = 100%

BUILDING ENVELOPE
 BUILDING ENVELOPES EXIST ON THIS LOT, SHOWN AS:

DEVELOPERS APPROVAL REQUIRED:
 DEVELOPERS APPROVAL REQUIRED FROM "BNG GROUP" THE RISE - STAGE 03

DRIVEWAY MUST BE FULLY COMPLETED PRIOR TO OCCUPANCY OF THE DWELLING.

ANCILLARY ITEMS AND UTILITIES MUST NOT BE VISIBLE FROM THE STREET.

USE HIGH WELS FACTOR WATER EFFICIENT APPLIANCES AND TAPWARE.

SURVEY DATE	17/01/2026
CONTOUR INTERVALS	200 mm
LEVELS TO	75.09 AHD RL
SITE AREA	478 sqm
BUILDING AREA	184.76 sqm
SITE COVERAGE	38.65%
WIND SPEED	N3
SITE CLASSIFICATION	P

MELWAYS REFERENCE
 SITE LOCATION MELWAYS REFERENCE: 317 C3

NOTE
 IT IS THE RESPONSIBILITY OF THE OWNER TO CHECK FOR UNDERGROUND PIPES PRIOR TO ANY EARTHWORKS CONDUCTED AFTER HANDOVER. THE BUILDER WILL NOT BE LIABLE FOR DAMAGE TO EXISTING PIPES BY THE OWNER AFTER HANDOVER.

CONDENSATION MANAGEMENT

- PROVIDE A Pliable MEMBRANE TO EXTERNAL WALLS INSTALLED IN ACCORDANCE WITH AS 4200.1-2
- ALL EXHAUST FANS SHOWN ON THE PLANS TO ACHIEVE A MINIMUM FLOW RATE IN ACCORDANCE WITH PART 10.8.2 OF NCC.
- EXHAUST FANS TO BE DUCTED TO THE EXTERNAL WALL OR THROUGH THE ROOF SPACE DIRECTLY TO A ROOF VENT. NO FANS TO DISCHARGE DIRECTLY INTO THE ROOF SPACE IN ACCORDANCE WITH PART 10.8.2 (2) OF NCC.
- EXHAUST FANS TO BE FITTED WITH TIMER DELAY TO ALL WET AREA WITH NO NATURAL VENTILATION IN ACCORDANCE WITH PART 10.8.2 (4) OF NCC.

ACCESSIBILITY

- DWELLINGS TO COMPLY WITH AUSTRALIAN BUILDING CODES BOARD (ABCB), STANDARD FOR LIVEABLE HOUSING STANDARDS.
- THE THRESHOLD OF AN INTERNAL DOORWAY THAT IS SUBJECT TO CLAUSE 3.1 MUST COMPLY WITH CLAUSE 3.2.
- DOORWAYS TO SANITARY COMPARTMENTS WHERE THE DOOR IS WITHIN 1200mm OF THE TOILET PAN MUST BE FITTED WITH LIFT-OFF HINGES.
- OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH PART 11.3.7 OF NCC.

7 STAR ENERGY RATING:
 DWELLING TO COMPLY W/ THE REQUIREMENTS OF 7 STAR ENERGY RATING.

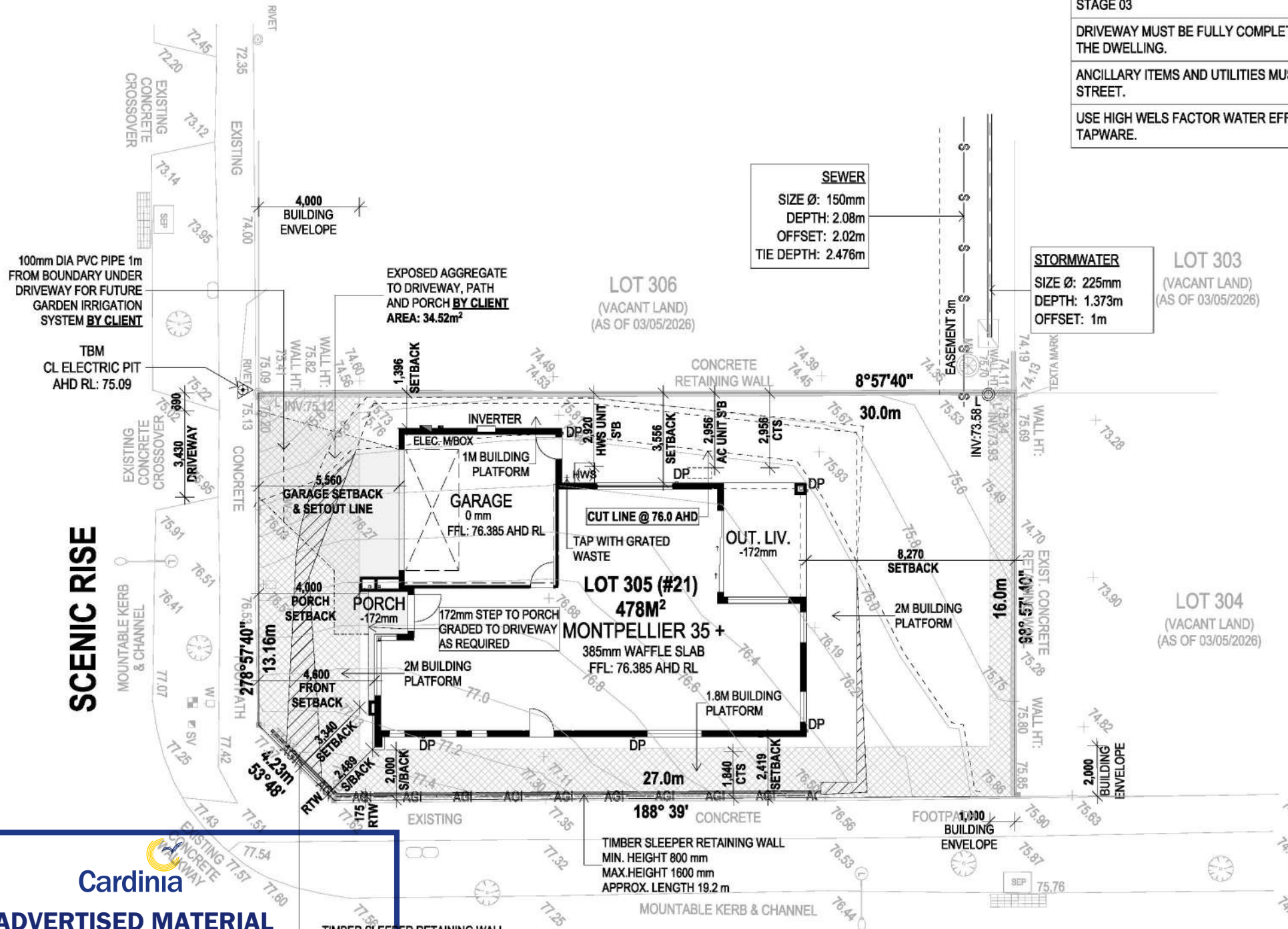
FULL NCC 2022 COMPLIANCE
 JOB HAS BEEN DRAWN UNDER THE FULL NCC 2022 REQUIREMENTS. - AMENDMENT 2

NCC COMPLIANCE - STEP FREE WEEPHOLES
 WHERE AN IMPERVIOUS DRIVEWAY CONNECTS TO THE STEP-FREE GARAGE, AN ADJOINING CLASS 1 BRICK VENEER WALL MAY HAVE WEEP HOLES ONLY OMITTED AS PER BCA VOL 2 CLAUSE 5.7.5. THE INTERSECTING WALL MUST HAVE WEEP HOLES TO DISCHARGE MOISTURE.

NCC COMPLIANCE - AIR FILTRATION
 GARAGE AND EXTERNAL HINGED DOORS REQUIRDE TO BE SEALED TO RESTRICT AIR FILTRATION. NCC CLAUSE 13.4.4.

FIBRE OPTIC NETWORK (NBN Co.):
 BUILDER TO PROVIDE 25mm CONDUIT FROM TELECOMMUNICATIONS PIT IN STREET TO METER BOX IN ACCORDANCE WITH DEVELOPERS GUIDELINES. CLIENT TO ORGANISE CONNECTION.

TERMITE PROTECTION REQUIRED
 PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S. 3660.1



SCENIC RISE

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PANORAMA CREST

ISSUED FOR:
DEVELOPER APPROVAL
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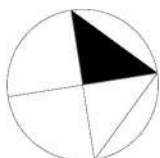


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01	CONTRACT DRAWINGS	TNV	14/06/2025
02	CONTRACT CHECK	CA	19/06/2025
03	DA SITING, V01-02, SURVEY & PSI	LNN	24/02/2026
04	SITING CHECK	KH	27/02/2026
05	ENERGY UPDATE	KH	04/03/2026
06	VO3	KH	10/03/2026
07	DA RFI	KH	12/03/2026

ID	REVISION	BY	DATE
08	VOID TO WIR 1	KH	30/03/2026
09	DA RFI	KH	01/04/2026
10	DA RFI (FENCING)	KH	14/04/2026
11	AHD SURVEY	KH	08/05/2026
12	TP RFI	KH	13/05/2026

GENERAL NOTES:
 - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
 - WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

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LOT 305 (#21) SCENIC RISE
PAKENHAM, VIC 3810

SITE PLAN		HOUSE TYPE:		MASTER DRAWING INFO:		SCALE:	
MONTPELLIER 35 +		MODE		KM		1:200	
DRAWN BY:		REVISION:		DRAWING No:		1 OF 11	
TYP HEIGHT:		ISSUED:					

DRAINAGE

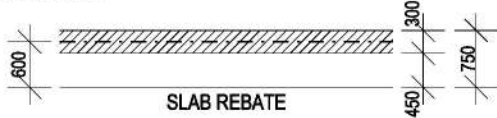
- SITE DRAINAGE SHALL COMPLY WITH PART 3.3.2 OF NCC, AS3500, AND AS 2870.
- PROVIDE Ø100mm UPVC STORMWATER DRAINS WITH MIN. COVER & FALL. CONNECT TO POINT OF DISCHARGE. STORMWATER DRAINS HAVE BEEN SHOWN INDICATIVELY.
- CONNECT ANY GRATED STORMWATER DRAIN TO STORMWATER DRAINS VIA SILT PIT(S) AS NOTATED.
- TEMPORARY DOWNPIPES TO BE USED UNTIL CONNECTED TO SW DRAIN.
- ALL DOWNPIPES TO BE JOINED TO PVC STORMWATER DRAIN AT BASE OF WEEPHOLES TYPICAL.
- SURFACE DRAINAGE OF SITE TO BE CONTROLLED FROM START OF SITE PREPARATION & SHOULD BE COMPLETED BEFORE HANDOVER.
- TRENCH BASES TO SLOPE AWAY FROM BUILDING.
- TOP 300mm OF TRENCHES TO BE BACK-FILLED WITH COMPACTED CLAY WITHIN 1.5m FROM THE BUILDING.

CAPPED RISERS

CAPPED RISERS TO BE 600mm ABOVE FINISHED LEVEL OF BUILDING PLATFORM AND CONNECTED TO LEGAL POINT OF DISCHARGE.

EXCLUSION ZONE

- STORMWATER PIPES TO BE INSTALLED 600mm FROM PERIMETER OF BUILDING AND CONNECTED TO LEGAL POINT OF DISCHARGE. A NO GO ZONE IS IN PLACE 150mm EITHER SIDE OF THE STORMWATER PIPES.
- REFER TO PROPERTY SERVICES DRAINAGE PLAN FOR SEWER MAINS AND BRANCH LOCATION.



PLUMBING REQUIREMENTS

- AS PER AS 2870.
- PENETRATION OF EDGE BEAMS OR FOOTINGS TO BE AVOIDED WHERE PRACTICABLE, BUT WHERE NECESSARY, SHALL BE DETAILED TO ALLOW FOR MOVEMENT.
- DRAINS EMERGING FROM UNDERNEATH THE BUILDING TO INCORPORATE FLEXIBLE JOINTS AND SHOULD ALLOW DIFFERENTIAL MOVEMENT IN ANY DIRECTION EQUAL TO THE ESTIMATED CHARACTERISTIC SURFACE MOVEMENTS (Ys VALUE)
- ON SITE WASTE WATER TREATMENT UNITS TO BE LOCATED TO MINIMISE SOIL MOISTURE INCREASE WITHIN THE FOUNDATION.
- DRAINAGE UNDER THE SLAB TO BE AVOIDED WHERE PRACTICABLE.
- COLD AND HOT WATER PIPES NOT TO BE INSTALLED UNDER THE SLAB, UNLESS PIPES ARE INSTALLED WITHIN A CONDUIT SO THAT IF THE PIPE LEAKS IT WILL BE NOTICED ABOVE OR OUTSIDE THE SLAB.

SITE PREPARATION REQUIREMENTS

- UNLESS NOTED OTHERWISE, EXCAVATIONS TO BE BATTERED AT 45° MAX. FOR SAND/SILT/FILL SITES. ALL BATTERS TO BE KEPT WITHIN PROPERTY BOUNDARIES.
- ALL CUT & FILL BATTERS MUST BE STABILISED FOLLOWING CONSTRUCTION. THE GROUND LEVEL IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE GRADED TO A UNIFORM FALL OF 50mm MIN. AWAY FROM THE BUILDING OVER THE FIRST METRE.

MIN. REQUIREMENTS EXPANSION JOINTS CAPACITY		
SITE CLASS	EXPANDER MOVEMENT RANGE	SWIVEL ROTATION RANGE
'E'	150mm	15°
'H1' & 'H2'	70mm	15°
'M'	MIN. 25mm LAGGING THROUGH FOOTINGS	NOT APPLICABLE

MIN. REQUIREMENTS EXPANSION JOINTS CAPACITY				
SITE CLASS	SEWER EXIT POINTS & ORG		RISER	
	SWIVEL	EXPANDER	SWIVEL	EXPANDER
'M'	1	0	0	MIN. 25mm
'H1'	1	1	1**	MIN. 50mm
'H2'	2	1	1**	
'E'	2	1	X*	MIN. 50mm

* - EXPANDER ON ALL RISERS
 ** - MAX DEPTH OF SEWER TO UNDERSIDE OF SLAB TO BE 500mm FOR CLASS M & 600mm FOR CLASS H OTHERWISE EXPANDER JOINT REQUIRED

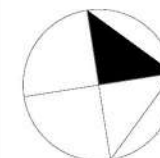
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 81 LORIMER STREET
 DOCKLANDS, VIC. 3008
 PH: (03) 9674 4500 FAX: (03) 9674 4501

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06	VO3	KH	10/03/2026				
07	DA RFI	KH	12/03/2026				

GENERAL NOTES:

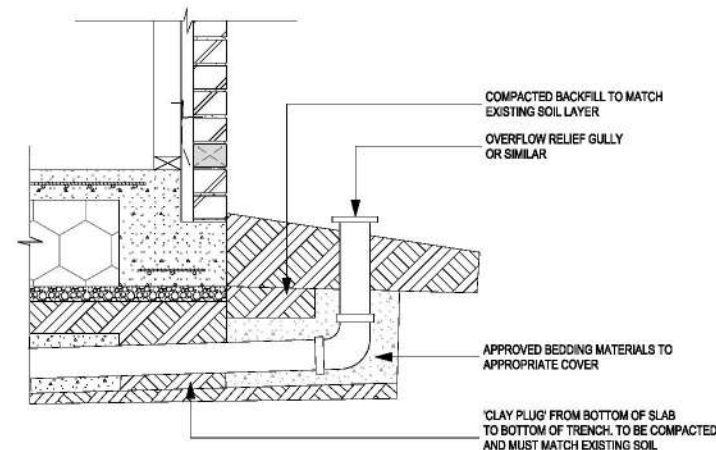
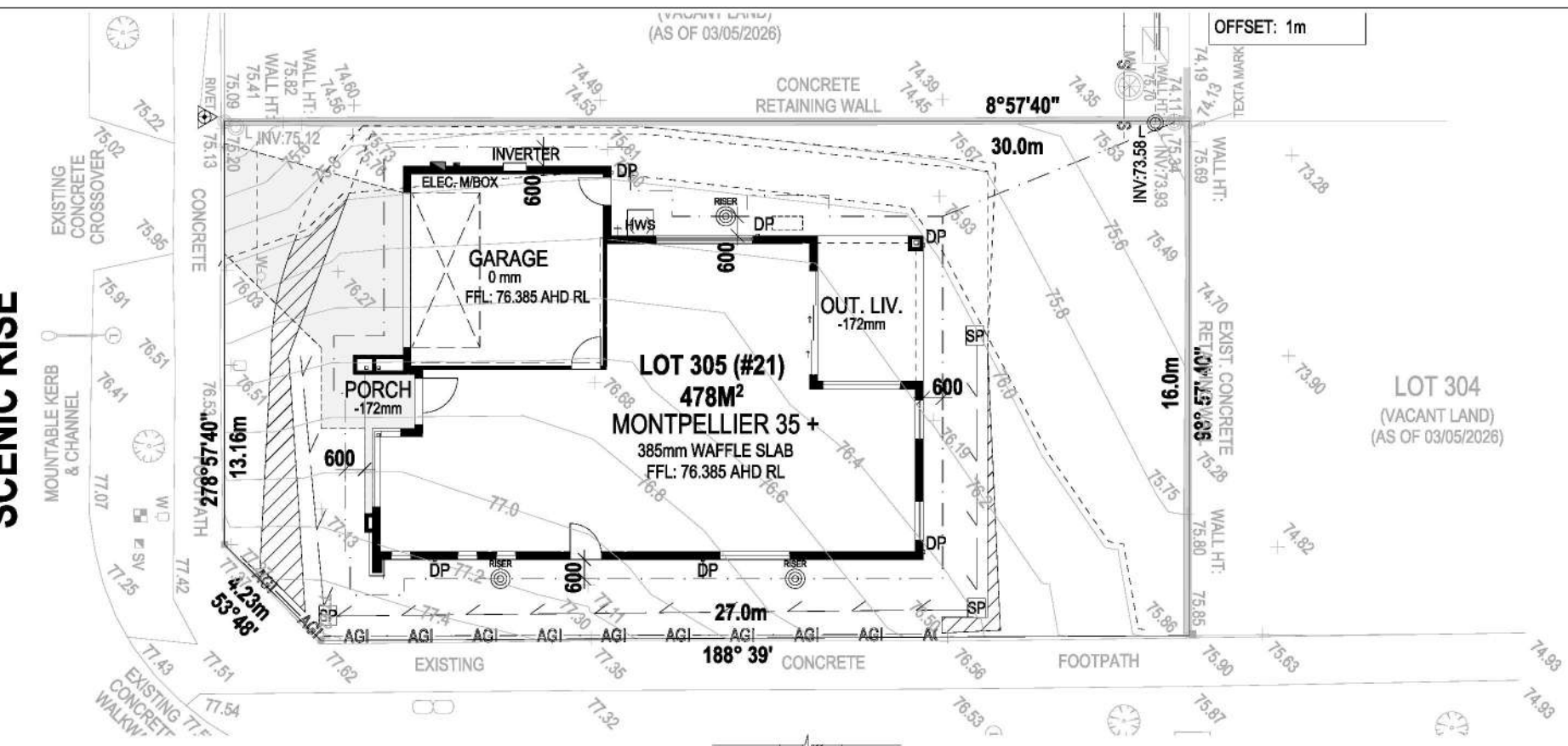
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

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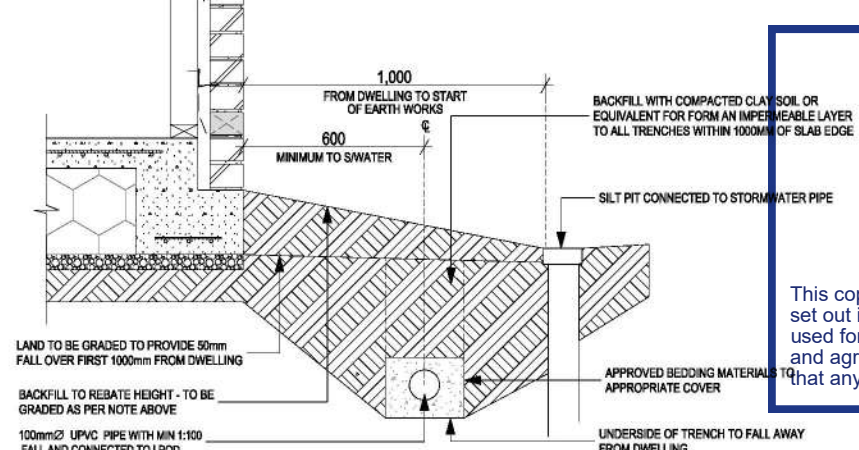


LOT 305 (#21) SCENIC RISE
 PAKENHAM, VIC 3810

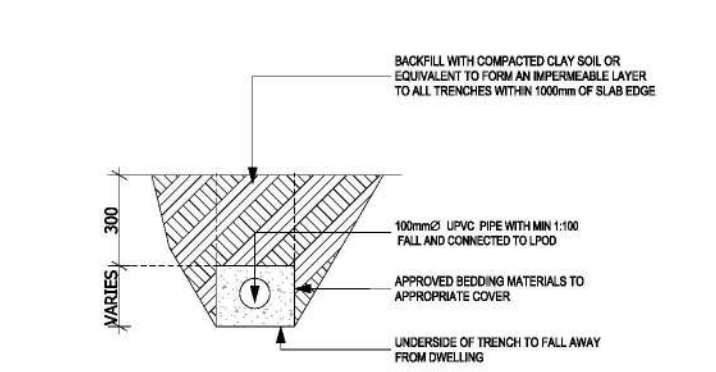
SCENIC RISE



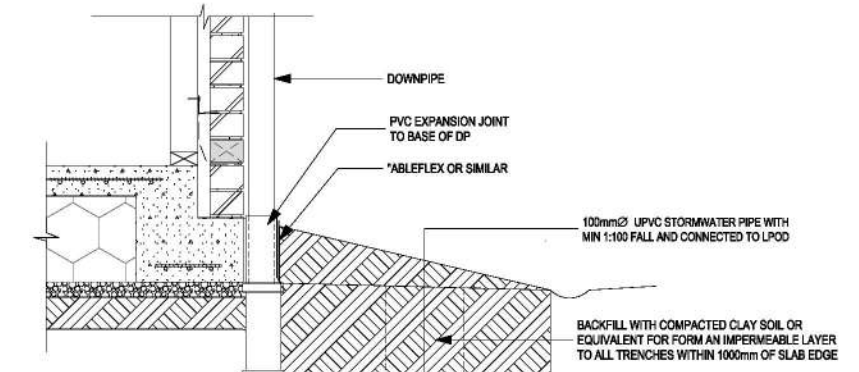
CLAY PLUG DETAIL
 SCALE: NTS



TYPICAL DOWNPIPE TO STORMWATER PIPE CONNECTION
 SCALE: NTS



TYPICAL TRENCH DETAIL
 SCALE: NTS



TYPICAL STORMWATER DETAIL
 SCALE: NTS

Cardinia

ADVERTISED MATERIAL

Planning Application: T260251
 Date Prepared: 28 May 2026

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SITE DRAINAGE - SWALE DRAINS

SOIL TO BE GRADED TOWARDS SWALE DRAIN AT MIN 1:20/50MM OVER FIRST 1000MM AWAY FROM DWELLING AS PER AS 2870-2011/ NCC 3.3 GRATED SILT PITS TO BE PROVIDED AT MAX. 6000MM CTS AND CONNECTED TO LEGAL POINT OF DISCHARGE. SILT PITS TO BE LOCATED MIN. 1000MM FROM DWELLING WHERE POSSIBLE. **SITE MANAGERS TO ENSURE SWALE DRAINS REMAIN FORMED & CLEAR OF DEBRIS FOR DURATION OF CONSTRUCTION**

ISSUED FOR:
DEVELOPER APPROVAL
 FOR ENDORSEMENT ONLY

DRAINAGE PLAN		JOB No:	
HOUSE TYPE: MONTPELLIER 35 +	MASTER DRAWING INFO:	219750	
FACEADE: MODE	DRAWN BY: KM	SCALE: 1:200, 1:25	DRAWING No:
	TYP HEIGHT: 27/24L	REVISION: 01	2 OF D.23
		ISSUED: TBC	

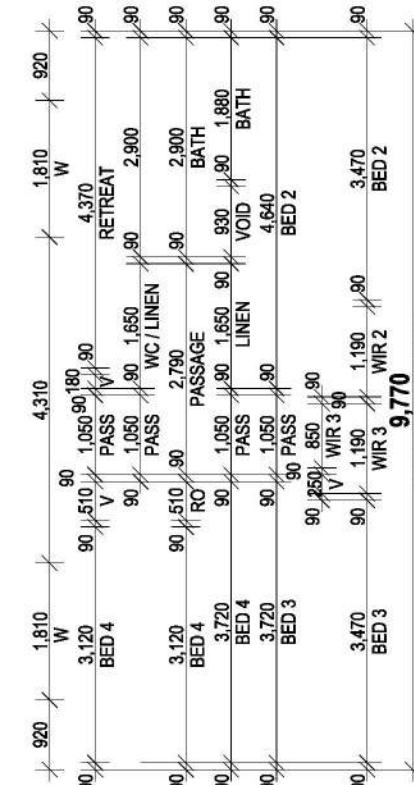
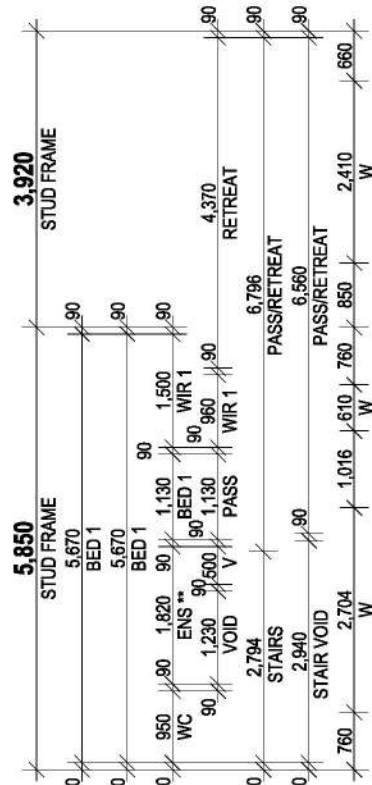
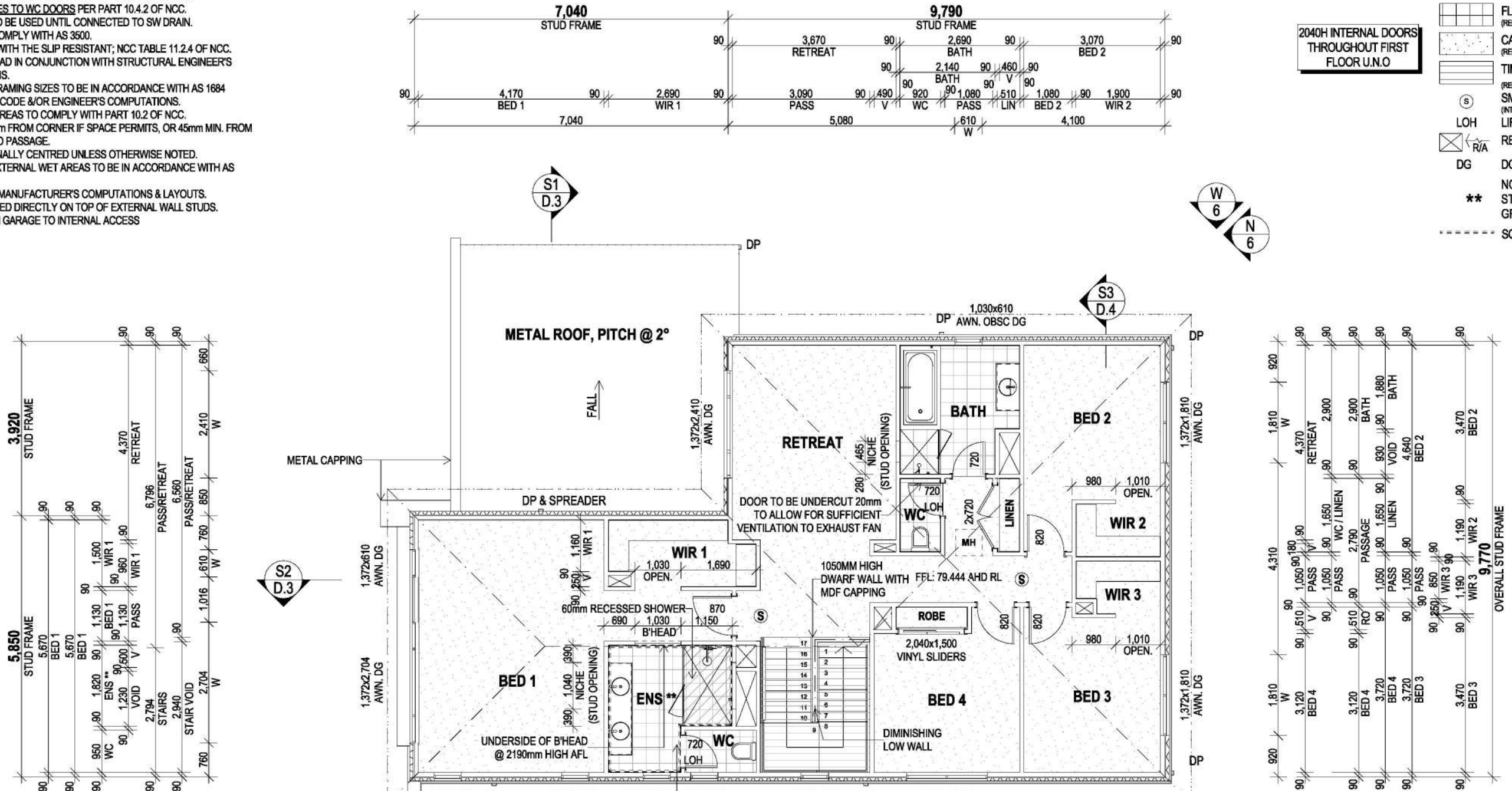
GENERAL NOTES

- INTERCONNECTED SMOKE DETECTORS AS PER 9.5 OF NCC AND AS 3886.
- PROVIDE REMOVABLE HINGES TO WC DOORS PER PART 10.4.2 OF NCC.
- TEMPORARY DOWNPIPES TO BE USED UNTIL CONNECTED TO SW DRAIN.
- GUTTERS & DRAINAGE TO COMPLY WITH AS 3500.
- STAIR TREADS TO COMPLY WITH THE SLIP RESISTANT; NCC TABLE 11.2.4 OF NCC.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS & SPECIFICATIONS.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS 1684 NATIONAL TIMBER FRAMING CODE &/OR ENGINEER'S COMPUTATIONS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH PART 10.2 OF NCC.
- HINGED DOORS TO BE 135mm FROM CORNER IF SPACE PERMITS, OR 45mm MIN. FROM CORNER. CENTRE DOORS TO PASSAGE.
- ROBE DOORS TO BE EXTERNALLY CENTRED UNLESS OTHERWISE NOTED.
- WATERPROOFING TO ALL EXTERNAL WET AREAS TO BE IN ACCORDANCE WITH AS 4654.2 CLAUSE 2.8.2.
- TIMBER ROOF TRUSSES TO MANUFACTURER'S COMPUTATIONS & LAYOUTS.
- ROOF TRUSSES TO BE PLACED DIRECTLY ON TOP OF EXTERNAL WALL STUDS.
- INTERNAL RAMP SEAL FROM GARAGE TO INTERNAL ACCESS

LEGEND

- FLOOR TILES - BY BUILDER (REFER ADDENDA FOR SELECTION)
- CARPET - BY BUILDER (REFER ADDENDA FOR SELECTION)
- TIMBERLAMINATE - BY BUILDER (REFER ADDENDA FOR SELECTION)
- SMOKE DETECTOR (INTERCONNECTED AS PER NCC)
- LIFT OFF HINGES
- RETURN AIR LOCATION
- DOUBLE GLAZING
- NOGGINS INSTALLED TO STUD WALLS FOR FUTURE GRAB RAILS AS PER NCC
- SQUARE SET CORNICE

2040H INTERNAL DOORS THROUGHOUT FIRST FLOOR U.N.O



Area Calcs		
Zone Name	Area (m²)	Perimeter (m)
FIRST FLOOR	142.19	54.00
GROUND FLOOR	125.25	55.60
GARAGE	40.32	25.88
OUTDOOR LIVING	14.86	15.62
PORCH	4.33	14.86
TOTAL	326.95 m²	

NCC COMPLIANCE - AIR FILTRATION
GARAGE AND EXTERNAL HINGED DOORS REQUIRDE TO BE SEALED TO RESTRICT AIR FILTRATION. NCC CLAUSE 13.4.4.

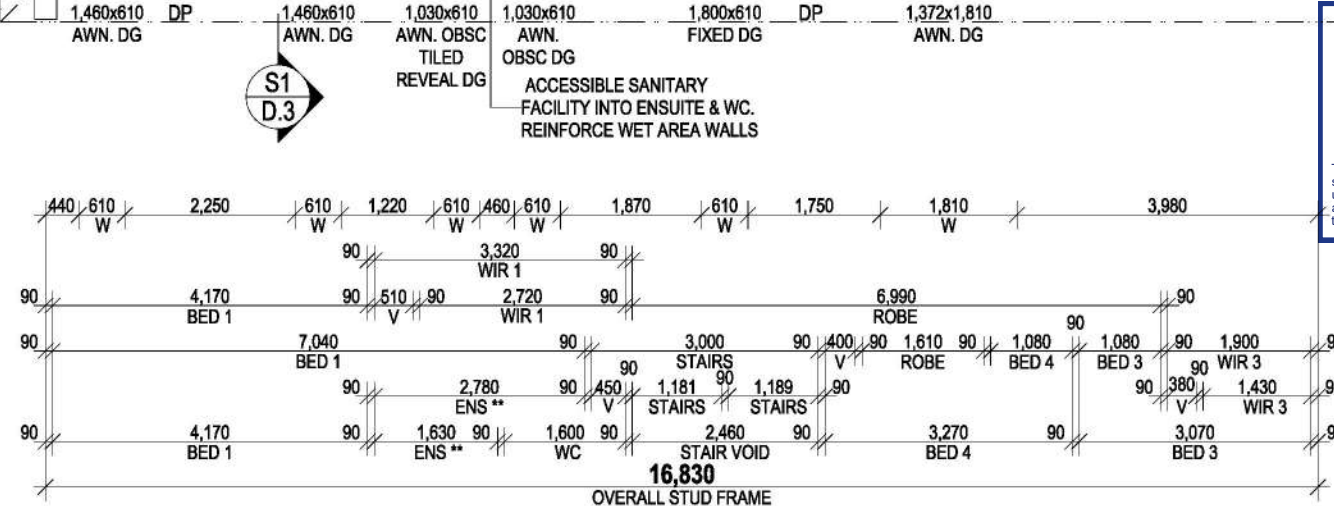
Cardinia
ADVERTISED MATERIAL
Planning Application: T260251
Date Prepared: 28 May 2026

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ENERGY EFFICIENCY
ALL WINDOWS ARE DOUBLE GLAZED + LOW-E + THERMALLY BROKEN, ALL SLIDING / STACKER DOORS ARE DOUBLE GLAZED + LOW-E, UNLESS OTHERWISE NOTED.

DIMENSIONS ARE TO STUDWALL &/OR EXTERNAL CLADDING

**ISSUED FOR:
DEVELOPER APPROVAL**
FOR ENDORSEMENT ONLY



ID	REVISION	BY	DATE
01	CONTRACT DRAWINGS	TNV	14/06/2025
02	CONTRACT CHECK	CA	19/06/2025
03	DA SITING, V01-02, SURVEY & PSI	LNN	24/02/2026
04	SITING CHECK	KH	27/02/2026
05	ENERGY UPDATE	KH	04/03/2026
06	VO3	KH	10/03/2026
07	DA RFI	KH	12/03/2026

GENERAL NOTES:
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

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LOT 305 (#21) SCENIC RISE PAKENHAM, VIC 3810

FIRST FLOOR PLAN
HOUSE TYPE: **MONTPELLIER 35 + MODE**
MASTER DRAWING INFO: SCALE: 1:100
DRAWN BY: KM REVISION: 01 DRAWING No: 4 OF 11
TYP HEIGHT: 27/24L ISSUED: TBC

GENERAL NOTES

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREEN, BALUSTRADES, AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 8.3 OF NCC AND AS 2047.
- ALL WET AREAS FEATURING EXTERNAL SLIDING DOORS OR WINDOWS WILL HAVE OBSCURE GLAZING, IN ACCORDANCE WITH PART 8.4.6 OF NCC.
- WINDOW HEAD HEIGHT DIMENSIONS ARE NOMINAL & TO BE TAKEN TO THE NEAREST BRICK COURSE.
- ALL ARTICULATION JOINTS MUST BE IN COMPLIANT WITH PART 5.6.8 OF NCC AND AS 4773.1&2, WITH THE EXACT LOCATION SPECIFIED IN THE STRUCTURAL ENGINEERING DRAWINGS.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER'S DRAWINGS & COMPUTATIONS.
- ALL DOWNPIPES TO BE JOINED TO PVC SWD AT BASE OF WEEPHOLES TYPICAL.

LYSAGHT PAB19 COMPLIANCE

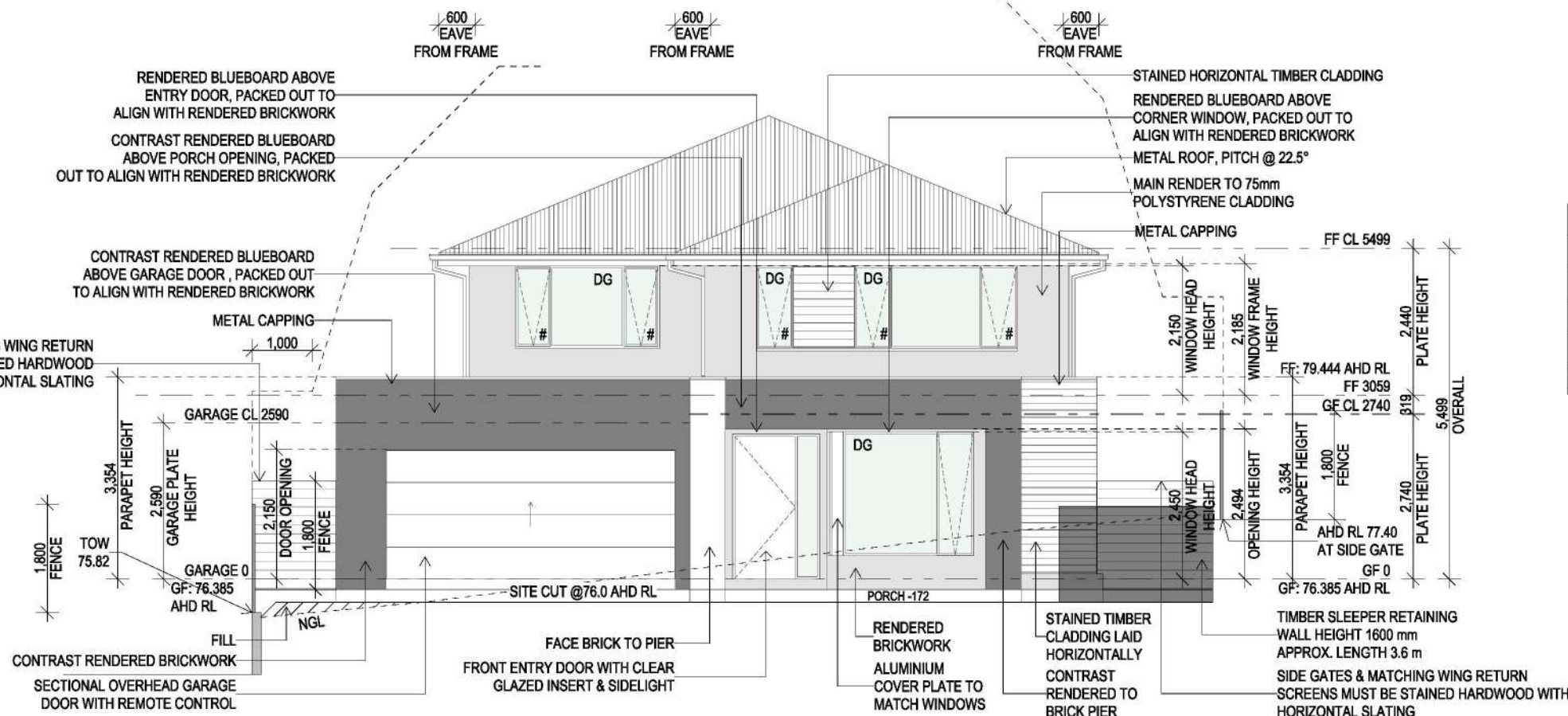
NOTE
COLORBOND (OR EQUIVALENT) SHEET METAL ROOFING.

LEGEND

- FACE BRICKWORK
- MAIN RENDER
- CONTRASTING RENDER
- CLADDING
- DG DOUBLE GLAZING

MATERIAL AREA ANALYSIS

FACE BRICKWORK	2.06m ²	5.88%
RENDER - MAIN	12.56m ²	35.88%
RENDER - CONTRAST	14.96m ²	42.73%
TIMBER	5.43m ²	15.51%
TOTAL	35.01m²	100%



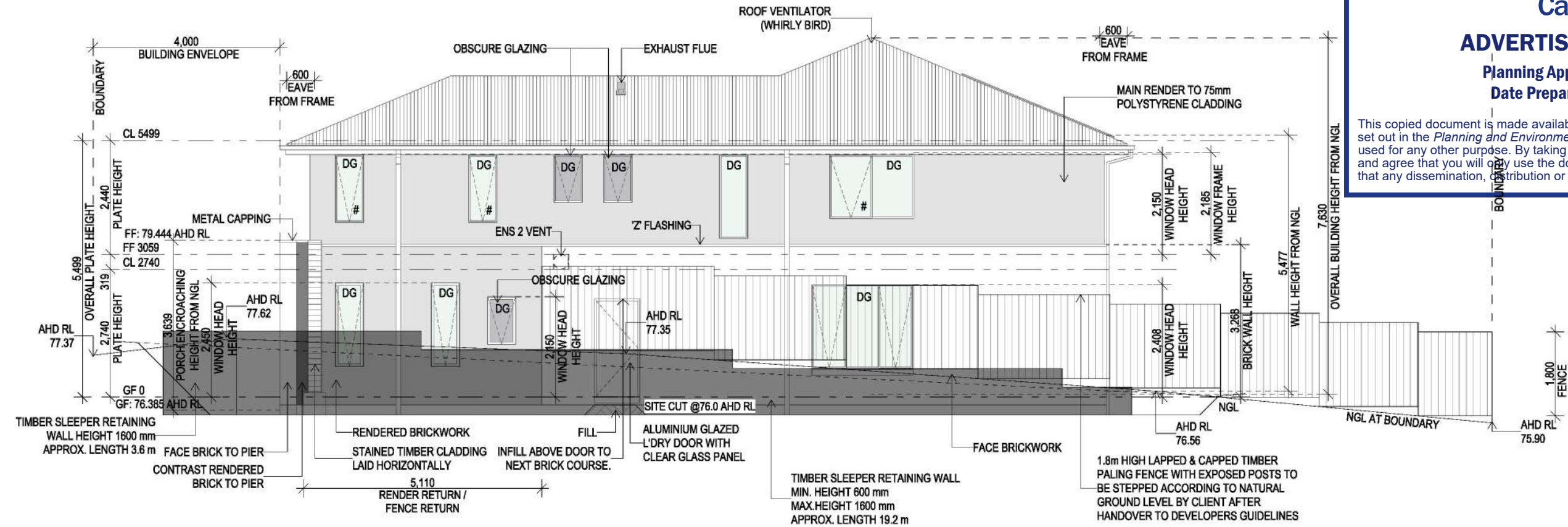
S - SOUTH ELEVATION 1:100

Cardinia

ADVERTISED MATERIAL

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E - EAST ELEVATION 1:100

DIMENSIONS ARE FROM RELEVANT LEVELS

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81 LORIMER STREET
DOCKLANDS, VIC. 3008
PH: (03) 9674 4500 FAX: (03) 9674 4501

ID	REVISION	BY	DATE	ID	REVISION	BY	DATE
01	CONTRACT DRAWINGS	TNV	14/06/2025	08	VOID TO WIR 1	KH	30/03/2026
02	CONTRACT CHECK	CA	19/06/2025	09	DA RFI	KH	01/04/2026
03	DA SITING, V01-02, SURVEY & PSI	LNN	24/02/2026	10	DA RFI (FENCING)	KH	14/04/2026
04	SITING CHECK	KH	27/02/2026	11	AHD SURVEY	KH	08/05/2026
05	ENERGY UPDATE	KH	04/03/2026	12	TP RFI	KH	13/05/2026
06	VO3	KH	10/03/2026				
07	DA RFI	KH	12/03/2026				

GENERAL NOTES:

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**LOT 305 (#21) SCENIC RISE
PAKENHAM, VIC 3810**

ELEVATION S & E

HOUSE TYPE: **MONTPELLIER 35 +**

FAÇADE: **MODE**

MASTER DRAWING INFO: SCALE: 1:100

DRAWN BY: KM REVISION: 01 DRAWING No: 5 OF 11

TYP HEIGHT: 27/24L ISSUED: TBC

JOB No: **219750**

GENERAL NOTES

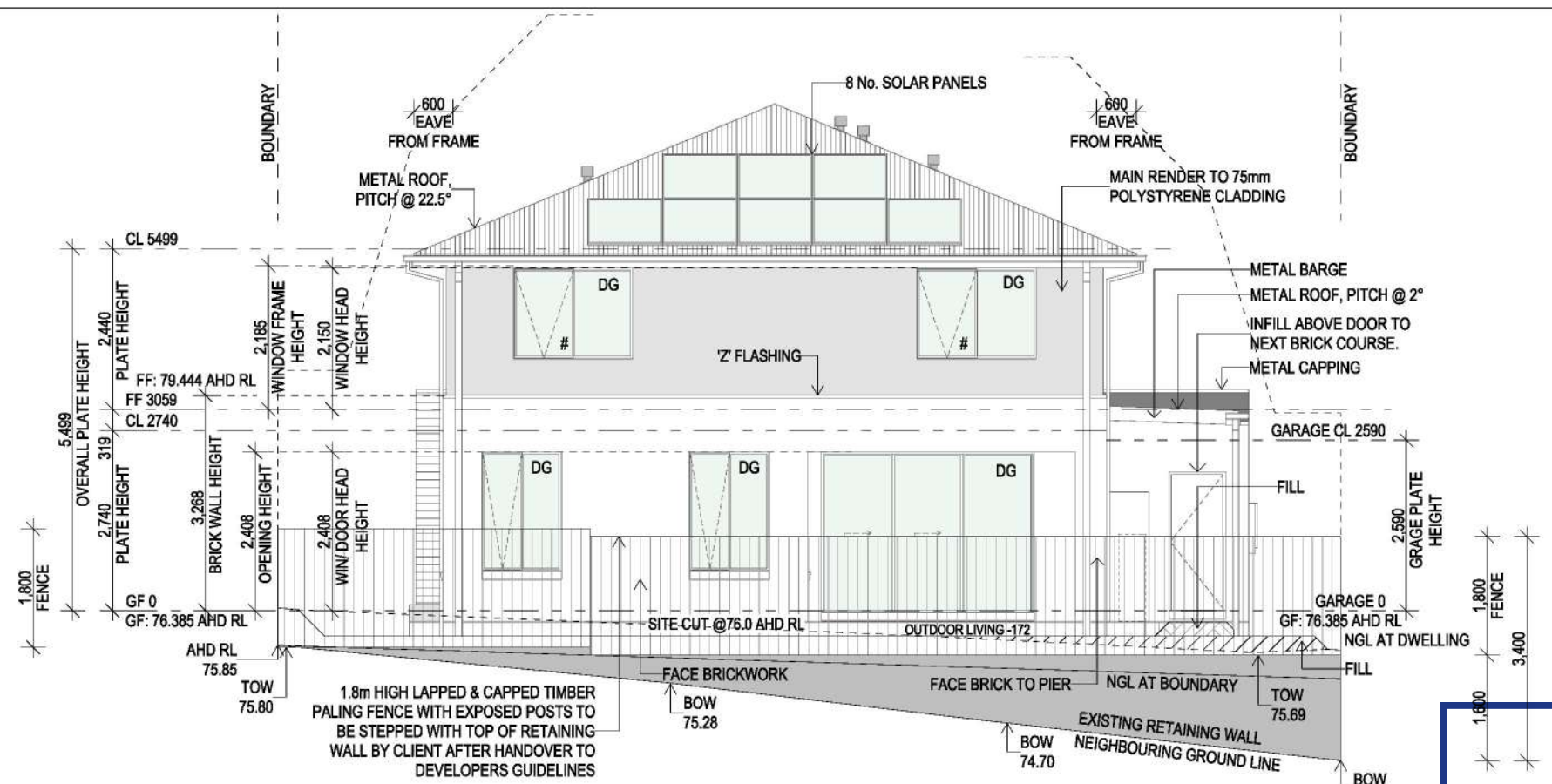
- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREEN, BALUSTRADES, AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 8.3 OF NCC AND AS 2047.
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- WINDOW HEAD HEIGHT DIMENSIONS ARE NOMINAL & TO BE TAKEN TO THE NEAREST BRICK COURSE.
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- ALL DOWNPIPES TO BE JOINED TO PVC SWD AT BASE OF WEEPHOLES TYPICAL.

LYSAGHT PAB19 COMPLIANCE

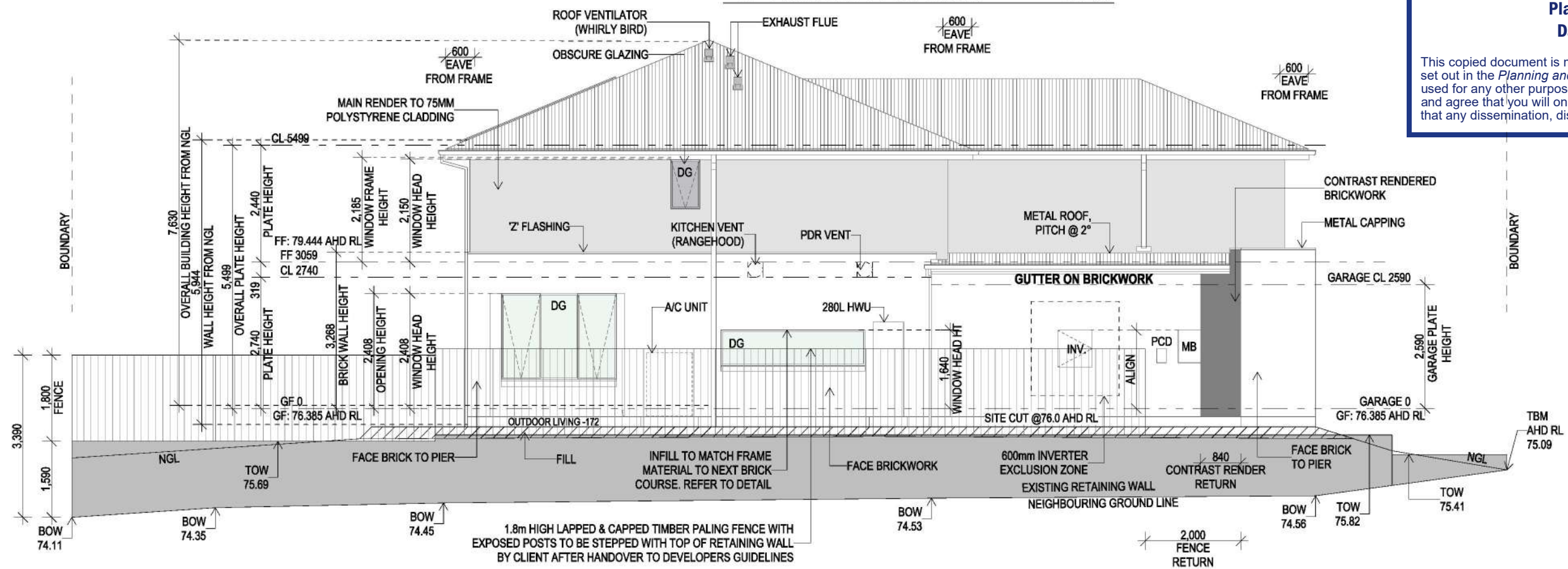
NOTE
COLORBOND (OR EQUIVALENT) SHEET METAL ROOFING.

LEGEND

- FACE BRICKWORK
- MAIN RENDER
- CONTRASTING RENDER
- CLADDING
- DG DOUBLE GLAZING



N - NORTH ELEVATION 1:100



W - WEST ELEVATION 1:100

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Date Prepared: 28 May 2026

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DIMENSIONS ARE FROM RELEVANT LEVELS

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06	V03	KH	10/03/2026
07	DA RFI	KH	12/03/2026

GENERAL NOTES:

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CLIENT: [REDACTED]

LOT 305 (#21) SCENIC RISE
PAKENHAM, VIC 3810

ELEVATION N & W		JOB No: 219750
HOUSE TYPE: MONTPELLIER 35 +	MASTER DRAWING INFO:	SCALE: 1:100
FACADE: MODE	DRAWN BY: KM	REVISION: 01
	TYP HEIGHT: 27/24L	ISSUED: TBC
		DRAWING No: 6 OF 11



ADVERTISED MATERIAL

Planning Application: T260251
Date Prepared: 28 May 2026

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- LANDSCAPING WATER-SENSITIVE INITIATIVES:
- PLANTS TO BE OF NATIVE SPECIES (REQUIRE LESS WATER)
 - ORGANIC MULCH (LOWER MAINTENANCE)

LANDSCAPE BY OWNER

LANDSCAPE NOTES

- SERVICES TO FRONT OF PROPERTY ARE TO BE HIDDEN FROM PUBLIC VIEW BY PLANTINGS OR SCREENING.
- SHRUBS TO BE PLANTED FROM A MIN. Ø150mm. POT SIZE.
- TREES TO BE A MIN. OF 1.5m HIGH AT TIME OF PLANTING.
- IF LANDSCAPE DESIGN OR SELECTION OF SPECIES IS ALTERED BY OWNER, IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN APPROVAL AS NECESSARY.

LANDSCAPE LEGEND

THIS PLAN IS INDICATIVE & SHOWS GENERAL INTENT OF PROPOSED LANDSCAPING WORKS AND HAS BEEN PROVIDED FOR DEVELOPER APPROVAL. ACTUAL EXTENT AND LOCATION OF GROUND COVER AND PLANTINGS MAY VARY.

- GRASS / LAWN / TURF
- MULCH (ORGANIC)
- CRUSHED ROCK
- STEP PAVING (INDICATIVE SIZE ONLY)

PLANTING SCHEDULE

QTY	SYMBOL	SPECIES (NATIVE)	MAX Ht.
1 No.		CREPE MYRTLE	4.0m
2 No.		GIANT HOP BUSH	3.0m
7 No.		BLUE TUSOCK GRASS	1.4m
5 No.		AUSTRAL TREFOIL	0.6m
9 No.		BLACK ANTER FLAX LILY	0.5m

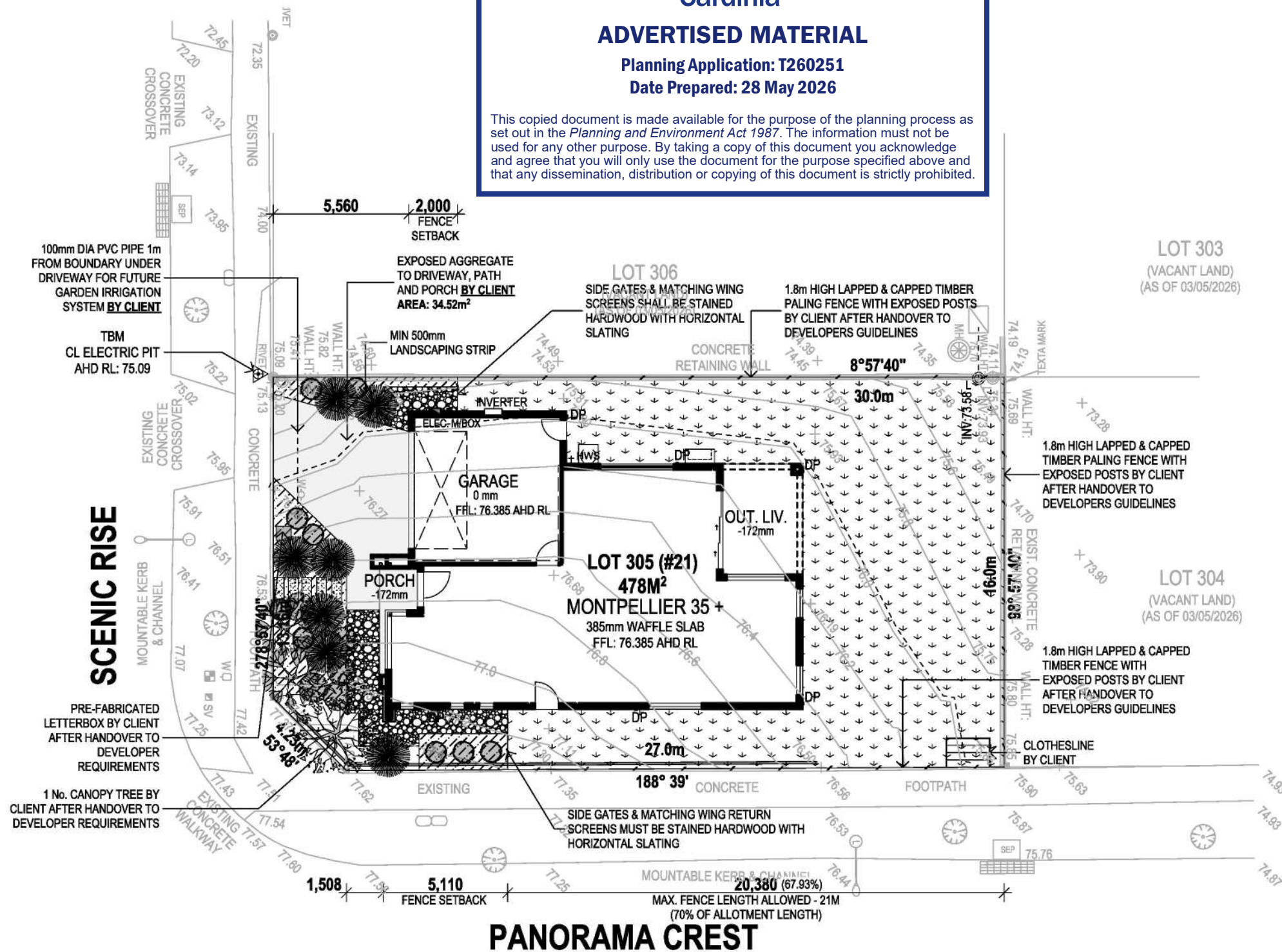
HARDSCAPE AREA ANALYSIS

PERMEABLE	59.81m ²	66.49%
NON-PERMEABLE	30.14m ²	33.51%
TOTAL	89.95m ²	100%

DRIVEWAY MUST BE FULLY COMPLETED PRIOR TO OCCUPANCY OF THE DWELLING.

FENCES ON SLOPE: SLOPE MUST BE TAKEN INTO CONSIDERATION AND FENCES MUST BE STEPPED ACCORDINGLY.

SECONDARY ROAD FRONTAGE FENCES LIMITED TO A MAXIMUM OF 70% OF ALLOTMENT LENGTH.



PANORAMA CREST

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PH: (03) 9674 4500 FAX: (03) 9674 4501

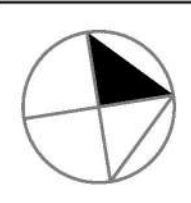
LAST SAVED: 12/05/2026

ID	REVISION	BY	DATE
01	CONTRACT DRAWINGS	TNV	14/06/2025
02	CONTRACT CHECK	CA	19/06/2025
03	DA SITING, V01-02, SURVEY & PSI	LNN	24/02/2026
04	SITING CHECK	KH	27/02/2026
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06	V03	KH	10/03/2026
07	DA RFI	KH	12/03/2026

ID	REVISION	BY	DATE
08	VOID TO WIR 1	KH	30/03/2026
09	DA RFI	KH	01/04/2026
10	DA RFI (FENCING)	KH	14/04/2026
11	AHD SURVEY	KH	08/05/2026
12	TP RFI	KH	13/05/2026

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LOT 305 (#21) SCENIC RISE
PAKENHAM, VIC 3810

LANDSCAPE PLAN		JOB No:
HOUSE TYPE: MONTPELLIER 35 +	MASTER DRAWING INFO:	219750
FACADE: MODE	DRAWN BY: KM	SCALE: 1:200
	REVISION: 01	DRAWING No:
	TYP HEIGHT: 27/24L	D.22 OF D.23
	ISSUED: TBC	

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