

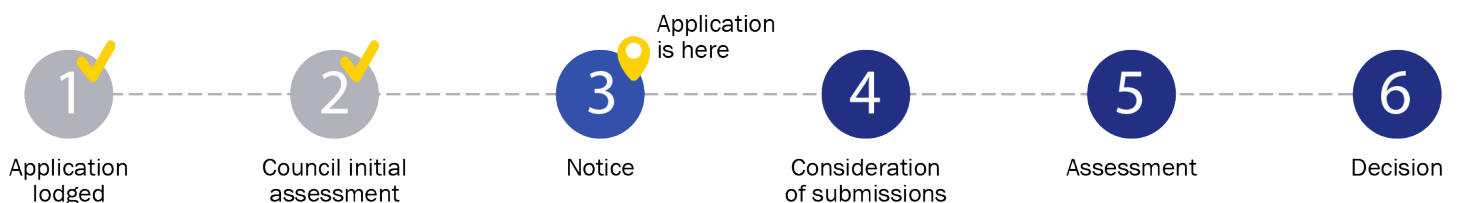


Notice of Application for a Planning Permit

The land affected by the application is located at:	L17 LP44822 V8323 F383 33 Bird Road, Avonsleigh VIC 3782	
The application is for a permit to:	Buildings and Works (Construction of an Outbuilding)	
A permit is required under the following clauses of the planning scheme:		
43.02-2	Construct a building or construct or carry out works	 ADVERTISED MATERIAL Planning Application: T260195 Date Prepared: 22 May 2026 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>
APPLICATION DETAILS		
The applicant for the permit is:	YV Sheds & Barns	
Application number:	T260195	
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		08 June 2026
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application Summary

Portal Reference	A12614FP
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Basic Information

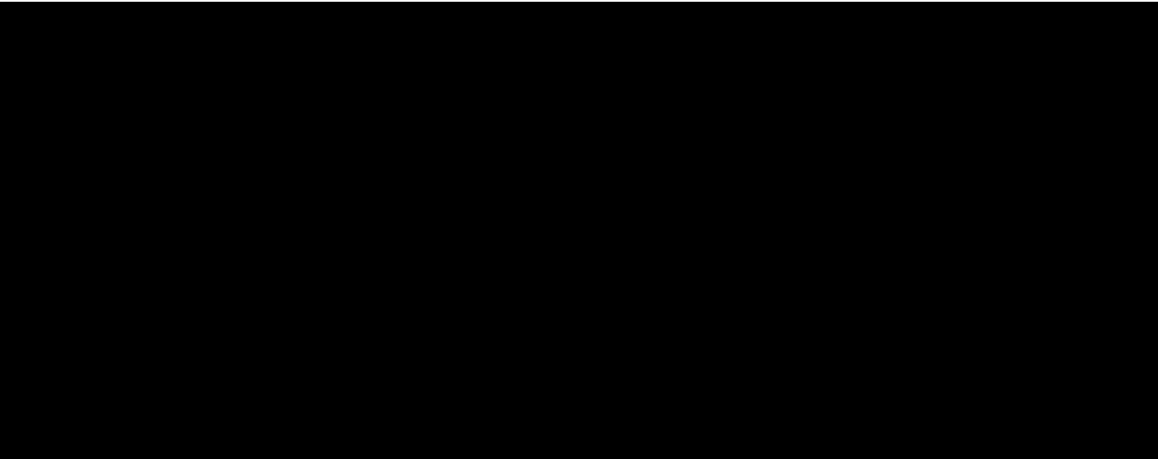
Proposed Use	We are wanting to construct a 8.010m wide x 16.0m long x 2.7m (wall height) class 10 Colorbond outbuilding used primarily for storage of tools and a caravan. Overlays have been noted on the attached site plans. A previous application had been submitted however we had to withdraw to focus on getting all items on the previous RFI completed.
Current Use	There is currently a dwelling and an existing outbuilding on the site (noted on working drawings).
Cost of Works	\$37,553
Site Address	33 Bird Road Avonsleigh 3782

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	No such encumbrances are breached
---	-----------------------------------

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm

Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
24-03-2026	A Copy of Title	00800394520012026032323330001.pdf
24-03-2026	Encumbrance	00800394520022026032323330001.pdf
24-03-2026	Site plans	YV 029 - 33 Bird Road AVONSLEIGH - Rev F (2).pdf
24-03-2026	Additional Document	Arborist report..pdf
24-03-2026	Additional Document	Bushfire management plan..pdf
24-03-2026	Additional Document	Purpose of use letter..pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	[REDACTED]
Submission Date	[REDACTED]

Declaration

[REDACTED] information in this application is true and correct; and the Applicant and/or [REDACTED]

**Civic Centre**
20 Siding Avenue, Officer, Victoria

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**Cardinia**

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 08323 FOLIO 383

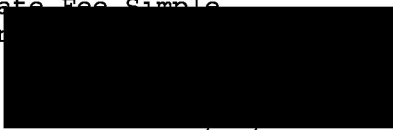
Security no : 124133219349N
Produced 24/03/2026 10:33 AM

LAND DESCRIPTION

Lot 17 on Plan of Subdivision 044822.
PARENT TITLE Volume 08273 Folio 705
Created by instrument B214368 26/05/1961

REGISTERED PROPRIETOR

Estate Fee Simple
Joint



both of 33 BIRD ROAD AVONSLEIGH VIC 3782

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AN370749L 13/12/2016
BENDIGO AND ADELAIDE BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP044822 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 33 BIRD ROAD AVONSLEIGH VIC 3782

ADMINISTRATIVE NOTICES

NIL

eCT Control 03500L BENDIGO AND ADELAIDE BANK LTD - SAFE CUSTODY
Effective from 21/07/2017

DOCUMENT END



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PLAN OF SUBDIVISION OF
CROWN ALLOTMENT 21^B

PARISH OF NANGANA

COUNTY OF EVELYN

Measurements are in Feet & Inches
Conversion Factor
FEET X 0.3048 = METRES

DEPTH LIMITATION: 50 FEET

N7233 F503

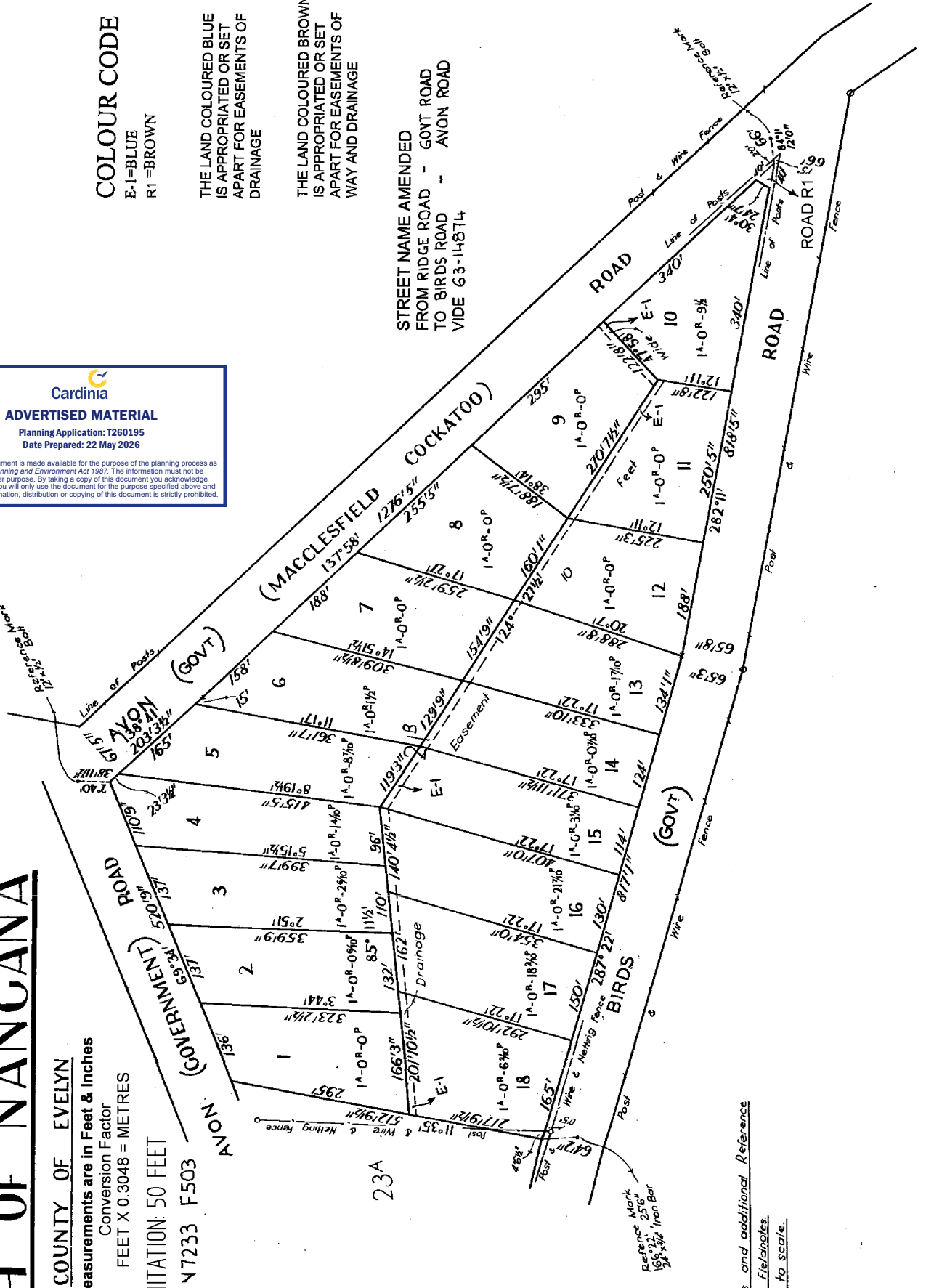
LP 44822
EDITION 1
PLAN MAY BE LODGED 28.5.59

COLOUR CODE
E-1=BLUE
R1=BROWN

THE LAND COLOURED BLUE
IS APPROPRIATED OR SET
APART FOR EASEMENTS OF
DRAINAGE

THE LAND COLOURED BROWN
IS APPROPRIATED OR SET
APART FOR EASEMENTS OF
WAY AND DRAINAGE

STREET NAME AMENDED
FROM RIDGE ROAD - GOVT ROAD
TO BIRDS ROAD - AVON ROAD
VIDE 63-14814



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Note: For datum of bearings and additional Reference
Marks see Copy of Fieldnotes.
Road widths are not to scale.

[REDACTED]
33 Bird Road

Avonsleigh Vic 3782

1 May 2025

Purpose of use letter.

To whom it may concern

I am proposing to construct a new shed on my property, which will be used primarily for the secure storage of my tools and caravan. As an active user of tools for both maintenance and personal projects, as well as a caravan owner, it is essential that I have a dedicated and weather-protected space to store these valuable items.

The shed will help ensure that my equipment is kept in good condition, protected from the elements, and safely stored out of sight. This will not only improve the overall organisation of my property but also contribute to its safety and tidiness.

In terms of design, the shed has been planned to complement the surrounding built environment. The materials and colours selected are in line with other structures in the area, which include Colourbond steel constructions in neutral and earthy tones of Monument and Basalt

I trust this provides sufficient context for the intended use and design considerations of the proposed shed. Should you require any further information or clarification, please feel free to contact me on [REDACTED]

Thank you for your consideration.

Kind Regards



[REDACTED]


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Woods Environmental Services

E-mail: grant@woodsenviro.com.au

Mobile: 0447 334 972

ABN: 71 007 160 009

Cardina

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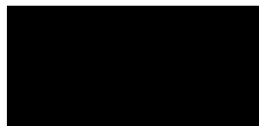
Arboricultural Assessment and Tree Impact Report

LOCATION:

33 Bird Road,

Avonsleigh

COMPILED BY



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1. TERMS OF REFERENCE

Under instructions from Mr. Luke Simon, *Woods Environmental Services*, have been engaged to compile and supply an Arboricultural Report pertaining to nine (9) trees located at No. 33 Bird Rd, Avonsleigh. This report is in relation to the proposed construction of a new shed.

2. KEY OBJECTIVES

- 2.1 To number and identify all significant tree features on the subject site (including neighbouring properties) that could potentially be affected by the proposed works (construction of new shed).
- 2.2 To provide information on the species, dimensions, health and structure of the trees.
- 2.3 To assess the impact of the proposed development (construction of new shed) on the existing trees.
- 2.4 To offer recommendations in terms of the findings of the assessment.

3. PROCEDURE

- 3.1 Visited the site on 28/08/2025 to inspect trees and site conditions.
- 3.2 Measured heights of trees (using a clinometer) and trunk dimensions (using a diameter tape).
- 3.3 Visually assessed subject trees for health, structure and impact of proposed development.
- 3.4 Photographed the existing trees using a digital camera.

The inspection is limited to a visual examination from the ground without dissection, excavation or boring. No samples of the trees or site soil were taken.

All measurements are approximates only.



4. TREE DETAILS

Table 1.

Tree	Species	H x W (M)	DBH (cm)	DAB (cm)	Age	Health	Structure	Origin	Retention value	Comments	TPZ (M)	SRZ (M)	Minimum setback (M) with 10% TPZ encroachment
1	<i>Ulmus sp.</i> (Elm)	14 x 8	36	44	Semi-mature	Fair-poor	Fair	Exotic	Moderate	Deciduous tree, dormant at time of inspection. May require minor pruning to allow for proposed construction	4.3	2.3	3
2	<i>Populus sp.</i> (Poplar)	25 x 6	63	70	Mature	Fair-poor	Fair-poor	Exotic	Moderate	Deciduous tree, dormant at time of inspection. Bifurcated at approx 1.6M above g/l	7.6	2.8	5.2
3	<i>Pinus radiata</i> (Monterey Pine)	25 x 8	49	57	Semi-mature	Fair	Fair-poor	Exotic	Moderate	Environmental weed species. Unaffected by proposed development	5.9	2.6	4
4	<i>Pinus radiata</i> (Monterey Pine)	30 x 9	72	81	Mature	Fair	Fair	Exotic	Moderate	Environmental weed species. Unaffected by proposed development	8.6	3	5.9
5	<i>Pinus radiata</i> (Monterey Pine)	30 x 11	83	90	Mature	Fair	Fair	Exotic	Moderate	Environmental weed species. Unaffected by proposed development	10	3.2	6.9
6	<i>Pinus radiata</i> (Monterey Pine)	26 x 8	46	52	Semi-mature	Fair	Fair	Exotic	Moderate	Environmental weed species. Unaffected by proposed development	5.5	2.5	3.8
7	<i>Robinia pseudoacacia</i> (Black locust)	16 x 10	40	56	Mature	Fair-poor	Fair-poor	Exotic	Moderate	Deciduous tree, dormant at time of inspection.	4.8	2.6	3.3
8	<i>Robinia pseudoacacia</i> (Black locust)	15 x 10	49	58	Mature	Fair-poor	Fair-poor	Exotic	Moderate	Deciduous tree, dormant at time of inspection.	5.9	2.6	4
9	<i>Quercus robur</i> (English Oak)	11 x 9	48	62	Semi-mature	Fair	Fair	Exotic	Moderate	Deciduous tree, dormant at time of inspection.	5.8	2.7	4

DBH = Diameter at breast height (measured at 1.4M above natural ground level).

DAB = Diameter above buttress (measured immediately above the root buttress)

TPZ = Tree Protection Zone (measured as a radius from the centre of the tree trunk).

SRZ = Structural Root Zone (measured as a radius from the centre of the tree trunk)



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5. OBSERVATIONS

A total of nine (9) individual trees were assessed within and adjacent to the subject site. All nine trees are located on the subject site (33 Bird Rd, Avonsleigh). All assessed trees are planted exotic species (originating outside Australia).

The proposed shed will be constructed on an existing concrete slab, which was already in place when the current owners purchased the property approximately 10 years ago (as advised by the owner). The trees assessed in this report appear to be performing well alongside the existing slab.

Trees identified for retention

Tree Protection Zones (TPZ) are the principal means of protecting trees on development sites. The TPZ is a combination of the root area and crown area requiring protection. It is an area isolated from construction disturbance, so that the tree remains viable. (AS 4970-2009, Protection of trees on development sites).

Encroachment of up to 10% of the TPZ area is permitted providing the loss if any can be made up in a location that is contiguous with the TPZ. Table 1 above, provides minimum setbacks allowing for 10% encroachment into TPZs for trees identified as suitable for retention. The minimum setbacks are measured in metres as a radius from the centre of the tree stem at ground level.

Under the current proposal there will be encroachment of greater than 10% of the TPZ area of Tree 2 only. Considering Tree 2 has been growing alongside (approx. 4M setback) the existing slab it is unlikely the construction of the proposed shed will have an adverse effect on any of the trees assessed in this report.

6. RECOMMENDATIONS

All nine (9) trees detailed in this report have been recommended for retention and protection throughout the development process.

Tree Protection Zone Recommendations

- Trees identified for retention should be protected throughout the development process by erecting a temporary fence/barrier around the Tree Protection Zone. **Refer to minimum setbacks as detailed in Table 1 on page 2.**
- The Tree Protection Zone is measured as a radius from the centre of the stem at ground level.
- Access to the TPZ's should only be allowed for essential construction works.
- If temporary access for machinery is required within the TPZ, ground protection to prevent root damage and soil compaction will be required. A layer of mulch or crushed rock below rumble boards can act as suitable ground protection.
- No tools, machinery, equipment, fill or materials should be placed or stored within the Tree Protection Zone.
- All contractors and tradespeople should be made aware of the Tree Protection Zones before commencing work on the site.
- Any underground service installations within the TPZ of trees identified for retention should be bored rather than open trenched.

- Underground boring must have a minimum cover of 600mm to top of pipe/conduit from natural ground level.
- Minor pruning may be required on tree 1 to allow for construction of the new shed. All pruning works must meet A.S. 4373-Pruning of amenity trees.

The successful protection of trees on development sites relies on all people associated with the development to be aware and adhere to tree protection guidelines. Trees are highly valuable assets economically, socially and aesthetically to the whole community.

Under no circumstance shall this report be reproduced unless in full.

References:

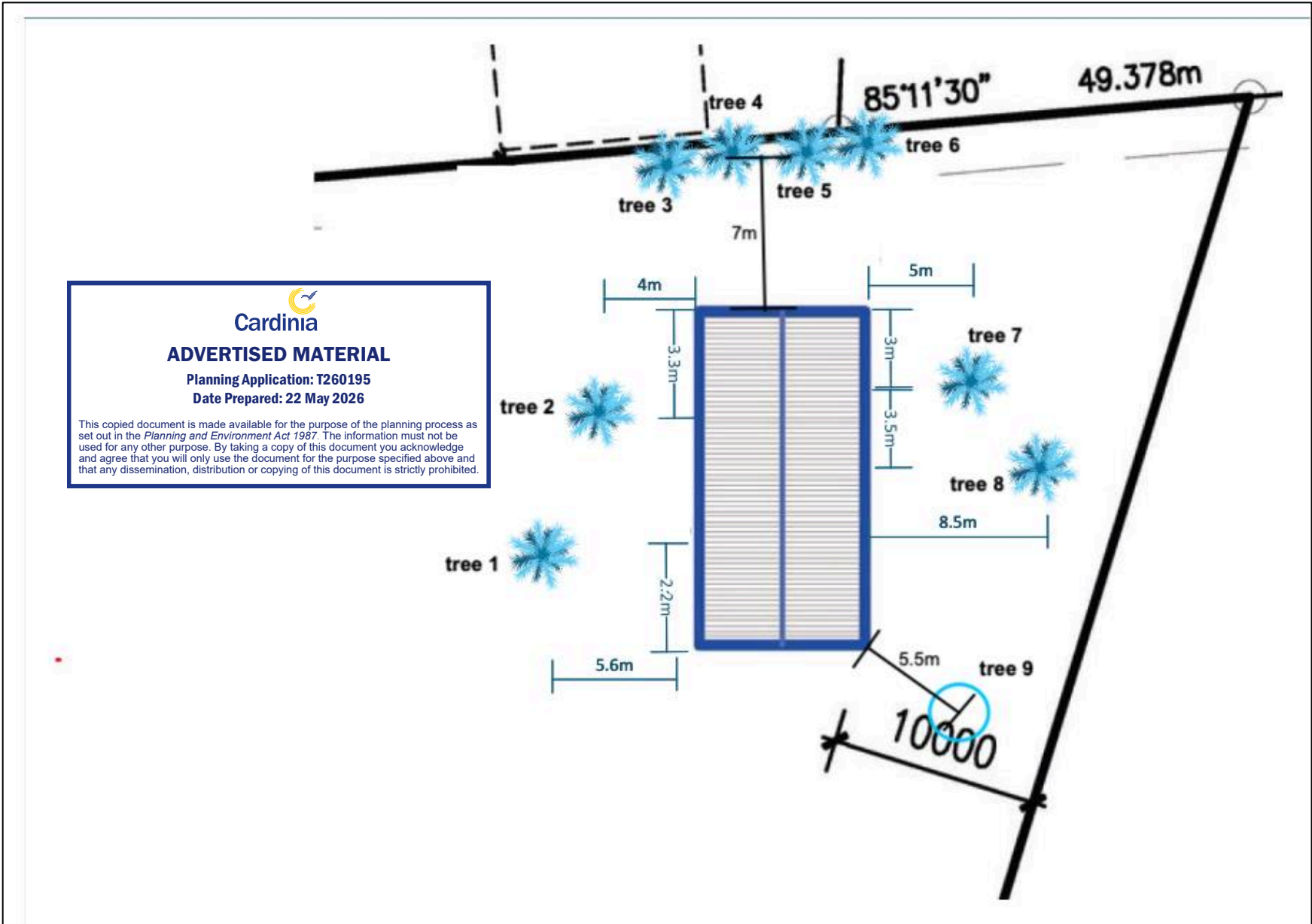
Harris, R.W., Matheny, N.P. & Clark, J.R. 1999, *Arboriculture, Integrated Management of Landscape Trees, Shrubs and Vines*, 3rd Ed.

A.S. 4970-2009 Protection of trees on development sites




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7. SITE PLAN

8. PHOTOGRAPHIC GUIDE



Existing concrete slab



Tree 1



Tree 2



Tree 3 Tree 4 Tree 5 Tree 6



Tree 7

Tree 8



Tree 9


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Appendix 1. Tree Description Terms

Health

Excellent	<p>Crown full with outstanding foliage density. Foliage entire with above average colour and very little or no pathogen damages. Well above average growth indicators such as extension growth, leaf size and canopy density with no canopy dieback. Generally less than 30% deadwood present in canopy. Excellent wound wood development.</p> <p>Tree exhibits excellent health and no remedial work is required.</p>
Good	<p>Crown full with good foliage density. Foliage entire with average colour, minimal or no pathogen damage. Average growth indicators such as extension growth, leaf size and canopy density. Little or no canopy dieback. Generally, less than 30% deadwood. Good wound wood development.</p> <p>Tree exhibits above average health and no remedial work is required.</p>
Fair	<p>Tree may have more than 30% dead wood, or may have minor canopy dieback. Foliage density may be slightly below average for this species. Foliage cover may be slightly lower than average and some discoloration may be present. Typical growth indicators, such as extension growth, leaf size and canopy density for this species. Average wound wood development.</p> <p>Tree exhibits below average health and remedial works may be required.</p>
Poor	<p>Tree may have more than 30% deadwood and canopy dieback may be present. Leaves may be discoloured and/or distorted, often small, and excessive epicormic growth may be present. Pathogens and/or stress agents may be present that could lead, or a leading to, the decline of the tree. Poor wound wood development.</p> <p>Tree exhibits low health and remedial works or removal may be required.</p>
Very Poor	<p>The tree has more than 30% deadwood. Extensive canopy dieback is present. Canopy is very sparse. Pathogens and/or stress agents are present that are leading to the decline of the tree. Very poor wound wood development. Structurally unsound.</p> <p>Tree exhibits very low health and remedial works or removal may be required.</p>
Dead	<p>Tree is dead and generally requires removal.</p>

Structure

Excellent	<p>The tree has a well-defined and balanced crown. Branch unions appear to be strong with no defects evident in the trunk or the branches. Major limbs are well defined and spaced. The tree is highly unlikely to suffer any form of trunk or branch failure under normal conditions.</p> <p>The tree is considered an outstanding example of the species with an excellent structure.</p>
Good	<p>The tree has a well-defined and balanced crown. Branch unions appear to be strong with no defects evident in the trunk or the branches. The tree is unlikely to suffer any form of trunk or branch failure under normal conditions.</p> <p>The tree is considered a good example of the species with a well-developed form.</p>
Fair	<p>The tree has some minor problems in the structure of the crown. The crown may be slightly out of balance and some branch unions may exhibit minor structural faults or have the potential to create faults. If the tree is single trunked, this may be on a slight lean or be exhibiting minor defects.</p> <p>These defects are not likely to result in catastrophic trunk or branch failure although some branch failure may occur under normal conditions.</p>
Poor	<p>The tree has significant problems in the structure of the scaffold limbs or trunk. It may be lop-sided or have a few branched on one side or have large gaps in the crown. Large branches may be rubbing or crossing over each other. Branch unions may appear poor, and faults at the point of attachment or along the branches may be evident. The tree may have a substantial lean. The tree may have suffered significant root damage. The tree may have some degree of basal or trunk damage.</p> <p>These defects may predispose the tree to major trunk or branch failure.</p>
Very Poor	<p>The tree has some very significant problems in the structure of the crown. It may be lop-sided or have few branches on one side or have large gaps in the crown. Branches may be rubbing or crossing over and causing damage to each other. Branch unions may be poor, and faults at the point of attachment or along the branches may be evident. The tree may have a substantial lean. The tree may have suffered major root damage. The tree may have extensive basal or trunk damage.</p> <p>These defects are likely to predispose the tree to trunk or scaffold limb failure.</p>

Form

Excellent	An outstanding specimen of that species. Generally, a very evenly balanced and symmetrical canopy worth no deformation. If the development of that species is naturally irregular then an outstanding specimen of that species.
Good	A good specimen of that species. Generally, a well-balanced and symmetrical canopy with minor deformation. If the development of that species is naturally irregular then a good specimen of that species.
Fair	An average specimen of that species. Generally, a balanced canopy with some minor to moderate asymmetry. If the development of that species is naturally irregular then an average specimen of that species.
Poor	A below average specimen of that species. Generally, a high to extreme degree of asymmetry. If the development of that species is naturally irregular then a poor specimen of that species.
Very poor	A very poor specimen of that species. Generally, a moderate to high degree of asymmetry. If the development of that species is naturally irregular then a very poor specimen of that species.

Retention Value

High	To be retained on site and the design should accommodate the tree's retention on the site.
Moderate	The tree may be retained and incorporated into the design intent.
Low	The tree is inappropriate for retention.



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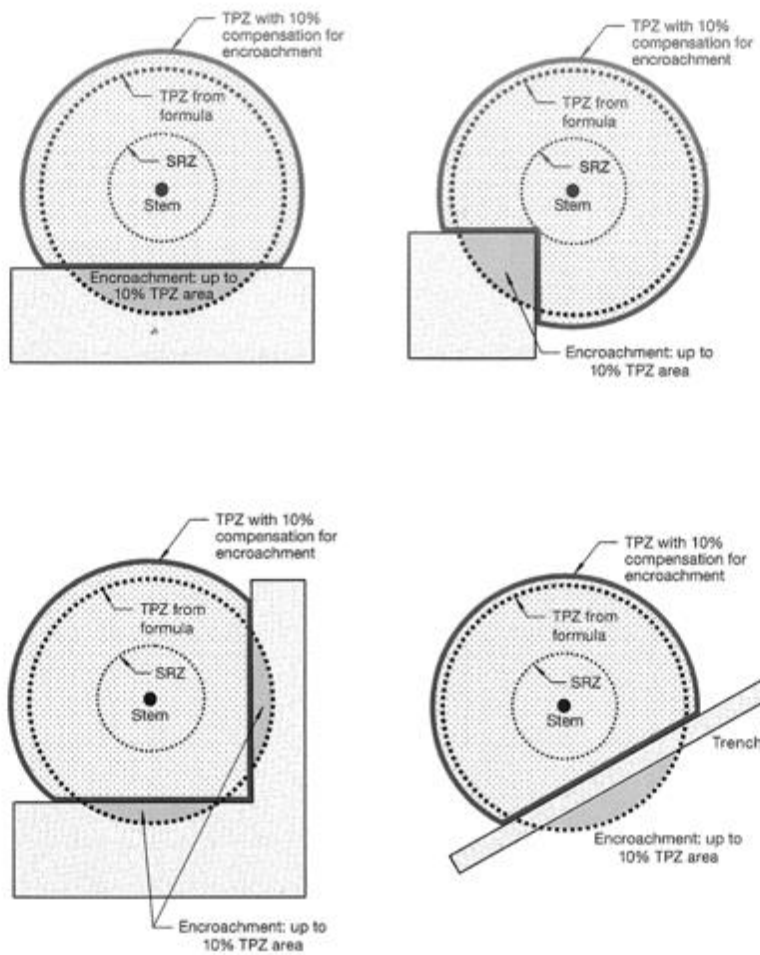
Appendix 2. Encroachment into TPZ information

AS 4970—2009

30

APPENDIX D ENCROACHMENT INTO TREE PROTECTION ZONE (Informative)

Encroachment into the tree protection zone (TPZ) is sometimes unavoidable. Figure D1 provides examples of TPZ encroachment by area, to assist in reducing the impact of such incursions.



NOTE: Less than 10% TPZ area and outside SRZ. Any loss of TPZ compensated for elsewhere.

FIGURE D1 EXAMPLES OF MINOR ENCROACHMENT INTO TPZ

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Appendix 3. Assumptions and Limiting Conditions

- 1 Any legal description provided to the consultant is assumed to be correct. Any titles and ownerships to any property are assumed to be good. No responsibility is assumed for matters legal in character.
- 2 It is assumed that any property/project is not in violation of any applicable codes, ordinances, statutes or other government regulations.
- 3 Care has been taken to obtain all information from reliable sources. All data has been verified in so far as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of the information provided by others.
- 4 The consultant shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.
- 5 Loss or alteration of any part of this report invalidates the entire report.
- 6 Possession of this report or a copy thereof does not imply right of publication or use for any purpose by anyone but the person to whom it is addressed, without the prior written consent of the consultant.
- 7 Neither all nor any part of the contents of this report, nor any copy thereof, shall be used for any purpose by anyone but the person to whom it is addressed, without the written consent of the consultant, nor shall it be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the written consent of the consultant.
- 8 This report and any values expressed herein represent the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any findings to be reported.
- 9 Sketches, diagrams, graphs and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.
- 10 Unless expressed otherwise: 1) Information contained in this report covers only those items that were examined and reflect the condition of those items at the time of inspection; and 2) The inspection is limited to visual examination of accessible components without dissection, excavation, aerial inspection or probing. There is no warranty or guarantee, expressed or implied, that problems or deficiencies will not occur in any inspected trees or plants in the future or that every existing defect has been noted in this report.

PROPERTY INFORMATION:

PLANNING OVERLAYS ON THIS BLOCK AS DEEMED BY CARDINIA COUNCIL:

- LDRZ (LDRZ 2)
LOW DENSITY RESIDENTIAL ZONE
- SCHEDULE 1
 - VPO (VPO 1)
VEGETATION PROTECTION OVERLAY
- SCHEDULE 1
 - DDO (DDO 1)
DESIGN AND DEVELOPMENT OVERLAY
- SCHEDULE 1
 - ESO (ESO 1)
ENVIRONMENTAL SIGNIFICANCE OVERLAY
- SCHEDULE 1
 - BMO BUSHFIRE MANAGEMENT OVERLAY
- * THIS BLOCK IS IN A BUSHFIRE ZONED AREA *

BUSHFIRE RATING:
BAL 12.5
REFER TO AS3399 FOR FURTHER DETAILS

SOIL CLASSIFICATION:
TYPE "P"
REFER TO SOIL REPORT FOR DETAILS

FINAL DRAWINGS FOR LODGEMENT

DOWNPIPE LEGEND:

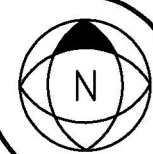
DEPICTS PROPOSED NEW DOWNPIPE(S) - CONNECTED TO EXISTING STORMWATER SYSTEM ON SITE, IN ACCORDANCE WITH AS3500

LEGAL POINT OF DISCHARGE INFORMATION:

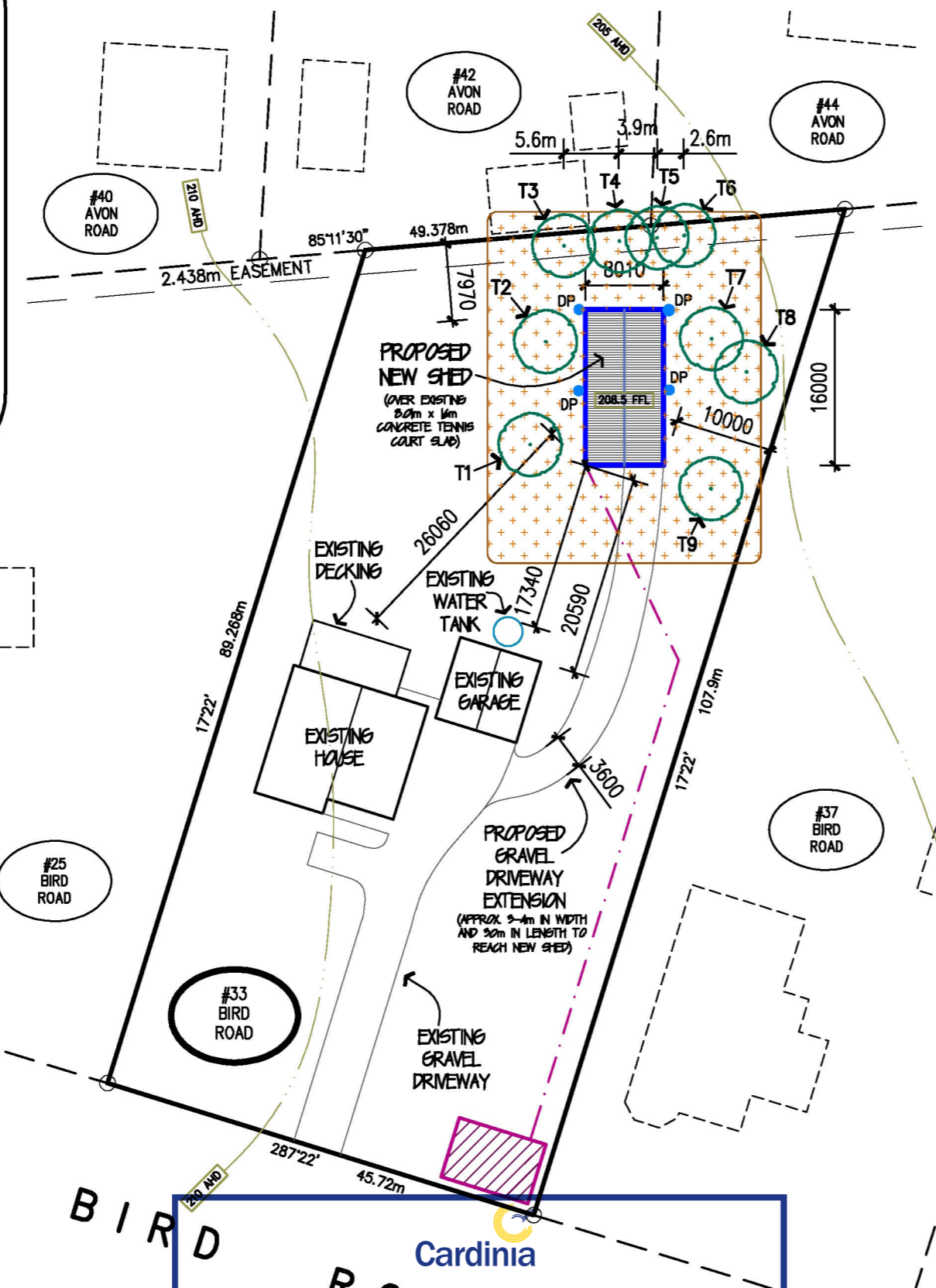
DEPICTS DESIGNATED LPD FOR SITE, AS DESIGNATED BY CARDINIA SHIRE COUNCIL PROPERTY REF: 2107100500

(THERE IS NO RECORD OF EXISTING UNDERGROUND DRAINAGE ON SITE, SO SHED DRAINAGE, INCLUDING OVERFLOW, IS REQUIRED TO BE DIRECTED TO ANY EASEMENT DRAIN OR ROADSIDE DRAIN WHERE POSSIBLE AS SHOWN IN THE HATCHED AREA)

DEPICTS CONNECTIONS FROM STRUCTURE TO LPD (MANAGED BY A PUMP SYSTEM ONSITE)



client:
55 Bird Road
Avonsleigh VIC 3782



ARBORIST REPORT & TREE INFORMATION:

PLEASE READ THESE PLANS IN CONJUNCTION WITH THE ARBORICULTURAL ASSESSMENT AND TREE IMPACT REPORT COMPILED AND SUPPLIED BY WOODS ENVIRONMENTAL SERVICES - DATED AUGUST 2015

THE TREES SHOWN ON THIS SITE PLAN ARE A REFLECTION OF THE NUMBERING SYSTEM DEPICTED IN THE REPORT.

PLEASE REFER TO REPORT FOR FURTHER INFORMATION, IF REQUIRED

EXISTING AREAS

EXISTING LOT AREA	= 4,509m ²
EXISTING HOUSE & PORCH AREA	= 185.4m ²
EXISTING GARAGE AREA	= 74.6m ²
EXISTING DECKING AREA	= 51.7m ²
EXISTING STRUCTURES ON SITE	= 311.7m ²
PERCENTAGE OF SITE SPLIT:	
- STRUCTURES	= 6.9%
- LANDSCAPE	= 93.1%

CONTOUR AND SITE LEVELS:

DEPICTS CONTOUR LINES AND SITE VALUES ON SITE, AS CALCULATED AND PRESENTED BY VICPLAN-MAPSHARE

THESE CONTOUR LINES ARE TO AHD, AND THE ASSUMED FFL OF PROPOSED SHED IS A CALCULATION OF SITE LEVELS - BUILDER TO CONFIRM PRIOR TO CONSTRUCTION COMMENCING

PROPOSED NEW AREA

PROPOSED NEW SHED AREA (OVER EXISTING CONCRETE SLAB)	= 128.2m ²
EXISTING STRUCTURES ON SITE	= 311.7m ²
COMBINED TOTAL STRUCTURES	= 439.9m ²
PERCENTAGE OF SITE SPLIT:	
- STRUCTURES	= 9.8%
- LANDSCAPE	= 90.2%

WATER TANK(S) ONSITE:

PLEASE NOTE THAT THERE IS AN EXISTING CONCRETE WATER TANK, LOCATED APPROX 17.34m FROM PROPOSED SHED, WHICH WILL BE USED FOR ANY DRAINAGE RUN-OFF - NO NEW WATER TANK REQUIRED ONSITE

USE OF PROPOSED SHED:

PLEASE NOTE THAT THIS PROPOSED NEW SHED IS TO BE FOR STORAGE ONLY - NO USE OF WATER AND/OR SEPTIC CONNECTIONS

GENERAL NOTES

PLEASE READ THESE ARCHITECTURAL PLANS IN CONJUNCTION WITH ANY ASSOCIATED SPECIALIST PLANS AVAILABLE - SURVEY, ENGINEERING AND THE LIKE

IF THERE IS ANY DISCREPANCY BETWEEN THE TWO, BUILDER IS TO CONFIRM WITH YARRA VALLEY SHEDS & BARNES FOR CLARIFICATION

ALL DIMENSIONS ARE SHOWN IN MILLIMETRES, UNLESS OTHERWISE SPECIFIED.

ANY NEW DOWNPIPES ARE TO BE CONNECTED INTO EXISTING STORMWATER PROVISIONS ON SITE AND/OR INTO THE LPD AND/OR WATER SITE DISPERSION - PLEASE REFER TO LOCAL COUNCIL DRAINAGE PLANS FOR LOCATIONS, IF NOT SUPPLIED OR AVAILABLE

PROPOSED SHED COLOUR SCHEME

PROPOSED NEW SHED IS TO BE CONSTRUCTED FROM COLORBOND METAL CLADDING WITH THE FOLLOWING COLOUR SCHEME, AS PER CONTRACT

- ROOF - MONUMENT
- WALLS - BASALT

PLEASE REFER TO YV SHEDS & BARNES FOR DETAILED SPECIFICATIONS & CONTRACT FOR PRECISE DETAILS AND ANY CLARIFICATION

BUSHFIRE MANAGEMENT INFORMATION:

IN ACCORDANCE WITH CFA GUIDELINES AND RECOMMENDATIONS, THIS AREA SIGNIFIES THE 10m DEFENDABLE SPACE OFFSET FROM PROPOSED NEW SHED

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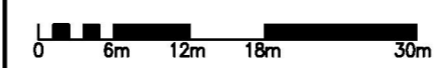
BIRD ROAD
Cardinia
ADVERTISED MATERIAL
Planning Application: T260195
Date Prepared: 22 May 2026

SITE PLAN
1:600

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PROPOSED NEW SHED
STRUCTURE ON PROPERTY

SITE PLAN



rev:	date:	description:
drawn:	date:	
KG	27/04/26	
scale:	sheet no.:	
1:600	1 of 4	
job no.:	rev:	
YV 029	G	

BELLE ABODE
Building Design & Architectural Drafting
DP-AD 43882 E: info@belleabodedesign.com.au
M: 0438 265 282

BUILDING WORKS:
ALL BUILDING WORKS TO COMPLY WITH BUT LIMITED TO THE BUILDING ACT 1993 AND THE BUILDING REGULATIONS 2018

SITE PREPARATION:
PROPOSED SITE AREA IS TO BE CLEARED OF EXISTING GARDEN SHED READY FOR CONSTRUCTION - PLEASE ENSURE GRADUAL BATTERING TO NEL AND IN KEEPING WITH EXISTING SITE CONDITIONS

DOWNPIPE LEGEND:
DEPICTS PROPOSED NEW DOWNPIPE(S)
● DP - CONNECTED TO EXISTING STORMWATER SYSTEM ON SITE, IN ACCORDANCE WITH AS3500

BUSHFIRE RATING:
BAL 12.5
REFER TO AS3959 FOR FURTHER DETAILS

SOIL CLASSIFICATION:
TYPE "P"
REFER TO SOIL REPORT FOR DETAILS

PROPERTY INFORMATION:
PLANNING OVERLAYS ON THIS BLOCK AS DEEMED BY CARDINIA COUNCIL:
- LDRZ (LDR 2) LOW DENSITY RESIDENTIAL ZONE - SCHEDULE 1
- VPO (VPO 1) VEGETATION PROTECTION OVERLAY - SCHEDULE 1
- DDO (DDO 1) DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 1
- ESO (ESO 1) ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 1
- BMO BUSHFIRE MANAGEMENT OVERLAY
* THIS BLOCK IS IN A BUSHFIRE ZONED AREA *

CONTOUR AND SITE LEVELS:
CONTOUR LINES AND VALUES AS CALCULATED AND PRESENTED BY VICPLAN-MAPSHARE ARE TO AHD, AND THE ASSUMED FFL OF THE PROPOSED SHED IS A CALCULATION OF THE LEVELS - BUILDER TO CONFIRM PRIOR TO CONSTRUCTION COMMENCING

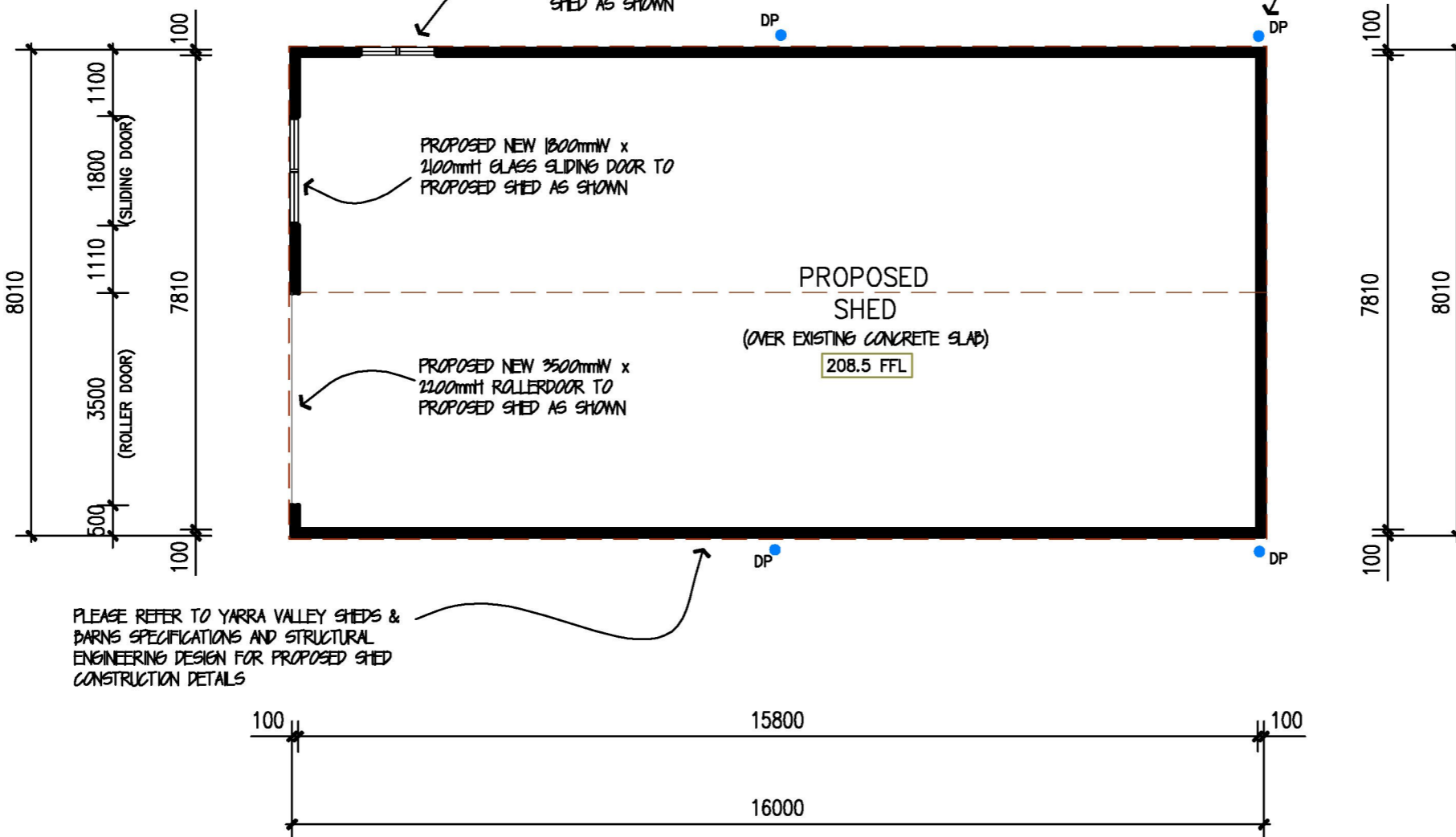
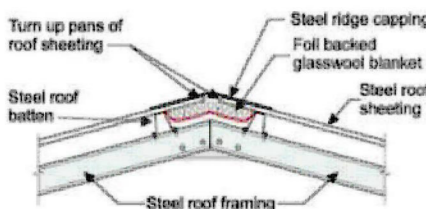
Cardinia
ADVERTISED MATERIAL
Planning Application: T260195
Date Prepared: 22 May 2026

208.5 FFL

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BAL 12.5 CONSTRUCTION NOTES:

- CONSTRUCTION THROUGH THIS PROPOSAL IS TO BE IN COMPLIANCE WITH AS3959:2018 WITH THE FOLLOWING ITEMS: (WHERE APPLICABLE)
- 4mm SAFETY GLASS ON ALL WINDOWS/SLIDING DOORS WITH CORROSION RESISTANT FLY SCREENS FITTED
 - BRUSH SEALS ON ALL NON-COMBUSTIBLE ROLLER DOORS AND OPENINGS
 - SHEET ROOF TO BE FULLY SARKED AND SHALL BE LOCATED ON TOP OF ROOF FRAMING, AND COVER THE ENTIRE ROOF (INCLUDING RIDGE AND EXTEND INTO GUTTER) WITH 60mm INSULATED BLANKET WITH FOIL FITTED ROOF SHEETS
 - ANY GAPS IN THE ROOF AT THE FASCIA, WALL LINE OR RIDGE IS TO BE SEALED WITH 2mm MESH OR PERFORATED SHEET IN CORROSIVE RESISTANT STEEL, BRONZE OR ALUMINIUM
- FOR ROOF INSULATION,
- RIDGE DETAILS AS PER BELOW:



PLEASE REFER TO YARRA VALLEY SHEDS & BARNES SPECIFICATIONS AND STRUCTURAL ENGINEERING DESIGN FOR PROPOSED SHED CONSTRUCTION DETAILS

FLOOR PLAN
1:100

FINAL DRAWINGS FOR LODGEMENT

GENERAL NOTES
PLEASE READ THESE ARCHITECTURAL PLANS IN CONJUNCTION WITH ANY ASSOCIATED SPECIALIST PLANS AVAILABLE - SURVEY, ENGINEERING AND THE LIKE.
IF THERE IS ANY DISCREPANCY BETWEEN THE TWO, BUILDER IS TO CONFIRM WITH YARRA VALLEY SHEDS & BARNES FOR CLARIFICATION.
ALL DIMENSIONS ARE SHOWN IN MILLIMETRES, UNLESS OTHERWISE SPECIFIED.
ANY NEW DOWNPIPES ARE TO BE CONNECTED INTO EXISTING STORMWATER PROVISIONS ON SITE AND/OR INTO THE LPOD AND/OR WATER SITE DISPERSION - PLEASE REFER TO LOCAL COUNCIL DRAINAGE PLANS FOR LOCATIONS, IF NOT SUPPLIED OR AVAILABLE

PROPOSED SHED COLOUR SCHEME
PROPOSED NEW SHED IS TO BE CONSTRUCTED FROM COLORBOND METAL CLADDING WITH THE FOLLOWING COLOUR SCHEME, AS PER CONTRACT

- ROOF - MONUMENT
- WALLS - BASALT

PLEASE REFER TO YV SHEDS & BARNES FOR DETAILED SPECIFICATIONS & CONTRACT FOR PRECISE DETAILS AND ANY CLARIFICATION

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client:
55 Bird Road
Avonsleigh VIC 3782

job description:
PROPOSED NEW SHED STRUCTURE ON PROPERTY

drawing:
FLOOR PLAN
0 1m 2m 3m 5m



rev. date: description:
BELLE ABODE
Building Design & Architectural Drafting
DP-AD 43882 E: info@belleabodedesign.com.au M: 0438 265 282

drawn: KG	date: 27/04/26
scale: 1:100	sheet no.: 2 of 4
job no.: YV 029	rev: G

BUILDING WORKS:

ALL BUILDING WORKS TO COMPLY WITH BUT LIMITED TO THE BUILDING ACT 1993 AND THE BUILDING REGULATIONS 2018

SITE PREPARATION:

PROPOSED SITE AREA IS TO BE CLEARED OF EXISTING GARDEN SHED READY FOR CONSTRUCTION - PLEASE ENSURE GRADUAL BATTERING TO NEL AND IN KEEPING WITH EXISTING SITE CONDITIONS

DOWNPIPE LEGEND:

DEPICTS PROPOSED NEW DOWNPIPE(S)
● DP - CONNECTED TO EXISTING STORMWATER SYSTEM ON SITE, IN ACCORDANCE WITH AS3500

BUSHFIRE RATING:
BAL 12.5
REFER TO AS3959 FOR FURTHER DETAILS

SOIL CLASSIFICATION:
TYPE "P"
REFER TO SOIL REPORT FOR DETAILS

PROPERTY INFORMATION:

- PLANNING OVERLAYS ON THIS BLOCK AS DEEMED BY CARDINIA COUNCIL:
- LDRZ (LDRZ 2) LOW DENSITY RESIDENTIAL ZONE - SCHEDULE 1
 - VPO (VPO 1) VEGETATION PROTECTION OVERLAY - SCHEDULE 1
 - DDO (DDO 1) DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 1
 - ESO (ESO 1) ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 1
 - BMO BUSHFIRE MANAGEMENT OVERLAY
- * THIS BLOCK IS IN A BUSHFIRE ZONED AREA *

CONTOUR AND SITE LEVELS:

CONTOUR LINES AND VALUES AS CALCULATED AND PRESENTED BY VICPLAN-MAPSHARE ARE TO AHD, AND THE ASSUMED FFL OF PROPOSED SHED IS A CALCULATION OF SITE LEVELS - BUILDER TO CONFIRM PRIOR TO CONSTRUCTION COMMENCING

208.5 FFL

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ADVERTISED MATERIAL

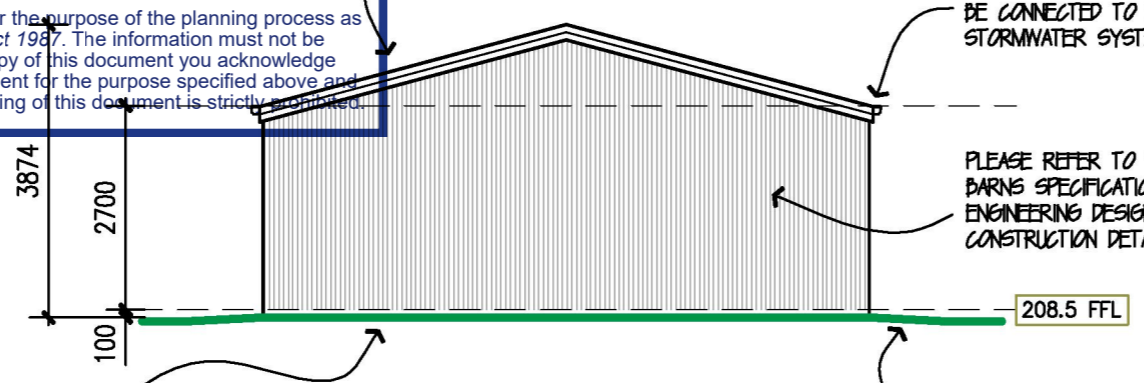
Planning Application: T260195
Date Prepared: 22 May 2026

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NEW COLORBOND ROOFING TO PROPOSED SHED WITH AN APPROX PITCH OF 15°

NEW GUTTERS AND DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER SYSTEM ON SITE

PLEASE REFER TO YARRA VALLEY SHEDS & BARN'S SPECIFICATIONS AND STRUCTURAL ENGINEERING DESIGN FOR PROPOSED SHED CONSTRUCTION DETAILS



NORTH ELEVATION
1:100

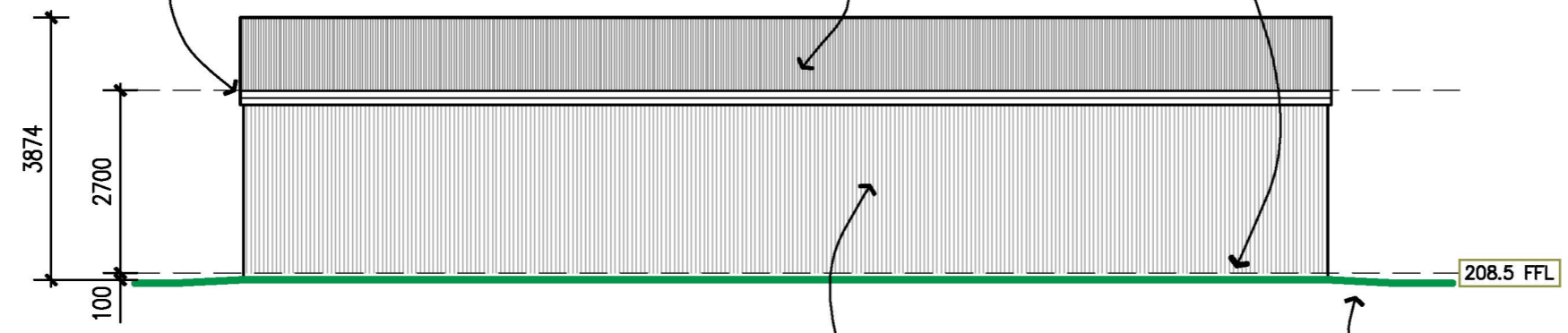
PROPOSED NEW SHED TO BE CONSTRUCTED OVER EXISTING CONCRETE SLAB

SURROUNDING SHED THERE IS AN APRON 1000mmW WITH A 50mm FALL (FALLING AWAY FROM SHED), AS SHOWN TO NEL

NEW GUTTERS AND DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER SYSTEM ON SITE

NEW COLORBOND ROOFING TO PROPOSED SHED WITH AN APPROX PITCH OF 15°

PROPOSED NEW SHED TO BE CONSTRUCTED OVER EXISTING CONCRETE SLAB



EAST ELEVATION
1:100

PLEASE REFER TO YARRA VALLEY SHEDS & BARN'S SPECIFICATIONS AND STRUCTURAL ENGINEERING DESIGN FOR PROPOSED SHED CONSTRUCTION DETAILS

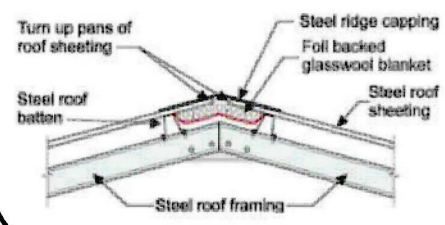
SURROUNDING SHED THERE IS AN APRON 1000mmW WITH A 50mm FALL (FALLING AWAY FROM SHED), AS SHOWN TO NEL

BAL 12.5 CONSTRUCTION NOTES:

CONSTRUCTION THROUGH THIS PROPOSAL IS TO BE IN COMPLIANCE WITH AS3959:2018 WITH THE FOLLOWING ITEMS: (WHERE APPLICABLE)

- 4mm SAFETY GLASS ON ALL WINDOWS/SLIDING DOORS WITH CORROSION RESISTANT FLY SCREENS FITTED
- BRUSH SEALS ON ALL NON-COMBUSTIBLE ROLLER DOORS AND OPENINGS
- SHEET ROOF TO BE FULLY SARKED AND SHALL BE LOCATED ON TOP OF ROOF FRAMING, AND COVER THE ENTIRE ROOF (INCLUDING RIDGE AND EXTEND INTO GUTTER) WITH 60mm INSULATED BLANKET WITH FOIL FITTED ROOF SHEETS
- ANY GAPS IN THE ROOF AT THE FASCIA, WALL LINE OR RIDGE IS TO BE SEALED WITH 2mm MESH OR PERFORATED SHEET IN CORROSIVE RESISTANT STEEL, BRONZE OR ALUMINIUM

FOR ROOF INSULATION, - RIDGE DETAILS AS PER BELOW:



GENERAL NOTES

PLEASE READ THESE ARCHITECTURAL PLANS IN CONJUNCTION WITH ANY ASSOCIATED SPECIALIST PLANS AVAILABLE - SURVEY, ENGINEERING AND THE LIKE.

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PROPOSED SHED COLOUR SCHEME

PROPOSED NEW SHED IS TO BE CONSTRUCTED FROM COLORBOND METAL CLADDING WITH THE FOLLOWING COLOUR SCHEME, AS PER CONTRACT

- ROOF - MONUMENT
- WALLS - BASALT

PLEASE REFER TO YV SHEDS & BARN'S FOR DETAILED SPECIFICATIONS & CONTRACT FOR PRECISE DETAILS AND ANY CLARIFICATION

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rev:	date:	description:	
drawn:	KG	date:	27/04/26
scale:	1:100	sheet no.:	3 of 4
job no.:	YV 029	rev:	G



BELLE ABODE
Building Design & Architectural Drafting

DP-AD 43882 E: info@belleabodedesign.com.au M: 0438 265 282

job description:
PROPOSED NEW SHED STRUCTURE ON PROPERTY

drawing:
ELEVATIONS



Avonsleigh VIC 3782

BUILDING WORKS:
ALL BUILDING WORKS TO COMPLY WITH BUT LIMITED TO THE BUILDING ACT 1993 AND THE BUILDING REGULATIONS 2018

SITE PREPARATION:
PROPOSED SITE AREA IS TO BE CLEARED OF EXISTING GARDEN SHED READY FOR CONSTRUCTION - PLEASE ENSURE GRADUAL BATTERING TO NEL AND IN KEEPING WITH EXISTING SITE CONDITIONS

DOWNPIPE LEGEND:
DEPICTS PROPOSED NEW DOWNPIPE(S)
● DP - CONNECTED TO EXISTING STORMWATER SYSTEM ON SITE, IN ACCORDANCE WITH AS3500

BUSHFIRE RATING:
BAL 12.5
REFER TO AS3959 FOR FURTHER DETAILS

SOIL CLASSIFICATION:
TYPE "P"
REFER TO SOIL REPORT FOR DETAILS

PROPERTY INFORMATION:
PLANNING OVERLAYS ON THIS BLOCK AS DEEMED BY CARDINIA COUNCIL:
- LDRZ (LDR 2) LOW DENSITY RESIDENTIAL ZONE - SCHEDULE 1
- VPO (VPO 1) VEGETATION PROTECTION OVERLAY - SCHEDULE 1
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* THIS BLOCK IS IN A BUSHFIRE ZONED AREA *

CONTOUR AND SITE LEVELS:
CONTOUR LINES AND VALUES AS CALCULATED AND PRESENTED BY VICPLAN-MAPSHARE ARE TO AHD, AND THE ASSUMED FFL OF PROPOSED SHED IS A CALCULATION OF SITE LEVELS - BUILDER TO CONFIRM PRIOR TO CONSTRUCTION COMMENCING

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Planning Application: T260195
Date Prepared: 22 May 2026

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NEW GUTTERS AND DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER SYSTEM ON SITE

NEW COLORBOND ROOFING TO PROPOSED SHED WITH AN APPROX PITCH OF 15°

PROPOSED NEW 3500mm x 2200mm ROLLERDOOR TO PROPOSED SHED AS SHOWN

PROPOSED NEW 1800mm x 2400mm GLASS SLIDING DOOR TO PROPOSED SHED AS SHOWN

PLEASE REFER TO YARRA VALLEY SHEDS & BARN SPECIFICATIONS AND STRUCTURAL ENGINEERING DESIGN FOR PROPOSED SHED CONSTRUCTION DETAILS

SURROUNDING SHED THERE IS AN APRON 1000mm WITH A 50mm FALL (FALLING AWAY FROM SHED), AS SHOWN TO NEL

SOUTH ELEVATION
1:100

NEW COLORBOND ROOFING TO PROPOSED SHED WITH AN APPROX PITCH OF 15°

PROPOSED NEW 1285mm x 790mm WINDOW TO PROPOSED SHED AS SHOWN

NEW GUTTERS AND DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER SYSTEM ON SITE

PROPOSED NEW SHED TO BE CONSTRUCTED OVER EXISTING CONCRETE SLAB

PLEASE REFER TO YARRA VALLEY SHEDS & BARN SPECIFICATIONS AND STRUCTURAL ENGINEERING DESIGN FOR PROPOSED SHED CONSTRUCTION DETAILS

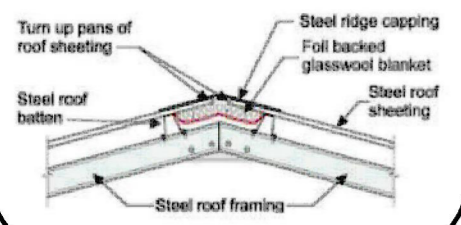
SURROUNDING SHED THERE IS AN APRON 1000mm WITH A 50mm FALL (FALLING AWAY FROM SHED), AS SHOWN TO NEL

WEST ELEVATION
1:100

BAL 12.5 CONSTRUCTION NOTES:
CONSTRUCTION THROUGH THIS PROPOSAL IS TO BE IN COMPLIANCE WITH AS3959:2018 WITH THE FOLLOWING ITEMS: (WHERE APPLICABLE)

- 4mm SAFETY GLASS ON ALL WINDOWS/SLIDING DOORS WITH CORROSION RESISTANT FLY SCREENS FITTED
- BRUSH SEALS ON ALL NON-COMBUSTIBLE ROLLER DOORS AND OPENINGS
- SHEET ROOF TO BE FULLY SARKED AND SHALL BE LOCATED ON TOP OF ROOF FRAMING, AND COVER THE ENTIRE ROOF (INCLUDING RIDGE AND EXTEND INTO GUTTER) WITH 60mm INSULATED BLANKET WITH FOIL FITTED ROOF SHEETS
- ANY GAPS IN THE ROOF AT THE FASCIA, WALL LINE OR RIDGE IS TO BE SEALED WITH 2mm MESH OR PERFORATED SHEET IN CORROSIVE RESISTANT STEEL, BRONZE OR ALUMINIUM

FOR ROOF INSULATION,
- RIDGE DETAILS AS PER BELOW:



FINAL DRAWINGS FOR LODGEMENT

GENERAL NOTES
PLEASE READ THESE ARCHITECTURAL PLANS IN CONJUNCTION WITH ANY ASSOCIATED SPECIALIST PLANS AVAILABLE - SURVEY, ENGINEERING AND THE LIKE.
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PROPOSED SHED COLOUR SCHEME
PROPOSED NEW SHED IS TO BE CONSTRUCTED FROM COLORBOND METAL CLADDING WITH THE FOLLOWING COLOUR SCHEME, AS PER CONTRACT

- ROOF - MONUMENT
- WALLS - BASALT

PLEASE REFER TO YV SHEDS & BARN FOR DETAILED SPECIFICATIONS & CONTRACT FOR PRECISE DETAILS AND ANY CLARIFICATION

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drawn:	KG	date:	27/04/26
scale:	1:100	sheet no.:	4 of 4
job no.:	YV 029	rev:	G

BELLE ABODE
Building Design & Architectural Drafting
DP-AD 43882 E: info@belleabodedesign.com.au M: 0438 265 282



drawing:
ELEVATIONS
0 1m 2m 3m 5m

job description:
PROPOSED NEW SHED STRUCTURE ON PROPERTY

Avonsleigh VIC 3782