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7 Bushfire Management Statement

Under the provisions of the Bushfire Management Overlay, an application must be accompanied by a bushfire management statement describing how the proposed development responds to the requirements in the overlay and Clause 53.02. If the application proposes an alternative measure, the bushfire management statement must explain how the alternative measure meets the relevant objective.

7.1 Landscape, siting and design

Objectives

- Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.
- Development is sited to minimise the risk from bushfire.
- Development is sited to provide safe access for vehicles, including emergency vehicles.
- Building design minimises vulnerability to bushfire attack.

Applicable approved / alternative measures

AM 2.1 The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.

AM 2.2 A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is in close proximity to a public road.
- Access can be provided to the building for emergency service vehicles.

AM 2.3 A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.

Bushfire management statement response

There is the limited potential for bushfires in the surrounding landscape to impact the site. The risk is likely to be from more localised fires with the run of a larger fire from the north west moderated by Toomuc Valley and limited potential for a fire from the south west. The bushfire risk from beyond the site can be mitigated to an acceptable level given it is sited with an area of open paddocks. The design of the dwelling is simple in form to assist in reducing the impact of ember attack. The existing driveway will be used to provide access the dwelling with a new driveway constructed for the existing dwelling on Lot 2. Appropriate access can be provided for emergency vehicles.

7.2 Defendable space and construction

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Objective

Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings.

Applicable approved / alternative measures

- AM 3.1** A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person’s unit, industry, office or retail premises is provided with defendable space in accordance with:
- Table 2 Columns A, B or C and Table 6 to Clause 53.02-5 wholly within the title boundaries of the land; or
 - If there are significant siting constraints, Table 2 Column D and Table 6 to Clause 53.02-5.
- The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5.

Bushfire management statement response

Having regard to the location of the land and the nature of the surrounding landscape it is considered that the proposed dwelling should be constructed to a minimum bushfire attack level of BAL19.

Defendable space should be provided for a distance of 20m around the proposed dwelling or to the property boundary whichever is the lesser. 20m can be provided to the west, south and east with 15m to the property boundary to the north. The 20m is based on the 14° slope to the south, with the 6° slope to the north requiring a lesser distance of 15m under Table 2 to Clause 53.02. The woodland area south of Reynolds Road is located over 100m from the dwelling.

Table 6 of Clause 53.02 requires defendable space to be managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

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7.3 Water supply and access

Objectives

- A static water supply is provided to assist in protecting property.
- Vehicle access is designed and constructed to enhance safety in the event of a bushfire.

Applicable approved / alternative measures

AM 4.1 A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person’s unit, industry, office or retail premises is provided with:

- A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02-5.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5.

The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.

Bushfire management statement response

A 10,000 static water supply for fire fighting purposes is proposed adjoining the driveway to the north of the dwelling. The static water supply should meet the following requirements:

- The tank is in an above ground water tank constructed of concrete or metal with a minimum capacity of 10,000 litres.
- All fixed above-ground water pipes and fittings required for fire fighting purposes must be made of corrosive resistant metal.
- The tank must incorporate a ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 mm CFA 3 thread per inch male fitting) for firefighting purposes.
- A separate outlet must be provided for the occupants use.
- The tank must be located within 60 metres of the outer edge of the dwelling.
- The outlets of the water tank must be within 4m of a driveway accessible at all times by a fire truck.
- The water tank must be readily identifiable from the building or appropriate identification signage to the satisfaction of CFA must be provided.
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling).

There is an existing driveway from Reynolds Road to the existing dwelling. This driveway will be used for access to the proposed dwelling with a new driveway constructed for the existing dwelling on Lot 2. The length of the driveway to the new dwelling is approximately 175m and average grade of the driveway does not exceed 1:7 noting that the slopes at the eastern end of the land are more moderate.

The existing driveway is shown in the photographs below:



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Existing driveway top east west section



Existing driveway section down to Reynolds Road

The driveway is required to be upgraded to meet the following requirements:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- A turning area for fire fighting vehicles must be provided close to the dwelling by either: a turning circle with a minimum radius of eight metres; a driveway encircling the dwelling; or the provision of other vehicle turning heads – such as a T or Y head – which meet the specification of Austroad Design for an 8.8 metre Service Vehicle.

The current driveway will require widening to 3.5m which will require some tree removal on the lower section of the driveway. A T head turning area is provided near the dwelling adjoining the water tanks where there is a new section of driveway connecting to the dwelling.

Similarly the new driveway for the existing dwelling on Lot 2 should be constructed to meet the above requirements.

8 Conclusion

The application proposes a new dwelling at 45 Reynolds Road Pakenham.

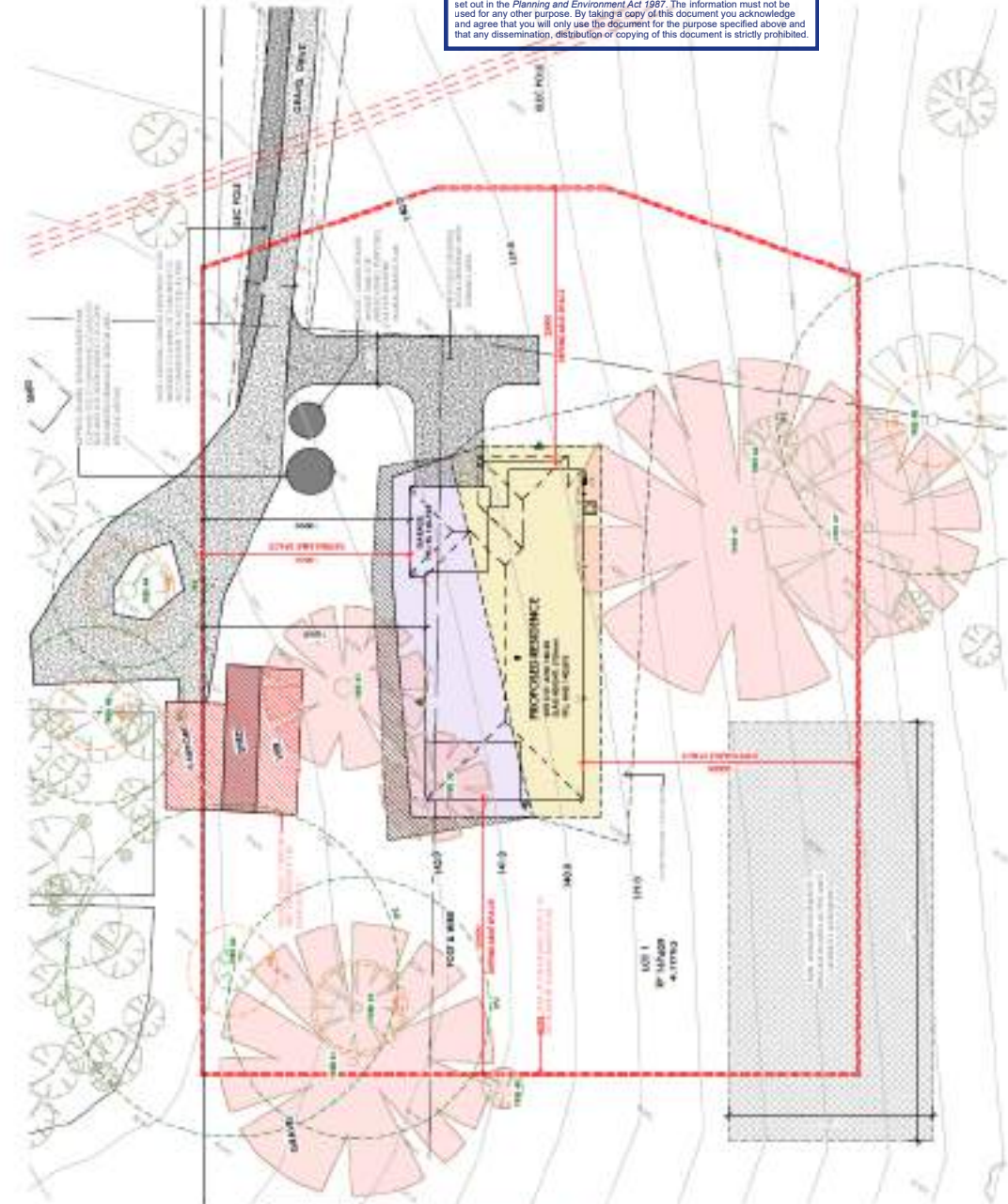
Based on the assessment undertaken, the bushfire risk can be mitigated to an acceptable level.

The proposed dwelling should be constructed to a bushfire attack level of BAL19. Defendable space should be provided for a distance of 20m or to the property boundary (whichever is the lesser) around the proposed dwelling.

A static water supply tank with a capacity of 10,000 litres should be provided for firefighting purposes. Access to the dwelling should be provided via the existing driveway which should be upgraded as required to provide suitable access for emergency vehicles with a new driveway constructed for the existing dwelling on Lot 2.



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NEW COVERAGE ANALYSIS

Category	Area (sqm)	Percentage
Impervious	1000	10%
Permeable	9000	90%
Total	10000	100%

EMERGENCY

Emergency services should be contacted immediately in the event of a bushfire. The site is located in a bushfire prone area and the proposed residence must be constructed in accordance with the relevant bushfire standards. The site is also located in a flood prone area and the proposed residence must be constructed in accordance with the relevant flood standards.



THE USE & INCLUSION

Use	Included
Residential	Yes
Commercial	No
Industrial	No
Public	No
Other	No

THE USE & INCLUSION

The site is located in a bushfire prone area and the proposed residence must be constructed in accordance with the relevant bushfire standards. The site is also located in a flood prone area and the proposed residence must be constructed in accordance with the relevant flood standards.

VEGETATION

Vegetation Type	Area (sqm)	Percentage
Native	1000	10%
Non-Native	9000	90%
Total	10000	100%

CONCLUSION

The site is located in a bushfire prone area and the proposed residence must be constructed in accordance with the relevant bushfire standards. The site is also located in a flood prone area and the proposed residence must be constructed in accordance with the relevant flood standards.

STB homes

100 Reynolds Road
 Pakenham VIC 3113
 Phone: 03 9499 1234
 Email: info@stbhomes.com.au

ROBES & GARAGE
 45 REYNOLDS ROAD
 PAKENHAM VIC 3113

IMPORTANT NOTE: SHEET 12 IS A2

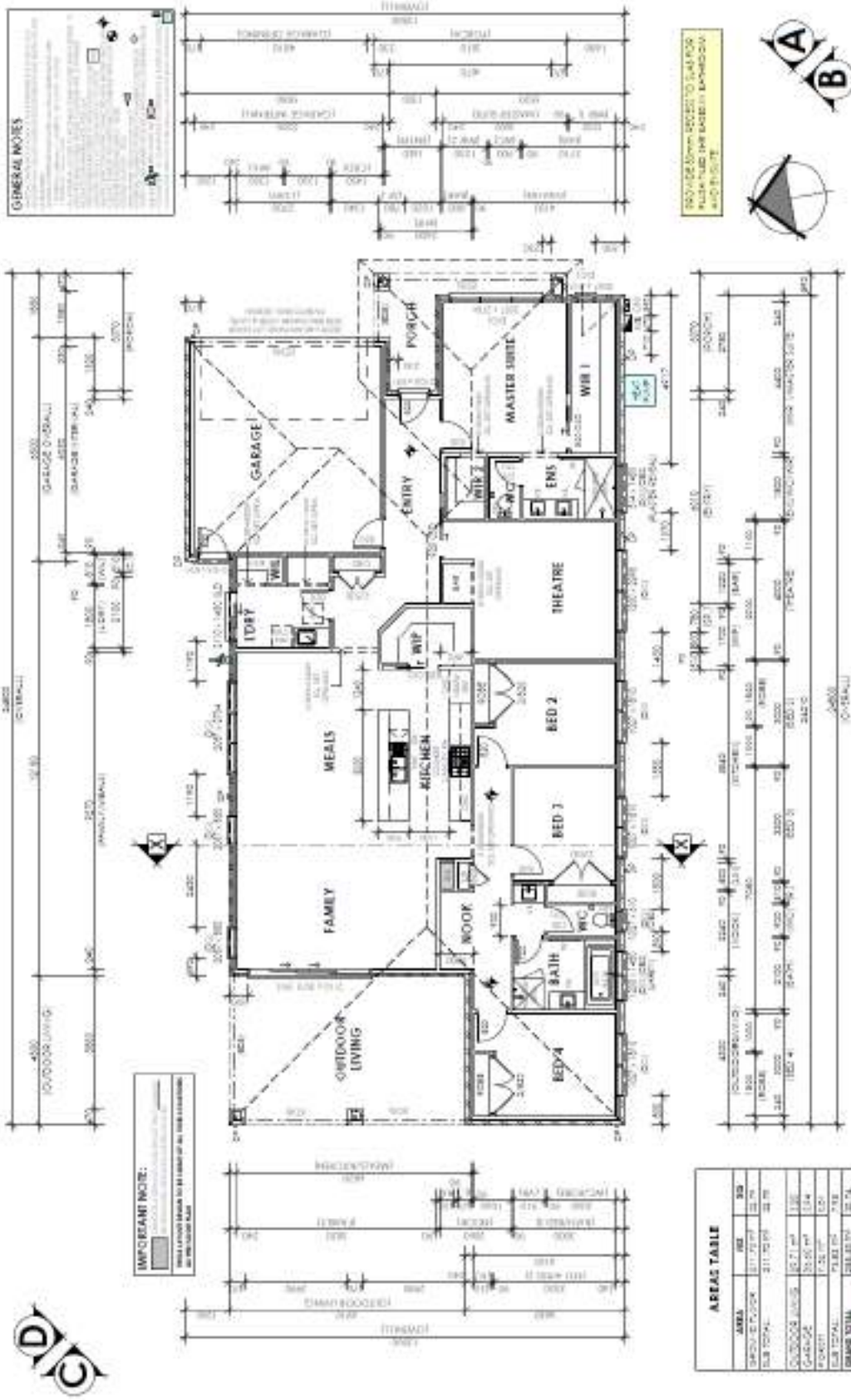
Category	Area (sqm)	Percentage
Impervious	1000	10%
Permeable	9000	90%
Total	10000	100%

PROJECT NUMBER
 PROJECT NAME
 DATE

APPLY TO: SITE PLAN

DATE
SCALE
PROJECT NO.
DATE

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HOUSE & GARAGE

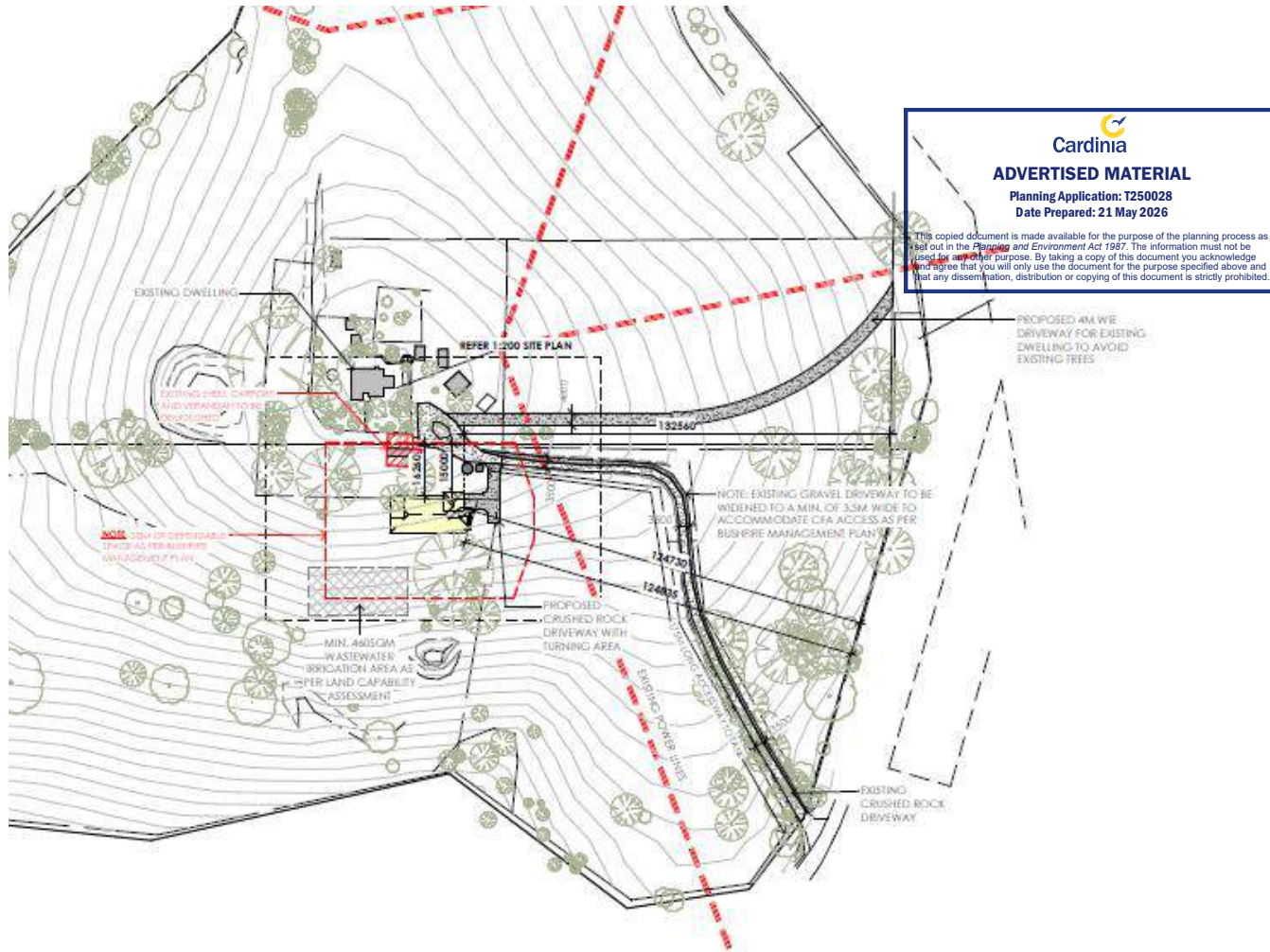
HOUSE NO: CAVERHAM 307 - EH

CLIENT:
 A. REYNOLDS
 171 ADDRESS
 LOT 1 No. 45 REYNOLDS ROAD
 PAKENHAM, 3810

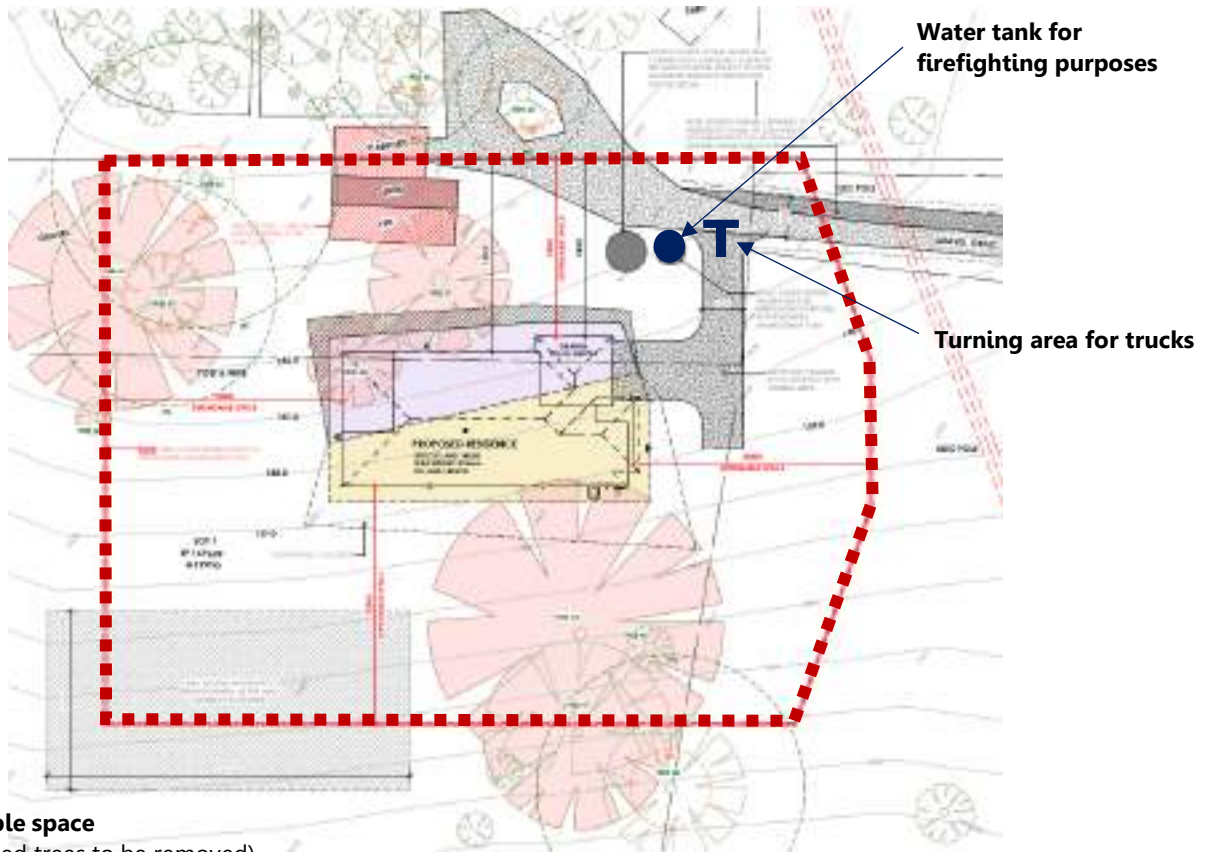
DATE: 11/05/26
SCALE: 1:100
DATE: 21/05/26
CREATED: T.G.
REVISED: 02/06/26

45 Reynolds Road
 Pakenham VIC 3810
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Defendable Space

Defendable space shall be provided from the outer face of the proposed dwelling for a distance of 20m or to the title boundary (whichever is the lesser) as shown on the plan.

The defendable space must be managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of the building, flammable objects must not be located close to the vulnerable parts of the building such as windows.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Construction Standard

The proposed dwelling must be designed and constructed to a minimum Bushfire Attack Level of BAL19.

Water Supply

A static water supply with a minimum capacity of 10,000 litres must be provided for firefighting purposes at the time the dwelling is constructed as shown on the plan. The static water supply must meet the following requirements:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the dwelling or appropriate identification signs to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the dwelling.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

Access

The existing driveway to the dwelling (175m) must be upgraded to meet the following requirements:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.
- A turning area for fire fighting vehicles must be provided close to the dwelling by either a turning circle with a minimum radius of eight metres or the provision of other vehicle turning heads – such as a T or Y head – which meet the specification of Austroad Design for an 8.8 metre service vehicle.

A new driveway to the existing dwelling on Lot 2 must be constructed which meets the above requirements.





Integrated Land Management Plan

Proposed Development

45 Reynolds Road Pakenham

September 2025


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APPENDIX 2 – FLORA LIST OF THE STUDY SITE

Report: Land Management Plan – 45 Reynolds Road Pakenham

Author:



Contact: info@rangesconsulting.com

Date: 22 September 2025



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1 Introduction

This Land Management Plan outlines strategies for land management and conservation outcomes to fulfill the requirements to use of the land for an additional dwelling, driveway and removal of vegetation at 45 Reynolds Road, Pakenham.

The development consists of:

- Lot 1: a new dwelling, defensible space and driveway upgrade
- Lot 2: A new driveway to access the existing dwelling
- Lot 3: No works are proposed



This property is zoned as Green Wedge Zone (GWZ 1) and the Bushfire Management Overlay and Environmental Significance Overlay (ESO 1) applies to the entire area.

The purpose of this report is to address the requirements of item 12 of the RFI Letter dated 18 of February 2025 as duplicated below.

An Integrated Land Management Plan that outlines the proposed and ongoing works to achieve sustainable land management outcomes on the subject site, improve biodiversity and general conservation actions.

1.1 Site Context

The site is 10.202 hectares and divided in three lots under the same ownership. Lot 1 consists is 4.197 hectares, Lot 2 is 5.98 hectares and Lot 3 is 0.045 hectares. The study site is located 3.7 kilometres south from Pakenham Upper and 4 kilometres north from Pakenham township. The study site is located within the Highland Southern Fall Bioregion and within the Port Phillip and Westernport Catchment Management Region.

Appendix 1 provides maps of the subject site.

Map 1 provides an overview of the current vegetation conditions on site.

Map 2 provides an overview of the current development layout and the extent of remnant native vegetation.

Map 3 shows the locations of high threat woody weeds and a rabbit burrow.

1.2 Objectives of this Plan

The purpose of this management plan is to:

1. Provide general management recommendations where vegetation and fauna habitats are to be protected
2. Mitigation methods during the construction phase including priority areas for protection from construction activity
3. Strategies to manage threats to native vegetation and habitat including :
 - a) Managed areas of native trees and understorey for conservation
 - b) Potential opportunities for revegetation and biodiversity enhancement.
 - c) Management of high threat and declared 'noxious' and 'environmental' weeds, particularly Blackberry **Rubus fruticosus spp. agg.*, Spear Thistle *Cirsium vulgare*, Sweet Pittosporum *Pittosporum undulatum*, English Holly *Ilex aquifolium*, White Arum-lily *Zantedeschia aethiopica*, Bridal Creeper *Asparagus asparagoides*, Capeweed *Arctotheca calendula* Sweet Briar *Rosa rubiginosa* and Radiata Pine *Pinus radiata*.
 - d) Management of pest animals (deer, rabbits and foxes)
 - e) Recommendations for appropriate fencing that is 'fauna friendly' .

1.3 Background

A site investigation was undertaken during August 2025 by *Ranges Environmental Consulting* which informs a Native Vegetation Impact Assessment, Tree Assessment and this Integrated Land Management Plan included as a part of the submission for the current development proposal. During this time, land management issues were investigated including recording locations of high-threat weeds, evidence of pest animal species and other environmental threats.



2 Vegetation Condition

Map 1 illustrates the proposed development, areas of non-native vegetation (pasture and planted trees) and remnant native vegetation including canopy trees and sub-canopy trees.

2.1 Ecological Vegetation Classes (EVCs)

An Ecological Vegetation Class is a native vegetation type classified on the basis of a combination of its floristic, life form, environmental and ecological characteristics (DEPI 2013).

Mapping produced by the Department of Energy, Environment, and Climate Action (DEECA) indicates that prior to European settlement Lowland Forest (EVC 16), and Grassy Forest (EVC 128) were the dominant EVCs in the local area. Observations from site assessments determined that areas of native vegetation at the property are best classified as Grassy Forest (EVC 128).

2.2 Present Vegetation Condition

A total of 55 flora species were identified during the site assessment including 25 local native species and 30 species of non-Victorian origin that are naturalised or planted. Appendix 2 provides the list of flora species observed.

The majority of the property is covered by mown introduced pasture grasses and herbs, a Brown-top Bent *Agrostis capillaris*, Sweet Vernal-grass *Anthoxanthum odoratum*, Kikuyu *Cenchrus clandestinus*, Couch *Cynodon dactylon*, Cocksfoot *Dactylis glomerata*, Panic Veldt-grass *Ehrharta erecta*, Yorkshire Fog *Holcus lanatus*, Rat-tail Grass *Sporobolus africanus* and Cape Weed *Arctotheca calendula*. Cultivated trees among pastured areas include Pear *Pyrus communis* and Radiata Pine *Pinus radiata*.

The introduced vegetation also comprises some woody weeds and high-threat weeds which are located on the fringes of the study site and some within the defendable space area, this includes Bridal Creeper *Asparagus asparagoides*, Blackberry *Rubus fruticosus* spp. agg., Spear thistle *Cirsium vulgare*, English Holly *Ilex aquifolium*, Radiata Pine *Pinus radiata*, Sweet Pittosporum *Pittosporum undulatum*, Sweet Briar *Rosa rubiginosa*, and White Arum-lily *Zantedeschia aethiopica*. Section 4 outlines weed control techniques to implement to control these species.

Native vegetation in majority is located within the fringes of the study site and connects with the surrounding road reserves, being minimum in the central area, however a habitat zone was recorded within the defendable space area of the proposed dwelling. The native vegetation includes canopy trees, understorey trees, grasses, ferns and groundstorey herbs. As indicated on Map 1 remnant patches occur on the site, which are attributable to Grassy Forest EVC 128 in the fringes of the property.

Native vegetation removal or impact from the development occurs in 3 significantly modified areas, all of habitat zone 1 and 3 and partial loss in habitat zone 2. However, the combined loss of native vegetation is limited to 0.117 hectares.

The property has no recent evidence of any agricultural use or farming activities.

3 Land Management Zones and Objectives

This section outlines the purpose of the plan and the applicable management zones.

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3.1 Land Management Zones

Appendix 1 Map 2 shows the Land Management Zones.

Land Management Zones	Area	Objectives
Domestic Zone	0.835 ha	The area is suitable for a dwelling and residential activities.
Agricultural Zone	8.675 ha	The area is suitable for agricultural activities according to the Green Wedge Zone Objectives
Revegetation Zone	0.836 ha	Area to protect, revegetate and preserve

Domestic Zone

Located in the central area of the site, the Domestic Zone is 0.835 hectares, which includes the construction of a new dwelling, the existing dwelling and associated outbuildings.

Land Management activities in this zone is generally expected to include residential land use, such as landscaping and garden establishment, however control of pest animals and high threat weed species such as Radiata Pine *Pinus radiata*, Sweet Pittosporum *Pittosporum undulatum* and Blackberry *Rubus fruticosus spp. agg.* should be controlled in a manner consistent with other management zones.



Figure 1. Main overview of the Domestic Zone



Figure 2. Vegetation within Domestic Zone is dominated by exotic species

Agricultural Zone

The Agricultural Zone surrounds the domestic zone and accounts for approximately 8.675 hectares of land. The groundstorey is almost entirely dominated by introduced pasture grasses and the tree population is primarily composed of Monterey Pine (*Pinus radiata*). However, there are stands of native canopy trees that line the existing driveway and portions of the eastern boundary. Other than trees approved for removal to upgrade the driveway, native trees must be protected from adverse impacts from agricultural activities.



Figure 3. Agricultural Zone – General overview facing west



Figure 4. Agricultural Zone -facing south

Revegetation Zone

Revegetation Zone accounts for 0.836 hectares within the study site, and it is located in the south west corner of the study site. This area was selected because it possess consolidated stands of native trees and it represents an opportunity to enhance the area, according to the objectives of the Green Wedge by:

- protecting and retaining land for future agricultural activities,
- avoid the colonization of weeds,
- maintain and create connectivity with adjacent vegetated areas.


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Figure 5. Revegetation Zone with higher quality vegetation to enhance



Figure 6. Gaps among canopy trees are ideal for revegetation

3.2 Purpose of the Land Management Plan

Cardinia Shire Council requires a response to the intended use of the land in accordance with item 12 of the further information request (RFI), which is tabled below.

Proposed Use and Purpose of the Green Wedge Zone (GWZ – Schedule 1)

Response:

The proposed land use and associated land management actions set out in this plan aims to achieve the following objectives relevant to the Green Wedge Zone.

- To provide for the use of land for agriculture.
- To recognize, protect and conserve green wedge land for its agricultural, environmental, historic, landscape, recreational and tourism opportunities, and mineral and stone resources.
- To protect and enhance the biodiversity of the area.

Land management actions outlined in section 4 of this plan provide recommendations for biodiversity protection and enhancement through revegetation and **boundary planting** as well as specific measures for pest plant and animal control which, if otherwise left unmanaged, would be detrimental to both biodiversity/remnant vegetation and agricultural production in the local area.



4 Land Management Recommendations

This section outlines management recommendations within the property.

Broad management outcomes for the property include pasture management, protection and enhancement of biodiversity and significant trees, pest animal control and weed management.

4.1 Management of the Revegetation Zone

Appendix 1 Map 2 shows two areas within this zone.

- a) Remnant Vegetation: to be protected and managed so that natural regeneration can occur
- b) Revegetation Zone: an area of infill planting area to create increased extent and connectivity between canopy and sub-canopy connectivity, thereby enhancing the flora and fauna habitat.

Table 1 shows a list of indigenous shrubs and trees that are suitable for the Lowland Forest EVC 16 and Grassy Forest EVC 128.

Prescriptions of the Revegetation Zone

To allow for optimum protection and enhancement of the Revegetation Zone, the following actions are required:

- Appropriate fencing is to be implemented to exclude domestic animals or livestock from entering the Revegetation Zone (see section 4.4 for specifications).
- Protection of native vegetation from threatening processes including weed and pest invasion and inappropriate land uses (grazing, tilling, cropping etc).
- Aim to reduce high impact weeds to minimal levels.
- Facilitate natural regeneration of vegetation and other natural processes.
- Retain fallen timber, logs and organic matter for the benefit of ground dwelling fauna.
- Retain standing dead trees for the benefit of hollow dependent fauna.
- Prevent slashing of native vegetation.



Table 1. Revegetation and Landscape Enhancement Species.

Scientific Name	Common Name	Life Form	Density	No. of Plants
<i>Eucalyptus rubida</i>	Candlebark	Canopy Tree	15m	20
<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Canopy Tree	15m	20
<i>Eucalyptus melliodora</i>	Yellow Box	Canopy Tree	15m	20
<i>Eucalyptus obliqua</i>	Messmate Stringybark	Canopy Tree	15m	20
<i>Acacia mearnsii</i>	Black Wattle	Understorey tree or large shrub	5m	40
<i>Acacia melanoxylon</i>	Blackwood	Understorey tree or large shrub	8m	40
<i>Bursaria spinosa</i>	Sweet Bursaria	Understorey tree or large shrub	5m	40
			Total	200


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Areas within the Revegetation Zone are the primary focus for biodiversity protection, however the below recommendations apply to the Domestic Zone and Agricultural Zone, particularly the control of high-threat weeds.

4.2 Weed Control Objectives

Weed control within the properties should be a primary objective of this plan. This will assist in prevention of seed spread into nearby areas of ecological significance and also improve the amenity of the land.

Catchment and Land Protection Act (1994)

The *Catchment and Land Protection Act 1994* (the CaLP Act) is Victorian legislation that aims to protect and manage land and water catchments while providing a system of controls for listed noxious weeds. It is the landholder’s responsibility to make all reasonable attempts to control the spread of these species on their land and adjoining roadsides.

Small occurrences of Blackberry are a high priority for control and is listed as a Weed Of National Significance (WONS) in addition to its ‘Noxious’ status under the CaLP Act. Site inspections show that occurrence of these species are currently localised but still have high impact where they occur and have high invasive potential into

nearby areas. Other weeds on the site that are listed under the CaLP Act includes Ragwort **Jacobaea vulgaris*, Spear Thistle **Cirsium vulgare*, Sweet Briar **Rosa rubiginosa* and Bridal Creeper **Asparagus asparagoides*.

High Threat Woody Weeds

Woody weed species such as Radiata Pine *Pinus radiata* and Sweet Pittosporum *Pittosporum undulatum* are prominent throughout the site. Although these species are not classified 'Noxious' under the CaLP Act, they are widely recognised as highly invasive and detrimental to natural ecosystems. **Note:** although removal of Radiata Pine is highly desirable, larger specimens do provide visual amenity to the landscape. Based on the ESO1, a permit is required to remove Radiata Pine where the diameter of the trunk is more than 40cm (equivalent to 125cm circumference).

Map 3 shows the key locations of woody weeds at the time of the assessment. Other than mature pines, the land owner must aim to eliminate all these weeds and future infestations including preventing the establishment of reproductively mature plants.

General Woody Weed Control Methods

Control strategies for high impact species are outlined below. On the following pages, control techniques for individual species are detailed where seasonally targeted methods are required for successful elimination. General control methods are applied to other species where seasonal timing is not critical to success.

Large Woody Weeds – Drill and Fill Method

Use the following method for any specimen 25cm in circumference or greater:

- Drill hole to 2-3cm deep, as close to the base of the tree as possible.
- Fill the hole immediately with herbicide (typically glyphosate with a nozzle gun)
- Repeat this process at intervals of 3-5 cm around the entire base of the tree including larger exposed roots.



Small to Medium Woody Weeds – Cut and Paint Method

Use the following method for any specimen less than 25cm in circumference:

- Make a clean cut with a saw or loppers as close to the base as possible
- Immediately apply herbicide to the base of the cut
- Undertaking these works in hot and dry conditions is not advised due to reduction of vascular translocation of systemic herbicides
- Cut stems with seed and flower heads should be taken to the nearest waste transfer station.

Control methods for Radiata Pine

Due the ESO – Schedule 1, Radiata Pine *Pinus radiata* generally requires a permit for removal where ≥ 40 centimetres trunk diameter. However, if this Land Management Plan is endorsed under the permit, it is expected that Monterey Pine will not require additional permits for incremental removal.

Monterey Pine * <i>Pinus radiata</i>		
Description	Life cycle	Status
Tall evergreen trees with needle-like leaves and rough and ridged brown bark. Produces large woody cones. Trees reach up to 40 m high.	Germination: Throughout most of the year Flowering: there are separate male and female cones on the same plant	Listed as a 'Very High Risk Weed' in the Advisory list of environmental weeds in Victoria (White, M .et al 2018).

Methods of Dispersal



By seed, which is retained in the tree canopy and dispersed by wind.

Distribution and Control Options within the Site

Mature trees are distributed in the entire property, especially near to the existing dwelling and within the vegetation on the fringes. Juvenile and seedlings are also present.

Monitoring and removal of seedlings can be undertaken by hand, which is a key part of any long-term pine removal program. Larger saplings can be cut and painted.

Mature Pines can be destroyed by ringbarking, although stem injection may be a more efficient method if the appropriate equipment is available.

Once the permit applications are granted, all pines should be removed in the long-term due to their status as a high impact weed

Figure 7. Monterey Pine (Sample Photo)



Control Methods for Blackberry

Blackberry *Rubus fruticosus* spp. agg.

Description	Life cycle	Status	Methods of Dispersal
Scrambling shrub, perennial, semi-deciduous. Prickly and multi-stemmed which spreads via arching canes that can take root and produce 'daughter plants' 5-petaled white to pink flowers. Produces small berries that change from green to red and ripens to black.	<p>Germination: September to November.</p> <p>Flowering: November to January.</p> <p>Fruiting: January to March</p>	<p>Declared Noxious (Regionally Controlled within Port Phillip and Westernport Catchment Area).</p> <p>Declared Weed of National Significance (<i>National Weed Strategy, Thorp 2000</i>)</p>	<p>Spread by seed. Berries spread by birds or water. New plants often favour soil disturbance.</p> <p>Commonly planted garden specimen</p>



Figure 8. Blackberry in flower

Distribution Across the Site

Small seedlings distributed all across the site.

Control options within the site

Target mature plants during the early flowering period to prevent fruiting. Any larger specimens can be slashed and re-growth treated with herbicide. Glyphosate is generally ineffective. Application with a broad-leaf selective herbicide (as per label directions) is generally effective but only if applied during the warmer months.

Small areas can be cut and paint although this can be time consuming.


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Control Methods for Sweet Pittosporum


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Sweet Pittosporum # <i>Pittosporum undulatum</i>		
Description	Life cycle	Status
<p>Dense spreading tree 5-20m high.</p> <p>Leaves shiny dark green on the upper surface. Paler green below, wavy margins.</p> <p>Creamy white flower clusters. Flowers differ between male and female plants</p> <p>Fruit (mostly from female trees) is produced in small, clustered capsules, initially green, ripening to orange. Splits when mature to reveal numerous sticky seeds</p>	<p>Flowering: midwinter – spring</p> <p>Fruiting/Seeding: April to August</p> <p>Seed Maturity: within 5 years of establishment</p> <p>Seed viability: (90% viability in the first year but declines significantly within 2 years.</p>	<p>Scheduled as a 'Very High Risk Weed' Advisory list of environmental weeds in Victoria (White, M .et al 2018).</p>

Methods of Dispersal



Figure 9. Sweet Pittosporum in Fruit (Sample Photo)

By seed. Spread by Birds.

While natural to far east Victoria, it is commonly planted outside of its natural range

Distribution and Control Options within the Site

Located through the entire property, most prominent in the vegetated margins. This includes mature, juvenile and seedlings.

Seedlings and young saplings can be removed by hand.

Cut and Paint or Drill and Fill larger specimens. Where possible, expose the root crown for drill and fill method.

Dispose of cut fruiting stems.

Foliar herbicide application has limited effect.

Note: initial controls should be focused on fruit bearing plants.



Sweet Pittosporum in Flower (Sample Photo)

Control Methods for English Holly

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English Holly *Ilex aquifolium		
Description	Life cycle	Status
Upright Evergreen shrub tree 6-15 metres high.	Growth Cycle: Dormant During winter	Listed as a 'Very High Risk Weed' in the Advisory List of environmental weeds in Victoria (White, M. et al 2018)
Glossy, leathery alternative leaves with 5-9 spine tipped teeth.	Flowering: November to March Fruiting: April to June	
Produces round green berries ripening to red		

Methods of Dispersal



Figure 10. Holly foliage and berries (Sample Photo)

Spread by seed, root suckering and branch layering.

Spread by birds and other animals

Distribution and Control Options within the Site

Juvenile plants were observed both sides of the existing driveway.

All specimens are currently small enough to remove by cut and paint method (with loppers or handsaw).

Should be located and treated at the soonest opportunity while easy to manage i.e. before plants mature and start layering.

The cut and paint method may not be effective during the winter dormancy period.

Control Methods for Sweet Briar

Sweet Briar **Rosa rubiginosa*

Description	Life cycle	Status
Small shrub 1.5-2 metres. Many stems arise from perennial rootstock.	Germination: September to November	Declared Noxious (Regionally Controlled within the Port Philip and Western Port Region Region).
Leaves are pinnate and consist of 2-4 pairs of oval leaflets plus one terminal leaflet. 5-petaled flowers in pink or white	Flowering: November to January	
	Fruiting: January to March	

Methods of Dispersal



Figure 11. Sweet Briar in Fruit (Sample Photo)

By seed. Spread by birds, foxes and water.

Distribution and Control Options within the Site

An individual was observed as part of the garden beds of the existing dwelling. Removal of garden escapes is necessary as it is highly invasive.

Target mature plants during the early flowering period to prevent seeding.

Broad-leaf Herbicide application using a rig for larger infestations can be undertaken in unison with Blackberry control and backpack for smaller isolated infestations

Application of Metsulfuron Methyl using a knapsack whilst targeting other woody weeds or:

Individual specimens can be cut and paint with Vigilant Gel (Picloram)

If cut and paint method is undertaken during its fruiting period, ensure all infestations are taken to an approved waste transfer station, unless stockpiled and burnt.



Control Methods for Capeweed

Capeweed *Arctotheca calendula*

Description	Life cycle	Status
Annual shortly stemmed herb with lobed basal rosettes. Underside of leaves pale and downy. Daisy flower with yellow ray florets and black disc florets.	Flowering: September to November Seeding: Summer	Listed as a 'Medium-Risk Weed' in the Advisory List of Environmental Weeds in Victoria (White et. al. 2018).

Methods of Dispersal



Figure 12. Capeweed Rosette in Flower (Sample Photo)



Figure 13. Capeweed Flower (Sample Photo)

Spread by seed. Readily invades pasture and bushland.

Distribution and Control Options within the Site

Scattered individuals were distributed through the central area of the site.

It is recommended that Capeweed is targeted with a broad-leaf herbicide prior to flowering.

This method should be undertaken in conjunction with revegetation and follow-up control for best results.

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Control Methods for Spear Thistle

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Spear Thistle **Cirsium vulgare*

Description	Life cycle	Status
<p>A purple flowered annual or biennial thistle to 1.5 m high.</p> <p>Basal leaves (rosettes) are lobed and stem leaves are spiny and divided, dark green on top and white underneath</p>	<p>Germination: Rosettes establish over autumn and winter</p> <p>Flowering: November to February</p> <p>Seeding: January to March</p>	<p>Declared Noxious (Regionally Controlled within the Port Philip and Western Port Region).</p>

Methods of Dispersal



Figure 14. Spear Thistle in Flower



Figure 15. Spear Thistle Rosette

Spread by seed, generally by wind or animal fur.

New plants often favour soil disturbance.

Distribution and Control Options within the Site

Scattered individuals distributed in the central area of the site near the existing dwelling.

Broad-leaf selective Herbicide control is the most effective method to control Thistles and prevent off-target damage to native grasses.

The best time for herbicide application is during active growth prior to the presence of a flower stem. Herbicides may still be effective during flowering, however susceptibility is much lower and a greater amount of effort (and less sustainable practice) with regard to herbicide exposure will be required.

Control Methods for White Arum Lily

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White Arum Lily **Zantedeschia aethiopica*

Description	Life cycle	Status
<p>A perennial Lily with tuberous rhizomes, large leaves and large, white flowers.</p> <p>Arum Lily is poisonous to stock and humans</p>	<p>Flowering: September to January</p> <p>Dies back in Summer and leaves regrow in Autumn</p>	<p>Listed as a 'Very High-Risk Weed' in the Advisory List of Environmental Weeds in Victoria (White et. al. 2018).</p>

Methods of Dispersal



Through seeds and vegetatively via rhizomes.

Distribution and Control Options within the Site

Small patches are distributed within the central area near to the existing dwelling.

Glyphosate (Roundup) is ineffective in killing Arum Lilies.

Where off target damage is unlikely, herbicide spray of chloresulfuron with a penetrant is effective during the active growing period between August and November.

Where off target spray is likely to impact native vegetation or other desirable species, plants can be dug out. This requires deep excavation to ensure removal of tubers.

Both methods of treatment require monitoring and follow-up treatment.

Figure 16. White Arum-Lily

Control Methods for Ragwort

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Ragwort **Jacobaea vulgaris*

Description

A biennial or short-lived perennial herb that grows around 1m high. It produces clusters of small, yellow daisy-like flowers. Basal leaves mostly form in a rosette until spring the following year. Stem leaves are deeply divided and irregularly lobed.

Plants contain pyrrolizidine alkaloids, toxic to stock, that may retain some of their potency long after the pasture has been baled. Ragwort has the potential to dominate pasture and reduce carrying capacity.

Life cycle

Germination: All year, more common in spring / autumn.

Flowering: December to March

Fruiting/Seeding: January to April

Status

Declared Noxious (Regionally Controlled within the Port Philip and Western Port Region).

Methods of Dispersal



Figure 17. Ragwort (Sample Photo)

Ragwort reproduces by seed and can germinate at any time of year.

Distribution and Control Options within the Site

Ragwort has been identified in small populations near the western boundary.

Mechanical or hand removal can be undertaken at any time of year, however, care should be taken to bag flowers/seed heads for appropriate disposal to avoid distribution of seeds.

Spraying or painting of broadleaf selective herbicide is most effective before flowering/seeding, but control can take place at any time of year.

Control methods for Bridal Creeper


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Bridal Creeper **Asparagus asparagoides*

Description

Bridal Creeper is a climbing plant that has annual, climbing shoot growth from a perennial root system consisting of many tubers grouped along a central rhizome. It thrives in a wide range of natural habitats and soils; and thrives in areas high in nutrients such as drainage lines.

Life cycle

Bridal Creeper grows rapidly in autumn/winter and dies back to the roots over summer.

Status

Listed as a 'High-Risk Weed' in the Advisory List of Environmental Weeds in Victoria (White et. al. 2018).

Methods of Dispersal



Figure 18. Bridal Creeper Infestation within the site

This plant spreads rapidly from bird and animal dispersed seed or from parts of the roots. Dumped garden waste, contaminated soil and machinery also contribute to its distribution.

Distribution and Control Options within the Site

Scattered patches across the site, mainly near the existing driveway.

Management strategies include preventing new infestations and targeting existing plants before they can set seed.



Figure 19. Bridal Creeper foliage (Sample photo)

Herbicides are the most effective method of control. However, because Bridal Creeper often grows in areas of native vegetation, it is particularly important to avoid contact with desirable plants or near tree root zones. The best way to apply is with a hand sprayer, but it can also be wiped directly on to leaves. Using a herbicide coloured with dye helps show where it has been used.

Biological controls (A Leafhopper, Rust Fungus and Leaf Beetle) are available for Bridal Creeper and community involvement is possible and encouraged. Details are available on the CSIRO website www.ento.csiro.au/bridalcreeper.

Physical removal is not effective unless all the rhizomes are dug up and destroyed. This may be possible for new, small infestations or as a follow-up after several years of herbicide control.

4.3 Pest Animal Control



Rabbit presence has been detected during the site inspection. Rabbits and Hare are the primary food source for Foxes, therefore there is a high chance of fox activity within the study site. Both pest animals are primary threats to vegetation and fauna habitats in the local area. It appears that the impacts of rabbits on native vegetation are currently limited although populations can rapidly increase under favourable conditions.

Note: other than simple manual methods for controlling pest animals e.g. den/burrow destruction all other activity should be undertaken by a licensed pest control professional.

Rabbit Control

Rabbit and Hare activity should be monitored on a bi-annual basis and appropriate actions should be undertaken including (where necessary) the assistance of qualified professionals.

Destroying potential harbour sites is one of the simpler and cost-effective measures for discouraging rabbit populations. Potential harbour includes not only warrens, but also wood piles and building waste. Removal of these stockpiles will remove potential harbour sites while also allowing for regeneration of native vegetation.

Poison baits (such as pindone and 1080) are best used during mid to late summer during the non-breeding season when natural feed is scarce and rabbits are less territorial. The use of caged bait stations is preferred to avoid possible consumption by kangaroos, wallabies and other smaller mammals. Warren fumigation may be an option where significant warrens are identified; this is usually more effective following a successful baiting program.

Fox Control

Reducing fox activity generally relies on multiple methods ranging from den destruction, baiting, shooting and trapping. Buried baits or dedicated bait stations are less likely to be consumed by native birds or mammals. As a minimum, regular monitoring, location and destruction of dens should be undertaken.

As rabbits are a main food source for Foxes so an integrated rabbit control program will assist in discouraging fox activity within the estate.

Similar to rabbit control, fox control is most effective when part of an integrated strategy across multiple landholdings. No single method of fox control is reliable in the long-term and areas subject to fox eradication can often result in re-invasion of the area within 2 months from nearby untreated sites.

Deer Control

Species of Deer have seen by the landholder, this animal pest can cause significant damage to native vegetation and waterways by browsing and trampling vegetation, muddying streambanks and causing erosion.

Deer species prefer densely forested vegetation, which is the case of few areas within the study site, however, monitoring their appearance could be beneficial to reduce the damage to the understorey plants and other animals.

Fencing may be a preventative measure to deer incursion, however fencing would need to be at least 2m high to prevent entry, which may be too costly and not suitable for movement of native Macropods. The most successful current method for deer control is through licenced shooting. Professional shooters should be employed to undertake shooting and removal of the deer of the property if it is required.

4.4 Fencing

If there are plans to establish any other new boundary fence or internal fencing it should be fauna friendly and barbed wire free.

Barbed wire is known to be harmful to a range of fauna species and contributes to the death or permanent injury of thousands of animals each year. More than 75 wildlife species have been identified in Australia as occasional or regular victims of barbed wire fences. Nocturnal animals such as bats, gliders and owls are particularly vulnerable and terrestrial mammals are also susceptible to injury.

Fences for should be designed in a way that allow fauna to easily pass through. New fences should follow the specifications set out below:

1. Fences are to be constructed with a 50 cm gap between the ground and the lowest fence strand. (This is known to assist with the movement of larger mammals such as kangaroos, wallabies and wombats).
2. A minimum of 30 cm gaps between the rails or remaining strands will also assist with movement of smaller native species.
3. Use box wire mesh with squares of no less than 15 cm to reduce entanglement of fauna.
4. Limiting fence height to no more than 1.2 metres also allows most species to pass over the fence.



5 Conclusion

This Integrated Land Management Plan outlines objectives for biodiversity management and enhancement including methods of implementation. This document has been developed to inform the preliminary stages of the development plan prior to any form of approval by responsible planning authorities.

This plan has sought to address biodiversity management during the pre-development, construction and post construction phases.

While this plan is a key guiding document for land management at 45 Reynolds Road Pakenham, it should not be solely relied upon. Biodiversity and farm management is ever-changing process that is subject to environmental changes (such as seasonal variation, drought, flood and fire). Land managers will need to adapt to changing environmental conditions and respond with appropriate actions, particularly in the event of new emerging weeds or increased pest animal populations.



Appendix 1 – Maps

The following maps were produced using Quantum GIS (QGIS 3.34) and were developed from various datasets including:

- Aerial photography available through Google Earth (AusMap) and Nearmap
- VicMap layers (Parcel, Roads, Waterways and Local Government Boundaries)
- GPS based data collected in the field



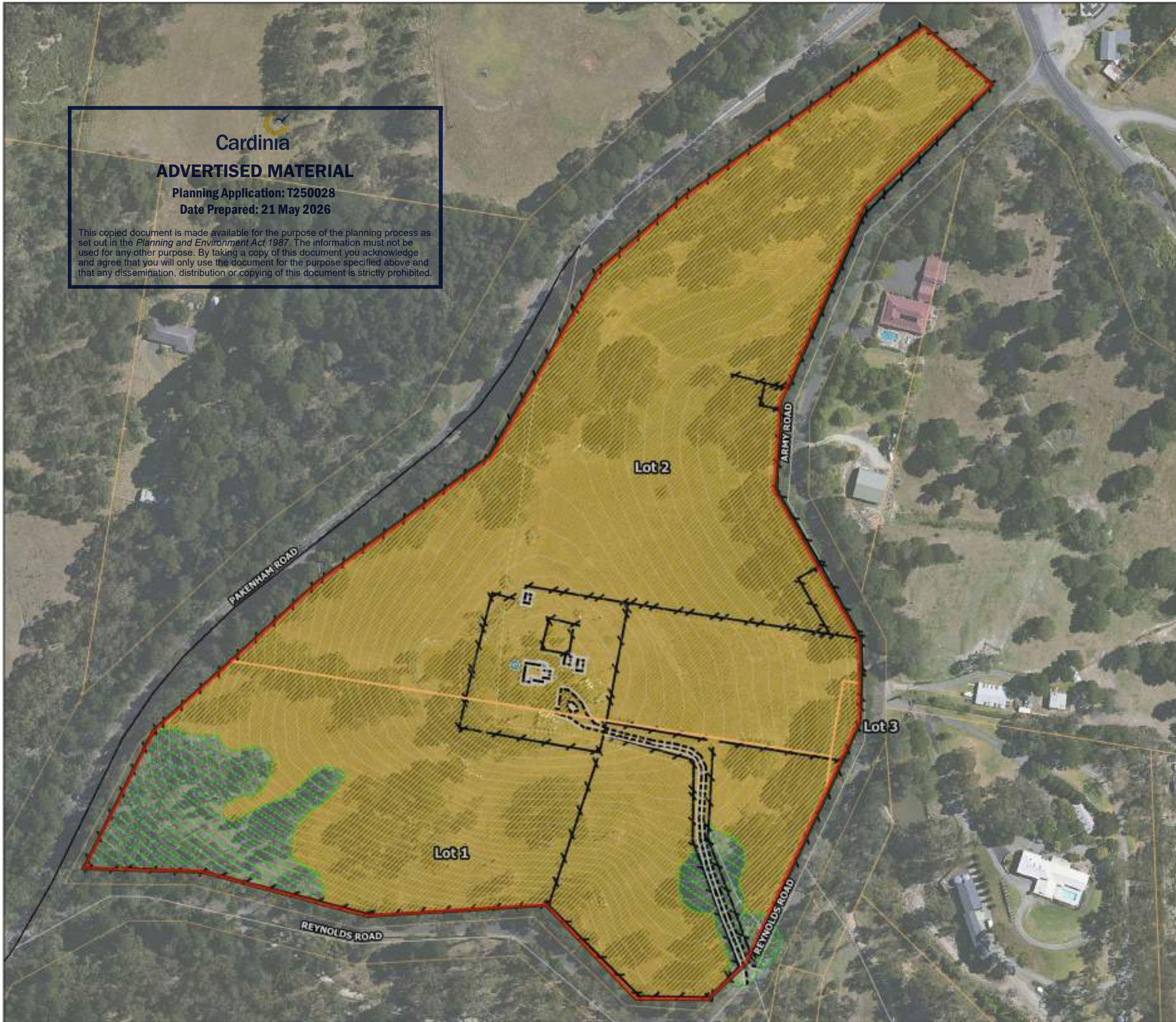


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Map 1 - Existing Conditions

45 Reynolds Road Pakenham

Lot Boundary

Title Boundary

Driveway

Existing Buildings

Fences

Tree Assessment

Indigenous Canopy tree

Indigenous Understorey Tree

Habitat Zones

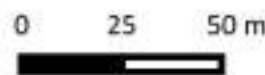
Non-Native

Intact Remnant Vegetation
(Grassy Forest EVC 128)

Date: 22 September 2025

Created by [Redacted]
Map Prog [Redacted]

Scale (A3) 1:1,900



info@rangesconsulting.com

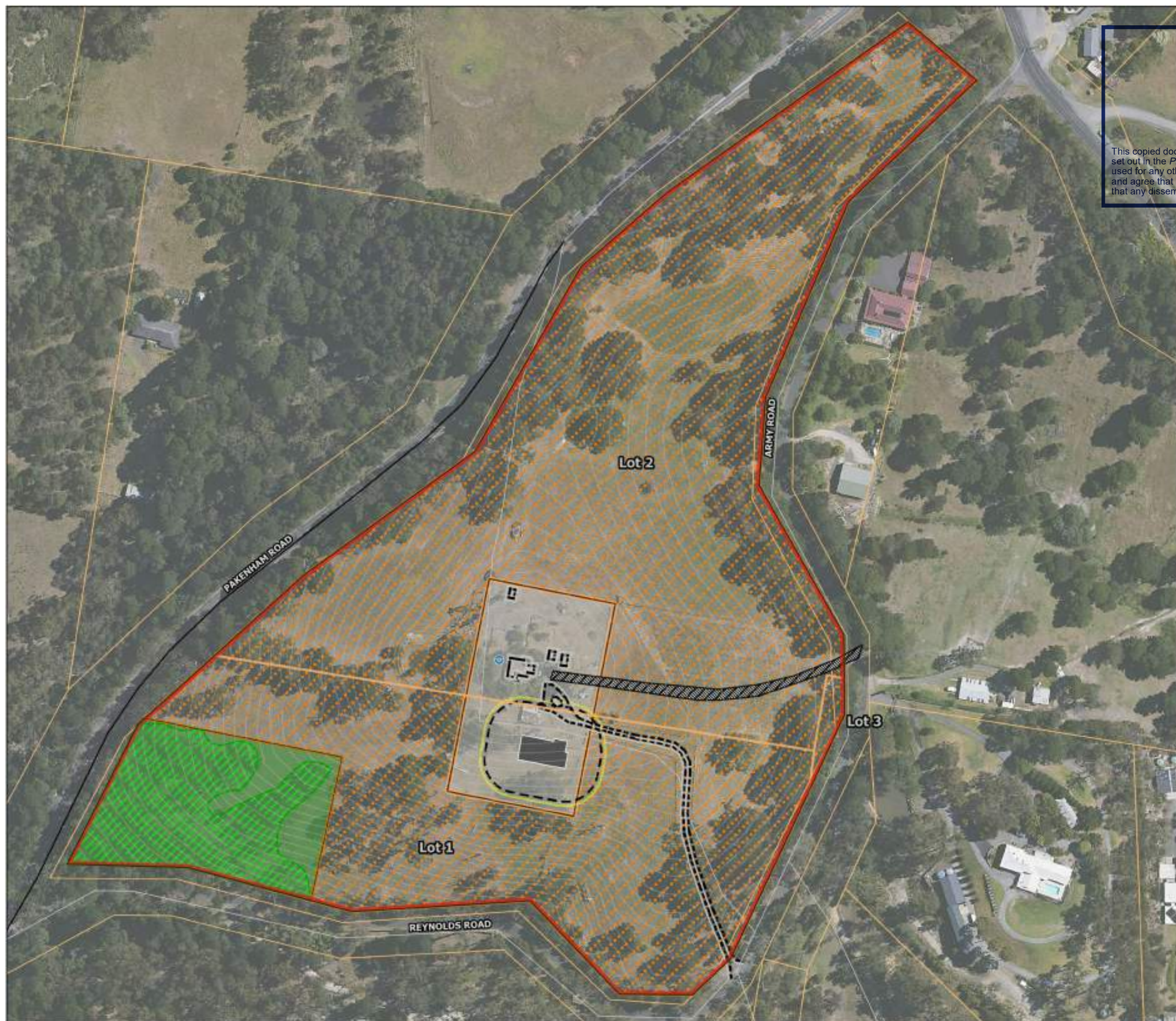
Map 2 - Land Management Zones and Development Overview



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45 Reynolds Road
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- Lot Boundary
- Title Boundary
- Development Layout**
- Proposed Dwelling
- Defendable Space
- Proposed Driveway
- Existing Driveway
- Existing Buildings
- Land Management Zones**
- Domestic Zone
- Agricultural Zone
- Revegetation Zone
- Remnant Vegetation to be managed with infill revegetation

Date: 22 [REDACTED]
 Created by [REDACTED]
 Map Program: [REDACTED]
 Survey features by
 XWB Consulting

Scale (A3) 1:1,900



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Map 3 - Land Management Issues

Cardinia

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Bakenham
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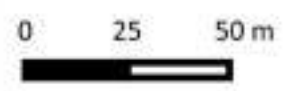
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- Driveway
- Existing Dwelling
- Internal Fence
- Shed
- Water Tank
- Proposed Dwelling
- - - Defendable Space
- ▨ Proposed Driveway
- ▨ Woody Weed Patch

Date: 13 August 2025
Created: [REDACTED]
Map Program: QGIS 3.20

Scale (A3) 1:1,850



RANGES
Environmental 

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Appendix 2 – Flora list of the Study Site

C - High-treat weed * Exotic # Victorian species occurring outside their natural range E - Endangered

Origin	Species	Common Name	Lifeform
	<i>Acacia dealbata</i>	Silver Wattle	Understorey tree or large shrub
	<i>Acacia mearnsii</i>	Black Wattle	Understorey tree or large shrub
	<i>Acacia paradoxa</i>	Hedge Wattle	Medium shrub
	<i>Acacia sp</i>	Wattle sp	Medium shrub
*	<i>Agapanthus praecox subsp. orientalis</i>	Agapanthus	Large herb
*	<i>Anthoxanthum odoratum</i>	Sweet Vernal-grass	Medium to small tufted graminoid
*	<i>Arctotheca calendula</i>	Cape Weed	Medium herb
*	<i>Avena fatua</i>	Wild Oat	Large non-tufted graminoid
	<i>Billardiera scandens s.l.</i>	Common Apple-berry	Scrambler or climber
*	<i>Cenchrus clandestinus</i>	Kikuyu	Large non-tufted graminoid
*	<i>Centaureum erythraea</i>	Common Centaury	Medium herb
*	<i>Cynodon dactylon var. dactylon</i>	Couch	Medium to tiny non-tufted graminoid
*	<i>Cyperus eragrostis</i>	Drain Flat-sedge	Medium to small tufted graminoid
*	<i>Dactylis glomerata</i>	Cocksfoot	Medium to tiny non-tufted graminoid
	<i>Dichondra repens</i>	Kidney-weed	Small or prostrate herb
*	<i>Ehrharta erecta</i>	Panic Veldt-grass	Medium to small tufted graminoid
*	<i>Erigeron spp.</i>	Fleabane	
	<i>Eucalyptus baxteri s.s.</i>	Brown Stringybark	Understorey tree or large shrub
E	<i>Eucalyptus fulgens</i>	Green Scentbark	Understorey tree or large shrub
	<i>Eucalyptus obliqua</i>	Messmate Stringybark	Understorey tree or large shrub
	<i>Eucalyptus radiata s.l.</i>	Narrow-leaf Peppermint	Understorey tree or large shrub
	<i>Exocarpos cupressiformis</i>	Cherry Ballart	Understorey tree or large shrub
	<i>Gahnia radula</i>	Thatch Saw-sedge	Large tufted graminoid
*	<i>Galium aparine</i>	Cleavers	Scrambler or climber
*C	<i>Genista linifolia</i>	Flax-leaf Broom	Medium shrub
	<i>Glycine clandestina</i>	Twining Glycine	Scrambler or climber
	<i>Gonocarpus humilis</i>	Shade Raspwort	Medium herb
	<i>Hakea sp.</i>	Hakea	Medium shrub
#	<i>Hardenbergia violacea</i>	Purple Coral-pea	Scrambler or climber
*	<i>Hypochaeris radicata</i>	Flatweed	Medium herb
	<i>Kunzea ericoides s.l.</i>	Burgan	Medium shrub
*	<i>Leontodon saxatilis subsp. saxatilis</i>	Hairy Hawkbit	Medium herb
	<i>Microlaena stipoides var. stipoides</i>	Weeping Grass	Medium to tiny non-tufted graminoid
*	<i>Paspalum dilatatum</i>	Paspalum	Medium to small tufted graminoid
*	<i>Pinus radiata</i>	Radiata Pine	Understorey tree or large shrub
#	<i>Pittosporum undulatum</i>	Sweet Pittosporum	Understorey tree or large shrub
*	<i>Plantago lanceolata</i>	Ribwort	Large herb

Origin	Species	Common Name	Lifeform
	<i>Poa labillardierei</i>	Common Tussock-grass	Medium to small tufted graminoid
*	<i>Portulaca oleracea</i>	Common purslane	
*C	<i>Rubus fruticosus spp. agg.</i>	Blackberry	Scrambler or climber
	<i>Rytidosperma setaceum</i>	Bristly Wallaby-grass	Medium to small tufted graminoid
	<i>Rytidosperma spp.</i>	Wallaby Grass	
*	<i>Solanum nigrum s.l.</i>	Black Nightshade	Large herb
	<i>Styphelia humifusa</i>	Cranberry Heath	Prostrate shrub
	<i>Themeda triandra</i>	Kangaroo Grass	Medium to small tufted graminoid
*C	<i>Ulex europaeus</i>	Gorse	Medium shrub
	<i>Viola hederacea sensu Entwisle (1996)</i>	Ivy-leaf Violet	Medium herb



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Geotechnical Consultancy, Soil testing, Land Capability Assessments

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LAND CAPABILITY ASSESSMENT

Client:



Project:

Lot 2, No. 45 Reynolds Road, PAKENHAM.

Date:

14th August 2025

Report Number: 250836 – LCA



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Planning Application: T250028

Date Prepared: 21 May 2026

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Executive Summary



The proposed development at No. 45 Reynolds Road, PAKENHAM is suitable for on-site effluent disposal. The proposal is to subdivide into two lots. Lot 2 approximately size of area is 4.197 ha with an existing dwelling and shedding. Lot 1 approximately size of area is 5.985 ha with a new four (4) bedroom dwelling to be built.

The site is located in the Cardinia Council.

The site currently has an existing dwelling and shedding, The site has coverage of natural pasture grasses and dense vegetation (ranging from small to large), both on and surrounding the site. The site has a moderate to steep slope to the south – west. This has been used to determine areas on the site that have suitable slope conditions for the construction of an LAA for an onsite septic system.

The site selected as has slope ranging from 15-18% so a 20% decrease in the DIR has been used as per Table M2, AS1547-2012. There is an existing dwelling and existing septic system that is contained on the site. No change is proposed to this system.

The proposal is for Lot 1 to build a new dwelling with a new four (4) bedroom dwelling, with an occupancy of five (5) people, that will be constructed and will require an onsite wastewater system.

Testing at the site included soil profile logging and sampling and laboratory testing, and water and nutrient balance modeling. This analysis has revealed that on-site effluent is achievable and sustainable.

The effluent at the site will be treated to a minimum 20-30 standard via secondary treatment, a sand filter or AWTS, and distributed via a pressure compensated irrigation system.

The proposal for the site is for a new dwelling to be developed, with a new four (4) bedroom dwelling, with an occupancy of five (5) people, that will require a system to handle the following effluent loads based, based on a water usage rate of 150 litres/person/day. These values have taken into account and been increased due to the slope of the site. The site also has areas where the irrigation systems can be increased.

The site has slopes ranging from 15-18% and have had a 20% decrease in the DIR as per Table M2, AS1547-2012.

These loads are detailed in Table 1 below.

Number of bedrooms	Maximum occupancy (persons)	Total effluent load (Litres/day)	Total irrigation area required (m ²)	Total Irrigation area required (m ²) with 20% decrease in DIR
4	5	750	390	460

Table 1: Total effluent loads and irrigation area required, based on the total number of bedrooms and maximum occupancy the final house design adopts.

Potential surface flows can be managed through the design of the irrigation system having a cut-off drain around the high side. This will remove any surface flows before they reach the Land Application Area (LAA).

All requirements of SEPP (Waters of Victoria) can be met if the proposed system is used.


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1. Introduction

Hardcore Geotech has been contracted to perform a Land Capability Assessment for the proposed new dwelling at No. 45 Reynolds Road, PAKENHAM. The current site is 10.182ha. The proposed new allotments anticipated to be Lot 2 approximately 4.187ha with an existing dwelling and shedding and Lot 1 approximately 5.985ha with new four (4) bedroom dwelling. The allotment falls within the Cardinia Council.



This report has been completed in order to show that No. 45 Reynolds Road, PAKENHAM. can comply with the SEPP (Waters of Victoria) requirements regarding an on – site wastewater system. This LCA looks at the size of the lots and the requirements of the wastewater system that will need to be met so that all effluent is contained on the site. This LCA provides a conceptual design with some recommendations on the management and monitoring of the system. The pressure compensating irrigation lines need to be laid in parallel with the contours of the site as shown on the site plan in this report. The spacing between the irrigation lines must be at least 1000mm.

The site is covered in native pasture grasses, and there are trees (ranging from small to large) both on and bordering the site. The site is typical of the natural undulating landscape throughout the area. The site has no potable water supplies close by. The site has a moderate to steep slope falling to the south-west. As the site is in the upper areas of Pakenham there is low risk of seasonal flooding.

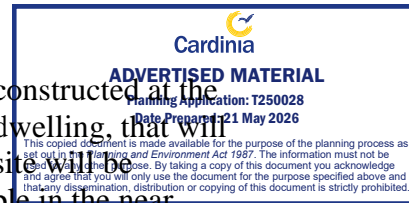
The site is subject to moderate rainfall and the site will be supplied with onsite tank water. The area has a mean annual rainfall of 1016mm and a mean annual evaporation of 1205mm. These values were obtained from the stations at Beaconsfield Upper – 86261 and Scoresby Research Institute – 086104, respectively.

It is recommended that the effluent should be treated to at least a secondary level and be distributed on site by a sub-surface pressure compensated irrigation system.

2. Site Features

The LCA was undertaken by Luke Tymensen from Hardcore Geotech on the 14th August 2025. The site was analyzed and information was recorded to complete Appendix 1, Land Capability Assessment Table. This table is included later in the report. It was noted that the site will have moderate to high seasonal rainfall, a moderate to steep slope and a low permeable soil. Due to the slope of the site being between 10 and 20 %, the application rate will be reduced by 20%, as per Table M2, AS1547.2012 to 1.6mm per day.

The irrigation system is to be constructed in an area that is covered in natural grasses. The Water balance calculations have been calculated using a value taken from Table 10.6 Scheme for inferring the hydraulic conductivity range of soil horizons, Soil, Their Properties and Management, Third Edition, Peter E.V CHARMAN and Brian W. MURPHY. This gives a range of 0.1mm/h to 2.5mm/h.



The LCA has been worked out assuming that one (1) new dwelling will be constructed at the site. It has been assumed that the new dwelling will be a four (4) bedroom dwelling, that will be suitable for a maximum occupancy of five (5) people respectively. The site will be supplied with mains water and it is anticipated that sewer will not be available in the near future due to the low development density in the area and the considerable distance from the existing wastewater services.

The new dwelling will consist of new appliances that will have a low water rating label, based on the Water Efficiency Labelling and Standards Scheme, (WELS). A design wastewater load of 150L per person per day has been used giving a total daily design load of up to 750 liters. This design load was determined using Table 4, EPA Code of Practice 891.4.

Available land for LAA – For this site size is not a constraining factor. The site has areas where the LAA can be expanded in the future if required. This gives a medium rating risk for the secondary treatment system that is recommended within this report.

Aspect and Exposure – The area allocated for the system faces south. This area is located in elevated treed areas of PAKENHAM. The surrounding area is covered in pasture grasses and trees. This gives the site moderate to high sun and wind exposure.

Slope form and gradient – the area recommended as suitable for the LAA has a moderate to steep slope to the south of ranging from 15-18% based on contours from the survey supplied. The site slope will be a limiting factor and the Irrigation Rate will need to be reduced by 20%, as per Table M2, AS1547-2012, to 1.6mm/day. The pressure compensating subsurface irrigation should also run along the contours as mentioned in Section M9.3 of AS/NZS 1547, 2012.

Site Drainage – a cutoff drain will be required around the high side of the system. The cutoff drain will prevent overland water flow from entering the system during high rainfall events.

Landslip – At the time of the investigation no evidence of landslip was seen. The proposed effluent system won't increase the land slip risk in the area proposed for the LAA.

Erosion Potential – there are no signs of erosion at the site. This is a medium risk issue.

Flood Inundation – as the site is located in the upper areas of PAKENHAM, there is a low chance of the site being flooded. Cutoff drains around the high side of the LAA have been directed.

Distance to surface waters – the area on the site where the irrigation system is to be located is over 30m from any influencing water bodies, and over 200m (as water would run) from any potable reservoir supplies.

Distance to groundwater bores – there are zero (0) bores on the site. The LAA needs to be located in an area at least 20m away from any bores.

Vegetation – the site is covered in natural grasses and there are trees ranging from small to large both on and surrounding the site. The area for the LAA is covered in natural grasses. There are trees on the proposed LAA. This can be seen by looking at the photos from the site.

Depth to water table / perched water table – no perched water table / groundwater was encountered at the time of the investigation. A cut off drain will be constructed around the high side of the LAA to prevent any surface or subsurface waters entering the LAA.

Rainfall – the site has a moderate to high annual rainfall of 1016mm (mean). This is a limiting risk at the site that has been managed by using a cut off drain along the high sides of the LAA.

Pan Evaporation – the site has a moderate to high pan evaporation of 1205mm (mean), and this is a medium risk. Evaporation will exceed rainfall at the site for the warmer months of the year from October through to May.


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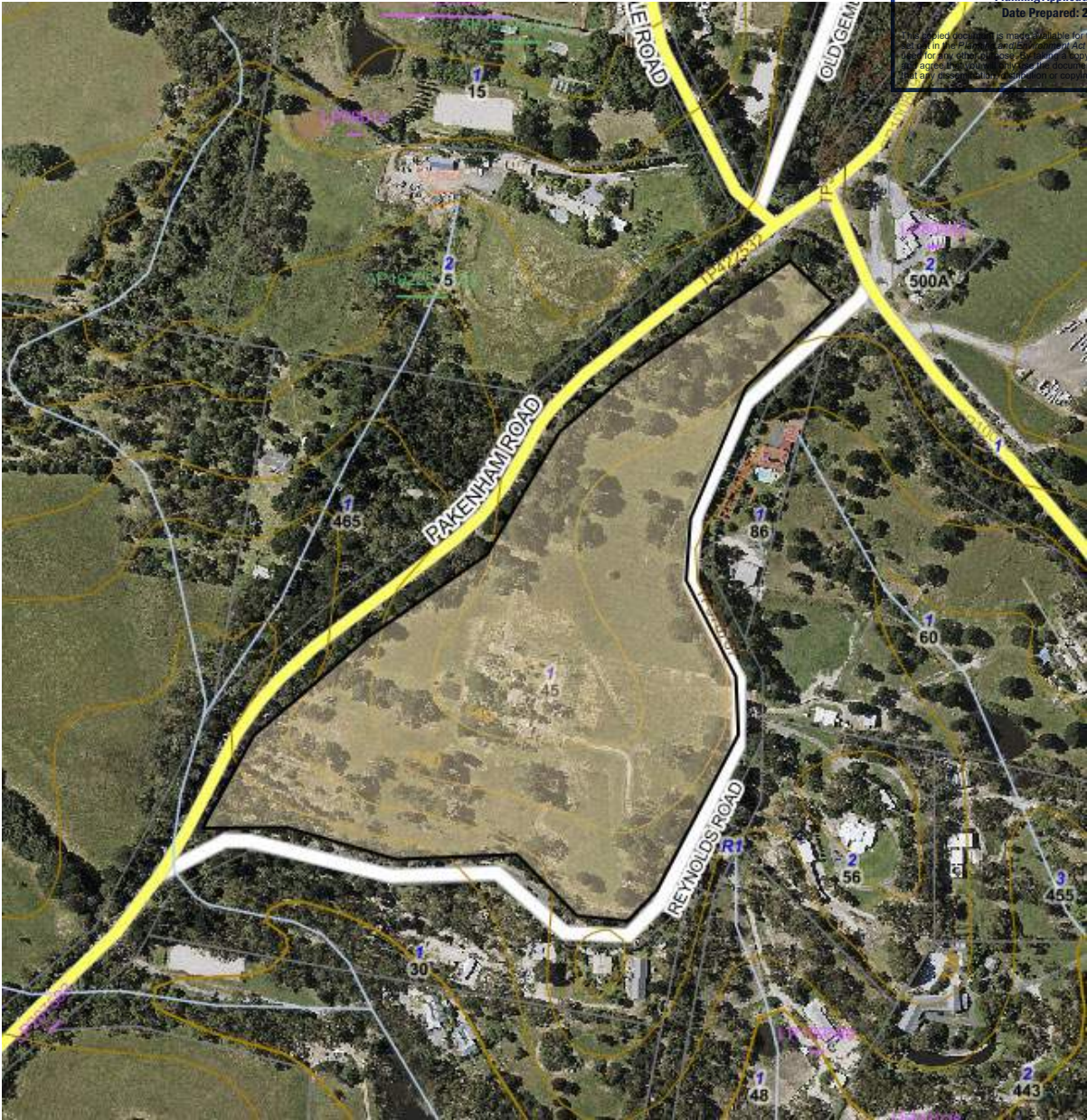
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3. Site Plan


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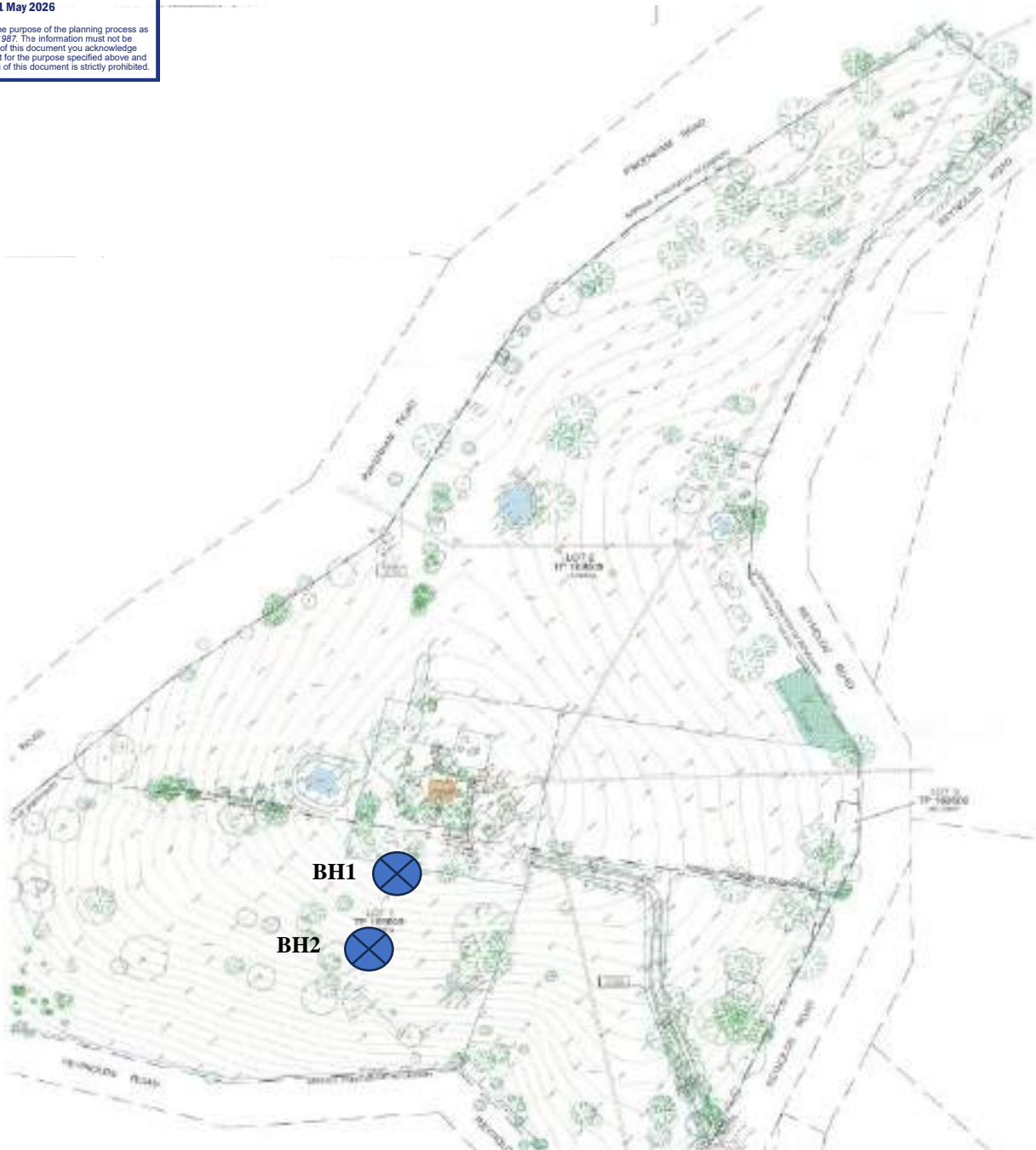
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No. 45 Reynolds Road, PAKENHAM.

Please Note: Drawing is not to scale and indicative only.
Locations and offset distances to be confirmed to scale upon receipt of Site Survey

3.1 Site Plan – Borehole Locations

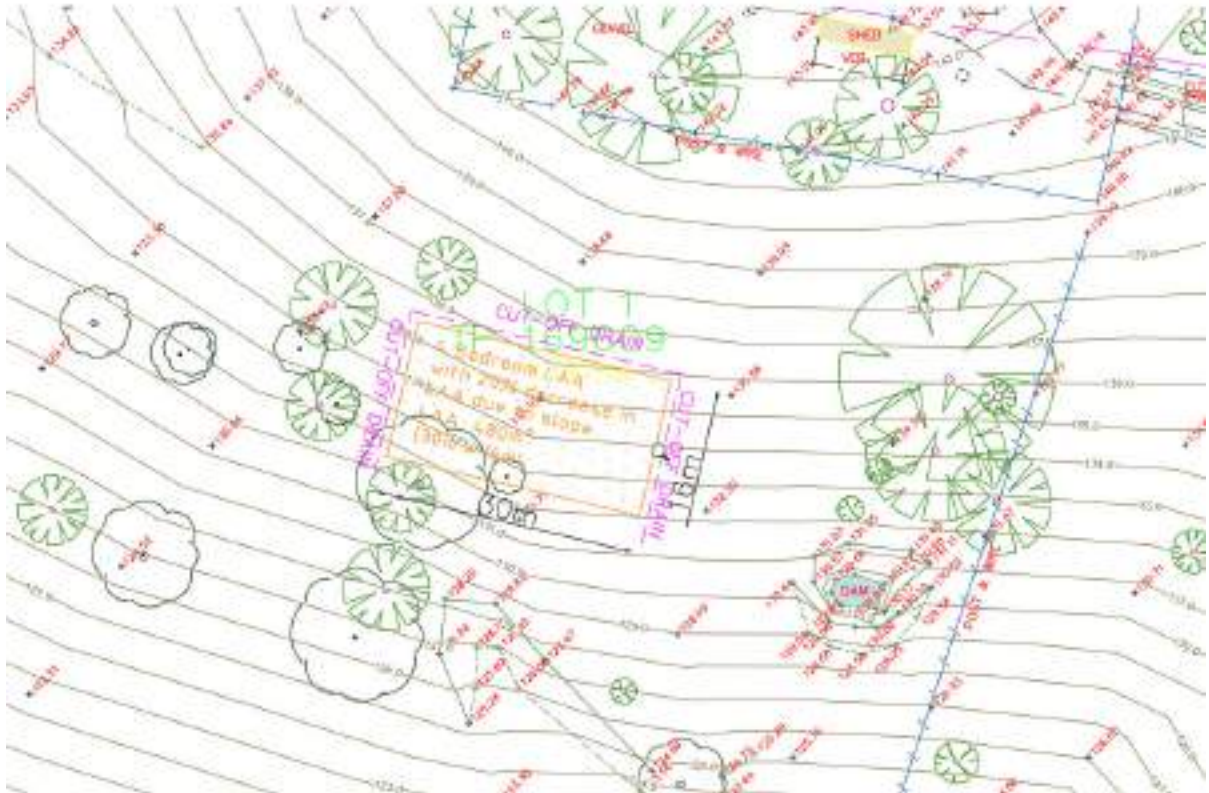


No. 45 Reynolds Road, PAKENHAM. – LAA's Boreholes.

Please Note: Drawing is not to scale and indicative only.

Locations and offset distances to be confirmed to scale upon receipt of Site Survey

3.2. Site LAA Location



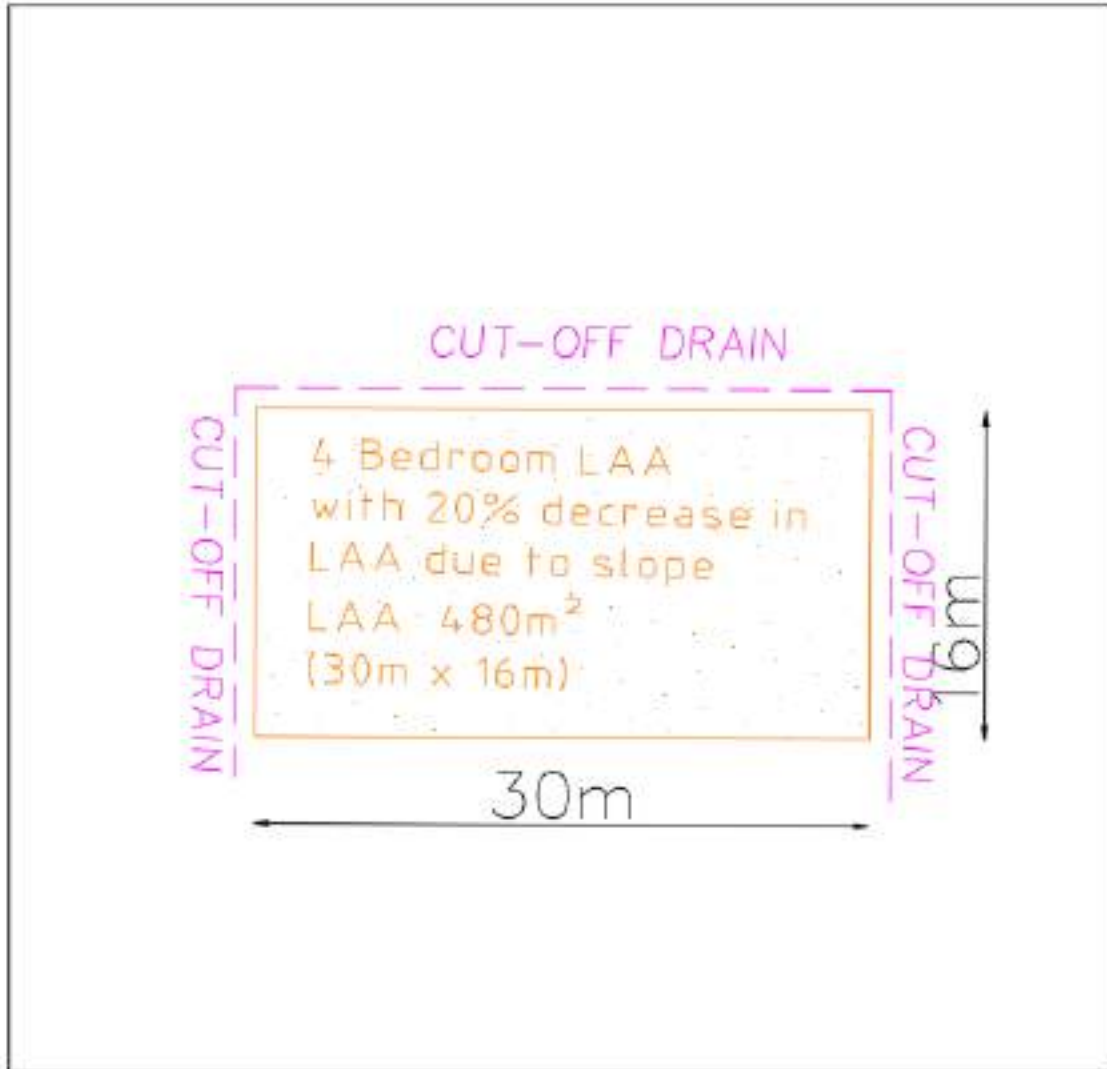
No. 45 Reynolds Road, PAKENHAM.

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3.3. Site LAA Sizing



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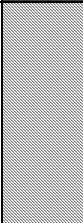
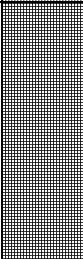

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4. Soil Assessment

Two (2) boreholes were completed across the site to determine the geology across the site so that the soil in the area chosen for the LAA would be known. The boreholes show that the site consists of a natural brown, Clayey SILT overlying a brown / orange / mottled grey, Silty CLAY, overlying a grey / orange completely weathered MUDSTONE.

Borehole 1

Depth (m)		Description	Strength / Density	Moisture
0.500		Clayey SILT Brown Paler with depth Very Clayey below 300mm Mottled Orange below 300mm Traces of rounded gravels at depth	Medium dense	Moist
0.800		Silty CLAY Brown / orange / mottled grey Paler / moist / stiff / friable with depth	Firm-Stiff	Moist-very moist
1.300		Completely weathered MUDSTONE Grey / Orange Auger refusal at 1300mm on Highly weathered MUDSTONE	Dense	Dry-moist



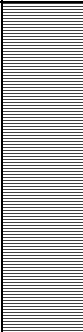
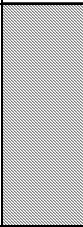
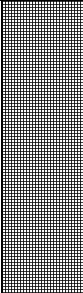
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Borehole 2

Depth (m)		Description	Strength / Density	Moisture
0.400		Clayey SILT Brown Paler with depth Very Clayey below 300mm Mottled Orange below 300mm Traces of rounded gravels at depth	Medium dense	Moist
0.900		Silty CLAY Brown / orange / mottled grey Paler / moist / stiff / friable with depth	Firm-Stiff	Moist-very moist
1.300		Completely weathered MUDSTONE Grey / Orange Auger refusal at 1300mm on Completely weathered / Highly weathered MUDSTONE	Dense	Dry-moist


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4.1 Soil Features

Profile Depth – Two boreholes were completed to 1300mm. The profile is shown in the Borehole logs above.

Depth to water table: No perched water table was encountered at the time of the investigation. It is possible that a transient water table may exist in the wetter months of the year above the clay soils. A cut off drain will be constructed around the high side of the LAA to prevent any surface or subsurface waters entering the LAA.

Coarse Fragments – in the soil profile encountered there were approximately 30% rock fragments.

Soil Permeability – The soil permeability was determined through references to published soil properties as mentioned in Site Features on page 4.

Limiting Soil Layer – the limiting soil layer at this site is the silty CLAY soils. There are Category 5/6 as per AS1547-2012.

Design Irrigation Rate: the design irrigation rate for the pressure compensating subsurface irrigation for the site is based on previous experience and reference to published values is 2.0mm/day. This has been reduced by 20% as per Table M2, AS1547-2012, due to the slope of the site being between 10 and 20%, to 1.6mm/day. This has been incorporated into the Water Balance that has been completed that is contained later in this report.

pH – the pH of the CLAY soils was measured using a Hanna hand held pH/EC meter. The pH was found to be between the range of 4.1 to 5.3. This indicated an acid soil. Needs lime fertilizer, plants require acid tolerance.

Electrical Conductivity – the EC of the CLAY soils was measured using a Hanna hand held pH/EC meter. The EC(SE) was found to be between 0.20 to 0.52. This indicates that the CLAY soils are slightly to moderately-saline. This is very sensitive and will affect crops.

5. Wastewater Management System

After all of the above information has been processed and analyzed it has been determined that a system using secondary treatment, a sand filter or an AWTS, would be appropriate for the site. This choice will achieve a level of effluent quality that can be distributed on the site by a pressure compensating subsurface irrigation system. It is recommended that a secondary treatment system is used as it will reduce the risks at the site to negligible levels. By using a secondary treatment system, the effluent will be treated to a high standard before being allowed to pass through into the natural soils on the site.



The size of the irrigation areas required have been calculated using a water balance equation and nutrient balance to ensure that the system can handle the anticipated loads. The worksheet for this water balance equation can be seen in Appendix A and the nutrient balance is also included. The reduction in the DIR by 20% due to the slope being between 10% and 20% has been calculated in the table below. The size of the irrigation area has been calculated to be 460 square meters due to hydraulic load based on the number of bedrooms being four (4) and maximum occupancy being five (5) for the site. The pressure compensating subsurface irrigation should also run along the contours as mentioned in Section M9.3 of AS/NZS 1547, 2012. A cut off drain around the LAA will reduce the risk of a perched water table occurring.

Number of bedrooms	Maximum occupancy (persons)	Total effluent load (Litres/day)	Total irrigation area required (m ²)	Total Irrigation area required (m ²) with 20% decrease in DIR
4	5	750	390	460

Table 2: Total effluent loads and irrigation area required, based on the total number of bedrooms and maximum occupancy the final house design adopts.

Gypsum should be added to the LAA at a rate of 1kg per square meter and should be spread over the LAA area and then should be worked into the soil by a rotary hoe or some other mechanical means and relevelled prior to the laying of the pressure compensating sub surface irrigation. This will allow the soils to become more permeable.

The area that has been determined to be the most appropriate for the system on the site is shown on the previous site plan. This system also allows for the subsurface irrigation to be set up around the site in an area to ensure that as minimal surface runoff as possible will enter the site by the use of a cutoff drain along the higher sides of the LAA.

As the site has moderate to high rainfall, a heavy clay soil profile and a moderate to steep slope, it is recommended that a cutoff drain is installed along the high side of the LAA's. This is to ensure that no overland water enters the LAA. This cutoff drain should be located 1m from the edge of the LAA and be approximately 150mm wide and at least up to 600mm deep, to a depth 100mm into the CLAY soil.

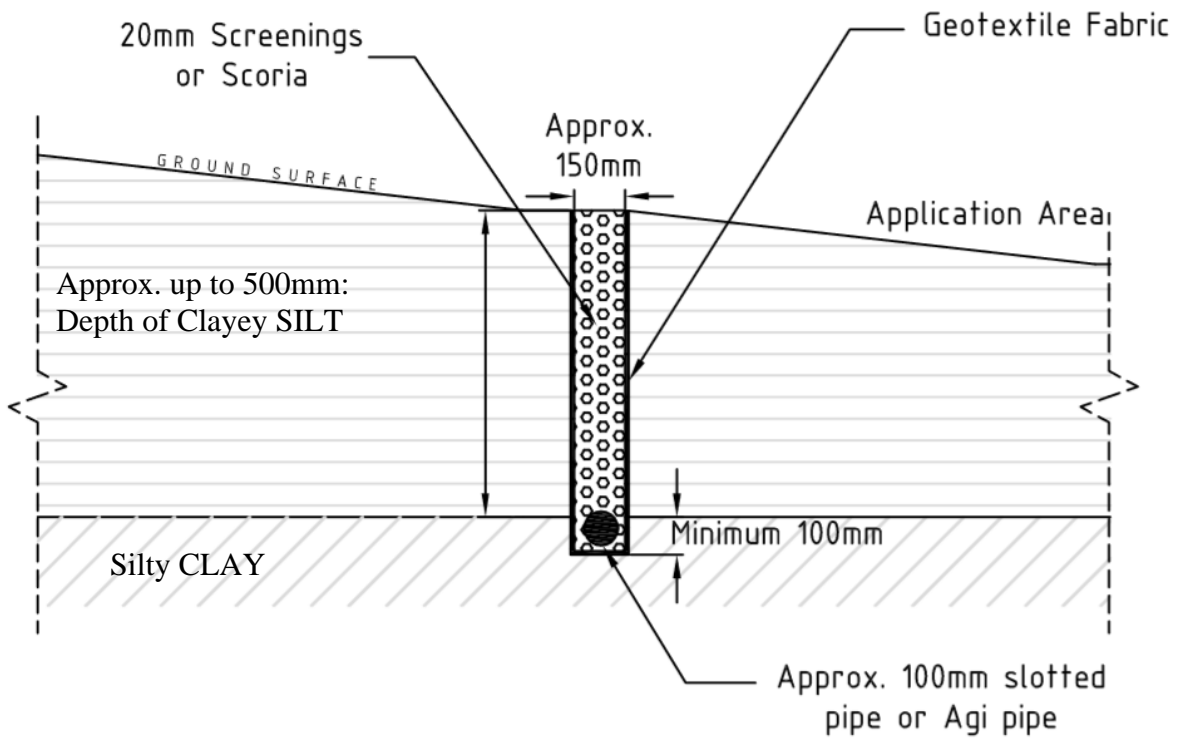
This drain should have a geotextile placed in it and be backfilled with a socked aggie pipe and covered with screenings or scoria. This will ensure that the LAA only has to cope with the hydraulic loads that have been calculated (i.e. irrigation and incident rainfall). This cut off drain should continue for at least two metres past the lower side of the LAA and then be diverted away from the LAA.

The drain is to be constructed by a licensed and registered plumber and needs to be graded away from the LAA. Depending on the slope of the site and the soil profile this may require a pit and pump to be installed.


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There are a set of minimum setback distances that are contained in the EPA code of practice. These need to be followed along with all local council requirements. Where secondary treatment is used these distances can be reduced by 50%. All of these have been met with the location of the LAA.

6. Cut – Off Drain Cross Section



NOTE: Drawing is not to scale.

A Cut-off drain is to be completed along the high sides of the LAA and completed across the site. This will give the drain somewhere to flow to as shown on the site plan of the site.

The drain is to be constructed by a licensed and registered plumber and needs to be graded away from the LAA. Depending on the slope of the site and the soil profile this may require a pit and pump to be installed.

7. Monitoring, Operation and Maintenance

In order for the systems to operate effectively the resident must ensure that the following requirements for the treatment system are followed.

- Water usage at the site should be kept to a minimum. AAA rated water fixtures and appliances are required. This will reduce the effluent load on the system.
- To reduce the amount of fats and oils that enter the system
- Use cleaning products that are suitable for sand filters
- Have the system regularly inspected by a suitable qualified contractor to ensure that the system is treating the effluent to at least 20/30.

In order for the system to operate effectively the resident must ensure that the following requirements for the irrigation systems are followed.

- Regularly mow the irrigation area to encourage further growth. This will encourage the uptake of nutrients from the system
- You are required to harvest the grass (i.e. cut and cart)

In order for the systems to work effectively and to maintain the reduced risk at the site it is recommended that the mandatory testing and reporting as described in the Code of Practice – Onsite Wastewater Management, EPA Publication 891.4, include an annual (post spring) and post periods of heavy and/or prolonged rainfall, report on the functioning and integrity of the distribution system and on the functioning and integrity of the cut-off drains, outfall areas and soil media. The effluent areas should be regularly inspected for excessively wet areas and vegetation integrity.

8. Conclusions

After the site has been visited and all of the information has been processed, our assessment has shown that at least one sustainable and suitable on-site effluent disposal method is appropriate for the site for the proposed new dwelling. It is recommended that a secondary treatment facility can be used at the site to handle the effluent for the site.

It is recommended that subsurface irrigation is used and that the effluent is distributed over an area calculated by the water balance to be 460 square meters, based on the dwelling design for the site. The LAA drawn on the previous site plan is 30m x 16m = 480 square meters.

A cut off drain around the high side of the irrigation area will be required to limit any surface water that may flow on to the area and impede the permeability of the soils and to remove the risk of a perched water table ingress during the wetter months of the year. All water saving appliances are required in the construction of the new residence and that all water saving practices are used by the occupiers. It is recommended that all maintenance requirements for the system as provided by the supplier are met in order that the system runs efficiently and according to design.



Luke Tymensen
BE (Civil) Hons
PE0002775
Hardcore Geotech



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9. Other Information

The following table contains a list of plants, grasses and trees that will help with the transpiration in the effluent site.


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Plants and grasses

Botanical Names	Common Names
<i>Lolium / Trifolium</i>	Rye / Clover
<i>Phragmites australis</i>	
<i>Canna x Generalis</i>	Canna Lily
	Calla Lily
	Ginger Lily
<i>Acacia howittii</i>	Sticky Wattle
<i>Callistemon citrinus</i>	Crimson Bottlebrush
<i>Callistemon macropunctatus</i>	Scarlet Bottlebrush
<i>Leptospermum lanigerum</i>	Wooley Tea-Tree
<i>Malaeleuca decussata</i>	Cross Honey Murtle
<i>Malaeleuca ericifolia</i>	Swamp Paperback
<i>Malaeleuca halmaturorum</i>	Salt Paperback
<i>Tamarix juniperina</i>	Flowering Tamarisk
<i>Eleocharis acuta</i>	Cannas
	Common Spike-Rush
	Buffalo / kikuyu
	Geranium
	Hydrangeas
	Tall wheat grass
	Strawberry Clover
	White Clover
	Perennial Rye
	Bougainvillea

Trees

<i>Eucalyptus Camaldulensis</i>	River Red Gum
<i>Eucalyptus Citriodora</i>	Lemon Scented Gum
<i>Fraxinus Raywoodi</i>	Claret Ash
<i>Eucalyptus Cladocalyx</i>	Sugar Gum
<i>Platanus – all species</i>	Plan Tree
<i>Populus nigra etc</i>	Poplar
<i>Salix banylonica</i>	Weeping Willow
<i>Acacia longiflora</i>	Swallow Wattle
<i>Callistemon viminalis</i>	Weeping Bottlebrush
<i>Callistemon lilacinus</i>	Lilac Bottlebrush
<i>Eucalyptus pressiana</i>	Bell-fruit Mallee
<i>Viminaria juncea</i>	Native Broom

10. Sources of Information

The information contained in this report was gathered from a variety of sources as listed below.

- 1) *SEPPs (Waters of Victoria)*
- 2) *“Disposal systems for effluent from domestic premises”, Australian Standard AS/NZS 1547 – 2012*
- 3) *Code of Practice – Onsite Wastewater Management, Environmental Protection Agency, Publication No: 891.4*
- 4) *Model Land Capability Assessment Report, MAV and DSE, February 2014*



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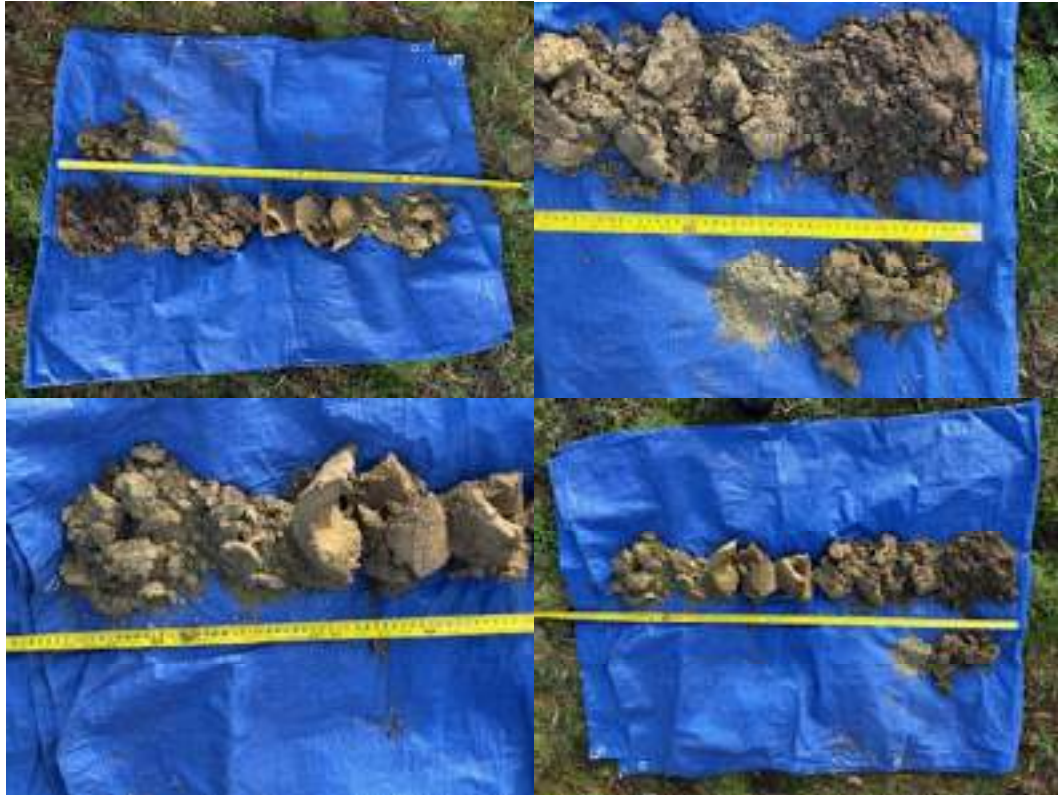
Planning Application: T250028

Date Prepared: 21 May 2026

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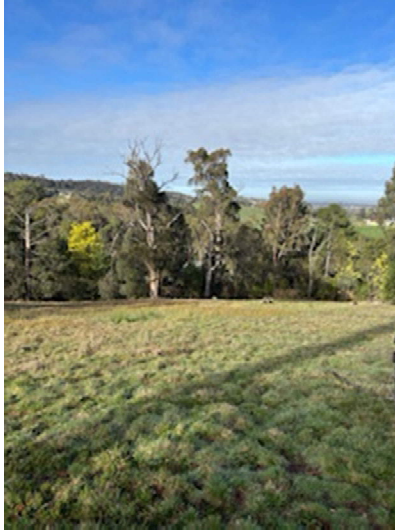
11. Site Photos

BOREHOLE 1




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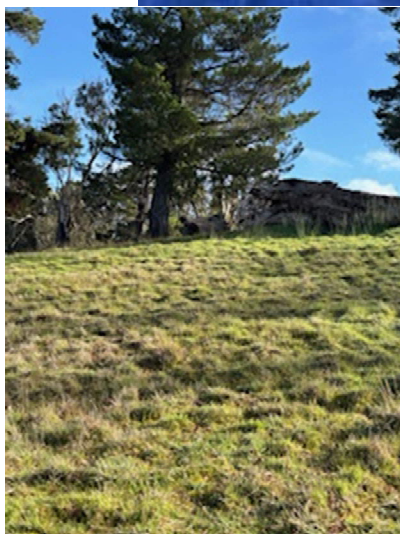



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BOREHOLE 2





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Appendix A - Water/Nitrogen Balance

Hardcore Geotech Pty Ltd

HARDCORE 01

WATER/NITROGEN BALANCE (20/30 irrigation): With no wet month storage.

Rainfall Data: Beaconsfield Upper - 86261 / Evaporation Data: Scoresby Research Institute - 086104

Location: No.50 Reynolds Road, PAKENHAM

Date: 14th August 2025

Client:

ITEM	#	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YEAR																																																						
Days in month:	D	31	28	31	30	31	30	31	31	30	31	30	31	365																																																						
Evaporation (Mean)	mm A	174	154	124	81	53	39	43	59	78	105	132	155	1205																																																						
Rainfall (Mean)	mm B1	65	61	71	81	88	89	87	95	99	100	90	81	1016																																																						
Effective rainfall	mm B2	59	55	64	73	79	80	78	86	89	90	81	73	907																																																						
Peak seepage Loss ¹	mm B3	171	154	171	165	171	165	171	171	165	171	165	171	2008																																																						
Evapotranspiration(EA)	mm C1	69	62	50	32	21	16	17	24	31	42	53	62	479																																																						
Waste Loading(C1+B3-B2)	mm C2	181	161	157	125	113	101	109	108	107	123	136	160	1580																																																						
Net evaporation from lagoons (10(0.8A-B1x)lagoon area(ha))	L NL	0	0	0	0	0	0	0	0	0	0	0	0	0																																																						
Volume of Wastewater	L E	23250	21000	23250	22500	23250	22500	23250	23250	22500	23250	22500	23250	273750																																																						
Total Irrigation Water(E-NL)/G	mm F	51	46	51	49	51	49	51	51	49	51	49	0	545																																																						
Irrigation Area(E/C2)annual.	m ² G													460																																																						
Surcharge	mm H	-131	-115	-106	-76	-62	-52	-59	-58	-58	-72	-88	-109	0																																																						
Actual seepage loss	mm J	40	39	64	89	108	113	112	113	107	98	77	61	1022																																																						
Direct Crop Coefficient:	I	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	Shade:																																																						
Rainfall Retained:	90 % K	1. Seepage loss (peak) equals deep seepage plus lateral flow: 5mm (<12% ksat)																																																																		
Lagoon Area:	0 ha L	CROP FACTOR																																																																		
Wastewater(Irrigation):	750 L M	0.7	0.7	0.7	0.6	0.5	0.45	0.4	0.45	0.55	0.65	0.7	0.7	Pasture:																																																						
Seepage Loss (Peak):	5.5 mm N	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	Shade:																																																						
Irrig'n Area(No storage):	460 m ² P2	0.6	0.6	0.6	0.6	0.6	0.6	0.6	0.6	0.6	0.6	0.6	0.6	Buffalo:																																																						
Application Rate:	1.6 mm Q	1	1	1	1	1	1	1	1	1	1	1	1	Woodlot																																																						
Nitrogen in Effluent:	30 mg/L R	NITROGEN UPTAKE:																																																																		
Denitrification Rate:	20 % S	<table border="1"> <thead> <tr> <th>Species:</th> <th>Kg/ha.yr</th> <th>pH</th> <th>Species:</th> <th>Kg/ha.yr</th> <th>pH</th> <th>Species:</th> <th>Kg/ha.yr</th> <th>pH</th> </tr> </thead> <tbody> <tr> <td>Ryegrass</td> <td>200</td> <td>5.6-8.5</td> <td>Bent grass</td> <td>170</td> <td>5.6-6.9</td> <td>Grapes</td> <td>200</td> <td>6.1-7.9</td> </tr> <tr> <td>Eucalyptus</td> <td>90</td> <td>5.6-6.9</td> <td>Couch grass</td> <td>280</td> <td>6.1-6.9</td> <td>Lemons</td> <td>90</td> <td>6.1-6.9</td> </tr> <tr> <td>Lucerne</td> <td>220</td> <td>6.1-7.9</td> <td>Clover</td> <td>180</td> <td>6.1-6.9</td> <td>Cunn'a</td> <td>220</td> <td>6.1-7.9</td> </tr> <tr> <td>Tall fescue</td> <td>150-320</td> <td>6.1-6.9</td> <td>Buffalo (soft)</td> <td>150-320</td> <td>5.5-7.5</td> <td>Pradiata</td> <td>150</td> <td>5.6-6.9</td> </tr> <tr> <td>Rye/clover</td> <td>220</td> <td></td> <td>Sorghum</td> <td>90</td> <td>5.6-6.9</td> <td>Poplars</td> <td>115</td> <td>5.6-8.5</td> </tr> </tbody> </table>													Species:	Kg/ha.yr	pH	Species:	Kg/ha.yr	pH	Species:	Kg/ha.yr	pH	Ryegrass	200	5.6-8.5	Bent grass	170	5.6-6.9	Grapes	200	6.1-7.9	Eucalyptus	90	5.6-6.9	Couch grass	280	6.1-6.9	Lemons	90	6.1-6.9	Lucerne	220	6.1-7.9	Clover	180	6.1-6.9	Cunn'a	220	6.1-7.9	Tall fescue	150-320	6.1-6.9	Buffalo (soft)	150-320	5.5-7.5	Pradiata	150	5.6-6.9	Rye/clover	220		Sorghum	90	5.6-6.9	Poplars	115	5.6-8.5
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Plant Uptake:	220 kg/ha/y T																																																																			
Average daily seepage:	2.8 mm U																																																																			
Annual N load:	6.57 kg/yr V																																																																			
Area for N uptake:	299 m ² W																																																																			
Application Rate:	2.5 mm X																																																																			

Figure 1 (above): Calculations based on a four-bedroom house design with a 20% reduction in the application rate to 1.6mm/day.


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Appendix B - Land Capability Assessment

The following table is a Land Capability Assessment that can be used for assessing a site for onsite domestic wastewater management.

APPENDIX B					
LAND CAPABILITY ASSESSMENT TABLE					
Site Address: No. 92 Reynolds Road PAKENHAM					
Job No. 250836-LCA					
LAND FEATURE	LAND CAPABILITY RISK RATING				COMMENTS
	LOW	MEDIUM	HIGH	LIMITING	
Available land for LAA	Exceeds LAA and duplicate LAA requirements	Meets LAA and duplicate LAA requirements	Meets LAA and partial duplicate LAA requirements	Sufficient LAA area	Sufficient land available for use, and future expansion if required
Aspect	North, north-east and north-west	East, west, south-west, south-east	South	South, full shade	South Facing
Exposure	Full sun and/or high wind or minimal shading	Dappled light (partial shade)	Limited light, little wind or heavily shaded all day	perpetual shade	Site has moderate exposure
Site Drainage (pond/run-off)	Very slow to slow	Moderate	Rapid	Very rapid or depressed	Site has a moderate slope
Slope gradient (%)	0-5	5-25	15-25	25+ or locally depressed	Slope ranges across the site from 0-15%
Slope rate	Concave or divergent side slopes	straight sided slopes	Concave or convergent side slopes	Locally depressed	Slope is fairly uniform
Trenches and beds	<5%	5% to 10%	10% to 15%	>15%	Not suitable for the site conditions
Subsurface impoundment	<10%	10% to 30%	30% to 40%	>40%	Medium risk as there is variable slope across the site
Landslip	Potential	Potential	Potential	Existing	No signs of landslip at the site
Erosion potential	Low	Moderate	High	No practical amelioration	Non-dispersive soils
Flood inundation	Never		>1% AEP	>5% AEP	Site is located in the elevated area of Pakenham Upper
Distance to non-potable surface waters (m)	Buffer distance complies with code requirements (>30m)		Buffer distance does not comply with code requirements	Reduced buffer distance not acceptable	LAA meets requirements
Distance to potable surface waters (m)	Buffer distance complies with code requirements (>100m for waterways, >300m for reservoirs)		Buffer distance does not comply with code requirements	Reduced buffer distance not acceptable	LAA meets requirements
Distance to groundwater bores (m)	No bores on site or within significant distance (<50m)	Buffer distance complies with code	Buffer distance does not comply with code requirements	No suitable treatment methods	There are no bores within 200m of the proposed LAA
Vegetation	Healthy / healthy vegetation	Moderate vegetation	Sparsely or no vegetation	Propagation not possible	Indicates cover of grass pasture
Trafficking	None to low	Moderate	High	Excessive	Provides timing to stop any tree stock access
Depth to water table (potable water) (m)	>2	2 to 1.5	<1.5	surface	Cut off drain around the high sides of the LAA will prevent potential flow entering the LAA
Depth to water table (non-potable water) (m)	>1.5	<1.5	0.5 to 1.5	surface	Cut off drain around the high sides of the LAA will prevent potential flow entering the LAA. Low chance of occurring due to slope
Height (to Deline) (m)	>900	900-750	750-1000	>1000	Evermeade Upper - 952m
Flow Expansion (mean) (mm)	>1200	1000-1250	750-1000	<750	Soil class - B6/04
SOIL PROFILE CHARACTERISTICS					
Structure	High or moderately structured	Weakly Structured	Structureless, massive or lumpy		
Fill materials	Nil or ragged good quality to soil	Shallow variable depth and quality materials	Variable quality and/or unconsolidated fill	Unconsolidated poor quality/unsuitable fill	The fill material used is considered
Thickness (m)					
Trenches and beds	<1.4		<1.4	<1.2	Not suitable for the site conditions
Subsurface impoundment	1.5+	1.0 to 1.5	0.75	<0.75	
Permeability (ponding holes) (m day)	0.15-0.30	0.03-0.15, 0.3-0.5	0.01-0.03, 0.5-3.5	>3.0, >0.30	
Permeability (soil infiltration) (m day)	<0.3	0.3-3	3 to 5	>5	
Soil class	<18	18 to 20	>20		Some risk of loggers-becoming stable
Shrinkage number	4, 5, 6, 8	7	2, 3	1, 0	Not dispersive
Dispersion index	B	1 to B	B to 15	>15	Not dispersive
Reaction Type (pH)	5.5-8	4.5-5.5	>4.5, >8		pH measured in between the range of 4.1 to 5.3 - Acidic soil
R. C. (pH-c)	<8	8 to 8	>8	>2	Measured cation between the range of 0.23 to 0.82 - soils are slightly to moderately saline
Salinity (ESP) (%)	<0	0 to 8	>8	>14	Not measured however due to the pH will not be a problem
Cation Exchange Capacity (cmol/kg) Free base	>13	5 to 18	<5		Heavy Clay 50-70 as per published values
	<12	20 to 80	85 to 120	>120	Measured at 0.1 100m

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GENERAL NOTES (NCC 2019 BCA Vol 2)

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2019, THE BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- UNLESS OTHERWISE SPECIFIED THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 2
- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.
- GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE & THICKNESS SO AS TO COMPLY WITH:
 - BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND
 - BCA VOL 1 PART B1.4 FOR CLASS 2 TO 9 BUILDINGS

- WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.

SUSTAINABILITY MEASURES FOR NEW CLASS 1 BUILDINGS.
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED ENERGY RATER.

SITE BUSHFIRE ATTACK ASSESSMENT.
REFERENCE DOCUMENT AS 3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/ DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

- SITE PLAN MEASUREMENTS IN MILLIMETRES - ALL OTHER MEASUREMENTS IN MILLIMETRES U.N.O.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION

SITE CLASSIFICATION

SITE CLASSIFICATION AS CLASS:	
REFER TO SOIL REPORT NO:	
BY:	

STORMWATER

- 90mmØ (UPTO 250m2) OR 100mmØ (OVER 250m2) CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION. THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN
 - 100MM UNDER SOIL
 - 50MM UNDER PAVED OR CONCRETE AREAS
 - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
 - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS

AUTHORITIES / CONSULTANTS

MUNICIPALITY NAME:	
SEWERAGE AUTHORITY:	
CONSULTING STRUCTURAL ENGINEER:	
GEOTECHNICAL ENGINEER:	
THERMAL PERFORMANCE ASSESSOR:	

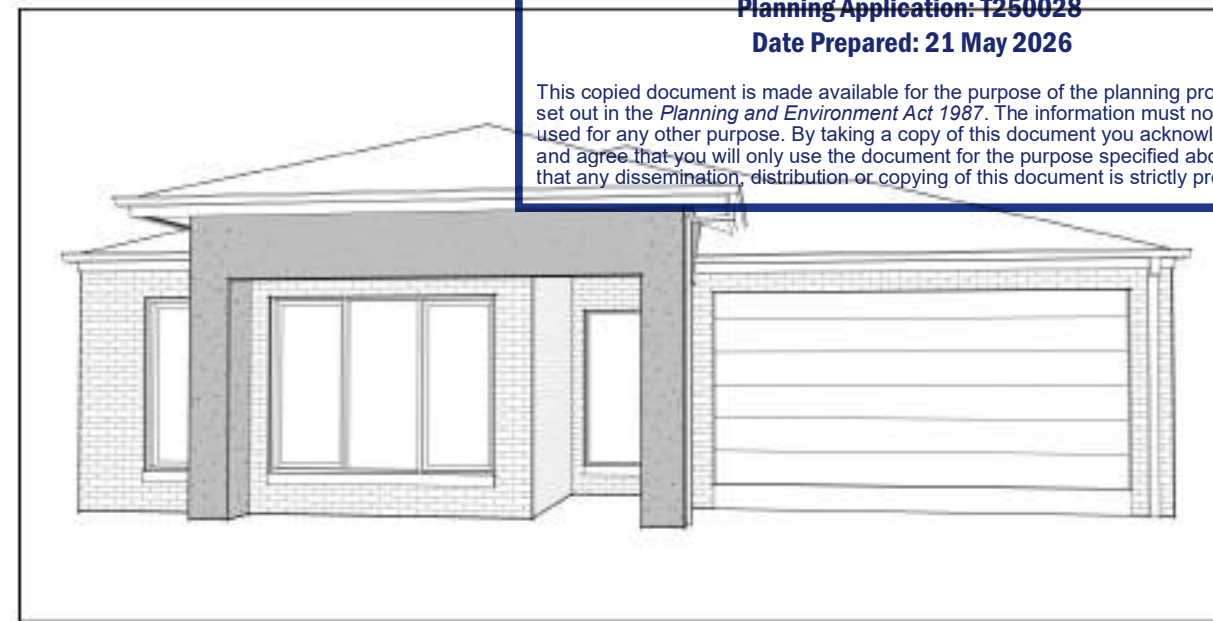
STEP AND LANDINGS

- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
- RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
- GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
- 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
- WITH LESS THAN 125MM MAXIMUM GAP BETWEEN OPEN TREADS
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIPRESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:
 - 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
 - 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
 - VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND
 - ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 400MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- WIRE BARRIER CONSTRUCTION TO COMPLY WITH BCA PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2019 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HAND RAILS TO BE 865MM MINIMUM ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.
- CONCRETE STUMPS: UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO. H.D. WIRE) 1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO. H.D. WIRES) 1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO. H.D. WIRES)
- 100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.
- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773.1-2010 MASONRY IN SMALL BUILDINGS PART 1:DESIGN
- ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF SJD HOMES (THE DESIGNER) FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF SJD HOMES EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO SJD HOMES.
- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.



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CAVERSHAM 307 - RH

BUSHFIRE ATTACK LEVEL:- (BAL)
BAL NIL

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS:

IMPORTANT NOTE:
THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)
STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

ISSUE	AMENDMENT DETAILS
A	
B	
C	
D	
E	
F	
G	
H	
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P	

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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
CAVERSHAM 307 - RH

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SIGNED BUILDER:
.....
SIGNED OWNER:
.....
DATE:
.....

CLIENT:
.....
SITE ADDRESS:
**LOT 1, No. 45 REYNOLDS ROAD
PAKENHAM, 3810**

DRAWING TITLE:
GENERAL NOTES

ISSUE: D	
ISSUE DATE: 11.12.25	
SCALE:	MASTER DATE: 23.04.24
DRAWN: RD	CHECKED: TLG
SHEET NO: 01	OF: 04

DRAINAGE NOTES:

- SEE DRAINAGE SEAL COMPANY WITH NO. 1117 DRAINAGE ANY ADDITIONAL PLUMBING/DRAINAGE CODE
- BASE OF CUTS (SLOPE) TO BE 1:1.5 MIN. DRAINAGE SHALL BE PROTECTED BY CONCRETE CURB
- TEMPORARY DRAINAGE CONNECTED TO THE STREET MAIN SYSTEM TO BE REMOVED AS SOON AS ROAD COVER IS COMPLETED
- STORMWATER DRAINAGE AND SEWERAGE ONLY DRAINAGE TO CONNECT TO LEGAL POINT OF DISCHARGE AT 1:100 DECISION

GROUND SURFACE FINISH FROM HOUSE FOOTINGS (MINIMUM 100mm)

 GROUND SURFACE FINISH TO FORMER/SEWER (MINIMUM 100mm)

 PROVIDE NO DRAIN AT BASE OF CUT (GRADE TO BE 1:1.5 MIN)

 ALL PIPES CONNECTED TO NO DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA FORMER/SEWER

SITE COVERAGE ANALYSIS

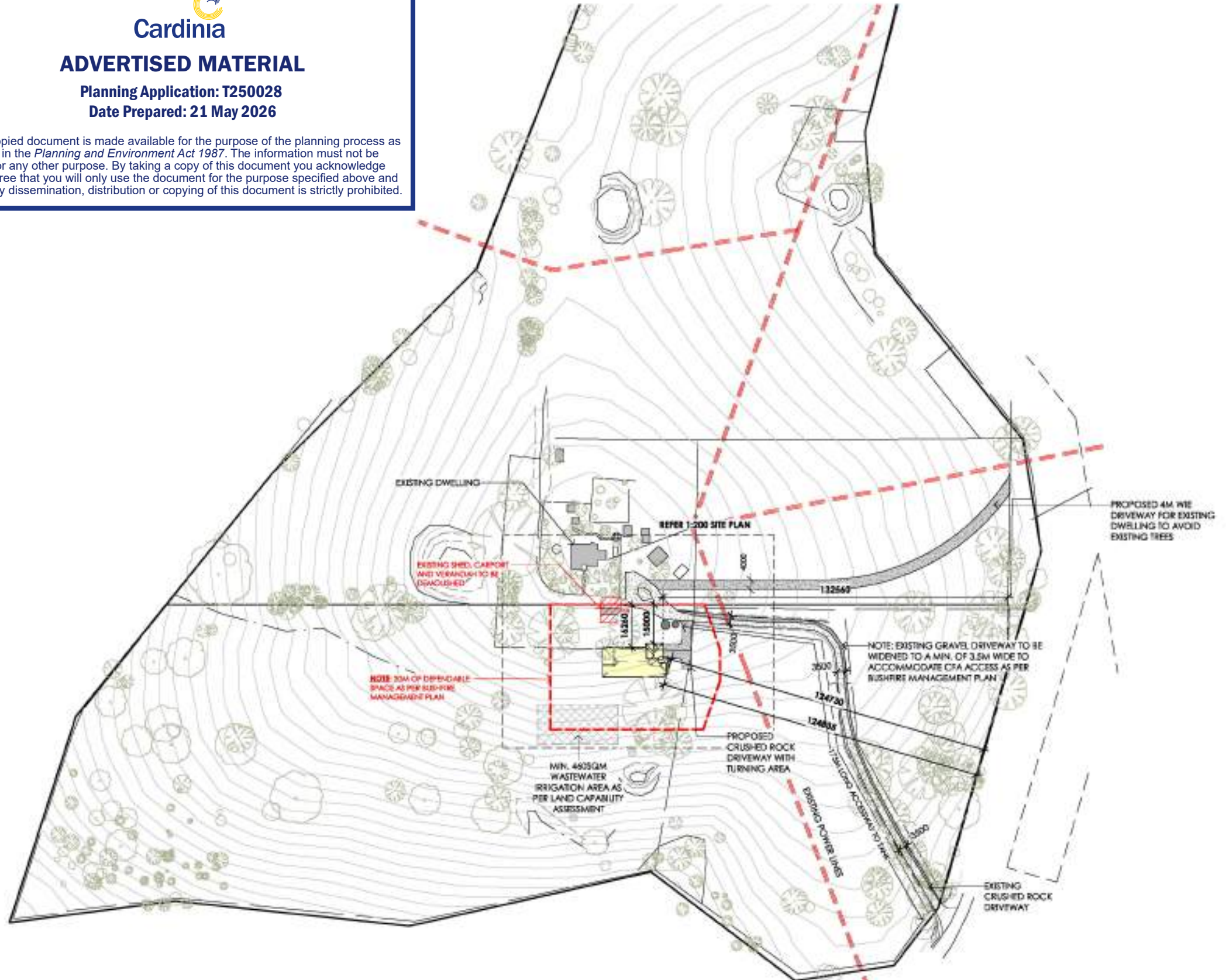
BUILDING AREA	205.53 m ²	0.48%
PERMEABLE AREA	41493.58 m ²	99.32%
TOTAL SITE AREA	41974.51 m ²	100%



ADVERTISED MATERIAL

Planning Application: T250028
Date Prepared: 21 May 2026

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DEFENDABLE SPACE
DEFENDABLE SPACE SHALL BE PROVIDED FROM THE OUTER FACE OF THE PROPOSED DWELLING FOR A DISTANCE OF 20M OR TO THE PROPERTY BOUNDARY (WHICH EVER IS THE LESSER) AS SHOWN ON THE PLAN. THE DEFENDABLE SPACE MUST BE MANAGED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS: GRASS MUST BE SHORT CROPPED AND MAINTAINED DURING THE DECLARED FIRE DANGER PERIOD. ALL LEAVES AND VEGETATION DEBRIS MUST BE REMOVED AT REGULAR INTERVALS DURING THE DECLARED FIRE DANGER PERIOD. WITHIN 10 METRES OF THE BUILDING, FLAMMABLE OBJECTS MUST NOT BE LOCATED CLOSE TO THE VULNERABLE PARTS OF THE BUILDING SUCH AS WINDOWS. PLANTS GREATER THAN 10 CENTIMETRES IN HEIGHT MUST NOT BE PLACED WITHIN 3M OF A WINDOW OR GLASS FEATURE OF THE BUILDING. SHRUBS MUST NOT BE LOCATED UNDER THE CANOPY OF TREES. INDIVIDUAL AND CLUMPS OF SHRUBS MUST NOT EXCEED 3 SQ. METRES IN AREA AND MUST BE SEPARATED BY AT LEAST 3 METRES. TREES MUST NOT OVERHANG OR TOUCH ANY ELEMENTS OF THE BUILDING. THE CANOPY OF TREES MUST BE SEPARATED BY AT LEAST 3 METRES. THERE MUST BE A CLEARANCE OF AT LEAST 2 METRES BETWEEN THE LOWEST TREE BRANCHES AND GROUND LEVEL.

CONSTRUCTION STANDARD
THE PROPOSED DWELLING MUST BE DESIGNED AND CONSTRUCTED TO A MINIMUM BUSH-FIRE ATTACK LEVEL OF BAL-12.

WATER SUPPLY
A PLASTIC WATER SUPPLY WITH A MINIMUM CAPACITY OF 10,000 LITRES IS REQUIRED TO BE PROVIDED FOR FIRE-FIGHTING PURPOSES AT THE TIME THE DWELLING IS CONSTRUCTED. THE PLASTIC WATER SUPPLY MUST MEET THE FOLLOWING REQUIREMENTS:
BE STORED IN AN ABOVE GROUND WATER TANK CONSTRUCTED OF CONCRETE OR METAL.
HAVE ALL FESD ABOVE GROUND WATER PIPES AND FITTINGS REQUIRED FOR FIRE-FIGHTING PURPOSES MADE OF CORROSION RESISTANT METAL.
INCLUDE A SEPARATE OUTLET FOR OCCUPANT USE.
BE READILY IDENTIFIABLE FROM THE DWELLING OR APPROPRIATE IDENTIFICATION SIGNS TO THE SATISFACTION OF THE RELEVANT FIRE AUTHORITY.
BE LOCATED WITHIN 4 METRES OF THE OUTER EDGE OF THE DWELLING.
THE OUTLET OF THE WATER TANK MUST BE WITHIN 4 METRES OF THE ACCESSWAY AND UNOBSTRUCTED.
INCORPORATE A SEPARATE BALL OR GATE VALVE (BRITISH STANDARD PIPE (BSP) 45 MILLIMETRE) AND COUPLING (64 MILLIMETRE CFA 3 THREAD PER INCH MAKE FITTING).
ANY PIPEWORK AND FITTINGS MUST BE A MINIMUM OF 65 MILLIMETRES (EXCLUDING THE CFA COUPLING).

ACCESS
THE EXISTING DRIVEWAY TO THE DWELLING MUST BE UPGRADED TO MEET THE FOLLOWING REQUIREMENTS:
ALL-WEATHER CONSTRUCTION.
A LOAD LIMIT OF AT LEAST 15 TONNES.
PROVIDE A MINIMUM TRAFFICABLE WIDTH OF 3.5 METRES.
BE CLEAR OF ENCROACHMENTS FOR AT LEAST 0.5 METRES ON EACH SIDE AND AT LEAST 4 METRES VERTICALLY.
CURVES MUST HAVE A MINIMUM INNER RADIUS OF 10 METRES.
THE AVERAGE GRADE MUST BE NO MORE THAN 1 IN 7 (14.3%) (3.1%) WITH A MAXIMUM GRADE OF NO MORE THAN 1 IN 5 (20%) (11.3%) FOR NO MORE THAN 50 METRES.
DIPS MUST HAVE NO MORE THAN A 1 IN 8 (12.5 PER CENT) (7.1 DEGREES) ENTRY AND EXIT ANGLE.
A TURNING AREA FOR FIRE-FIGHTING VEHICLES MUST BE PROVIDED CLOSE TO THE DWELLING BY EITHER: A TURNING CIRCLE WITH A MINIMUM RADIUS OF 8000 METRES; A DRIVEWAY ENCIRCLING THE DWELLING; OR THE PROVISION OF OTHER VEHICLE TURNING HEADS - SUCH AS A T OR Y HEAD - WHICH HARBOR THE SPECIFICATION OF AUSTRALIAN DESIGN FOR AN 8.8 METRE SERVICE VEHICLE.

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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
CAVERSHAM 307 - RH

IMPORTANT NOTE: SHEET SIZE IS A2

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SIGNED OWNER: _____
DATE: _____

CSDR: _____
STY ADDRESS:
**LOT 1, No. 45 REYNOLDS ROAD
PAKENHAM, 3810**

DRAWING FILE:
LOCALITY PLAN

ISS: D
ISS DATE: 11.12.25
SCALE: 1:1200
DRAWN: ILG
CHECKED: ILG
SHEET NO: 02 OF 04

DATE: 23.04.24

DRAINAGE NOTES:

- SEE DRAINAGE PLAN FOR ALL DETAILS OF DRAINAGE AND ASSOCIATED PLUMBING/DRAINAGE CODES.
- BASE OF CURB SHOULD BE SET AT 100MM ABOVE FINISH GRADE TO PROTECT AGAINST FLOODING.
- TEMPORARY COVERINGS CONNECTED TO THE DRAINAGE SYSTEM TO BE REMOVED AS SOON AS WORK IS COMPLETED.
- STORMWATER DRAINAGE AND DISCHARGE ONLY. OWNER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.
- GRADE SURFACE MUST BE SUFFICIENTLY SLOPED TO PROVIDE PROPER DRAINAGE.
- GRADES SHOULD BE CONNECTED TO DRAINAGE SYSTEM THROUGH A LEGAL POINT OF DISCHARGE.
- PROVIDE AN DRAIN AT BASE OF CURB GRADING TO BE SET AT 100MM.
- ALL PIPES CONNECTED TO AN DRAIN & DISCHARGE TO LEGAL POINT OF DISCHARGE VIA FORMATION/STREETS.

SITE COVERAGE ANALYSIS

BUILDING AREA	205.53 m ²	0.68%
PERMEABLE AREA	41688.58 m ²	99.32%
TOTAL SITE AREA	41974.51 m ²	100%

SITE CUT/FILL LEGEND & NOTES

NOTE: PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPED AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.

NOTE: BUILDER RESERVES THE RIGHT TO ALTER THE SITE CUT HEIGHT TO THEIR DISCRETION, PENDING CONDITIONS ON SITE.

SITE CUT & FILL NOTE
 PROVIDE SITE CUT OF 1750 mm & FILL 2000 mm OVER BUILDING AREA & PROVIDE AN ADDITIONAL SLOPE TO GARAGE AREA TO ACCOMMODATE 85 mm STREPCOIN. NOTE: 45 ° BATTER ANGLE.

STORMWATER LAYOUT
 STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

TERMITE TREATMENT REQUIRED
 PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.

EXTERNAL STEPS
 PROVIDE STEPS OR BUILD UP SOIL AROUND EXTERNAL DOORS WHERE THRESHOLD OF THE DOOR EXCEEDS 190MM.

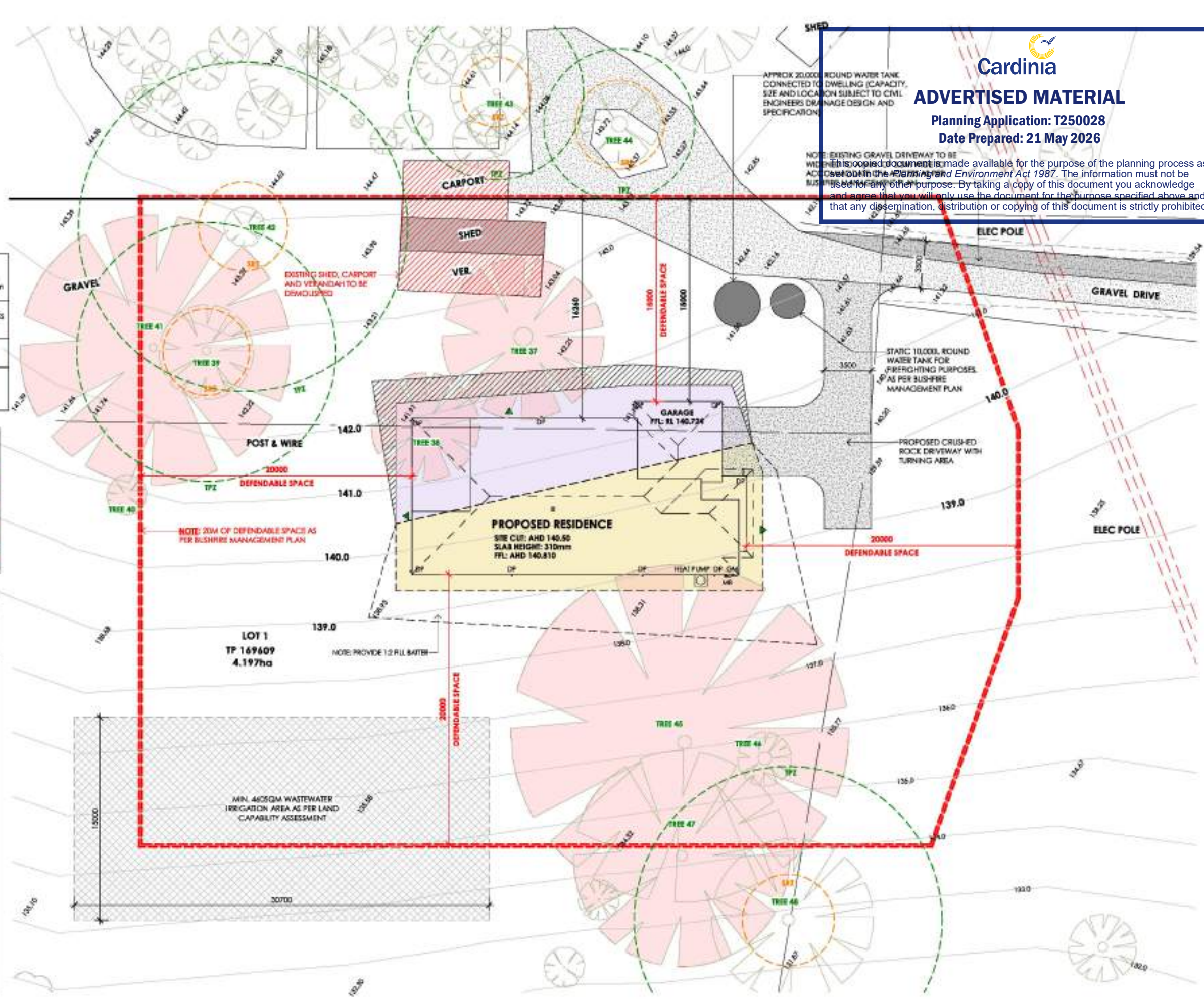
TREE SCHEDULE

TREE NO.	SPECIES	DBH	TPZ	SRZ	DISTANCE TO HOUSE	STATUS
TREE 37	PINUS RADIATA	103	12.4m	3.5m		REMOVE
TREE 38	PINUS RADIATA	63	7.6m	2.5m		REMOVE
TREE 39	PINUS RADIATA	80	9.6m	3.2m	15.0m	RETAIN
TREE 40	PINUS RADIATA	98	11.8m	3.3m		REMOVE
TREE 41	PINUS RADIATA	104	12.5m	3.6m		REMOVE
TREE 42	PINUS RADIATA	102	12.2m	3.3m	18.4m	RETAIN
TREE 43	MELALEUCA SP.	54	6.5m	2.6m	24m	RETAIN
TREE 44	ARBUTUS UNEDO	47	5.6m	3.3m	19.9m	RETAIN
TREE 45	PINUS RADIATA	155	15m	3.9m	12m	REMOVE
TREE 46	PINUS RADIATA	96	11.5m	3.5m		REMOVE
TREE 47	PINUS RADIATA	111	13.3m	3.6m		REMOVE
TREE 48	PINUS RADIATA	95	11.4m	3.4m	25.2m	RETAIN

DEFENDABLE SPACE
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 GRASS MUST BE SHORT CROPPED AND MAINTAINED DURING THE DECLARED FIRE DANGER PERIOD.
 ALL LEAVES AND VEGETATION ON TREES MUST BE REMOVED AT REGULAR INTERVALS DURING THE DECLARED FIRE DANGER PERIOD.
 WITHIN 10 METRES OF THE BUILDING, FLAMMABLE OBJECTS MUST NOT BE LOCATED CLOSE TO THE VULNERABLE PARTS OF THE BUILDING SUCH AS WINDOWS.
 PLANTS GREATER THAN 10 CENTIMETRES IN HEIGHT MUST NOT BE PLACED WITHIN 3M OF A WINDOW OR GLASS FEATURE OF THE BUILDING.
 SHRUBS MUST NOT BE LOCATED UNDER THE CANOPY OF TREES.
 INDIVIDUAL AND CLUMPS OF SHRUBS MUST NOT EXCEED 3 SQ. METRES IN AREA AND MUST BE SEPARATED BY AT LEAST 5 METRES.
 TREES MUST NOT OVERHANG OR TOUCH ANY ELEMENTS OF THE BUILDING.
 THE CANOPY OF TREES MUST BE SEPARATED BY AT LEAST 5 METRES.
 THERE MUST BE A CLEARANCE OF AT LEAST 3 METRES BETWEEN THE LOWEST TREE BRANCHES AND GROUND LEVEL.

CONSTRUCTION STANDARDS
 THE PROPOSED DWELLING MUST BE DESIGNED AND CONSTRUCTED TO A MINIMUM BUSHFIRE ATTACK LEVEL OF BAL-19.
WATER SUPPLY
 A STATIC WATER SUPPLY WITH A MINIMUM CAPACITY OF 10,000 LITRES IS REQUIRED TO BE PROVIDED FOR FIRE FIGHTING PURPOSES AT THE TIME THE DWELLING IS CONSTRUCTED. THE STATIC WATER SUPPLY MUST MEET THE FOLLOWING REQUIREMENTS:
 BE STORED IN AN ABOVE GROUND WATER TANK CONSTRUCTED OF CONCRETE OR METAL.
 HAVE ALL FIRED ABOVE GROUND WATER PIPES AND FITTINGS REQUIRED FOR FIRE FIGHTING PURPOSES MADE OF CORROSION RESISTANT METAL.
 INCLUDE A SEPARATE OUTLET FOR OCCUPANT USE.
 BE READILY IDENTIFIABLE FROM THE DWELLING OR APPROPRIATE IDENTIFICATION SIGNS TO THE SATISFACTION OF THE RELEVANT FIRE AUTHORITY.
 BE LOCATED WITHIN 40 METRES OF THE OUTER EDGE OF THE DWELLING.
 THE OUTLET OF THE WATER TANK MUST BE WITHIN 4 METRES OF THE ACCESSWAY AND UNOBSTRUCTED.
 INCORPORATE A SEPARATE BALL OR GATE VALVE (BRITISH STANDARD PIPE (BSP) 65 MILLIMETRE) AND COUPLING (64 MILLIMETRE CFA 3 THREAD PER INCH MALE FITTING).
 ANY PIPEWORK AND FITTINGS MUST BE A MINIMUM OF 45 MILLIMETRES (EXCLUDING THE CFA COUPLING).

ACCESS
 THE EXISTING DRIVEWAY TO THE DWELLING MUST BE UPGRADED TO MEET THE FOLLOWING REQUIREMENTS:
 ALL WEATHER CONSTRUCTION.
 A LOAD LIMIT OF AT LEAST 15 TONNES.
 PROVIDE A MINIMUM TRAFFICABLE WIDTH OF 3.5 METRES.
 BE CLEAR OF ENCROACHMENTS FOR AT LEAST 0.5 METRES ON EACH SIDE AND AT LEAST 4 METRES VERTICALLY.
 CURVES MUST HAVE A MINIMUM RADIUS OF 10 METRES.
 THE AVERAGE GRADE MUST BE NO MORE THAN 1 IN 7 (14.4%) (3.1%) WITH A MAXIMUM GRADE OF NO MORE THAN 1 IN 5 (20%) (11.3%) FOR NO MORE THAN 50 METRES.
 DIPS MUST HAVE NO MORE THAN A 1 IN 8 (12.5 PER CENT) (7.1 DEGREE) ENTRY AND EXIT ANGLE.
 A TURNING AREA FOR FIRE FIGHTING VEHICLES MUST BE PROVIDED CLOSE TO THE DWELLING BY EITHER: A TURNING CIRCLE WITH A MINIMUM RADIUS OF EIGHT METRES; A DRIVEWAY ENCIrcLING THE DWELLING; OR THE PROVISION OF OTHER VEHICLE TURNING HEADS - SUCH AS A T OR Y HEAD - WHICH MEET THE SPECIFICATION OF AUSTRALIAN DESIGN FOR AN 8 METRE SERVICE VEHICLE.



Cardinia
ADVERTISED MATERIAL
 Planning Application: T250028
 Date Prepared: 21 May 2026

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SJD homes
 433 Princes Hwy
 Officer VIC 3809
 Ph: 9095 8000
 Fax: 9095 8010
 info@sjdhomes.com.au

PROPOSED: **HOUSE & GARAGE**
 HOUSE TYPE: **CAVERSHAM 307 - RH**

31 No. CDB-U 56523
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IMPORTANT NOTE: SHEET SIZE IS A2

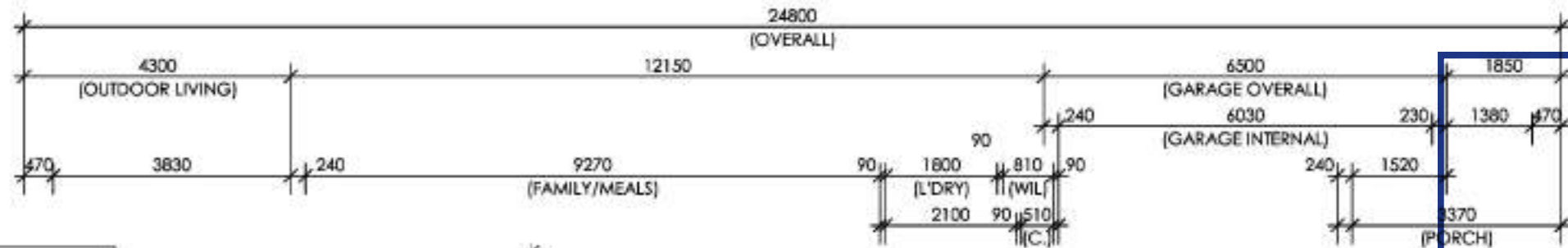
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SIGNED BUILDER: _____
 SIGNED OWNER: _____
 DATE: _____

CUSTOMER: _____
PAKENHAM, 3810

DRAWING FILE: SITE PLAN

ISSUE: 0	DATE: 11.12.25
SCALE: 1:200	MAKER DATE: 23.04.24
DRAWN: RD	CHECKED: ILG
SHEET NO: 00A	OF: 04



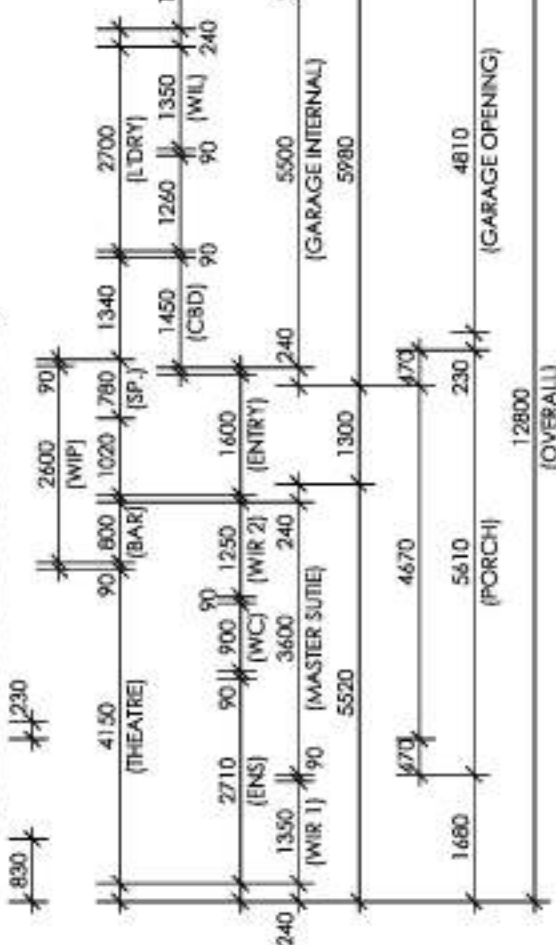
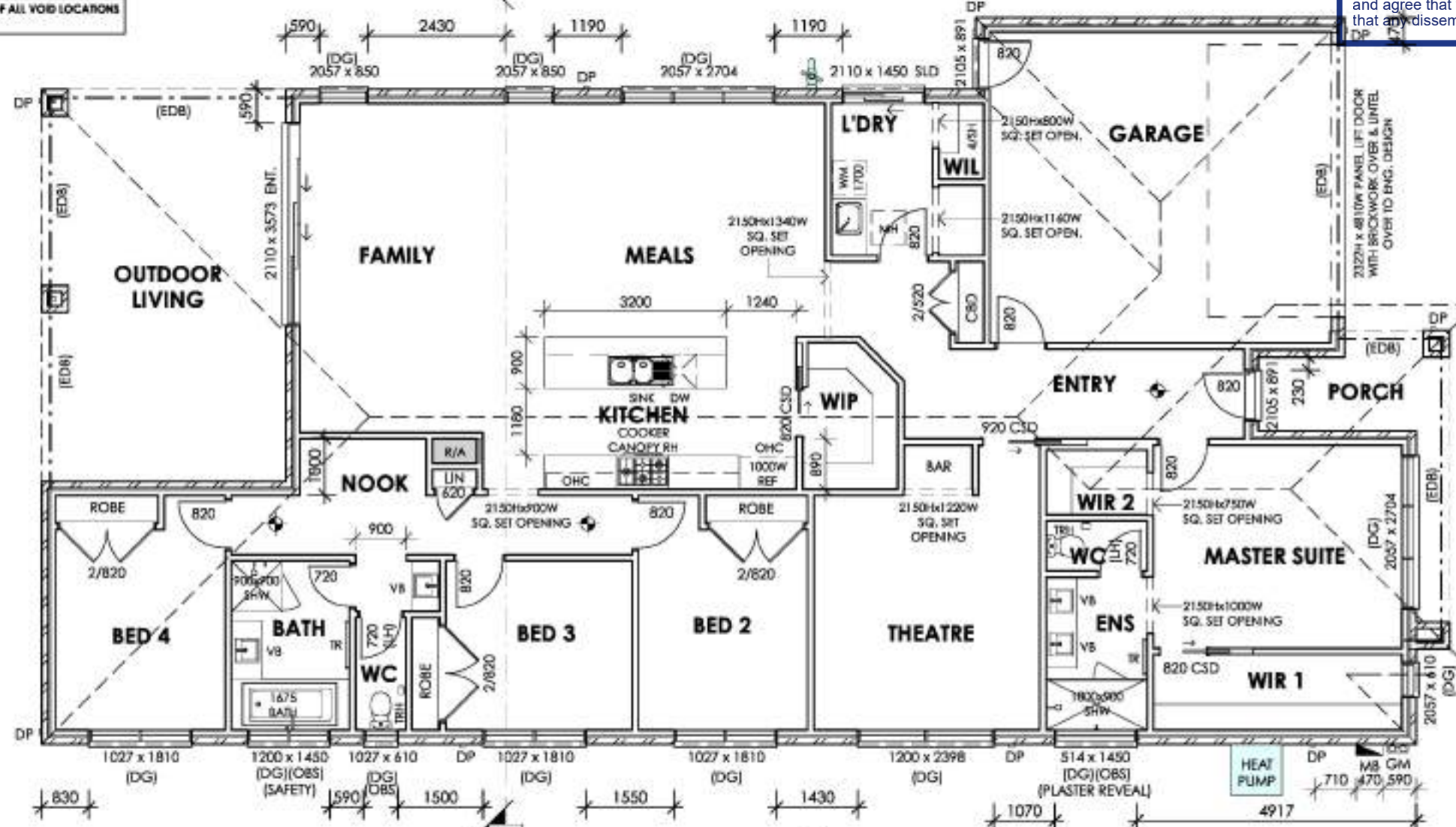
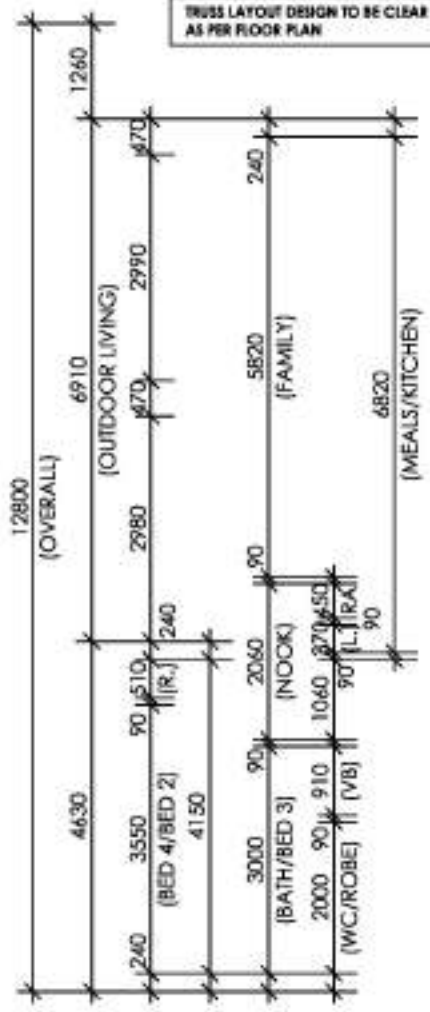
GENERAL NOTES

- BUILDER MAY ADJUST GARAGE DOOR HEIGHT AND WIDTH ON SITE AS REQUIRED
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - * 200MM BRICK, 40 CAVITY, 90 STUD
 - * ALL INTERNAL WALLS TO BE 2040H (2240H NOTED WITH ASTERISK -*)
 - * PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER
- 3000MM CEILING ACCESS MANHOLE LOCATION
- SMOKE DETECTOR INTERCONNECTED WITH BATTERY BACKUP
- SMOKE DETECTOR INTERCONNECTED WITH LIGHT
- SMOKE DETECTOR INTERCONNECTED WITH LIGHT
- EXTERNAL PLUMBING POINTS TO PLUMBERS DISCRETION
- SAFETY: ALL GLASS WINDOWS & WIP ON CEILING BATH BASE
- 2032H x 4810W PANEL LIFT DOOR WITH BRICKWORK OVER & UNTEL OVER TO ENG. DESIGN

Gardinia
ADVERTISED MATERIAL
 Planning Application: 1250028
 Date Prepared: 21 May 2026

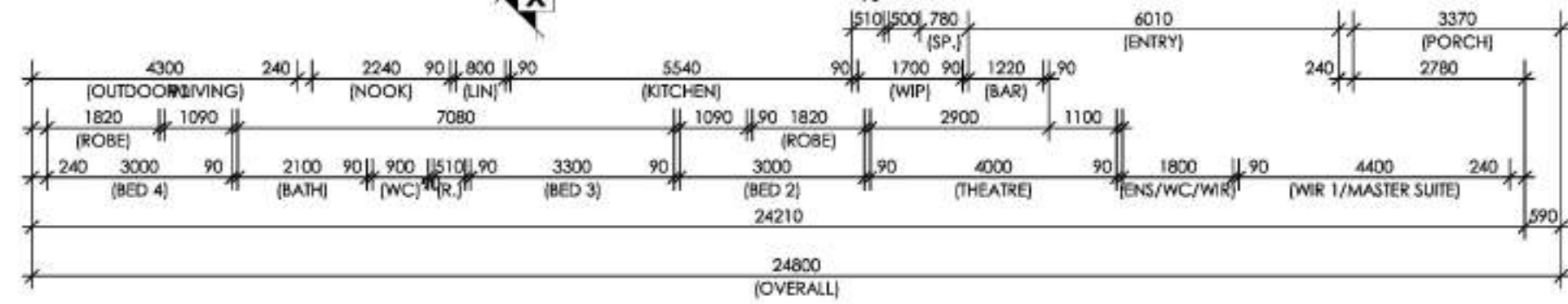
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IMPORTANT NOTE:
 DENOTES A SERVICE VOID SPACE THAT CANNOT BE REMOVED, REDUCED OR RELOCATED
 TRUSS LAYOUT DESIGN TO BE CLEAR OF ALL VOID LOCATIONS AS PER FLOOR PLAN

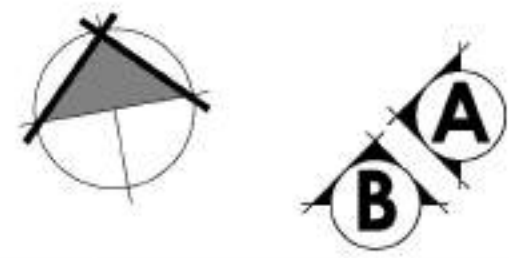


AREAS TABLE

AREA	m2	SQ
GROUND FLOOR	211.70 m ²	22.79
SUB TOTAL:	211.70 m ²	22.79
OUTDOOR LIVING	29.71 m ²	3.20
GARAGE	36.60 m ²	3.94
PORCH	7.52 m ²	0.81
SUB TOTAL:	73.83 m ²	7.95
GRAND TOTAL:	285.53 m ²	30.74



PROVIDE 50mm RECESS TO SLAB FOR FLUSH TILED SHR BASES IN BATHROOM AND ENSUITE



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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
CAVERSHAM 307 - RH

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SIGNED BUILDER:
SIGNED OWNER:
DATE:

CLIENT:
SITE ADDRESS:
LOT 1, No. 45 REYNOLDS ROAD
PAKENHAM, 3810

DRAWING TITLE:
GROUND FLOOR PLAN

ISSUE: D
 ISSUE DATE: 11.12.25
 SCALE: 1 : 100
 DRAWN: RD
 SHEET NO: 03

MASTER DATE: 23.04.24
 CHECKED: TLG
 OF: 04

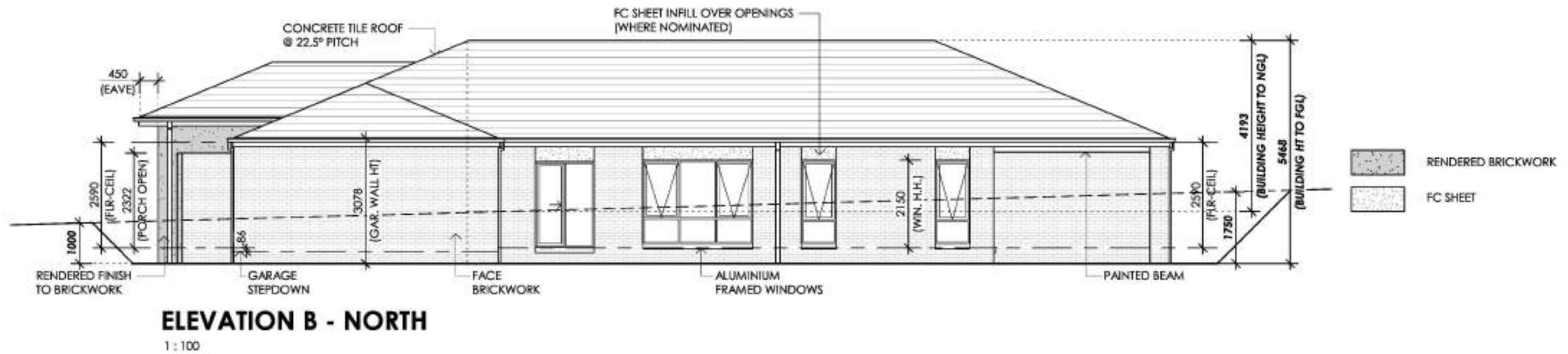
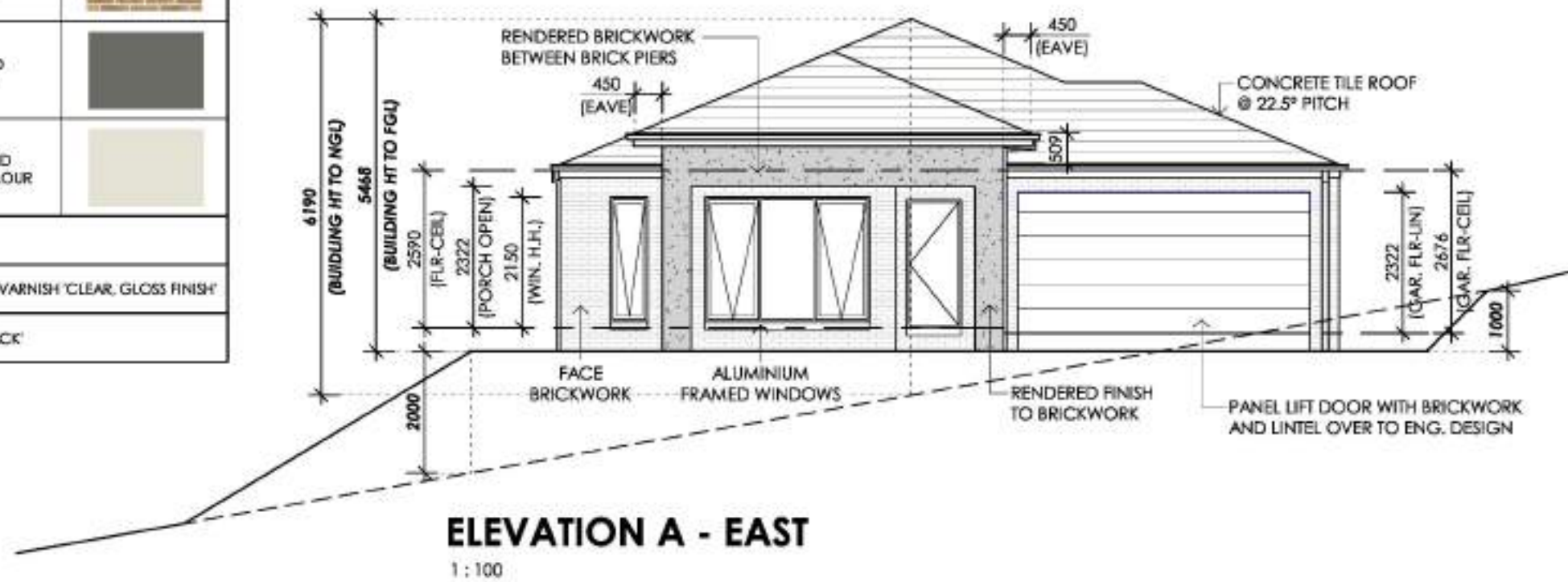
EXTERNAL MATERIAL SCHEDULE		
TYPE	DESCRIPTION/COLOUR	IMAGE
FACE BRICKWORK	AUSTRAL DOMAIN 'SANCTUARY'	
RENDER	COLORBOND 'WALLABY'	
ROOF, DOWNPIPE, GUTTER & FASCIA	IN COLORBOND 'MONUMENT' COLOUR	
GARAGE DOOR	'MONUMENT'	
ENTRY DOOR & FRAME	HAYMES EXTERIOR VARNISH 'CLEAR, GLOSS FINISH'	
WINDOW FRAMES	ALUMINIUM IN 'BLACK'	

EXTERNAL DOOR THRESHOLDS:
THRESHOLDS OF EXTERNAL DOORS TO BE NOT MORE THAN 230mm ABOVE THE ADJOINING SURFACE

ADVERTISED MATERIAL

Planning Application: T250028
Date Prepared: 21 May 2026

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HOUSE & GARAGE

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SIGNED OWNER:
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DATE:
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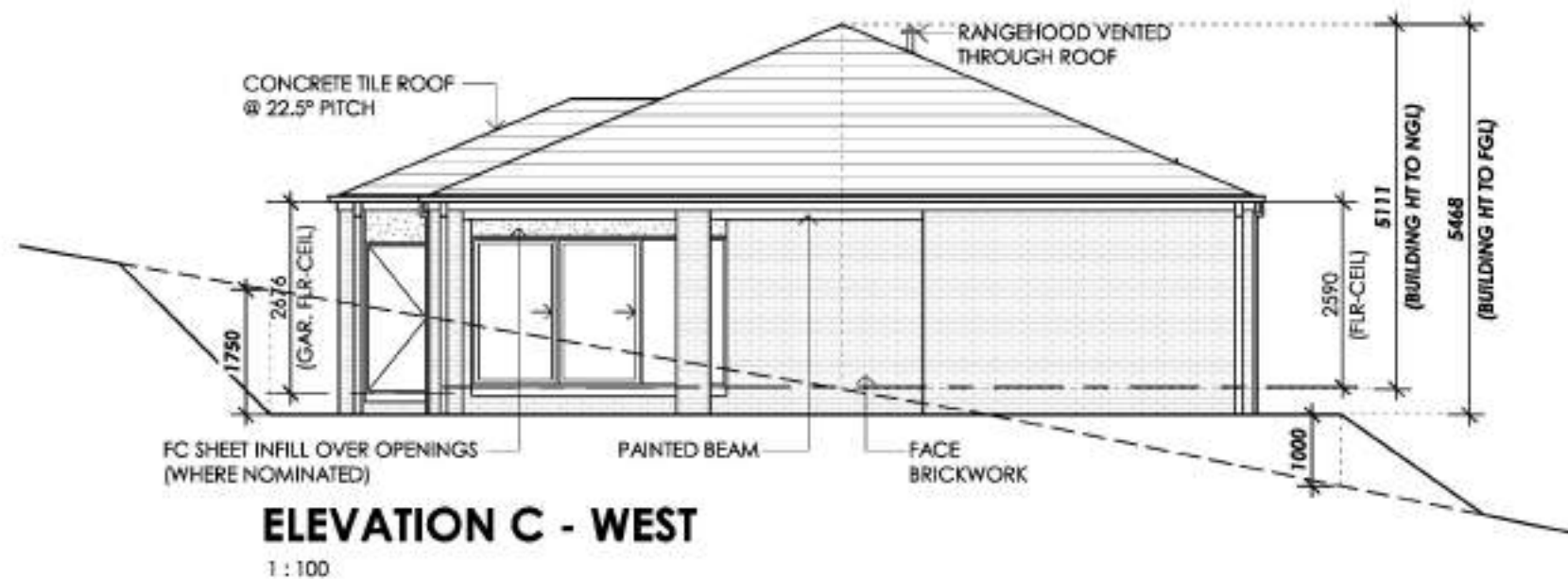
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SITE ADDRESS:
**LOT 1, No. 45 REYNOLDS ROAD
PAKENHAM, 3810**

DRAWING TITLE:
ELEVATIONS

ISSUE: D
ISSUE DATE: 11.12.25
SCALE: 1 : 100
DRAWN: RD
SHEET NO: 04

MASTER DATE: 23.04.24
CHECKED: TLG
OF: 04

EXTERNAL DOOR THRESHOLDS:
THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

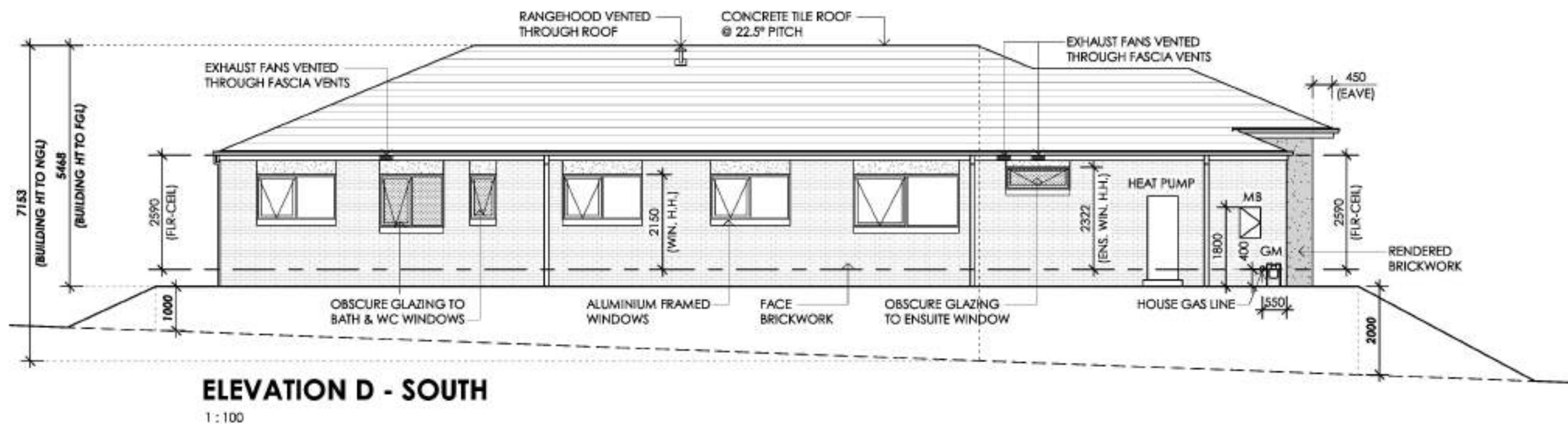


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ADVERTISED MATERIAL

Planning Application: T250028
Date Prepared: 21 May 2026

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SIGNED BUILDER:
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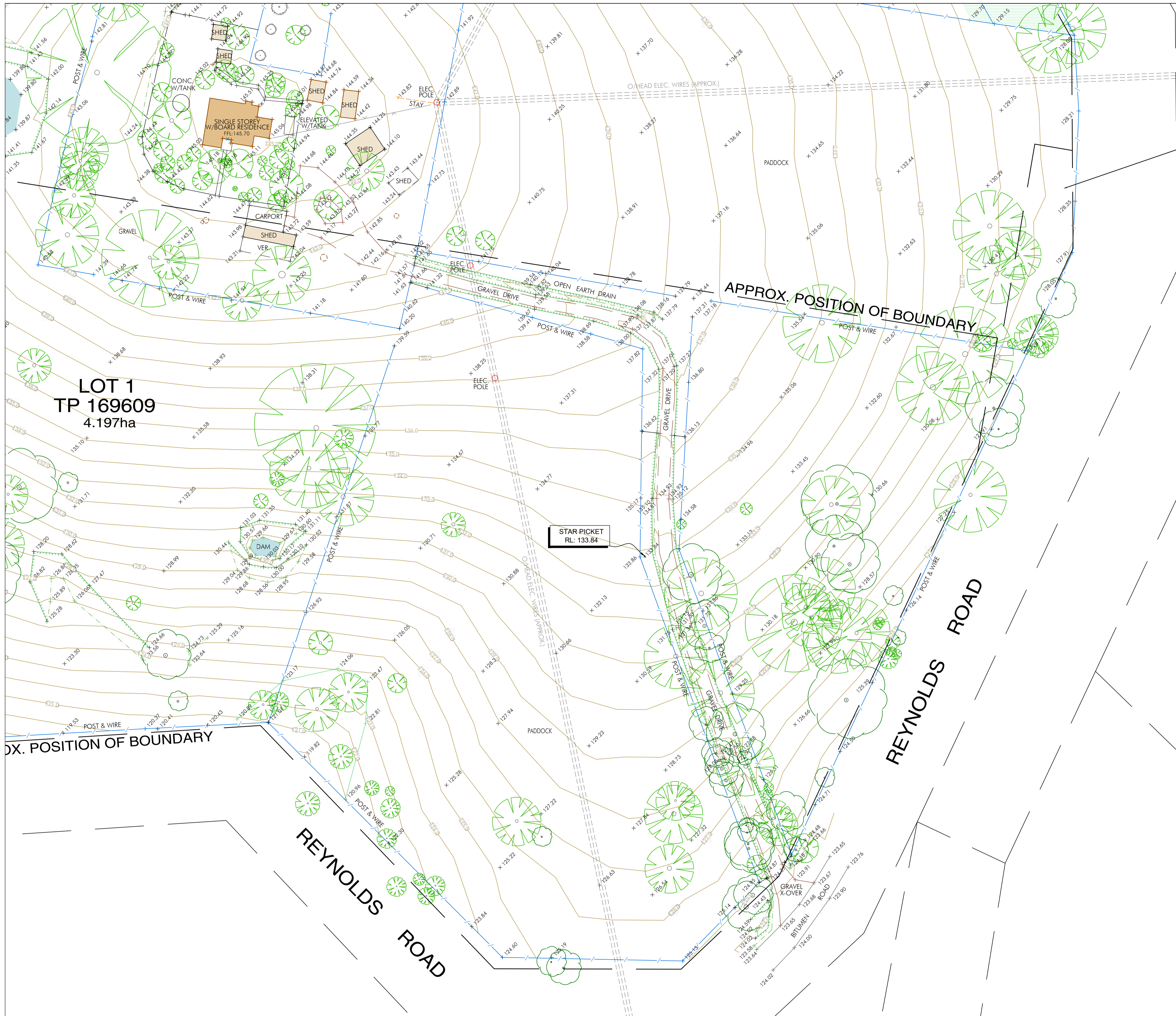
SIGNED OWNER:
.....

DATE:
.....

CLIENT:
[REDACTED]

SITE ADDRESS:
**LOT 1, No. 45 REYNOLDS ROAD
PAKENHAM, 3810**

DRAWING TITLE: ELEVATIONS	
ISSUE: D	
ISSUE DATE: 11.12.25	
SCALE: 1 : 100	MASTER DATE: 23.04.24
DRAWN: Author	CHECKED: Checker
SHEET NO: 04A	OF: 04



Cardinia
ADVERTISED MATERIAL
 Planning Application: **T250028**
 Date Prepared: **21 May 2026**

LOT 3
TP 169609
 4.5794 ha

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NOTATIONS
 This plan has been connected to the Australian Height Datum vide PM 211 with a stated value of RL 144.297

- IMPORTANT NOTES:**
- 1) This plan is prepared for **TONY & TERRENCE REYNOLDS** for the purpose of designing new constructions on the land and should not be used for any other purpose. services shown hereon have been located by field survey. other hidden underground services may exist and prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services
 - 2.) Title line shown as dashed lines on this plan have been plotted from **TP 169609**. This survey **DOES NOT** purport to re-establish the title boundaries. The placement of afore-mentioned boundaries **DO NOT** necessarily accord with the true position of Title Boundaries. Nilsson Noel & Holmes (Surveyors) **RECOMMENDS THAT THE TITLE BOUNDARIES BE RE-ESTABLISHED** and pegged on the ground **BEFORE ANY WORK** be constructed on the subject land.
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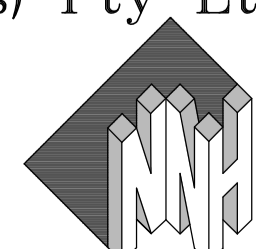
LEGEND

102 Top Of Bank	+	-----
103 Toe Of Bank	+	-----
104 Existing Surface	+	-----
201 Single Tree	○	-----
202 Plantation/Orchard	○	-----
203 Group Trees/Shrubs	○	-----
204 Single Shrub	○	-----
206 Gum Tree	○	-----
208 Pine Tree	○	-----
209 Connifer	○	-----
220 Tree Trunk	+	-----
331 D-Spec Pipe Invert	+	-----
402 Spot On Bitumen	+	-----
403 Edge Of Bitumen	+	-----
405 Edge Of Formation	+	-----
410 Pedestrian Path	+	-----
503 Signs	+	-----
504 Letterbox/Postbox	+	-----
555 Water Tank	+	-----
601 Weatherboard Building	+	-----
602 Shed	+	-----
604 Verandah	+	-----
609 Top of Gutter	+	-----
610 Ridge Line	+	-----
611 Parapet	+	-----
623 Carport	+	-----
628 Stairs / Steps	+	-----
630 Floor Level	+	-----
712 Electricity Pole Only	○	-----
714 Transmission Tower	○	-----
717 Electricity Line Overhead	+	-----
720 Stay	+	-----
904 Gate	+	-----
912 Fence - Post & Wire	+	-----
913 Fence - Chain Wire Mesh	+	-----
914 Fence - Horizontal Boards	+	-----
917 Fence - Tl Tree / Brush	+	-----
950 Title	+	-----
951 Surrounding Title	+	-----

Date:	Rev.	Amendments:

SURVEYED BY:	ET ST	DATUM:	AHD-MGA
DRAWN:	SS	DATE:	11/6/2025
CHECKED:	DN	SCALE:	1:400
APPROVED BY:	DN	MELWAY REF.:	315 G8

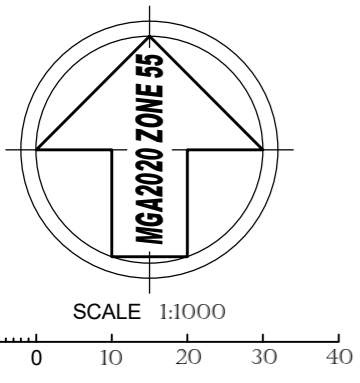
Nilsson, Noel & Holmes (Surveyors) Pty Ltd
 Surveyors, Engineers & Town Planners
 A.C.N. 067 949 615
 8A Codrington Street, Cranbourne 3977
 Phone (03) 5996 4133 Fax (03) 5996 6119
 Email - mail@nnhsurveyors.net.au



TONY & TERRENCE REYNOLDS
 45 REYNOLDS ROAD, PAKENHAM

PLAN OF EXISTING SITE FEATURES & LEVELS SURVEY

N.N.H. REF. NO.	25-363
SHEET	5 of 5
REV	-
P:\2025\25-300\25-363\DTM\25-363FL.DWG	
DRAWING NO.	25-363FL



LEGEND

- 102 Top Of Bank
- 103 Toe Of Bank
- 104 Existing Surface
- 201 Single Tree
- 202 Plantation/Orchard
- 203 Group Trees/Shrubs
- 204 Single Shrub
- 206 Gum Tree
- 208 Pine Tree
- 209 Conifer
- 220 Tree Trunk
- 331 D-Spec Pipe Invert
- 402 Spot On Bitumen
- 403 Edge Of Bitumen
- 405 Edge Of Formation
- 410 Pedestrian Path
- 503 Signs
- 504 Letterbox/Postbox
- 555 Water Tank
- 601 Weatherboard Building
- 602 Shed
- 604 Verandah
- 609 Top of Gutter
- 610 Ridge Line
- 611 Parapet
- 623 Carport
- 628 Stairs / Steps
- 630 Floor Level
- 712 Electricity Pole Only
- 714 Transmission Tower
- 717 Electricity Line Overhead
- 720 Stay
- 904 Gate
- 912 Fence - Post & Wire
- 913 Fence - Chain Wire Mesh
- 914 Fence - Horizontal Boards
- 917 Fence - Ti Tree / Brush
- 950 Title
- 951 Surrounding Title

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NOTATIONS

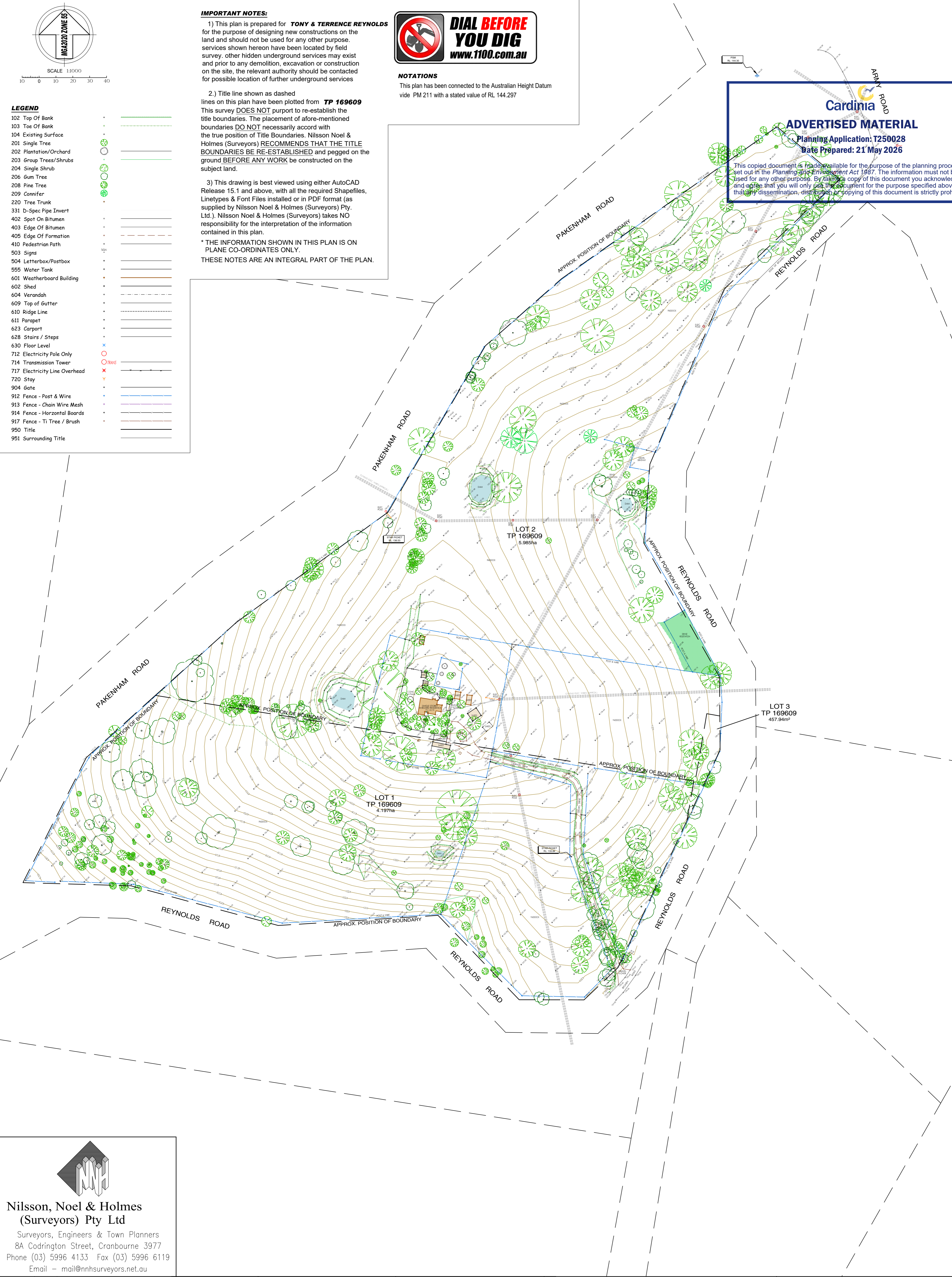
This plan has been connected to the Australian Height Datum vide PM 211 with a stated value of RL 144.297

Cardinia

ADVERTISED MATERIAL

Planning Application: T250028
Date Prepared: 21 May 2026

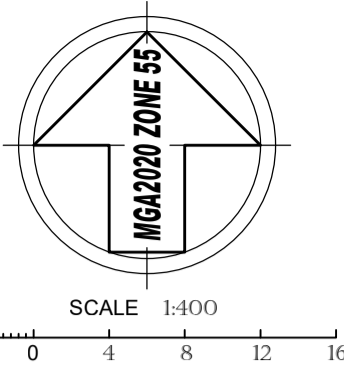
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Nilsson, Noel & Holmes
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Surveyors, Engineers & Town Planners
8A Codrington Street, Cranbourne 3977
Phone (03) 5996 4133 Fax (03) 5996 6119
Email - mail@nnhsurveyors.net.au

Date:	Rev. Amendments:	SURVEYED BY: ET ST	DATUM: AHD-MGA	TONY & TERENCE REYNOLDS 45 REYNOLDS ROAD, PAKENHAM PLAN OF EXISTING SITE FEATURES & LEVELS SURVEY	N.N.H. REF. NO. 25-363
		DRAWN: SS	DATE: 11/6/2025		SHEET 1 of 5
		CHECKED: DN	SCALE: 1:1000		REV -
		APPROVED BY: DN	MELWAY REF.: 315 G8		P:12025\25-300\25-363\DTM25-363FL.DWG DRAWING NO. 25-363FL



NOTATIONS
This plan has been connected to the Australian Height Datum vide PM 211 with a stated value of RL 144.297

LEGEND

102 Top Of Bank	+	---
103 Toe Of Bank	+	---
104 Existing Surface	+	---
201 Single Tree	○	---
202 Plantation/Orchard	○	---
203 Group Trees/Shrubs	○	---
204 Single Shrub	○	---
206 Gum Tree	○	---
208 Pine Tree	○	---
209 Conifer	○	---
220 Tree Trunk	+	---
331 D-Spec Pipe Invert	+	---
402 Spot On Bitumen	+	---
403 Edge Of Bitumen	+	---
405 Edge Of Formation	+	---
410 Pedestrian Path	+	---
503 Signs	+	---
504 Letterbox/Postbox	+	---
555 Water Tank	+	---
601 Weatherboard Building	+	---
602 Shed	+	---
604 Verandah	+	---
609 Top of Gutter	+	---
610 Ridge Line	+	---
611 Parapet	+	---
623 Carport	+	---
628 Stairs / Steps	+	---
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712 Electricity Pole Only	+	---
714 Transmission Tower	+	---
717 Electricity Line Overhead	+	---
720 Stay	+	---
904 Gate	+	---
912 Fence - Post & Wire	+	---
913 Fence - Chain Wire Mesh	+	---
914 Fence - Horizontal Boards	+	---
917 Fence - Ti Tree / Brush	+	---
950 Title	+	---
951 Surrounding Title	+	---

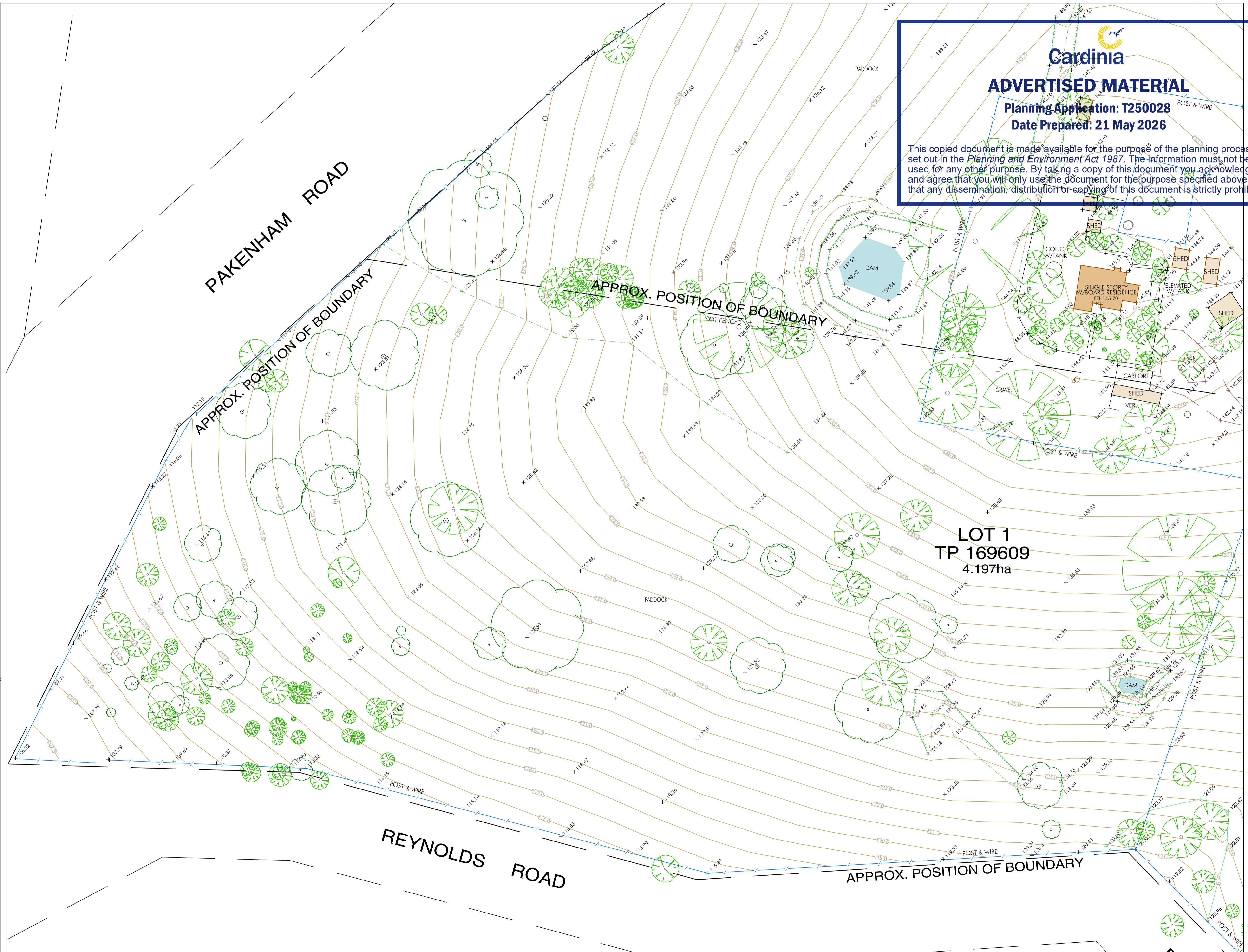
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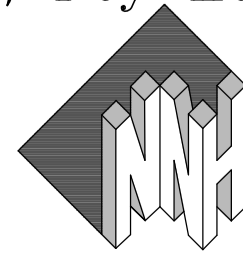
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Planning Application: T250028
Date Prepared: 21 May 2026

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Date:	Rev.	Amendments:

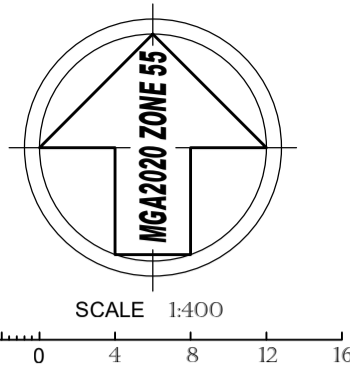
SURVEYED BY:	ET ST	DATUM:	AHD-MGA
DRAWN:	SS	DATE:	11/6/2025
CHECKED:	DN	SCALE:	1:400
APPROVED BY:	DN	MELWAY REF.:	315 G8

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TONY & TERENCE REYNOLDS
45 REYNOLDS ROAD, PAKENHAM
PLAN OF EXISTING SITE FEATURES & LEVELS SURVEY

N.N.H. REF. NO.	25-363
SHEET	4 of 5
REV	-
P:\2025\25-300\25-363\DTM\25-363FL.DWG	
DRAWING NO.	25-363FL



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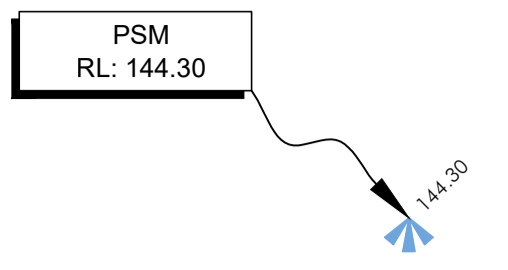


NOTATIONS

This plan has been connected to the Australian Height Datum vide PM 211 with a stated value of RL 144.297

LEGEND

102 Top Of Bank	+	-----
103 Toe Of Bank	+	-----
104 Existing Surface	+	-----
201 Single Tree	+	○
202 Plantation/Orchard	+	○
203 Group Trees/Shrubs	+	○
204 Single Shrub	+	○
206 Gum Tree	+	○
208 Pine Tree	+	○
209 Conifer	+	○
220 Tree Trunk	+	+
331 D-Spec Pipe Invert	+	-----
402 Spot On Bitumen	+	-----
403 Edge Of Bitumen	+	-----
405 Edge Of Formation	+	-----
410 Pedestrian Path	+	-----
503 Signs	+	-----
504 Letterbox/Pastbox	+	-----
555 Water Tank	+	-----
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628 Stairs / Steps	+	-----
630 Floor Level	+	-----
712 Electricity Pole Only	○	○
714 Transmission Tower	○	○
717 Electricity Line Overhead	+	-----
720 Stay	+	-----
904 Gate	+	-----
912 Fence - Post & Wire	+	-----
913 Fence - Chain Wire Mesh	+	-----
914 Fence - Horizontal Boards	+	-----
917 Fence - Ti Tree / Brush	+	-----
950 Title	+	-----
951 Surrounding Title	+	-----



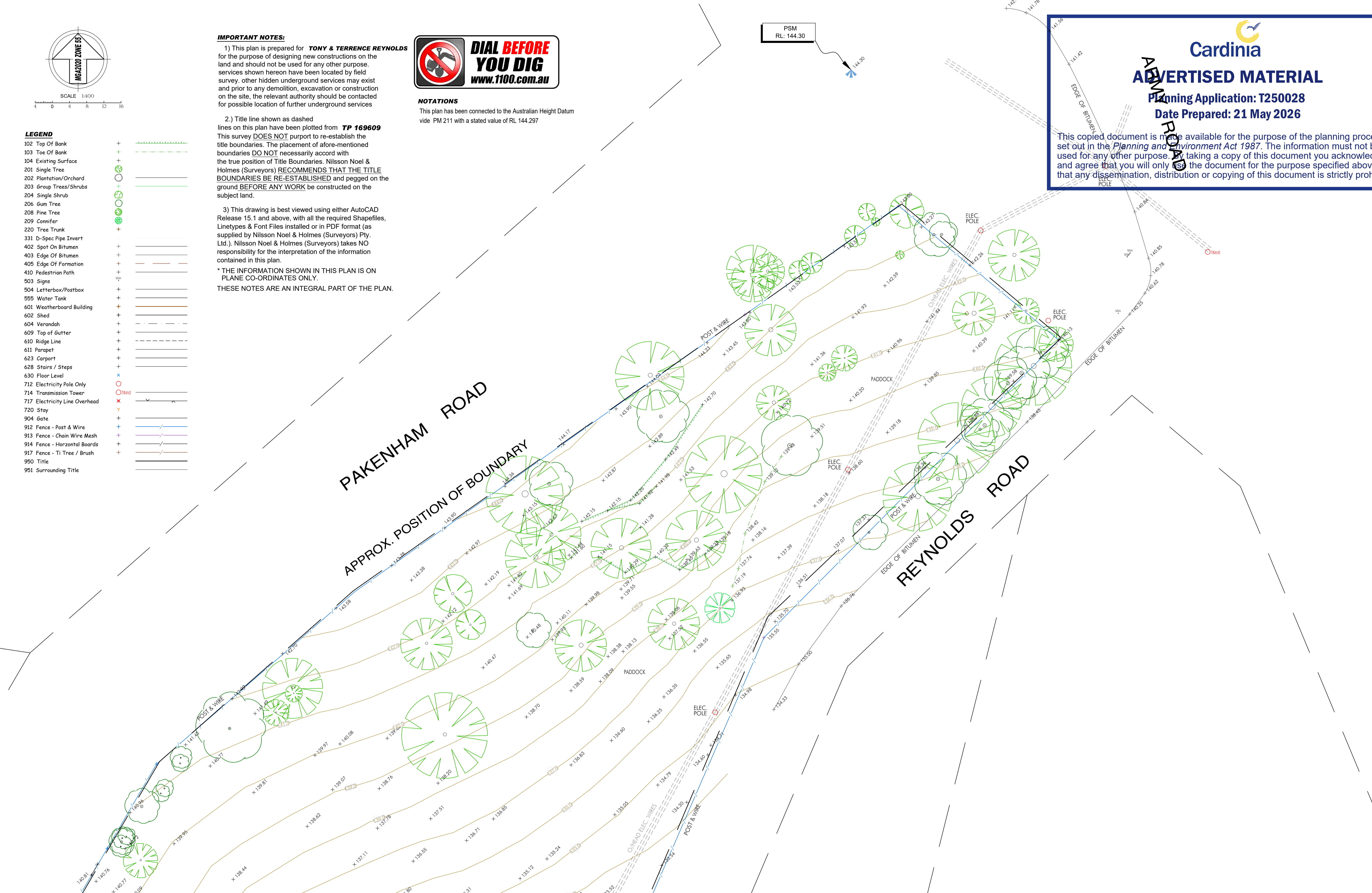
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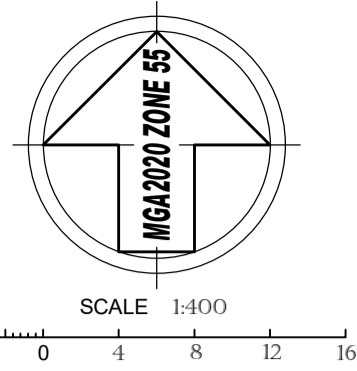
Planning Application: **T250028**

Date Prepared: **21 May 2026**

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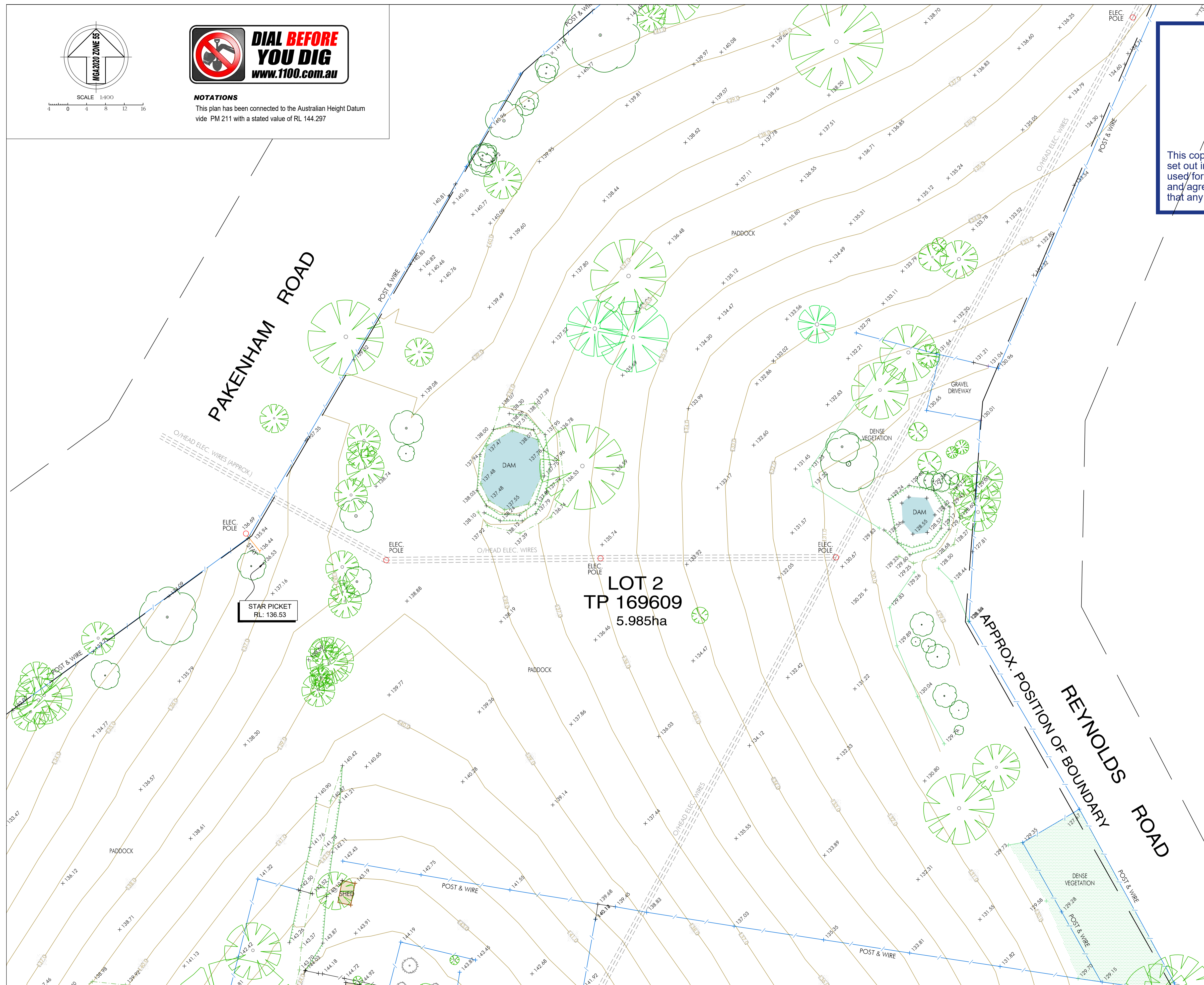
Date:	Rev.	Amendments:	SURVEYED BY: ET ST	DATUM: AHD-MGA	Nilsson, Noel & Holmes (Surveyors) Pty Ltd Surveyors, Engineers & Town Planners A.C.N. 067 949 615 8A Codrington Street, Cranbourne 3977 Phone (03) 5996 4133 Fax (03) 5996 6119 Email - mail@nnhsurveyors.net.au	TONY & TERENCE REYNOLDS 45 REYNOLDS ROAD, PAKENHAM	N.N.H. REF. NO. 25-363
			DRAWN: SS	DATE: 11/6/2025			SHEET 2 of 5
			CHECKED: DN	SCALE: 1:400			REV -
			APPROVED BY: DN	MELWAY REF.: 315 G8			P:\2025\25-300\25-363\DTM\25-363FL.DWG
						PLAN OF EXISTING SITE FEATURES & LEVELS SURVEY	DRAWING NO. 25-363FL



NOTATIONS
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ADVERTISED MATERIAL
Planning Application: T250028
Date Prepared: 21 May 2026

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LEGEND

102 Top Of Bank	+	-----
103 Toe Of Bank	+	-----
104 Existing Surface	+	-----
201 Single Tree	+	-----
202 Plantation/Orchard	+	-----
203 Group Trees/Shrubs	+	-----
204 Single Shrub	+	-----
206 Gum Tree	+	-----
208 Pine Tree	+	-----
209 Conifer	+	-----
220 Tree Trunk	+	-----
331 D-Spec Pipe Invert	+	-----
402 Spot On Bitumen	+	-----
403 Edge Of Bitumen	+	-----
405 Edge Of Formation	+	-----
410 Pedestrian Path	+	-----
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914 Fence - Horizontal Boards	+	-----
917 Fence - Ti Tree / Brush	+	-----
950 Title	+	-----
951 Surrounding Title	+	-----

Date:	Rev.	Amendments:

SURVEYED BY:	ET ST	DATUM:	AHD-MGA
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PLAN OF EXISTING SITE FEATURES & LEVELS SURVEY

N.N.H. REF. NO.	25-363
SHEET	3 of 5
REV	-
P:\2025\25-300\25-363\DTM\25-363FL.DWG	
DRAWING NO.	25-363FL



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Planning Application: T250028

Date Prepared: 21 May 2026

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Receipt

Receipt No	EPLAN009248
Amount Paid	\$1,535.00
Transaction Status	Processing
Transaction Date	24/02/2025 2:34:08 PM
Reference 1	T25685808
Reference 2	T250028
Reference 3	I12529LD

Applicant

Applicant Address

Owner

Owner Address

Preferred Contact

Preferred Contact Address

Site Address

45 Reynolds Road, Pakenham VIC 3810

Portal Reference

I12529LD

ReferenceNumber

T250028

InvoiceNumber

InvoiceDate

InvoicePayByDate

Regulation	Description	Amount	Modifier	Modified Amount
------------	-------------	--------	----------	-----------------

Total Amount

Cardinia Shire Council
ABN: 32 210 906 807
20 Siding Avenue, Officer

PO Box 7
Pakenham 3810
(DX 81006)

Phone: 1300 787 624
Fax: (03) 5941 3784
Email: mail@cardinia.vic.gov.au
Web: www.cardinia.vic.gov.au



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