

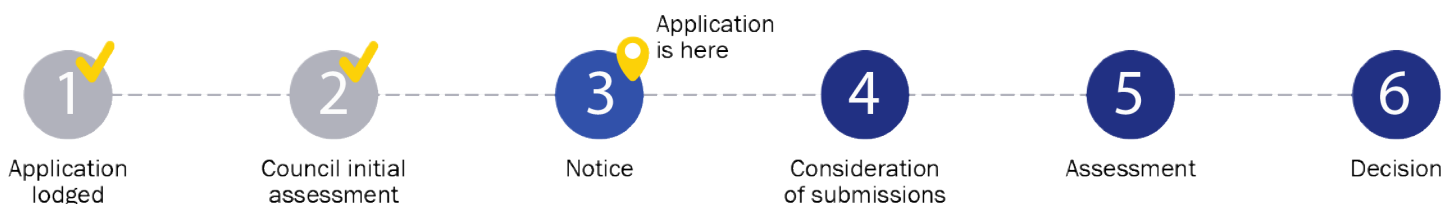


Notice of Application for a Planning Permit

The land affected by the application is located at:	L208 PS902144 V12580 F626 12 Monterey Way, Pakenham VIC 3810	
The application is for a permit to:	Buildings and works (Construction of a Dwelling and a Fence)	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works	
42.01-2	Construct a fence	
APPLICATION DETAILS		 ADVERTISED MATERIAL Planning Application: T260199 Date Prepared: 18 May 2026
The applicant for the permit is:	Sherridon Pty Ltd	
Application number:	T260199	
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		03 June 2026
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application Summary

Portal Reference: A12628L9

Basic Information

Proposed Use: Construction of dwelling with garage in Environmental Significance Overlay Zone
 Current Use: Vacant
 Cost of Works: \$323,695
 Site Address: 12 Monterey Way Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? **No such encumbrances are breached**

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type

Applicant

Owner

Preferred Contact

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
Total			\$1,462.50

Documents Uploaded

Date	Type	Filename
25-03-2026	A Copy of Title	9. Updated Title.pdf
25-03-2026	Site plans	R & C Plan.pdf
25-03-2026	Overlay Requirements	Lot-208-PS902144-(ID455612570)-Vicplan-Planning-Property-Report.pdf
25-03-2026	Additional Document	Agreement and POS.pdf



Civic Centre
 20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
 Purton Road, Pakenham, Victoria

Postal Address
 Cardinia Shire Council
 P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vc.gov.au

Monday to Friday 8.30am–
 5pm

Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	[REDACTED]	56/56 Barclay Road Barclay Road, Derrimut VIC 3026	W: 03-8390-1000 E: priscilla@mirrstone.com.au
Submission Date	25 March 2026 - 12:33:PM		

Declaration

By ticking this checkbox, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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Purton Road, Pakenham, Victoria

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ADVERTISED MATERIAL

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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T260199
Address of the Land:	12 Monterey Way, Pakenham VIC 3810

 Cardinia ADVERTISED MATERIAL
Planning Application: T260199 Date Prepared: 18 May 2026
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APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	Sherridon Pty Ltd
Address:	56 Barlay Road, Derrimut VIC 3026
Phone:	0383901000
Email:	[REDACTED]

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Proposed dwelling and works including construction of dwelling and fence		

Specify the estimated cost of any development for which the permit is required:

Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$
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DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.

Name:
Signature:
Date:

11/5/2026

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 12580 FOLIO 626

Security no : 124132966088W
Produced 16/03/2026 11:04 AM

LAND DESCRIPTION

Lot 208 on Plan of Subdivision 902144W.
PARENT TITLES :
Volume 12330 Folio 800 Volume 12580 Folio 422
Created by instrument PS902144W 01/11/2024



REGISTERED PROPRIETOR

Estate Fee Simple

Joi



h of 26 BERRINGARRA ROAD OFFICER

AZ378810H 14/07/2025

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AZ376611F 14/07/2025
FIRST MORTGAGE COMPANY HOME LOANS PTY LTD

COVENANT PS902144W 01/11/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS902144W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 MONTEREY WAY PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 20637K LIVE LAWYER PTY LTD
Effective from 14/07/2025

DOCUMENT END

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Document Identification	PS902144W
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Planning Application: T260199
Date Prepared: 18 May 2026

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PLAN OF SUBDIVISION	EDITION 1	PS902144W
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<p>LOCATION OF LAND</p> <p>PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: —</p> <p>CROWN ALLOTMENT: 32(PT), 33(PT) & 34(PT)</p> <p>TITLE REFERENCE: VOL. 12580 FOL. 422 VOL. 12330 FOL. 800</p> <p>LAST PLAN REFERENCE: PS848743W (LOT A) LP86652 (LOT 2)</p> <p>POSTAL ADDRESS: 14 SUNNY VISTA (at time of subdivision) PAKENHAM ROAD PAKENHAM 3810</p> <p>MGA CO-ORDINATES: E: 366 200 ZONE: 55 (of approx centre of land in plan) N: 5 786 450 GDA 2020</p>	<p>Council Name: Cardinia Shire Council</p> <p>Council Reference Number: S21-147 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182118A</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 16/08/2023</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification</p> <p>Digitally signed by: Sonia Higgins for Cardinia Shire Council on 27/06/2024</p> <p>Statement of Compliance issued: 28/10/2024</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance</p>
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Planning Application: T260199
Date Prepared: 18 May 2026

VESTING OF ROADS AND/OR RESERVES	NOTATIONS
----------------------------------	-----------

IDENTIFIER	COUNCIL/BODY/PERSON	NOTATIONS
ROAD R1	CARDINIA SHIRE COUNCIL	<p><small>This copied document is made available for the purpose of the planning process as a public information service and is not to be used for any other purpose. By taking a copy of this document you acknowledge and warrant that you will not disseminate, copy, distribute, or otherwise use the information contained herein for any other purpose.</small></p> <p>LOTS TO 200 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.</p> <p>LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 5</p> <p>OTHER PURPOSE OF PLAN: TO REMOVE THAT PART OF THE SEWERAGE EASEMENT CREATED AS E-3 ON PS848743W CONTAINED WITHIN MONTEREY WAY ON THIS PLAN.</p> <p>GROUND'S FOR REMOVAL OF EASEMENT: AGREEMENT FROM ALL INTERESTED PARTIES (SECTION 6(1)K SUBDIVISION ACT 1988)</p> <p style="text-align: center; font-weight: bold;">WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958</p>

NOTATIONS	
-----------	--

DEPTH LIMITATION: DOES NOT APPLY

This is a SPEAR plan.

STAGING:
This is not a staged subdivision.
Planning Permit No. T160690

SURVEY:
This plan is based on survey.
This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675

Estate: The Rise - Pakenham
 Phase No.: 02
 No. of Lots: 34 + Lot B
 PHASE AREA: 1.772ha

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO LOTS 213 TO 216 (BOTH INCLUSIVE) AND 218 TO 221 (BOTH INCLUSIVE) IN THIS PLAN.

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4 E-2	PIPELINE DRAINAGE	24.38 SEE DIAG	INST, D613929 PS848743W	VICTORIA PIPELINES COMMISSION CARDINIA SHIRE COUNCIL
E-2, E-3	SEWERAGE	SEE DIAG	PS848743W	SOUTH EAST WATER CORPORATION
E-7, E-5	SEWERAGE	SEE DIAG	THIS PLAN	SOUTH EAST WATER CORPORATION
E-7, E-6	DRAINAGE	SEE DIAG	THIS PLAN	CARDINIA SHIRE COUNCIL
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	PS848743W	SOUTH EAST WATER CORPORATION

<p>Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au</p>	SURVEYORS FILE REF: 2000490/02 2000490-02-PS-V6.DWG	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 5
	Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (6), 03/06/2024, SPEAR Ref: S182118A		Land Use Victoria Plan Registered 10:25 AM 01/11/2024 Assistant Registrar of Titles

PS902144W



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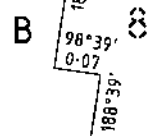
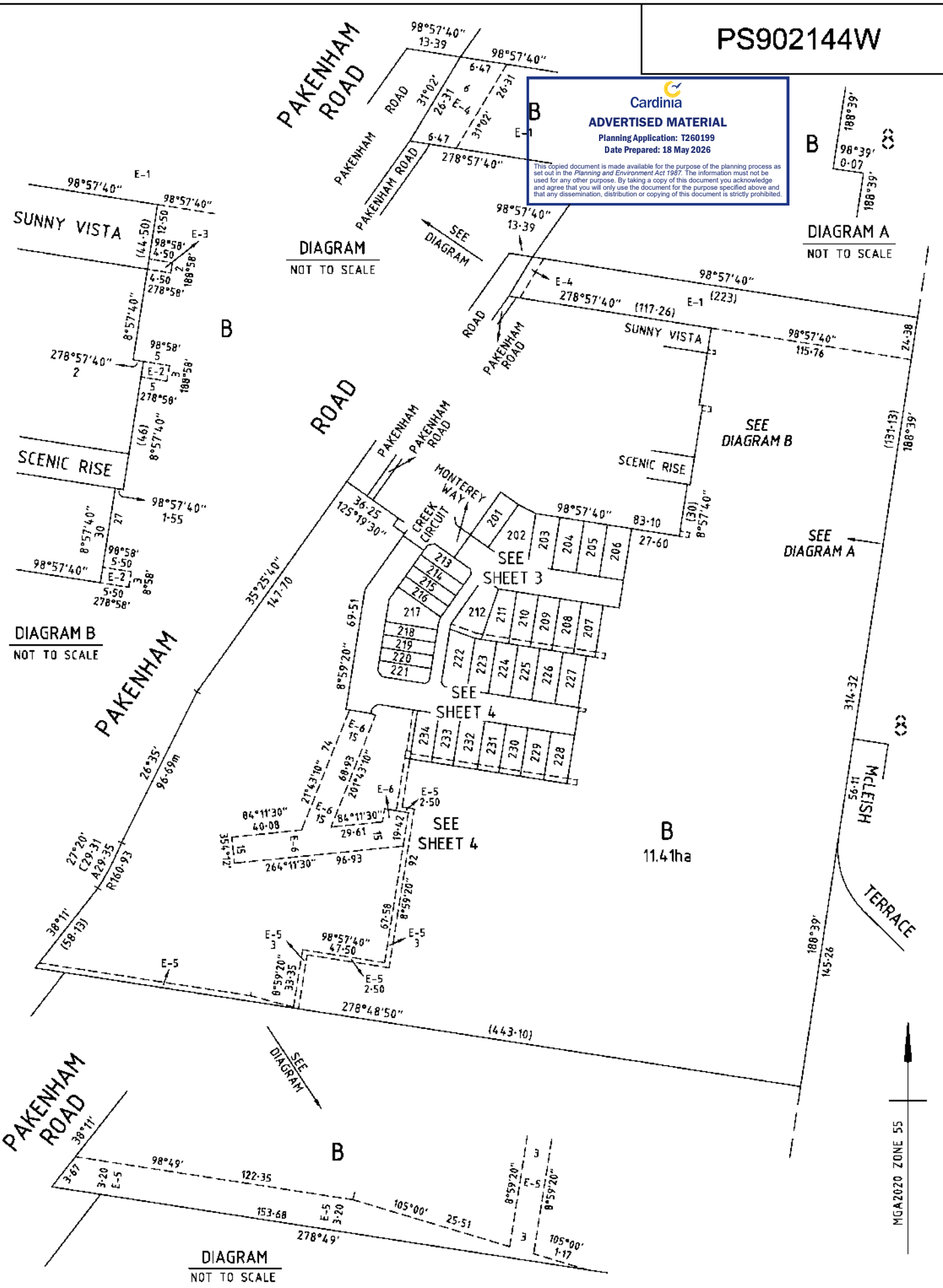


DIAGRAM NOT TO SCALE

DIAGRAM A NOT TO SCALE



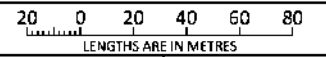
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11.41ha

DIAGRAM NOT TO SCALE

BW Beveridge Williams
development & environment consultants
Melbourne ph : 03 9524 8888
www.beveridgewilliams.com.au

SURVEYORS REF 2000490/02

SCALE 1 : 2000



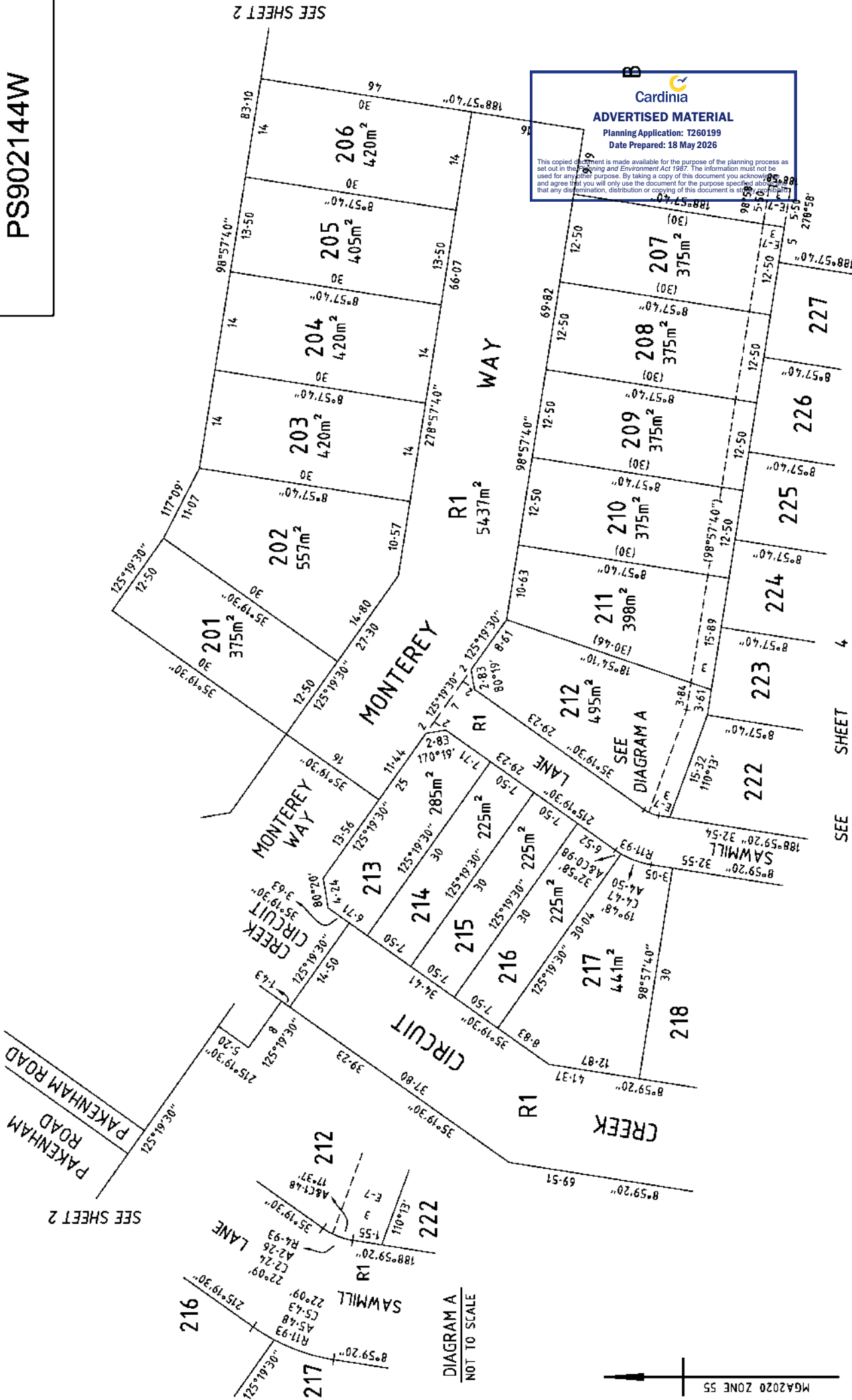
ORIGINAL SHEET SIZE: A3

SHEET 2

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
Surveyor's Plan Version (6),
03/06/2024, SPEAR Ref: S182118A

Digitally signed by:
Cardinia Shire Council,
27/06/2024,
SPEAR Ref: S182118A

PS902144W



Cardinia
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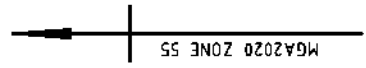
Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /02	SCALE 1 : 500 LENGTHS ARE IN METRES 5 0 5 10 15 20	ORIGINAL SHEET SIZE: A3	SHEET 3
	Digitally signed by: ADRIAN JAMES FREEMAN , Licensed Surveyor, Surveyor's Plan Version (6), 03/06/2024, SPEAR Ref: S182118A Digitally signed by: Cardinia Shire Council , 27/06/2024, SPEAR Ref: S182118A			

SEE SHEET 4

SEE SHEET 2

SEE SHEET 2

DIAGRAM A
NOT TO SCALE



MGA2020 ZONE 55

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS902144W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)



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DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:
 - (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
 - (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

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Deed of Agreement

Under s173 of the
Planning and Environment Act 1987

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)



ADVERTISED MATERIAL

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Doc ID 1115801193/v1

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PO Box 3, Collins Street West VIC 8007 Australia
DX 554 Melbourne

Telephone +61 3 8644 3500

Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

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Cardinia
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Deed of Agreement

Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*



plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) *A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) *A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*


ADVERTISED MATERIAL
Planning Application: T260199
Date Prepared: 18 May 2026

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- F. The Parties have agreed to enter into this Agreement:
- (a) to give effect to the requirements of the Amended Planning Permit;
 - (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
 - (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

- Act** means the *Planning and Environment Act 1987* (Vic).
- Agreement** means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.
- Building Design Guidelines** means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.



Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

- Planning Scheme** means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
- Plantation Reserve** means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
- Subject Land** means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
- VCAT** means the Victorian Civil and Administrative Tribunal.
- Vegetation Plan** means the vegetation plan attached at Schedule 2..

1.2 Interpretation

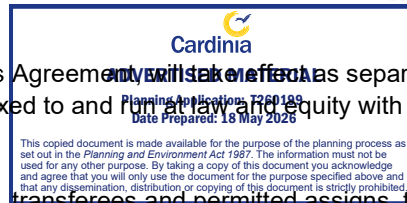
- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.



ADVERTISED MATERIAL

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- (b) The obligations of the Owner under this Agreement will be effective as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
- (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
- (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.



3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.



5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.



8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

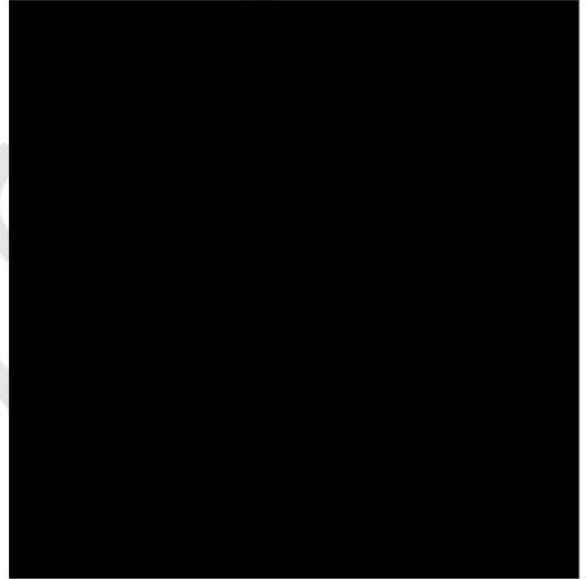


Schedule

Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001:



AX3857


Cardinia
ADVERTISED MATERIAL
Planning Application: T260199
Date Prepared: 18 May 2026

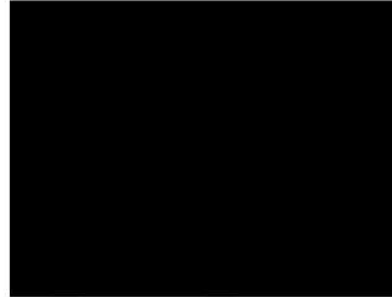
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Executed as a deed

Signed, sealed and delivered as a deed by the parties

Signed sealed and delivered by **Luke Connell**,)

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation)
in the presence of:)



Signature of witness

The execution of this document has been witnessed by me in accordance with the requirements for witnessing by audio-visual link under section 12 of the Electronic Transactions (Victoria) Act 2000. (Strike out if inapplicable)

Vanessa Neep

.....
Name of witness
(BLOCK LETTERS)


Cardinia
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Executed by BNG (PAKENHAM) PTY LTD (ACN 640125686) in accordance with section 127 of the *Corporations Act 2001* (Cth)



Schedule 1

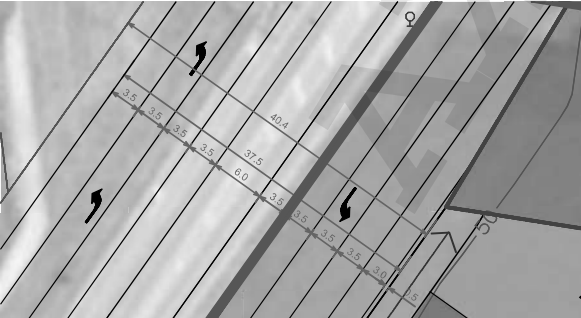
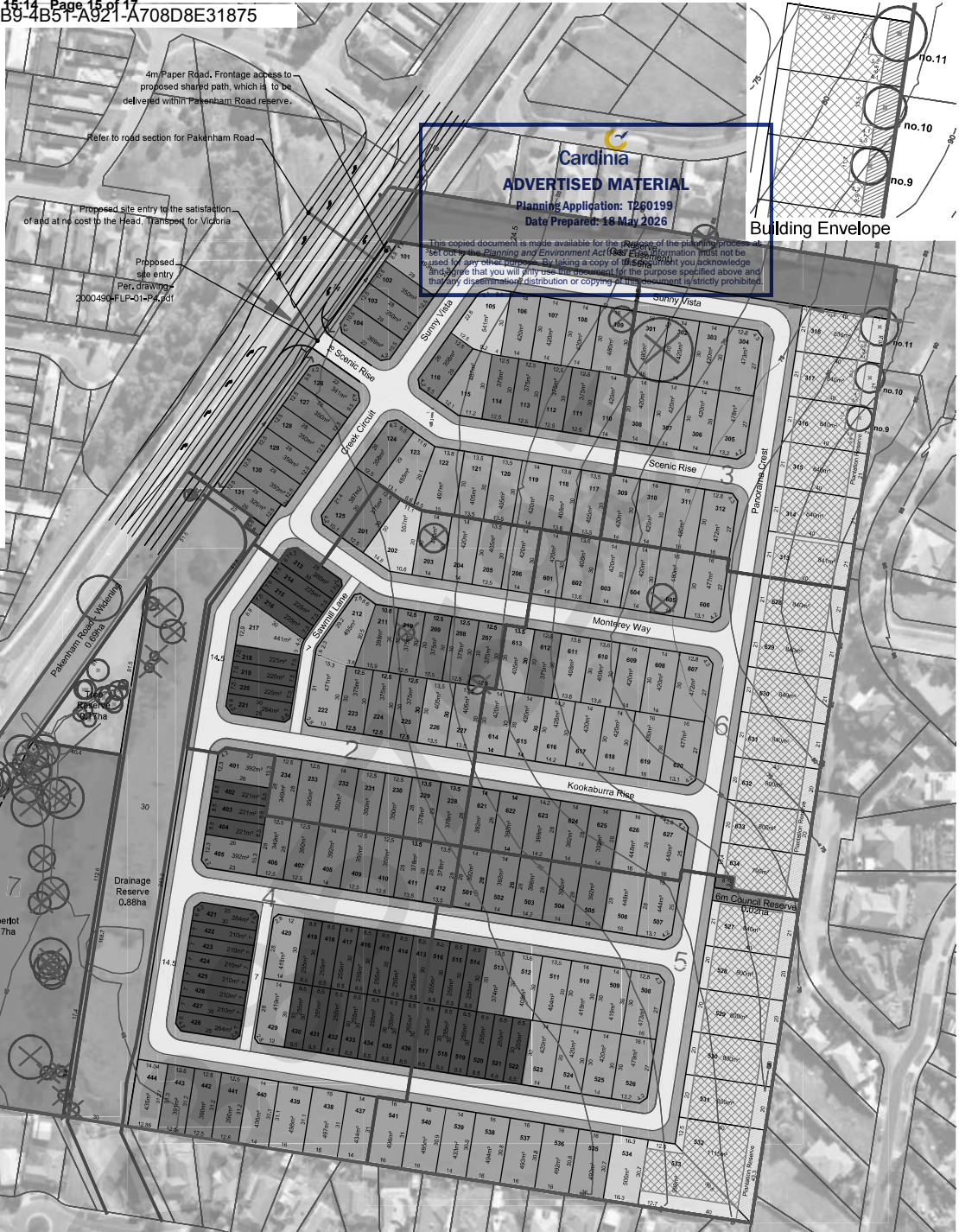
Building Envelope Plan

AX385769J


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- LEGEND**
- Title boundary (approx.)
 - Pedestrian path
 - Shared path
 - Stage boundary
 - Stage numbers
 - Entry point
 - Existing contours (5m interval)
 - Lots
 - Substation kiosk
 - Superlot
 - Pakenham road widening
 - Naturestrip (indicative)
 - Road pavement (indicative)
 - Reserve (Council easement)
 - Tree reserve
 - Drainage reserve
 - Plantation Reserve (back of lot) - 7m
 - Turning direction
 - Trees & TPZ - via EcoLink
 - Trees to be removed
 - 4m Paper Road
 - Building Envelope



Pakenham Road - Cross Section

- Notes:**
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final computations.
 - The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
 - All roads are 16m local access level 1 unless noted otherwise.
 - Road pavement is indicative only and subject to detailed engineering design.
 - Arc dimensions shown are length of arc (not chord).

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 5	44
Stage 6	41
Stage 7*	34
Stage 7*	1

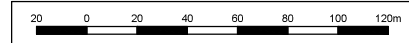
* Stage includes 1 Superlot

Lot Size	Number of Lots	%
0-299m2	42	20.8
300-399m2	56	27.7
400-499m2	81	40.1
500-599m2	3	1.5
600-699m2	0	0.0
700m2+	20	9.9
Total	202	100

* Table does not include superlot

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (inc. 1 superlot)	203

* Indicates inclusion in NDA



Subdivision Plan
 110 Pakenham Road, Pakenham
 BNG Group

APPROVED AMENDED PLAN
 PLANNING AND ENVIRONMENT ACT 1987
 CARDINIA PLANNING SCHEME
 PERMIT No. T160690-2
 SHEET 1 OF 1
 APPROVED BY: Dean Heuster
 CARDINIA SHIRE COUNCIL
 DATE: Monday, 10 October 2022

12	01/12/2021	Pakenham road layout	KT	KT
13	02/12/2021	Added building envelopes	KT	KT
14	01/12/2021	Updated road and staging boundary	KT	KT
15	01/12/2021	Updated staging boundary	KT	KT
16	01/12/2021	Updated lot numbers, building envelope and tables	CX	KT
Version	Date	Description	Drafted	Approved

Date: 01.09.2022
 Version No:
16
 Job No: 2000490
 Scale (A1): 1:1000
 (A3): 1:2000

Schedule 2

Vegetation Plan

AX385769J


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Cardina
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LEGEND

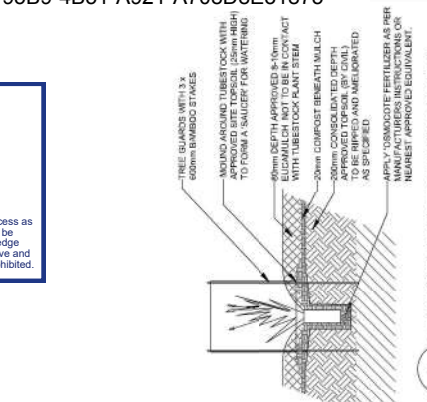
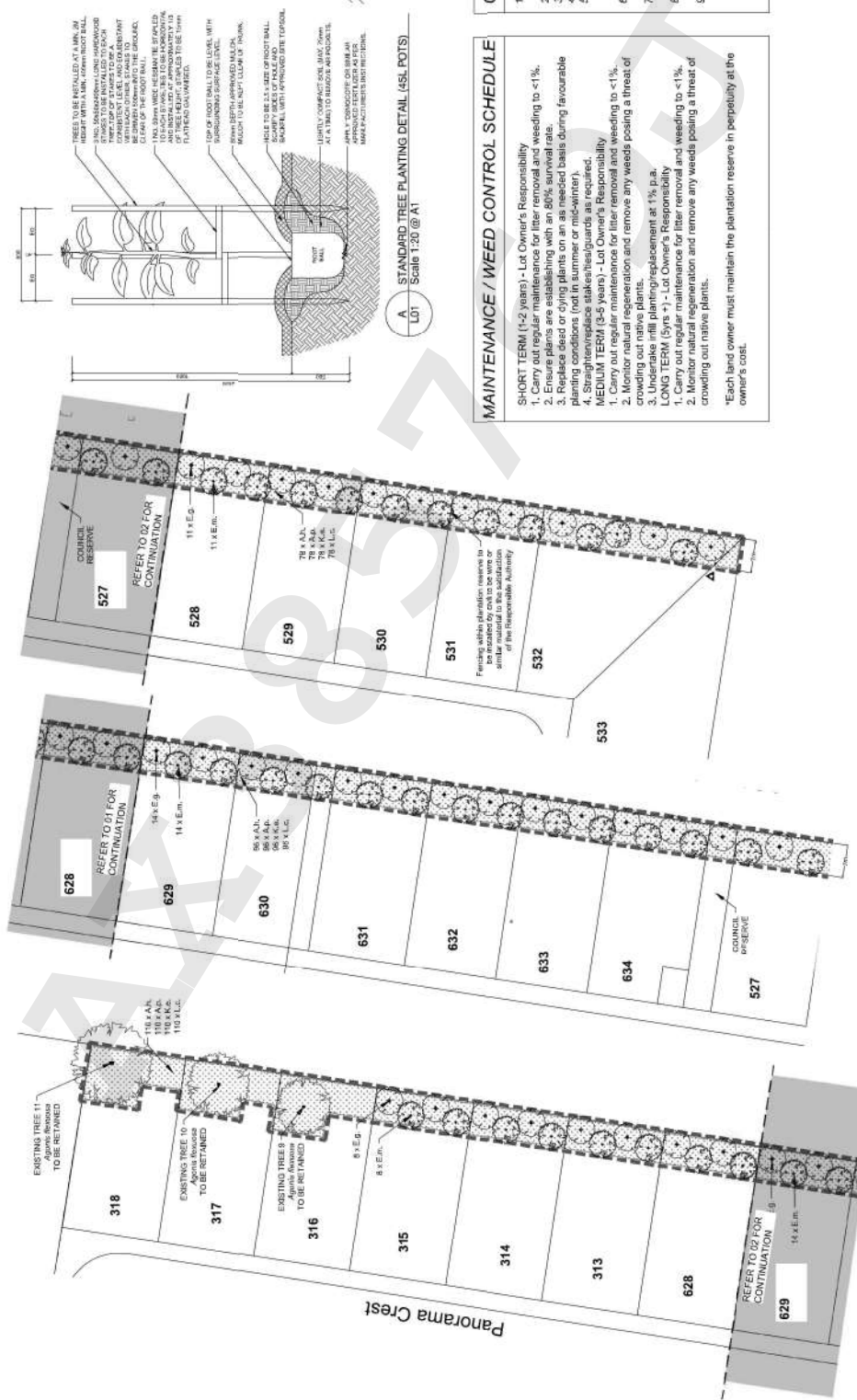
	EXTENT OF WORK
	FOURTH ROW ONLY
	TREES TO BE RETAINED
	INDIGENOUS TREES (PLANT)
	INDIGENOUS MEDIUM & SMALL SPECIES (PLANT)
	WEED CONTROL MATERIAL
	PROPOSED MATERIAL

EXISTING VEGETATION

CODE	SPECIES NAME	COMMON NAME	DBH (cm)	TPH (m)
1	Acacia melanocoryna	Black Wattle	40	8.0
2	Acacia saligna	Black Wattle	40	8.0
3	Acacia saligna	Black Wattle	40	8.0
4	Acacia saligna	Black Wattle	40	8.0
5	Acacia saligna	Black Wattle	40	8.0
6	Acacia saligna	Black Wattle	40	8.0
7	Acacia saligna	Black Wattle	40	8.0
8	Acacia saligna	Black Wattle	40	8.0
9	Acacia saligna	Black Wattle	40	8.0
10	Acacia saligna	Black Wattle	40	8.0
11	Acacia saligna	Black Wattle	40	8.0

CODE	RETAINABLE NAME	COMMON NAME	MAXIMUM HEIGHT (m)	INSTALLATION HEIGHT (m)	REGISTERED MIN. HEIGHT (m)	LOT
1	Acacia melanocoryna	Black Wattle	4.0	4.0	1.8	23
2	Acacia saligna	Black Wattle	4.0	4.0	1.8	19
3	Acacia saligna	Black Wattle	4.0	4.0	1.8	20
4	Acacia saligna	Black Wattle	4.0	4.0	1.8	21
5	Acacia saligna	Black Wattle	4.0	4.0	1.8	22
6	Acacia saligna	Black Wattle	4.0	4.0	1.8	24
7	Acacia saligna	Black Wattle	4.0	4.0	1.8	25
8	Acacia saligna	Black Wattle	4.0	4.0	1.8	26
9	Acacia saligna	Black Wattle	4.0	4.0	1.8	27
10	Acacia saligna	Black Wattle	4.0	4.0	1.8	28
11	Acacia saligna	Black Wattle	4.0	4.0	1.8	29
12	Acacia saligna	Black Wattle	4.0	4.0	1.8	30

NOTES
 1. All proposed trees and shrubs to be planted in accordance with the DSE Native Revegetation Planning Standards.
 2. Retention of trees and shrubs to be retained in accordance with the DSE Native Revegetation Planning Standards.



MAINTENANCE / WEED CONTROL SCHEDULE

SHORT TERM (1-2 years) - Lot Owner's Responsibility

1. Carry out regular maintenance for litter removal and weeding to <1%.
2. Ensure plants are establishing with an 80% survival rate.
3. Replace dead or dying plants on an as-needed basis during favourable planting conditions (not in summer or mid-winter).
4. Straighten/replace stakes/signage as required.

MEDIUM TERM (3-5 years) - Lot Owner's Responsibility

1. Carry out regular maintenance for litter removal and weeding to <1%.
2. Monitor plant establishment and remove any weeds posing a threat of crowding out native plants.

LONG TERM (5 years +) - Lot Owner's Responsibility

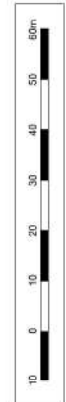
1. Carry out regular maintenance for litter removal and weeding to <1%.
2. Monitor natural regeneration and remove any weeds posing a threat of crowding out native plants.

*Each land owner must maintain the plantation reserve in perpetuity at the owner's cost.

GENERAL NOTES

1. The Contractor must verify all dimensions on site and immediately report any discrepancies to the Project Manager.
2. The site is to be cleared of all debris and builder's rubble.
3. All weed species on site shall be eradicated.
4. The Contractor must verify all plant quantities prior to ordering.
5. All plant species shall be true to type and there should be no alterations to the species or cultivars without the written consent of the Landscape Architect.
6. All plant stock must be checked by the Contractor and must be healthy and disease free.
7. Planting must be undertaken in accordance with sound horticultural practices, as per the planting details.
8. Supply and install 20mm diameter 80mm depth approved fine grade encumbrance to all new watering zones.
9. All weed species shall be removed immediately after planting.

The Contractor must check current water restrictions and ensure there is an adequate supply of water suitable for plants.



03 SOUTHERN PLAN (03)
 Scale 1:500 @ A1

02 MIDDLE PLAN (02)
 Scale 1:500 @ A1

01 NORTHERN PLAN (01)
 Scale 1:500 @ A1

FOR APPROVAL

The Rise - Pakenham
 Plantation Reserve Landscape Plan
 BNG Group

Beveridge Williams
 development & environment consultants
 1 Glenvista Road
 P.O. Box 9524 8888
 Melbourne VIC 3001
 www.beveridgewilliams.com.au

Scale: 1:500 @ A1
 Project No: 2000490-01
 Drawing No: L01 B

Prepared: 17.04.2021
 Approved: 16.04.2021
 Date: 17.04.2021

Our Reference: 2000490

10 April 2026

Applicant: [REDACTED]
Company/Builder: Sherridon Homes
Email: PriscillaL@ahbgroup.com.au



ACN 006 197 235
ABN 38 006 197 235

Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

Dear Sir/Madam,

**RE: Lot 208 Monterey Way, Pakenham
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

beveridgewilliams.com.au

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. **Please refer to any other conditions notated on the plans and ensure they are suitably addressed.**

Please note;

- All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.
- Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.
- Any lot under 300m² in size, requires a planning permit for being under 300m² in addition to the ESO planning permit. Front setbacks less than 4m are subject to further council approval.
- If you require planning services or further information, please contact Andrea Bouly boulyya@bevwill.com.au or on 0407 050 624
- There are no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.
- Due to planning permit requirements, Gas appliances may not be able to be installed, further Council clarification is required.

Should you have any queries, please contact the undersigned on 9524 8888 or via email planlodgement@bevwill.com.au All new submissions, re-submissions, amendment submissions or supplemental submissions, please use www.portal.beveridgewilliams.com.au

Kind Regards,

[REDACTED] Coordinator
BEVERIDGE WILLIAMS



Client Name: K Silva and M Silva
 Site Address: Lot 208, Monterey Way PAKENHAM VIC 3810
 Builder Name: Sherridon Homes
 Product Guide: Sherridon New Living v1.25
 Scheme Name: Sherridon New Living (Int)









DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 10.04.2026
REVIEWED BY: Blytheb



Signed Date: 26/02/2026
 Job Number: 209032
 Designer: Admin Gallerie
 Version: 12



External

Roofing	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Roof Metal 1	 Colorbond	Corrugated	Surfmist	N/A	N/A		Inclusion	VIA PCV 1
Valleys	 Colorbond	N/A	Surfmist	N/A	N/A		Inclusion	VIA PCV 1
Gutter	 Colorbond	Quad	Surfmist	N/A	N/A		Standard	
Fascia	 Colorbond	N/A	Surfmist	N/A	N/A		Standard	
Downpipe 1	 Colorbond	N/A	Surfmist	N/A	N/A		Standard	
Whirlybird	 Builders	Whirly Bird (To Match Roof Colour)	N/A	N/A	POA		Inclusion	VIA PCV 1
Bricks & Cladding	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Bricks 1	 PGH Bricks	Extruded	Putty	N/A	1		Standard	
Mortar	 Builders	Rolled	Natural	N/A	N/A		Standard	


ADVERTISED MATERIAL
 Planning Application: T260199
 Date Prepared: 18 May 2026

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Client Name: K Silva and M Silva
 Site Address: Lot 208, Monterey Way PAKENHAM VIC 3810
 Builder Name: Sherridon Homes
 Product Guide: Sherridon New Living v1.25
 Scheme Name: Sherridon New Living (Int)

DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 10.04.2026
REVIEWED BY: Blytheb



Signed Date: 26/02/2026
 Job Number: 209032
 Designer: Admin Gallerie
 Version: 12




External

Paint & Render	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Render 1		Wattyl	Render	Floral White - 18.70	N/A	N/A	Standard	TO RENDER #1 FACADE COLUMNS AS PER MARKUP
Alfresco Beams		Wattyl	Solagard Satin - 2 Coat	Colorbond Surfemist - 80.20/Satin	N/A	N/A	Standard	
Entry Door		Wattyl	Aqua Trim Gloss - 2 Coat	Colorbond Dune - 36.60/Gloss	N/A	N/A	Standard	
Rear Garage Door		Wattyl	Aqua Trim Gloss - 2 Coat	Colorbond Dune - 36.60/Gloss	N/A	N/A	Standard	
Soffits/Eaves		Wattyl	Solagard Low Sheen - 2 Coat	Builder White/Low Sheen	N/A	N/A	Standard	
Meterbox		Wattyl	Solagard Satin - 2 Coat	Colorbond Surfemist - 80.20/Satin	N/A	N/A	Standard	
Solar Enclosure		Wattyl	Solagard Satin - 2 Coat	Colorbond Surfemist - 80.20/Satin	N/A	N/A	Standard	
Windows & Doors	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Windows		Builders	Aluminium Window Frame	Dune	N/A	N/A	Standard	


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Client Signature : 



Client Name: K Silva and M Silva
 Site Address: Lot 208, Monterey Way PAKENHAM VIC 3810
 Builder Name: Sherridon Homes
 Product Guide: Sherridon New Living v1.25
 Scheme Name: Sherridon New Living (Int)

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260199
 Date Prepared: 18 May 2026
DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 10.04.2026
 REVIEWED BY: SWP/BJ

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Signed Date: 26/02/2026
 Job Number: 209032
 Designer: Admin Gallerie
 Version: 12



External

Windows & Doors	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Flyscreens	 Builders	Aluminium Frame with Aluminium Mesh	Dune	N/A	N/A		Standard	TO ALL OPENABLE WINDOWS
Entry Door	 Hume	Newington - Clear Glazing	Duracote (Primed)	XN5	N/A		Standard	2040MM HIGH X 920MM WIDE CLEAR GLAZING
Entry Door Frame	 Builders	Aluminium Door Frame - Hinged	Colour matched to windows	N/A	1		Standard	TO MATCH WINDOW FRAME COLOUR
Entry Door Hardware	 Gainsborough	Tradepro Bela Cass Combination Set	Bright Chrome	1470BELBCK	N/A	\$0.00	Upgrade	ILO 1471BELBCK
Rear Garage Door	 Hume	Flush Door	Duracote (Primed) - Honeycomb Core	X1	N/A		Standard	2040MM HIGH X 920MM WIDE
Rear Garage Door Hardware	 Gainsborough	Bella Entrance Lockset	Bright Chrome	1440PROBELBC	POA		Standard	
Internal Garage Door	 Hume	Flush Door	Primed MDF - Honeycomb Core	H1	N/A		Standard	2040MM HIGH X 920MM WIDE
Internal Garage Door Hardware	 Gainsborough	Bella Entrance Lockset	Bright Chrome	1440PROBELBC	POA		Standard	



Client Name: K Silva and M Silva
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 Builder Name: Sherridon Homes
 Product Guide: Sherridon New Living v1.25
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DESIGN ASSESSMENT PANEL
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Signed Date: 26/02/2026
 Job Number: 209032
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 Version: 12



External

Garage	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Garage Door	 Steel-Line	Colorbond - Ranch	Dune	N/A	N/A		Standard	
Garage Accessories	 Builders	Garage Door Motor Inc. 2no. Handsets	N/A	N/A	N/A		Standard	
Landscaping	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Driveway	 Avista	Colour Through Concrete	Light Toffee	N/A	N/A		Standard	TO FRONT PORCH AND DRIVEWAY AS PER MARKUP
Rain Water Tank	 Builders	Rain Water Tank	Dune	N/A	N/A		Inclusion	AS PER TENDER


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SITE COVERAGE ANALYSIS	
GROUND FLOOR BUILDING AREA:	207.41m ²
IMPERMEABLE AREA	28.00m ²
LOT AREA	375.00m ²
PERMEABILITY	37.22%
SITE COVERAGE	55.31%
TOTAL GARDEN AREA PROVIDED :	139.59m ²
PERCENTAGE OF PROVIDED GARDEN AREA :	37.22%

WATER TANK NOTE:
 PROVIDE 2000 LITRE SLIMLINE WATER TANK WITH PUMP INCLUDES CONNECTION TO DOWNPIPE, STORMWATER OVERFLOW, BIB TAP, CONCRETE PAD & SINGLE EXTERNAL POWER POINT.

NOTE:
 PROVIDE 3-PHASE POWER TO SITE.

TERMITE TREATMENT REQUIRED:
 PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

GARAGE WALL HEIGHT
 REPORT & CONSENT REQ'D FOR GARAGE WALL HEIGHT NOT COMPLYING WITH RESCODE BUILDING REG - 80

BUILDING HEIGHT
 REPORT & CONSENT REQ'D FOR BUILDING HEIGHT NOT COMPLYING WITH RESCODE BUILDING REG - 75

ELECTRIC HEAT PUMP NOTE
 PROVIDE AKQUA AK-200HPE1 ELECTRIC HEAT PUMP WATER HEATER IN LIEU OF SOLAR HOT WATER SYSTEM. THIS SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATIONS 2018.

PLEASE NOTE NBN
 ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH NBN REQUIREMENTS AS OUTLINED IN NBN CO PREPARATION AND INSTALLATION GUIDE FOR SOLS AND MOUS

EXHAUST FAN NOTE
 EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 P10.8.2.

LETTER BOX NOTE:
 LETTERBOX TO BE SUPPLIED & INSTALLED BY CLIENT AFTER HANDOVER TO DEVELOPERS REQUIREMENTS

DRIVEWAY & PAVING NOTE:
 DRIVEWAY, PATH & PORCH PAVING TO BE SUPPLIED & INSTALLED BY THE BUILDER TO DEVELOPERS REQUIREMENTS

FENCE & LANDSCAPE NOTE:
 ALL BOUNDARY FENCING & LANDSCAPING TO BE SUPPLIED & INSTALLED BY CLIENT AFTER HANDOVER TO DEVELOPERS REQUIREMENTS. THE BUILDER IS NOT LIABLE FOR ANY ITEMS THE CLIENTS NEED TO COMPLETE TO CONFORM WITH THE DEVELOPERS RESTRICTIONS

REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

SITE NOTES:

SOIL CLASSIFICATION
 CLASS: P(M)
 AS PER SOIL REPORT PROVIDED BY 'INTRAX CONSULTING ENGINEERS PTY LTD'
 FILE NO: 234952 DATED: 04.12.2025

WIND DRAINING: N/N
SITE CUT AND BATTER

- DWELLING & GARAGE: WAFFLE POD CONCRETE
- SLAB, DEEP SITE CUT & FILL TO RL: 55.60 AHD
- SITE CUT GARAGE TO RL: 55.75 AHD
- FREEDBOARD 310 MM (REFER TO ENGINEERING DOCUMENTATION)
- REBATS: TO HOUSE: 220 MM
- STEP DOWN TO GARAGE: 60 MM
- STEP DOWN TO PORCH: 220 MM
- STEP DOWN TO ALFRESCO: 135 MM

NOTE: SITE CUT AND FILL TO BE MINIMUM 1.0M FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45°. SITE CUTS / FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING. ALL SITE BOUNDARY BATTERS TO BE IN ACCORDANCE WITH THE HCS SITE PREPARATION & 3.2.1 1M RETAINED BULK EARTHWORKS - SITE CUT & FILL NCC 2022 ALTERNATIVELY, TO BE IN ACCORDANCE WITH THE ENGINEERS RECOMMENDATIONS. EXTERNAL WALL FOOTINGS SHALL NOT BE FOUND AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.

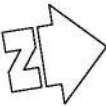
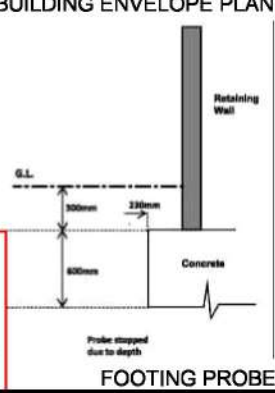


LEGEND:

- MB - METER BOX
- NBN - NBN
- GAS - GAS METER
- TREE - TREE
- TAP - TAP
- STORM WATER PIT
- HWS - HOT WATER SERVICE
- SOLAR INVERTER

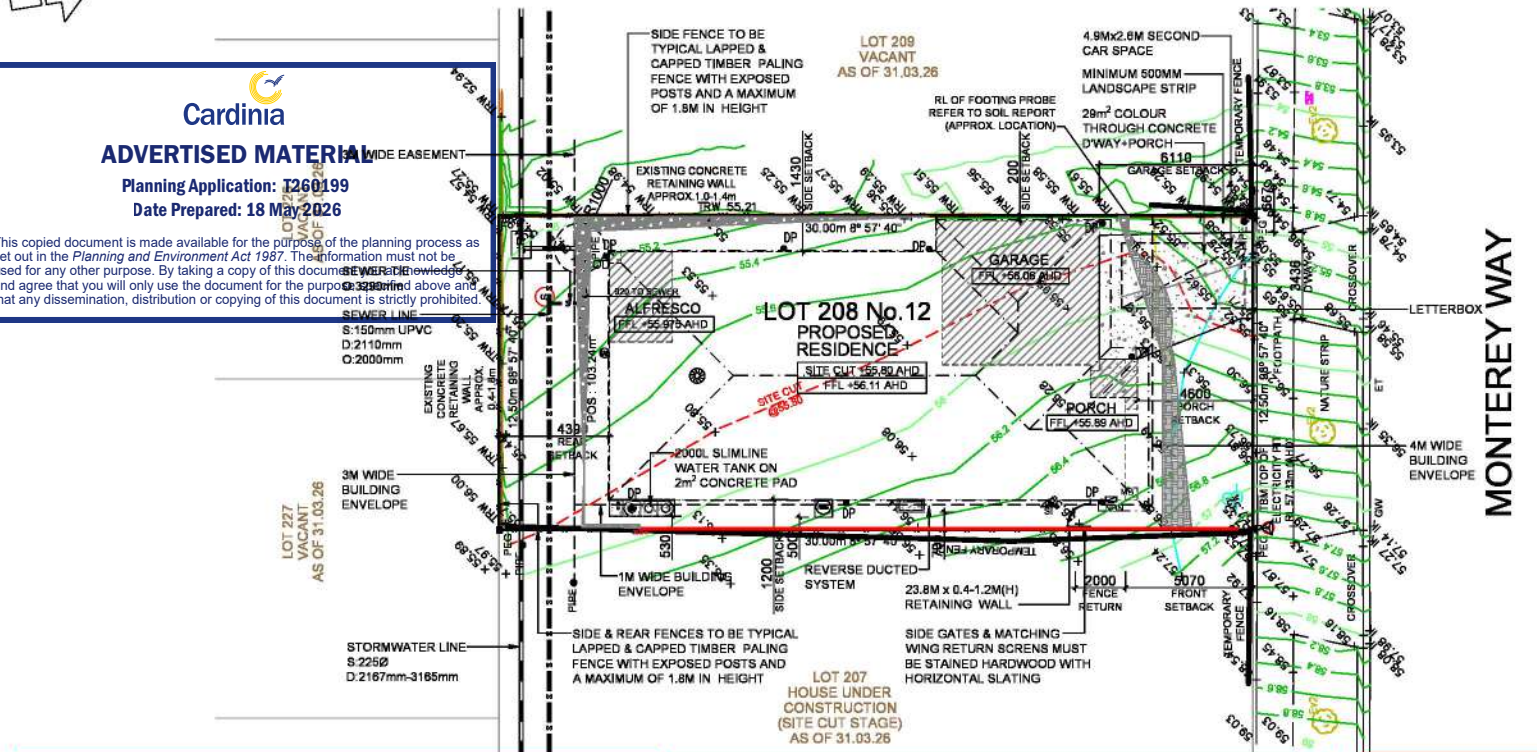
BUSHFIRE ASSESSMENT LOW

- FIRE DANGER INDWX (FD1): 100
- CLASSIFIED VEGETATION TYPE: LOW SHRUBLAND
- DISTANCE FROM SITE TO CLASSIFIED VEGETATION: <100 METRES
- EFFECTIVE SLOPE(S) UNDER THE CLASSIFIED VEGETATION TYPE: DOWNSLOPE <5°
- BUSHFIRE ATTACK LEVEL: LOW
- CONSTRUCTION REQUIREMENTS: THERE IS INSUFFICIENT RISK TO WARRANT SPECIFIC CONSTRUCTION REQUIREMENTS



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DEVELOPER CONDITION: PLEASE NOTE THAT A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN APPLICATION MUST BE APPROVED BY COUNCIL BEFORE CONSTRUCTION COMMENCES.

DEVELOPER CONDITION; DUE TO PLANNING PERMIT REQUIREMENT, GAS APPLIANCES MAY NOT BE ABLE TO BE INSTALLED, FURTHER COUNCIL CLARIFICATION IS REQUIRED.

DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 10.04.2026
 REVIEWED BY: Blytheb

SHERRIDON HOMES
 A HIGHER STANDARD
 NEWLIVING

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 CDB-U 50039
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 W sherridonhomes.com.au

PLEASE READ CAREFULLY

I/WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I/AM, SO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL OCCUR.

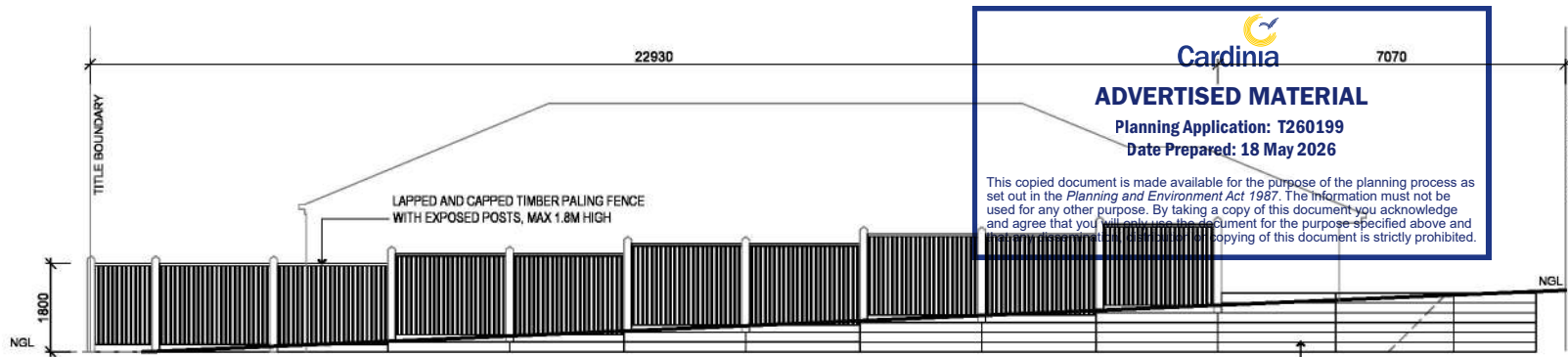
SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____
 WITNESSED: _____ DATE: _____

SHEET TITLE: SITE
 SCALE: 1:200
 SHEET SIZE: A3
 SHEET: 01 of 21

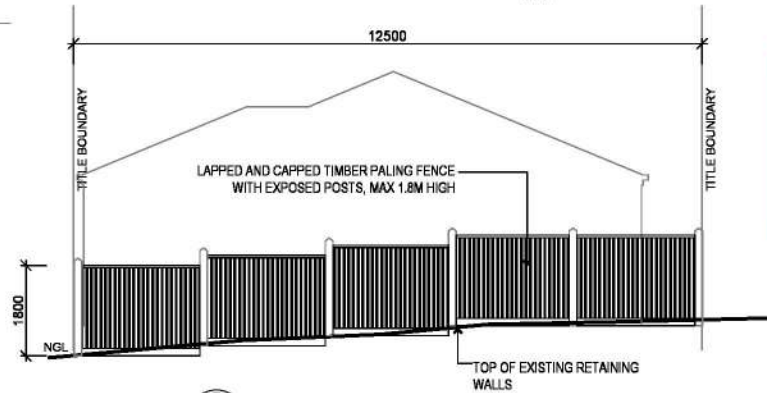
HOUSE TYPE: SOMERS 207 (RH5)
 FACADE: NIXON

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CLIENT: _____
 JOB: _____
 D.B.: _____
 B.C.: _____



B FENCE ELEVATION
EAST SIDE

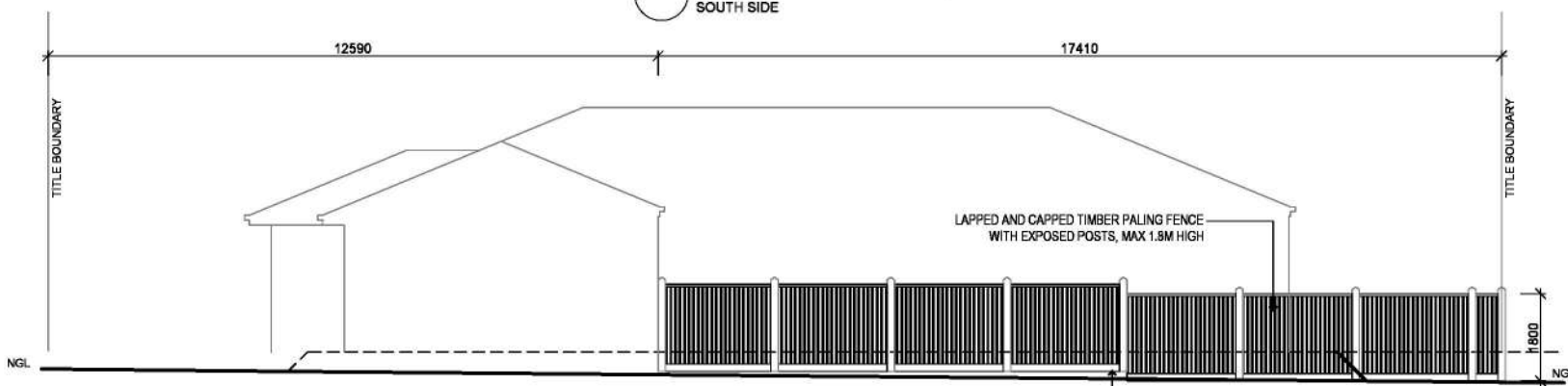


C FENCE ELEVATION
SOUTH SIDE

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.04.2026

REVIEWED BY: Blytheb



D FENCE ELEVATION
WEST SIDE

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NEWLIVING

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I/WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I/AM ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL OCCUR.

SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____
 WITH: 23817 _____ DATE: _____

SHEET TITLE: FENCE PLAN
SCALE: 1:200
SHEET SIZE: A3
SHEET: 1A of 21

HOUSE TYPE: SOMERS 207 (RHS)
FACADE: NIXON

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CLIENT NAME: _____
JOB ADDRESS: _____
D.B. No: _____
B.C. No: _____

EXHAUST FAN NOTE
 EX-HAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 10.8.2(p)

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ADVERTISED MATERIAL

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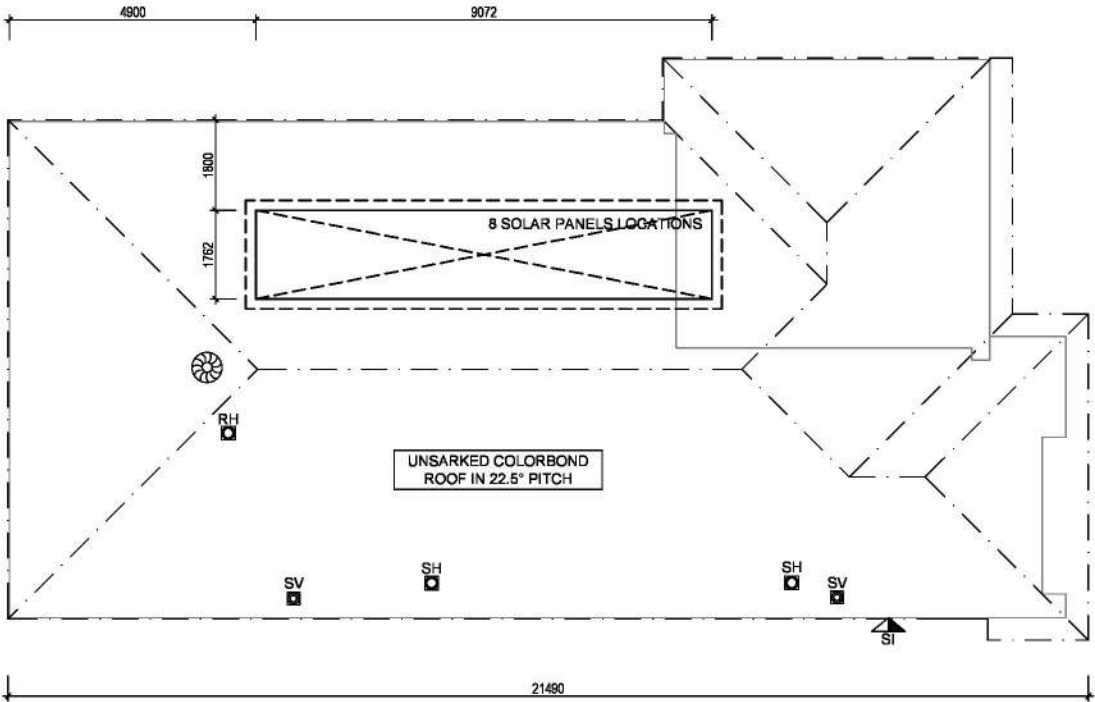
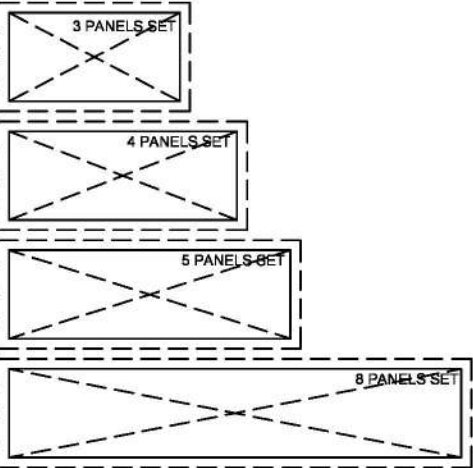
DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.04.2026

REVIEWED BY: Blytheb



SOLAR PANEL EXCLUSION ZONE



LEGEND	
	-SHOWER EXHAUST VENT
	-RANGEHOOD VENT
	-W.C. EXHAUST VENT
	-LAUNDRY EXHAUST VENT
	-SEWER VENT
	-WINDMASTER
	-EVAPORATIVE COOLER
	-SKYLIGHT
	-SOLAR PANELS
	-SOLAR INVERTER

NCC 2022 CONDENSATION MANAGEMENT 10.8.3	
VENTILATION REQUIREMENTS ROOF PITCH: ≥ 15 DEGREES = 7,000mm ² /m AT EAVES 5,000mm ² /m AT RIDGE ROOF PITCH: 10 - 14.9 DEGREES = 25,000mm ² /m AT EAVES 5,000mm ² /m AT RIDGE ROOF PITCH: 10 DEGREES = 25,000mm ² /m AT EACH END	ROOF TYPES & VENT PRODUCT LOW LEVEL (EAVE) <ul style="list-style-type: none"> TILED ROOF (UNSARKED) - N/A COLORBOND (UNSARKED) - N/A TILED ROOF (SARKED) - OVER FASCIA VENT G1200N COLORBOND (SARKED) - COR-VENT BK 200 HIGH LEVEL (MAX. 900MM FROM RIDGE) <ul style="list-style-type: none"> TILED ROOF (UNSARKED) - N/A COLORBOND (UNSARKED) - N/A TILED ROOF (SARKED) - BRADFORD WINDMASTER COLORBOND (SARKED) - BRADFORD WINDMASTER BUSHFIRE ZONES (BAL) BUSHFIRE ZONES TO USE BAL RATED PRODUCTS. BAL RATED PRODUCT VALUES DO NOT DIFFER

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SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____
 WITNESS: _____ DATE: _____

SHEET TITLE: ROOF PENETRATION

SCALE: 1:100

SHEET SIZE: A3

SHEET: 02 of 21

HOUSE TYPE: SOMERS 207 (RHS)

FACADE: NIXON

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CLIENT NAME: _____

JOB ADDRESS: _____

D.B. No.: _____

B.C. No.: _____

AREA SCHEDULE		
GROUND FL:	159.26m ²	17.14sq
GARAGE:	36.20m ²	3.90sq
PORCH:	2.91m ²	0.31sq
ALFRESCO:	9.04m ²	0.97sq
TOTAL:	207.41m ²	22.33sq

Cardinia
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GENERAL NOTES

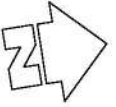
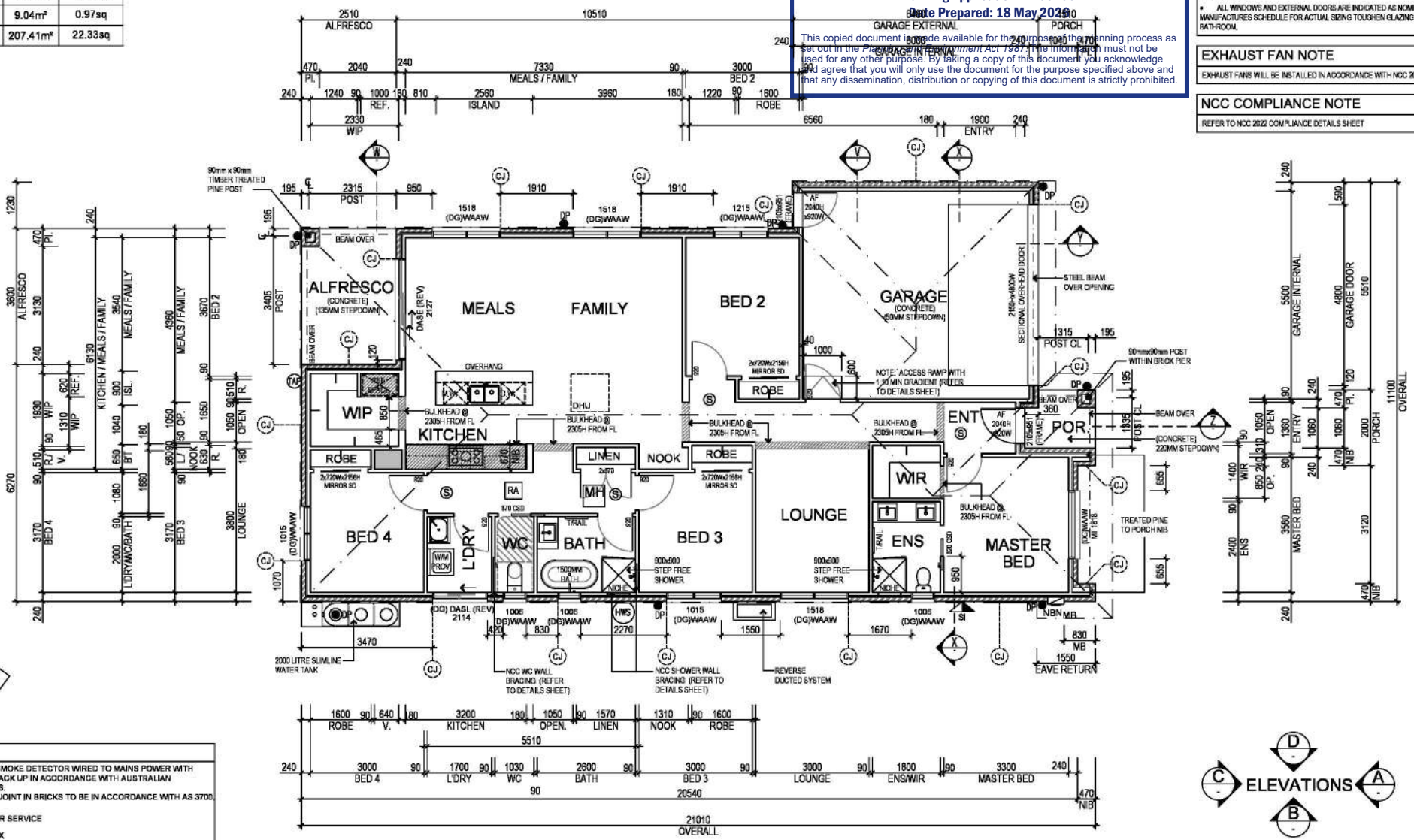
- SOLID HATCHED VOID INDICATE THEY CANNOT BE REMOVED, RELOCATED OR ALTERED. FLOOR JOISTS AND TRUSSES TO BE CLEAR OF VOIDS.
- INDICATES BALUSTRADES TO STAIRS.
- ALL DIMENSIONS ARE TO STUD FRAME PLASTER AND SARTING BOARDS NOT CONSIDERED.
- ALL WINDOWS AND EXTERNAL DOORS ARE INDICATED AS NOMINAL SIZES REFER TO MANUFACTURERS SCHEDULE FOR ACTUAL SIZING TOUGHEN GLAZING TO ENSURE AND BATHROOM.

EXHAUST FAN NOTE

EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 10.6.2(a)

NCC COMPLIANCE NOTE

REFER TO NCC 2022 COMPLIANCE DETAILS SHEET



- LEGEND**
- SM - PROVIDE SMOKE DETECTOR WIRED TO MAINS POWER WITH BATTERY BACK UP IN ACCORDANCE WITH AUSTRALIAN STANDARDS.
 - CC - CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 2700.
 - HW - HOT WATER SERVICE
 - MB - METER BOX
 - GM - GAS METER
 - OPT - OPT
 - SI - SOLAR INVERTER

DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 10.04.2026
 REVIEWED BY: Blytheb



56 Bar
 Demin
 CDB-4
 P+613
 E info
 W shc

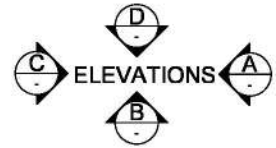
DATE: _____

SHEET TITLE: GROUND FLOOR PLAN
 SCALE: 1:100
 SHEET SIZE: A3
 SHEET: 03 of 21

HOUSE TYPE: SOMERS 207 (RHS)
 FACADE: NIXON

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CLIENT NAME: _____
 JOB ADDRESS: _____
 D.B. No: _____
 B.C. No: _____



FACADE MATERIAL PERCENTAGE TABLE		
MATERIAL TYPE	AREA(m ²)	PERCENTAGE
FACADE AREA EXCLUDING DOORS & WINDOWS	12.01	100.00%
RENDERED FINISH #1 AREA	3.62	30.14%
FACE BRICKWORK	8.39	69.86%

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.04.2026

REVIEWED BY: Blytheb



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ADVERTISED MATERIAL

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GENERAL NOTES

- WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.
- BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 100MM IN ACCORDANCE WITH NCC 2022 11.2.8 THRESHOLDS.
- DIMENSIONS RELATING TO FF, & FL REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS, NOT ACTUAL CEILING HEIGHTS.

MATERIAL FINISH LEGEND:

- FACE BRICKWORK
- RENDERED BRICKWORK (FINISH #1)
- PAINTED F.C. SHEET

NOTE

ALUMINIUM FRAMED AWNING WINDOWS TO FRONT FACADE ONLY (UNLESS NOTED OTHERWISE)

ALUMINIUM FRAMED SLIDING WINDOWS TO SIDE AND REAR ELEVATIONS (UNLESS NOTED OTHERWISE)

NOTE

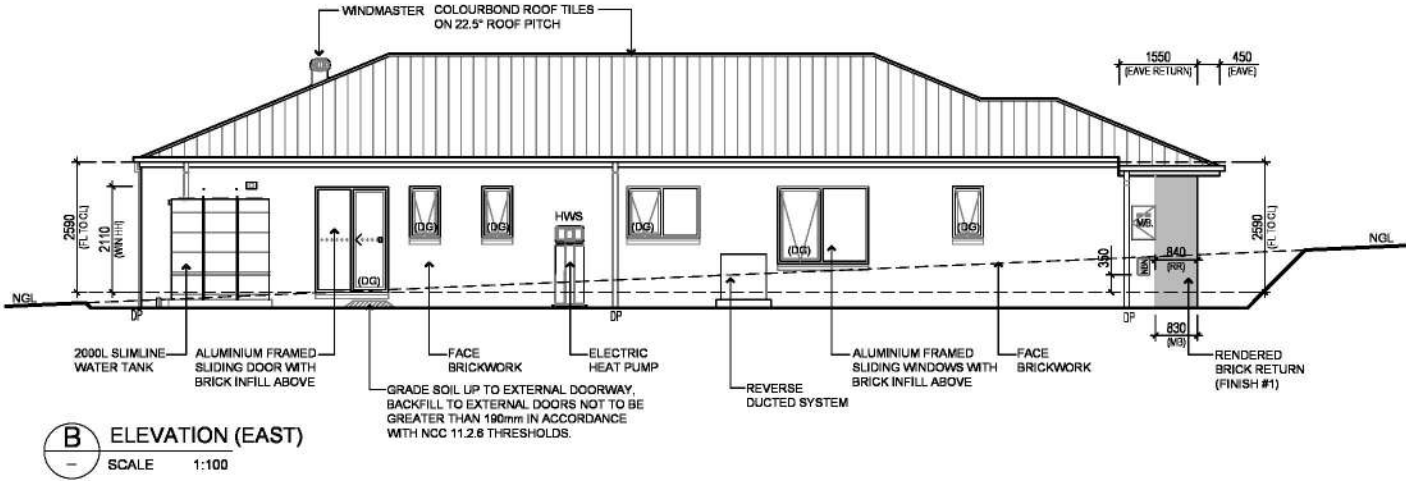
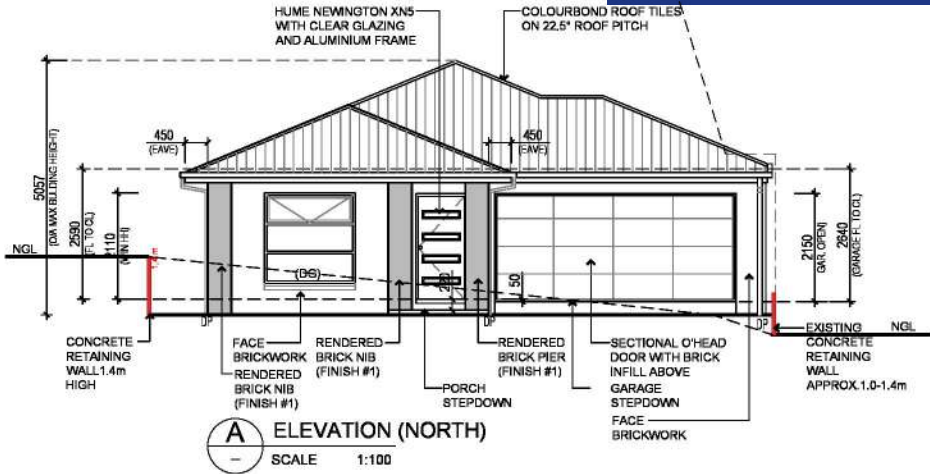
600mm SAVES FROM OUTSIDE OF FRAME TO FRONT FACADE ONLY, 2150mm WINDOW HEAD HT. TO SIDE AND REAR (UNLESS NOTED OTHERWISE)

GARAGE WALL HEIGHT

REPORT & CONSENT REQ'D FOR GARAGE WALL HEIGHT NOT COMPLYING WITH RESCODE BUILDING REG - 80

BUILDING HEIGHT

REPORT & CONSENT REQ'D FOR BUILDING HEIGHT NOT COMPLYING WITH RESCODE BUILDING REG - 75



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NEWLIVING

PLEASE READ CAREFULLY

I/WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERIDON HOMES PTY LTD. I/WE ARE SO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL APPLY.

SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____
WITH/3880 _____ DATE: _____

SHEET TITLE: ELEVATIONS 1

SCALE: 1:100

SHEET SIZE: A3

SHEET: 04 of 21

HOUSE TYPE: SOMERS 207 (RHIS)

FACADE: NIXON

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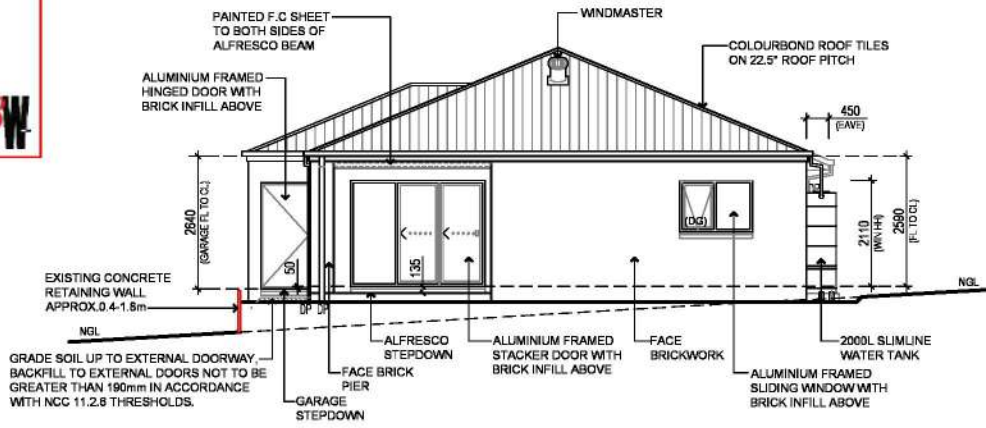
CLIENT No: [REDACTED]

JOB ADD: [REDACTED]

D.B. No: [REDACTED]

B.C. No: [REDACTED]

DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 10.04.2026
REVIEWED BY: Blytheb



(C) ELEVATION (SOUTH)
 SCALE 1:100

GENERAL NOTES

- WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.
- BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC 2022 11.2.8 THRESHOLDS.
- DIMENSIONS RELATING TO FFL & FCL REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS, NOT ACTUAL CEILING HEIGHTS.

MATERIAL FINISH LEGEND:

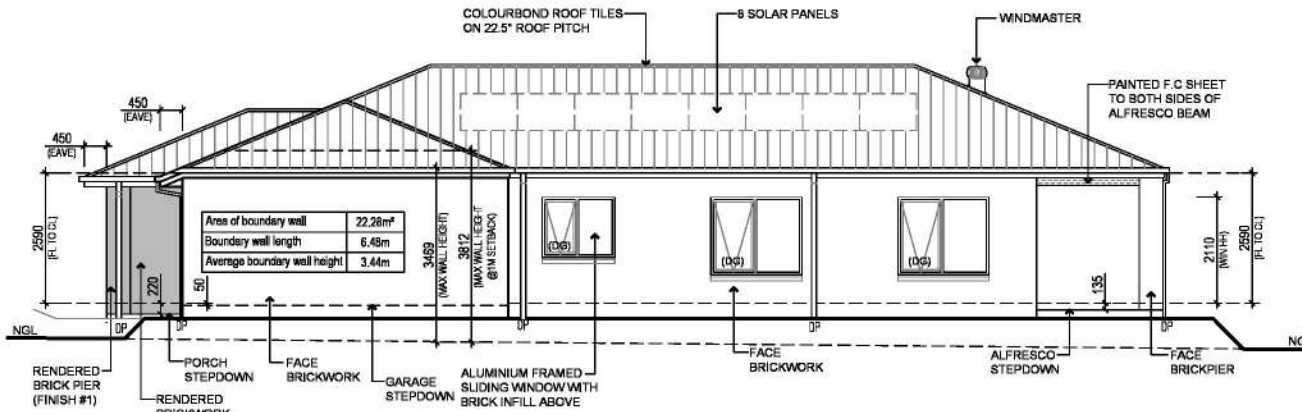
- - FACE BRICKWORK
- ▒ - RENDERED BRICKWORK (FINISH #1)
- ▨ - PAINTED F.C SHEET

NOTE

GRADE SOIL UP TO EXTERNAL DOORWAY, BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190mm IN ACCORDANCE WITH NCC 11.2.8 THRESHOLDS.

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260199
 Date Prepared: 18 May 2026

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(D) ELEVATION (WEST)
 SCALE 1:100

SHERRIDON HOMES
 A HIGHER STANDARD
NEWLIVING

56 Barclay Road,
 Derrimut VIC 3026
 CDD-U 50039
 P +613 8390 5000
 E info@sherridonhomes.com.au
 W sherridonhomes.com.au

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SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____
 WITNESS: _____ DATE: _____

SHEET TITLE: ELEVATIONS 2
 SCALE: 1:100
 SHEET SIZE: A3
 SHEET: 05 of 21

HOUSE TYPE: SOMERS 207 (RHS)
 FACADE: NIXON

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CLIENT NAME: [REDACTED]
 JOB ADDRESS: [REDACTED]
 D.B. No.: [REDACTED]
 B.C. No.: [REDACTED]

X 104.89	SPOT HEIGHT	(S)	SEWER MANHOLE	(GP)	GRATED PIT	(W)	WATER TAP	(SV)	SEWER VENT
HW H 108.30 S 106.30	HABITABLE WINDOW	(E)	ELECTRICITY PIT	(SEP)	SIDE ENTRY PIT	(WM)	WATER METER	(IS)	SEWER INSPECTION SHAFT
NHW H 108.30 S 106.30	NON-HABITABLE WINDOW	(EC)	ELECTRICITY CABINET	(JP)	JUNCTION PIT	(PP)	POWER POLE	(S)	SIGN
DOOR H 108.30 B 106.30	DOOR	(TBM)	TBM	(UNK)	UNKNOWN PIT	(P.S.M.)	P.S.M.	(GV)	GAS VALVE
		(WV)	WATER VALVE	(TEL)	TELSTRA PIT	(FH)	FIRE HYDRANT		
		(LP)	LIGHTPOLE	(G)	GAS METER	(FP)	FIRE PLUG		

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260199
 Date Prepared: 18 May 2026

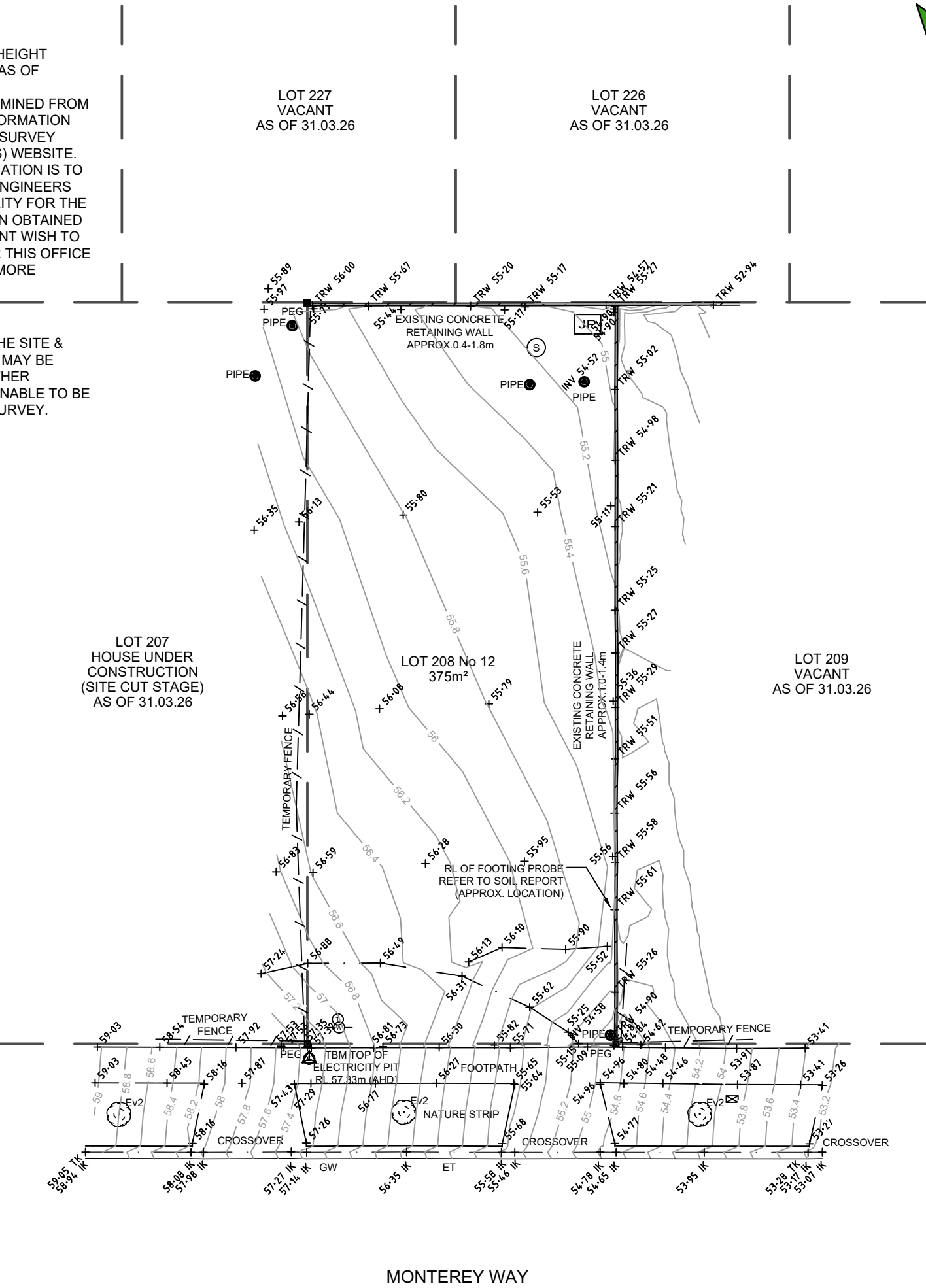
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NOTE:
 FULLY DIMENSIONED TITLE & EASEMENTS ARE NOT ALLOWED TO BE SHOWN UNLESS VERIFIED BY A LICENSED SURVEYOR CONDUCTING A TITLE RE-ESTABLISHMENT SURVEY. AN APPROXIMATE SITE OUTLINE HAS BEEN SHOWN.

NOTE:
 PLEASE CONTACT INTRAX OFFICE IF THERE ARE ANY QUESTIONS OR CONCERNS BEFORE ANY EARTHWORKS COMMENCE

NOTE:
 1. LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD) - PM 362 - RL 44.11 AS OF 27.03.26.
 2. AHD HEIGHT HAS BEEN DETERMINED FROM THE PM NOTED ABOVE. THIS INFORMATION HAS BEEN OBTAINED FROM THE SURVEY MARKS ENQUIRY SERVICE (SMES) WEBSITE. THE ACCURACY OF THIS INFORMATION IS TO +/- 50mm. INTRAX CONSULTING ENGINEERS PTY LTD TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION OBTAINED FROM (SMES). SHOULD THE CLIENT WISH TO CONFIRM THE SMES PM MARKER THIS OFFICE SHOULD BE CONTACTED FOR A MORE DETAILED INVESTIGATION.

NOTE:
 DUE TO LONG GRASS ACROSS THE SITE & NATURE STRIP, SOME SERVICES MAY BE OBSCURED AND THEREFORE EITHER APPROXIMATELY LOCATED OR UNABLE TO BE LOCATED AT THE TIME OF THE SURVEY.



Melbourne 03 8371 0100
 Sydney 02 8355 1200
 Brisbane 07 3067 0800
 Adelaide 08 8165 0122

www.intrax.com.au
 Intrax Consulting Group
 VIC | NSW | SA | QLD

VER	DESCRIPTION	DATE	APP
D	UPDATE ADJOINING SITE	31.03.26	
C	LEVELS CONVERTED TO AHD	27.03.26	
B	SECOND SURVEY	01.12.25	
A	ORIGINAL SURVEY	04.11.24	

FEATURE & LEVEL SURVEY	
PROPERTY ADDRESS:	No 12 MONTEREY WAY PAKENHAM VIC 3810
CLIENT:	ROYSTON HOMES
PLAN OF SUBDIVISION:	LOT 208 ON PS902144W EDITION 1 VERSION 3
HORIZONTAL DATUM:	ARBITRARY
LEVEL DATUM:	AHD
CONTOUR INTERVAL:	0.20 METRES

ORIGINAL SCALE: 1:200 AT A3	
SURVEYOR: A.L.	
DRAFTER: X.Z.	CHECKED: Z.G.
DATE OF SURVEY: 01.12.25	
INTRAX REF: 234952	
CLIENT REF: 207445/003/04	
SHEET 1 OF 1 SHEETS	VERSION: D

SITE COVERAGE ANALYSIS	
GROUND FLOOR BUILDING AREA:	207.41m ²
IMPERMEABLE AREA	28.00m ²
LOT AREA	375.00m ²
PERMEABILITY	37.22%
SITE COVERAGE	55.31%
TOTAL GARDEN AREA PROVIDED :	139.59m ²
PERCENTAGE OF PROVIDED GARDEN AREA :	37.22%

WATER TANK NOTE:
 PROVIDE 2000 LITRE SLIMLINE WATER TANK WITH PUMP INCLUDES CONNECTION TO DOWNPIPE, STORMWATER OVERFLOW, BIB TAP, CONCRETE PAD & SINGLE EXTERNAL POWER POINT.

NOTE:
 PROVIDE 3-PHASE POWER TO SITE.

TERMITE TREATMENT REQUIRED:
 PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

ELECTRIC HEAT PUMP NOTE
 PROVIDE AKQUA AK-200HPE1 ELECTRIC HEAT PUMP WATER HEATER IN LIEU OF SOLAR HOT WATER SYSTEM. THIS SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATIONS 2018.

PLEASE NOTE NBN
 ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH NBN REQUIREMENTS AS OUTLINED IN NBN CO PREPARATION AND INSTALLATION GUIDE FOR SOLUS AND MOUS.

EXHAUST FAN NOTE
 EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 P10.8.2.

LETTER BOX NOTE:
 LETTERBOX TO BE SUPPLIED & INSTALLED BY CLIENT AFTER HANDOVER TO DEVELOPERS REQUIREMENTS

DRIVEWAY & PAVING NOTE:
 DRIVEWAY, PATH & PORCH PAVING TO BE SUPPLIED & INSTALLED BY THE BUILDER TO DEVELOPERS REQUIREMENTS

FENCE & LANDSCAPE NOTE:
 ALL BOUNDARY FENCING & LANDSCAPING TO BE SUPPLIED & INSTALLED BY CLIENT AFTER HANDOVER TO DEVELOPERS REQUIREMENTS. THE BUILDER IS NOT LIABLE FOR ANY ITEMS THE CLIENTS NEED TO COMPLETE TO CONFORM WITH THE DEVELOPERS RESTRICTIONS

REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

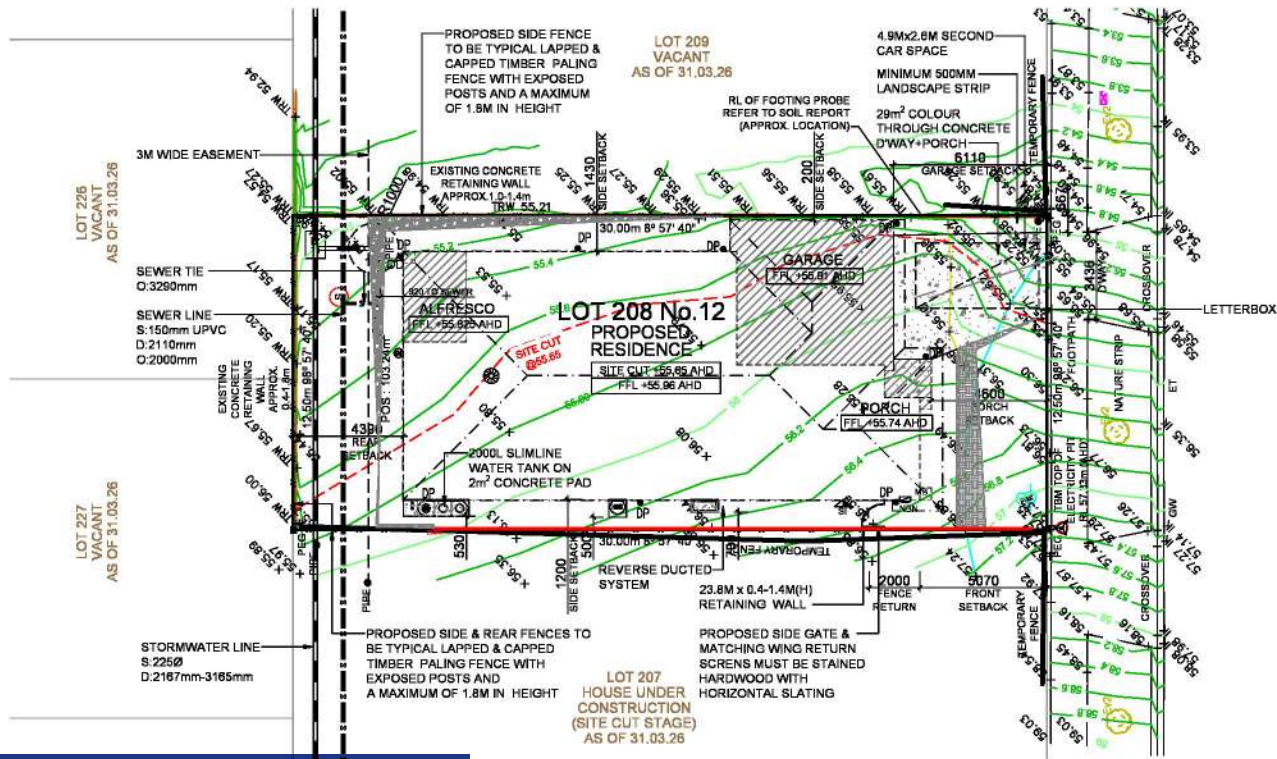
SITE NOTES:

SOIL CLASSIFICATION
 CLASS: P(M)
 AS PER SOIL REPORT PROVIDED BY 'INTRAX CONSULTING ENGINEERS PTY LTD'
 FILE NO: 234952 DATED: 04.12.2025
 WIND RATING: M1
 SITE CUT AND BATTER

- INDICATED STEPODOWN
 - BITE CUT
 - BITE FILL

- DWELLINGS & GARAGE: WAFFLE POD CONCRETE
- SLAB, DEEP SITE CUT & FILL TO R.L. 55.65 AHD
- SITE CUT GARAGE TO R.L. 55.80 AHD
- FENCEBOARD 310 MM (REFER TO ENGINEERING DOCUMENTATION)
- REBATE TO HOUSE: 220 MM
- STEP DOWN TO GARAGE: 50 MM
- STEP DOWN TO PORCH: 220 MM
- STEP DOWN TO ALFRESCO: 135 MM

SITE CUT AND FILL TO BE MINIMUM 1.2M FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 4%.
 SITE CUTS / FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING.
 ALL SITE EROSION CONTROL BATTERS TO BE IN ACCORDANCE WITH THE NBN SITE PREPARATION & 3.2.1 UN-RETAINED BULK EARTHWORKS - SITE CUT & FILL NCC 2022 ALTERNATIVELY, TO BE IN ACCORDANCE WITH THE ENGINEERS RECOMMENDATIONS.
 EXTERNAL WALL FOOTINGS SHALL NOT BE FOUND AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.



MONTEREY WAY

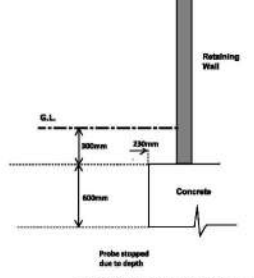
LEGEND:

- METER BOX
 - NBN
 - GAS METER
 - TREE
 - TAP
 - STORM WATER PIT
 - HOT WATER SERVICE
 - SOLAR INVERTER

BUSHFIRE ASSESSMENT LOW

- FIRE DANGER INDWX (FDI): 100
- CLASSIFIED VEGETATION TYPE: LOW SHRUBLAND
- DISTANCE FROM SITE TO CLASSIFIED VEGETATION: <100 METRES
- EFFECTIVE SLOPE(S) UNDER THE CLASSIFIED VEGETATION TYPE: DOWNSLOPE <5°
- BUSHFIRE ATTACK LEVEL: LOW
- CONSTRUCTION REQUIREMENTS: THERE IS INSUFFICIENT RISK TO WARRANT SPECIFIC CONSTRUCTION REQUIREMENTS

NOTE:
 NO VEGETATION TO BE REMOVED ON SITE.



Cardina
 ADVERTISED MATERIAL
 Planning Application: T260199
 Date Prepared: 18 May 2026

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SHERRIDON HOMES
 A HIGHER STANDARD
NEWLIVING

E info@sherridonhomes.com.au
 W sherridonhomes.com.au

SHEET TITLE: SITE
 SCALE: 1:200
 SHEET SIZE: A3
 SHEET: 01 of 21

HOUSE TYPE: SOMERS 207 (R-H)
 FACADE: NIXON

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CLIENT NAME: [REDACTED]
 JOB ADDRESS: [REDACTED]
 D.B. No.: [REDACTED]
 B.C. No.: [REDACTED]



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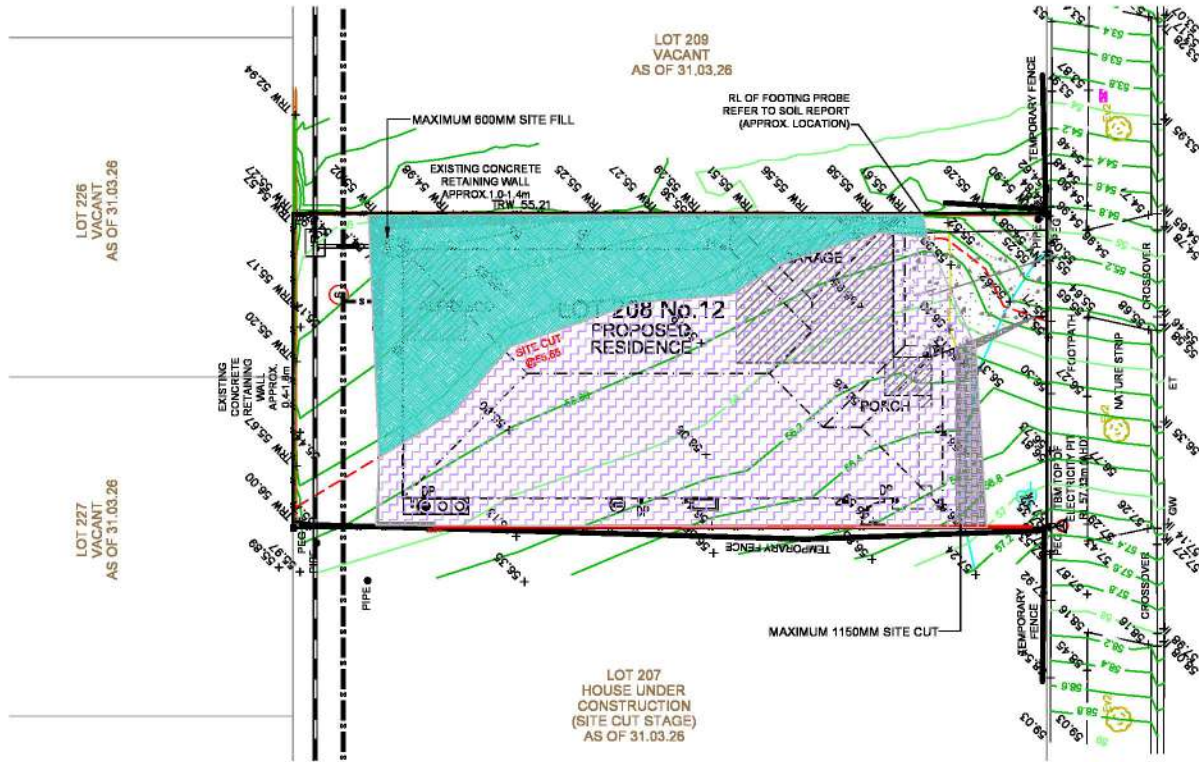
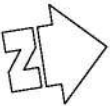
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REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

SITE NOTES:

- SOIL CLASSIFICATION**
CLASS: P(M)
AS PER SOIL REPORT PROVIDED BY 'INTRAX CONSULTING ENGINEERS PTY LTD'
FILE NO: 234952 DATED: 04.12.2025
- WIND DRAINING: NH**
- SITE CUT AND BATTER**
- DWELLING & GARAGE: WAFFLE POD CONCRETE
 - SLAB, DEEP SITE CUT & FILL TO RL: 55.60 AHD
 - SITE CUT GARAGE TO RL: 55.60 AHD
 - FENCEBOARD: 310 MM (REFER TO ENGINEERING DOCUMENTATION)
 - REBATE: TO HOUSE: 220 MM
 - STEP DOWN TO GARAGE: 50 MM
 - STEP DOWN TO PORCH: 220 MM
 - STEP DOWN TO ALFRESCO: 135 MM
- INDICATED STEPOFF
 - SITE CUT
 - SITE FILL
- SITE CUT AND FILL TO BE MINIMUM 1.0M FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45°. SITE CUTS / FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE FILLING. ALL SITE BOUNDARY BATTERS TO BE IN ACCORDANCE WITH THE H20 SITE PREPARATION & 3.2.1 UN-RETAINED BULK EARTHWORKS - SITE CUT & FILL MOD 2022 ALTERNATIVELY, TO BE IN ACCORDANCE WITH THE ENGINEERS RECOMMENDATIONS. EXTERNAL WALL FOOTINGS SHALL NOT BE FOUND AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.



MONTEREY WAY

SHERRIDON HOMES
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P +613 8390 5000
E info@sherridonhomes.com.au
W sherridonhomes.com.au

NEWLIVING

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SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____
 WITNESSED: _____ DATE: _____

SHEET TITLE: SITE
 SCALE: 1:200
 SHEET SIZE: A3
 SHEET: 01 of 21

HOUSE TYPE: SOMERS 207 (RHS)
 FACADE: NIXON

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CLIENT NAME: _____
 JOB ADDRESS: _____
 D.B. No: _____
 B.C. No: _____



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LETTER BOX NOTE:

LETTERBOX TO BE SUPPLIED & INSTALLED BY CLIENT AFTER HANDOVER TO DEVELOPERS REQUIREMENTS

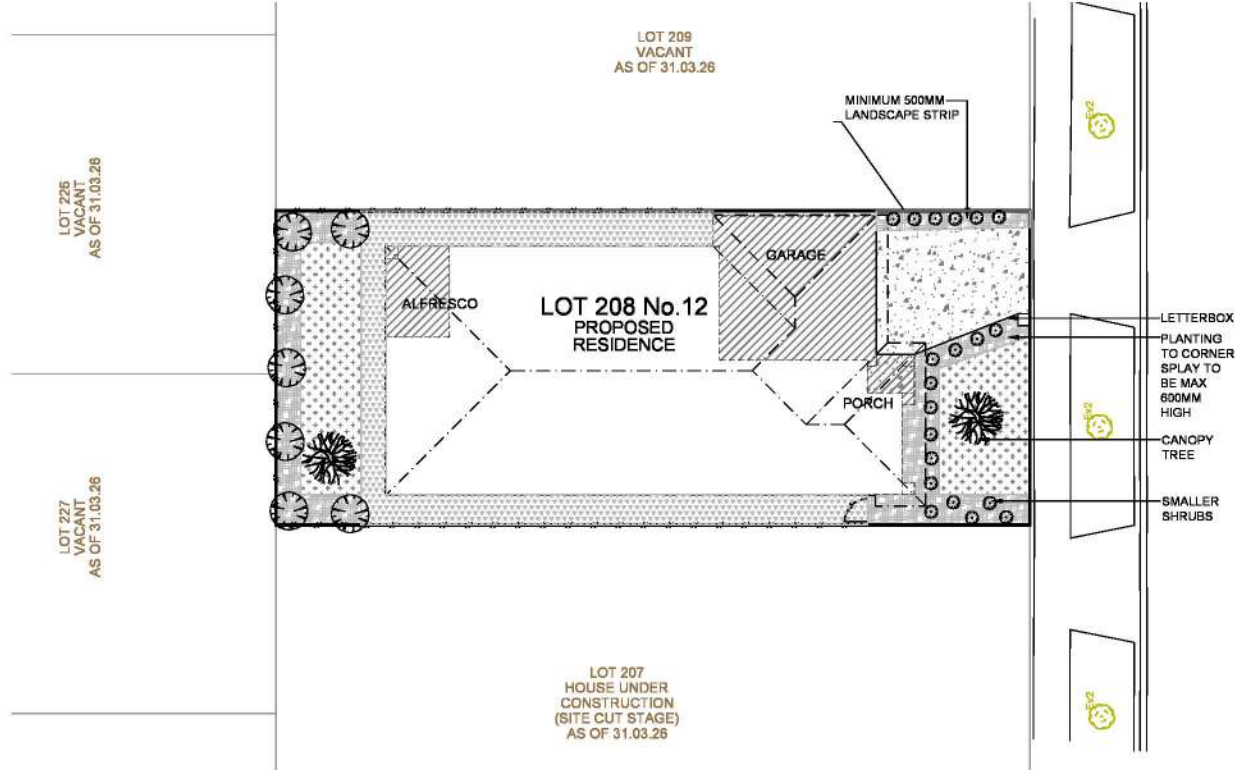
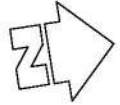
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FENCE & LANDSCAPE NOTE:

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LANDSCAPE MATERIALS PERCENTAGE				
OPEN FRONTAGE AREA	=	62.83m ²	100.00%	
SOFTSCAPE MATERIALS	=	38.98m ²	62.03%	
HARDSCAPE MATERIALS	=	23.86m ²	37.97%	
SOFTSCAPE MATERIALS		HARDSCAPE MATERIALS		
DESCRIPTION	AREA(m ²)	RATIO TO TOTAL SOFTSCAPE	DESCRIPTION	AREA(m ²)
GARDEN BED	21.96m ²	56.34%	DRIVEWAY	23.86m ²
LAWN	17.02m ²	43.66%	PEDESTRIAN PATH	0.00m ²
TOTAL	38.98m ²		TOTAL	23.86m ²



MONTEREY WAY

LEGEND	
	- NATURAL TURF
	- MULCH
	- CRUSHED ROCKS/ TOPPINGS
	- SELECTED CONCRETE
	- 2X TREE (OLIVE TREE "OLEA PANICULATA") - 1.5m MIN HEIGHT AT TIME OF PLANTING, 8M HIGH AND 6M WIDE AT MATURITY
	- 20X SMALLER SHRUBS (10x KANGAROO PAWS "ANIGOZANTHOS" AND 10x GREVILLEA ROSMARINIFOLIA)
	- 7X SHRUBS (PITTOSPORUM "PITTOSPORUM UNDULATUM")

PROVIDE SEED TO THE NATURE STRIPS

PLEASE READ CAREFULLY

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SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____
WITNESSED: _____ DATE: _____

SHEET TITLE: LANDSCAPE PLAN

SCALE: 1:200

SHEET SIZE: A3

SHEET: 1A of 21

HOUSE TYPE: SOMERS 207 (RHS)

FACADE: NIXON

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CLIENT NAME: _____

JOB ADDRESS: _____

D.B. No: _____

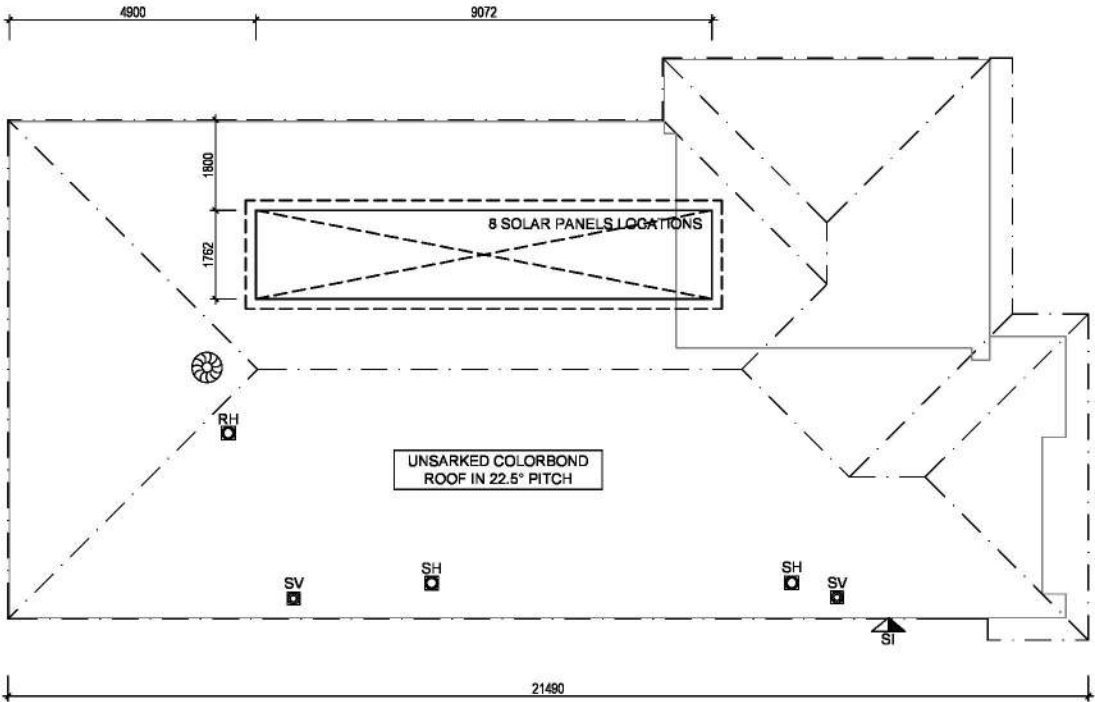
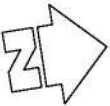
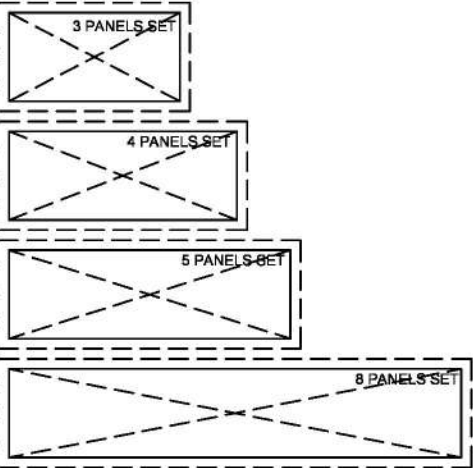
B.C. No: _____

EXHAUST FAN NOTE
 EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 10.8.2(p)

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260199
 Date Prepared: 18 May 2026

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SOLAR PANEL EXCLUSION ZONE



LEGEND	
	-SHOWER EXHAUST VENT
	-RANGEHOOD VENT
	-W.C. EXHAUST VENT
	-LAUNDRY EXHAUST VENT
	-SEWER VENT
	-WINDMASTER
	-EVAPORATIVE COOLER
	-SKYLIGHT
	-SOLAR PANELS
	-SOLAR INVERTER

NCC 2022 CONDENSATION MANAGEMENT 10.8.3	
VENTILATION REQUIREMENTS ROOF PITCH: ≥ 15 DEGREES = 7,000mm ² /m AT EAVES 5,000mm ² /m AT RIDGE ROOF PITCH: 10 - 14.9 DEGREES = 25,000mm ² /m AT EAVES 5,000mm ² /m AT RIDGE ROOF PITCH: 10 DEGREES = 25,000mm ² /m AT EACH END	ROOF TYPES & VENT PRODUCT LOW LEVEL (EAVE) <ul style="list-style-type: none"> TILED ROOF (UNSARKED) - N/A COLORBOND (UNSARKED) - N/A TILED ROOF (SARKED) - OVER FASCIA VENT G1200N COLORBOND (SARKED) - COR-VENT BK 200 HIGH LEVEL (MAX. 900MM FROM RIDGE) <ul style="list-style-type: none"> TILED ROOF (UNSARKED) - N/A COLORBOND (UNSARKED) - N/A TILED ROOF (SARKED) - BRADFORD WINDMASTER COLORBOND (SARKED) - BRADFORD WINDMASTER BUSHFIRE ZONES (BAL) BUSHFIRE ZONES TO USE BAL RATED PRODUCTS. BAL RATED PRODUCT VALUES DO NOT DIFFER

SHERRIDON HOMES
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 56 Barclay Road,
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 CDB-U 50039
 P +613 8390 5000
 E info@sherridonhomes.com.au
 W sherridonhomes.com.au

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 SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____
 WITNESSED: _____ DATE: _____

SHEET TITLE: ROOF PENETRATION
SCALE: 1:100
SHEET SIZE: A3
SHEET: 02 of 21

HOUSE TYPE: SOMERS 207 (RHS)
FACADE: NIXON
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CLIENT: _____
JOB AD: _____
D.B. No: _____
B.C. No: _____

FACADE MATERIAL PERCENTAGE TABLE		
MATERIAL TYPE	AREA(m ²)	PERCENTAGE
FACADE AREA EXCLUDING DOORS & WINDOWS	12.01	100.00%
RENDERED FINISH #1 AREA	3.62	30.14%
FACE BRICKWORK	8.39	69.86%

GENERAL NOTES

- WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.
- BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 100MM IN ACCORDANCE WITH NCC 2022 11.2.8 THRESHOLDS.
- DIMENSIONS RELATING TO FF, & FCL REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS, NOT ACTUAL CEILING HEIGHTS.

MATERIAL FINISH LEGEND:

- [Symbol] - FACE BRICKWORK
- [Symbol] - RENDERED BRICKWORK (FINISH #1)
- [Symbol] - PAINTED F.C SHEET

NOTE

ALUMINIUM FRAMED AWNING WINDOWS TO FRONT FACADE ONLY (UNLESS NOTED OTHERWISE)

ALUMINIUM FRAMED SLIDING WINDOWS TO SIDE AND REAR ELEVATIONS (UNLESS NOTED OTHERWISE)

NOTE

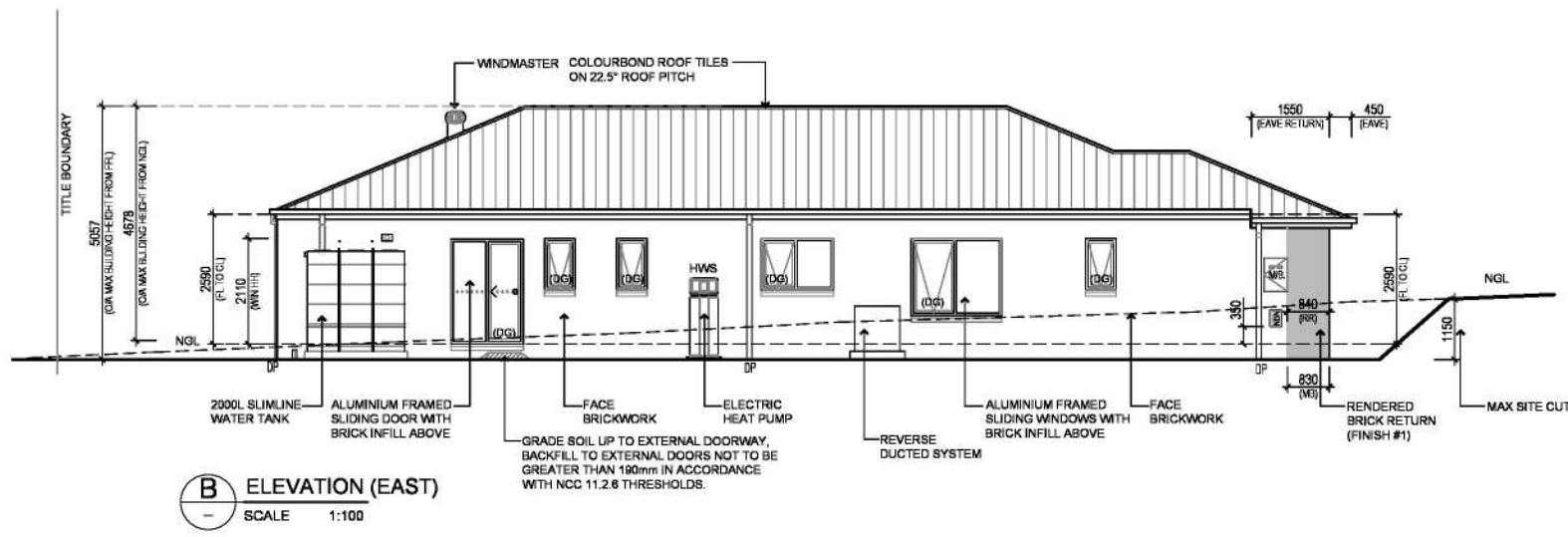
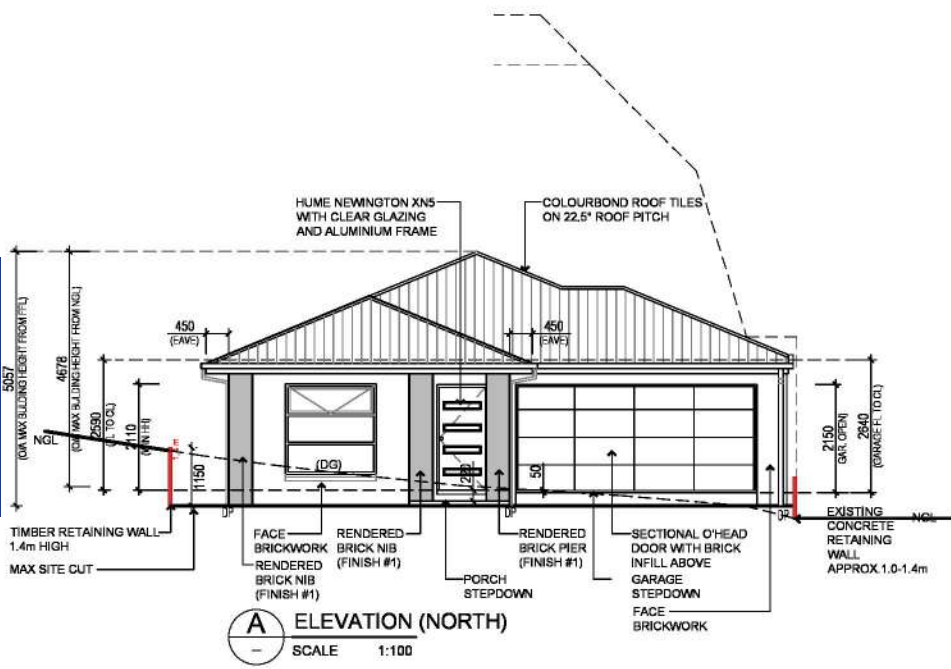
600mm SAVES FROM OUTSIDE OF FRAME TO FRONT FACADE ONLY, 2150mm WINDOW HEAD HT. TO SIDE AND REAR (UNLESS NOTED OTHERWISE)

Cardina

ADVERTISED MATERIAL

Planning Application: T260199
Date Prepared: 18 May 2026

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SHERIDON HOMES
A HIGHER STANDARD

56 Barclay Road,
Derrimut VIC 3026
CDB-U 50039
P +613 8390 5000
E info@sherridanhomes.com.au
W sherridanhomes.com.au

NEWLIVING

PLEASE READ CAREFULLY

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SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____
WITNESSED: _____ DATE: _____

SHEET TITLE: ELEVATIONS 1
SCALE: 1:100
SHEET SIZE: A3
SHEET: 04 of 21

HOUSE TYPE: SOMERS 207 (RHIS)
FACADE: NIXON

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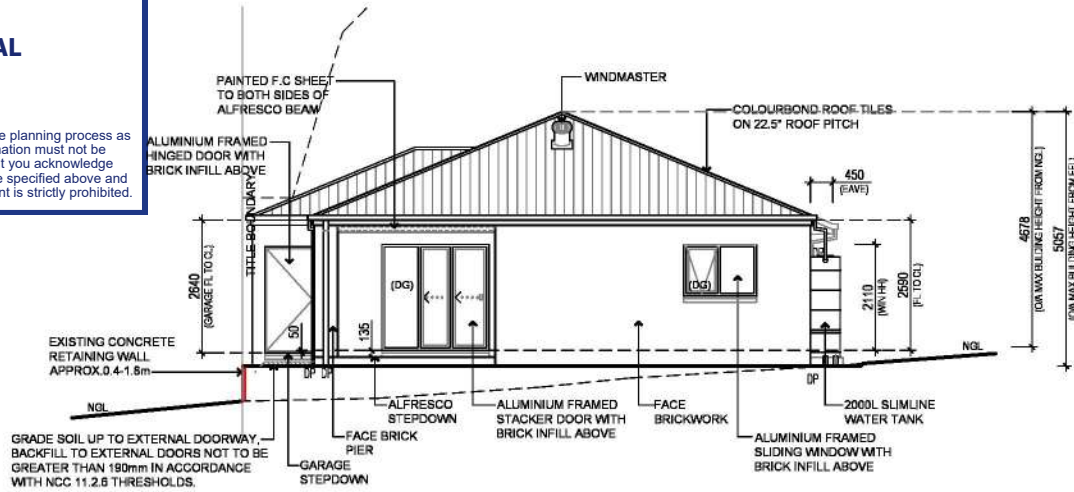
CLIENT NAME: [REDACTED]
JOB ADDRESS: [REDACTED]
D.B. No.: [REDACTED]
B.C. No.: [REDACTED]



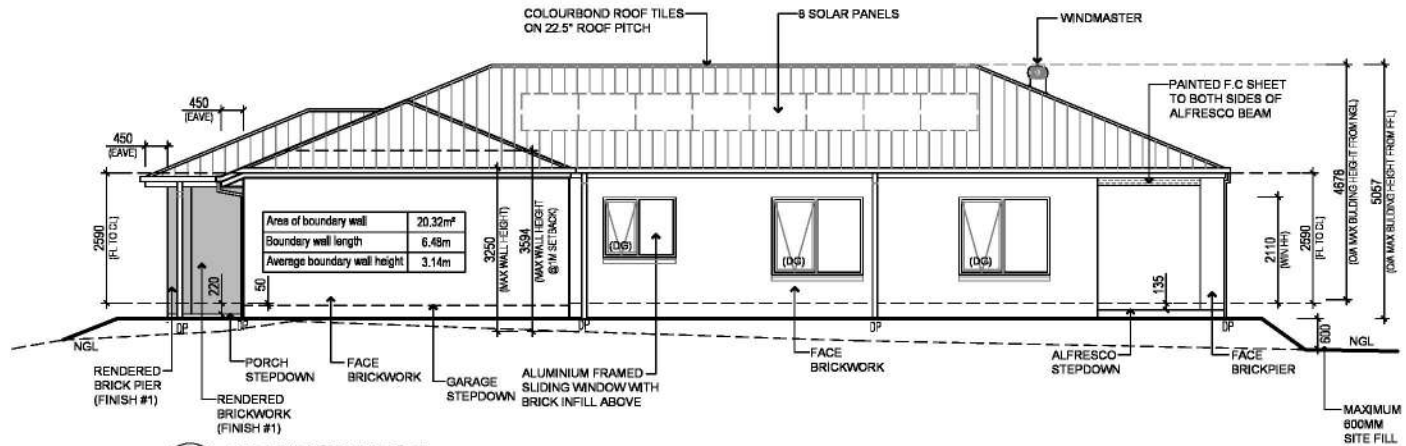
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C ELEVATION (SOUTH)
SCALE 1:100



D ELEVATION (WEST)
SCALE 1:100

GENERAL NOTES

- WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.
- BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 180MM IN ACCORDANCE WITH NCC 2022 11.2.6 THRESHOLDS.
- DIMENSIONS RELATING TO F.F.L & F.C.L REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS, NOT ACTUAL CEILING HEIGHTS.

MATERIAL FINISH LEGEND:

- [Symbol] - FACE BRICKWORK
- [Symbol] - RENDERED BRICKWORK (FINISH #1)
- [Symbol] - PAINTED F.C. SHEET

NOTE

GRADE SOIL UP TO EXTERNAL DOORWAY, BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 180mm IN ACCORDANCE WITH NCC 11.2.6 THRESHOLDS.

SHERRIDON HOMES
A HIGHER STANDARD

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W sherridonhomes.com.au

NEWLIVING

PLEASE READ CAREFULLY

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SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____
 WITNESSED: _____ DATE: _____

SHEET TITLE: ELEVATIONS 2

SCALE: 1:100

SHEET SIZE: A3

SHEET: 05 of 21

HOUSE TYPE: SOMERS 207 (RHS)

FACADE: NIXON

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CLIENT: _____
 JOB: _____
 D.B.: _____
 B.C.: _____

ADVERTISED MATERIAL

Planning Application: T260199

Date Prepared: 18 May 2026

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PROPOSED SIDE FENCING MUST BE CONSTRUCTED FROM TYPICAL LAPPED & CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS AND A MAXIMUM OF 1.8M IN HEIGHT (BY CLIENT) WITH 150MM TIMBER FENCE PLINTH AT THE BOTTOM, ON TOP OF EXISTING CONCRETE RETAINING WALL APP. 1.0m

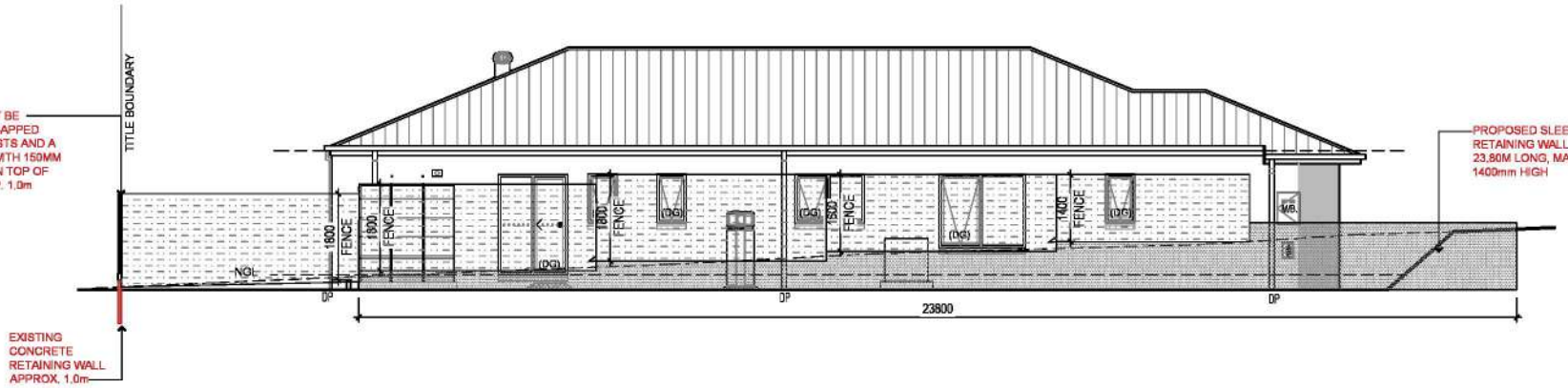
PROPOSED WING GATE - MAX 1.8M HIGH STAINED HARDWOOD WITH HORIZONTAL SLATING



A ELEVATION (NORTH)
SCALE 1:100

PROPOSED SIDE AND REAR FENCING MUST BE CONSTRUCTED FROM TYPICAL LAPPED & CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS AND A MAXIMUM OF 1.8M IN HEIGHT (BY CLIENT) WITH 150MM TIMBER FENCE PLINTH AT THE BOTTOM, ON TOP OF EXISTING CONCRETE RETAINING WALL APP. 1.0m

PROPOSED SLEEPER RETAINING WALL 23.80M LONG, MAX 1400mm HIGH



B ELEVATION (EAST)
SCALE 1:100

PLEASE READ CAREFULLY

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SIGNED _____ DATE _____
SIGNED _____ DATE _____
WITNESSED _____ DATE _____

SHEET TITLE: FENCING ELEVATIONS

SCALE: 1:100

SHEET SIZE: A3

SHEET: 4.3 of 21

HOUSE TYPE: SOMERS 207 (R-15)

FACADE: NIXON

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CLIENT NAME

JOB ADDRESS

D.B. No:

B.C. No:

ADVERTISED MATERIAL

Planning Application: T260199

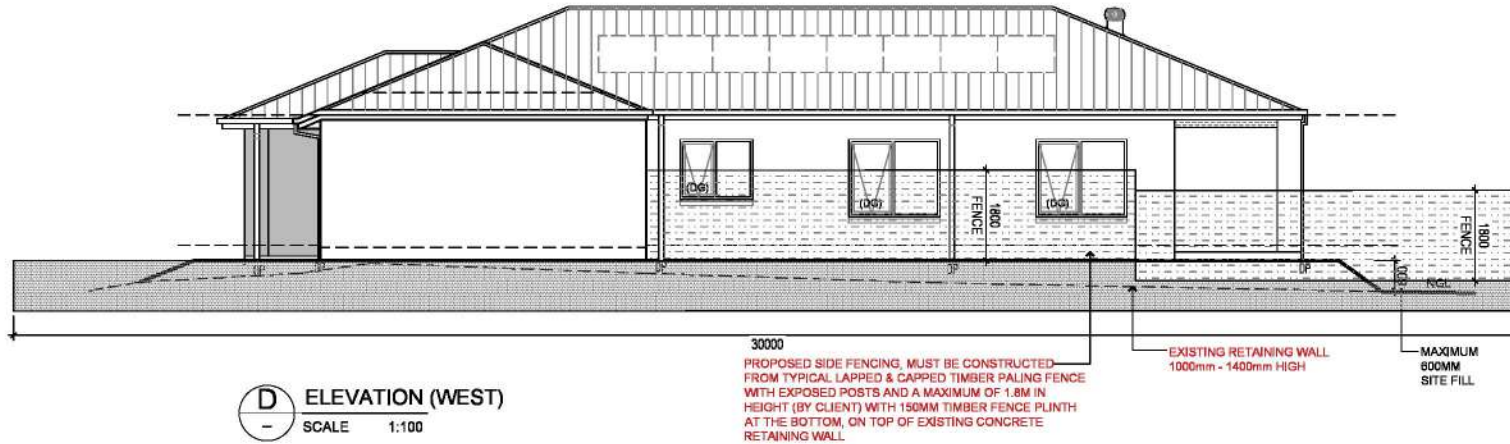
Date Prepared: 18 May 2026

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PROPOSED REAR FENCING, MUST BE CONSTRUCTED FROM TYPICAL LAPPED & CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS AND A MAXIMUM OF 1.8M IN HEIGHT (BY CLIENT) WITH 150MM TIMBER FENCE PLINTH AT THE BOTTOM, ON TOP OF EXISTING CONCRETE RETAINING WALL APP. 1.0m



C ELEVATION (SOUTH)
SCALE 1:100



D ELEVATION (WEST)
SCALE 1:100

PROPOSED SIDE FENCING, MUST BE CONSTRUCTED FROM TYPICAL LAPPED & CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS AND A MAXIMUM OF 1.8M IN HEIGHT (BY CLIENT) WITH 150MM TIMBER FENCE PLINTH AT THE BOTTOM, ON TOP OF EXISTING CONCRETE RETAINING WALL

EXISTING RETAINING WALL
1000mm - 1400mm HIGH

MAXIMUM
800MM
SITE FILL

PLEASE READ CAREFULLY

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SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____
WITNESSED: _____ DATE: _____

SHEET TITLE: ELEVATIONS 2

SCALE: 1:100

SHEET SIZE: A3

SHEET: 05 of 21

HOUSE TYPE: SOMERS 207 (RHS)

FACADE: NIXON

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CLIENT NAME

JOB ADDRESS

D.B. No:

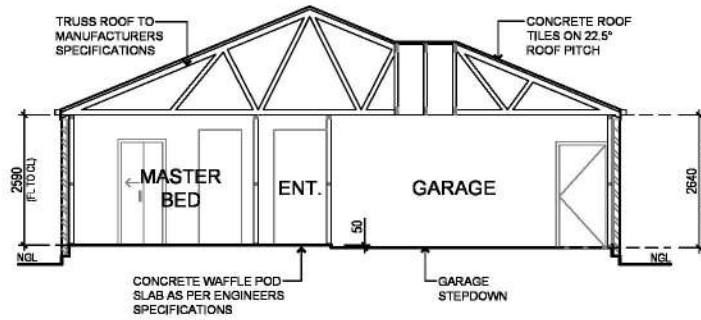
B.C. No:



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X SECTION
SCALE 1:100

PLEASE READ CAREFULLY

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SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____
 WITNESSED: _____ DATE: _____

SHEET TITLE: SECTION

SCALE: 1:100

SHEET SIZE: A3

SHEET: 06 of 21

HOUSE TYPE: SOMERS 207 (RHS)

FACADE: NIXON

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CLIENT NAME

JOB ADDRESS

D.B. No.

B.C. No.



Client Name: K Silva and M Silva
 Site Address: Lot 208, Monterey Way PAKENHAM VIC 3810
 Builder Name: Sherridon Homes
 Product Guide: Sherridon New Living v1.25
 Scheme Name: Sherridon New Living (Int)

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260199
 Date Prepared: 18 May 2026

Signed Date: 26/02/2026
 Job Number: 209032
 Designer: Admin Gallerie
 Version: 12

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External

Roofing	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Roof Metal 1	 Colorbond	Corrugated	Surfmist	N/A	N/A		Inclusion	VIA PCV 1
Valleys	 Colorbond	N/A	Surfmist	N/A	N/A		Inclusion	VIA PCV 1
Gutter	 Colorbond	Quad	Surfmist	N/A	N/A		Standard	
Fascia	 Colorbond	N/A	Surfmist	N/A	N/A		Standard	
Downpipe 1	 Colorbond	N/A	Surfmist	N/A	N/A		Standard	
Whirlybird	 Builders	Whirly Bird (To Match Roof Colour)	N/A	N/A	POA		Inclusion	VIA PCV 1
Bricks & Cladding	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Bricks 1	 PGH Bricks	Extruded	Putty	N/A	1		Standard	
Mortar	 Builders	Rolled	Natural	N/A	N/A		Standard	



Client Name: K Silva and M Silva
 Site Address: Lot 208, Monterey Way PAKENHAM VIC 3810
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External

Paint & Render	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Render 1		Wattyl	Render	Floral White - 18.70	N/A	N/A	Standard	TO RENDER #1 FACADE COLUMNS AS PER MARKUP
Alfresco Beams		Wattyl	Solagard Satin - 2 Coat	Colorbond Surfemist - 80.20/Satin	N/A	N/A	Standard	
Entry Door		Wattyl	Aqua Trim Gloss - 2 Coat	Colorbond Dune - 36.60/Gloss	N/A	N/A	Standard	
Rear Garage Door		Wattyl	Aqua Trim Gloss - 2 Coat	Colorbond Dune - 36.60/Gloss	N/A	N/A	Standard	
Soffits/Eaves		Wattyl	Solagard Low Sheen - 2 Coat	Builder White/Low Sheen	N/A	N/A	Standard	
Meterbox		Wattyl	Solagard Satin - 2 Coat	Colorbond Surfemist - 80.20/Satin	N/A	N/A	Standard	
Solar Enclosure		Wattyl	Solagard Satin - 2 Coat	Colorbond Surfemist - 80.20/Satin	N/A	N/A	Standard	
Windows & Doors	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Windows		Builders	Aluminium Window Frame	Dune	N/A	N/A	Standard	

Client Signature 



Client Name: K Silva and M Silva
 Site Address: Lot 208, Monterey Way PAKENHAM VIC 3810
 Builder Name: Sherridon Homes
 Product Guide: Sherridon New Living v1.25
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External

Windows & Doors	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Flyscreens	 Builders	Aluminium Frame with Aluminium Mesh	Dune	N/A	N/A		Standard	TO ALL OPENABLE WINDOWS
Entry Door	 Hume	Newington - Clear Glazing	Duracote (Primed)	XN5	N/A		Standard	2040MM HIGH X 920MM WIDE CLEAR GLAZING
Entry Door Frame	 Builders	Aluminium Door Frame - Hinged	Colour matched to windows	N/A	1		Standard	TO MATCH WINDOW FRAME COLOUR
Entry Door Hardware	 Gainsborough	Tradepro Bela Cass Combination Set	Bright Chrome	1470BELBCK	N/A	\$0.00	Upgrade	ILO 1471BELBCK
Rear Garage Door	 Hume	Flush Door	Duracote (Primed) - Honeycomb Core	X1	N/A		Standard	2040MM HIGH X 920MM WIDE
Rear Garage Door Hardware	 Gainsborough	Bella Entrance Lockset	Bright Chrome	1440PROBELBC	POA		Standard	
Internal Garage Door	 Hume	Flush Door	Primed MDF - Honeycomb Core	H1	N/A		Standard	2040MM HIGH X 920MM WIDE
Internal Garage Door Hardware	 Gainsborough	Bella Entrance Lockset	Bright Chrome	1440PROBELBC	POA		Standard	

Client Signature 







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 Version: 12



External

Garage	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Garage Door	 Steel-Line	Colorbond - Ranch	Dune	N/A	N/A		Standard	
Garage Accessories	 Builders	Garage Door Motor Inc. 2no. Handsets	N/A	N/A	N/A		Standard	
Landscaping	Brand	Profile	Finish	SKU	Category	Price	Level	Comment
Driveway	 Avista	Colour Through Concrete	Light Toffee	N/A	N/A		Standard	TO FRONT PORCH AND DRIVEWAY AS PER MARKUP
Rain Water Tank	 Builders	Rain Water Tank	Dune	N/A	N/A		Inclusion	AS PER TENDER



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From www.planning.vic.gov.au at 25 March 2026 12:32 PM

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PROPERTY DETAILS

Lot and Plan Number: **Lot 208 PS902144**

Address: **12 MONTEREY WAY PAKENHAM 3810**

Standard Parcel Identifier (SPI): **208\PS902144**

Local Government Area (Council): **CARDINIA**

Council Property Number: **5000036745**

Planning Scheme: **Cardinia**

Directory Reference: **Melway 317 C3**

www.cardinia.vic.gov.au

[Planning Scheme - Cardinia](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**

Melbourne Water Retailer: **South East Water**

Melbourne Water: **Inside drainage boundary**

Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**

Legislative Assembly: **PAKENHAM**

Registered Aboriginal Party: **Bunurong Land Council
Aboriginal Corporation**

Fire Authority: **Fire Rescue Victoria & Country
Fire Authority**

[View location in VicPlan](#)

Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



C1Z - Commercial 1

GRZ - General Residential

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Read the full disclaimer at <https://www.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

Planning Overlays

Cardinia

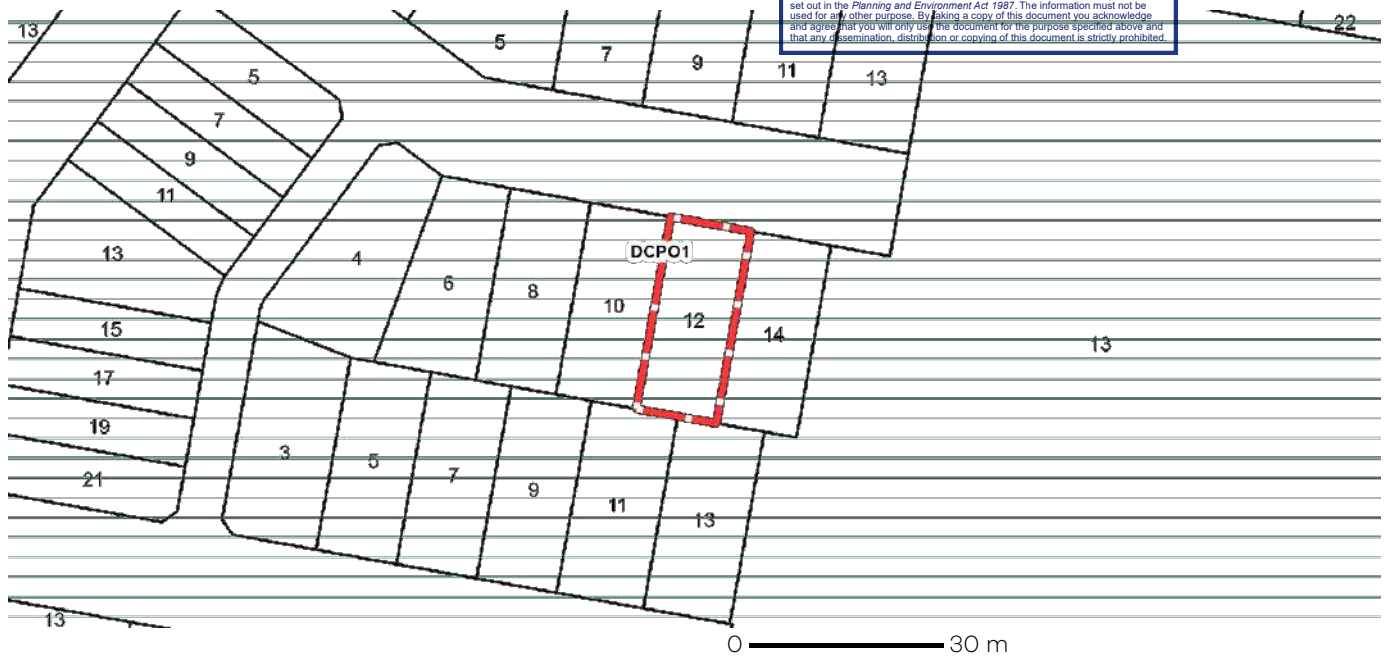
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DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY (DCPO)

DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 1 (DCPO1)



 **DCPO - Development Contributions Plan Overlay**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 4 (ESO4)



 **ESO - Environmental Significance Overlay**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this parcel is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <https://heritage.achris.vic.gov.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.firstpeoplesrelations.vic.gov.au/aboriginal-heritage-legislation>




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Further Planning Information

Planning scheme data last updated on 13 March 2026.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.vic.gov.au/vicplan/>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>



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