
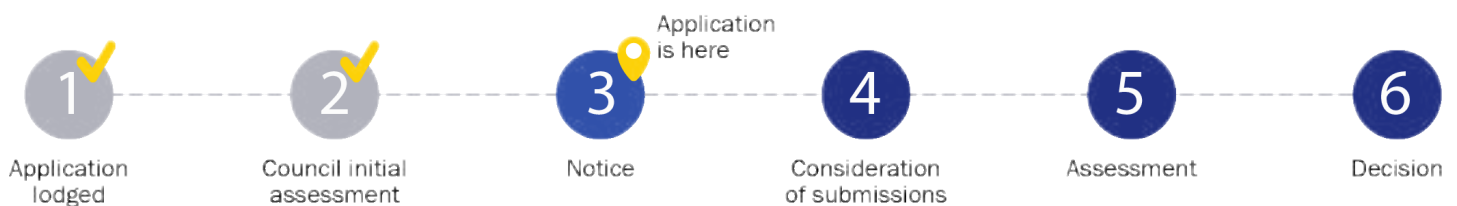


Notice of Application for a Planning Permit

The land affected by the application is located at:	L309 PS912235 V12650 F778 18 Scenic Rise, Pakenham VIC 3810	
The application is for a permit to:	Buildings and works (Construction of a Dwelling) and Fence	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works	
42.01-2	Construct a fence	
APPLICATION DETAILS		
The applicant for the permit is:	Beachwood Homes	
Application number:	T260200	
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		29 May 2026
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>




ADVERTISED MATERIAL
 Planning Application: T260200
 Date Prepared: 13 May 2026

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Application Summary

Portal Reference: A1269375

Basic Information

Proposed Use: Construction of a dwelling and boundary fences
 Current Use: Vacant land
 Cost of Works: \$550,000
 Site Address: 18 Scenic Rise Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached.

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	[REDACTED] Beachwood Homes	522 Frankston-Dandenong Road, Carnam Downs VIC 3201	W: 9770-8806 E: gowerj@bevhill.com.au
Owner	[REDACTED]		
Preferred Contact	[REDACTED] Beveridge Williams	1 Glenferrie Road, Malvern VIC 3144	W: 0495-725-365 E: gowerj@bevhill.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
3 - Class 3 More than \$500,000 but not more than \$1,000,000	\$1,580.10	100%	\$1,580.10
Total			\$1,580.10


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Civic Centre
 20 Siding Avenue, Officer, Victoria
Council's Operations Centre (Depot)
 Purton Road, Pakenham, Victoria

Postal Address
 Cardinia Shire Council
 P.O. Box 7, Pakenham VIC, 3810
Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am-5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

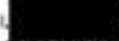
Date	Type	Filename
25-03-2026	A Copy of Title	11462-Tiles POS - Developer.pdf
25-03-2026	Site plans	20260325085909-11462-Plans-Rev-C-AHD.pdf
25-03-2026	Additional Document	18 Scenic Rise Pakenham Planning Report.pdf
25-03-2026	Additional Document	11462-Developer Approval.pdf
25-03-2026	Additional Document	11462 - TP Landscape.pdf
25-03-2026	Additional Document	11462 - TP External.pdf
25-03-2026	Additional Document	11462 - Survey.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	 Beveridge Williams	1 Glenferrie Road, Malvern VIC 3144	W: +61-466-725-300 M: 0456-725-359 E: gwerj@bvwll.com.au
Submission Date	25 March 2026 - 01:00 PM		

Declaration

By ticking this checkbox, I,  declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

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Purton Road, Pakenham, Victoria

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 12650 FOLIO 778

Security no : 124131146046D
Produced 06/01/2026 07:14 PM

LAND DESCRIPTION

Lot 309 on Plan of Subdivision 912235M.
PARENT TITLE Volume 12650 Folio 766
Created by instrument PS912235M 06/01/2026

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AW944856J 16/06/2023
DAIWA CAPITAL MARKETS AUSTRALIA LTD

COVENANT PS912235M 06/01/2026

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS912235M FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER	PLAN OF SUBDIVISION	STATUS	DATE
PS912235M (B)	PLAN OF SUBDIVISION	Registered	06/01/2026

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

ADMINISTRATIVE NOTICES

NIL

eCT Control 19234R MINTER ELLISON
Effective from 06/01/2026

DOCUMENT END





Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 06/01/2026 07:14:24 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC





Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Postcode 3809

Additional Details
Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	[REDACTED]
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:
NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)



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Doc ID 1115801193/v1

Level 18, 427 Collins Street, Melbourne VIC 3000 Australia
PO Box 3, Collins Street West VIC 8007 Australia
DX 562 Melbourne

Telephone +61 3 8644 8500
Facsimile +61 3 865 321 (Australia) +61 3 9024 0257 (International)
hwlebsworth.com.au

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Deed of Agreement

Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*



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plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) *A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) *A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.



This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act	means the <i>Planning and Environment Act 1987</i> (Vic).
Agreement	means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.
Building Design Guidelines	means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.



Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.


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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
- (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
- (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.


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2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

Deed of Agreement

Doc ID 1115801193/v1



Page 6

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.



8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.



8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

AX3857695


Cardinia

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Date Prepared: 13 May 2026

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Schedule

Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.



Secretary

AX385


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Executed as a deed

Signed, sealed and delivered as a deed by
the parties



Deed of Agreement

Doc ID 1115801193/vr1


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Schedule 1

Building Envelope Plan

AX385769J



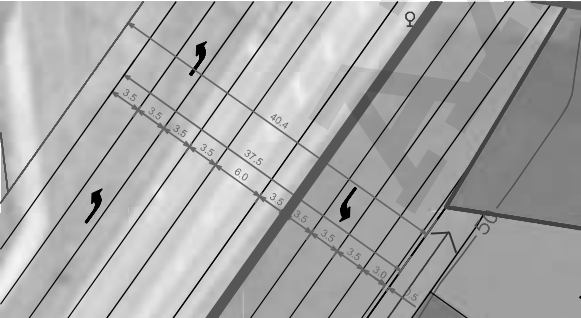
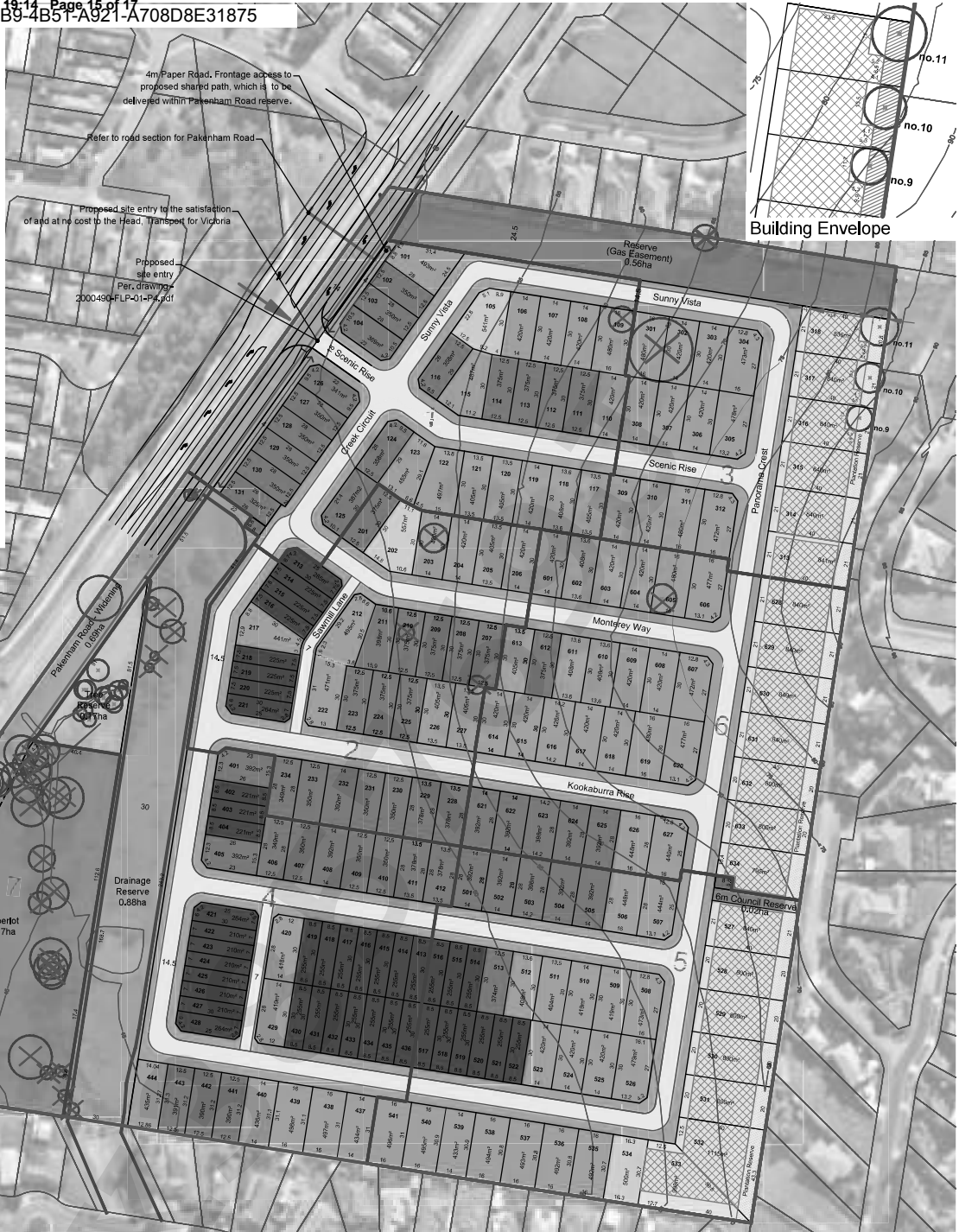
ADVERTISED MATERIAL

Planning Application: T260200

Date Prepared: 13 May 2026

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- LEGEND**
- Title boundary (approx.)
 - Pedestrian path
 - Shared path
 - Stage boundary
 - Stage numbers
 - Entry point
 - Existing contours (5m interval)
 - Lots
 - Substation kiosk
 - Superlot
 - Pakenham road widening
 - Naturestrip (indicative)
 - Road pavement (indicative)
 - Reserve (Council easement)
 - Tree reserve
 - Drainage reserve
 - Plantation Reserve (back of lot) - 7m
 - Turning direction
 - Trees & TPZ - via EcoLink
 - Trees to be removed
 - 4m Paper Road
 - Building Envelope



Pakenham Road - Cross Section

- Notes:**
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final computations.
 - The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to final detail design and Council approval.
 - All roads are 16m local access level 1 unless noted otherwise.
 - Road pavement is indicative only and subject to detailed engineering design.
 - Arc dimensions shown are length of arc (not chord).

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ADVERTISED MATERIAL does not include superlot

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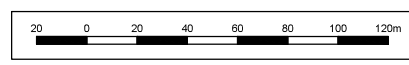
Stage	Number of lots
Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

* Stage includes 1 Superlot

Lot Size	Number of Lots	%
0-299m ²	42	20.8
300-399m ²	56	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9
Total	202	100

Site (Approx.)	Area
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

* Indicates inclusion in NDA



BW Beveridge Williams

1 Glenferrie Road, Malvern, Victoria 3144
 ph: 03 9524 8888 - www.beveridgewilliams.com.au

110 Pakenham Road, Pakenham
 BNG Group

Delivered from the LANDATA® System by PSI Global Pty Ltd at 06 Jan 2026

Version	Date	Description	Drafted	Approved
12	01/04/2021	Pakenham road layout	KT	KT
13	02/01/2021	Added building envelopes	KT	KT
14	01/01/2021	Updated road and staging boundary	KT	KT
15	01/01/2022	Updated staging boundary	KT	KT
16	01/01/2022	Updated lot numbers, building envelope and tables	OX	KT

Date: 01.09.2022
 Version No: **16**
 Job No: 2000490
 Scale (A1): 1:1000
 (A3): 1:2000

K:\UOB\DATA\2000490 - 110 PAKENHAM ROAD\LOCAL\2000490_LPL_BASE\DWG

Schedule 2

Vegetation Plan

AX385769J



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LEGEND

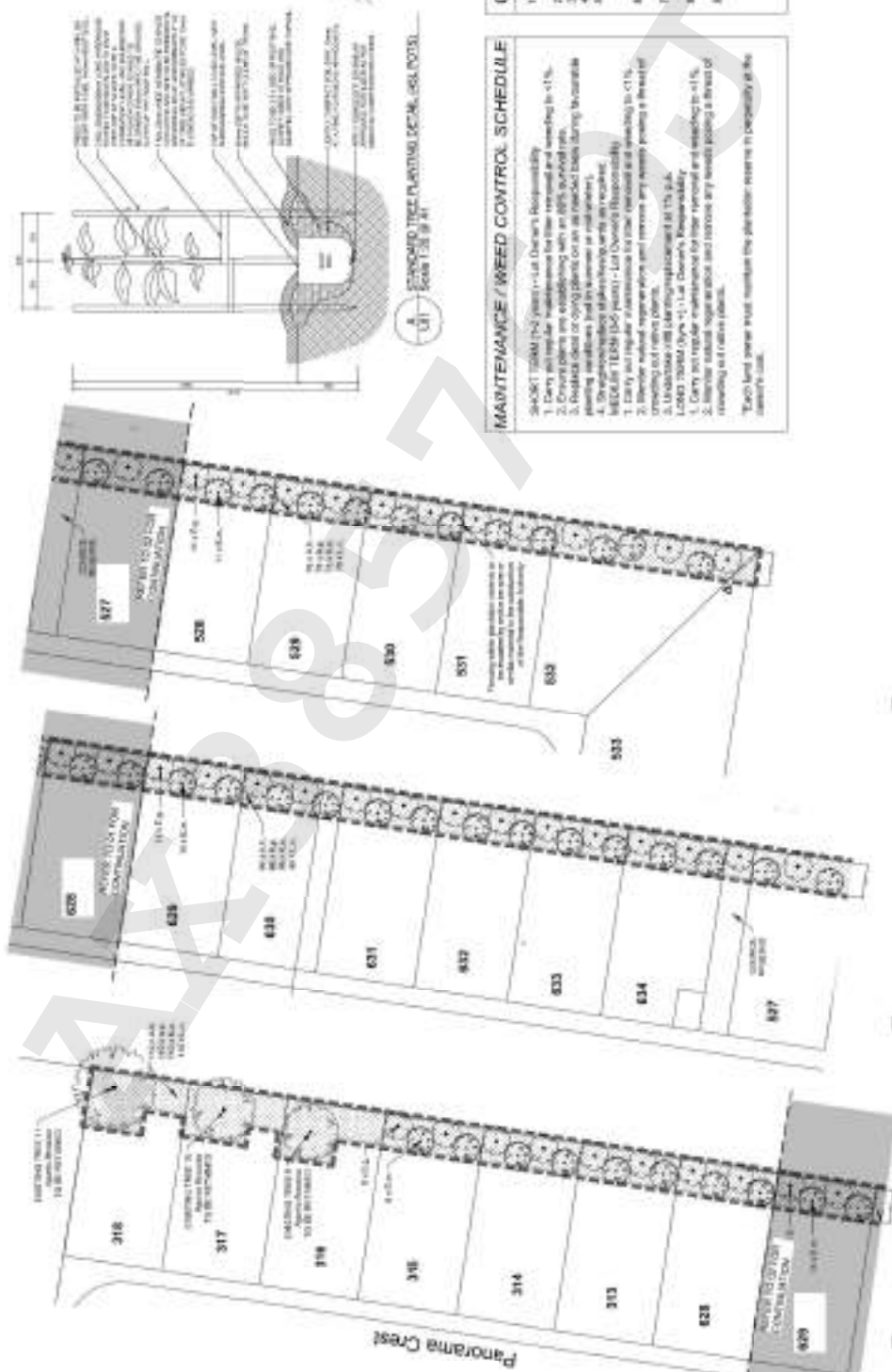
[Symbol]	EXISTING VEGETATION
[Symbol]	PROPOSED VEGETATION
[Symbol]	PROPOSED PLANTING
[Symbol]	PROPOSED PLANTING (SCALE 1:500 @ A1)
[Symbol]	PROPOSED PLANTING (SCALE 1:500 @ A1)
[Symbol]	PROPOSED PLANTING (SCALE 1:500 @ A1)
[Symbol]	PROPOSED PLANTING (SCALE 1:500 @ A1)
[Symbol]	PROPOSED PLANTING (SCALE 1:500 @ A1)
[Symbol]	PROPOSED PLANTING (SCALE 1:500 @ A1)
[Symbol]	PROPOSED PLANTING (SCALE 1:500 @ A1)

EXISTING VEGETATION

NO.	SP. NAME	HEIGHT	WIDTH	STATUS
1
2
3
4
5
6
7
8
9
10

PROPOSED VEGETATION

NO.	SP. NAME	HEIGHT	WIDTH	STATUS
1
2
3
4
5
6
7
8
9
10



MAINTENANCE / WEED CONTROL SCHEDULE

SCALE: 1:500 @ A1

1. Carry out regular maintenance for their removal and weeding to 41%.
2. Control plants and seedlings with an 80% survival rate.
3. Regular check on dying plants on an all planted beds during the control planting schedule to be in compliance with the guidelines.
4. The responsibility of maintenance will be on the contractor.

LEGULI TERNI (50 plants) - Lot 320 (Responsibility)

1. Carry out regular maintenance for their removal and weeding to 41%.
2. Control plants and seedlings with an 80% survival rate.
3. Regular check on dying plants on an all planted beds during the control planting schedule to be in compliance with the guidelines.
4. The responsibility of maintenance will be on the contractor.

LEGULI TERNI (50 plants) - Lot 320 (Responsibility)

1. Carry out regular maintenance for their removal and weeding to 41%.
2. Control plants and seedlings with an 80% survival rate.
3. Regular check on dying plants on an all planted beds during the control planting schedule to be in compliance with the guidelines.
4. The responsibility of maintenance will be on the contractor.

Each lot owner must maintain the plantation reserve in compliance with the schedule.

GENERAL NOTES

1. The Contractor must verify all dimensions on site and immediately report any discrepancies to the Project Manager.
2. The site is to be retained at all levels and boundary values.
3. All roads are to be 10m wide and 100mm deep.
4. The Contractor must verify all plant quantities prior to planting.
5. All plant species must be in line with the Council's Planting Schedule.
6. All plant species must be checked by the Contractor and must be healthy and free from any diseases or pests.
7. Planting must be undertaken in accordance with Council's Planting Schedule, as per the planting details.
8. Supply and install 20mm diameter stone mulch around the plants to a depth of 100mm and 100mm apart from the plants.
9. The Contractor must ensure that all plants are protected from any damage and an adequate supply of water is available for plants.

FOR APPROVAL

Scale: 1:500 @ A1

Project: The Rise - Pakenham
Site: Plantation Reserve Landscape Plan
Client: BNG Group

Scale: 1:500 @ A1

Author: Beveridge Williams
Project No.: 2000450-01 L01 B
Date: 13/05/2026

North Arrow



Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	PS912235M
Number of Pages (excluding this cover sheet)	4
Document Assembled	06/01/2026 19:14

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Date Prepared: 13 May 2026

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PLAN OF SUBDIVISION	EDITION 1	PS912235M
---------------------	-----------	-----------

<p>LOCATION OF LAND</p> <p>PARISH: MAR NAR GOON TOWNSHIP: PAKENHAM SECTION: —</p> <p>CROWN ALLOTMENT: 32(PT), 33(PT) & 34(PT)</p> <p>TITLE REFERENCE: VOL 12650 FOL 76E</p> <p>LAST PLAN REFERENCE: PS92178N (LOT G)</p> <p>POSTAL ADDRESS: 1DB PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810</p> <p>MGA CO-ORDINATES: E: 396 430 ZONE 55 (of approx centre of lot or plan) N: 5 755 330 GDA 2020</p>	<p>Ground Name: GARDNER SHIRE COUNCIL</p> <p>Council Reference Number: PS2-029 Planning Permit Reference: T160592 SPEAR Reference Number: S210520P</p> <p>Classification</p> <p>The plan is controlled under section 117 of the Subdivided Land Act 1988 Date of original classification under section 6 of the Subdivided Land Act 1988: 11/01/2024</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivided Land Act 1988 has been made but the requirement has not been satisfied in Compliance</p> <p>Digitally signed by Sara Higgins for Landata and Co. on 04/12/2025</p> <p>Statement of Compliance issued 12/12/2023</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivided Land Act 1988 has been made but the requirement has not been satisfied in Compliance</p>
---	--

VESTING OF ROADS AND/OR RESERVES	NOTATIONS
----------------------------------	-----------

COUNCIL	COUNCIL/SHIRE/PERSON	<p>LOTS 1 TO 300 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN</p> <p>LOTS IN THIS PLAN MAY BE AFFECTED BY OTHER MORTGAGE RESTRICTIONS FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITTING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET A</p> <p>OTHER PURPOSE OF PLAN. TO REMOVE THAT PART OF THE SEWERAGE EASEMENT CREATED AS PART OF PS46474 WHICH IS CONTAINED WITHIN SUNNY 9516 IN THIS PLAN</p> <p>GROUND FOR REMOVAL OF EASEMENT EASEMENT FROM ALL IN LISTED PARTS OF SECTION 8 OF SUBDIVISION ACT 1988</p>
ROAD (P) RESERVE (No.)	CARDINIA SHIRE COUNCIL CARDINIA SHIRE COUNCIL	

NOTATIONS	
-----------	--

DEPTH LIMITATION: DOES NOT APPLY

This is a SPLAT plan

STAGING:
 This is not a staged subdivision.
 Planning Permit No. T160592

SURVEY:
 This survey is based on survey
 This survey has been submitted to the Landata Survey Maps #5: 199, 215, 265, 286, 297, 299, 319, 323, 354, 355, 357, 374, 375

Cardinia

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 Date Prepared: 13 May 2026

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EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement; E - Encumbering Easement; R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/To Benefit Of
E 1 - E 4	PIPELINE	20.00	INS 001/2428	WILLIAMS PIPELINES CORPORATION
E 2	DRAINAGE	SEE DIAG	PS605144W	CARDINIA SHIRE COUNCIL
E 3	SEWERAGE	SEE DIAG	PS648343W	SOUTH EAST WATER CORPORATION
E 4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	PS648343W	SOUTH EAST WATER CORPORATION
E 5 - E 7	SEWERAGE	SEE DIAG	PS902144W	SOUTH EAST WATER CORPORATION
E 8 - E 7	DRAINAGE	SEE DIAG	PS902144W	CARDINIA SHIRE COUNCIL
E 9	SEWERAGE	SEE DIAG	THE PLAN	SOUTHEAST WATER CORPORATION
E 8 - E 9	DRAINAGE	SEE DIAG	THE PLAN	CARDINIA SHIRE COUNCIL

<p>Beveridge Williams development & environment consultants Melbourne on 03 9524 6688 www.beveridgewilliams.com.au</p>	<p>SURVEYORS FILE REF: 2000490/35 2000490/04 PLAN DRAWG</p> <p>Digitally signed by ADF AN JAMES FREEMAN, General Manager, Surveyors File ref: 03/12/2025 SPEAR Ref: S210520P</p>	<p>CARDINIA SHIRE COUNCIL SHEET 43</p>	<p>SHEET 1 OF 4</p> <p>Land Use Value Plan Registered 24/01/2025 06/01/2026 Assessor: Benjamin J. Taylor</p>
--	---	---	---

PS912235M

PAKENHAM ROAD

RES No.1 E-1

RESERVE No.1 5559m²

DIAGRAM B NOT TO SCALE

DIAGRAM A NOT TO SCALE

PAKENHAM ROAD

ROAD

PAKENHAM ROAD

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8.956ha

SEE DIAGRAM E ON SHEET 3

TERRACE

KOOKABURRA RISE

DIAGRAM C NOT TO SCALE

DIAGRAM D NOT TO SCALE

MGA2020 ZONE 55

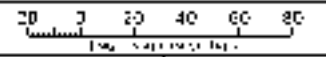


Beveridge Williams
development & environment consultants

Melbourne office 03 9524 6888

www.beveridge-williams.com.au

SURVEYORS REF 211004911/0/5 SCALE 1:2000



ORIGINAL SHEET SIZE: A5

SHEET 3

Digitally signed by ADF AN JAMES FREEMAN, Licensed Surveyor
 Signature: Plan 200200
 02 10 2025 09:48:09 +10:00

Digitally signed by
 Landata (Pty) Limited
 04 10 2025
 09:48:09 +10:00

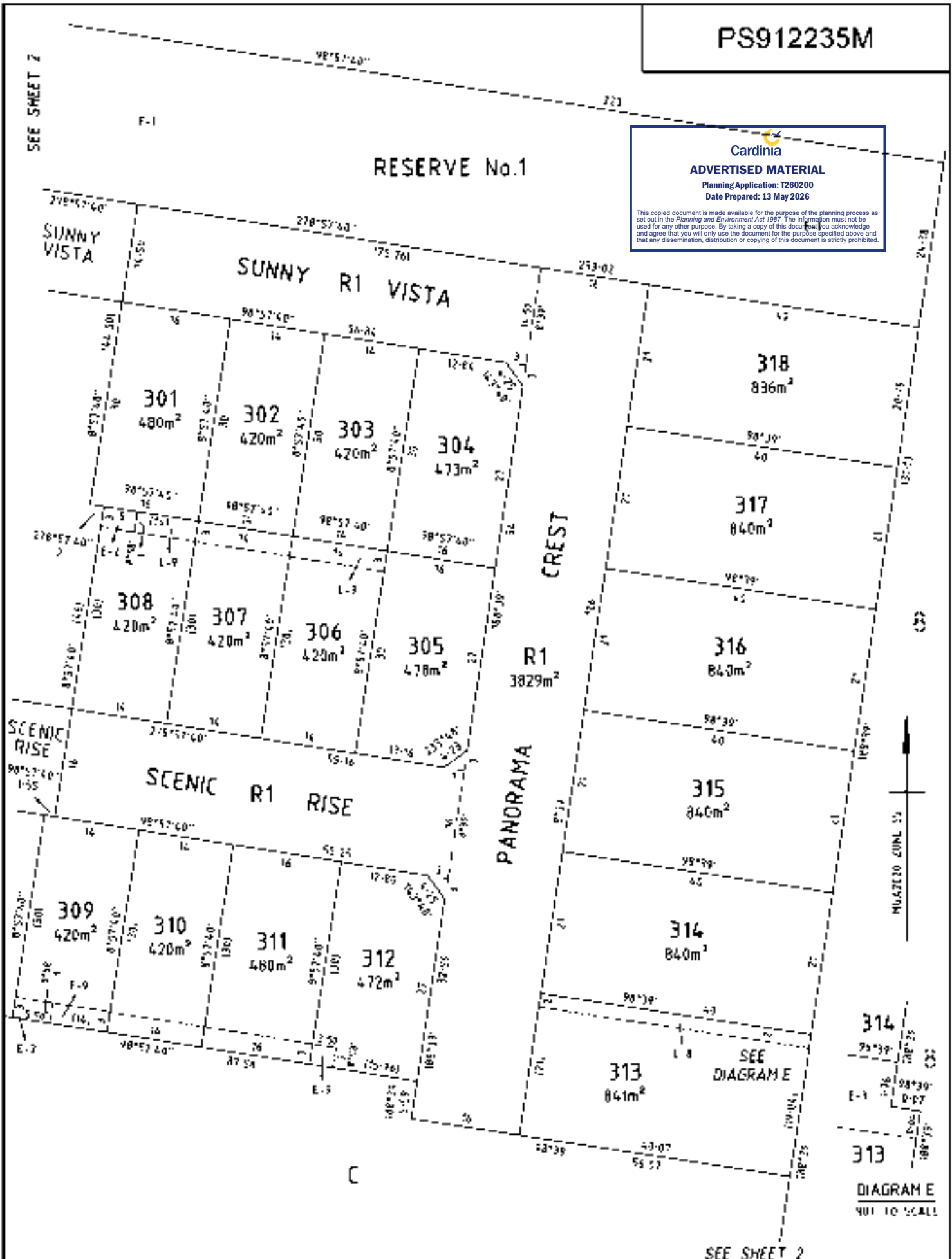
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RESERVE No.1



BW Beveridge Williams
development & environmental consultants
Melbourne ph: 03 9524 6888
www.beveridgewilliams.com.au

SURVEYORS REF 2010/0411/0/3	SCALE 1:500	5 10 15 20 METRES	ORIGINAL STILL SIZE A3	SHEET 5
Digitally signed by ADF AN JAMES FREEMAN, Licensed Surveyor Surrey's Planning Unit 03 10 3025 SPEAR Pt 321700P		Digitally signed by Cardina Planning Unit 04 10 2025 SPEAR Pt 321025P		

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE PURPOSE OF THE RESTRICTION BE WITH AND BENEFIT THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEELED TO AND RUNS WITH THE BENEFITED LAND

LAND TO BENEFIT & TYPE BURDENED

BURDENED LAND: LOTS 301 TO 314 (BOTH INCLUSIVE)
BENEFITED LAND: LOTS 315 TO 318 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETORS OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT OF THE FLAG OF SUBDIVISION SHALL NOT

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE BUILDING OR STRUCTURE AS APPLICABLE FROM TIME TO TIME

A COPY OF THE DESIGN SUBMISSIONS AND FEEDBACK FROM THE DESIGN ASSESSMENT PANEL IS AVAILABLE TO THE PUBLIC AT: <http://www.landata.com.au>

- (2) CONSTRUCTION OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO
 - (a) CITY OF BUILDING PLANS, CITY OF BUILDING PLANS, CITY PLANS (INCLUDING SUBSTITUTIONS TO EXISTING CONDITIONS, PRESCRIBED FINISHES, LEVELS AND SITE LEVELS), ALL TYPED: CONVEYANCES AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS (AND MATERIALS) WITH THE DESIGN PANEL AT THE DESIGN ASSESSMENT PANEL (THE DESIGN ASSESSMENT PANEL) FROM TIME TO TIME.
 - (b) THE DESIGN ASSESSMENT PANEL FOR THE DESIGN ASSESSMENT PANEL (THE DESIGN ASSESSMENT PANEL) FROM TIME TO TIME (AND SIGNIFY WRITING APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS)

VARIATION

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL

EXPIRE

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 OR A SIMILAR PROVISION IN ANY OTHER ACT OR BY-LAW IN FORCE ON THIS PLAN
- (ii) 31 DECEMBER 2025

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE PURPOSE OF THE RESTRICTION BE WITH AND BENEFIT THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEELED TO AND RUNS WITH THE BENEFITED LAND

LAND TO BENEFIT & TYPE BURDENED

BURDENED LAND: LOTS 301 TO 314 (BOTH INCLUSIVE)
BENEFITED LAND: LOTS 315 TO 318 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETORS OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT OF THE FLAG OF SUBDIVISION SHALL NOT

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE BUILDING OR STRUCTURE


EXPIRE

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 OR A SIMILAR PROVISION IN ANY OTHER ACT OR BY-LAW IN FORCE ON THIS PLAN
- (ii) 31 DECEMBER 2025


Cardinia
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	Digitally signed by ADF AN JAMES FREEMAN, DN: cn=James Freeman, o=Surveyors Planning Pty Ltd, ou=03 10 3025 SPEAR Pt 321700P		Digitally signed by Landata Pty Ltd, DN: cn=Landata Pty Ltd, ou=03 10 3025 SPEAR Pt 321700P	

Planning Report

18 Scenic Rise,
Pakenham

Client

Beachwood Homes

Issued

25/03/2026



ADVERTISED MATERIAL

Planning Application: T260200

Date Prepared: 13 May 2026

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Beveridge Williams

Client: Beachwood Homes
 Issued: 25/03/2026
 Version: 1
 Prepared by: JG
 Checked by: AB
 Project Manager: AB
 Project Number: 2500763

Surveying
 Asset Recording
 Civil Engineering
 Infrastructure Engineering
 Traffic & Transport Engineering
 Environmental Consulting
 Water Resource Engineering
 Strata Certification (NSW)
Town Planning
 Urban Design
 Landscape Architecture
 Project Management



Revision Table

REV	DESCRIPTION	DATE	AUTHORISED
1	Planning Application	25/03/2025	AB

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2. THE SITE AND SURROUNDS	4
3. PROPOSAL	6
4. PLANNING CONTROLS	6
5. CONCLUSION	10


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1. INTRODUCTION

Beveridge Williams is pleased to submit this application on behalf of the landowner at 18 Scenic Rise, Pakenham (Lot 309, PS912235M). The application seeks approval for a single dwelling with boundary fencing to be constructed on the land pursuant to the Environmental Significance Overlay - Schedule 5 (Pakenham North Ridge).

The land is also in a General Residential Zone - Schedule 1 and subject to the Developer Contributions Plan Overlay - Schedule 1. However, neither of these controls triggers the need for a planning permit.

The site is a newly created vacant parcel within Stage 3 of The Rise Estate (previously known as 110 Pakenham Road, Pakenham). The subdivision of the land has been subject to a thorough assessment process which commenced in 2017 with the granting of a permit. Titles in Stages 1, 2, 3 have been released. Stages 4, 5 and 6 are expected to commence construction soon.

This report concludes that the dwelling design is consistent with the intent of the Environmental Significance Overlay - Schedule 5 (Pakenham North Ridge), noting most objectives under the overlay have already been resolved through the subdivision.

2. THE SITE AND SURROUNDS

Planning Permit T18 0690 was issued on 19 December 2017 for:

Staged subdivision of the land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans

The permit's approval followed the consideration of a number of detailed specialist reports, including:

- A Highest and Best Use Assessment (Essential Economics, May 2018)
- A Biodiversity Assessment (Ecolink, October 2018) with a separate detail flora and fauna surveyed conducted.
- An Arborist Report (Bluegum, July 2018)
- A Drainage Strategy and Slope Analysis (Taylors, July 2018)
- Geotechnical Reports (Atma Environmental, February 2017 and A.S. James Pty Ltd, March 2018)
- A Traffic Engineering Assessment (Traffix Group, October 2018).
- A CHMP (No. 14643)

The subdivision has proceeded subject to some relatively minor revisions to the original masterplan via the planning process and Council's approval of Functional Layout Plans and Detailed Engineering Drawing.

The current approved masterplan (Version 21, approved 19 November 2024) shows 6 stages and a total of 203 lots. Stages 1 and 2 were completed in late 2024 and provided for 65 residential lots that vary in size between 225sqm and 550sqm over the lower slopes of the estate. Stage 3 has recently been released and cover the middle and higher slopes east of Stage 1.

To facilitate the completion of the subdivision, the following actions under the subdivision permit have occurred:

- A Section 173 Agreement has been registered on the parent title, introducing building envelopes and landscape requirements on elevated lots in Stages 3, 5 and 6 (Condition 41).
- Vegetation offsets have been secured (Condition 37),
- Developer contributions have been paid (Condition 27),
- Open space contributions have been paid (Condition 26)
- Dwelling Design Guidelines and building envelopes have been approved by Council (Condition 6), and implemented via a restriction on title. Except for the small lots below 300sq, new lots in Stage 1 and Stage 2 are subject to building envelopes.
- The intersection at the entrance to the estate off Pakenham Road has been constructed.
- The land has been cleared of vegetation, re-graded, with retaining walls and fences constructed within Stages 1, 2, 3 and 4. Roads, footpaths and services are in place.

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Planning Application: T260200
Date Prepared: 13 May 2026



Figure 1 – The Rise Estate, January 2026 (the red star shows the location of 18 Scenic Rise)

The site is located on the south side of Scenic Rise and 420sqm, with a frontage to Scenic Rise of 14m and a depth of 30m. The site survey shows the land is subject to cross fall of approximately 1.6m (from RL9.8 at the base of the retaining wall along the east boundary to RL8.2 at the top of the retaining wall along the west boundary). There is some additional fall in the north-west corner. The concrete sleeper retaining walls that surround the site have a maximum height of 1.2m.

Covenant PS912235M requires the development of dwellings in accordance with The Rise (Pakenham) Estate Design Guidelines. The building envelope, which forms part of this restriction on Lot 309, shows any building must have a 4m setback to Scenic Rise and a 3m setback from the rear (southern) boundary.

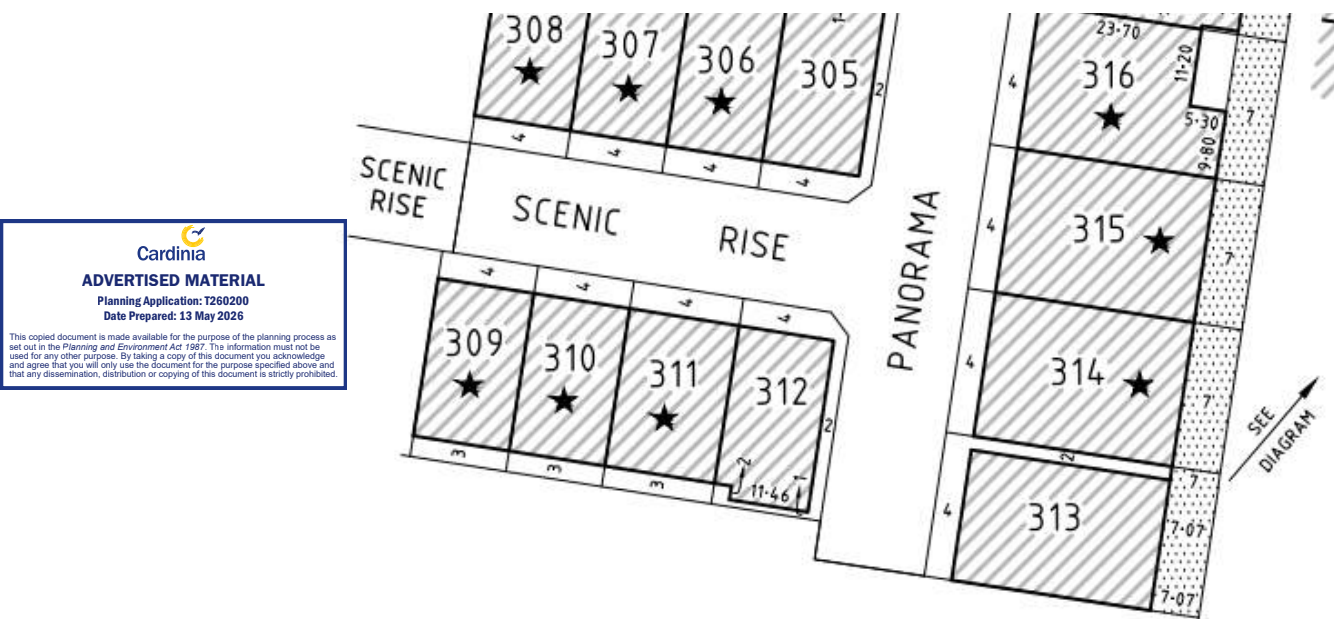


Figure 2 - Building Envelopes

The surrounding lots are currently vacant. They vary ever so slightly in size and follow the same contour profile as the land rises relatively consistently. Land to the west of the subject site was created in Stage 2. A two-storey dwelling has been approved on this lot (No. 16 Scenic Rise, Lot 117, PS848743W).

3. PROPOSAL

It is proposed to construct a double storey dwelling on the subject site. The dwelling will be setback 4.96 metres from Scenic Rise, with the front porch representing the most forward-protruding built form element at a setback of 4.12 metres. The rear setback is 5.040 metres, and the garage is to be constructed along the western boundary. The design has been carefully tailored to respond to the natural slope of the site, with the ground level elevated at the front and lowered toward the rear to address the varying terrain levels. The proposed Finished Floor Level of the dwelling is 68.585 metres to AHD.

The proposal includes the construction of 1.8 metre high timber paling fencing along the side and rear boundaries, integrated with the existing retaining walls to manage level differences.

The dwelling features a exposed brickwork at ground level (tan colour) with rendered base board at first floor (cream and clay colour) to the façade, complemented by a pitched gable roof finished in Colorbond (monument). The ground floor includes open-plan living and meals areas, a private lounge, one bedroom (possible study), and a laundry, while the first floor accommodates four bedrooms and a rumpus room. The overall height of the dwelling is 8.271 metres.

The dwelling is shown on Beachwood Homes plans Ref:11462, Issue G, dated 18/03/2026.

4. PLANNING CONTROLS

The land is subject to the **General Residential Zone, Schedule 1**. A planning permit is not required under this control as the lot area exceeds 300sqm.

The land is subject to **Development Contribution Plan Overlay, Schedule 1**. A development contribution has been paid pursuant to Planning Permit T18 0690 when the land was subdivided. There are no permit triggers or requirements associated with constructing a single dwelling.

The land is within the **Environmental Significance Overlay, Schedule 4 (ESO4)** which applies to Pakenham North Ridge. Planning permission is required under this overlay to subdivide land, remove vegetation, construct a building or construct or carry out works, and construct a fence.

This application seeks the construction of a dwelling and boundary fencing. We note planning permission has already been granted for both subdivision of the land and the removal of vegetation. In each of these instances, the ESO4 was considered.




ADVERTISED MATERIAL
Planning Application: T260200
Date Prepared: 13 May 2026

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Figure 3 – The extent of ESO4

The purpose of the ESO is:

- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.



Figure 4 – The 'Pakenham North Ridge' prior to subdivision occurring (in 2015)

Schedule 4 outlines the following Statement of Significance:

*The Pakenham ridge has regional significance for biodiversity. It makes a substantial contribution to biodiversity in the Gippsland Plain Bioregion as well as the Pakenham area. The area has remnants of Grassy Forest, an ecosystem that is vulnerable in the area. The Cobra Greenhood Orchid (*Pterostylis grandiflora*) which is of state significance, and the Green Scentbark (*Eucalyptus fulgens*) which is of state/national significance, are found in the area.*

The area is characterised by a geology of Devonian Granitic and Silurian Sediment origin, moderate to steep slopes, and areas of remnant vegetation. These characteristics contribute to environmental values including landscape quality, water quality, and habitat of botanical and zoological significance. These characteristics are also a significant factor contributing to environmental hazards such as erosion, salinity and fire risk, and susceptibility to visual intrusion from buildings and works.

The Environmental Objectives to be met under the Overlay are:

- To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.
- To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.
- To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.
- To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.
- To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors.

The ecology and biodiversity of the Pakenham North Ridge were considered as part of the subdivision approval. Permission was granted to remove most of the vegetation from the parent title. The land has since been graded and reformed to provide roads, services and flat ground for dwelling construction using retaining walls and fill in accordance with geotechnical assessments and detailed engineering plans. Matters such as water runoff, erosion and bushfire risk were also addressed during the subdivision process and managed through the construction of the estate.


Cardinia
ADVERTISED MATERIAL
Planning Application: 1260200
Date Prepared: 13 May 2026

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Some land within The Rise Estate is steep and elevated above the valley floor. Building envelopes and a 7m wide plantation reserve are implemented through a Section 173 Agreement on elevated lots in Stages 3, 5 and 6. However, for the main, the land gently rises to the east and the long boundary of lots in the estate generally follows the north-south contour lines to minimise the height of retaining walls along the side and rear boundaries and allow the dwelling to step-up the slope.

The subject site is situated on moderately level terrain with most slope-related constraints managed via retaining walls constructed through the subdivision. The underlying considerations for a new dwelling and fencing are limited under this control, as the primary objective of protecting biodiversity is not relevant to individual lots that have been graded and regraded as part of the subdivision.

In response to the other considerations, the proposed dwelling scales, through its height and massing, in a manner that will not impact the ridge or skyline. In time, the dwelling will be viewed with a roof profile that is slightly higher than the built form to the west (dwellings constructed at a lower elevation) and slightly lower than the built form to the east (dwellings constructed at a higher elevation). Eventually, the dwelling will represent just one roof profile in a sea of other roofs that step-up the hillside. This stepping up of built form is most evident to the north of the site in the neighbouring estate where more construction activity has already occurred (see Figure 5).



Figure 5 – Dwellings stepping-up the hillside in Serene Court.

The proposed construction materials consist of exposed brick combined with rendered brick and a dark blue Colourbond roof. These materials are non-reflective and harmonise with the natural landscape, as well as the existing buildings within the ESO4 area.

The proposed dwelling, indicated by the red star in Figure 6, will not obstruct views of native vegetation, natural landforms, or the ridge.



Figure 7 – The Rise Estate under construction (Google Streetview)

The relatively low site coverage of the proposed dwelling (at 44.6%) provides appropriate space for landscaping to enhance the landscaped character of the area.

Lastly, the proposed lapped and capped timber paling fences along the side and rear boundaries accords with the requirements of The Rise (Pakenham) Estate Design Guidelines.


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The following table is a consideration of the ESO objectives:

Objectives of ESO4

Response to Objectives

To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.

It was considered that the subdivision reasonably achieved this outcome when the permit was granted.

To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.

The siting and design of the dwelling will have no adverse impact on the environmental or landscape value of the surrounds. The subdivision has achieved vacant lots that step-up the hillside with retaining walls to manage the slope and potential for unreasonable visual impacts. The site is relatively flat and removed from the steeper area of the subdivision to the northeast. The dwelling will have no impact on the ridge or the natural landform either in the short-term, or when surrounded by other new dwellings.

The proposed dwelling will not impact remnant vegetation or habitat as the land has been cleared and re-graded.

To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.

The siting and design of the dwelling respond to environmental 'hazards'.

The tiering of the land through the subdivision using retaining walls and fill was completed to accommodate traditional 'slab' construction of dwellings in accordance with the geotechnical reports provided at the time. The proposed dwelling is constructed on a slab, through requiring a modest depth cut (600mm) on the eastern side, with the soil places on the western side of the dwelling and particularly in the front western corner where the land falls away most significantly. The 'fill' is not visible as it is held back and obscured by the western wall of the dwelling.

The subdivision was designed with underground drainage solutions to avoid erosion.

The site is not in a bushfire prone area or subject to policy consideration in Clause 13.02 of the Cardinia Planning Scheme. The subdivision was designed with a road layout providing appropriate fire vehicle access and hydrants.

To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.

The low site coverage allows for suitable landscaping that aligns with the Pakenham North Ridge landscape, as shown in the submitted landscape plan.

To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors.

The site is not within an area of high conservation value and does not form part of a wildlife habitat or corridor.



The objectives and decision guidelines of ESO4 do not require general consideration of neighborhood character beyond the environmental objectives outlined in the Overlay. However, Council can take comfort that the proposed dwelling has been considered against The Rise Estate Design Guidelines that Council required through the planning permit for subdivision and the proposed dwelling has achieved compliance (refer to Design Assessment Panel plans dated 05/06/2025).

The proposed dwelling is setback from Scenic Rise and is appropriately positioned within the designated building envelope. The floor slab has been constructed at a midpoint of the topography to minimise earthworks. The only visible earthworks are associated with a 600mm high retaining wall and batter on the western side of the dwelling which provides for a level driveway and level pathway at the rear of the garage along the eastern wall of the dwelling. The walls of the dwelling obscures the fill.

The dwelling's garage is proposed on the correct side of the dwelling to utilise the constructed vehicle crossing and is setback behind the dwelling's front facade. There is a street tree immediately in front of the site which will need to be maintained during construction.

The objectives and decision guidelines of ESO4 do not require general consideration of amenity impacts. This will be considered by the relevant building surveyor.

The Planning Policy Framework has been considered in respect to the permit trigger, but no policy is considered to help aid the application of discretion provided through ESO4. Decision Guidelines at Clause 65.01 have also been considered in relation to the discretion provided through ESO4.

The proposal therefore accords with the ESO4 objectives and decision guidelines. The development is compatible with identified environmental values as required by the Environmental Significance Overlay.

5. CONCLUSION

The site does not exhibit the biodiversity values intended to be protected and enhanced under ESO4. Consideration has been given to the broader landscape impacts of the proposed development. The proposed dwelling is a typical development within the context of a residential subdivision and meets design outcomes as set out in the relevant Estate design guidelines, including its scale, massing and construction materials and will not have an adverse impact on the hillside topography or ridgeline to the north and east of the site. As such, a planning permit should be granted under the provisions of the ESO4.



Principal Planner


Cardinia
ADVERTISED MATERIAL
Planning Application: T260200
Date Prepared: 13 May 2026

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SITE ASSESSMENT

Date : 16/01/2026 **Job Number** : 101042
Site : LOT 309 (NO.18) SCENIC RISE PAKENHAM
Municipality : Cardinia **Mel. Ref** : 317 C3

Is re-establishment survey required? : No
Subdivision : Recent
Existing Pegs : Yes
Site levels : Settled
Any trees on site : No
Services : Completed
Gas : Check Availability
Sewer : Yes
Electricity : Underground
Water : Yes **Tapping** : No
Watermain :
Discharge Point : Yes **Front**
Surrounding development : None
Neighbouring blocks have trees : No
Road : Built
Type : Bitumen
Footpath : Yes **Condition** : ok
Kerb and channel : Yes
Crossing Provision : Yes



Comments:

Note:

The information described above is based on a visual assessment and must be used as a guide only. Before drafting, quoting and construction, the builder is to confirm that all site features described above are true and correct. Property service information must be obtained from the relevant authorities. Buratt-Taylor will not be liable for any discrepancy. Discrepancies must be referred to this office prior to quoting and construction.

NOTE :

This survey is not a re-establishment survey of title and/or features.
 Property boundaries are unfenced unless noted otherwise.
 Trees under 3m high unless noted otherwise.
 Only adjacent features to 5m located.
 Windows are shown as habitable / non habitable, otherwise unknown and must be confirmed by the builder prior to construction.
 The locations of driveways, surface pits, valve covers, upright pipes, etc. shown on this feature survey must be checked prior to construction. No direct knowledge is claimed of the location of underground services.
 Before any excavation or construction commences, all underground services must be located to avoid damage.
 Levels to AUSTRALIAN HEIGHT DATUM (A.H.D.) are to be confirmed independently before any site works to ensure they are correct.
 This feature survey has not been conducted by a licenced surveyor and if there is a specific requirement then an independent licenced surveyor must be engaged to conduct the feature survey.
 Proposed finished garage level is to be confirmed by the builder and contractor during earthworks to ensure a minimum driveway grade is achieved in accordance with the relevant authorities and Australian standards for vehicle access.
 The location and Invert level (IL) of the assumed Legal Point of Discharge (LPOD) is to be confirmed by the builder/contractor prior to quoting, design and construction. Buratt-Taylor will not be liable if different to that shown.
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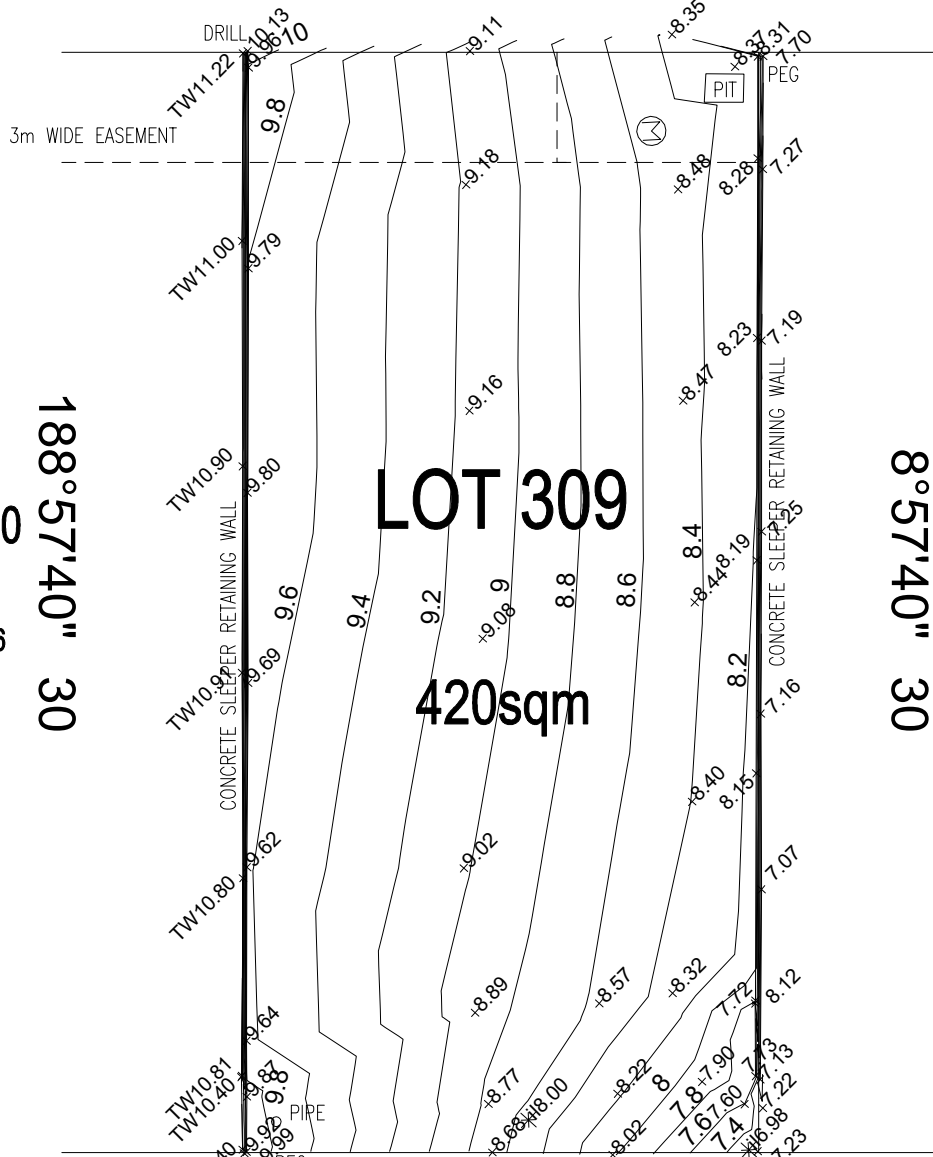
VACANT
 16-01-2026

278°57'40" 14

Cardinia
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 Planning Application: T260200
 Date Prepared: 13 May 2026

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LOT 310
 VACANT
 10-01-2026
 188°57'40" 30



LOT 117
 VACANT
 16-01-2026
 8°57'40" 30

T.B.M.
 CENTER ELECTRICITY PIT
 R.L. 10.00m

98°57'40" 14 SCENIC RISE

ACN 670 261 828
 PTY. LTD. TRADING
 AS BURATT-TAYLOR

LEGEND			
	ELECT. PIT		COMMUNICATIONS PIT
	ELEC. POLE		TREE
	STREET LAMP		WATER METER
	STREET SIGN		STORM WATER PIT
	SEWER MANHOLE		WATER HYDRANT
	S/W PROPERTY INLET		SEWER VENT / I.S.
	GAS METER		WINDOW
	WATER VALVE		TEMPORARY BENCHMARK (T.B.M.)
	GRADED PIT		

PLAN OF FEATURE SURVEY & LEVELS
 CONTOUR INTERVAL 0.2m

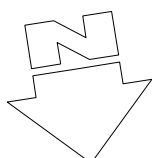
LOT 309 (No.18) SCENIC RISE
 PAKENHAM
 LEVELS ARE TO AN ARBITRARY DATUM

JOB NUMBER:
 101042
 SURVEYED: 16.01.2026
 DRAWN BY: N.N.

Buratt-Taylor
 consulting engineers

SOIL TESTING
 FOOTING DESIGN
 STRUCTURAL DESIGN
 SITE INVESTIGATION

1st Floor, 66-82 Jackson Court, Doncaster East 3108
 T: (03) 8366 8888 E: info@buratt-taylor.com.au W: www.buratt-taylor.com.au



Our Reference: 2000490

12 March 2026

Applicant [REDACTED]
Company/Builder: Beachwood Homes Pty Ltd
Email: permits@beachwood-homes.com.au


ADVERTISED MATERIAL
Planning Application: T260200
Date Prepared: 13 May 2026

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ACN 006 197 235
ABN 38 006 197 235

Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

beveridgewilliams.com.au

Dear Sir/Madam,

**RE: Lot 309 Scenic Rise, Pakenham
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. **Please refer to any other conditions notated on the plans and ensure they are suitably addressed.**

Please note;

- All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.
- Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.
- Any lot under 300m² in size, requires a planning permit for being under 300m² in addition to the ESO planning permit. Front setbacks less than 4m are subject to further council approval.
- If you require planning services or further information, please contact Andrea Bouilly bouillya@bevwill.com.au or on 0407 050 624
- There are no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.
- Due to planning permit requirements, Gas appliances may not be able to be installed, further Council clarification is required.

Should you have any queries, please contact the undersigned on 9524 8888 or via email planlodgement@bevwill.com.au All new submissions, re-submissions, amendment submissions or supplemental submissions, please use www.portal.beveridgewilliams.com.au

Kind Regards,


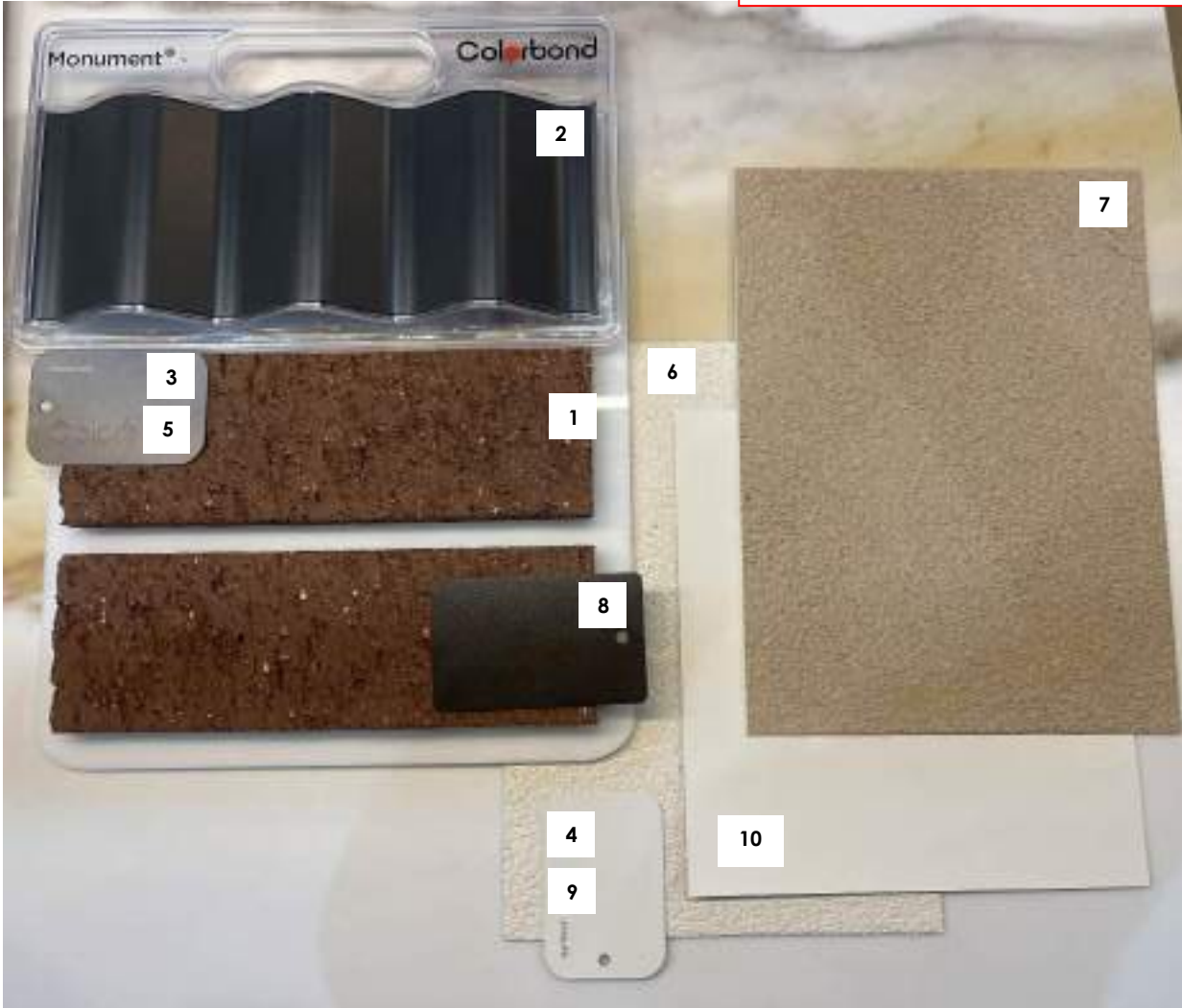
[REDACTED]
Design Approvals Coordinator
BEVERIDGE WILLIAMS

Job No: 11462
Property: Lot 309 Scenic Rise, Pakenham

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 12.03.2026

REVIEWED BY: Blytheb

- | | |
|--|---|
| <ul style="list-style-type: none"> 1. Brick 2. Metal Roof 3. Gutter/Fascia 4. Downpipes 5. Meter box 6. Render #1 7. Render #2 8. Window Frames 9. Garage Door 10. Front Door 11. Evaporative Cooling | <ul style="list-style-type: none"> Austral: Access Tan Colorbond: Monument Colorbond: Monument Colorbond: Surfmist Colorbond: Monument Dulux: White Duck Half S16B1H Dulux: Clay Dust S13D4 Bradnam's: Monument Matte Eco Garage Doors: Surfmist Dulux: White Duck Half S16B1H Bonaire: Charcoal |
|--|---|


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DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 12.03.2026
REVIEWED BY: Blytheb



Colour Selection

Job Number: 11462	House Type: Spinifex 34	Administrator: [Redacted]
Client Name: [Redacted]	Facade: Bay	Consultant: [Redacted]
Job Address: Lot 309, 18 Scenic Rise PAKENHAM VIC 3810	Inclusions Package: Ascend Inclusions List - Autumn 2023	
Estate: The Rise		

Document: 4	Prepared: 17/05/24
Raised By: Stephanie Steer	Status: Final

Item	Selection Level 1	Selection Level 2	Selection Level 3	Selection Level 4
External Materials & Fixtures Selection				
External Materials & Fixtures				
Bricks		Manufacturer Austral	Range Access	Colour Access Tan (Category 3)
Mortar	Manufacturer [N/A]	Range [N/A]	Style Rolled	Colour Natural
Metal Roof		Manufacturer Colorbond	Range [N/A]	Colour Monument
Whirlybird			Manufacturer Colorbond	Colour Monument
Gutters		Manufacturer Colorbond	Profile Quad	Colour Monument
Fascia		Manufacturer Colorbond	Profile Square	Colour Monument
Downpipes		Manufacturer Colorbond	Profile Rectangular	Colour Surfmist
Meterbox			Manufacturer Colorbond	Colour Monument
Flashing / Capping			Manufacturer Colorbond	Colour Surfmist
Windows & Sliding Doors		Manufacturer Bradnams	Material Aluminium	Colour Monument Matte
Glazing (Wet Areas) 1		Manufacturer Bradnams	Category Clear	Colour Wet Areas
Flyscreens		Manufacturer Bradnams	Type Aluminium Mesh	Colour Matching Window Selection
Lockable Hardware		Manufacturer Bradnams	Category Standard	Colour Black
Evaporative Cooling		Manufacturer Bonaire	Type Evaporative	Colour Charcoal
Garage Door	Manufacturer Eco Garage Doors	Product Sectional Panel Lift Door	Category Colorbond - Classic Panel	Colour Surfmist

ADVERTISED MATERIAL
Planning Application: T260200
Date Prepared: 13 May 2026

Colour Selection

Job Number: 11462	Document: 4	House Type: Spinifex 34	Administrator: [REDACTED]
Client Name: [REDACTED]		Facade: Bay	Consultant: [REDACTED]
Job Address: Lot 309, 18 Scenic Rise PAKENHAM VIC 3810		Inclusions Package: Ascend Inclusions List - Autumn 2023	
Estate: The Rise			

Item	Selection Level 1		Selection Level 2		Selection Level 3		Selection Level 4	
External Paint								
Render Area #1			Manufacturer	Unitex (Dulux)	Colour	White Duck Half S16B1H (LRV 71%)	Location	Refer Notes Below Entire First Floor & Portico Pier
Render Area #2			Manufacturer	Unitex (Dulux)	Colour	Clay Dust S13D4 (LRV 40%)	Location	Refer Notes Below Portico 'L' Shaped Pier
Feature Mouldings Area #1	Type	[N/A]	Location	N/A	Finish	[N/A]		
Feature Mouldings Area #2	Type	[N/A]	Location	N/A	Finish	[N/A]		
Fibre Cement Infills			Manufacturer	Dulux	Location	Paint 1	Colour	Monument C29 Location: Outdoor Living
Eaves					Manufacturer	Dulux	Colour	Builders White
Front Entry Door	Manufacturer	Dulux	Type	Paint	Colour	White Duck Half S16B1H	LRV Level	71%
Front Entry Door Frame	Manufacturer	Dulux	Type	Paint	Colour	White Duck Half S16B1H	LRV Level	71%
Garage Door (Rear Access)	Manufacturer	Dulux	Type	Paint	Colour	White Duck Half S16B1H	LRV Level	71%



ADVERTISED MATERIAL

Planning Application: T260200
Date Prepared: 13 May 2026

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DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 12.03.2026

REVIEWED BY: Blytheb



Colour Selection

Job Number: 11462 Document: 4 House Type: Spinifex 34
 Client Name: [REDACTED] Facade: Bay [REDACTED]
 Job Address: Lot 309, 18 Scenic Rise PAKENHAM VIC 3810 Inclusions Package:
 Estate: The Rise Ascend Inclusions List - Autumn 2023

Item	Selection Level 1		Selection Level 2		Selection Level 3		Selection Level 4	
External Doors & Hardware								
Front Entry Door	Manufacturer	Corinthian	Range	Madison	Model	PMAD 104 920mm wide	Colours	Refer to External Paint Colours
Front Entry Door Frame			Manufacturer	Corinthian	Type	Enviroseal Timber Frame	Colour	Refer to External Paint Colours
Front Door Glazing					Manufacturer	Corinthian	Type	Clear Glazing
Front Entry Door Handle	Manufacturer	Gainsborough	Range	Angular	Type	8901ANG (Trilock)	Finish	Satin Chrome
Garage Internal Door			Manufacturer	Corinthian	Range	Flush Panel	Type	Redicote Flush Panel (Internal Door)
Garage Internal Door Handle	Manufacturer	Gainsborough Gainsborough	Range	Enchant Choice	Type	2900ENCSS Round Double Cylinder Deadbolt 550SSV	Finish	Stainless Steel Stainless Steel
Garage External Door	Manufacturer	Corinthian	Range	Flush Panel	Model	External Flush Panelled Door	Colours	Refer to External Paint Colours
Garage External Door Handle	Manufacturer	Gainsborough	Range	TradePro	Type	Colton Entrance Key-in-Knob Set - 1440PROCOLSS	Finish	Stainless Steel
Laundry Door			Manufacturer	Bradhams	Type	Fully Glazed Aluminium Hinged Door	Colour	Matching Window Selection
Internal Selections								
Internal Plaster & Woodwork								
Cornice			Manufacturer	Gyprock	Type	Cove 75mm	Location	Throughout
Skirting / Architraves			Manufacturer	Corinthian	Type	Single Bevelled	Size	67mm x 15mm
Internal Doors			Manufacturer	Corinthian	Range	Flush Panel	Type	Redicote Flush Panel (Internal Door)


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DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 12.03.2026
 REVIEWED BY: Blytheb



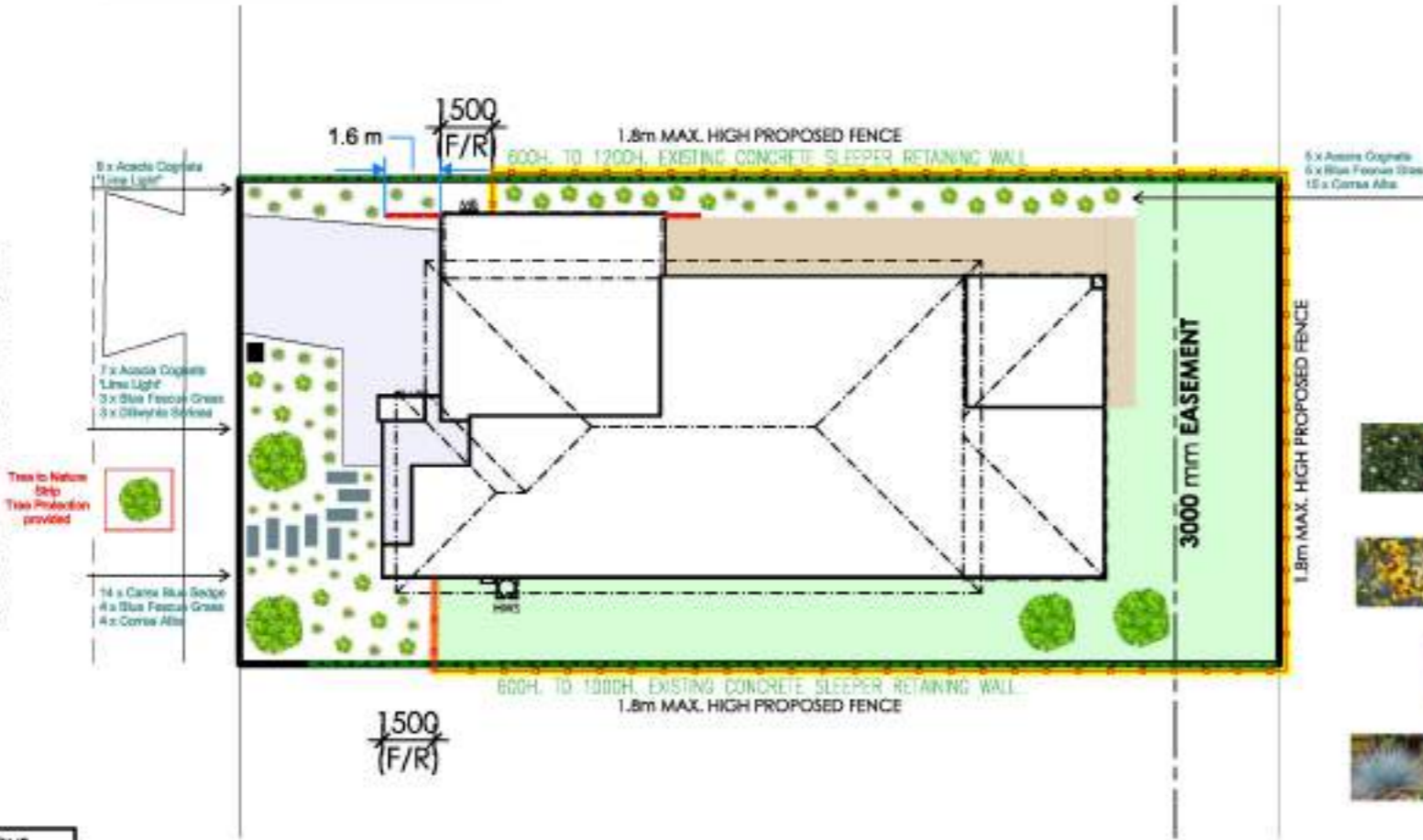

DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 23.04.2026
 REVIEWED BY: Belinda Blythe

re-approval due to change of tree types in backyard/front yard



LOT 309, 18 SCENIC RISE, PAKENHAM

SCENIC RISE



FRONT LANDSCAPING SCHEDULE

- SIDE & REAR FENCING - See notes below
- RETURN FENCING - See notes below
- DRIVEWAY & PORCH/PATH:
Charcoal Stipple Finish Colour-Through Concrete
- LETTERBOX:
Pillar Style to complement the dwelling
- LAWN AREA:
- MATURE CANOPY TREE:
* Magnolia - Little Gem - 400mm pot size (3-4m in height - front yard x 1, rear yard x 1)
* Eucalyptus Leucoxylon Rosea - Red Flowering Dwarf Yellow Gum - 800mm pot size (15m in height - front yard x 1, rear yard x 1)
- PLANTING SCHEDULE:
* Large Shrub - 300mm pot size - Correa Alba x 19
* Medium Shrub - 200mm pot size - Dilwynia Sericea x 3
- PLANTING SCHEDULE:
* Small Shrub - 150mm pot size - Acacia Cognata "Lime Light" x 15
- PLANTING SCHEDULE:
* Blue Fescue Grass - Festuca Glauca - max. 50mm height x 12
* Carex "Blue Sedge" - Carex Flacca Glauca - max. 30mm height x 14
- STEPPING STONE IN GRAVEL
- LANDSCAPED GRAVEL PATHWAY TO PERIMETER OF DWELLING
- DEVELOPER CONCRETE SLEEPER RETAINING WALL
Full length of boundary at approx. 1000mm height
- PROPOSED TIMBER SLEEPER RETAINING WALL
Total length 1600mm at max. 600mm height

NOTE - OPTICOMM PROVISIONS INSTALLED TO DWELLING READY FOR CONNECTION

SOLAR:
6.4kW SOLAR PV SYSTEM 15 PANELS - (NUMBER OF PANELS INDICATIVE ONLY - FINAL NUMBER OF PANELS AT SUPPLIER DISCRETION)

LANDSCAPING NOTES:
PLANT SELECTION SHOULD MINIMISE THE NEED FOR GARDEN WATERING. GARDEN BEDS TO BE MULCHED TO CONSERVE WATER, PREVENTING EVAPORATION & REDUCING RUN-OFF. NATURE STRIP TO BE ESTABLISHED IN TURF ONLY. OTHER PLANT RECOMMENDATIONS CAN BE OBTAINED FROM CARDINIA COUNCIL.

DRIVEWAY:
PROPOSED DRIVEWAY BY CLIENT BEFORE OCCUPANCY. MUST BE OF NEUTRAL TONE AND COMPLEMENT THE DWELLING EXTERNAL PALETTE. PLAIN CONCRETE IS NOT PERMITTED.

SIDE & REAR FENCING:
CONSTRUCTED FROM LAPPED TIMBER PALINGS WITH TIMBER CAPPING, EXPOSED TIMBER POSTS TO A HEIGHT OF 1.8m SETBACK MINIMUM 1.5m FROM FRONT BUILDING LINE OR 1m BEHIND NEIGHBOURING DWELLING.

RETURN FENCING:
CONSTRUCTED FROM STAINED HARDWOOD WITH HORIZONTAL SLATING EXTENDING FROM BOUNDARY TO THE DWELLING AT THE ABOVE MENTIONED SETBACKS.

CORNER LOT FENCING:
CONSTRUCTED FROM TIMBER PALINGS WITH TIMBER CAPPING, EXPOSED TIMBER POSTS TO A HEIGHT OF 1.8m LIMITED TO A MAXIMUM OF 70% OF THE ALLOTMENT LENGTH.

ADVERTISED MATERIAL
 Planning Application: T260200
 Date Prepared: 13 May 2026

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LANDSCAPE PLAN IS NOT TO SCALE. CONCEPTUAL PLAN ONLY. SCALED ITEMS SHOWN ON REV #E DRAWINGS SITE PLAN & ELEVATIONS

Beachwood HOMES

Ascend COLLECTION

PROJECT: **PROPOSED RESIDENCE**
 CLIENT:
 AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REF: 11462	ISSUE:
THIS IS SHEET 1 OF 1 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 22.01.2026	
SIGNED OWNER:		DRAWN: SF	
BUILDER:		CHECKED: SF	
		SCALE: 1:200	

DRAINAGE NOTES:

1. SITE DRAINAGE SHALL COMPLY WITH MCC 3.12 'DRAINAGE' & A.S. 3800 NATIONAL PLUMBING & DRAINAGE CODES.
2. BASE OF CUT GRADED TO SILT TRAP AT 1:100MM. DRAIN SHALL BE PROTECTED BY GRAVEL FILTERS.
3. TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
4. DURING CONSTRUCTION WATER RUN OFF SHALL BE COLLECTED AND CHANNLED AWAY FROM THE BUILDING.
5. STORMWATER DRAINS ARE INDICATIVE ONLY. CONTRACTOR TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.

ALL LANDSCAPING BY OWNERS. BUILDER TO PROVIDE SILL RISER PROVISION AT APPOINTED LOCATIONS FOR FITTING CONNECTION OF GRATED INLET FITS BY OWNERS, BEING INCORPORATED AS PART OF THE LANDSCAPE DESIGN.

GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).

GRADED INLET FIT (SILT TRAP) CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.

CUT TOE, SPOON DRAIN, AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADING TO BE T TRAP AT 1:100 MIN. FALL. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.

AGRI DRAINS AT BASE OF CUT OVER 300mm. AGRI DRAINS TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM.

GRADED DRAIN TO FRONT OF GARAGE DOOR TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM.

NOTE - ALL WC'S, WASHING MACHINE STOP & EXTERNAL TAPS TO BE CONNECTED TO RECYCLED WATER

DENOTES PROPOSED MAX 1800H FENCE SIDE & REAR BOUNDARY FENCING TO BE LAPPED & CAPPED TIMBER PALINGS WITH EXPOSED POSTS (BY CLIENT AFTER HANDOVER)

RETURN FENCE SIDE GATES & MATCHING WING SCREENS MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATING

MB - THREE PHASE POWER TO METER BOX

DENOTES BUILDING ENVELOPE

DENOTES DEEPENED REBATE

CHARCOAL COLOUR THROUGH DRIVEWAY - COMPLETED BY CLIENT BEFORE OCCUPANCY.

INDICATES - CUT AREA

NOTE: NO FILL AREA TO BE PROVIDED TO THIS SITE



ADVERTISED MATERIAL

Planning Application: T260206
Date Prepared: 13 May 2026

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NOTES - RESCODE CLAUSE 54.

ALL LEVELS ARE TO A.H.D U.N.O.
SITE DIMENSIONS TO BE VERIFIED BY TITLE

FLOOR LEVELS ARE DETERMINED BY ASSUMED LEVELS ADJACENT TO RESIDENCE AND MAY BE ADJUSTED ON SITE BY BUILDER AT BUILDER'S DISCRETION.

- FSL MIN 150mm ABOVE FSL FOR SLABS
- FLOOR LEVEL MIN 225mm ABOVE FSL OR PAVING ADJACENT TO (OVER FLOW RELIEF GRATE).
- FSL MIN 400mm (NOMINAL) ABOVE FSL FOR STUMPS
- SHEET FLOORING: MIN 200mm CLEAR UNDER BEARER
- STRIP FLOORING: MIN 100mm CLEAR UNDER BEARER
- TERMITE AREAS: MIN 40mm CLEAR UNDER BEARER UNLESS METHOD OF PROTECTION OR RELEVANT STANDARDS

EXISTING FILLING MAY BE PLACED REFER TO APPENDIX OF SOIL REPORT FOR CONSTRUCTION AND MAINTENANCE REQUIREMENTS

- ALL LEVELS ARE FINISHED SURFACE LEVELS U.N.O.
- MAX 200mm FILL AT EXTERNAL DOORS
- GRADE FSL AWAY FROM RESIDENCE

A5. SITE COVERAGE STATISTICS

SITE AREA	420.0 m ²	HARD PAVING	0.0 m ²
BUILDING AREA	187.2 m ²	TOTAL HARD COVER	187.2 m ²
SITE COVERAGE	44.6 %	PERMEABLE AREA	55.43 %

* NOTE: 20 % TO BE PERMEABLE & NOT COVERED

RETAINING WALLS & EXCAVATIONS

DESIGN SURCHARGE OF 5 kPa TO BE INCLUDED

BRICK, CONCRETE OR OTHER, SLEEPER OR SIM. RETAINING WALL

RETAINING WALLS TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION. ALLOW 5kPa SURCHARGE ON BOUNDARY U.N.O. RETAINING WALLS TO BE CONSTRUCTED & PROTECTION NOTICE SERVED IN ACCORDANCE WITH BUILDING CONTROL ACT 1993. OWNER/CONTRACTOR IS TO PROVIDE INSURANCE, SURVEY OF EXISTING CONDITIONS & NEIGHBOUR'S CONSENT FOR CONSTRUCTION IN ACCORDANCE WITH ACT. BATTERS ARE AT 45° & THATCHED OR LANDSCAPED U.N.O. CUT OFF DRAINS AT BASE OF EXCAVATION TO CONNECT TO STORM WATER DRAINS VIA SILT PIT WITH GRATED COVER BY OWNER OR CONTRACT VARIATION

BATTERS ARE GRADED AT 45° CLAY 30° SAND. BATTERS ARE TO BE THATCHED WITH ROCK, MESH, MULCH OR AS DESIRED, BY OTHERS.

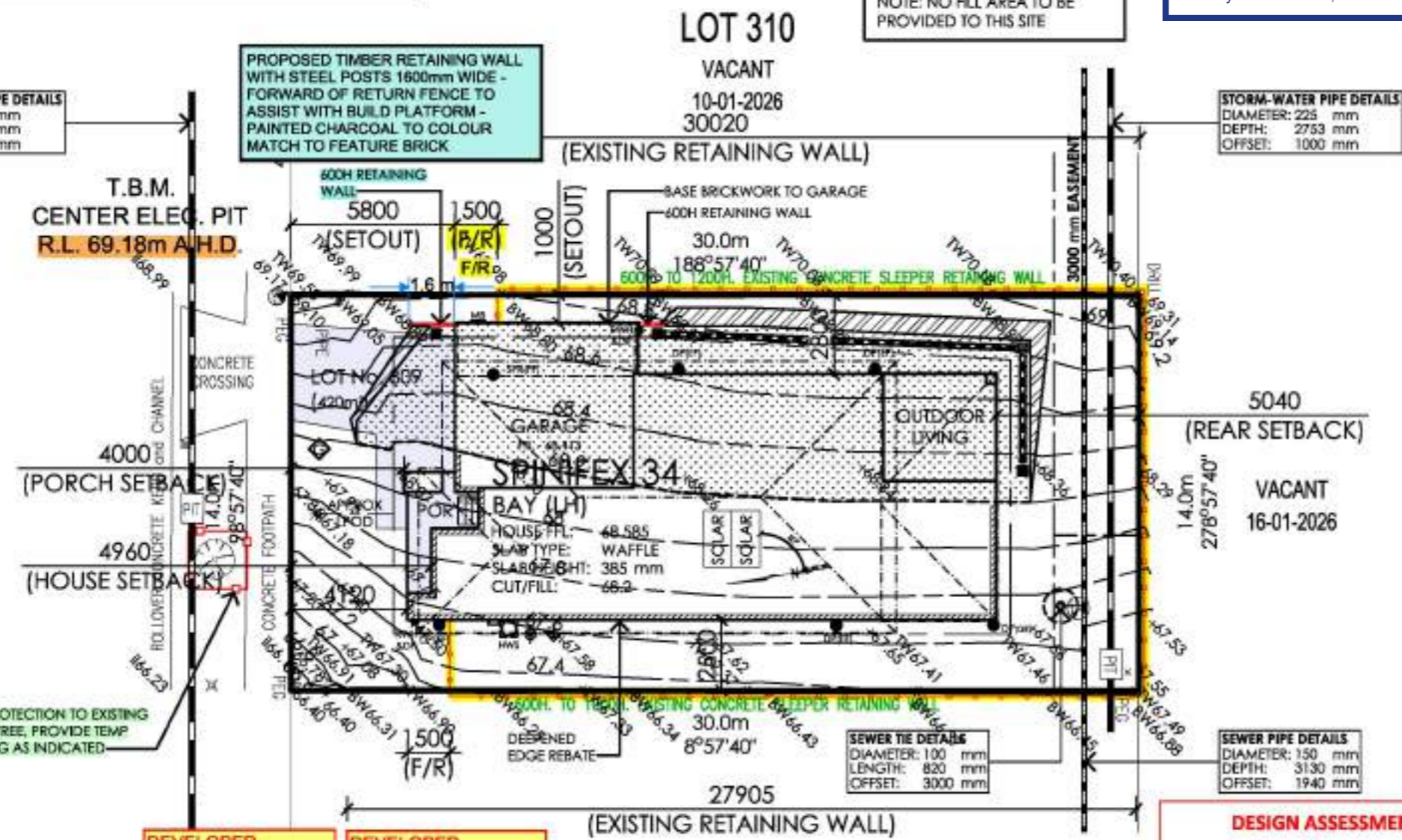
EXTENT OF EXCAVATION ALL SITE WORKS ARE TO BE PROVIDED BY OWNER OR BY CONTRACT VARIATION

TBM TEMPORARY BENCH MARK

A TREE TO BE REMOVED
B TREE TO BE RETAINED

TREE ROOT PROTECTION, WHERE REQUIRED, SHALL BE IN ACCORDANCE WITH TN81, AND CONSTRUCTED IN ACCORDANCE WITH ENGINEER'S DESIGN. TO BE PROVIDED BY OWNER OR CONTRACT VARIATION

ADVISORY NOTE: DRIVEWAY GRADES OWNERS/CLIENTS ARE ADVISED THAT DRIVEWAY GRADIENTS WITHIN THE PROPERTY SHOULD BE AT 1 IN 5 MAXIMUM AND THAT TRANSITIONS MAY BE REQUIRED AT CHANGE OF GRADES. REFER TO A.S.2890 FOR DESIGN REQUIREMENTS. IF SITE CONDITIONS REQUIRE A STEEPER GRADE THAN 1 IN 5 THE OWNERS ACKNOWLEDGE BY SIGNING THIS DRAWING THAT VEHICLE ACCESS MAY BE COMPROMISED.



VARIATION

VARIATION No. - PCV#5.0

DRAFTSPERSON - JF

DATE - 19.02.2026

DEVELOPER CONDITION: PLEASE NOTE THAT A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN APPLICATION MUST BE APPROVED BY COUNCIL BEFORE CONSTRUCTION COMMENCES.

DEVELOPER CONDITION; DUE TO PLANNING PERMIT REQUIREMENT, GAS APPLIANCES MAY NOT BE ABLE TO BE INSTALLED, FURTHER COUNCIL CLARIFICATION IS REQUIRED.

Developer Condition; All associated works must not impact any existing retaining walls.

re-approval due to Condition met - requiring AHD's added to plans

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 25.03.2026

REVIEWED BY: Blytheb

SITE PLAN



PROJECT: **PROPOSED RESIDENCE**

CLIENT: [REDACTED]

AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REF: 11462	ISSUE: G
THIS IS SHEET 3 of 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 18.03.2026	
SIGNED OWNER:		DRAWN: VN	
BUILDER:		CHECKED: NC	
		SCALE: 1:200	

DRAINAGE NOTES:

- SITE DRAINAGE SHALL COMPLY WITH MCC 3.12 DRAINAGE & A.S. 3800 NATIONAL PLUMBING & DRAINAGE CODES.
- BASE OF CUT GRADED TO SILT TRAP AT 1:100MM. DRAIN SHALL BE PROTECTED BY GRAVEL FILTERS.
- TEMPORARY DOWNPIPS CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
- DURING CONSTRUCTION WATER RUN OFF SHALL BE COLLECTED AND CHANNLED AWAY FROM THE BUILDING.
- STORMWATER DRAINS ARE INDICATIVE ONLY. CONTRACTOR TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.

ALL LANDSCAPING BY OWNERS. BUILDER TO PROVIDE SILL RISER PROVISION AT DESIGNATED LOCATIONS FOR FITTING CONNECTION OF GRATED INLET FITS BY OWNERS, BEING INCORPORATED AS PART OF THE LANDSCAPE DESIGN.

GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).

GRADED INLET FIT / SILT TRAP CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.

CUT TOE, SPOON DRAIN, AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. FALL. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.

ADD DRAINS AT BASE OF CUT OVER 300mm. ADD DRAINS TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM.

GRADED DRAIN TO FRONT OF GARAGE DOOR TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM.

GARDEN AREA = 206.3m² (49.1%)

DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 25.03.2026
REVIEWED BY: Blytheb



re-approval due to Condition met - requiring AHD's added to plans

NOTES - RESCODE CLAUSE 54.

ALL LEVELS ARE TO A.H.D U.N.O.
 SITE DIMENSIONS TO BE VERIFIED BY TITLE
 FLOOR LEVELS ARE DETERMINED BY ASSUMED LEVELS ADJACENT TO RESIDENCE AND MAY BE ADJUSTED ON SITE BY BUILDER AT BUILDER'S DISCRETION.

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- FSL MIN 150mm ABOVE FSL FOR SLABS.
- FLOOR LEVEL MIN 225mm ABOVE FSL OR PAVING ADJACENT TO O.R.G. (OVER FLOW RELIEF GRATE).
- FSL MIN 400mm (NOMINAL) ABOVE FSL FOR STUMPS
- SHEET FLOORING: MIN 200mm CLEAR UNDER BEARER
- STRIP FLOORING: MIN 150mm CLEAR UNDER BEARER
- TERMITE AREAS: MIN 400mm CLEAR UNDER BEARER UNLESS METHOD OF PROTECTION OR RELEVANT STANDARDS RECOMMEND OTHERWISE
- A MAXIMUM OF 600mm OF GRANULAR OR 300mm OF CLAY/SILT FILLING INCLUDING ANY EXISTING FILLING MAY BE PLACED UNDER SLAB PANELS.
- REFER TO APPENDIX OF SOIL REPORT FOR CONSTRUCTION AND MAINTENANCE REQUIREMENTS
- ALL LEVELS ARE FINISHED SURFACE LEVELS U.N.O.
- MAX 200mm FILL AT EXTERNAL DOORS
- GRADE FSL AWAY FROM RESIDENCE

A5. SITE COVERAGE STATISTICS

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* NOTE: 20 % TO BE PERMEABLE & NOT COVERED

RETAINING WALLS & EXCAVATIONS
 DESIGN SURCHARGE OF 5 kPa TO BE INCLUDED

BRICK, CONCRETE OR OTHER, SLEEPER OR SIM. RETAINING WALL
 MAX 1.00H

RETAINING WALLS TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION. ALLOW 5kPa SURCHARGE ON BOUNDARY U.N.O. RETAINING WALLS TO BE CONSTRUCTED & PROTECTION NOTICE SERVED IN ACCORDANCE WITH BUILDING CONTROL ACT 1993. OWNER/CONTRACTOR IS TO PROVIDE INSURANCE, SURVEY OF EXISTING CONDITIONS & NEIGHBOUR'S CONSENT FOR CONSTRUCTION IN ACCORDANCE WITH ACT. BATTERS ARE AT 45° & THATCHED OR LANDSCAPED U.N.O. CUT OFF DRAINS AT BASE OF EXCAVATION TO CONNECT TO STORM WATER DRAINS VIA SILT PIT WITH GRATED COVER BY OWNER OR CONTRACT VARIATION

BATTERS ARE GRADED AT 45° CLAY 30° SAND. BATTERS ARE TO BE THATCHED WITH ROCK, MESH, MULCH OR AS DESIRED, BY OTHERS.

EXTENT OF EXCAVATION
 ALL SITE WORKS ARE TO BE PROVIDED BY OWNER OR BY CONTRACT VARIATION

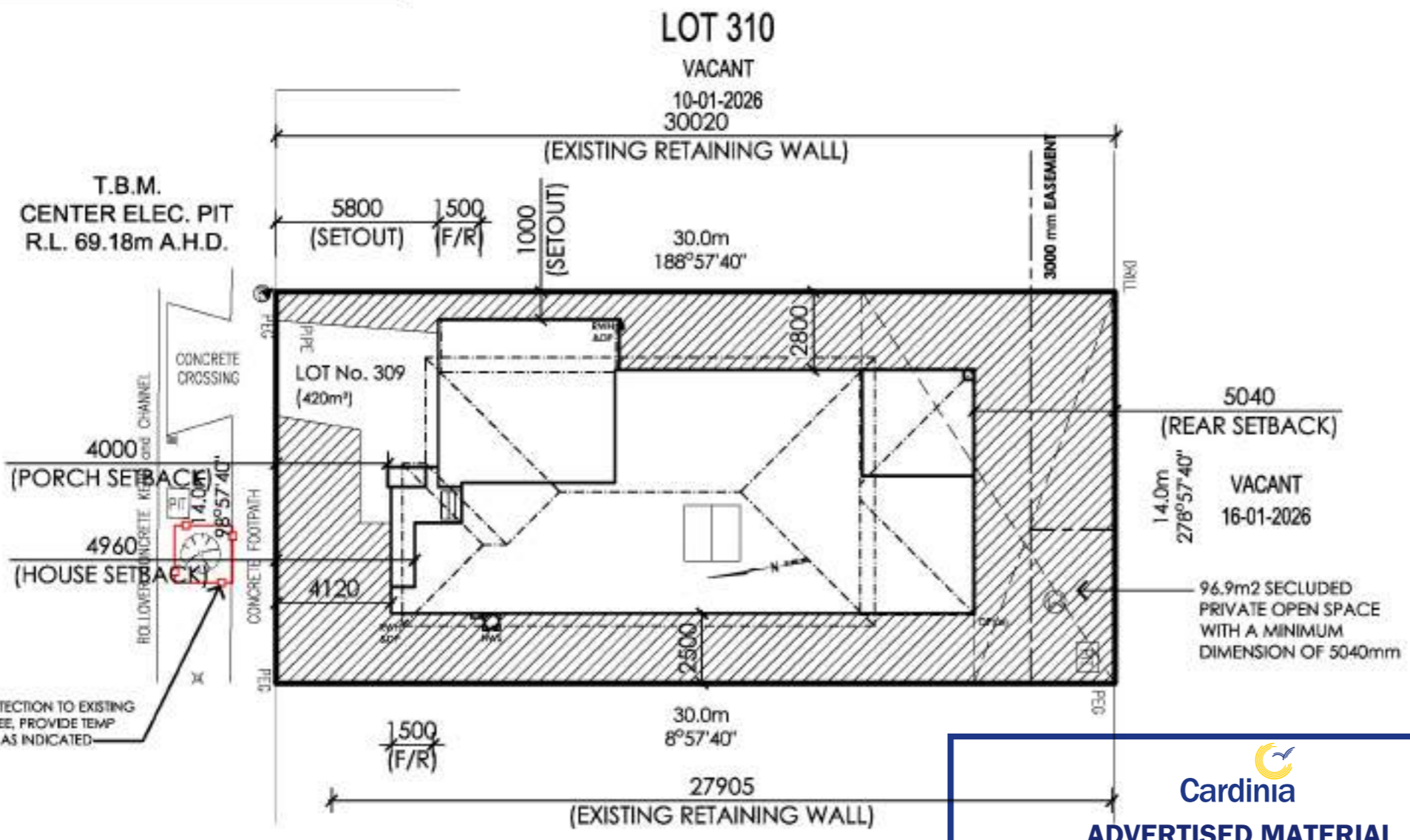
TBM ↑ TEMPORARY BENCH MARK

A TREE TO BE REMOVED
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ADVISORY NOTE: DRIVEWAY GRADES
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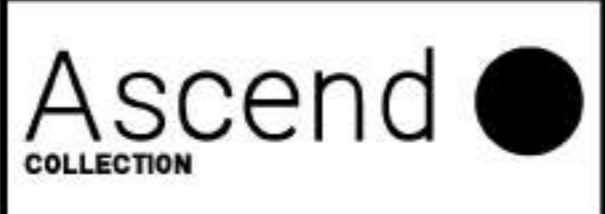
SCENIC RISE



Cardinia
ADVERTISED MATERIAL
 Planning Application: T260200
 Date Prepared: 13 May 2026

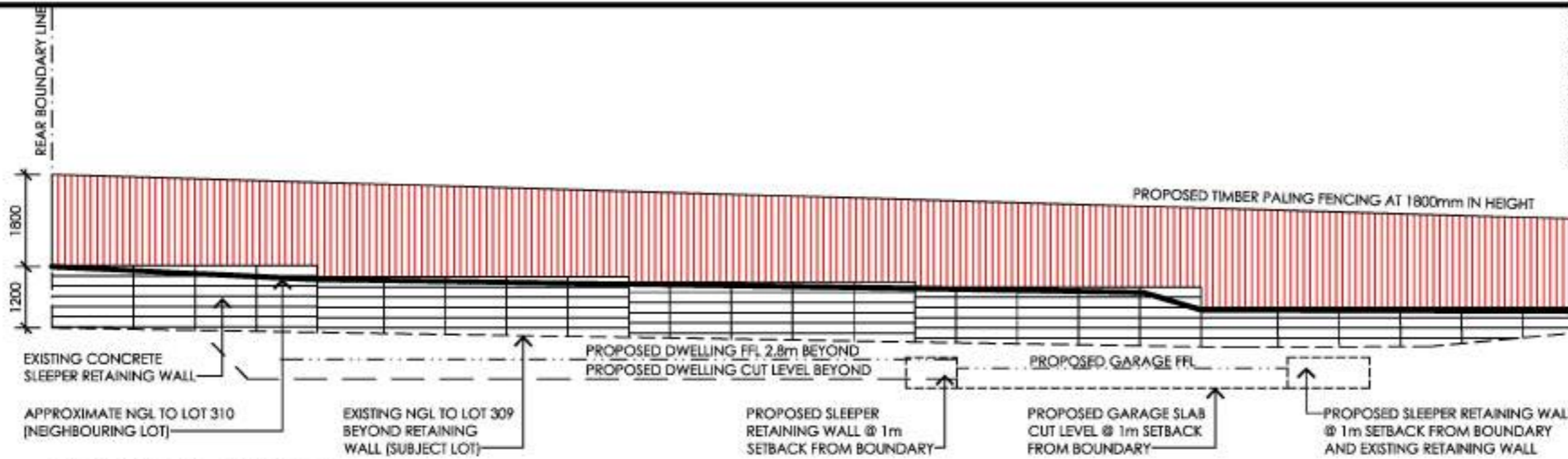
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VARIATION
 VARIATION No. - **PCV#5.0**
 DRAFTSPERSON - **JF**
 DATE - **19.02.2026**

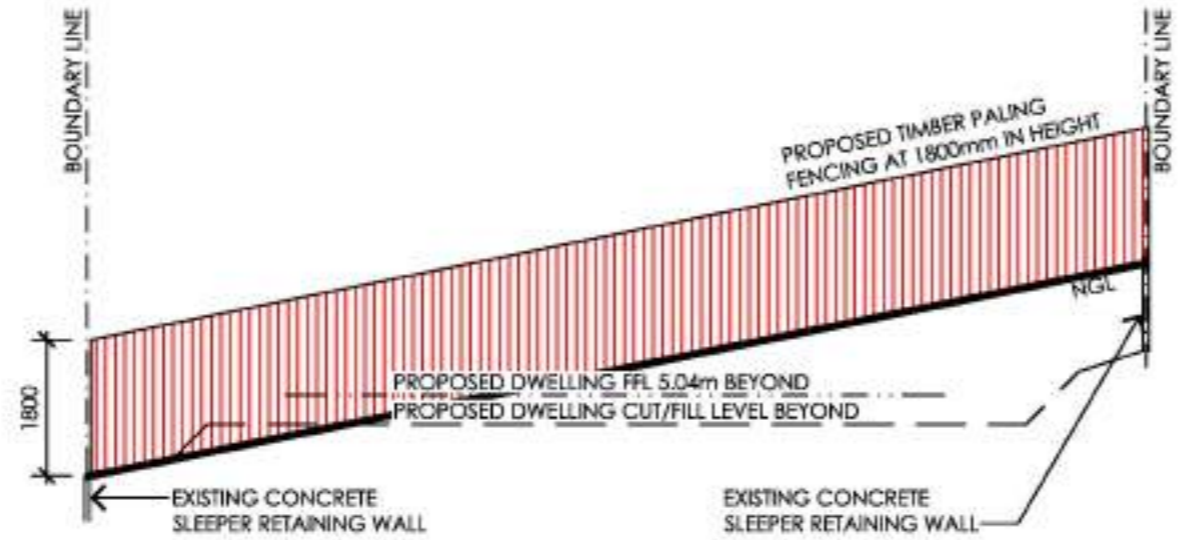


PROJECT: **PROPOSED RESIDENCE**
 CLIENT: **[REDACTED]**
 AT: **LOT 309 SCENIC RISE PAKENHAM**

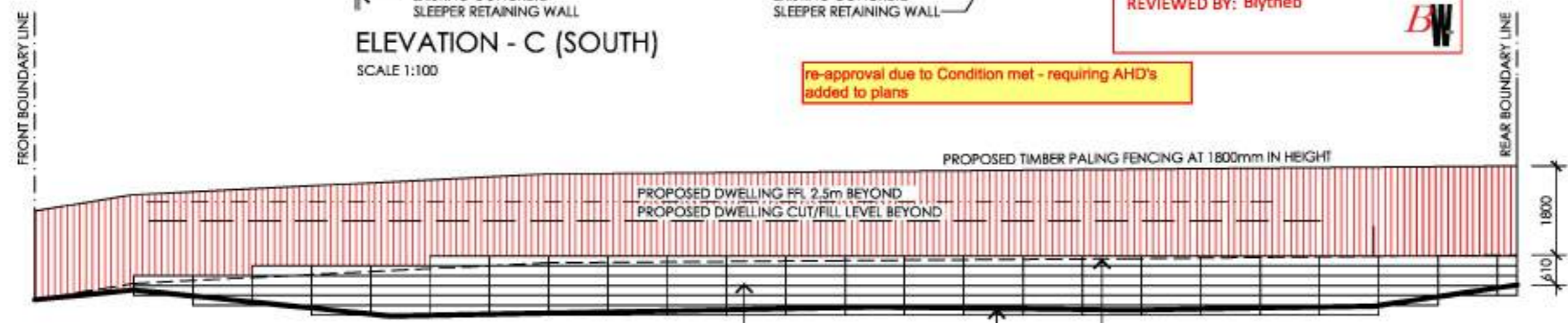
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THIS IS SHEET 4 of 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 18.03.2026	
SIGNED OWNER:		DRAWN: VN	
BUILDER:		CHECKED: NC	
		SCALE: 1:200	



ELEVATION - B (EAST)
SCALE 1:100



ELEVATION - C (SOUTH)
SCALE 1:100



ELEVATION - D (WEST)
SCALE 1:100

Cardinia
ADVERTISED MATERIAL
Planning Application: T260200
Date Prepared: 13 May 2026

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VARIATION	
VARIATION No. -	PCV#5.0
DRAFTSPERSON -	JF
DATE -	19.02.2026

DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 25.03.2026
REVIEWED BY: Blytheb



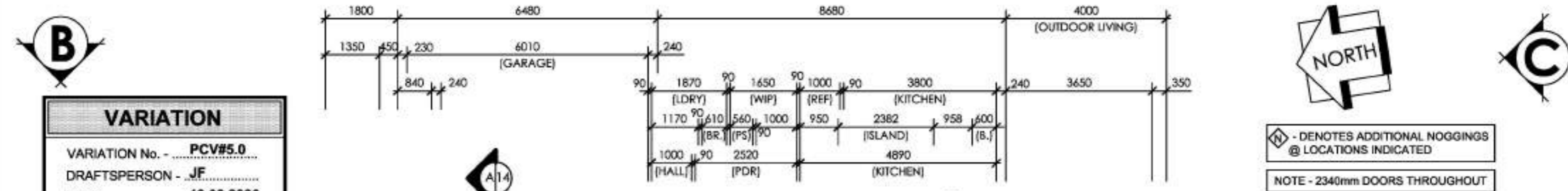
re-approval due to Condition met - requiring AHD's added to plans



PROJECT: **PROPOSED RESIDENCE**
CLIENT: **[REDACTED]**
AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: **A3** TITLE: **SPINIFEX 34**
THIS IS SHEET 4 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:
SIGNED OWNER:
BUILDER:

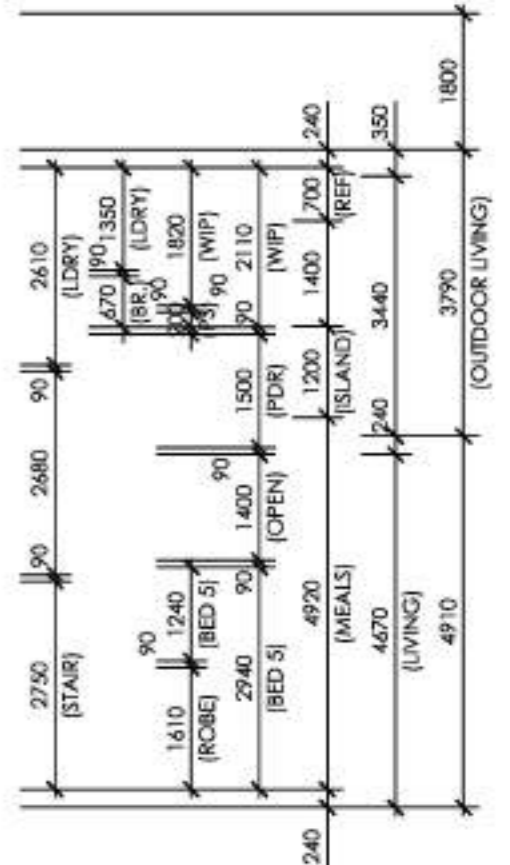
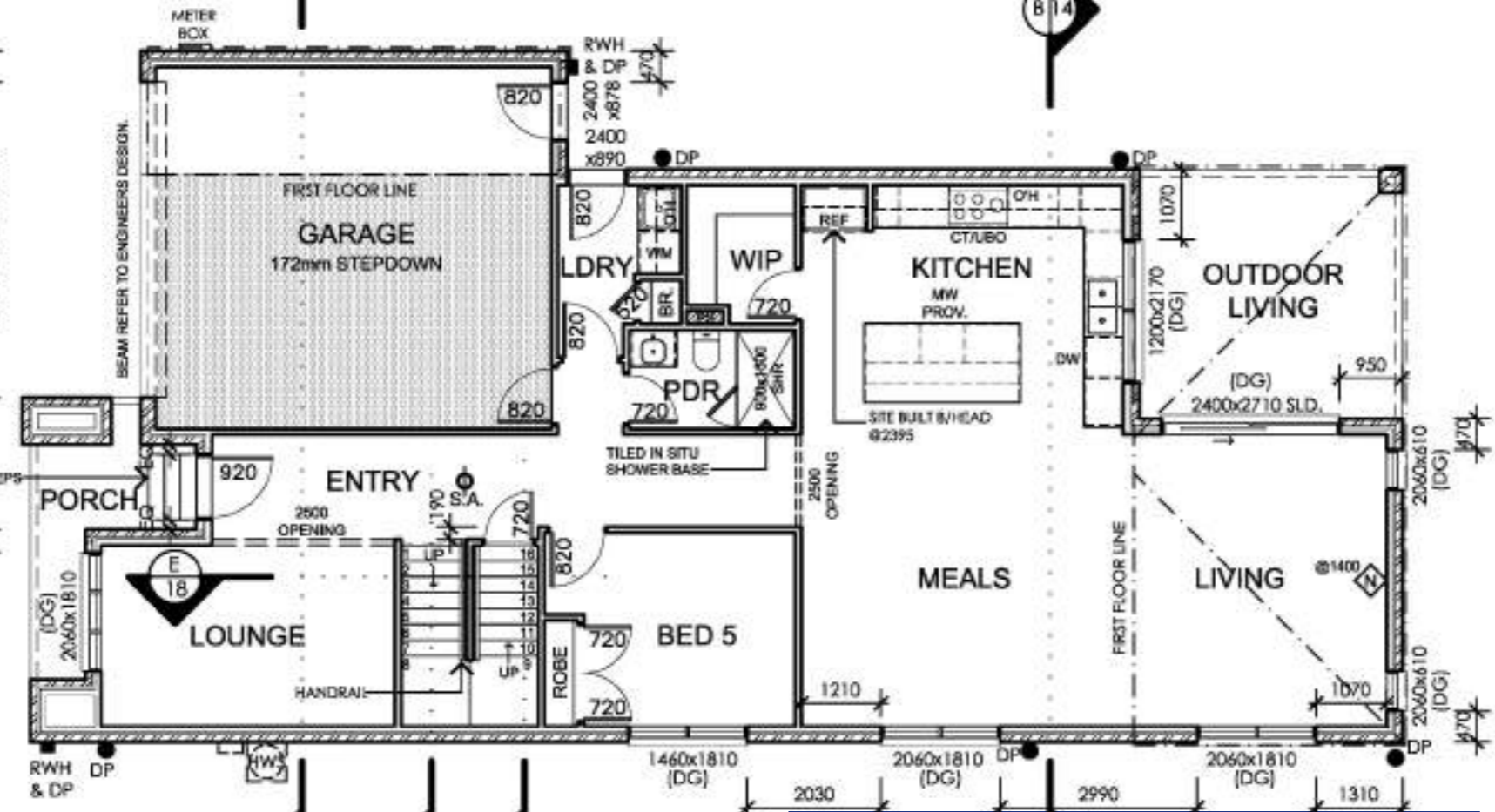
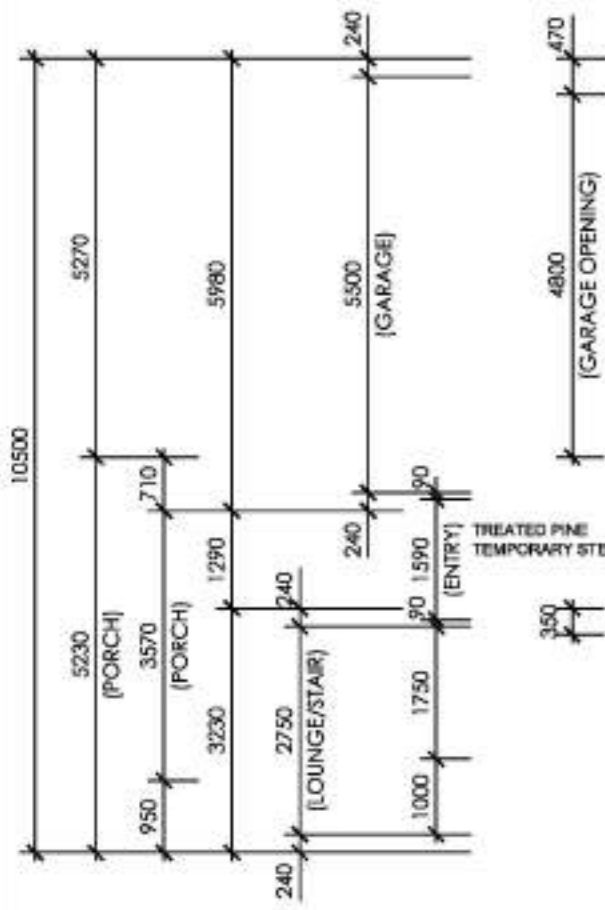
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DATE: **18.03.2026**
DRAWN: **VN**
CHECKED: **NC**
SCALE: **1:100**



VARIATION
 VARIATION No. - **PCV#5.0**
 DRAFTSPERSON - **JF**
 DATE - **19.02.2026**



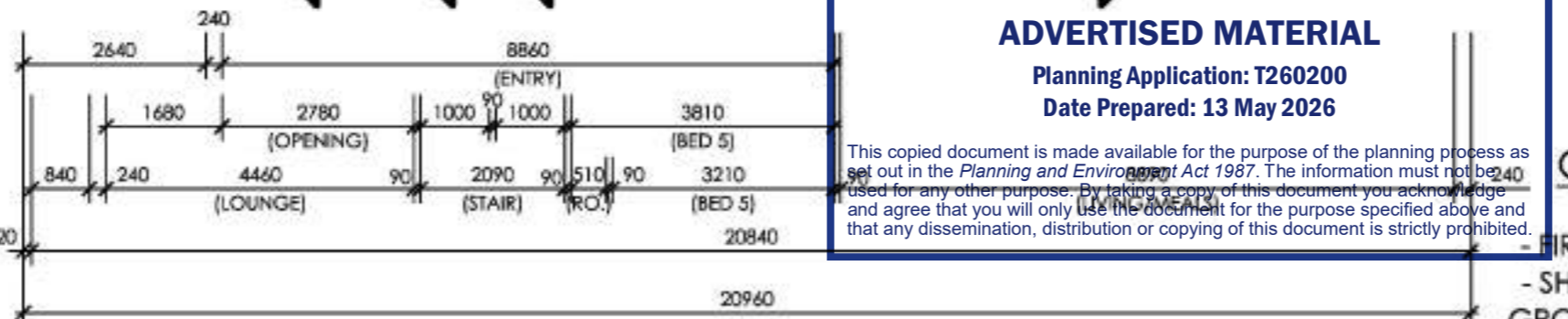
N - DENOTES ADDITIONAL NOGGINGS @ LOCATIONS INDICATED
 NOTE - 2340mm DOORS THROUGHOUT



STAIRCASE WALLS AND UNDERSIDE OF STAIRCASE (HIGHER SIDE ONLY) TO BE PLASTER LINED

PROVIDE NON-SLIP RESISTANCE TO STAIR TREADS IN ACCORDANCE WITH NCC CLAUSE 3.9.1.4 AND AS 4586

NOTE - DUCTED VENT TO BE PROVIDED TO THE RANGEHOOD AND EXHAUST FAN



Cardinia
ADVERTISED MATERIAL
 Planning Application: T260200
 Date Prepared: 13 May 2026

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NOTE - 2740mm HIGH DROPPED CEILING

NOTE - 100mm STEPDOWN TO ALL EXTERNAL CONCRETE SURFACES

GROUND FLOOR PLAN
 - DELUXE KITCHEN OPT.
 - FIRST FLOOR POWDER ROOM OPT.
 - SHOWER TO POWDER ROOM OPT.
 - GROUND FLOOR FIFTH BEDROOM OPT.

re-approval due to Condition met - requiring AHD's added to plans

Beachwood HOMES

DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 25.03.2026
 REVIEWED BY: Blytheb

PROJECT: **PROPOSED RESIDENCE**
 CLIENT: **[REDACTED]**
 AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINFEX 34	REF: 11462	ISSUE: G
THIS IS SHEET 6 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 18.03.2026	
SIGNED OWNER:		DRAWN: VN	
BUILDER:		CHECKED: NC	
		SCALE: 1:100	

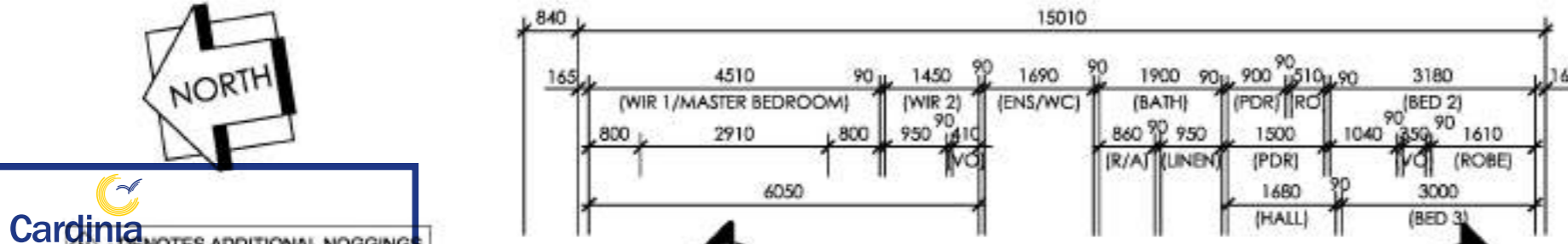


ADVERTISED MATERIAL

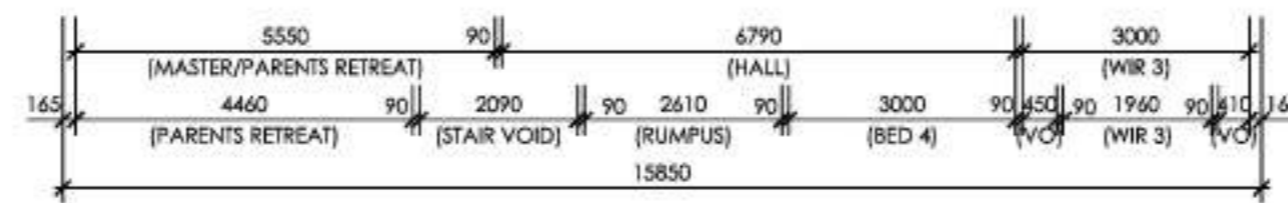
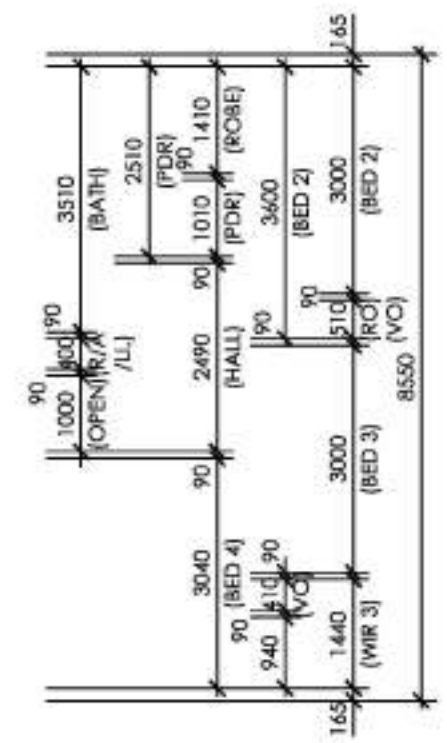
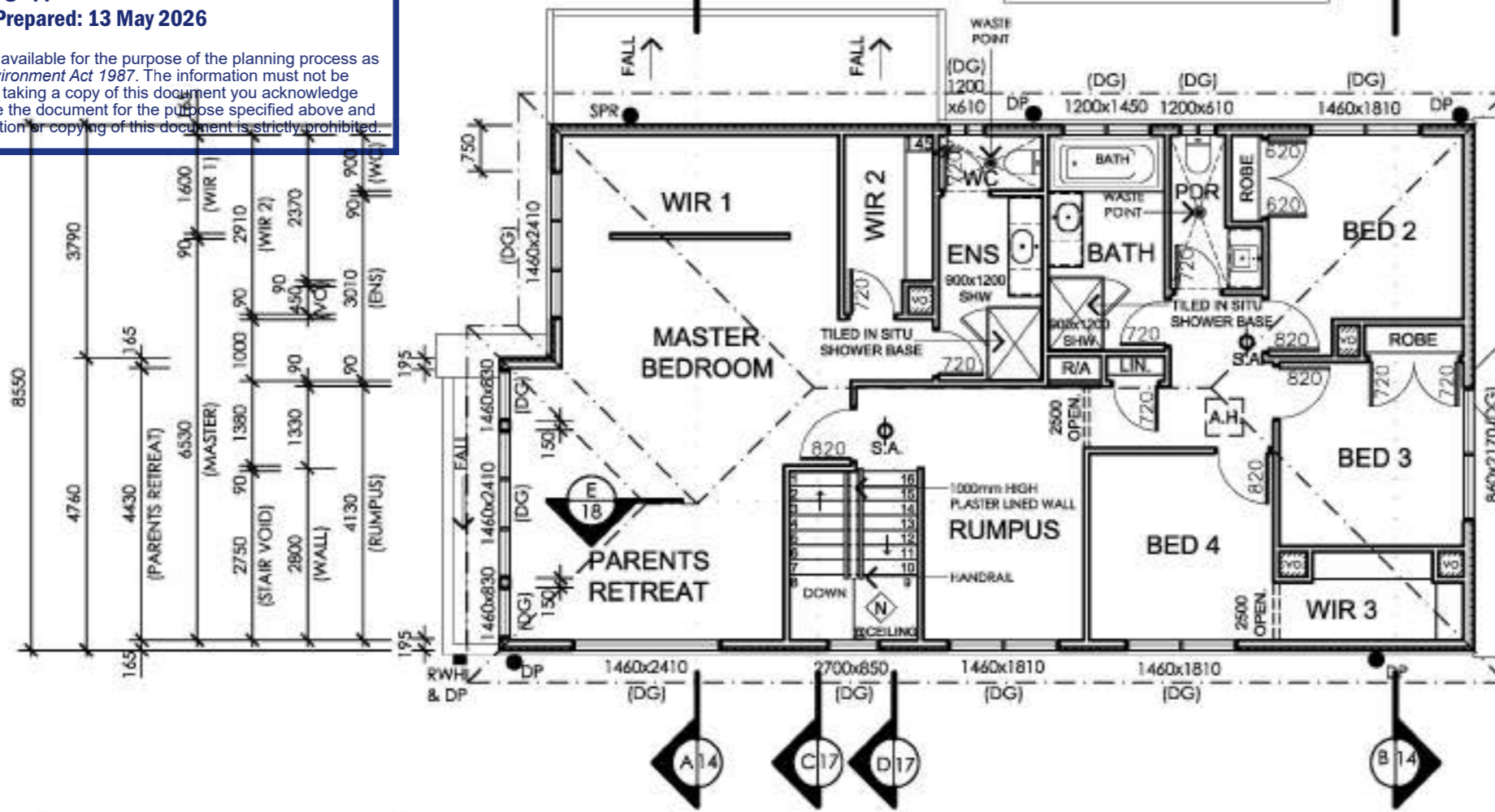
Planning Application: T260200
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- NOTE - 2340mm DOORS THROUGHOUT
- NOTE - DUCTED VENT TO BE PROVIDED THROUGH ROOF TO EXHAUST FANS
- NOTE - MAXIMUM ALLOWABLE WINDOW OPENING TO BE 125mm FOR ALL FIRST FLOOR WINDOWS
- NOTE - ALL WINDOWS TO BE CENTRED UNLESS NOTED OTHERWISE
- PROVIDE NON-SLIP RESISTANCE TO STAIR TREADS IN ACCORDANCE WITH NCC CLAUSE 3.9.1.4 AND AS 4586



NOTE: ENS WC & PDR FLOORS STEPPED DOWN TO ACCOMMODATE SCREEDING TO CENTRAL WASTE POINT



- FIRST FLOOR PLAN**
- DELUXE KITCHEN OPT.
 - FIRST FLOOR POWDER ROOM OPT.
 - SHOWER TO POWDER ROOM OPT.
 - GROUND FLOOR FIFTH BEDROOM OPT.

VARIATION	
VARIATION No. -	PCV#5.0
DRAFTSPERSON -	JF
DATE -	19.02.2026



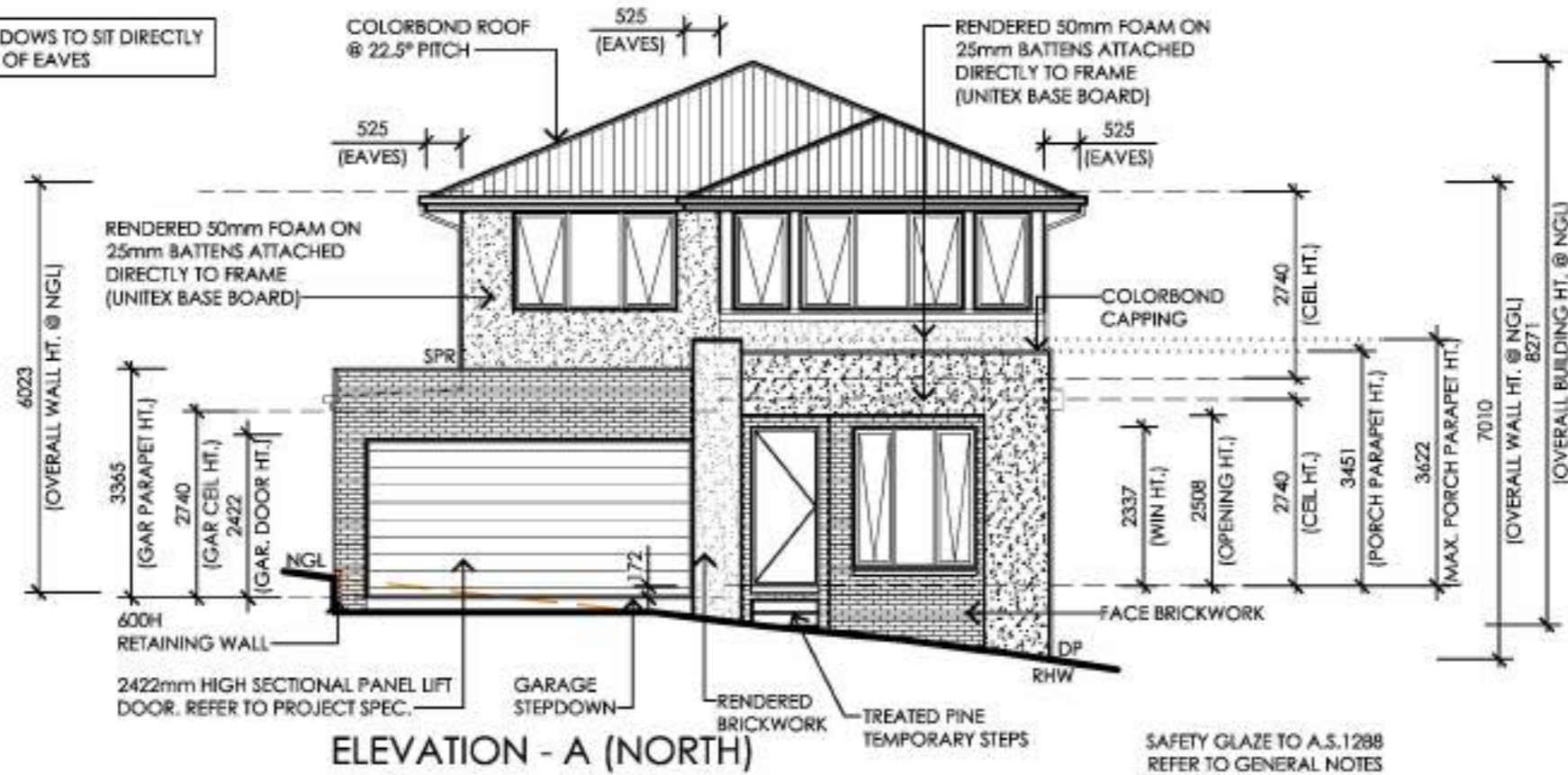
re-approval due to Condition met - requiring AHD's added to plans

DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 25.03.2026
 REVIEWED BY: Blytheb

PROJECT: **PROPOSED RESIDENCE**
 CLIENT: [REDACTED]
 AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REF: 11462	ISSUE: G
THIS IS SHEET 7 OF 26 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 18.03.2026	
SIGNED OWNER:		DRAWN: VN	
BUILDER:		CHECKED: NC	
		SCALE: 1:100	

NOTE - WINDOWS TO SIT DIRECTLY UNDERSIDE OF EAVES

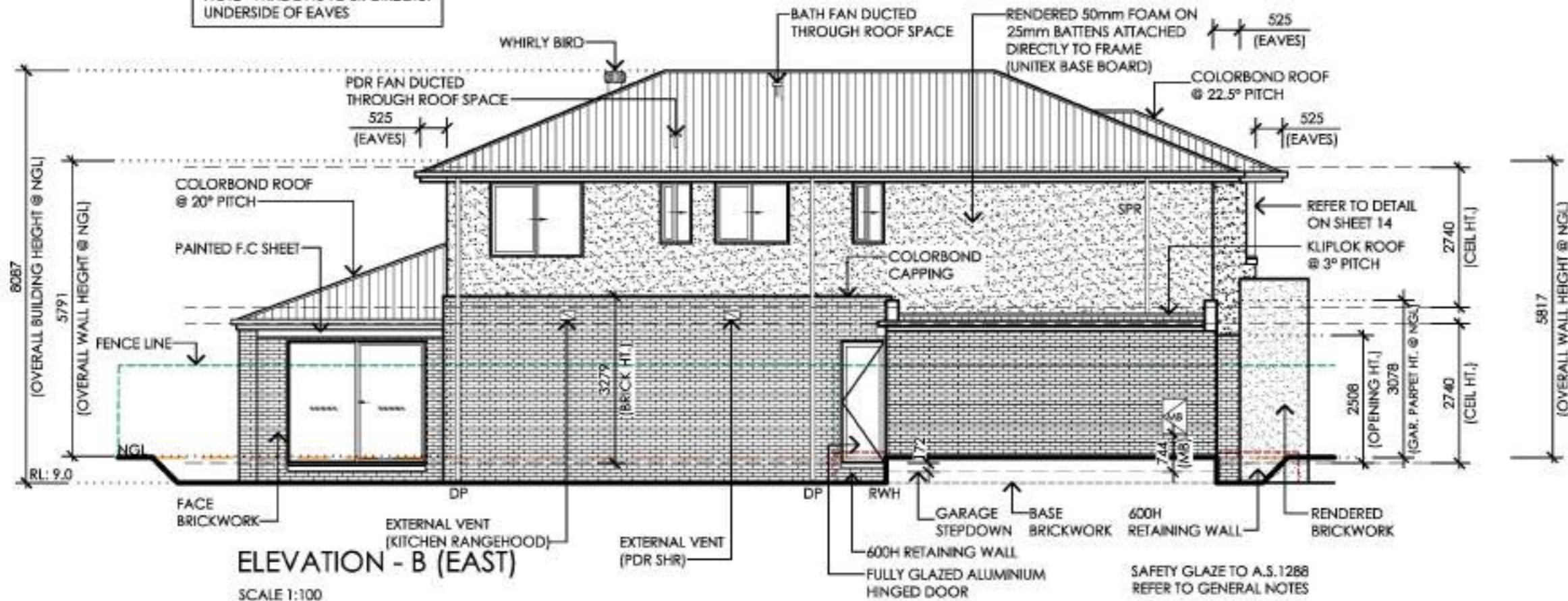


ELEVATION - A (NORTH)

SCALE 1:100

VARIATION	
VARIATION No. -	PCV#5.0
DRAFTSPERSON -	JF
DATE -	19.02.2026

NOTE - WINDOWS TO SIT DIRECTLY UNDERSIDE OF EAVES



ELEVATION - B (EAST)

SCALE 1:100

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260200
 Date Prepared: 13 May 2026

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re-approval due to Condition met - requiring AHD's added to plans

Beachwood HOMES

DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 25.03.2026
 REVIEWED BY: Blytheb

PROJECT: **PROPOSED RESIDENCE**
 CLIENT: **[REDACTED]**
 AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REP: 11462	ISSUE: G
THIS IS SHEET 12 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 18.03.2026	DRAWN: VN
SIGNED OWNER:		CHECKED: NC	SCALE: 1:100
BUILDER:		MASTER DATE: 27.06.2023	

NOTE - WINDOWS TO SIT DIRECTLY UNDERSIDE OF EAVES

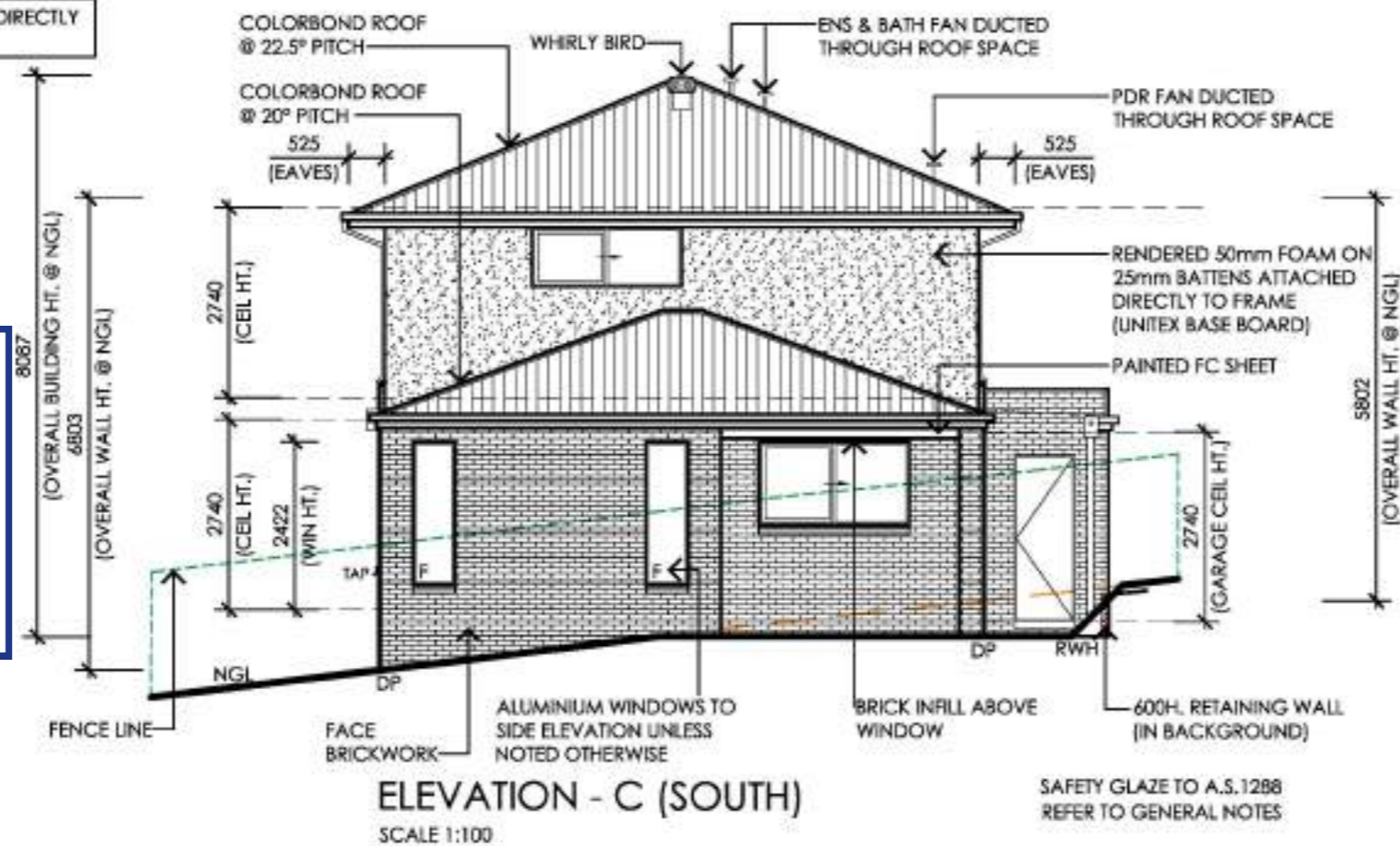
VARIATION	
VARIATION No. -	PCV#5.0
DRAFTSPERSON -	JF
DATE -	19.02.2026



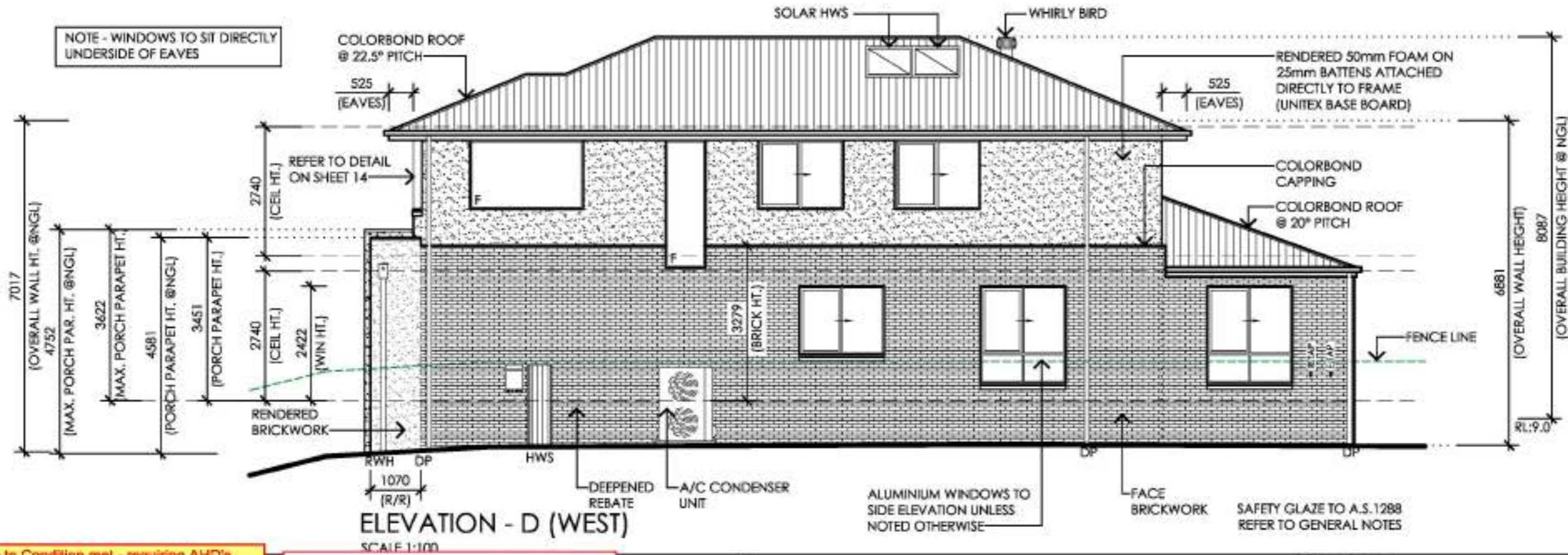
ADVERTISED MATERIAL

Planning Application: T260200
Date Prepared: 13 May 2026

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NOTE - WINDOWS TO SIT DIRECTLY UNDERSIDE OF EAVES



re-approval due to Condition met - requiring AHD's added to plans

DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 25.03.2026
REVIEWED BY: Blytheb

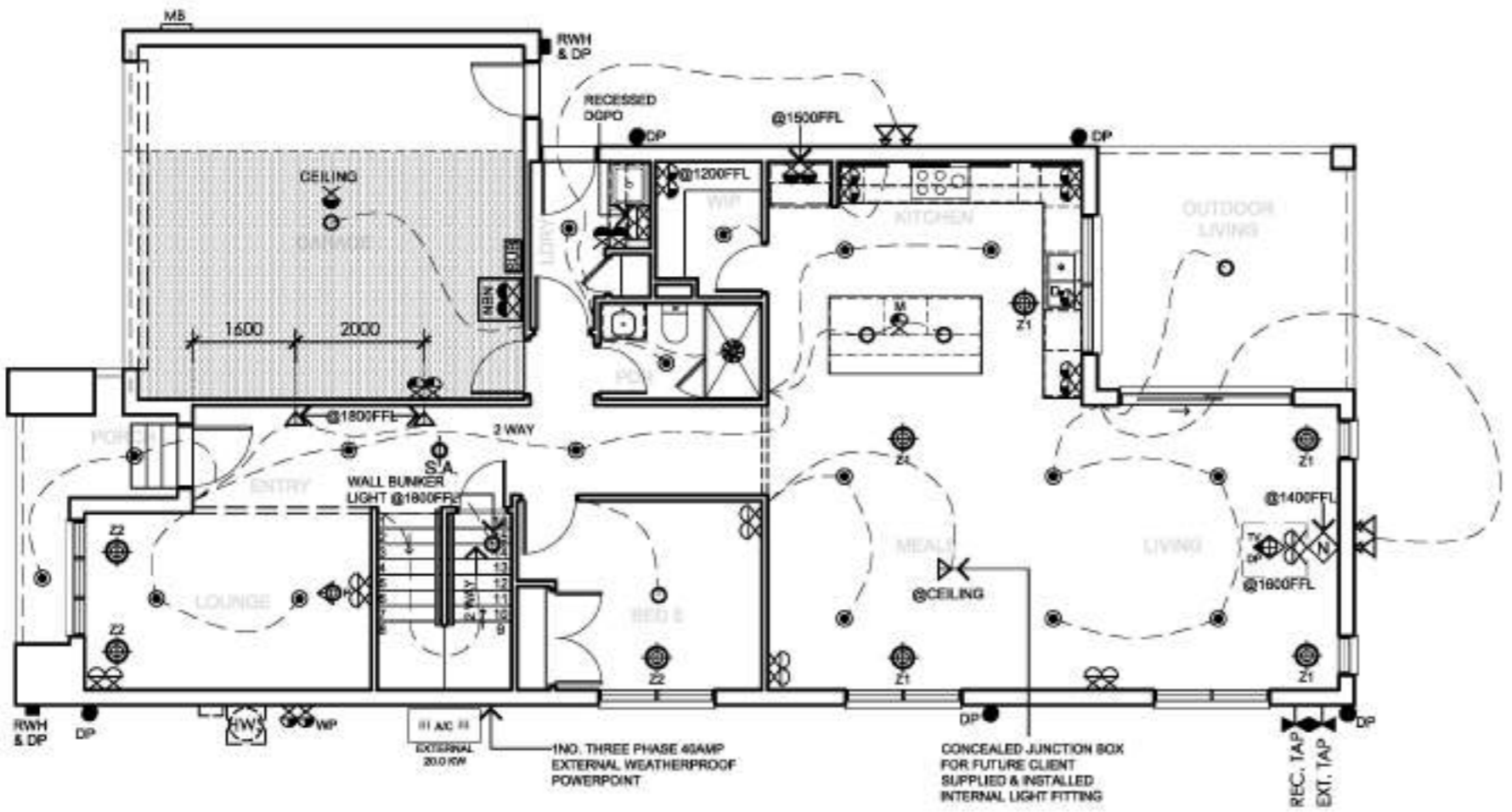
PROJECT: **PROPOSED RESIDENCE**
CLIENT: [REDACTED]
AT: **LOT 509 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REF: 11462	ISSUE: G
THIS IS SHEET 13 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 18.03.2026	DRAWN: VN
SIGNED OWNER:		CHECKED: NC	SCALE: 1:100
BUILDER:		MASTER DATE: 27.08.2023	



DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 12.03.2026
 REVIEWED BY: Blytheb


VARIATION
 VARIATION No. - **PCV#5.0**
 DRAFTSPERSON - **JF**
 DATE - **19.02.2026**



ELECTRICAL SCHEDULE

REFER TO SPECIFICATIONS FOR INCLUSIONS SYMBOLS
 MAY VARY & NOT BE APPLICABLE TO THIS PROJECT

POWER OUTLETS

3GPO - 300mm	DGPO - 300mm
3GPO - 1100mm	DGPO - 1100mm
3GPO - 1350mm	DGPO - 1350mm
3GPO - DISHWASHER @ 300	WP DGPO - EXTERNAL (WEATHER PROOF @???)
3GPO - MICROWAVE @ 800	
WP 3GPO - EXTERNAL (WEATHER PROOF @???)	

LIGHT FITTINGS

LIGHT POINT BATTEN HOLDER	DOWNLIGHT LED GLOBE
WALL LIGHT (BATTEN)	FEATURE PENDANT LIGHT - ENERGY GLOBES
EXTERNAL WALL LIGHT	SGL. EXTERNAL FLOOD LIGHT WITH SENSOR
SGL. EXTERNAL FLOOD LIGHT	DBL. EXTERNAL FLOOD LIGHT WITH SENSOR
DBL. EXTERNAL FLOOD LIGHT	DBL. EXTERNAL FLOOD LIGHT WITH SENSOR
JUNCTION BOX @ ???	LINEAR FLUORESCENT

SWITCHES

2 WAY TWO WAY SWITCH	3 WAY THREE WAY SWITCH	DIMMER SWITCH
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OTHER OUTLETS & FITTINGS

CEILING FAN	CEILING FAN WITH LIGHT
FAN LIGHT [4]	FAN LIGHT [2]
HEAT LAMP/LIGHT W FAN [4]	HEAT LAMP/LIGHT W FAN [2]
HEAT LAMP/LIGHT W/O FAN [4]	HEAT LAMP/LIGHT W/O FAN [2]
DUCTED HEATING POINT	DUCTED COOLING POINT
S.M.O. SMOKE ALARM	EVAP COOLING UNIT
EXHAUST FAN	DUCTED HEATING UNIT DOUBLE POWER POINT AND SINGLE LIGHT POINT FOR DUCTED HEATER IN CEILING
Th THERMOSTAT @ 1400	

DATA POINT	ADDITIONAL NOGGINGS @ LOCATIONS INDICATED
CENTRAL VACUUM	MOTOR VACUUM OUTLET
TELEVISION POINT	PAY TV POINT
TELEVISION & DATA POINT	TELEPHONE & DATA POINT
CAPPED COLD WATER POINT - 190mm	HWS HOT WATER SYSTEM
CAPPED GAS POINT - 300mm	INST HWS INSTANTANEOUS HWS
GAS METER	METER BOX

SPLIT SYSTEM (INTERNAL)	INTERNAL 2.4 KW	INTERNAL 3.2 KW	INTERNAL 4.8 KW	INTERNAL 6.8 KW	INTERNAL 7.8 KW	REFRIGERATED COOLING
SPLIT SYSTEM (EXTERNAL)	EXTERNAL 2.4 KW	EXTERNAL 3.2 KW	EXTERNAL 4.8 KW	EXTERNAL 6.8 KW	EXTERNAL 7.8 KW	SERVICES
SPLIT SYSTEM (ELEVATION)	ELEVATION 2.4 KW	ELEVATION 3.2 KW	ELEVATION 4.8 KW	ELEVATION 6.8 KW	ELEVATION 7.8 KW	ELEVATION



SLUB - DENOTES INTERNAL SUB BOARD (30 MODULE - M09E2212F)
MB - NOTE THREE PHASE POWER
LED STRIP LIGHT RECESSED BACK OF OVERHEAD CABINETRY
NEB - NOTE ALL NEB POINTS INCLUDING PHONE AND DATA TO CONCLUDE BACK TO NEB TERMINATION POINT (CABINET INCLUDED)
IMPORTANT NOTE - GPO FOR MICROWAVE TO BE INSTALLED OUTSIDE OF MICROWAVE RECESS
 LIGHT SWITCHES TO BE CONFIRMED ON SITE SUBJECT TO ELECTRICIANS DISCRETION AND TRUSS AND STUD LOCATIONS
 NOTE - DUCTED VENT THROUGH WALL TO BE PROVIDED TO THE RANGEHOOD AND EXHAUST FAN



ADVERTISED MATERIAL

Planning Application: T260200
 Date Prepared: 13 May 2026

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GROUND FLOOR SERVICES

BCA 3.12.3
 BUILDING SEALING & PENETRATION SEALING TO BCA 3.12.3
 BCA 3.12.1.2 (c)
 PROVIDE THERMAL BREAK AS PER BCA 3.12.1.2 (c) (IF APPLICABLE)

BCA 3.12.4.5 (d)
 ARTIFICIAL LIGHTING AROUND THE PERIMETER OF A BUILDING MUST -
 (i) BE CONTROLLED BY DAYLIGHT SENSOR; OR
 (ii) HAVE AN AVERAGE LIGHT SOURCE EFFICIENCY OF NOT LESS THAN 40 LUMENS/W



PROJECT: **PROPOSED RESIDENCE**
 CLIENT: [REDACTED]
 AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: **A3** TITLE: **SPINIFEX 34** REF: **11462** ISSUE: **F**
 THIS IS SHEET 19 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED: **06.03.2026**
 SIGNED OWNER: **VN** DRAWN: **VN**
 BUILDER: **NC** CHECKED: **NC**
 SCALE: **1:100**

BUSHFIRE PROTECTION NOTES FOR BAL-12.5

Notes: to be read in conjunction with AS 3688 - 2018

Building Element	BAL-12.5	Roof Penetrations
External Walls	The exposed components of an external wall that are within 400mm from a horizontal surface shall be: a) non-combustible material; or b) timber logs of a species with a density of 600 kg/m ³ or greater at a 12 percent moisture content, of a minimum nominal overall thickness of 90mm and a minimum thickness of 70mm; and gauge planed; or c) cladding that is fixed externally to a timber-framed or a steel-framed wall and is: i) non-combustible material; or ii) fibre-cement external cladding, a minimum of 6mm in thickness; or iii) bushfire-resisting timber; or iv) a timber species from E1; v) or a combination of (items i), ii), iii) or iv) above; or d) a combination of any of items a), b), c) or v) above	a) shall be adequately sealed with non-combustible material at the roof to prevent gaps greater than 3mm b) openings shall be fitted with ember guards (not applicable to exhaust flues) c) all overhead glazing shall be grade A safety glass
	Back: NR Framing members: NR	Eaves linings, fascias & gables a) gables shall comply as the same as walls b) eaves penetrations shall be protected the same as roof penetrations c) eaves ventilation openings greater than 3mm shall be fitted with ember guards
Joints	All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm	Gutters and downpipes NA - with the exception of box gutters which shall be non-combustible and finished at the junction with the roof with non-combustible material
External cladding	Shall be covered, sealed, overlapped, hatched or butt-jointed to prevent gaps greater than 3mm or shall be protected by sarking type material applied over the outer face of the frame prior to fixing any external cladding	Bushfire shutters shall be made from: a) non-combustible material; or b) timber species from E1; or c) bushfire-resisting timber; or a combination of a), b), c)
Vents and weepholes	Shall be screened with a mesh with a maximum aperture of 2mm, made of corrosion resistant steel, bronze or aluminium, except where the vents and weepholes are less than 3mm, or are located in an external wall of a subfloor space	Screens Screens protecting external doors and windows shall be a mesh or perforated sheet with a max 2mm aperture made of corrosion resistant steel, bronze or aluminium The frame supporting the screen shall be made from: a) metal b) bushfire-resisting timber c) timber species from E2
Floors (Beams, joists, flooring)	Enclosed: NR Unenclosed: NR	Windows • Behind bushfire shutters - or • Behind Screens - or • Less than 400mm off horizontal surface frames shall be made from: a) bushfire-resisting timber or b) timber species from E2 or c) metal or d) metal reinforced PVC-U • Glazing less than 400mm from horizontal surface shall be: - Grade A safety glass minimum 4mm or glass blocks with no restriction on glazing methods Requirements apply to external face of double glazed unit only • Operable portions of windows shall be screened
Sub-floors (Pods, slumps, columns, etc)	Enclosed: NR Unenclosed: NR	External Doors Side Hung (including French doors, panel fold and bi-fold doors) • Behind bushfire shutters - or • Behind Screens - or • Doors shall be: a) non-combustible; or b) solid having min thickness of 35mm for the over 400mm c) hollow core with non-combustible linings on the outside for the inner 400mm d) hollow core protected externally by screen e) fully framed glazed door, where the framing is made from materials specified for bushfire shutters, or from a timber species from E2 • Where doors incorporate glazing the glazing shall comply with the glazing requirements for windows • Joinery less than 400mm from horizontal surface: a) Bushfire-resisting timber or b) Timber species from E2 or c) Metal or d) Metal reinforced PVC-U Joinery greater than 400mm from horizontal surface NR Door Jamb Less than 400mm from horizontal surface: a) Bushfire-resisting timber or b) Timber species from E1 or c) Metal or d) Metal reinforced PVC-U Greater than 400mm from horizontal surface NR Weather strips, draught excluders or draught seals shall be installed at the base of side hung external doors
Ventilates, decks, steps, ramps and landings	• Decking may be spaced. Spaced decking is nominally spaced at 3mm; however that spacing may range from 0-5mm during service • There is no requirement to enclose the subfloor spaces • Materials used to enclose a subfloor space less than 400mm from the ground shall comply as walls • Supports- NR • Framing- NR • Decking, stair treads, and the trafficable surfaces of ramps and landings less than 300mm from glazing elements that are less than 400 from the surface of the deck shall be made from: a) Non-combustible material; or b) Bushfire-resisting timber; or c) Timber species listed in E1; or d) a combination of any items a), b) or c) including PVC-U for enclosed subfloor spaces	Sliding Door • Behind bushfire shutters - or • Behind Screens - or • Glazed Door - grade A safety glass Joinery less than 400mm from horizontal surface: a) Bushfire-resisting timber or b) Timber species from E2 or c) Metal or d) Metal reinforced PVC-U • There is no requirement to screen the operable part of the sliding door. However, if screened the screens shall comply with prescribed requirements • Sliding doors shall be tight fitting in the frames
Balustrades, handrails	NR	Ember guards Ember guards used to protect roof ventilation openings, sub-floor vents and weepholes to be a mesh with a max 2mm aperture made of corrosion resistant steel, bronze or aluminium
Tested Systems	AS1530.0.1 at 12.5 kW / m ²	Water and Gas supply pipes Above ground, exposed water and gas supply pipes shall be metal
Timber Summary	Window joinery - 650 kg / m ² Remainder - 750 kg / m ²	
Roof	a) Roof tiles, roof sheets, and roof covering accessories shall be non-combustible b) The roof wall junction shall be sealed to prevent openings greater than 3mm c) Roof ventilation openings shall be fitted with ember guards	
Tiled	Tiled roofs shall be fully sarked. The sarking shall: a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking b) cover the entire roof area including ridges and hips; and c) extend into gutters and valleys d) Anti-ponding boards to be installed to tiled roof as per NCC 2019, Vol 2, Clause 3.5.2.5 due to sarking required	
Sheet	Sheet roofs shall: a) be fully sarked, except that foil backed insulation blankets may be installed over the battens; and b) have any gaps greater than 3mm sealed at the face or wall line and at valleys, hips and ridges by: i) a mesh or perforated steel with a maximum aperture of 2mm, made of corrosion resistant steel, bronze or aluminium; or ii) mineral wool; or iii) other non-combustible material; or iv) a combination of any items i), ii) or iii) above	

Cardinia
ADVERTISED MATERIAL
Planning Application: T260200
Date Prepared: 13 May 2026

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VARIATION

VARIATION No. - **PCV85.0**
DRAFTSPERSON - **JF**
DATE - **19.02.2026**



PROJECT: **PROPOSED RESIDENCE**
CLIENT: **[REDACTED]**
AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE	TITLE	REF	ISSUE
A3	SPINIFEX 34	11462	H
THIS IS SHEET 2 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE:	23.04.2026
SIGNED OWNER:		DRAWN:	VN
BUILDER:		CHECKED:	NC
		SCALE:	1:200

- DRAINAGE NOTES:**
- SITE DRAINAGE SHALL COMPLY WITH NCC 3.12 'DRAINAGE' & A.S. 3500 'NATIONAL PLUMBING & DRAINAGE CODE'.
 - BASE OF CUT GRADED TO SILT TRAP AT 1:100MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
 - TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
 - DURING CONSTRUCTION, WATER RUN OFF SHALL BE COLLECTED AND CHANNLED AWAY FROM THE BUILDING.
 - STORMWATER DRAINS ARE INDICATIVE ONLY, CONTRACTOR IS TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.

- ALL LANDSCAPING BY OWNERS, BUILDER TO PROVIDE SILL RISER PROVISION AT NOMINATED LOCATIONS FOR FITTING/CONNECTION OF GRATED INLET PITS BY OWNERS, BEING INCORPORATED AS PART OF THE LANDSCAPE DESIGN.
- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
- GRATED INLET PIT / SILT TRAP CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
- CUT TOE, SPOON DRAIN, AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. FALL. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- AGGI DRAINS AT BASE OF CUT OVER 300mm, AGGI DRAINS TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM
- GRATED DRAIN TO FRONT OF GARAGE DOOR TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM

NOTE - ALL WC'S, WASHING MACHINE STOP & EXTERNAL TAPS TO BE CONNECTED TO RECYCLED WATER

- DENOTES PROPOSED MAX 1800H. FENCE**
- SIDE & REAR BOUNDARY FENCING TO BE LAPPED & CAPPED TIMBER PALINGS WITH EXPOSED POSTS (BY CLIENT AFTER HANDOVER)
 - RETURN FENCE SIDE GATES & MATCHING WING SCREENS MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATING

- MB - THREE PHASE POWER TO METER BOX**
- DENOTES BUILDING ENVELOPE
- DENOTES DEEPEMED REBATE
- DRIVEWAY BY CLIENT AFTER HANDOVER
- INDICATES - CUT AREA
- NOTE: NO FILL AREA TO BE PROVIDED TO THIS SITE



NOTES - RESCODE CLAUSE 54.

- ALL LEVELS ARE TO A.H.D U.N.O.
 SITE DIMENSIONS TO BE VERIFIED BY TITLE
 FLOOR LEVELS ARE DETERMINED BY ASSUMED LEVELS ADJACENT TO RESIDENCE AND MAY BE ADJUSTED ON SITE BY BUILDER AT BUILDER'S DISCRETION.
- FSL MIN 150mm ABOVE FSL FOR SLABS.
 - FLOOR LEVEL MIN 225mm ABOVE FSL OR PAVING ADJACENT TO O.R.G. (OVER FLOW RELIEF GRATE).
 - FSL MIN 400mm (NOMINAL) ABOVE FSL FOR STUMPS
 - SHEET FLOORING: MIN 200mm CLEAR UNDER BEARER
 - STRIP FLOORING: MIN 150mm CLEAR UNDER BEARER
 - TERMITE AREAS: MIN 400mm CLEAR UNDER BEARER UNLESS METHOD OF PROTECTION OR RELEVANT STANDARDS RECOMMEND OTHERWISE
 - A MAXIMUM OF 600mm OF GRANULAR OR 300mm OF CLAY/SILT FILLING INCLUDING ANY EXISTING FILLING MAY BE PLACED UNDER SLAB PANELS.
 - REFER TO APPENDIX OF SOIL REPORT FOR CONSTRUCTION AND MAINTENANCE REQUIREMENTS
 - ALL LEVELS ARE FINISHED SURFACE LEVELS U.N.O.
 - MAX 200mm FILL AT EXTERNAL DOORS
 - GRADE FSL AWAY FROM RESIDENCE

A5. SITE COVERAGE STATISTICS

SITE AREA	420.0 m ²	HARD PAVING	0.0 m ²
BUILDING AREA	187.2 m ²	TOTAL HARD COVER	187.2 m ²
SITE COVERAGE	44.6 %	PERMEABLE AREA	55.43 %

* NOTE: 20% TO BE PERMEABLE IS NOT COVERED

RETAINING WALLS & EXCAVATIONS
 DESIGN SURCHARGE OF 5 kpa TO BE INCLUDED

- BRICK, CONCRETE OR OTHER, MAX 1.00H
- SLEEPER OR SIM. RETAINING WALL, MAX 1.00H
- RETAINING WALLS TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION. ALLOW 5KPa SURCHARGE ON BOUNDARY U.N.O. RETAINING WALLS TO BE CONSTRUCTED & PROTECTION NOTICE SERVED IN ACCORDANCE WITH BUILDING CONTROL ACT 1993. OWNER/CONTRACTOR IS TO PROVIDE INSURANCE, SURVEY OF EXISTING CONDITIONS & NEIGHBOUR'S CONSENT FOR CONSTRUCTION IN ACCORDANCE WITH ACT.
- BATTERS ARE AT 45° & THATCHED OR LANDSCAPED U.N.O. CUT OFF DRAINS AT BASE OF EXCAVATION TO CONNECT TO STORM WATER DRAINS VIA SILT PIT WITH GRATED COVER BY OWNER OR CONTRACT VARIATION
- BATTERS ARE GRADED AT 45° CLAY 30° SAND.
- BATTERS ARE TO BE THATCHED WITH ROCK, MESH, MULCH OR AS DESIRED, BY OTHERS.
- EXTENT OF EXCAVATION
- ALL SITE WORKS ARE TO BE PROVIDED BY OWNER OR BY CONTRACT VARIATION
- TBM TEMPORARY BENCH MARK
- A TREE TO BE REMOVED
- B TREE TO BE RETAINED
- TREE ROOT PROTECTION, WHERE REQUIRED, SHALL BE IN ACCORDANCE WITH TN61, AND CONSTRUCTED IN ACCORDANCE WITH ENGINEER'S DESIGN. TO BE PROVIDED BY OWNER OR CONTRACT VARIATION

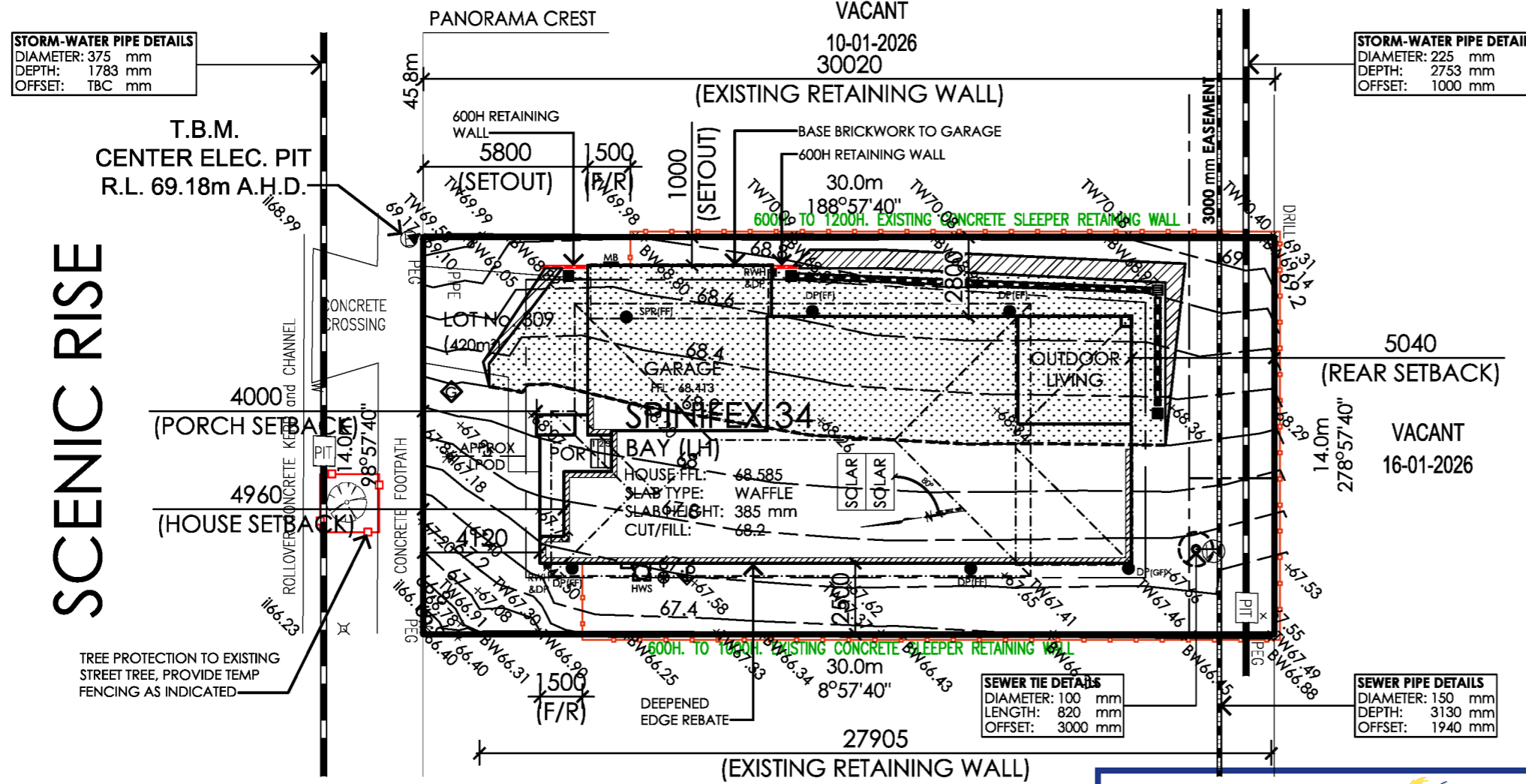
ADVISORY NOTE: DRIVEWAY GRADES
 OWNERS/CLIENTS ARE ADVISED THAT DRIVEWAY GRADIENTS WITHIN THE PROPERTY SHOULD BE AT 1 IN 5 MAXIMUM AND THAT TRANSITIONS MAY BE REQUIRED AT CHANGE OF GRADES. REFER TO A.S.2890 FOR DESIGN REQUIREMENTS. IF SITE CONDITIONS REQUIRE A STEEPER GRADE THAN 1 IN 5 THE OWNERS ACKNOWLEDGE BY SIGNING THIS DRAWING THAT VEHICLE ACCESS MAY BE COMPROMISED.

STORM-WATER PIPE DETAILS
 DIAMETER: 375 mm
 DEPTH: 1783 mm
 OFFSET: TBC mm

STORM-WATER PIPE DETAILS
 DIAMETER: 225 mm
 DEPTH: 2753 mm
 OFFSET: 1000 mm

SEWER TIE DETAILS
 DIAMETER: 100 mm
 LENGTH: 820 mm
 OFFSET: 3000 mm

SEWER PIPE DETAILS
 DIAMETER: 150 mm
 DEPTH: 3130 mm
 OFFSET: 1940 mm

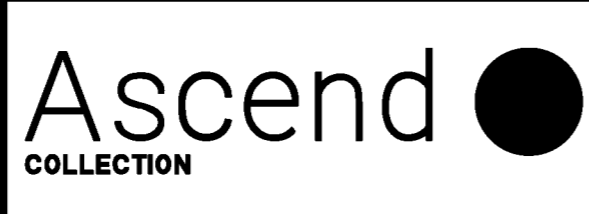


SCENIC RISE

VARIATION
 VARIATION No. - **PCV#5.0**
 DRAFTSPERSON - **JF**
 DATE - **19.02.2026**

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260200
 Date Prepared: 13 May 2024
SITE PLAN

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PROJECT: **PROPOSED RESIDENCE**
 CLIENT: **[REDACTED]**
 AT: **LOT 309 SCENIC RISE PAKENHAM**

REF: 11462	ISSUE: H
DATE: 23.04.2026	DRAWN: VN
CHECKED: NC	SCALE: 1:200
THIS IS SHEET 3 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:	
SIGNED OWNER:	
BUILDER:	

- DRAINAGE NOTES:**
- SITE DRAINAGE SHALL COMPLY WITH NCC 3.12 'DRAINAGE' & A.S. 3500 'NATIONAL PLUMBING & DRAINAGE CODE'.
 - BASE OF CUT GRADED TO SILT TRAP AT 1:100MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
 - TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
 - DURING CONSTRUCTION, WATER RUN OFF SHALL BE COLLECTED AND CHANNLED AWAY FROM THE BUILDING.
 - STORMWATER DRAINS ARE INDICATIVE ONLY, CONTRACT DRAINER IS TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.

- ALL LANDSCAPING BY OWNERS, BUILDER TO PROVIDE SILL RISER PROVISION AT NOMINATED LOCATIONS FOR FITTING/CONNECTION OF GRATED INLET PITS BY OWNERS, BEING INCORPORATED AS PART OF THE LANDSCAPE DESIGN.
- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
- GRATED INLET PIT / SILT TRAP CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
- CUT TOE, SPOON DRAIN, AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. FALL. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- AGGI DRAINS AT BASE OF CUT OVER 300mm, AGGI DRAINS TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM
- GRATED DRAIN TO FRONT OF GARAGE DOOR TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM

 GARDEN AREA = 206.3m² (49.1%)

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260200
 Date Prepared: 13 May 2026

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NOTES - RESCODE CLAUSE 54.


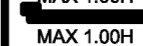
- ALL LEVELS ARE TO A.H.D U.N.O.
 SITE DIMENSIONS TO BE VERIFIED BY TITLE
 FLOOR LEVELS ARE DETERMINED BY ASSUMED LEVELS ADJACENT TO RESIDENCE AND MAY BE ADJUSTED ON SITE BY BUILDER AT BUILDER'S DISCRETION.
- FFL MIN 150mm ABOVE FSL FOR SLABS.
 - FLOOR LEVEL MIN 225mm ABOVE FSL OR PAVING ADJACENT TO O.R.G. (OVER FLOW RELIEF GRATE).
 - FFL MIN 400mm (NOMINAL) ABOVE FSL FOR STUMPS
 - SHEET FLOORING: MIN 200mm CLEAR UNDER BEARER
 - STRIP FLOORING: MIN 150mm CLEAR UNDER BEARER
 - TERMITE AREAS: MIN 400mm CLEAR UNDER BEARER UNLESS METHOD OF PROTECTION OR RELEVANT STANDARDS RECOMMEND OTHERWISE
 - A MAXIMUM OF 600mm OF GRANULAR OR 300mm OF CLAY/SILT FILLING INCLUDING ANY EXISTING FILLING MAY BE PLACED UNDER SLAB PANELS.
 - REFER TO APPENDIX OF SOIL REPORT FOR CONSTRUCTION AND MAINTENANCE REQUIREMENTS
 - ALL LEVELS ARE FINISHED SURFACE LEVELS U.N.O.
 - MAX 200mm FILL AT EXTERNAL DOORS
 - GRADE FSL AWAY FROM RESIDENCE

A5. SITE COVERAGE STATISTICS


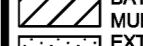


SITE AREA	420.0 m ²	HARD PAVING	0.0 m ²
BUILDING AREA	187.2 m ²	TOTAL HARD COVER	187.2 m ²
SITE COVERAGE	44.6 %	PERMEABLE AREA	55.43 %




* NOTE: 20 % TO BE PERMEABLE IS NOT COVERED

RETAINING WALLS & EXCAVATIONS
 DESIGN SURCHARGE OF 5 kpa TO BE INCLUDED

-  BRICK, CONCRETE OR OTHER, MAX 1.00H
-  SLEEPER OR SIM. RETAINING WALL, MAX 1.00H

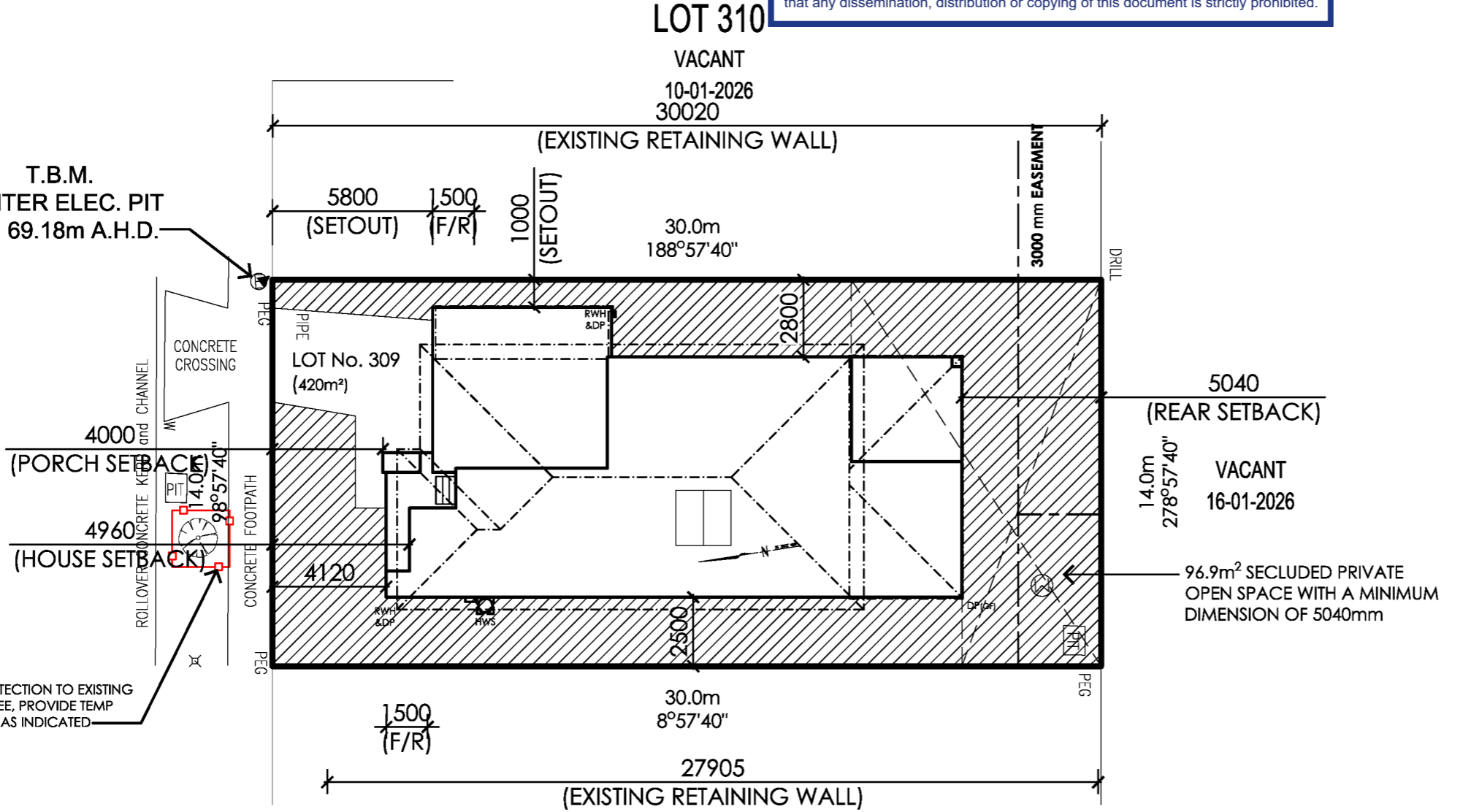
RETAINING WALLS TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION. ALLOW 5KPa SURCHARGE ON BOUNDARY U.N.O. RETAINING WALLS TO BE CONSTRUCTED & PROTECTION NOTICE SERVED IN ACCORDANCE WITH BUILDING CONTROL ACT 1993. OWNER/CONTRACTOR IS TO PROVIDE INSURANCE, SURVEY OF EXISTING CONDITIONS & NEIGHBOUR'S CONSENT FOR CONSTRUCTION IN ACCORDANCE WITH ACT. BATTERS ARE AT 45° & THATCHED OR LANDSCAPED U.N.O. CUT OFF DRAINS AT BASE OF EXCAVATION TO CONNECT TO STORM WATER DRAINS VIA SILT PIT WITH GRATED COVER BY OWNER OR CONTRACT VARIATION

-  BATTERS ARE GRADED AT 45° CLAY 30° SAND.
-  BATTERS ARE TO BE THATCHED WITH ROCK, MESH, MULCH OR AS DESIRED, BY OTHERS.
-  EXTENT OF EXCAVATION
-  ALL SITE WORKS ARE TO BE PROVIDED BY OWNER OR BY CONTRACT VARIATION

- TBM  TEMPORARY BENCH MARK
-  A TREE TO BE REMOVED
-  B TREE TO BE RETAINED
- TREE ROOT PROTECTION, WHERE REQUIRED, SHALL BE IN ACCORDANCE WITH TN61, AND CONSTRUCTED IN ACCORDANCE WITH ENGINEER'S DESIGN. TO BE PROVIDED BY OWNER OR CONTRACT VARIATION

ADVISORY NOTE: DRIVEWAY GRADES
 OWNERS/CLIENTS ARE ADVISED THAT DRIVEWAY GRADIENTS WITHIN THE PROPERTY SHOULD BE AT 1 in 5 MAXIMUM AND THAT TRANSITIONS MAY BE REQUIRED AT CHANGE OF GRADES. REFER TO A.S.2890 FOR DESIGN REQUIREMENTS. IF SITE CONDITIONS REQUIRE A STEEPER GRADE THAN 1 in 5 THE OWNERS ACKNOWLEDGE BY SIGNING THIS DRAWING THAT VEHICLE ACCESS MAY BE COMPROMISED.

SCENIC RISE



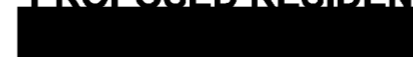
VARIATION

VARIATION No. - **PCV#5.0**

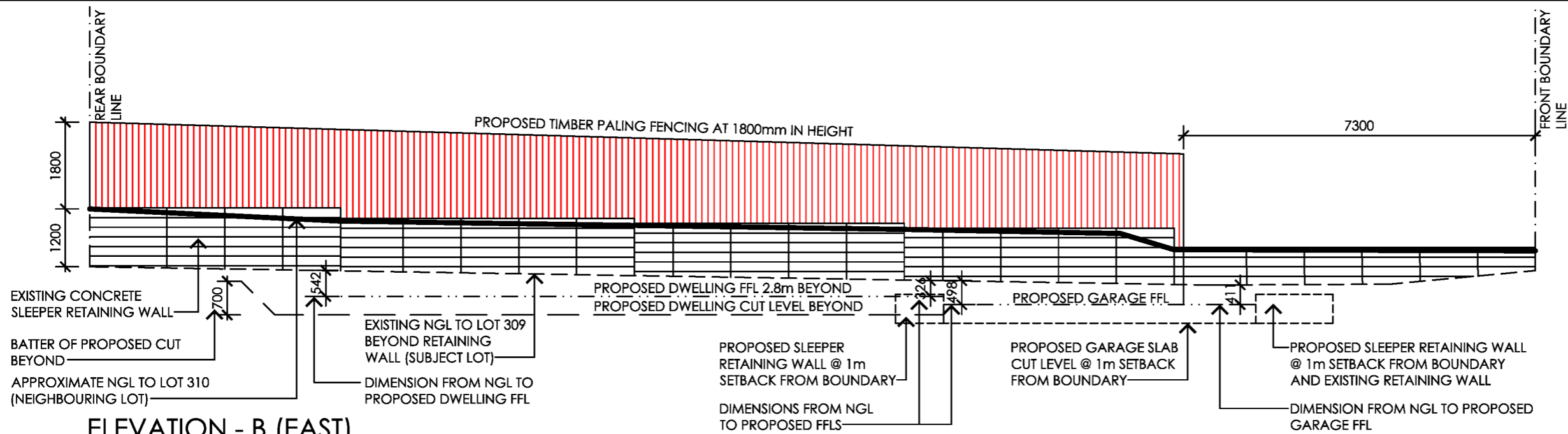
DRAFTSPERSON - **JF**

DATE - **19.02.2026**



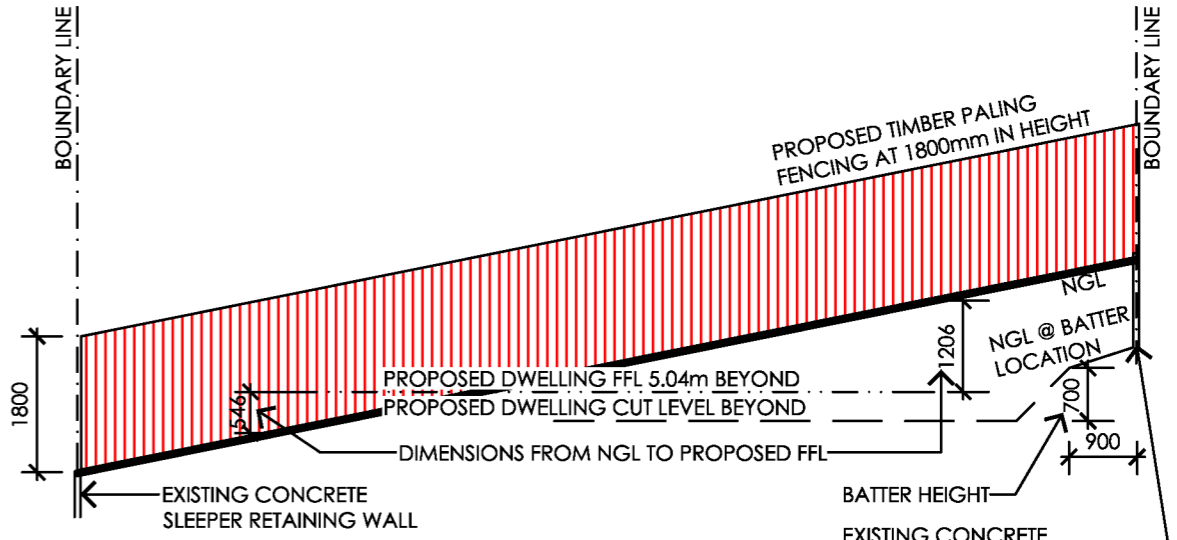
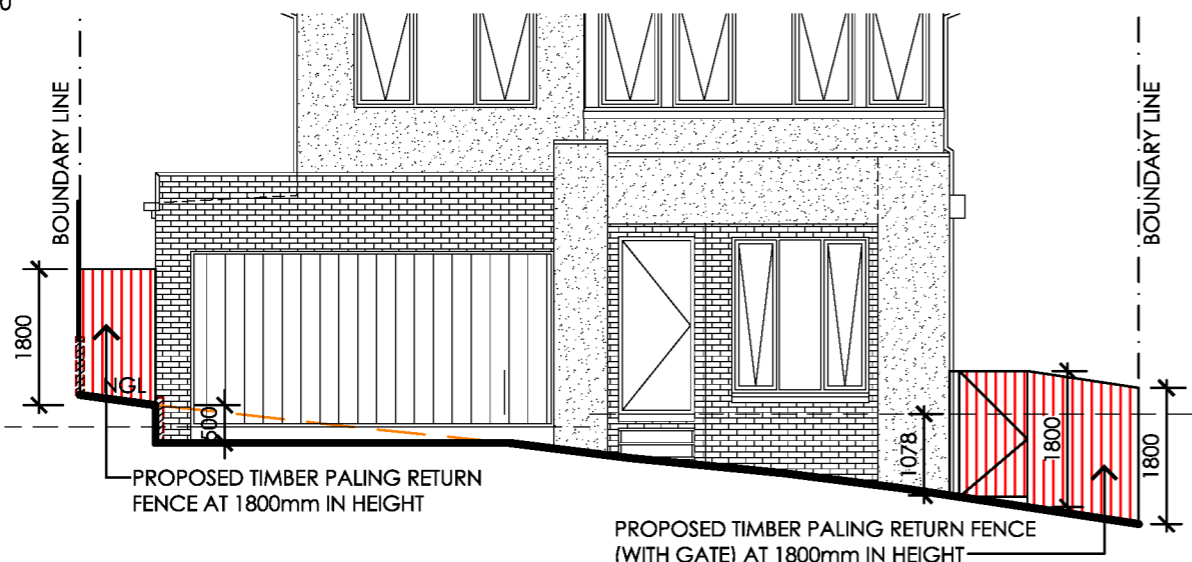
PROJECT: **PROPOSED RESIDENCE**
 CLIENT: 
 AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REF: 11462	ISSUE: H
THIS IS SHEET 4 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 23.04.2026	
SIGNED OWNER:		DRAWN: VN	
BUILDER:		CHECKED: NC	
		SCALE: 1:200	



VARIATION	
VARIATION No. -	PCV#5.0
DRAFTSPERSON -	JF
DATE -	19.02.2026

ELEVATION - B (EAST)
SCALE 1:100



ELEVATION - C (SOUTH)
SCALE 1:100

Cardina

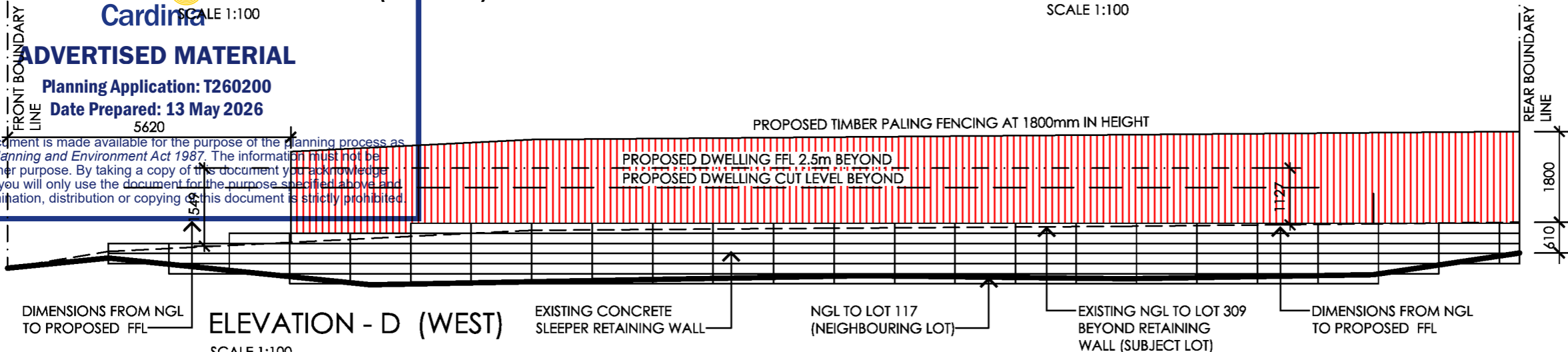
ADVERTISED MATERIAL

Planning Application: T260200

Date Prepared: 13 May 2026

5620

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ELEVATION - D (WEST)
SCALE 1:100

FENCE & RETAINING ELEVATIONS



PROJECT: **PROPOSED RESIDENCE**

CLIENT: [REDACTED]

AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REF: 11462	ISSUE: H
THIS IS SHEET 5 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 23.04.2026	
SIGNED OWNER:		DRAWN: VN	
BUILDER:		CHECKED: NC	
		SCALE: 1:100	



VARIATION

VARIATION No. - **PCV#5.0**

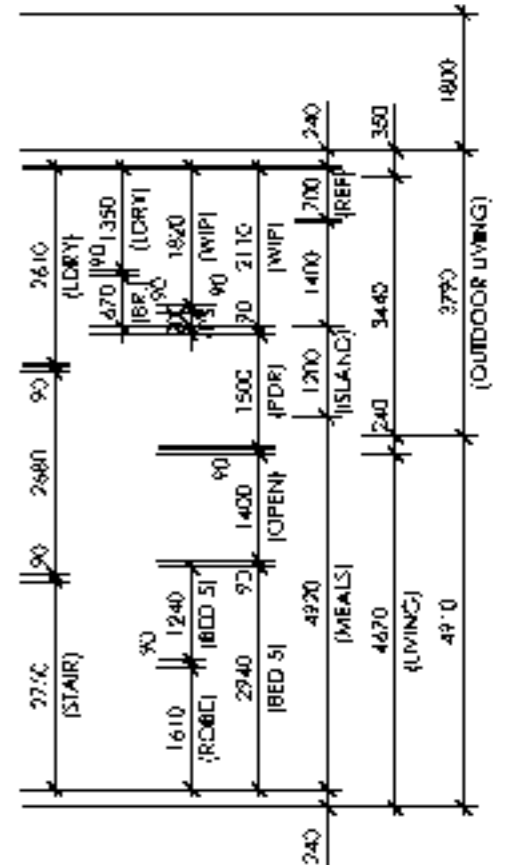
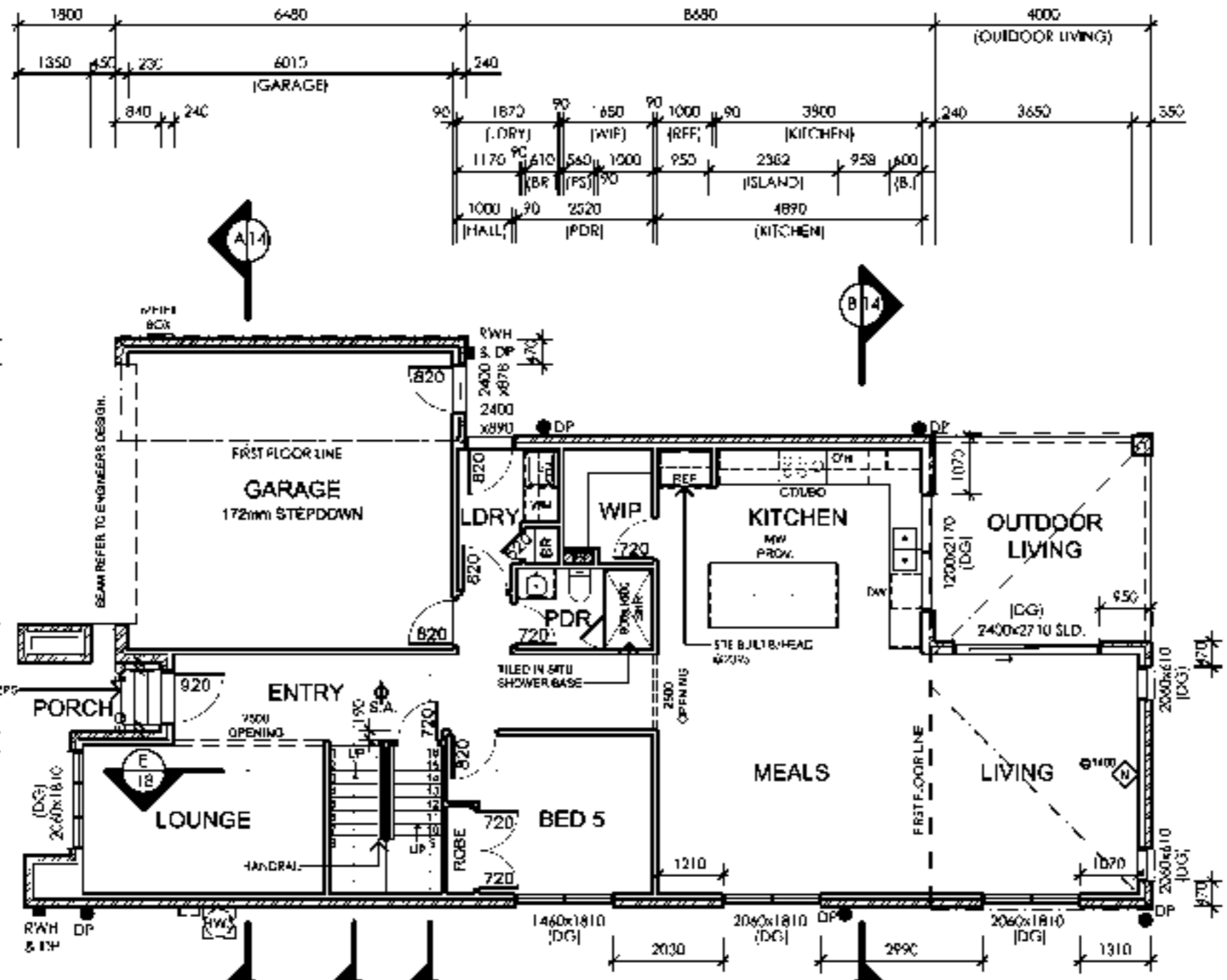
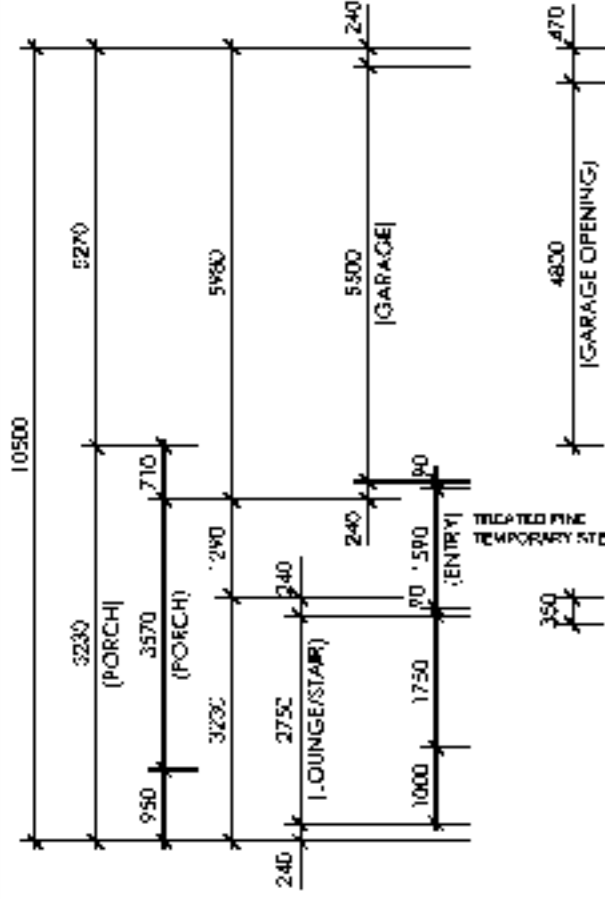
DRAFTSPERSON - **JF**

DATE - **19.02.2026**



- DENOTES ADDITIONAL NOGGINGS @ LOCATIONS INDICATED

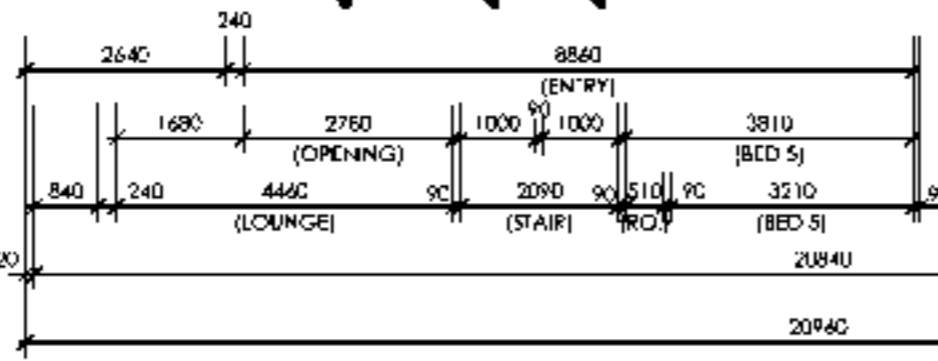
NOTE - 2340mm DOORS THROUGHOUT



STAIRCASE WALLS AND UNDERSIDE OF STAIRCASE (HIGHER SIDE ONLY) TO BE PLASTER LINED

PROVIDE NON-SLIP RESISTANCE TO STAIR TREADS IN ACCORDANCE WITH NCC CLAUSE 3.9.1.4 AND AS 4586

NOTE - DUCTED VENT TO BE PROVIDED TO THE RANGEHOOD AND EXHAUST FAN



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ADVERTISED MATERIAL

Planning Application: T260200
Date Prepared: 13 May 2026

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NOTE - 2740mm HIGH DROPPED CEILING

NOTE - 100mm STEPDOWN TO ALL EXTERNAL CONCRETE SURFACES

GROUND FLOOR PLAN

- DELUXE KITCHEN OPT.

- FIRST FLOOR POWDER ROOM OPT.

- SHOWER TO POWDER ROOM OPT.

- GROUND FLOOR FIFTH BEDROOM OPT.



PROJECT: **PROPOSED RESIDENCE**

CLIENT: **[REDACTED]**

AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE:	TITLE:	REF:	ISSUE:
A3	SPINIFEX 34	11462	H
THIS IS SHEET 8 OF 20 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE:	23.04.2026
SIGNED OWNER:		DRAWN:	VN
BUILDER:		CHECKED:	NC
		SCALE:	1:100

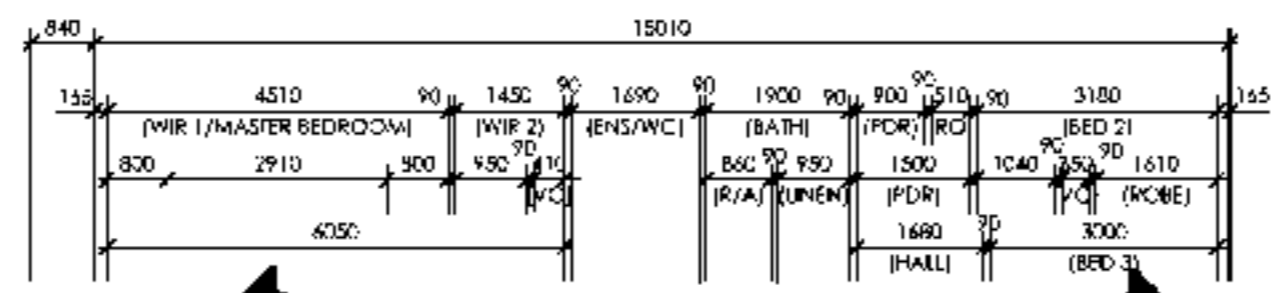
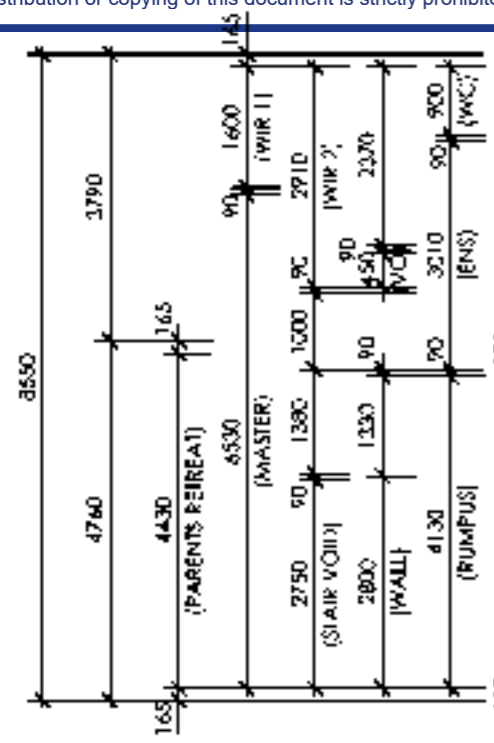


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ADVERTISED MATERIAL

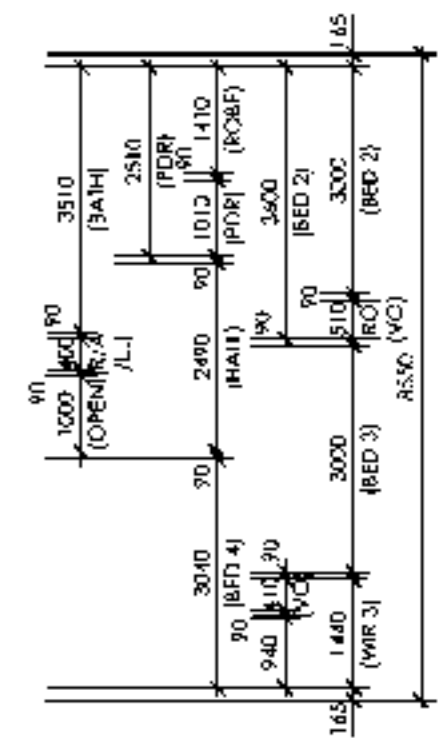
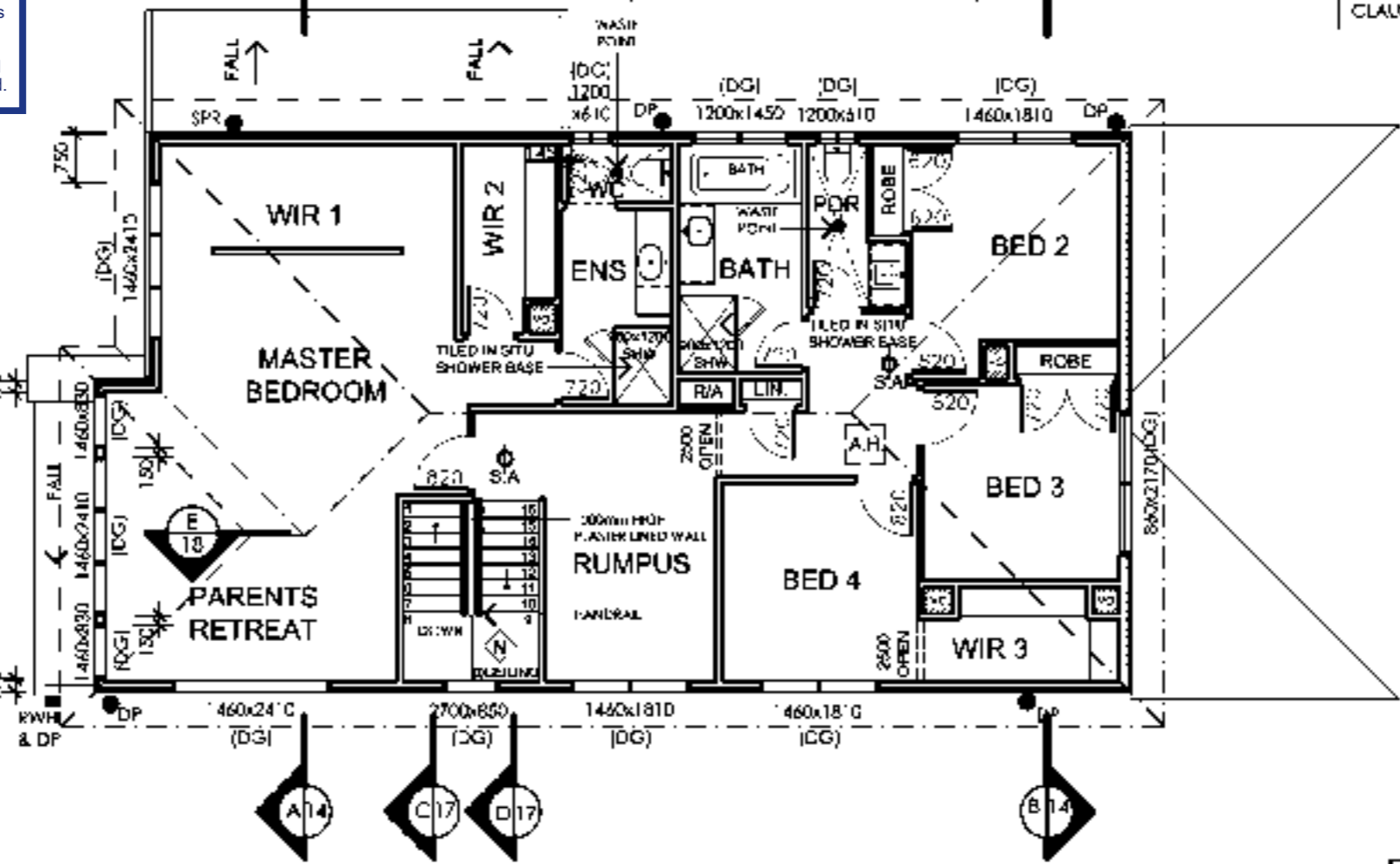
Planning Application 1206200
Date Prepared: 13 May 2026

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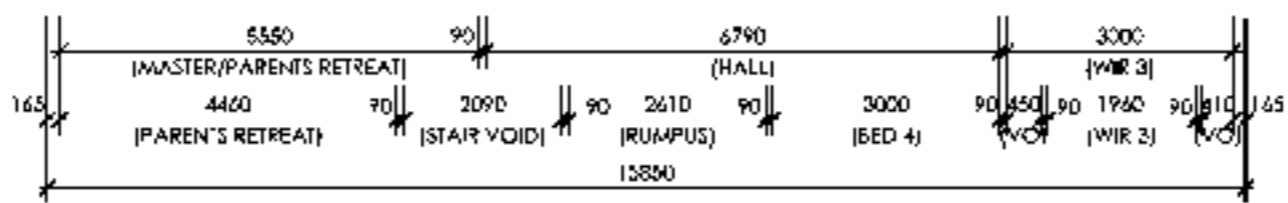


NOTE: FNS WC & POR FLOORS STEPPED DOWN TO ACCOMMODATE SCREEDING TO CENTRAL WASTE POINT

- NOTE - 2340mm DOORS THROUGHOUT
- NOTE - DUCTED VENT TO BE PROVIDED THROUGH ROOF TO EXHAUST FANS
- NOTE - MAXIMUM ALLOWABLE WINDOW OPENING TO BE 25mm FOR ALL FIRST FLOOR WINDOWS
- NOTE - ALL WINDOWS TO BE CENTRED UNLESS NOTED OTHERWISE
- PROVIDE NON-SLIP RESISTANCE TO STAIR TREADS IN ACCORDANCE WITH NCC CLAUSE 3.9.1.4 AND AS 4586



VARIATION	
VARIATION No. -	PCV#5.0
DRAFTSPERSON -	JF
DATE -	19.02.2026



- FIRST FLOOR PLAN**
- DELUXE KITCHEN OPT.
- FIRST FLOOR POWDER ROOM OPT.
- SHOWER TO POWDER ROOM OPT.
- GROUND FLOOR FIFTH BEDROOM OPT.



PROJECT: **PROPOSED RESIDENCE**
CLIENT: **[REDACTED]**
AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE:	TITLE:	REF:	ISSUE:
A3	SPINIFEX 34	11462	H
THIS IS SHEET 7 OF 20 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE:	23.04.2026
SIGNED OWNER:		DRAWN:	VN
BUILDER:		CHECKED:	NC
		SCALE:	1:100

VARIATION

VARIATION No. - **PCV#5.0**
 DRAFTSPERSON - **JF**
 DATE - **19.02.2026**

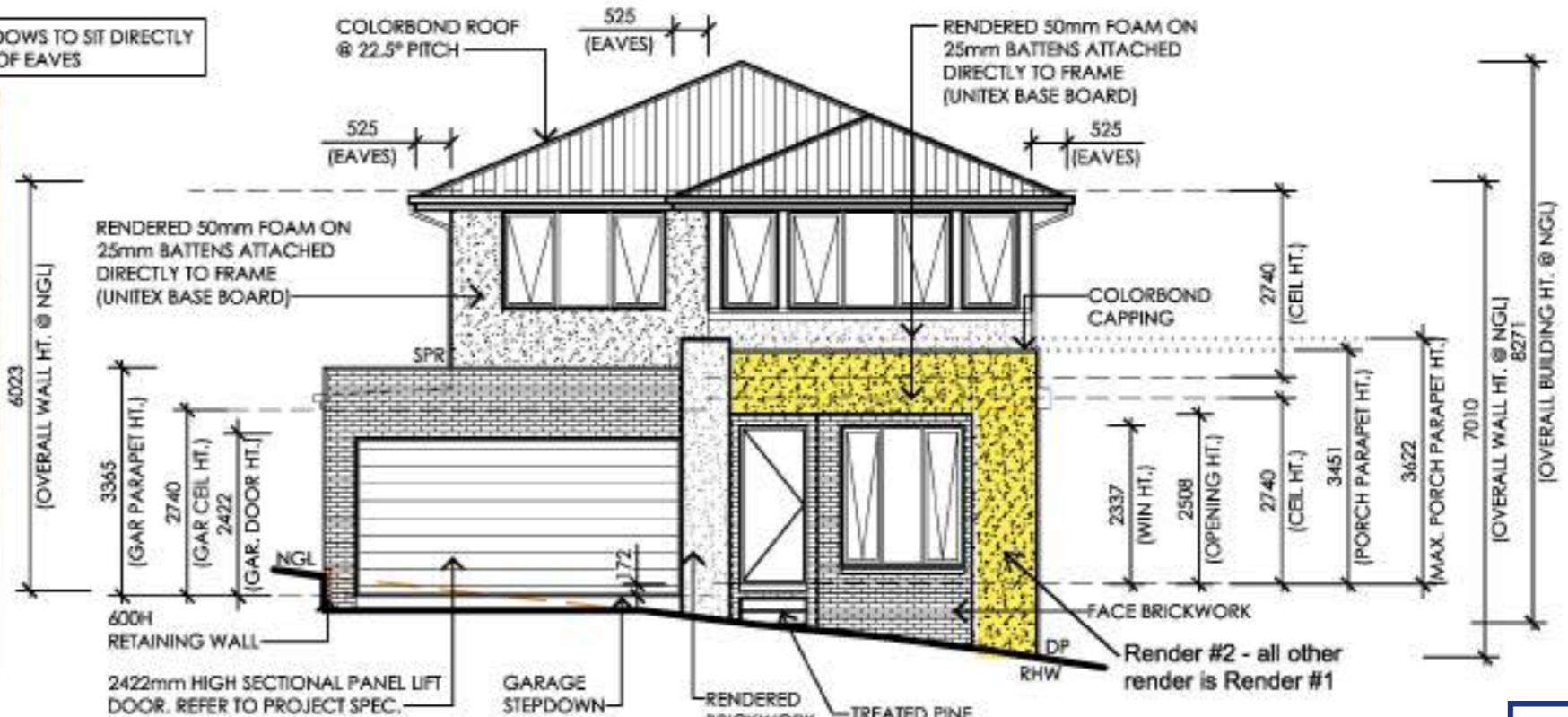
Cardinia

ADVERTISED MATERIAL

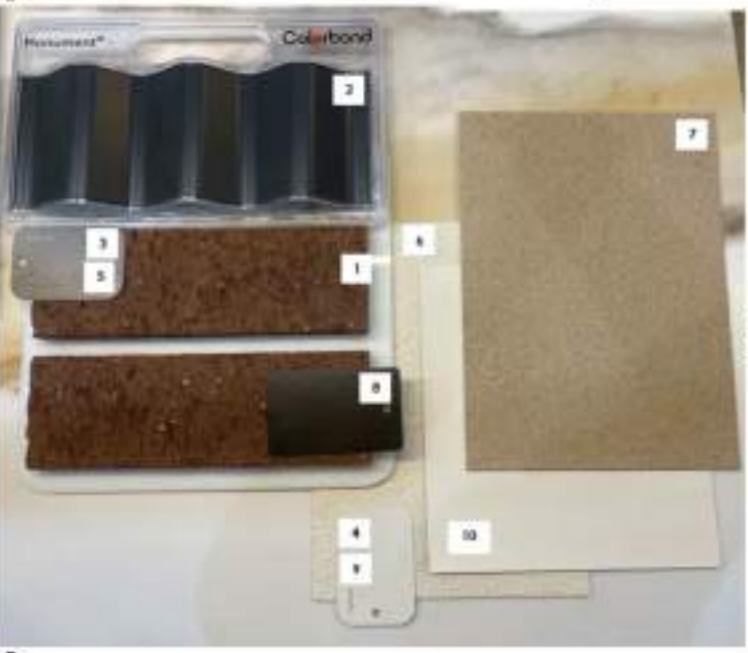
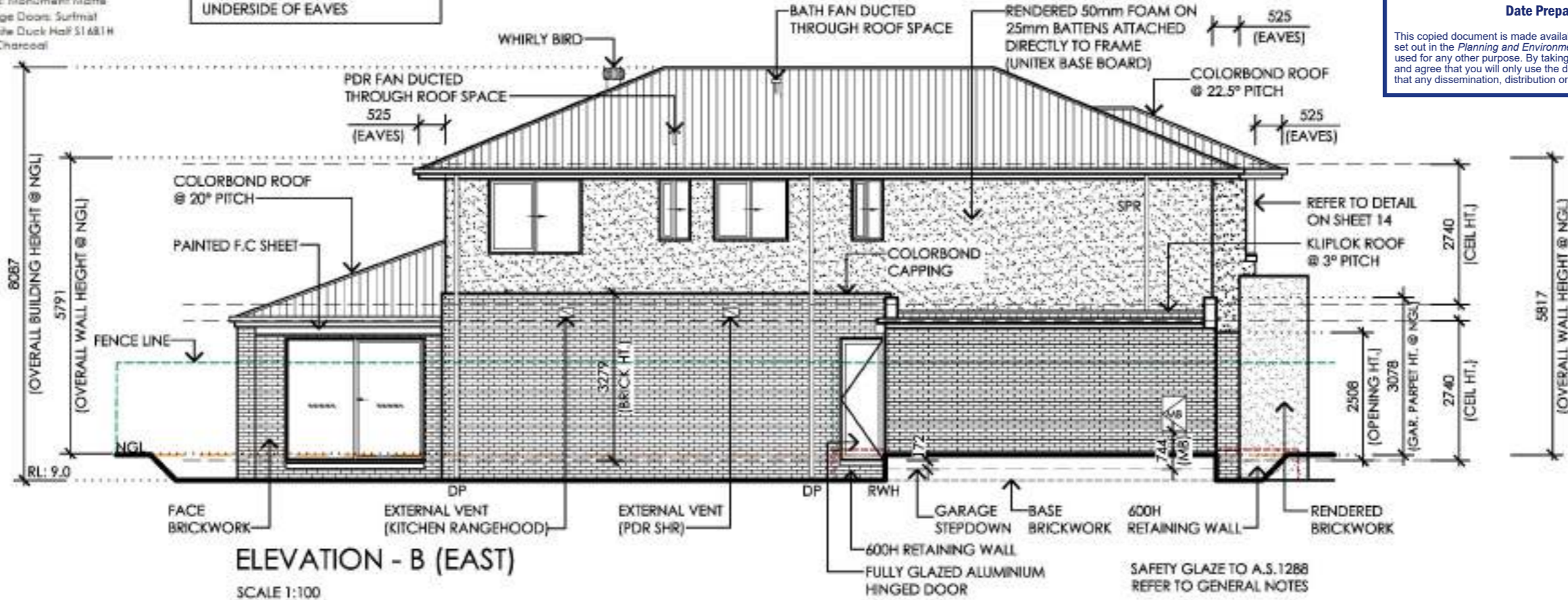
Planning Application: **T260200**
 Date Prepared: **13 May 2026**

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NOTE - WINDOWS TO SIT DIRECTLY UNDERSIDE OF EAVES



NOTE - WINDOWS TO SIT DIRECTLY UNDERSIDE OF EAVES



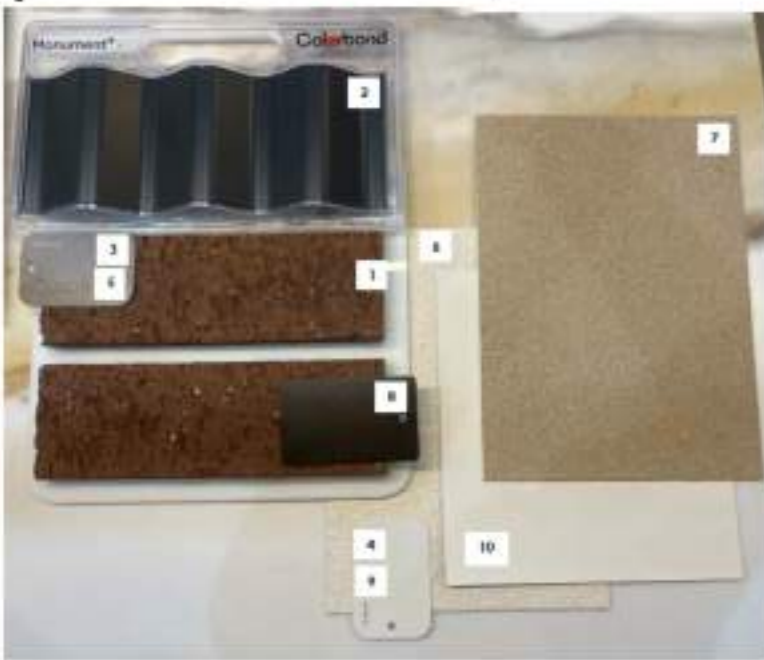
- 1. Brick Austral: Access Tan
- 2. Metal Roof Colorbond: Monument
- 3. Gutter/Fascia Colorbond: Monument
- 4. Downpipes Colorbond: Surfmat
- 5. Meter box Colorbond: Monument
- 6. Render #1 Dulux: White Duck Half S1481H
- 7. Render #2 Dulux: Clay Dust S1204
- 8. Window Frames Bradnams: Monument Matte
- 9. Garage Door Eco Garage Doors: Surfmat
- 10. Front Door Dulux: White Duck Half S1481H
- 11. Evaporative Cooling Bonair: Charcoal



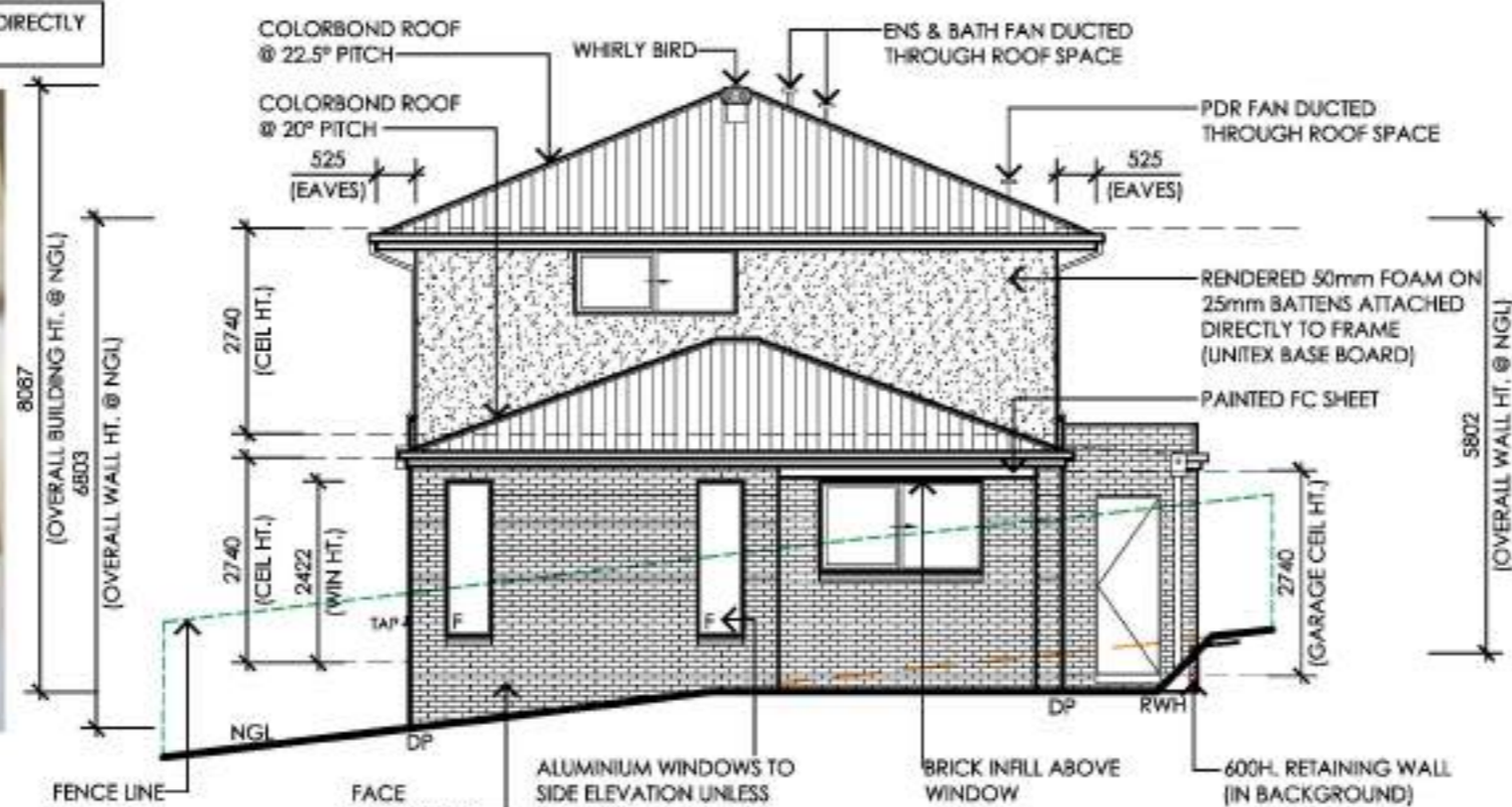
PROJECT: **PROPOSED RESIDENCE**
 CLIENT: **[REDACTED]**
 AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REF: 11462	ISSUE: H
THIS IS SHEET 12 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 23.04.2026	DRAWN: VN
SIGNED OWNER:		CHECKED: NC	SCALE: 1:100
BUILDER:		MASTER DATE: 27.06.2023	

NOTE - WINDOWS TO SIT DIRECTLY UNDERSIDE OF EAVES



- 1. Brick Austral: Access Tan
- 2. Metal Roof Colorbond: Monument
- 3. Gutter/Fascia Colorbond: Monument
- 4. Downpipes Colorbond: Surfmist
- 5. Meter box Colorbond: Monument
- 6. Render #1 Dulux: White Duck Half S16B1H
- 7. Render #2 Dulux: Clay Dust S13D4
- 8. Window Frames Bradnams: Monument Matte
- 9. Garage Door Eco Garage Doors: Surfmist
- 10. Front Door Dulux: White Duck Half S16B1H
- 11. Evaporative Cooling Bonaire: Charcoal



ELEVATION - C (SOUTH)
SCALE 1:100

SAFETY GLAZE TO A.S.1288
REFER TO GENERAL NOTES

VARIATION	
VARIATION No. -	PCV#5.0
DRAFTSPERSON -	JF
DATE -	19.02.2026

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260200
 Date Prepared: 13 May 2026

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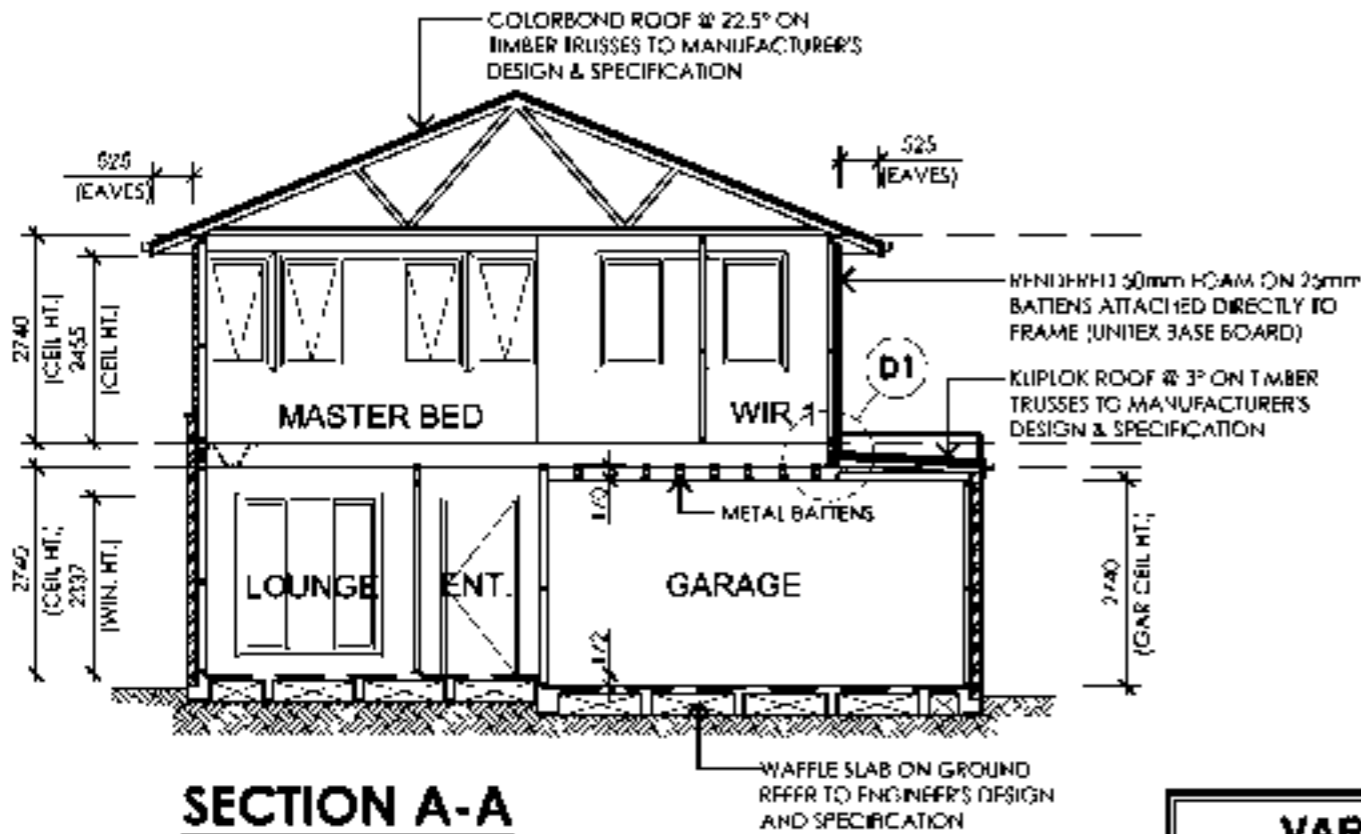
ELEVATION - D (WEST)
SCALE 1:100

Render #2 - all other render is Render #1



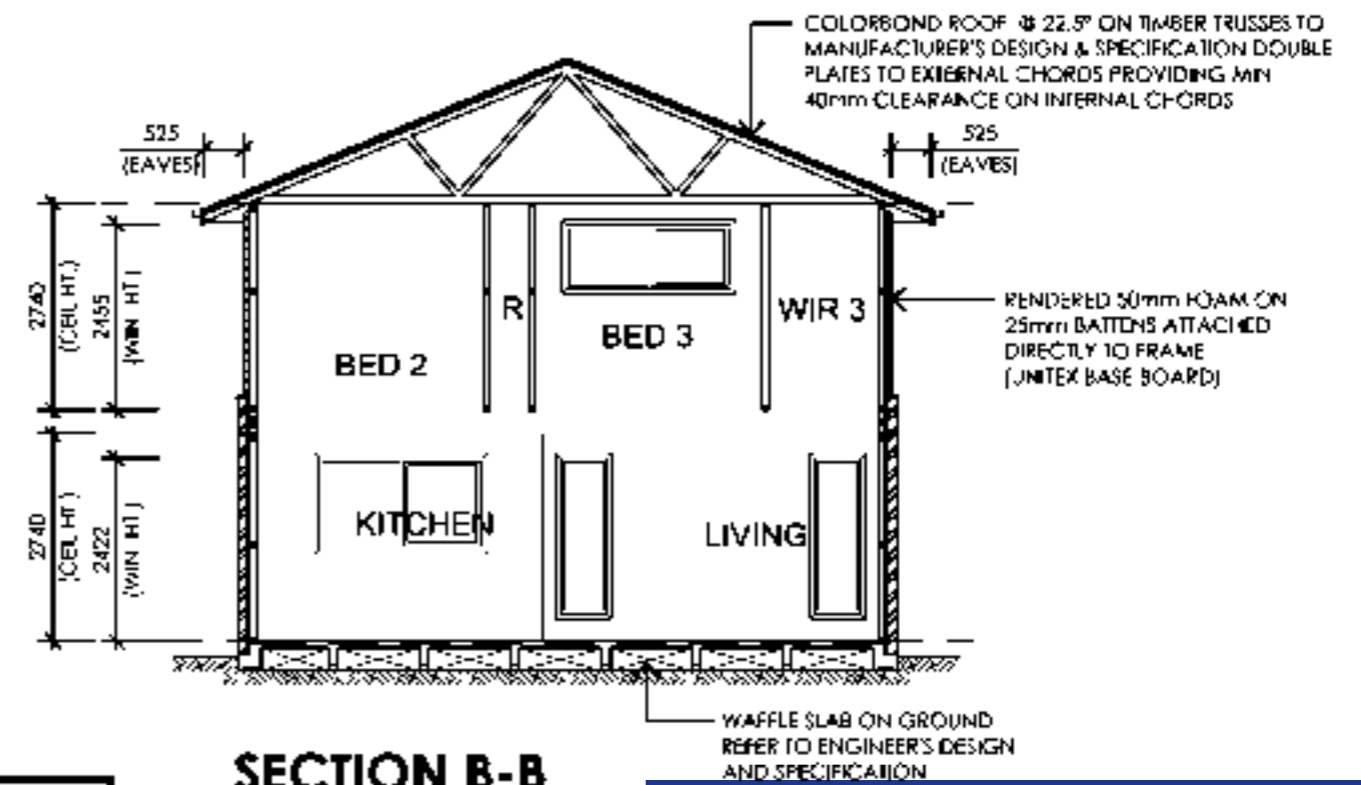
PROJECT: **PROPOSED RESIDENCE**
 CLIENT: **[REDACTED]**
 AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REF: 11462	ISSUE: H
THIS IS SHEET 13 OF 25 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 23.04.2026	
SIGNED OWNER:		DRAWN: VN	
BUILDER:		CHECKED: NC	
		SCALE: 1:100	



SECTION A-A

Scale 1:100



SECTION B-B

Scale 1:100

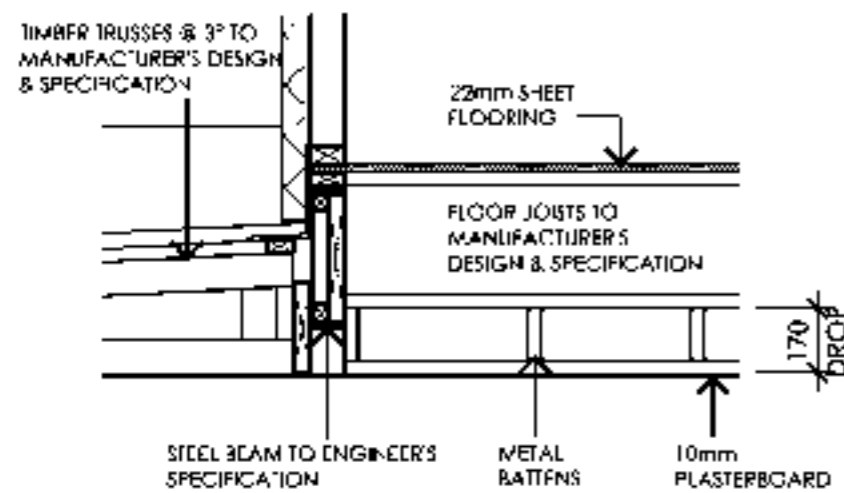
VARIATION	
VARIATION No. -	PCV#5.0
DRAFTSPERSON -	JF
DATE -	19.02.2026

Cardinia

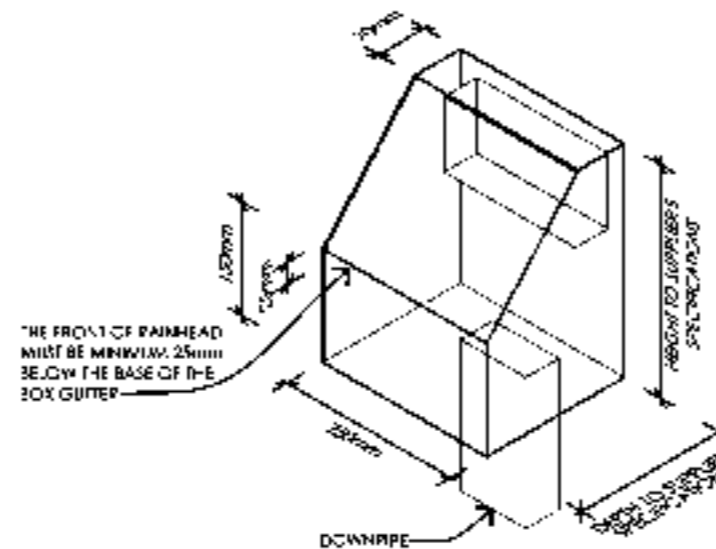
ADVERTISED MATERIAL

Planning Application: T260200
Date Prepared: 13 May 2026

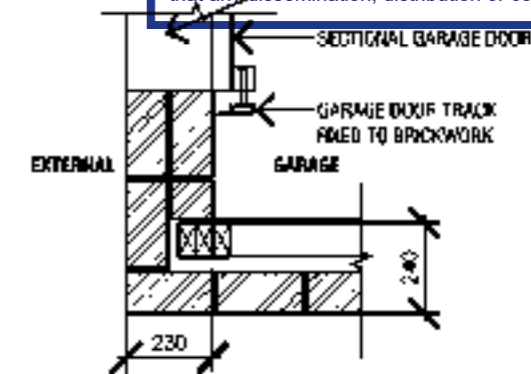
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DETAIL 1 (D1)
GARAGE TRUSS TO BEAM JUNCTION
(SCALE 1:20)



TYPICAL RAINHEAD DETAIL
(ISOMETRIC) SCALE 1:10



GARAGE BRICK RETURN DETAIL
1:20

SECTION / DETAILS

Beachwood
HOMES

Ascend
COLLECTION

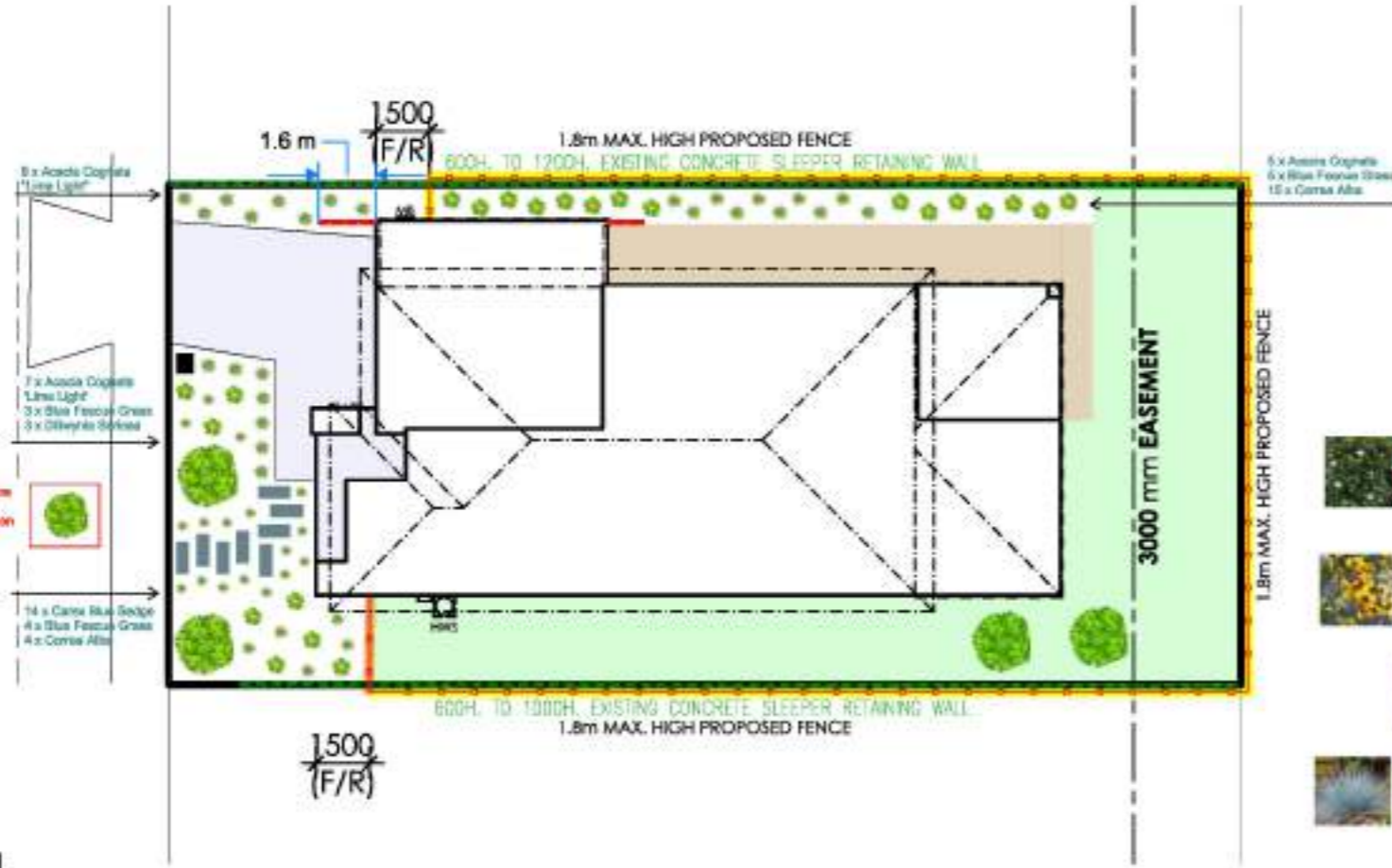
PROJECT: **PROPOSED RESIDENCE**
CLIENT: **[REDACTED]**
AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE	TITLE	REF	ISSUE
A3	SPINIFEX 34	11482	H
THIS IS SHEET 14 OF 26 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE	23.04.2026
SIGNED OWNER:		DRAWN	VN
BUILDER:		CHECKED	NC
		SCALE	AS SHOWN

LOT 309, 18 SCENIC RISE, PAKENHAM



SCENIC RISE



FRONT LANDSCAPING SCHEDULE

-  **SIDE & REAR FENCING** - See notes below
-  **RETURN FENCING** - See notes below
-  **DRIVEWAY & PORCH/PATH:**
Charcoal Stipple Finish Colour-Through Concrete
-  **LETTERBOX:**
Pillar Style to complement the dwelling
-  **LAWN AREA:**
-  **MATURE CANOPY TREE:**
* Magnolia - Little Gem - 400mm pot size (3-4m in height - front yard x 1, rear yard x 1)
* Eucalyptus Leucoxylon Rosea - Red Flowering Dwarf Yellow Gum - 800mm pot size (15m in height - front yard x 1, rear yard x 1)
-  **PLANTING SCHEDULE:**
* Large Shrub - 300mm pot size - Correa Alba x 19
* Medium Shrub - 200mm pot size - Dillwynia Sericea x 3
-  **PLANTING SCHEDULE:**
* Small Shrub - 150mm pot size - Acacia Cognata "Lime Light" x 15
-  **PLANTING SCHEDULE:**
* Blue Fescue Grass - Festuca Glauca - max. 50mm height x 12
* Carex "Blue Sedge" - Carex Flacca Glauca - max. 30mm height x 14
-  **STEPPING STONE IN GRAVEL**
-  **LANDSCAPED GRAVEL PATHWAY TO PERIMETER OF DWELLING**
-  **DEVELOPER CONCRETE SLEEPER RETAINING WALL**
Full length of boundary at approx. 1000mm height
-  **PROPOSED TIMBER SLEEPER RETAINING WALL**
Total length 1600mm at max. 600mm height

NOTE - OPTICOMM PROVISIONS INSTALLED TO DWELLING READY FOR CONNECTION

SOLAR:
6.4kW SOLAR PV SYSTEM 15 PANELS - (NUMBER OF PANELS INDICATIVE ONLY - FINAL NUMBER OF PANELS AT SUPPLIER DISCRETION)

LANDSCAPING NOTES:
PLANT SELECTION SHOULD MINIMISE THE NEED FOR GARDEN WATERING. GARDEN BEDS TO BE MULCHED TO CONSERVE WATER, PREVENTING EVAPORATION & REDUCING RUN-OFF. NATURE STRIP TO BE ESTABLISHED IN TURF ONLY. OTHER PLANT RECOMMENDATIONS CAN BE OBTAINED FROM CARDINIA COUNCIL.

DRIVEWAY:
PROPOSED DRIVEWAY BY CLIENT BEFORE OCCUPANCY. MUST BE OF NEUTRAL TONE AND COMPLEMENT THE DWELLING EXTERNAL PALETTE. PLAIN CONCRETE IS NOT PERMITTED.

SIDE & REAR FENCING:
CONSTRUCTED FROM LAPPED TIMBER PALINGS WITH TIMBER CAPPING, EXPOSED TIMBER POSTS TO A HEIGHT OF 1.8m SETBACK MINIMUM 1.5m FROM FRONT BUILDING LINE OR 1m BEHIND NEIGHBOURING DWELLING.

RETURN FENCING:
CONSTRUCTED FROM STAINED HARDWOOD WITH HORIZONTAL SLATING EXTENDING FROM BOUNDARY TO THE DWELLING AT THE ABOVE MENTIONED SETBACKS.

CORNER LOT FENCING:
CONSTRUCTED FROM TIMBER PALINGS WITH TIMBER CAPPING, EXPOSED TIMBER POSTS TO A HEIGHT OF 1.8m LIMITED TO A MAXIMUM OF 70% OF THE ALLOTMENT LENGTH.



Cardinia
ADVERTISED MATERIAL
Planning Application: T260200
Date Prepared: 13 May 2026

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LANDSCAPE PLAN IS NOT TO SCALE. CONCEPTUAL PLAN ONLY. SCALED ITEMS SHOWN ON REV #E DRAWINGS SITE PLAN & ELEVATIONS

Beachwood HOMES

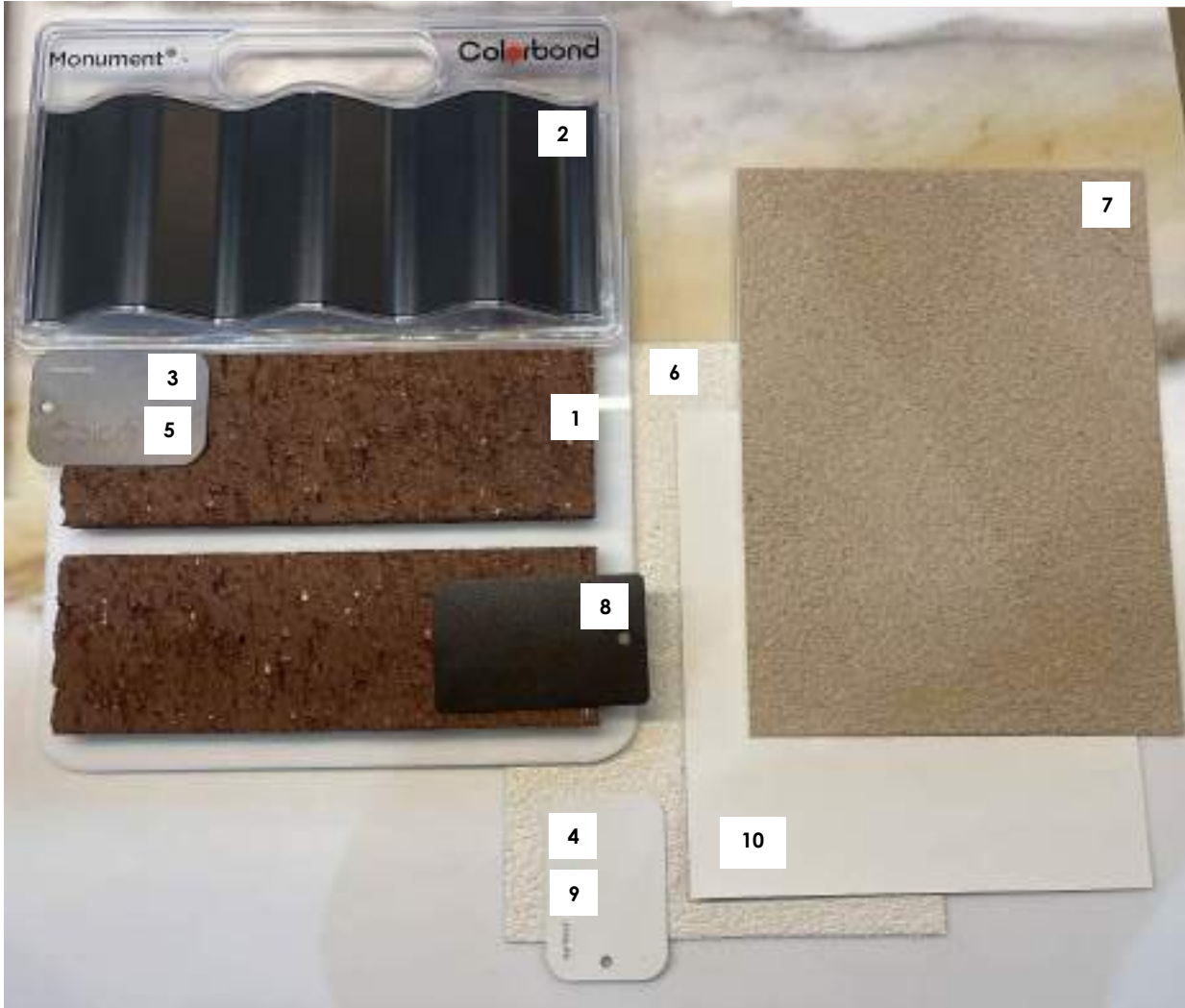
Ascend COLLECTION

PROJECT: **PROPOSED RESIDENCE**
CLIENT: 
AT: **LOT 309 SCENIC RISE PAKENHAM**

SIZE: A3	TITLE: SPINIFEX 34	REF: 11462	ISSUE:
THIS IS SHEET 1 of 1 OF DRAWINGS REFERRED TO IN THE CONTRACT DATED:		DATE: 22.01.2026	
SIGNED OWNER:		DRAWN: SF	
BUILDER:		CHECKED: SF	
		SCALE: 1:200	

Job No: 11462

Property: Lot 309 Scenic Rise, Pakenham



- | | |
|--------------------------------|-------------------------------|
| 1. Brick | Austral: Access Tan |
| 2. Metal Roof | Colorbond: Monument |
| 3. Gutter/Fascia | Colorbond: Monument |
| 4. Downpipes | Colorbond: Surfmist |
| 5. Meter box | Colorbond: Monument |
| 6. Render #1 | Dulux: White Duck Half S16B1H |
| 7. Render #2 | Dulux: Clay Dust S13D4 |
| 8. Window Frames | Bradnam's: Monument Matte |
| 9. Garage Door | Eco Garage Doors: Surfmist |
| 10. Front Door | Dulux: White Duck Half S16B1H |
| 11. Evaporative Cooling | Bonaire: Charcoal |



ADVERTISED MATERIAL
 Planning Application: T260200
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