

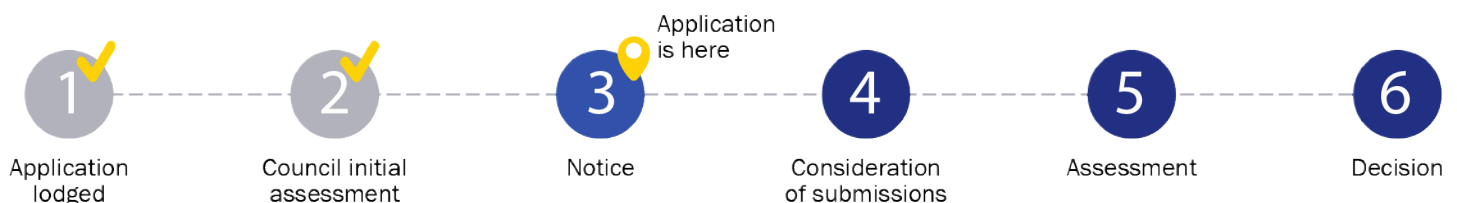
Notice of Application for a Planning Permit

The land affected by the application is located at:	L2 PS444955 V10783 F713 5 Francis Street, Cockatoo VIC 3781
The application is for a permit to:	Buildings and works (Construction of an outbuilding)
A permit is required under the following clauses of the planning scheme:	
43.02-2	Construct a building or construct or carry out works
APPLICATION DETAILS	
The applicant for the permit is:	WORTHYBODY CORPORATE SPECIALISTS
Application number:	T250661
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
HOW CAN I MAKE A SUBMISSION?	
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>	
25 May 2026	
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected.
<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>	




ADVERTISED MATERIAL
Planning Application: T250661
Date Prepared: 08 May 2026

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Application Summary

Portal Reference: A4257621

Basic Information

Proposed Use: Removal of existing shed. Erection of a new larger shed over the existing envelop

Current Use: Existing dwelling.

Site Address: 5 Francis Street Cockatoo 3781

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Phone	Email
Applicant	[REDACTED]	[REDACTED]	[REDACTED]
Owner	[REDACTED]	[REDACTED]	[REDACTED]
Preferred Contact	[REDACTED]	[REDACTED]	[REDACTED]

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 1 Change of use only	\$1,496.10	100%	\$1,496.10
Total			\$1,496.10



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vc.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
26-10-2025	A Copy of Title	PLANS_02_CRANE_5 FRANCIS STREET COCKATOO (1).pdf
26-10-2025	A Copy of Title	Application form for a building permit.png
26-10-2025	A Copy of Title	Certificate of Title.pdf
26-10-2025	A Copy of Title	copy-of-plan-688767.pdf
26-10-2025	A Copy of Title	EALB1013662626_Crane_AUS_FullEngineering_Automated.pdf
26-10-2025	A Copy of Title	EALB1013662626_Crane_Certification.pdf
26-10-2025	A Copy of Title	Letter of appointment.pdf
26-10-2025	A Copy of Title	Subdivison ect 1.pdf
26-10-2025	Written Explanation	Write out.doc
26-10-2025	Site plans	building env1 (1).pdf
26-10-2025	Site plans	PLANS_03_CRANE_5 FRANCIS STREET COCKATOO Correct building env.pdf
26-10-2025	Site plans	EALB1013662626_Crane_AUS_FullEngineering_Automated.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	[REDACTED]	W: 0411-517-108 M: 0411-517-108 E: worthybodycorporate@gmail.com
Submission Date	[REDACTED]	

Declaration

[REDACTED] information in this application is true and correct; and the Applicant and/or Owner



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Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 10783 FOLIO 713

Security no : 124132772490E
Produced 08/03/2026 09:42 AM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 444955H.

PARENT TITLES :

Volume 09622 Folio 775 Volume 10783 Folio 342

Created by instrument PS444955H 17/02/2004

REGISTERED PROPRIETOR

Estate of [REDACTED]
J [REDACTED]
[REDACTED]

of 5 FRANCIS STREET COCKATOO VIC 3781

AX901269J 12/04/2024


Cardina
ADVERTISED MATERIAL
Planning Application: T250661
Date Prepared: 08 May 2026

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ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AX901270A 12/04/2024
MACQUARIE BANK LTD

MORTGAGE AZ593681V 15/09/2025
MACQUARIE BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AC495739M 25/11/2003

DIAGRAM LOCATION

SEE PS444955H FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 5 FRANCIS STREET COCKATOO VIC 3781

ADMINISTRATIVE NOTICES

NIL

eCT Control 18440T MSA NATIONAL
Effective from 15/09/2025

DOCUMENT END

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	PS444955H
Number of Pages (excluding this cover sheet)	2
Document Assembled	08/03/2026 09:42

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PLAN OF SUBDIVISION

STAGE NO.

Plan Number

PS 444955 H

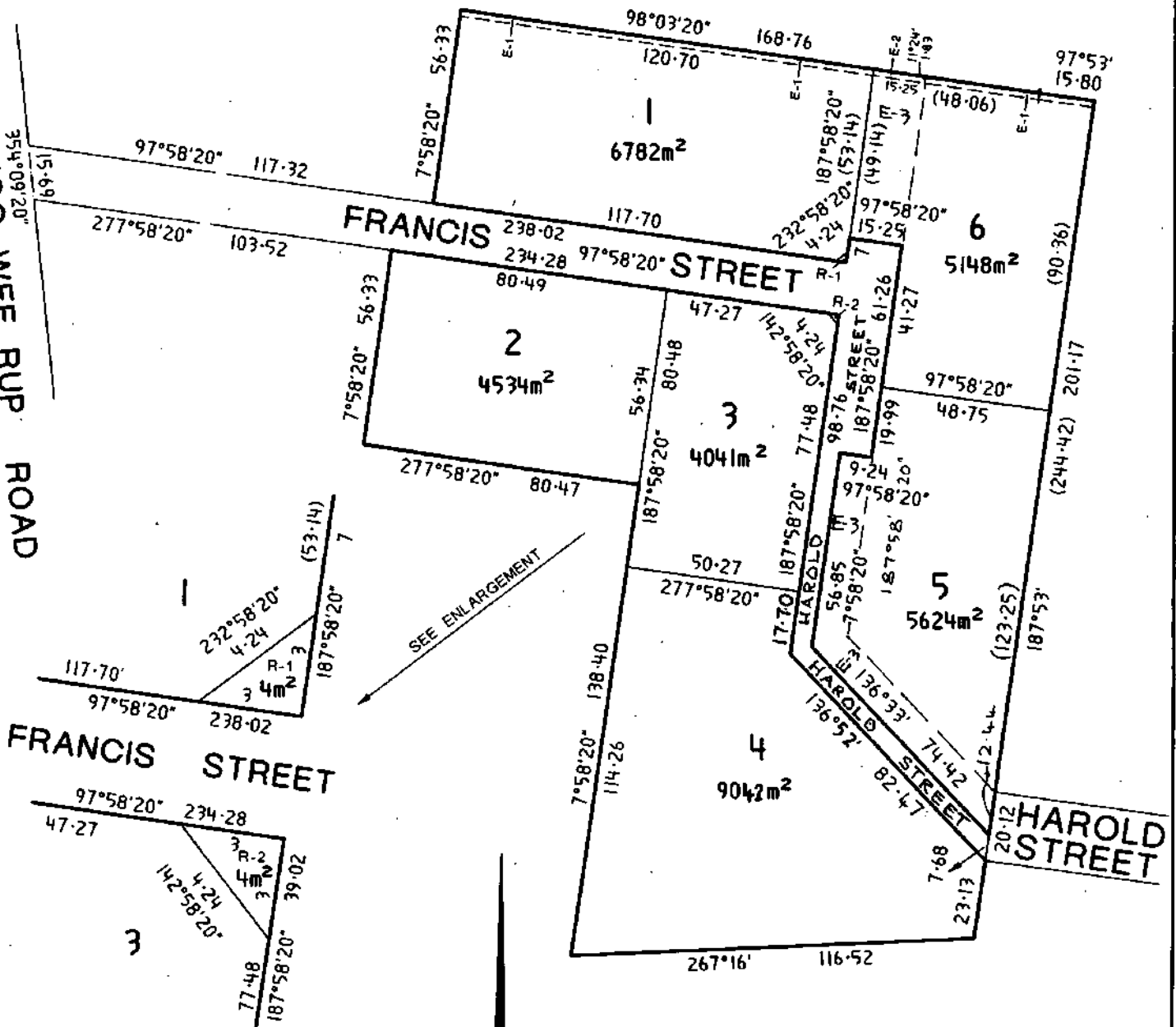


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HEALESVILLE - KOOWEE RUP ROAD



ENLARGEMENT SCALE 1:125



2 John Street Lilydale 3140
Tel: (03) 9735 4888
Survey Fax: (03) 9733 1473
Engineering Fax: (03) 9735 3278
Email: jca@chivers.com.au
Website: www.chivers.com.au
A.B.N. 75 083 816 915



Sheet 2 of 2

ORIGINAL	SCALE
SCALE SHEET SIZE	12.5 0 25 50
1:1250 A3	LENGTHS ARE IN METRES

LICENSED SURVEYOR : MICHAEL HERWALD HPFEL
Signature Date 201 / 1 / 2003
REF. 8158 VERSION 07 05/12/02 T.D.

Date 22 / 4 / 2003
Council Delegate Signature
Original sheet size A3

Imaged Document Cover Sheet

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Document Type	Instrument
Document Identification	AC495739M
Number of Pages (excluding this cover sheet)	23
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APPLICATION FOR RECORDING OF AN AGREEMENT

Section 181 (1) Planning & Environment Act 1987

AC495739M

25/11/2003 \$59 173




Lodged by:

Name: LEDDRA, WESTMORE & CO.
Phone: 9726 9822
Address: 5A Station Street, Mooroolbark 3138 (DX 34049 Lilydale)
Reference: M. Leddra/17225
Customer Code: 1105D

The authority or council having made an agreement requires a recording to be made in the Register for the land.

Land: Certificate of Title Volume 9622 Folio 775 and Lots 1 and 2 on Title Plan being part of the land in Certificate of Title Volume 9622 Folio 776 now = wh 107 8 3/3 42

17/2/04

Authority or Council: Cardinia Shire Council of Henty Way, Pakenham, 3810.

Section and Act under which agreement made: Section 173 Planning and Environment Act 1987.

A copy of the agreement is attached to this application.

DATED the 21 day of October 2003.



.....
Council


Cardinia
ADVERTISED MATERIAL
Planning Application: T250661
Date Prepared: 08 May 2026

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DAC495739M-1-0

17/2/04

THIS AGREEMENT is made the 21 day of October 2003 pursuant to Section 173 of the Planning and Environment Act 1987 ("the Act").


ADVERTISED MATERIAL
 Planning Application: T250661
 Date Prepared: 08 May 2026

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BETWEEN ERTRU NOMINEES PTY LTD (ACN 005 081 327) of 2-6 Birmingham Road, Mount Evelyn in the State of Victoria (hereinafter called "the Owner") of the first part

AND CARDINIA SHIRE COUNCIL of Henty Way, Pakenham in the State of Victoria (hereinafter called "the Responsible Authority") of the second part

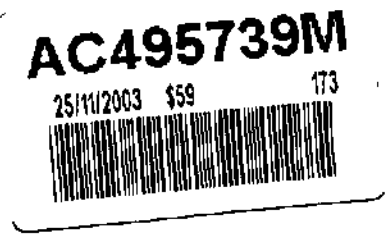
WHEREAS:



- A. The Responsible Authority is responsible under the Act for the administration and enforcement of the Cardinia Planning Scheme ("the planning scheme").
- B. The Owner is registered as the proprietor of Lots 7-33 (both inclusive) on Plan of Subdivision No. 8733 being the whole of the land in Certificate of Title Volume 9622 Folio 775 and Lots 1 and 2 on Title Plan being part of the land in Certificate of Title Volume 9622 Folio 776 being land in Francis Street, Cockatoo ("the land").
- C. By Planning Permit No. T000928 issued on 8th February, 2002 ("the planning permit") the Owner is permitted to use and develop the land for the purpose of a subdivision. Condition 5 (c) of the planning permit provides that:-

"The permit holder must enter into a Section 173 Agreement with the responsible authority to develop and use the land in accordance with the 'building envelope and vegetation protection plan', and the notation thereon, forming part of the endorsed plans of this permit.

The form and content of the agreement must be to the satisfaction of the responsible authority, and all costs relating to the preparation and registration of the agreement on title must be met by the permit holder. Prior to the issue of a Statement of compliance, the permit holder must provide a dealing number to the responsible authority to demonstrate that the agreement has been lodged with the Land Titles Office."



2.


ADVERTISED MATERIAL
 Planning Application: T250661
 Date Prepared: 08 May 2026

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D. The Responsible Authority and the Owner have agreed that ~~without limiting or restricting~~ their restrictive powers to enter into this Agreement and insofar as it can so be treated this Agreement shall be treated as being an Agreement under Section 173 of the Act.

NOW THIS AGREEMENT PROVIDES as follows:-



DAC495739M-3-6

1. **Successors in title**

Without limiting the operation or effect which this Agreement has, the Owner shall ensure that its successors in title:-

- (a) give effect to and do all acts and sign all documents as to require it to give effect to this Agreement; and
- (b) execute under seal a deed agreeing to be bound by the terms of this Agreement and thereupon this Agreement shall continue as if executed by such successors and the Responsible Authority as if the successors named appear in each clause in which the name of the Owner appears in substitution of the name of the Owner.

2. **General**

- (a) Any notice hereunder may be served by delivering the same to the Owner at its address as aforesaid or by putting the same into the post in a pre-paid certified envelope addressed to the Owner at the address and any notice so posted shall be conclusively deemed to have been served at the expiration of forty-eight hours of the time of posting.
- (b) Each of the parties hereto shall respectively sign and execute all further documents and deeds and do all such acts and things as the other party shall reasonably require for completing effecting this Agreement.

AC495739M
 25/11/2003 \$59 173

3.



DAC495739M-4-4



ADVERTISED MATERIAL

Planning Application: T250661
Date Prepared: 08 May 2026

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(c) This Agreement shall be treated insofar as it can be treated as an Agreement under Section 173 of the Act.

(d) Any time or other indulgence granted by the Responsible Authority to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by the Responsible Authority against the Owner will not in any way amount to a waiver of any of the rights or remedies of the Responsible Authority in relation to the terms of this Agreement.

3. **Covenants of the Owner**

(a) The Owner will forthwith pay on demand to the Responsible Authority the Responsible Authority's reasonable costs and expenses (including reasonable legal costs) of and incidental to:-

(i) this Agreement or any consequence thereof, relating thereto, pursuant thereto or in furtherance thereof (including anything done in anticipation of this Agreement and the enforcement of any obligations imposed on the Owner herein);

(ii) the preparation of an application pursuant to Section 181 of the Act enabling the registration of this Agreement at the Land Titles Office and any duties or fees payable in connection with either this Agreement, the registration of this Agreement at the Land Titles Office or in connection with any default of the Owner.

(b) Upon the subdivision of the land pursuant to the planning permit the Owner shall develop and use the land in accordance with the "building envelope and vegetation protection plan" and the notation thereon which forms part of permit number T000928 attached to this Agreement as "Appendix A".

AC495739M

25/11/2003 \$59 173



4.



Cardina
CONFIDENTIAL
 Planning Application: T250661
 Date Prepared: 08 May 2026

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- (c) The Owner will not sell, mortgage or in any way transfer or dispose of the land without first disclosing this Agreement to the Purchaser, Mortgagee or Transferee (as the case may be);
- (d) The Owner will carry out and comply with the requirements of all statutory authorities in relation to the development of land and comply with all Statutes, Regulations, By-Laws and planning controls in relation thereto;
- (e) The Owner will do all things necessary including the signing of any further Agreements, undertakings, covenants, consents, approvals or other documents necessary for the purpose of ensuring that it carries out its covenants, agreements and obligations hereunder and to enable the Responsible Authority to enforce the performance by the Owner of such covenants, agreements and undertakings.
- (f) The Owner will consent to the Responsible Authority entering a Memorandum of this agreement on the Certificates of Title to the land in accordance with Section 181 of the Act and do all things necessary to enable the Responsible Authority so to do including signing any further Agreement, acknowledgment or document to enable the said Memorandum to be registered under that Section.

4. The Responsible Authority and the Owner Agree

This Agreement shall have effect in respect to the whole of the land and shall also take effect in respect of each of the subdivided lots and a Memorandum of this Agreement shall be entered on the Certificate of Title in respect of each of the subdivided lots.

IN WITNESS WHEREOF the parties hereunto set their hands and seals the day and year first hereinbefore written.

AC495739M

25/11/2003 \$59 173



5.

Signed by and on behalf and with the authority of)
CARDINIA SHIRE COUNCIL by Tracey Parker)
in the exercise of a power conferred)
instrument of Delegation dated 16)
2000 in the presence of:

Witness:

THE COMMON SEAL of **ERTRU NOMINEES**)
PTY LTD (ACN 005 081 327) was hereunto)
affixed in accordance with its Articles of)
Association in the presence of:



2-6 Birmingham Road,
Mount Evelyn

2-6 Birmingham Road
Mount Evelyn


Cardinia
ADVERTISED MATERIAL
Planning Application: T250661
Date Prepared: 08 May 2026

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DAC495739M-6-1



Ref: 8158

RECEIVED
15 FEB 2002
Ansd.

February 12, 2002

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CARDINIA

Errtu Nominees Pty Ltd
c/- John Chivers & Associates Pty Ltd
1st Floor/260 Main Street
Lilydale 3140

Dear Sir/Madam,

RE: App. No: T000928
Prop. No: 2309650200
Address: Lots 7-33, LP8733, Francis Street, Cockatoo
Proposal: Resubdivision

I wish to advise that Council has been notified by the Victorian Civil and Administrative Tribunal that the Application for Review in respect to the above application has been allowed and the decision of the Responsible Authority is varied.

Please find enclosed your copy of the planning permit in accordance with the Tribunal's amended Conditions.

If you have any further queries regarding this matter, please contact Council's Development Services Department on (03) 5945 4260.

Yours faithfully,



Cardinia Shire Council
ABN 322 109 06807
Municipal Offices
Henry Way
Pakenham

PO Box 7
Pakenham 3810
(DX 81006)
Tel (03) 5945 4222
Fax (03) 5941 3784
Email mail@cardinia.vic.gov.au
Website www.cardinia.vic.gov.au

PLANNING PERMIT

Permit No: T000928

Responsible Authority: Cardinia Shire Council

Planning Scheme: Cardinia Planning Scheme


ADVERTISED MATERIAL
 Planning Application: T250661
 Date Prepared: 08 May 2026

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ADDRESS OF THE LAND: Lots 7-33, LP8733, Francis Street, Cockatoo

THE PERMIT ALLOWS: The resubdivision of the land into six (6) lots and the removal of the drainage easement specified in Condition 7 generally in accordance with the approved plans.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. Prior to the certification of a plan of subdivision, three (3) copies of amended plans must be submitted to and approved by the responsible authority. The plans must be generally in accordance with the submitted plans, but modified to show:

On the plan of subdivision:

(a) Relocation of the boundary between Lots 5 & 6, 10.0 metres to the north of where it was proposed in the plan submitted 12th January, 2001.

On a separate plan to be known as the building envelope and vegetation protection Plan:

(b) building envelopes on each of the lots with a maximum area of 650 m² and setback a minimum of 8.0 metres from the frontage and 5.0 metres from any other boundary. The envelopes should be generally in accordance with the plan submitted on 11th May, 2001, but altered to show:

- (i) the building envelope on lot 1 relocated further to the west;
- (ii) the building envelope on lot 2 relocated to 8 metres south from the frontage of Francis Street;
- (iii) the building envelope on lot 4 immediately adjacent to the cleared land, metres from the boundary with lot 3, and no part of the envelope should cover the gully, and
- (iv) the building envelope on lot 6 relocated 5 metres further north.

Each building envelope should be dimensioned and the setback from property boundaries specified.

(c) effluent envelopes adjacent to each building envelope with a maximum area of 300m². Effluent envelopes should be designed to fit in with the existing vegetation as much as possible, particularly in lots 1 and 2. The envelopes should be generally in accordance with the plan submitted on 11th May, 2001, but altered to show:

(i) the effluent envelope for lot 4 oriented to the revised envelope location and located within the cleared land as much as possible.

Each effluent envelope should be dimensioned and the setbacks from property boundaries or the building envelope specified.

Date Issued: 8th February, 2002

Signature of Responsible Authority: _____

AC495739M

25/11/2003 \$59 173



DAC495739M-8-7

PLANNING PERMIT

Permit No: T000928

Responsible Authority: Cardinia Shire Council

Planning Scheme: Cardinia Planning Scheme


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 Planning Application: T250661
 Date Prepared: 08 May 2026

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ADDRESS OF THE LAND: Lots 7-33, LP8733, Francis Street, Cockatoo

THE PERMIT ALLOWS: The resubdivision of the land into six (6) lots and the removal of the drainage easement specified in Condition 7 generally in accordance with the approved plans.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

- (c) as exempted under the provisions of the Vegetation Protection Overlay (Schedule 1) applying to the land, and any protected vegetation which has the further written consent of the responsible authority to be removed.
- 2. Trees removed from the land shall be replaced at a rate of three (3) tree/tall shrubs for each tree removed. The trees/tall shrubs must be replaced with species indigenous to the area and derived from local stock.
- 3. While non indigenous species may be planted in areas outside the vegetation protection area, preference should be given to indigenous species where possible.
- 4. All noxious and environmental weeds must be controlled within the land.

NOTE: *Native vegetation includes trees, shrubs, and the understorey of herbs and grasses.*

Vegetation Protection Area

- 5. Any vegetation removed in accordance with 1 above should endeavour to minimise disturbance or loss of indigenous shrubs, herbs and grasses.
- 6. No vegetation shall be planted in the vegetation protection area except species indigenous to the area.

NOTE: *The provisions of the Vegetation Protection Overlay (Schedule 1) apply to the whole of the land.*



Date Issued: 8th February, 2002

Signature of Responsible Authority: _____

PLANNING PERMIT

Permit No: T000928

Responsible Authority: Cardinia Shire Council

Planning Scheme: Cardinia Planning Scheme

Cardinia
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ADDRESS OF THE LAND: Lots 7-33, I.P8733, Francis Street, Cockatoo

THE PERMIT ALLOWS: The resubdivision of the land into six (6) lots and the removal of the drainage easement specified in Condition 7 generally in accordance with the approved plans.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:



Building Protection Zone

A Building Protection Zone of 35.0 metres must be maintained around any dwelling on each lot during the Fire Danger Period in accordance with the following table (unless otherwise approved by the responsible authority as part of the development permit for a dwelling constructed on each lot):

Grass and leaf litter	Grass must be maintained at no more than 100 millimetres in height. Leaf litter must average less than 10 millimetres.
Understorey and Shrub	There must be no elevated fuel on at least 50% of the BPZ. On the remaining 50% the elevated fuel should be at most sparse with very little dead material. Dry native shrubs should be isolated in small clumps more than 10 metres away from the building. Clumps or hedges of shrubs with low flammability and/or high moisture content should be retained to act as a barrier to embers and radiant heat.
Bark	New trees may be planted providing the bark has no loose, fibrous or ribbony material. No trees overhanging the roof line of the building.
Non flammable features	Non flammable features such as tennis courts, swimming pools, dams, patios, driveways or paths should be incorporated into the BPZ, especially on the northern and western sides of the building. Features such as wood heaps, sheds, hay etc. which add a significant fuel load should not be present in the BPZ during the Fire Danger Period.

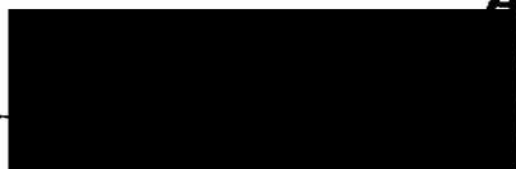
Animals

No stock, horses or goats shall be kept on the land.

- The layout of the subdivision, as shown on the approved plans, must not be altered or modified without the consent in writing of the responsible authority.

Date Issued: 8th February, 2002

Signature of Responsible Authority: _____



AC495739M

/11/2003 \$59 173

PLANNING PERMIT

Permit No: T000928

Responsible Authority: Cardinia Shire Council

Planning Scheme: Cardinia Planning Scheme


ADVERTISED MATERIAL
 Planning Application: T250661
 Date Prepared: 08 May 2026

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ADDRESS OF THE LAND: Lots 7-33, LP8733, Francis Street, Cockatoo

THE PERMIT ALLOWS: The resubdivision of the land into six (6) lots and the removal of the drainage easement specified in Condition 7 generally in accordance with the approved plans.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

3. Under Section 8 of the Subdivision Act 1988, any plan of subdivision submitted for certification must be referred to:

- (a) Telstra;
- (b) TXU Networks Pty. Ltd.;
- (c) Yarra Valley Water.



4. Plans and specifications must be submitted to and approved by the responsible authority for the construction of Francis Street, extending from Woori Yallock Road to the proposed east end of Francis Street. The standard of construction must be generally in accordance with that detailed in the report presented to the Victorian Civil and Administrative Tribunal on 26th November, 2001, by Mr Allan Burrows of John Chivers and Associates Pty Ltd, and must include:

- (a) A single lane, 3.5 metre sealed pavement width with shoulders and open table drain.
- (b) A 5.5 metre passing bay located to the satisfaction of the responsible authority.
- (c) Construction integrated to match the sealed apron at Woori Yallock Road.

5. Prior to the issue of a Statement of Compliance:

- (a) The works shown on the plan approved under Condition 4 must be completed to the satisfaction of the responsible authority;
- (b) The identified sections of Francis Street and Harold Street must be closed as required by Condition 6; and
- (c) The permit holder must enter into a Section 173 Agreement with the responsible authority to develop and use the land in accordance with the 'building envelope and vegetation protection plan', and the notation thereon, forming part of the endorsed plans of this permit.

The form and content of the agreement must be to the satisfaction of the responsible authority, and all costs relating to the preparation and registration of the agreement on title must be met by the permit holder. Prior to the issue of a Statement of Compliance, the permit holder must provide a dealing number to the responsible authority to demonstrate that the agreement has been lodged with the Land Titles Office.

Date Issued: 8th February, 2002

Signature of Responsible Authority: _____

AC495739M

25/11/2003 \$59 173



PLANNING PERMIT

Permit No: T000928

Responsible Authority: Cardinia Shire Council

Planning Scheme: Cardinia Planning Scheme

Cardinia
ADVERTISED MATERIAL
 Planning Application: T250661
 Date Prepared: 08 May 2026

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ADDRESS OF THE LAND: Lots 7-33, LP8733, Francis Street, Cockatoo

THE PERMIT ALLOWS: The resubdivision of the land into six (6) lots and the removal of the drainage easement specified in Condition 7 generally in accordance with the approved plans.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

6. The permit is issued conditional upon the successful completion of the closure of the sections of Harold Street that are included within Lots 4, 5 and 6 under the relevant provisions of the Local Government Act 1989.
7. This permit allows the removal of the 1.83 metre wide, 81.69 metre long drainage easement, that runs north-east to south-west and is marked 'E-1'.
8. Three (3) copies of water reticulation drawings must be provided to the Country Fire Authority for approval.
9. There must be a hydrant within 120 metres from the outer edge of the building envelope or within 90 metres of the property boundary.
10. Fire hydrants must be clearly identified in accordance with the Fire Service Guideline - Identification of Street Hydrants for Firefighting Purposes.
11. Prior to a Statement of Compliance being issued by the responsible authority, the owner must provide to the satisfaction of Telstra all works for the provision of Telecommunication Services to each lot created in the subdivision.
12. Where any extension or alterations to Telstra's network or plant are necessitated by the proposed subdivision, the cost of such works must be met by the owner prior to the Statement of Compliance being issued.
13. The plan submitted for certification must show details of easements and/or RCM/RIM sites which may be required by Telstra. (Note: Following an application to Telstra for provision of cable reticulation the owner will be advised of the details of easements and/or RCM/RIM sites which will be required by Telstra).
14. The Applicant must enter into an agreement for the extension, upgrading or rearrangement of the electricity supply to lots on the Plan of Subdivision as required by TXU. (A payment to cover the cost of such work will be required and easements internal and external to the subdivision and provision of sites for substations may also be required).
15. The owner of the subject land must enter into an agreement with Yarra Valley Water for the provision of water supply.

Date Issued: 8th February, 2002

Signature of Responsible Authority: _____



AC495739M

25/11/2003 \$59 173



DAC495739M-13-3

PLANNING PERMIT

Permit No: T000928
Responsible Authority: Cardinia Shire Council
Planning Scheme: Cardinia Planning Scheme

ADDRESS OF THE LAND: Lots 7-33, LP8733, Francis Street, Cockatoo

THE PERMIT ALLOWS: The resubdivision of the land into six (6) lots and the removal of the drainage easement specified in Condition 7 generally in accordance with the approved plans.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

16. This permit will expire if:
- (a) the subdivision is not commenced within two (2) years of the date of this permit; or
 - (b) the subdivision is not completed within five (5) years of the date of this permit.

The responsible authority may extend the periods referred to, if a request is made in writing before the permit expires or within three (3) months afterwards.

(Note: The starting of the subdivision is regarded by Section 68(3A) of the Planning and Environment Act 1987 as the certification of a plan, and completion is regarded as the registration of the plan).

NOTE: Each property owner is encouraged to join the Land for Wildlife Scheme (contact the Department of Natural Resources and Environment for details on (03) 9637 8087).

This permit was issued at the direction of the Victorian Civil and Administrative Tribunal by Order dated 22nd January 2002 (Application for Review No. P50727/2001).



Cardinia
ADVERTISED MATERIAL
 Planning Application: T250661
 Date Prepared: 08 May 2026

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Date Issued: 8th February, 2002

Signature of Responsible Authority: _____



Building Envelope & Vegetation Protection plan Francis Street, Cockatoo.

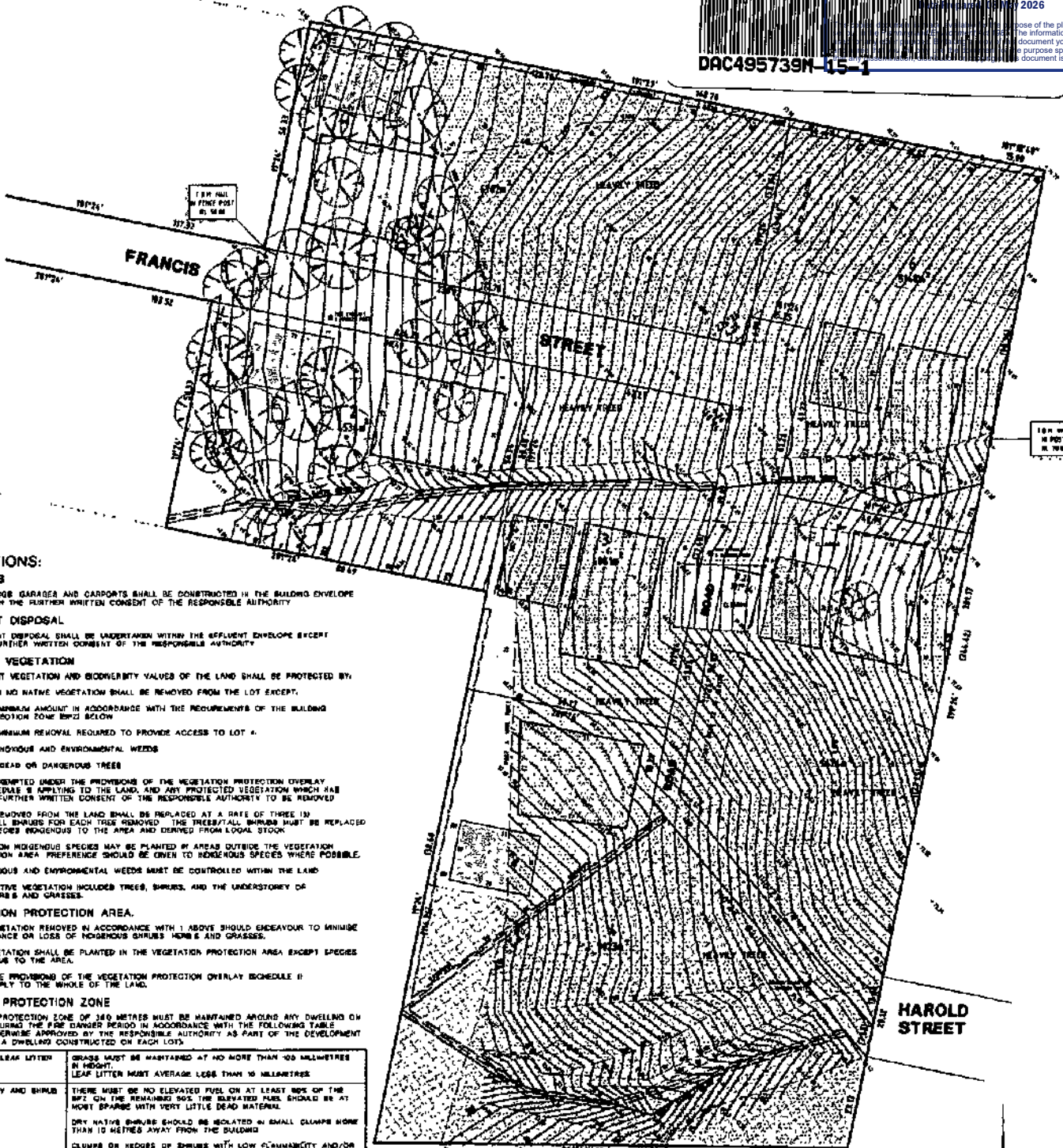


ADVERTISED MATERIAL

Planning Application: T250661
2026



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NOTES:

BUILDINGS

ALL DWELLINGS GARAGES AND CARPORTS SHALL BE CONSTRUCTED WITHIN THE BUILDING ENVELOPE EXCEPT WITH THE FURTHER WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY

EFFLUENT DISPOSAL

ALL EFFLUENT DISPOSAL SHALL BE UNDERTAKEN WITHIN THE EFFLUENT ENVELOPE EXCEPT WITH THE FURTHER WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY

GENERAL VEGETATION

THE REMNANT VEGETATION AND BIODIVERSITY VALUES OF THE LAND SHALL BE PROTECTED BY:

1. ENSURING NO NATIVE VEGETATION SHALL BE REMOVED FROM THE LOT EXCEPT:
 - (A) THE MINIMUM AMOUNT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING PROTECTION ZONE BELOW
 - (B) THE MINIMUM REMOVAL REQUIRED TO PROVIDE ACCESS TO LOT 4.
 - (C) ANY NOXIOUS AND ENVIRONMENTAL WEEDS
 - (D) ANY DEAD OR DANGEROUS TREES
 - (E) AS EXEMPTED UNDER THE PROVISIONS OF THE VEGETATION PROTECTION OVERLAY SCHEDULE 3 APPLYING TO THE LAND, AND ANY PROTECTED VEGETATION WHICH HAS THE FURTHER WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY TO BE REMOVED
2. TREES REMOVED FROM THE LAND SHALL BE REPLACED AT A RATE OF THREE (3) TREES PER ONE (1) TREE REMOVED. THE TREEFALL, SHRUBS MUST BE REPLACED WITH SPECIES INDIGENOUS TO THE AREA AND DERIVED FROM LOCAL STOCK
3. WHILE NON INDIGENOUS SPECIES MAY BE PLANTED BY AREAS OUTSIDE THE VEGETATION PROTECTION AREA PREFERENCE SHOULD BE GIVEN TO INDIGENOUS SPECIES WHERE POSSIBLE.
4. ALL NOXIOUS AND ENVIRONMENTAL WEEDS MUST BE CONTROLLED WITHIN THE LAND

NOTE: NATIVE VEGETATION INCLUDES TREES, SHRUBS, AND THE UNDERSTOREY OF HERBS AND GRASSES.

VEGETATION PROTECTION AREA.

1. ANY VEGETATION REMOVED IN ACCORDANCE WITH 1. ABOVE SHOULD ENDEAVOUR TO MINIMISE DISTURBANCE OR LOSS OF INDIGENOUS SHRUBS, HERBS AND GRASSES.
2. NO VEGETATION SHALL BE PLANTED IN THE VEGETATION PROTECTION AREA EXCEPT SPECIES INDIGENOUS TO THE AREA.

NOTE: THE PROVISIONS OF THE VEGETATION PROTECTION OVERLAY SCHEDULE 3 APPLY TO THE WHOLE OF THE LAND.

BUILDING PROTECTION ZONE

A BUILDING PROTECTION ZONE OF 1.0 METRES MUST BE MAINTAINED AROUND ANY DWELLING ON EACH LOT DURING THE FIRE DANGER PERIOD IN ACCORDANCE WITH THE FOLLOWING TABLE (UNLESS OTHERWISE APPROVED BY THE RESPONSIBLE AUTHORITY AS PART OF THE DEVELOPMENT PERMIT FOR A DWELLING CONSTRUCTED ON EACH LOT).

GRASS AND LEAF LITTER	GRASS MUST BE MAINTAINED AT NO MORE THAN 100 MILLIMETRES IN HEIGHT. LEAF LITTER MUST AVERAGE LESS THAN 10 MILLIMETRES
UNDERSTOREY AND SHRUB	THERE MUST BE NO ELEVATED FUEL ON AT LEAST 80% OF THE BPI ON THE REMAINING 20% THE ELEVATED FUEL SHOULD BE AT MOST BRANES WITH VERY LITTLE DEAD MATERIAL. DRY NATIVE SHRUBS SHOULD BE ISOLATED IN SMALL CLUMPS MORE THAN 10 METRES AWAY FROM THE BUILDING CLUMPS OR REDDS OF SHRUBS WITH LOW FLAMMABILITY AND/OR HIGH MOISTURE CONTENT SHOULD BE RETAINED TO ACT AS A BARRIER TO EMBERS AND RADIANT HEAT.
BARK	NEW TREES MAY BE PLANTED PROVIDED THE BARK HAS NO LOOSE, FIBROUS OR ROBSONY MATERIAL.
NON FLAMMABLE FEATURES	NO TREES OVERHANGING THE ROOF LINE OF THE BUILDING NON FLAMMABLE FEATURES SUCH AS TILES, CORRUGATED SHEETING, POOL DECKS, PATIOS, DRIVEWAYS OR PATHS SHOULD BE INCORPORATED INTO THE BPI, ESPECIALLY ON THE NORTHERN AND WESTERN SIDES OF THE BUILDING FEATURES SUCH AS WOOD HEAPS, SHEDS, HAY ETC. WHICH ADD A SIGNIFICANT FUEL LOAD SHOULD NOT BE PRESENT IN THE BPI DURING THE FIRE DANGER PERIOD

ANIMALS: NO STOCK, HORSES OR GOATS SHALL BE KEPT ON THE LAND

SYMBOL DESCRIPTION

- T.B.M.
- NATIVE TREE (TRUNK & SPREAD)
- SHRUBS TREE (APPROXIMATELY 5 METRES HIGH)
- FIRE HYDRANT
- DRAINAGE EASEMENT 1.00m WIDE TO BE REMOVED
- ROAD TO BE CLOSED.
- HEAVILY TREED.
- BUILDING ENVELOPE
- EFFLUENT ABSORPTION ENVELOPE
- VEGETATION PROTECTION ENVELOPE



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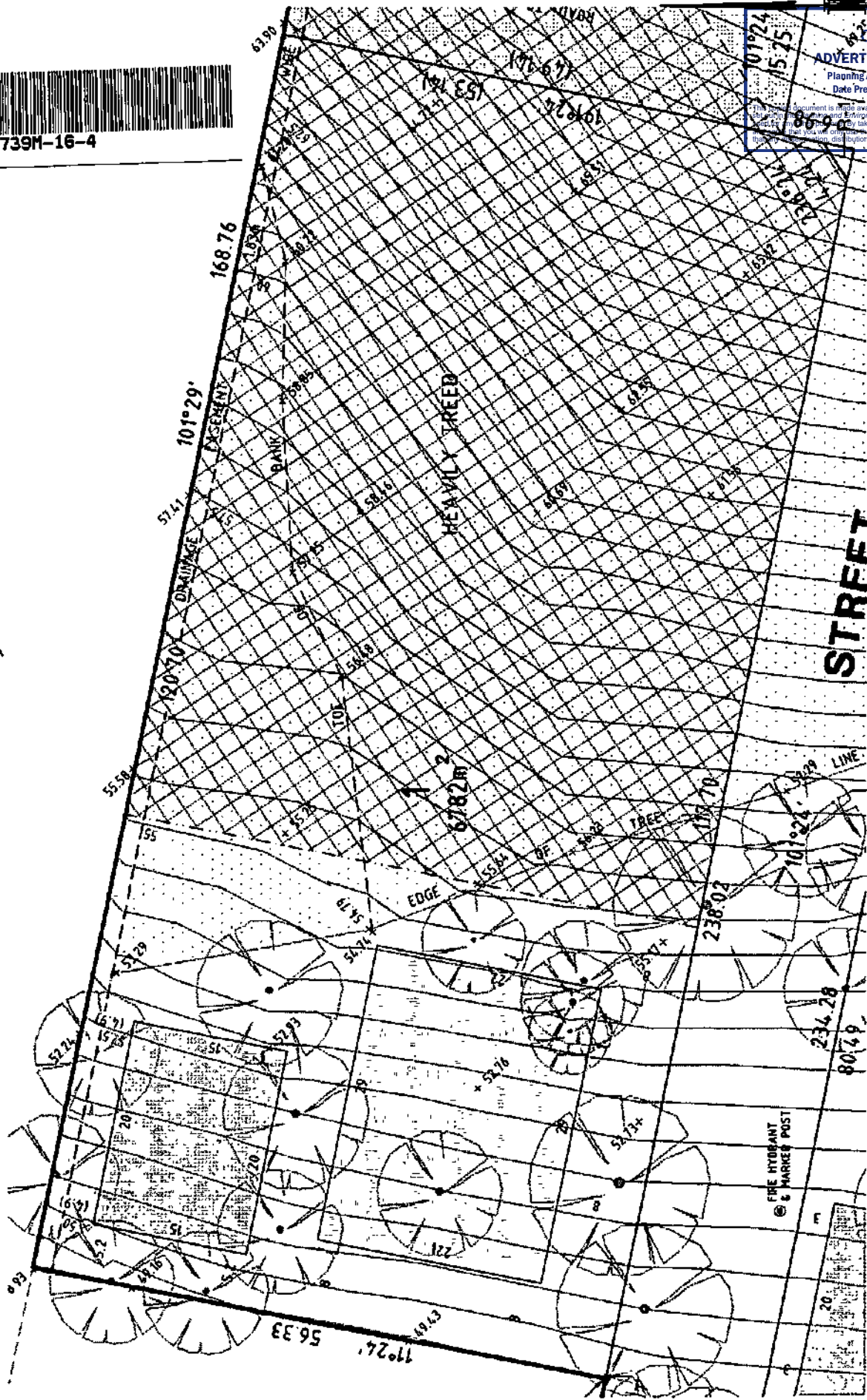


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Sheet 1 of 7
REF. 8158

Dated: 23/08/03
DRAWN BY: T.DORMAN
CAD FILE: 815813M1D.dwg

Building Envelope & Vegetation Protection plan Francis Street, Cockatoo.



Cardinal
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Planning Application: T250661
Date Prepared: 08 May 2026

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Quality Management System
Certified to ISO 9001:2015
Certificate No. 15117

STREET

FIRE HYDRANT
& MARKER POST

80749

238.02

101°22'

101°29'

168.76

63.99

19°24'

56.33

19°24'

56.33

101°29'

63.99

168.76

20.70

57.24

15.28

15.28

15.28

15.28

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Page 2 of 7

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DATE: 2008/05

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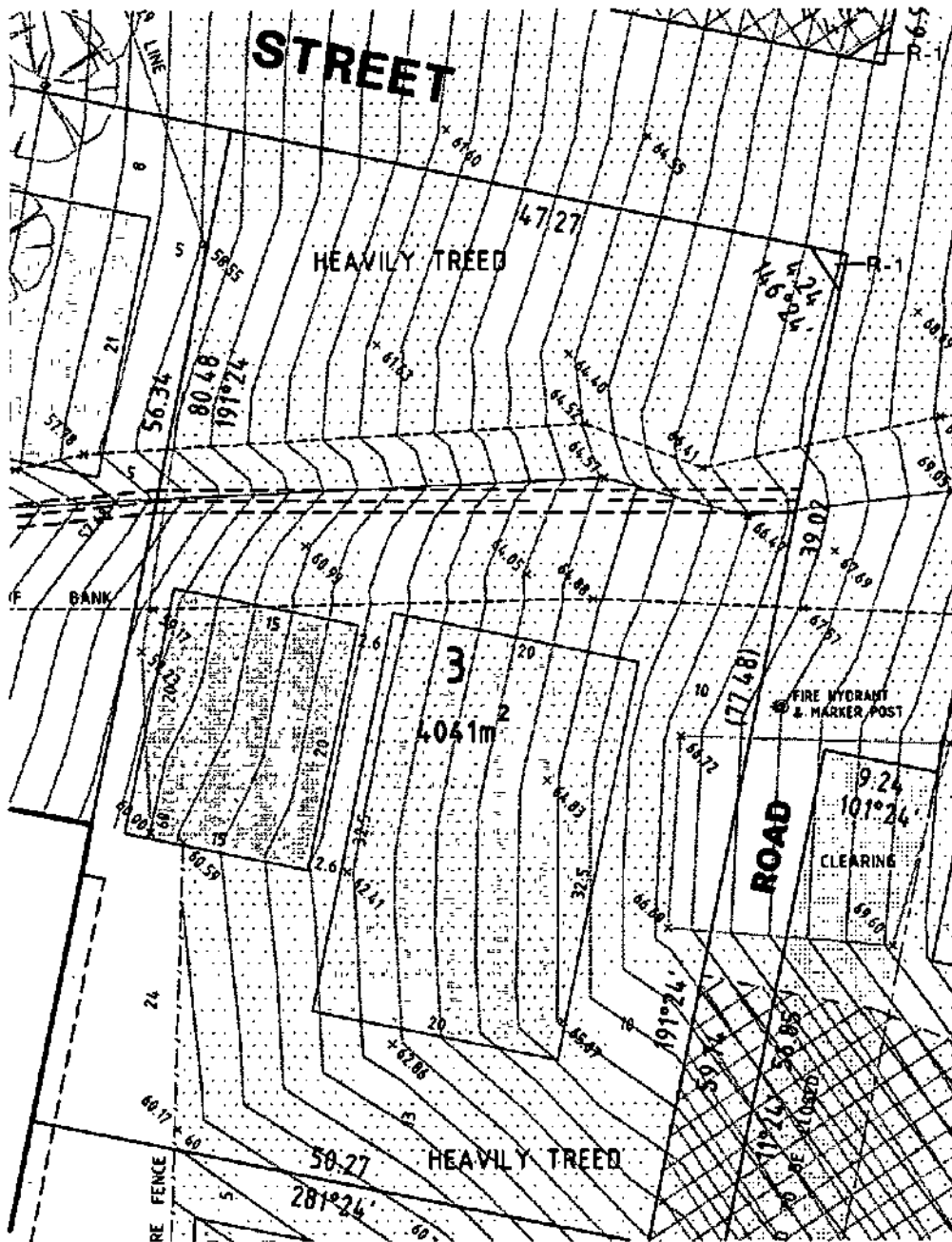
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DAC495739M-18-1

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A.B.N. 75 082 636 925

AC495739M

25/11/2003 \$59 173



Sheet 4 of 7
REF. 8158

Dated: 29/08/03
DRAWN BY: T.J. DORRAN
CAD FILE: 815813M2D.dwg

Building Envelope & Vegetation Protection plan Francis Street, Cockatoo.

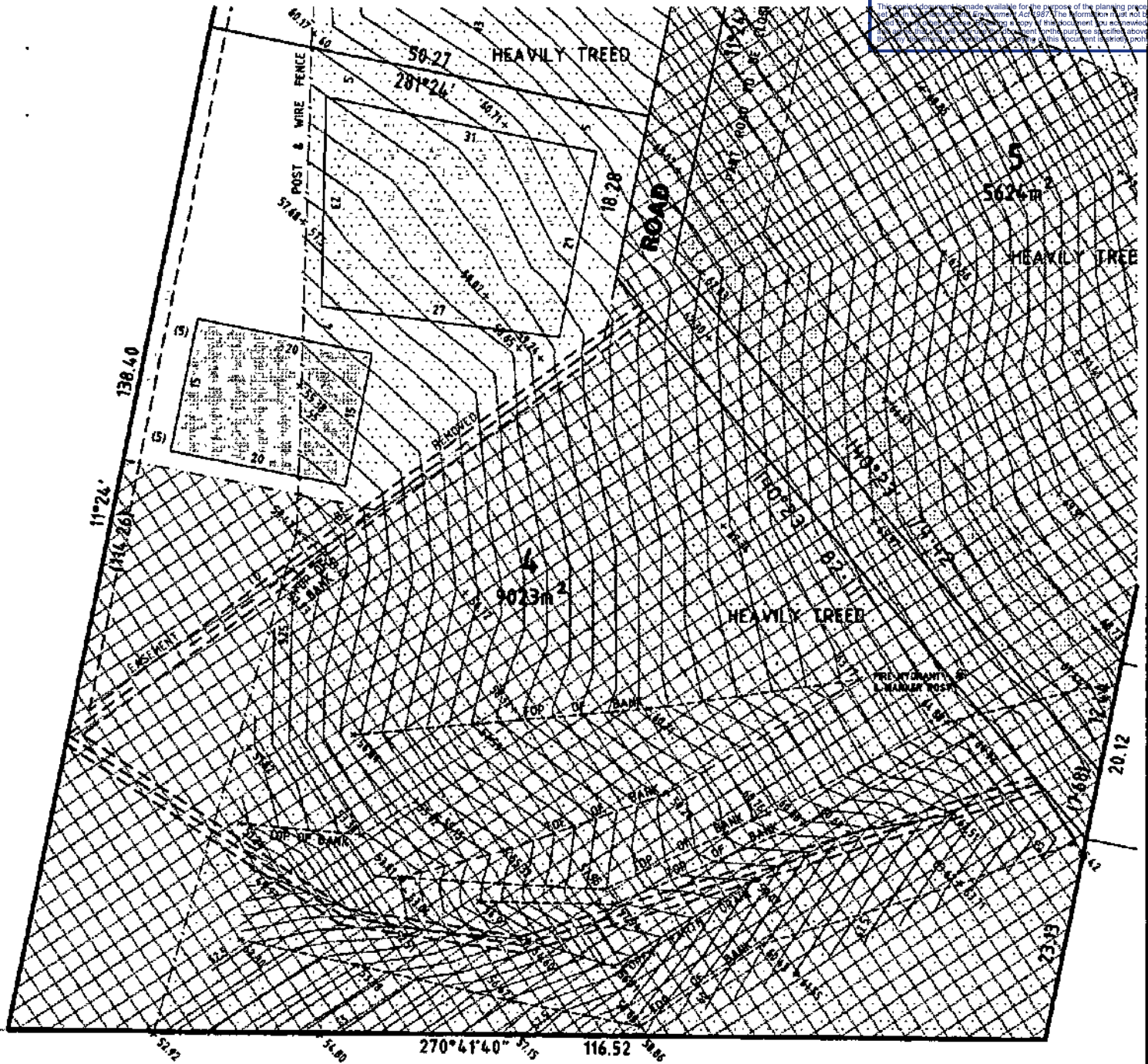


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Planning Application: T250661

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Sheet 5 of 7
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CAD FILE: 815813A2D.dwg

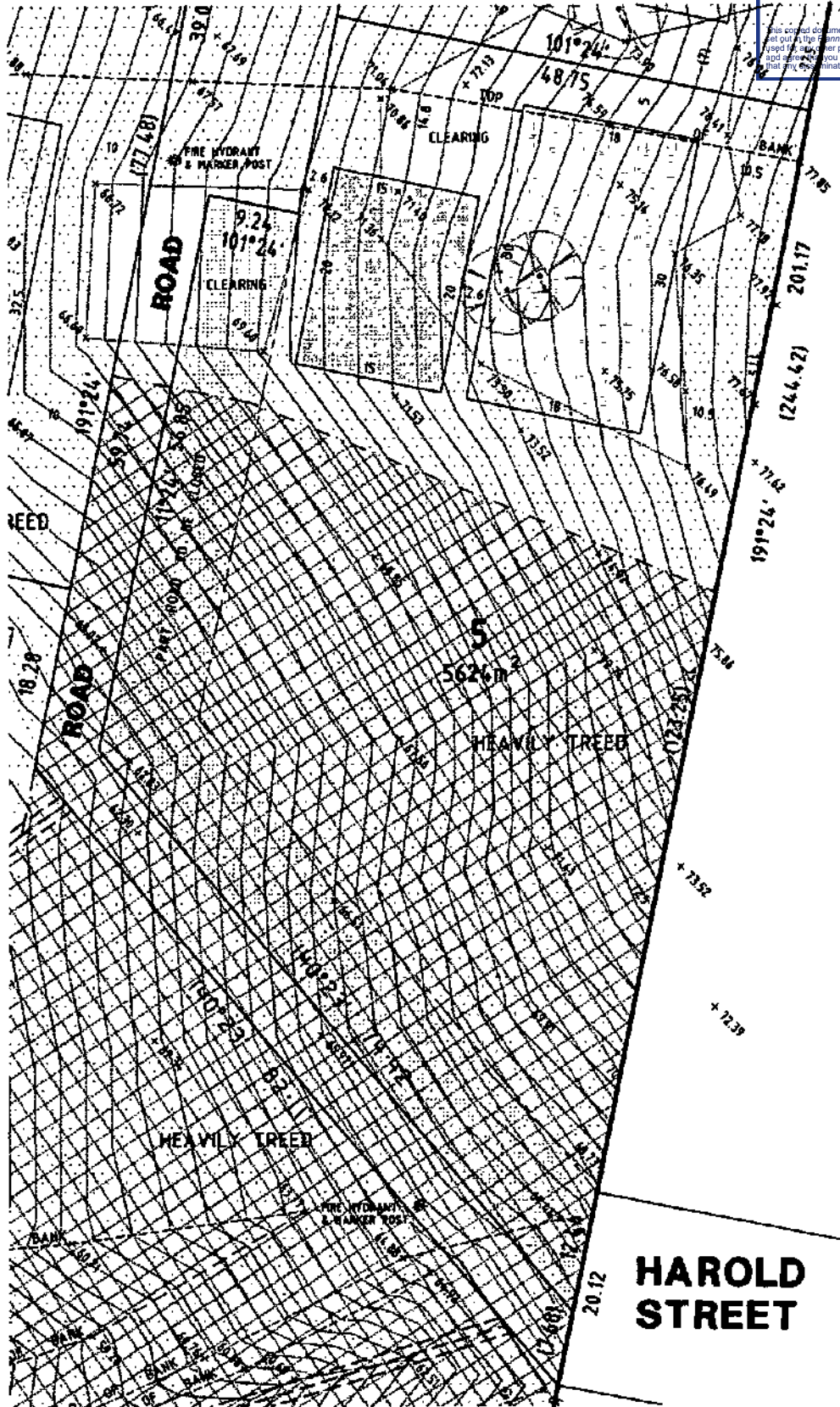
Building Envelope & Vegetation Protection plan Francis Street, Cockatoo.



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Planning Application: T250661
Date Prepared: 08 May 2026

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DRC495739M-20-1

HAROLD STREET



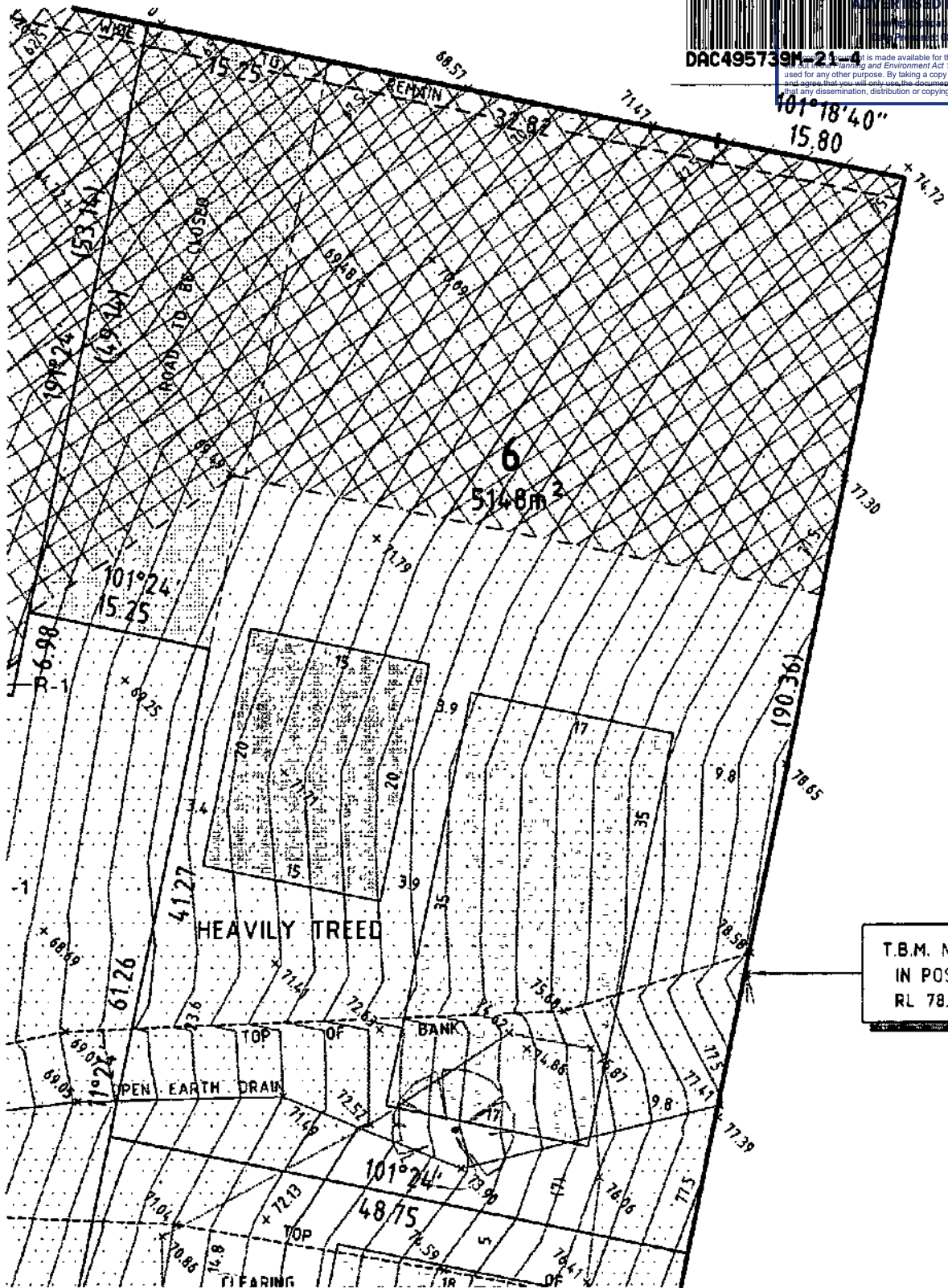
Sheet 6 of 7
REF. 8158

Drawn: 29/08/03
DRAWN BY: T DORMAN
CAD FILE: 8158132ED.dwg

Building Envelope & Vegetation Protection plan Francis Street, Cockatoo.



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25/11/2003 \$59 173



Sheet 7 of 7
REF. 8158

Dated: 29/08/03
DRAWN BY: T.DORMAN
CAD FILE: 815813M2AD.dwg

Land Consultants
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PLAN OF SUBDIVISION	STAGE NO. -----	LTO use only. EDITION	Plan Number PS 444955 H
Location of Land Parish: GEMBROOK Township: ----- Section: ----- Crown Allotment: 123B (PART) Crown Portion: ----- LTO Base Record: D.C.M.B. Title Reference: VOL. 9622 FOL. 775 Last Plan Reference: LOTS 7 TO 33 ON LP 8733 LOTS 1 & 2 ON TP Postal Address: CNR FRANCIS & HAROLD STREET, COCKATOO 3781. AMG Co-ordinates E 368 380 N 5 801 800 Zone: 55	Council Certificate and Endorsement Council Name: CARDINIA SHIRE COUNCIL 1. This plan is certified under section 6 of the Subdivision Act 1988. 2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 11(7) of the Subdivision Act 1988. 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988. OPEN SPACE (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage Council delegate Council seal Date / / Re-certified under section 11(7) of the Subdivision Act 1988 Council Delegate Council Seal Date / /		
Vesting of Roads and/ or Reserve			
Identifier	Council / Body / Person		
ROAD R-1	CARDINIA SHIRE COUNCIL		
ROAD R-2	CARDINIA SHIRE COUNCIL		
Notations			
Staging	This is not a staged subdivision. Planning Permit No.		
Depth Limitation	APPLIES 15.24m BELOW THE SURFACE		
OTHER PURPOSE OF PLAN: REMOVAL OF EASEMENT SHOWN AS E-1 ON VOL. 9622 FOL. 775. GROUNDS FOR REMOVAL: BY DIRECTION OF PLANNING PERMIT No. <i>T00092B & T020324</i>			
 DAC495739M-22-8			
Survey This plan is based on survey. This survey has been connected to permanent mark No(s) In Proclaimed Survey Area No.			
Area of Site: 4.051ha		No. of Lots: 6	




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Planning Application: 220661
Date Prepared: 08 May 2028

Easement Information					LTO use only
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					Statement of Compliance/ Exemption Statement
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	Received <input type="checkbox"/>
E-1	DRAINAGE	1.83	LP 8733	LOTS ON LP 8733 UNSPECIFIED CARDINIA SHIRE COUNCIL	Date / /
E-1	ANY EASEMENT	1.83	VOL. FOL.		
-1 E-2	DRAINAGE	1.83	THIS PLAN		
LICENSED SURVEYOR : MICHAEL HERWALD HOFFEL Signature _____ Date _____ REF. 8158 VERSION 07					LTO use only PLAN REGISTERED TIME DATE / / Assistant Registrar of Titles Sheet 1 of 2 Date / / Council Delegate Signature Original sheet size A3



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Quality Standard
Compliance

30 JAN 2003

Plan Registered

T00092B

05/12/02



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Planning Application: T250661

Date Prepared: 08 May 2026

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Town Planning & Urban Context Report

Construction of an outbuilding

5 Francis St, Cockatoo

February 2026



Prepared by
Apex Town Planning Pty Ltd
March 2026

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APPLICATION DETAILS

Application:	Buildings and works for an outbuilding
Address:	5 Francis Street, Cockatoo
Municipality:	Cardinia Council
Zoning:	Low Density Residential Zone
Overlays:	Bushfire Management Overlay Design & Development Overlay (Schedule 1) Restructure Overlay Vegetation Protection Overlay

Planning Policy Framework:

- | | |
|---|--|
| <ul style="list-style-type: none">• Clause 12.05-2S• Clause 13.02-1S• Clause 15• Clause 15.01-1S• Clause 15.01-2S | Landscapes
Bushfire Planning
Built Environment and Heritage
Urban Design
Building Design |
|---|--|

Other Planning Provisions:

- | | |
|---|---------------------|
| <ul style="list-style-type: none">• Clause 65 | Decision Guidelines |
|---|---------------------|



1.0 Introduction

This report has been prepared on behalf of the owners of the site in response to a request from the council to discuss and justify an application to construct a new replacement shed.

Following is a response to the council's request for further information:

1. A full set of titles have been provided as a part of this package of further information.
2. The report discusses the use of the proposed outbuilding, noting that it replaces an existing building which is used for the same purpose but which is in a poor condition and not large enough.
3. The plans have been updated to show all of the required information.
4. Finished Floor Levels are provided.
5. In relation to earthworks, please be advised that there are to be none. The new outbuilding will be positioned to replace the existing shed and will be contained within the level pad already provided.
6. External materials and finish details have been shown.
7. An arboricultural assessment has been provided as a part of the information package.
8. An arborist report has been provided which shows all of the required information. Please be advised that as only a single tree is impacted by the proposed outbuilding that only this tree has been discussed.
9. A Bushfire Management Plan has been provided.

In relation to the issues raised, please see our response below:

- A. The shed is proposed to replace an existing large shed on the site which is not large enough to accommodate the needs of the property owner.

The Low Density Residential Zone aims to provide for larger lots for residential living, and this in turn allows for an improved opportunity to provide for larger dwellings and outbuildings.

It is noted that a planning permit is not triggered under the zone.

This is an area that is ideal suited to the allowance of larger building forms, including larger sheds, and there are examples within the immediate vicinity, including across the road at 4 Francis Street and immediately to the west at number 3 Francis St (see aerial photo in Figure 3). There are numerous other examples within the immediate vicinity which can be easily found via aerial photographs.

It is also stated that the proposed outbuilding, besides replacing an existing building, will be downslope of the house and set further back from the road, and therefore will be less prominent to the public realm. It also maintains excellent side and rear setbacks with these being well landscaped.

It is observed that there are no decision guidelines within the scheme, including the DDO1) which restrict the size of the proposed outbuilding.

The setbacks as per the DDO1 (trigger requirements) have been met.

- B. The plans provided show that the new outbuilding is to replace the existing outbuilding, and this will be marginally larger than what is currently on the site.

The attached survey plan will assist in helping council to understand the existing site conditions and how the proposed development will be able to be accommodated on the site and within the existing leveled area.

- C. A BMP has been provided and demonstrates that there are no issues.

- D. The proposed new outbuilding will have no impacts on any vegetation, including the high value tree to the south. It is to be positioned within an existing excavated/filled area.

This report will also discuss the site, the surrounding area, the proposed development and the relevant planning controls.

It will then provide an assessment of the proposed development against the relevant provisions of the Cardinia Planning Scheme.

In summary, the report finds that the proposed development is appropriate for the site and should be approved.



Figure 1 – Existing shed on the site – As visible the owner is unable to place everything that he owns within the building and it is therefore stored outside within the driveway.

2.0 Site Description

2.1 Subject Site

The subject site is a large residential parcel of land that is positioned on the southern side of Francis Street in Cockatoo. Please be advised that it is on town sewer.

The site has an area of 4534m², is oblong in shape with a street frontage of 80.409 metres and a depth of 56.43 metres.

The site falls downwards from the eastern boundary to the western side boundary, which what would have been a relatively consistent fall (between 10 and 13 metres). The natural land fall has been disrupted by the excavation to accommodate a single storey dwelling towards the north, eastern side of the site, a pool to the south of this and a driveway with a double carport and an outbuilding to the west of the dwelling.



Figure 2 – Aerial photograph of the site

The existing outbuilding on the site is located on a levelled area with it being benched in on the eastern side and filled on the western and southern sides (this is currently retained with sleeper walls).

All retaining walls have been properly constructed and maintained, including in the location of the proposed outbuilding.

The site is mostly cleared of vegetation, with a garden type setting around the dwelling and some native canopy trees around the perimeter.

Below is a snip of the survey plan which shows the existing building, the location of the hard paved areas, retaining walls and tree locations.



Figure 3 – Snip of survey plan

2.2 Abutting Properties and local character

The site is positioned within a small estate that is zoned as Low Density Residential and surrounded by land that is within a Rural Conservation Zone.

The properties surrounding the site are generally of a similar size and many contain large dwellings and outbuildings, with these being ample evidence that many properties have a similar sized outbuilding.

The surrounding area is undulating, on west facing sloping land and with significant patches of vegetation, including to the land to the south of the subject site.

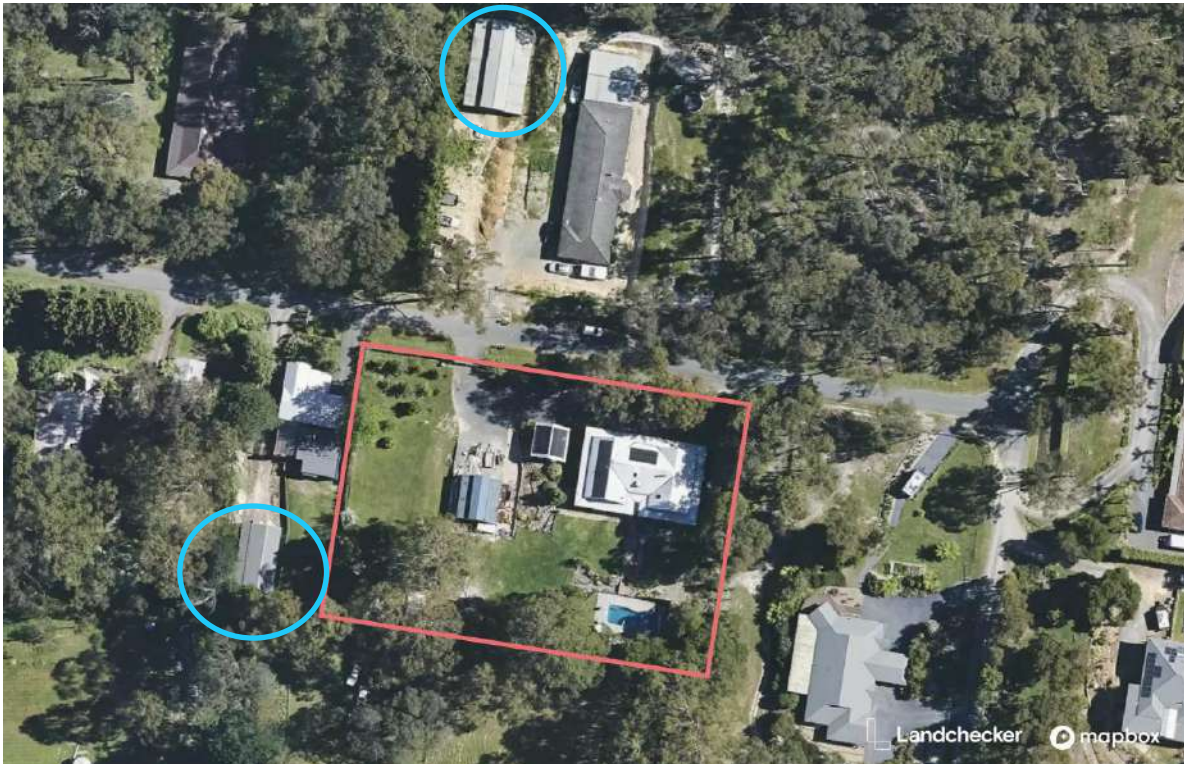


Figure 4 – The subject site and identified examples of larger sheds within the immediate vicinity.


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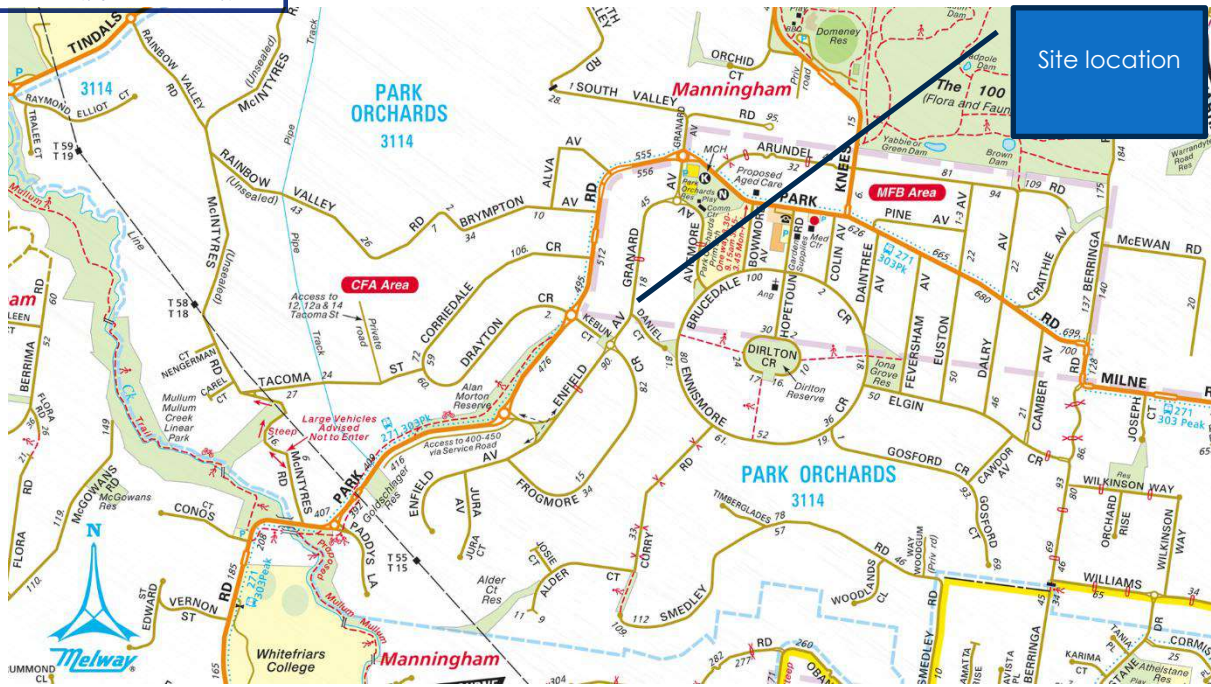


Figure 4 - Location plan (Melways Online)

3.0 Proposal

This application proposes to demolish the existing outbuilding on the site and replace it with a new and larger building.

The existing outbuilding has been on the site for a number of years and is showing significant signs of aging. The owner does not wish to spend the time and money fixing this building as it will still have a limited life span.

The owner has also found that the existing building is unable to accommodate his needs, and he has had to store items outside.

It is proposed to remove the existing outbuilding and construct a new building that will be 14.00 metres wide, 1.5 metres deep and a total of 175m².

The outbuilding will have a wall height of 4.5 metres and with a pitch of 6.379 metres.

Walls will be constructed of colorbond in a Monument colour.

This building is to be positioned in the same location but will extend out further to the western side and to the rear. It is not proposed to extend the existing building pad at all, though it is noted that the existing retaining wall on the western side may require some maintenance, which will be reviewed at the time of construction. Maintenance will not require planning approval.

The intent of the new outbuilding is to accommodate a variety of materials, equipment and vehicles.

Most of the items will be of a personal nature and includes tools, camping equipment, private vehicles (including a work ute, a trailer, a boat and possibly in the near future a caravan), garden maintenance equipment (including a ride on mower and trailer) and some work related equipment (including tools, work trailer and a basic storage)

The owner wishes to ensure that he is able to easily access everything in the outbuilding rather than have to move equipment and items.

No trees will be impacted, especially as the existing levelled area will be retained and the building located within this (and the existing building footprint).

4.0 Planning Policy

4.1 Planning Policy Framework

Clause 12.05-2S - Landscapes

Objective:

To protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.

Clause 13.02-1S - Bushfire planning

Policy application states:

This policy must be applied to all planning and decision making under the *Planning and Environment Act 1987* relating to land that is:

- Within a designated bushfire prone area;
- Subject to a Bushfire Management Overlay; or
- Proposed to be used or developed in a way that may create a bushfire hazard.

Objective

To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

Strategies include:

Protection of human life

- Give priority to the protection of human life by:
 - Prioritising the protection of human life over all other policy considerations.
 - Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.
 - Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision making at all stages of the planning process.

Bushfire hazard identification and assessment

Identify bushfire hazard and undertake appropriate risk assessment by:

- Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.
- Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the *Building Act 1993* or regulations made under that Act.
- Applying the Bushfire Management Overlay to areas where the extent of vegetation can create an extreme bushfire hazard.

Clause 15 – Built Environment and Heritage

It is stated that:

- Planning is to recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods.
- Planning should ensure all land use and development appropriately responds to its surrounding landscape and character, valued built form and cultural context.



- *Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.*

Clause 15.01-1S - Urban design

Objective:

To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

Strategies include:

- *Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.*
- *Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.*
- *Ensure the interface between the private and public realm protects and enhances personal safety.*
- *Ensure that the design and location of publicly accessible private spaces, including car parking areas, forecourts and walkways, is of a high standard, creates a safe environment for users and enables easy and efficient use.*
- *Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.*
- *Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.*
- *Promote good urban design along and abutting transport corridors.*

Clause 15.01-2S - Building design

Objective:

To achieve building design outcomes that contribute positively to the local context and enhance the public realm.

Strategies include:

- *Ensure development responds and contributes to the strategic and cultural context of its location.*
- *Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.*
- *Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.*
- *Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.*
- *Ensure development provides safe access and egress for pedestrians, cyclists and vehicles.*
- *Encourage development to retain existing vegetation.*
- *Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.*

4.3 Zoning

The subject site is located within a Low Density Residential Zone under the Cardinia Planning Scheme.

Main Purpose of the Zone is:

- *To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.*

A dwelling (and associated outbuildings) are a Section 1 use (as-of-right) subject to complying with Clause 32.03-2. As the site is connected to reticulated sewer, a planning permit is not triggered under this clause.

It is also noted that the schedule to the zone does not provide any size restrictions to an outbuilding that would trigger a planning permit.

Therefore, a planning permit is not required for the proposed outbuilding under the zone provisions.

Clause 32.03-6 (*Decision guidelines*) states that before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

General

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*

4.4 Overlays

Bushfire Management Overlay

The Purpose of this overlay is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.*
- *To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.*
- *To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.*

As the outbuilding is over 100m² a planning permit is triggered under the BMO.

Design and Development Overlay (Schedule 1)

Part 1.0 (*Design objectives*) includes:

- *To ensure that the location and design of buildings creates an attractive low density residential environment.*
- *To ensure that any development has regard to the environmental features and constraints of the land.*
- *To ensure that the subdivision of land has regard to the existing pattern of subdivision in the area.*

Part 2.0 (*Buildings and works*) triggers a planning permit for the proposed outbuilding under this overlay as the building size exceeds 120m² (this is the only permit trigger under the overlay)

Part 6.0 includes the following decision guidelines:

- *The Land Capability Study for the Cardinia Shire (February 1997).*

- The protection and enhancement of the natural environment and character of the area including the retention of remnant vegetation and habitat, and the need to plant vegetation along waterways, gullies, ridgelines and property boundaries.
- The impact of any buildings and works on areas of remnant vegetation, and habitat of botanical and zoological significance.
- The impact of proposed buildings and works on the landscape character of the area, including prominent ridgelines and significant views.
- Measures to address environmental hazards or constraints including slope, erosion, drainage, salinity and fire.
- The protection of waterways and water quality through the appropriate management of effluent disposal, erosion and sediment pollution.

Restructure Overlay

These requirements are met and do not need to be considered.

Vegetation Protection Overlay

As no vegetation is to be removed or impacted, there is no need to discuss this overlay.

4.5 Other Provisions

Clause 65 – Decision Guidelines

Clause 65.01 outlines the decision guidelines for an application. The following matters are to be considered prior to making a decision:

- The matters set out in Section 60 of the Act.
- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- Whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.
- The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.



5.0 Discussion

This application proposes to remove an existing outbuilding which has served its purpose and replace it with a larger building in the same location.

The proposed new outbuilding will not require any additional earthworks (excavation or fill) and will not require the removal of any vegetation (nor impact any vegetation).

The location of the new outbuilding will be in the same position as the existing building, however it will extend outwards from this but still remain within the existing levelled area, with there being no need to extend this (and undertaken additional excavation or fill).

As noted earlier, the existing retaining wall may require some maintenance via the replacement of sleepers, which will be considered at the time of the building works (noting that this does not require a planning permit as it is maintenance).

The policy requirements of Clause 12.05-2S (*Landscapes*) have been met as the proposed development will not unreasonably impact upon the landscape values of the local area. There will be no vegetation to be removed and the proposed extension is located downslope from the house and well back from all boundaries, including the road.

There is already an existing outbuilding in the location proposed and the new outbuilding will replace this (and be larger) but with more muted tones.

Overall, there will be a relatively minor, and acceptable, change to the existing visual character of the area, and this will not result in any unreasonable visual or amenity impacts.

As discussed within part 2.0 of the report, there are a number of similar (and some larger) outbuildings within the immediate vicinity of the site.

The policy direction as contained within Clause 13.02-1S regarding bushfires has been complied with.

The proposed outbuilding is located within a cleared area with little vegetation within proximity of the building.

The outbuilding is provided with an identified defensible space around the perimeter. This is maintained and required to continue to be maintained.

The built form of new extension is consistent with Clause 15 as it replaces an existing outbuilding with a newer and more attractive outbuilding.

The policy direction for *Urban design* (Clause 15.01-1S) and *Building design* (Clause 15.01-2S) have both been met as the development responds to the context of the site and the area.

An existing level pad used for the existing outbuilding is to be used and the design and external materials/colours are consistent with the local character and will not be highly visible due to the muted tone.

By building above the existing carport, the building form is not extended and provides a built form that is appropriate for this landscaped setting and the built form extension is not highly visible or positioned abutting a sensitive interface.

The proposed development of the site achieves a very high level of compliance with the policy direction of the Planning Policy Framework.

A planning permit is not triggered under the Low Density Residential Zone, however it is our view that an underlying intent of this particular zone is to allow for owners to have larger houses and larger outbuildings than what would be constructed within a standard residential zone.

In relation to the applicable overlays, please see a discuss of each of these"

- Restructure overlay – The site is compliant with the restructure requirements and therefore this does not need to be considered.

- Vegetation Protection Overlay – No trees are to be impacted and therefore this provision does not need to be considered.
- Bushfire Management Overlay – Please refer to the Bushfire Management Plan. This proposal is for a replacement outbuilding within the same location as the existing building. The site area is cleared of vegetation, with a house to the east, a large asphalt driveway to the north and maintained garden (mostly grass) to the west and the south. There is only one tree close by, to the south).
- Design and development Overlay (Schedule 1) – This has been met for the following reasons:
 - The location of the proposed outbuilding ensures that it enhances the low density character of the area.
 - The location of the proposed outbuilding ensures a responsive outcome to the topography and environmental values of the site.
 - The site is connected to town sewer.
 - There will be no impact on the natural environment or any vegetation.
 - As the outbuilding is downslope of the house and well setback from boundaries, it will not have an unreasonable impact on the landscape character of the area.
 - There will be no impacts via erosion, drainage or impacts on waterways.

The proposal complies with the decision guidelines of Clause 65 for the following reasons:

- The Municipal Planning Strategy and the Planning Policy Framework have been complied with (as discussed earlier).
- The zone and overlay provisions have been complied with (as discussed earlier).
- Any matter required to be considered in the zone and other provision has been appropriately addressed.
- There will be no unreasonable impact upon the amenity of the area.
- There will be no land degradation or impacts upon salinity or reduced water quality.
- There will be no impact upon the quality of stormwater within and exiting the site.
- There will be no loss of any significant vegetation and landscaping can be undertaken.

The proposal achieves a high level of compliance with the relevant provisions of the Cardinia Planning Scheme.

6.0 Conclusion

In conclusion the proposed new outbuilding complies with the policy requirements, zone provisions and overlays.

For the reasons as outlined above, it is respectfully requested that the council support the application as proposed.

Principal Town Planner
Apex Town Planning
March 2026



ARBORIST REPORT
Prepared by [REDACTED]
Advanced Certificate in Arboriculture

Cardina
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Planning Application: T250661
Date Prepared: 08 May 2026

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CLIENT: [REDACTED]

ADDRESS: 5 Francis Street, Cockatoo, VIC, 3781

DATE: 23/12/2025

TABLE OF CONTENTS:

1. REPORT BRIEF	Page 3
2. ASSESSMENT METHODS	Page 3
3. SITE MAP	Page 3
4. TREE INSPECTION RESULTS & PHOTOS	Page 4 - 8
5. TREE DETAIL	Page 9
6. DISCLAIMER	Page 9
7. TREE DESCRIPTORS	Pages 9 - 10

1. REPORT BRIEF:

To assess a large *Eucalyptus viminalis* Manna Gum at 5 Francis Street, Cockatoo within landscape adjacent the existing shed which is proposed for reconstruction over a larger area, for suitability for retention, tree health and structure, ensure minimal adverse impacts due to proposed concrete base for new shed, provide management recommendations, and assign work priorities for any concerns.

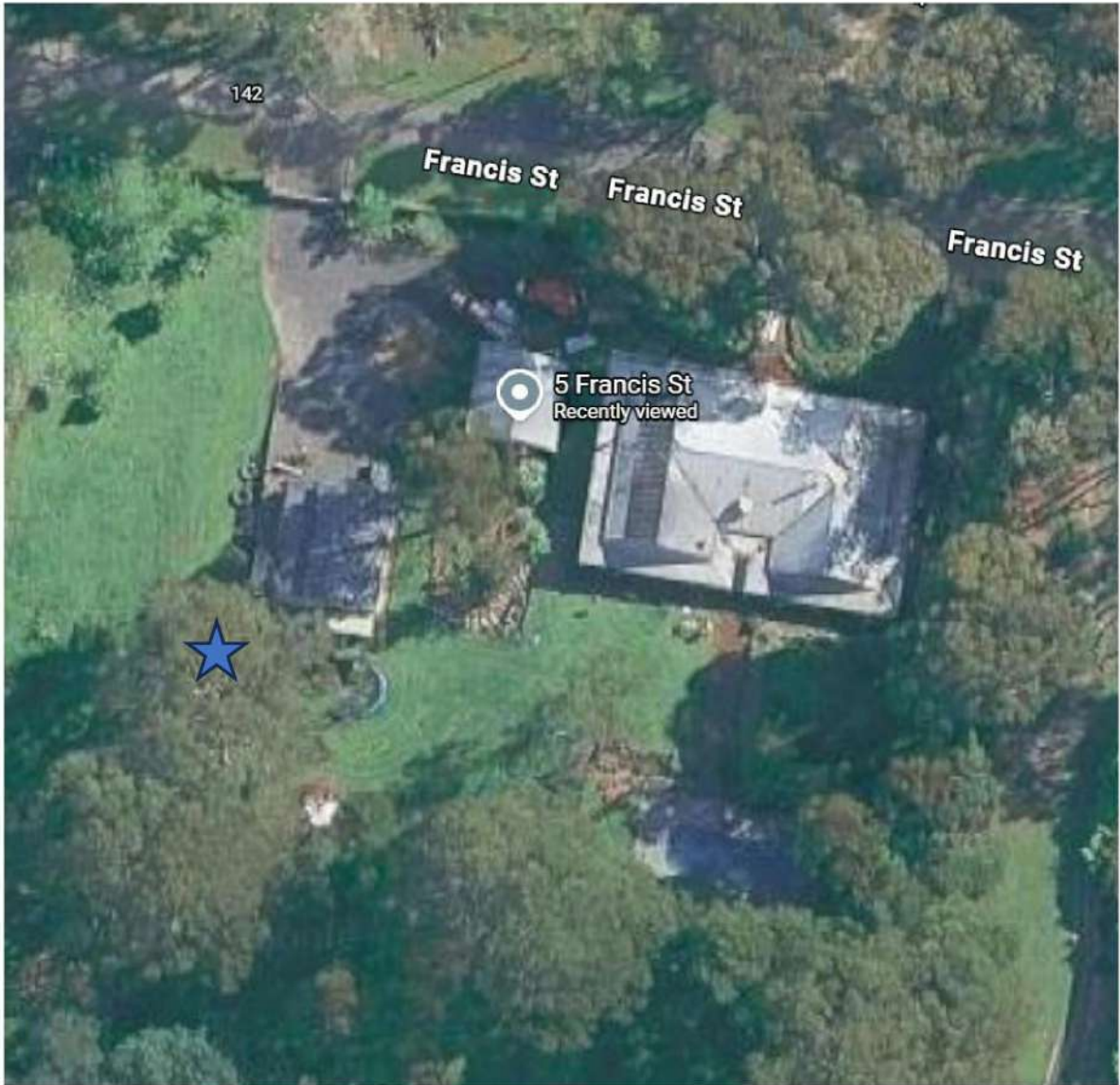
2. ASSESSMENT METHODS:

Tree inspection was conducted in late December 2025 from the ground, with visual assessment of the canopy, scaffold branch structure and trunk. DBH (Diameter at Breast Height) is an estimate at 1.4m from ground level. Tree height and radial spread are estimated in metres. Digital photos were taken as supporting evidence.

3. SITE MAP:


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4. TREE INSPECTION RESULTS

TREE 1.

BOTANICAL NAME: *Eucalyptus viminalis*

COMMON NAME: Manna Gum

LOCATION: Adjacent western boundary fence west of the existing shed at 5 Francis Street, Cockatoo.

HEIGHT: 30 m **RADIAL SPREAD:** 18 m **DBH:** 140 cm

HEALTH: Good **STRUCTURE:** Fair

ASSESSMENT:

The Eucalypt is located within the lawn, west of the existing shed. It is highlighted by a blue star on the site map.

The tree is a prominent, mature specimen within the landscape with the structure of the tree assessed as fair. This assessment is based on the numerous branch failures that are evident and the crossing and rubbing of two large branches low in the tree canopy. All branch attachments appeared sound with minimal risk of branch failure once weight reduction pruning is undertaken.

The tree did contain examples of branch stubs indicating previous branch failure in a high target location. Further branch failure would result in significant potential for damage to person and/or property.

The proposed area for the new shed was identified by the property owner. The existing concrete slab will remain and be extended by approximately 1.5 metres towards the tree. The slab extension is within an existing raised area and no excavation will be required therefore no impact on existing tree roots in this area.

RECOMENDATION:

The property owner has indicated that the existing shed is to be demolished and a new house is to be constructed adjacent to the tree.

The tree is a large native species in good health and of fair structure. The tree is prominently located across Yarra Ranges and Cardinia municipalities and is of high environmental significance.

The tree is recommended for pruning in accordance with Australian Standard 4373:2008 – Amenity Tree Pruning.

The tree health and structure will be enhanced with proposed weight reduction to minimise further branch failures, removal of broken branch stubs minimising exposure to pathogens, removal of deadwood, removal of crossing limb currently rubbing and creating tension. Selective removal of the lowest east facing branch will also be proposed to allow separation from any part of the proposed shed construction.

Total canopy loss will be less than 20% of existing tree.



PLANNING OVERLAYS:

The property is within the Cardinia Shire municipality and is within a GWZ2 – Green Wedge Zone and subject to VPO – Vegetation Protection Overlay – Schedule 1, BMO – Bushfire Management Overlay, Design & Development Overlay – Schedule 1 and Restructure Overlay – Schedule 10.

The tree is an indigenous native, naturally occurring tree and is located within an area with numerous existing native, large trees.

The proposed remedial pruning of this tree will not adversely affect the landscape character or environmental objectives of the area.

[42.02 VEGETATION PROTECTION OVERLAY CARDINIA Planning Scheme - Ordinance](#)


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Ref: 5 Francis Street, Cockatoo, December 2025

Page 7 of 12

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5. TREE DETAIL:

Tree Number	Botanical Name	Common Name	Radial Canopy Width (m)	Tree Height (Estimated) [m]	DBH [cm]	Tree Age	Health	Structure	Observations-Characteristics	Observation Comments	Priority of Works	Recommended Useful Life
1	Eucalyptus viminalis	Manna Gum	18	30	140	Mature	Good	Fair	Tree is relatively healthy and typical of species	High value in terms of meeting the objectives of Council's VPO	High	20+ years

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6. DISCLAIMER:

Recommendations in this report are made based on a visual assessment of the tree from ground level with no aerial inspection undertaken, considering tree species, determined target area and visible defects among other things. They are aimed to reduce the risk of failure where reasonably practicable, however not all tree defects are visible and absolute tree safety can never be guaranteed. Other factors like wind and extreme weather events can also impact tree failure likelihood.

The assigned work priority is indicative of risk level, with trees assessed as at greater risk given a higher work priority. It is the responsibility of the tree manager to determine what risk is acceptable to them and how they will manage that risk.

7. TREE DESCRIPTORS

Health:

Assesses the factors determining overall tree vigour and health.

Category	Description
<i>Good</i>	Foliage of tree is entire, with good colour very little pathogen damage and of good density. Growth indicators are good ie. Extension growth of twigs and woundwood development. Minimal or no canopy dieback (deadwood).
<i>Fair</i>	Tree is showing one or more of the following symptoms; < 25% dead wood, minor canopy dieback, foliage generally with good colour though some imperfections may be present, minor pathogen damage present, with growth indicators such as leaf size, canopy density and twig extension growth typical
<i>Poor</i>	Tree is showing one or more of the following symptoms; >25% deadwood, canopy dieback is observable, discoloured or distorted leaves. Pathogen is present, stress symptoms are obvious eg. Small leaf size or small twig extension; these could lead to decline of specimen.
<i>Dying (or dead)</i>	Tree is in severe decline, with > 55% deadwood, very little foliage that could be mostly be epicormic shoots, or no twig extension.

Structure:

Assesses the tree components of roots, trunk, branch and canopy to determine overall tree structure and failure likelihood.

Category	Description
<i>Good</i>	Trunk and scaffold branches show good taper and attachment with minor or no structural defects. Tree is a good example of the species with a well-developed form showing no obvious root pests or diseases.
<i>Fair</i>	Tree shows some minor structural defects or minor damage to trunk ie. bark missing, there could be cavities present. Minimal damage to structural roots, could be seen as typical for this sp.
<i>Poor</i>	There are major structural defects, damage to trunk or bark missing Co-dominant stems could be present, likely point of branch failure. Girdling or damaged roots obvious and structurally problematic.
<i>Very Poor</i>	Branch or stem failure imminent with significant structural defects including trunk hollow/cavity and fungal brackets, cracked limbs, overburdened extended laterals
<i>Has Failed</i>	Complete or partial tree failure, with limb loss resulting in trunk or branch scarring. Tree may have uprooted or trunk snapped

Tree Age:

Category	Description
<i>Juvenile</i>	Sapling tree, recently planted and <5 years
<i>Semi-Mature</i>	Tree with increasing growth rate and physical size yet to reach full maturity
<i>Mature</i>	Tree is reaching mature size for current growing conditions with incremental growth slowing

Tree Retention Value:

Assesses factors for determining tree suitability on a particular site, normally for tree retention for development purposes.

Primary ranking category for trees on development sites.

Category	Description
<i>High</i>	The tree is suited and positioned well on the site and is in good condition. It is significant in to the landscape character of the area through size or species type with good structure and good SULE. Tree Age, rarity and cultural significance may also be considerable. Retention is a priority.
<i>Moderate</i>	The tree is suited to the site and, if practical, designs should be altered to accommodate the tree. Could be replaced with standard nurse stock if construction design alternatives cannot reasonably accommodate. Large more significant species may have structural or health issue limiting life or poor position on the site.
<i>Low</i>	The tree is not worth retaining in the landscape. The tree may be of poor health, species or structure with limited SULE and not suitable for the site. Inappropriate size or position on the site may also be factors.
<i>Very Low</i>	Tree is dead/dying, considered a weed species or has poor position on the site with serious structural defects with imminent failure likely or has failed. Removal recommended

Arboricultural Rating:

Assess tree value relating to the combination of tree condition factors, age, species type and significance to the landscape character of the area.

Category	Description
<i>High</i>	Tree is of high quality and a particularly good specimen or example of the species and/or may be rare and have high conservation or cultural significance. It is of the highest importance to the landscape character of the area and with good management a likely long term feature of the landscape. Retention of these trees is highly desirable.
<i>Moderate</i>	The tree is fair to good specimen suited to the area with moderate range site suitability. May be a Juvenile or Semi Mature species with potential for good site suitability. May be a mature significant species with a structural or health issue limiting life or poor site position but with remedial arboricultural treatment can exist with moderate SULE. Retention of these trees is generally desirable.
<i>Low</i>	Unremarkable specimen, not considered significant, due to low amenity value or poor quality. This may be a small specimen, with poor health or structure and a short SULE, which can be easily replaced.



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None	Tree of low quality which may be dead/dying with considerable defects or is a woody weed species of no desirable retention. Offers nothing to the landscape character of the area and of no amenity value. Removal recommended
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Date Prepared: 08 May 2026

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ARBORIST REPORT
Prepared by Andrew Wright
Advanced Certificate in Arboriculture

Cardinia
ADVERTISED MATERIAL
Planning Application: T250661
Date Prepared: 08 May 2026

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CLIENT: Travis Crane

ADDRESS: 5 Francis Street, Cockatoo, VIC, 3781

DATE: 27/04/2026

TABLE OF CONTENTS:

1. REPORT BRIEF	Page 3
2. ASSESSMENT METHODS	Page 3
3. SITE MAP	Page 3
4. TREE INSPECTION RESULTS & PHOTOS	Page 4 - 8
5. TREE DETAIL	Page 9
6. DISCLAIMER	Page 9
7. TREE DESCRIPTORS	Pages 9 - 10

1. REPORT BRIEF:

To assess an *Acacia melanoxylon* – Blackwood which has self sown beneath a large *Eucalyptus viminalis* Manna Gum at 5 Francis Street, Cockatoo within landscape adjacent the existing shed which is proposed for reconstruction.

Mr Crane has indicated that Council Planning Officers have raised the tree as a concern as its growth may be restricted by the adjacent tree canopy above. Mr Crane has asked to assess the tree, provide management recommendations, and assign work priorities for any concerns.

2. ASSESSMENT METHODS:

Tree inspection was conducted in late April 2026 from the ground, with visual assessment of the canopy, scaffold branch structure and trunk. DBH (Diameter at Breast Height) is an estimate at 1.4m from ground level. Tree height and radial spread are estimated in metres. Digital photos were taken as supporting evidence.

3. SITE MAP:



4. TREE INSPECTION RESULTS

TREE 1.

BOTANICAL NAME: *Acacia melanoxylon*

COMMON NAME: Blackwood

LOCATION: Adjacent western boundary fence west of the existing shed at 5 Francis Street, Cockatoo underneath large *Eucalyptus viminalis*.

HEIGHT: 6.5 m **RADIAL SPREAD:** 4.5 m **DBH:** 17 cm

HEALTH: Good **STRUCTURE:** Good

ASSESSMENT:

The Blackwood is located within the lawn, west of the existing shed. It is highlighted by a blue star on the site map.

The tree is a self sown, semi mature specimen within the landscape with the structure of the tree assessed as good. This assessment is based on the healthy tree canopy, all branch attachments appeared sound with minimal risk of branch failure and no obvious defects observed.

The tree is of local indigenous origin and is considered a companion planting to the large *Eucalyptus viminalis*. This type of association is common in the nearby natural bushland in close proximity to the property.

The tree will have no impact on the proposed shed construction.

RECOMENDATION:

As the tree will not be adversely affected by the shed construction, has self sown from other nearby trees of local indigenous origin and contributes to the natural, local environment it is recommended that the tree be retained.

As the tree canopy grows it is recommended for formative pruning in accordance with Australian Standard 4373:2008 – Amenity Tree Pruning.



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PLANNING OVERLAYS:

The property is within the Cardinia Shire municipality and is within a GWZ2 – Green Wedge Zone and subject to VPO – Vegetation Protection Overlay – Schedule 1, BMO – Bushfire Management Overlay, Design & Development Overlay – Schedule 1 and Restructure Overlay – Schedule 10.

The tree is an indigenous native, naturally occurring tree and is located within an area with numerous existing native, large trees.

The proposed remedial pruning of this tree will not adversely affect the landscape character or environmental objectives of the area.

[42.02 VEGETATION PROTECTION OVERLAY CARDINIA Planning Scheme - Ordinance](#)


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Cardina


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5. TREE DETAIL:

Tree Number	Botanical Name	Common Name	Radial Canopy Width (m)	Tree Height (Estimated) [m]	DBH [cm]	Tree Age	Health	Structure	Observations-Characteristics	Observation Comments	Priority of Works	Recommended Works	Estimated Cost
1	Acacia melanoxylon	Blackwood	4.5	6.5	17cm	Semi Mature	Good	Good	Tree is r healthy and typical of species	High value in terms of meeting the objectives of Council's VPO	N/A	No works required.	20+ years


Cardinia
 Council
 Planning and Environment
 Date Prepared: 08 May 2026

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6. DISCLAIMER:

Recommendations in this report are made based on a visual assessment of the tree from ground level with no aerial inspection undertaken, considering tree species, determined target area and visible defects among other things. They are aimed to reduce the risk of failure where reasonably practicable, however not all tree defects are visible and absolute tree safety can never be guaranteed. Other factors like wind and extreme weather events can also impact tree failure likelihood.

The assigned work priority is indicative of risk level, with trees assessed as at greater risk given a higher work priority. It is the responsibility of the tree manager to determine what risk is acceptable to them and how they will manage that risk.

7. TREE DESCRIPTORS

Health:

Assesses the factors determining overall tree vigour and health.

Category	Description
<i>Good</i>	Foliage of tree is entire, with good colour very little pathogen damage and of good density. Growth indicators are good ie. Extension growth of twigs and woundwood development. Minimal or no canopy dieback (deadwood).
<i>Fair</i>	Tree is showing one or more of the following symptoms; < 25% dead wood, minor canopy dieback, foliage generally with good colour though some imperfections may be present, minor pathogen damage present, with growth indicators such as leaf size, canopy density and twig extension growth typical
<i>Poor</i>	Tree is showing one or more of the following symptoms; >25% deadwood, canopy dieback is observable, discoloured or distorted leaves. Pathogen is present, stress symptoms are obvious eg. Small leaf size or small twig extension; these could lead to decline of specimen.
<i>Dying (or dead)</i>	Tree is in severe decline, with > 55% deadwood, very little foliage that could be mostly be epicormic shoots, or no twig extension.

Structure:

Assesses the tree components of roots, trunk, branch and canopy to determine overall tree structure and failure likelihood.

Category	Description	Cardina Planning Application: T250661 Date Prepared: 08 May 2026
<i>Good</i>	Trunk and scaffold branches show good taper and attachment with minor or no structural defects. Tree is a good example of the species with a well-developed form showing no obvious root pests or diseases.	<small> This document is the property of Cardina Planning Pty Ltd. It is to be used for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. </small>
<i>Fair</i>	Tree shows some minor structural defects or minor damage to trunk ie. bark missing, there could be cavities present. Minimal damage to structural roots, could be seen as typical for this sp.	
<i>Poor</i>	There are major structural defects, damage to trunk or bark missing Co-dominant stems could be present, likely point of branch failure. Girdling or damaged roots obvious and structurally problematic.	
<i>Very Poor</i>	Branch or stem failure imminent with significant structural defects including trunk hollow/cavity and fungal brackets, cracked limbs, overburdened extended laterals	
<i>Has Failed</i>	Complete or partial tree failure, with limb loss resulting in trunk or branch scarring. Tree may have uprooted or trunk snapped	

Tree Age:

Category	Description
<i>Juvenile</i>	Sapling tree, recently planted and <5 years
<i>Semi-Mature</i>	Tree with increasing growth rate and physical size yet to reach full maturity
<i>Mature</i>	Tree is reaching mature size for current growing conditions with incremental growth slowing

Tree Retention Value:

Assesses factors for determining tree suitability on a particular site, normally for tree retention for development purposes. Primary ranking category for trees on development sites.

Category	Description
<i>High</i>	The tree is suited and positioned well on the site and is in good condition. It is significant in to the landscape character of the area through size or species type with good structure and good SULE. Tree Age, rarity and cultural significance may also be considerable. Retention is a priority.
<i>Moderate</i>	The tree is suited to the site and, if practical, designs should be altered to accommodate the tree. Could be replaced with standard nursery stock if construction design alternatives cannot reasonably accommodate. Large more significant species may have structural or health issue limiting life or poor position on the site.
<i>Low</i>	The tree is not worth retaining in the landscape. The tree may be of poor health, species or structure with limited SULE and not suitable for the site. Inappropriate size or position on the site may also be factors.
<i>Very Low</i>	Tree is dead/dying, considered a weed species or has poor position on the site with serious structural defects with imminent failure likely or has failed. Removal recommended

Arboricultural Rating:

Assess tree value relating to the combination of tree condition factors, age, species type and significance to the landscape character of the area.

Category	Description
<i>High</i>	Tree is of high quality and a particularly good specimen or example of the species and/or may be rare and have high conservation or cultural significance. It is of the highest importance to the landscape character of the area and with good management a likely long term feature of the landscape. Retention of these trees is highly desirable.
<i>Moderate</i>	The tree is fair to good specimen suited to the area with moderate range site suitability. May be a Juvenile or Semi Mature species with potential for good site suitability. May be a mature significant species with a structural or health issue limiting life or poor site position but with remedial arboricultural treatment can exist with moderate SULE. Retention of these trees is generally desirable.
<i>Low</i>	Unremarkable specimen, not considered significant, due to low amenity value or poor quality. This may be a small specimen, with poor health or structure and a short SULE, which can be easily replaced.
<i>None</i>	Tree of low quality which may be dead/dying with considerable defects or is a woody weed species of no desirable retention. Offers nothing to the landscape character of the area and of no amenity value. Removal recommended

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- SYMBOL**
- T.B.M.
 - TREE (TRUNK & SPREAD) DENOTES TREE APPROXIMATELY 5 METRES HIGH
 - SIGN
 - ELECTRICITY POLE
 - ELECTRICITY PIT
 - TELSTRA PIT
 - GAS METER
 - FIRE HYDRANT
 - WATER METER
 - WATER MARKER POST
 - HABITABLE WINDOW
 - WINDOW (NON-HABITABLE)
 - DENOTES DIRECTION AND POSITION OF PHOTO FOUR
 - ADJOINING PROPERTY LEVEL
 - FLOOR LEVEL AT THRESHOLD UNLESS OTHERWISE SHOWN X REPRESENTS THE LOCATION FOR THE LEVEL
 - DECK LEVEL (X REPRESENTS THE LOCATION FOR THE LEVEL SHOWN)
 - PARAPETS
 - RIDGELINES
 - GUTTERING (LIP)
 - THE ORANGE DASHED LINEWORK REPRESENTS DATA DERIVED FROM AERIAL PHOTOGRAPHY AND IS APPROXIMATE ONLY. ANY FEATURES IN THESE AREAS (SUCH AS WINDOWS & DOORS) CANNOT BE VERIFIED & FURTHER INVESTIGATION IS STRONGLY RECOMMENDED PRIOR TO ANY DESIGN OR WORKS.
 - APPROXIMATE LOCATION OF RIDGELINES/GUTTERS (LIP) (HEIGHT SHOWN THUS $\frac{1}{2}$ ARE TO LIP)
 - APPROXIMATE LOCATION OF OVERHEAD SERVICE WIRES
 - TOP OF BANK
 - TOE OF BANK
 - INVERT OF BLUESTONE KERB



IMPORTANT NOTE:

- THIS IS NOT A TITLE RE-ESTABLISHMENT PLAN - A TITLE RE-ESTABLISHMENT PLAN IS STRONGLY RECOMMENDED PRIOR TO ANY DESIGN OR CONSTRUCTION.
- THE LINEWORK SHOWN THUS $---$ IS AN APPROXIMATE SITE DEFINITION ONLY.
- EASEMENTS ARE NOT SHOWN ON THIS PLAN - PLEASE REFER TO A CURRENT COPY OF TITLE FOR ANY EASEMENT INFORMATION.

DATUM NOTES:

- LEVELS SHOWN THUS $\frac{1}{2}$ ARE BASED ON AUSTRALIAN HEIGHT DATUM
- LEVEL DATUM BASED ON GPSNET CORRECTED RTK GNSS OBSERVATIONS
- CONTOUR INTERVAL AT 0.2m

REV.	REVISION	DATE	APPD	CHECK

JCA Land Consultants certify that this plan is in all respects accurate and correctly represents the existing conditions on the 09/01/26

Surveyors G. McNAMARA P.C.
Drawn M. WEST 20/01/26
Checked M. SCOTT 20/01/26

EXPLANATORY NOTES:

- DATA ON THIS PLAN MAY ONLY BE MANIPULATED WITH THE PERMISSION OF JCA LAND CONSULTANTS.
- ACCURACY OF DETAIL LOCATION ± 0.05
- ACCURACY OF REDUCED LEVELS ± 0.02
- THIS HARD COPY PLAN IS A VERIFICATION PLOT OF COMPUTER FILE: DWG: 3480211F1D.dwg DATE: 20/01/26
- LOCATION OF ABUTTING BUILDINGS AND ENVIRONS IS INDICATIVE ONLY UNLESS OTHERWISE SHOWN.
- TREE SPREAD SHOWN ON THIS PLAN IS INDICATIVE ONLY.
- ONLY SIGNIFICANT TREES HAVE BEEN LOCATED AND SHOWN ON THIS PLAN.
- ALL VEGETATION SHOWN ON THIS PLAN IS TO BE VERIFIED BY AN ARBORIST.
- WINDOW DESCRIPTIONS ANNOTATED ON THIS PLAN ARE INDICATIVE ONLY AND SHOULD BE VERIFIED BY THE ARCHITECT, OWNER OR BUILDER PRIOR TO ANY DESIGN.
- ONLY VISIBLE SERVICES ARE SHOWN ON THIS PLAN.
- IT IS STRONGLY RECOMMENDED THAT A 'BEFORE YOU DIG' (www.bydda.com.au) ENQUIRY BE MADE TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES WITHIN THE SITE.

Scale: 1:200 @ A2

Client : WORTHY BODY CORPORATE Municipality : CARDINIA

PLAN OF FEATURE SURVEY
5 FRANCIS STREET
COCKATOO

DWG: 3480211F1D
Job No: 34802
Sheet: 1 OF 1

JCA LAND CONSULTANTS
The Subdivision Specialists

Suite 9, 303 Maroondah Highway, Ringwood VIC 3134
T: 03 9735 4888 E: jca@jcalc.com.au www.jcalc.com.au

PROJECT SPECIFICATION

[BE ADVISED: SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT]

1.0 GENERAL

- DO NOT SCALE DRAWINGS; FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- ALL DIMENSIONS, LEVELS & EXISTING CONDITIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MEMBERS.
- ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- ALL WORKMANSHIP SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT".
- SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

2.0 VARIATION TO PLANS

- ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

3.0 STORMWATER

- ALL STORMWATER TO BE TAKEN TO EXISTING STORMWATER SYSTEM OR DIRECTED TO A LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.

4.0 TIMBER FRAMED CONSTRUCTION

- ALL TIMBER STRUCTURAL MEMBERS SHALL COMPLY WITH AS1684.2-2021 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUAL AND SUPPLEMENTARY TABLES OR AS SHOWN ON ENGINEER'S DRAWINGS.
- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA 2022 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- USE TREATED TIMBER FOR ALL EXTERNAL USE. ALL FOOTINGS AS PER BCA 2022 PART 3.2.
- BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
- FIGURED SET OUT DIMENSIONS ARE TAKEN TO THE TITLE BOUNDARIES.

5.0 STEEL FRAMED CONSTRUCTION

- ALL STEEL FRAMING MEMBERS AS PER MANUFACTURERS. SPAN TABLE OR ENGINEERS DESIGN AND INSTALLED STRICTLY TO MANUFACTURERS INSTRUCTIONS.
- STEEL SHALL COMPLY WITH AS 4100.

6.0 NEW HANDRAILS.

- ALL HANDRAILS & BALUSTRADES TO BE CONSTRUCTED STRICTLY IN ACCORDANCE WITH BCA Part 11.3.4. HANDRAILS ARE REQUIRED ON ALL EXPOSED FLOOR & DECK PERIMETERS OF 1000mm HIGH OR GREATER. HANDRAILS ARE CONSTRUCTED WITH A MINIMUM HEIGHT OF 1000mm ABOVE FLOOR LEVEL & 865mm VERTICALLY ABOVE STAIR NOSINGS. STUMPS CAN BE EXTENDED VERTICALLY TO BE USED FOR HANDRAIL POSTS.

BALUSTRADES MUST BE CONTINUOUS, CAPABLE OF PREVENTING A PERSON FALLING THROUGH THE BALUSTRADE & CAPABLE OF RESTRICTING THE PASSAGE OF CHILDREN. OPENINGS IN BALUSTRADES SHOULD BE CONSTRUCTED SO THEY DO NOT ALLOW A 125mm SPHERE TO BE PASSED THROUGH. WHERE IT IS POSSIBLE TO FALL 4.0m, ANY HORIZONTAL ELEMENTS WITHIN THE BARRIER BETWEEN 150mm & 760mm ABOVE FLOOR LEVEL MUST NOT FACILITATE CLIMBING.

- WIRE BARRIERS**
MAXIMUM CLEAR DISTANCE BETWEEN POSTS TO BE 1800mm.
SELECTED 3.0mm DIA. STAINLESS STEEL WIRE BALUSTRADE TO BE AT 80mm MAXIMUM SPACING TENSIONED TO A MAXIMUM 125mm SPHERE PASS THROUGH (1370 Newtons tension).
A VERTICAL SPACER IS REQUIRED @ 900 CENTERS.

- GLASS BARRIERS**
ALL GLAZED BARRIERS TO BE TOUGHENED GLASS SELECTED STRICTLY IN ACCORDANCE WITH THE STRUCTURAL OR INFILL REQUIREMENTS OF AS.1288

7.0 NEW STAIRS AND SURFACES

- STAIR CONSTRUCTION 240mm MIN. TREADS AND 190mm MAX. RISERS.
- PEDESTRIAN SURFACES INCLUDING NOSINGS TO HAVE A NON-SLIP RESISTANCE VALUE OF R11 TO AZ/NZS 4586 IN ACCORDANCE WITH BCA 2022 VOL. 2.


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IMPORTANT

ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2022 (NCC) INCLUDING RELEVANT DEEMED-TO SATISFY PROVISIONS & CURRENT AUSTRALIAN STANDARDS.

NO WORKS TO BE CONDUCTED ON EXISTING DWELLING WITHOUT PRIOR INSPECTION BY OWNER, INSTALLER, BUILDER OR CONTRACTOR TO DETERMINE THE ADEQUATE SOUNDNESS & CONDITION OF THE EXISTING STRUCTURE PRIOR TO ATTACHING, FASTENING, ANCHORING OR BOLTING ANY NEW STRUCTURE TO IT.

CONSTRUCTION NOTES:

- ALL TIMBER STRUCTURAL MEMBERS SHALL COMPLY WITH AS1684.4-2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUAL AND SUPPLEMENTARY TABLES OR AS SHOWN ON ENGINEER'S DRAWINGS.
- ALL STEEL FRAMING MEMBERS AS PER MANUFACTURERS SPAN TABLE OR ENGINEERS DESIGN AND INSTALLED STRICTLY TO MANUFACTURERS INSTRUCTIONS.
- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA 2022 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- BUILDER SHALL CONFIRM THE LOCATION OF ANY UNDERGROUND SERVICES, CABLES & VENT PIPES & RELOCATE SAME IF PROHIBITED TO BE UNDER THE PROPOSED WORKS.
- BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.

MANUFACTURED PRODUCTS & MATERIALS

INSTALLATIONS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS & RECOMMENDATIONS.

THE OWNER, INSTALLER OR BUILDER IS TO MAKE THEMSELVES FULLY AWARE OF THE MANUFACTURERS FOUNDATION, CONNECTION & INSTALLATION REQUIREMENTS THAT MAY BE ENCOUNTERED UNDER THESE PROPOSED WORKS.

ONLY EXPERIENCED AND COMPETENT INSTALLERS ARE TO BE ENGAGED FOR THESE PROPOSED INSTALLATIONS. CORRECT INSTALLATION IS CRITICAL TO PRODUCT PERFORMANCE.

THE EXPERTISE OF HAVEN DESIGN DOES NOT EXTEND TO KNOWLEDGE OF FOUNDATION, CONNECTION & INSTALL REQUIREMENTS OF MANUFACTURED PRODUCTS.

REV	ISSUE DESCRIPTION	DATE
0	PLANS ISSUED FOR BUILDING PERMIT	01/09/2025



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PROJECT DETAILS:
PROPOSED SHED

5 FRANCIS STREET, COCKATOO

ISSUED BY:
HAVEN DESIGN

DRAWN BY:
J.H

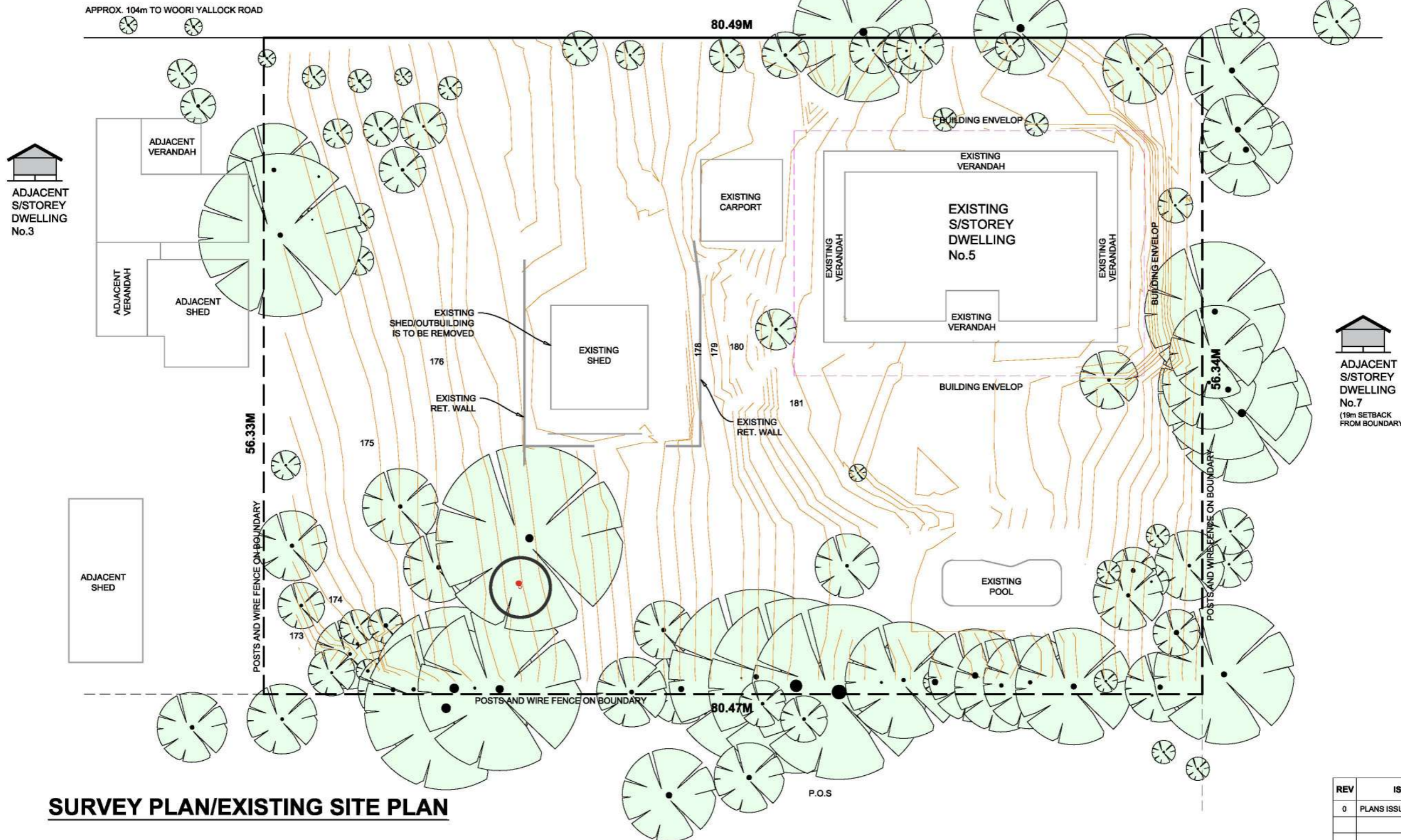
CHECKED:
RICCARDO ROMANO
(DP-AD23101)

CLIENT NAME: A. & T. CRANE

PAGE N°: 01/04 SCALE: 0:000 (A3)

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FRANCIS STREET



SURVEY PLAN/EXISTING SITE PLAN

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5 FRANCIS STREET, COCKATOO

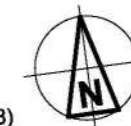
ISSUED BY:
HAVEN DESIGN

CLIENT NAME: [REDACTED]

DRAWN BY:
J.H

CHECKED:
RICCARDO ROMANO (DP-AD23101)

PAGE Nº: 02/04
SCALE: 1:350 (A3)



REV	ISSUE DESCRIPTION	DATE
0	PLANS ISSUED FOR BUILDING PERMIT	01/09/2025

SITE INFORMATION

SITE AREA: 4534 m²
 EXISTING BUILDING AREA: 462.3 m²
 PROPOSED STRUCTURE: 175.0 m²
 TOTAL BUILDING FOOTPRINT: 637.3 m²

PROPOSED SITE COVERAGE: 14.1 %
 PERMEABLE AREA: 82.9 %
 GARDEN AREA: 82.9 %

ZONING: Low Density Residential (LDRZ)
 OVERLAY: Bushfire Management (BMO)
 Design And Development (DDO)
 Restructure Overlay (RO)
 Vegetation Protection (VPO)

THIS PROPERTY IS IN A BUSHFIRE PRONE AREA:
 All works are to be built in accordance with AS3959

LEGAL POINT OF DISCHARGE
 LPOD TO BE CONFIRMED ON SITE PRIOR TO WORKS COMMENCING. PLUMBER & BUILDER TO CONFIRM EXISTING RUNS & CONNECT NEW DOWNPIPE INTO EXISTING STORM WATER SYSTEM TO AUSTRALIAN STANDARDS

THIS PROPERTY IS CONNECTED TO TOWN SEWERAGE

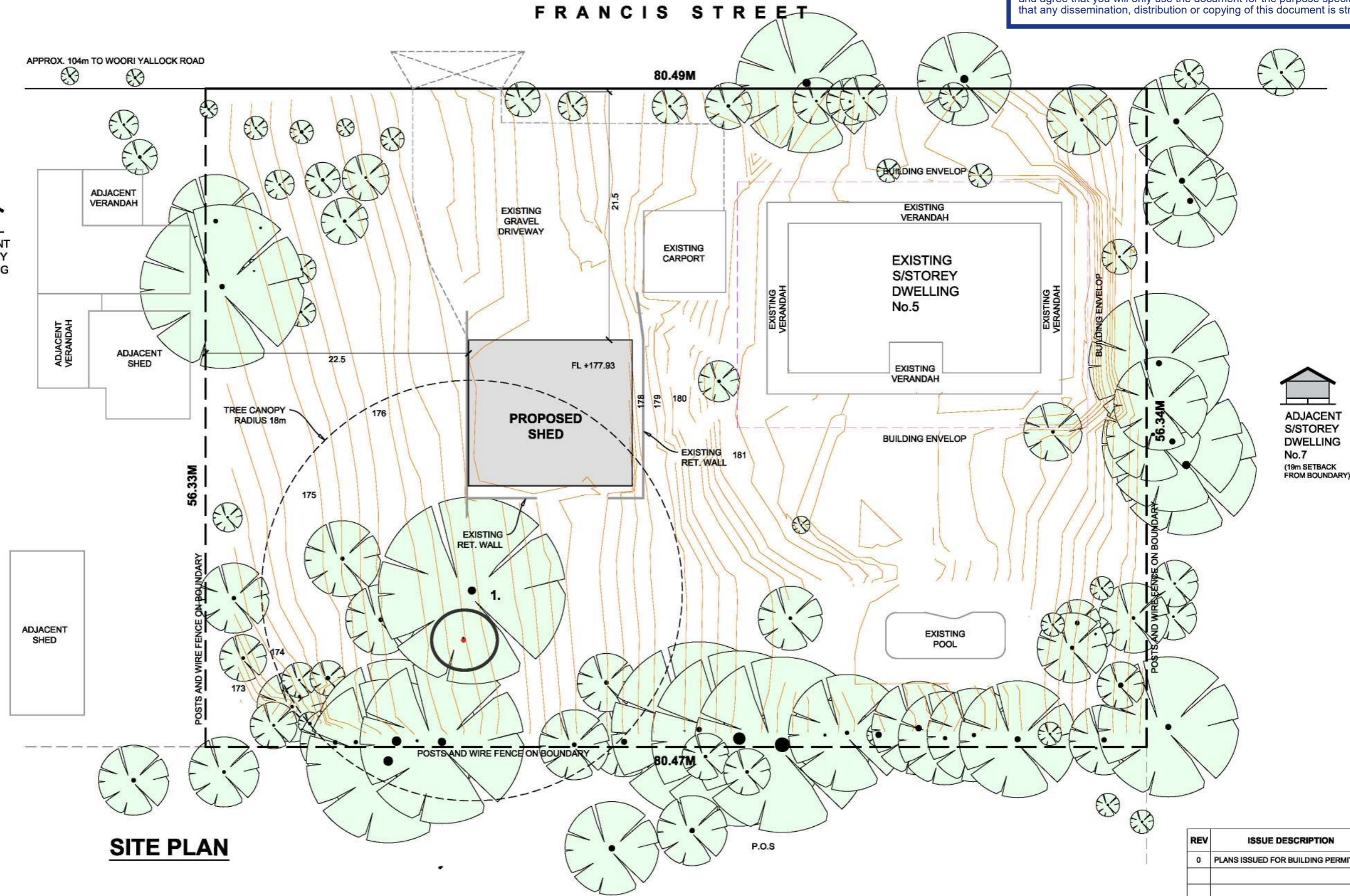
NO TREES ARE BEING REMOVED FOR THIS PROPOSAL

NO EXCAVATION OR RETAINING WORKS ARE REQUIRED FOR THIS PROPOSAL

COLOUR SCHEDULE
 WALLS & ROOF- MONUMENT
 GUTTERS & FLASHINGS- MONUMENT
 WINDOWS & DOORS- MONUMENT

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SITE PLAN

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THE BUILDER SHALL CHECK AND VERIFY ALL BOUNDARIES, LEVELS, DATUM & DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO START OF WORK & DURING THE CONSTRUCTION PHASE. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ANY STRUCTURAL, MECHANICAL, ELECTRICAL AND OR ANY OTHER CONSULTANT/S DOCUMENTATION AS MAY BE APPLICABLE TO THE PROJECT PRIOR TO START OF WORK & ITS DURATION.

PROJECT DETAILS:
PROPOSED SHED

5 FRANCIS STREET, COCKATOO

ISSUED BY:

DRAWN BY:

CHECKED:
 RICCARDO ROMANO
 (DP-AD23101)

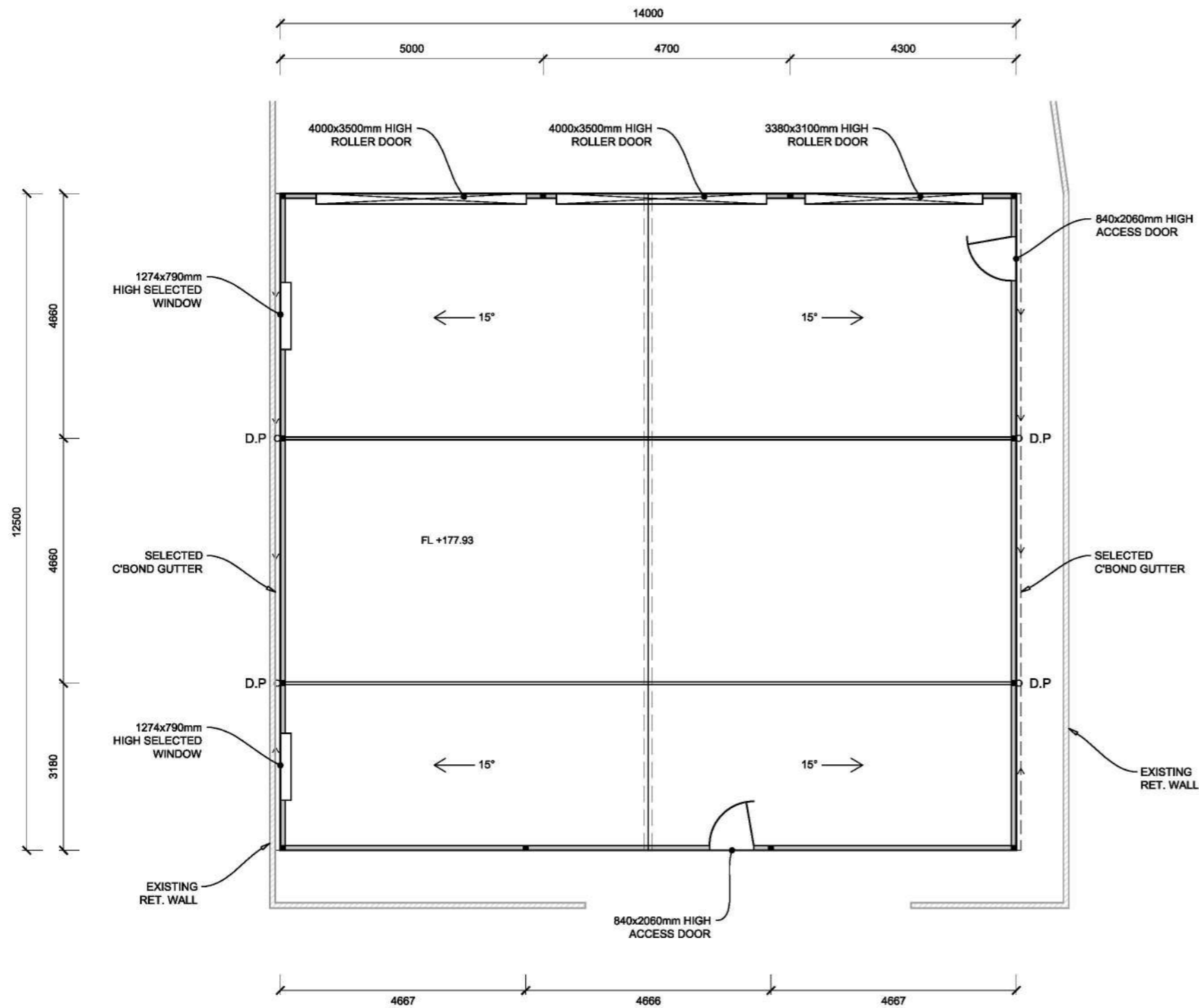
PAGE Nº: 02/04
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REV	ISSUE DESCRIPTION	DATE
0	PLANS ISSUED FOR BUILDING PERMIT	01/09/2025



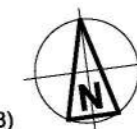
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SHED LAYOUT

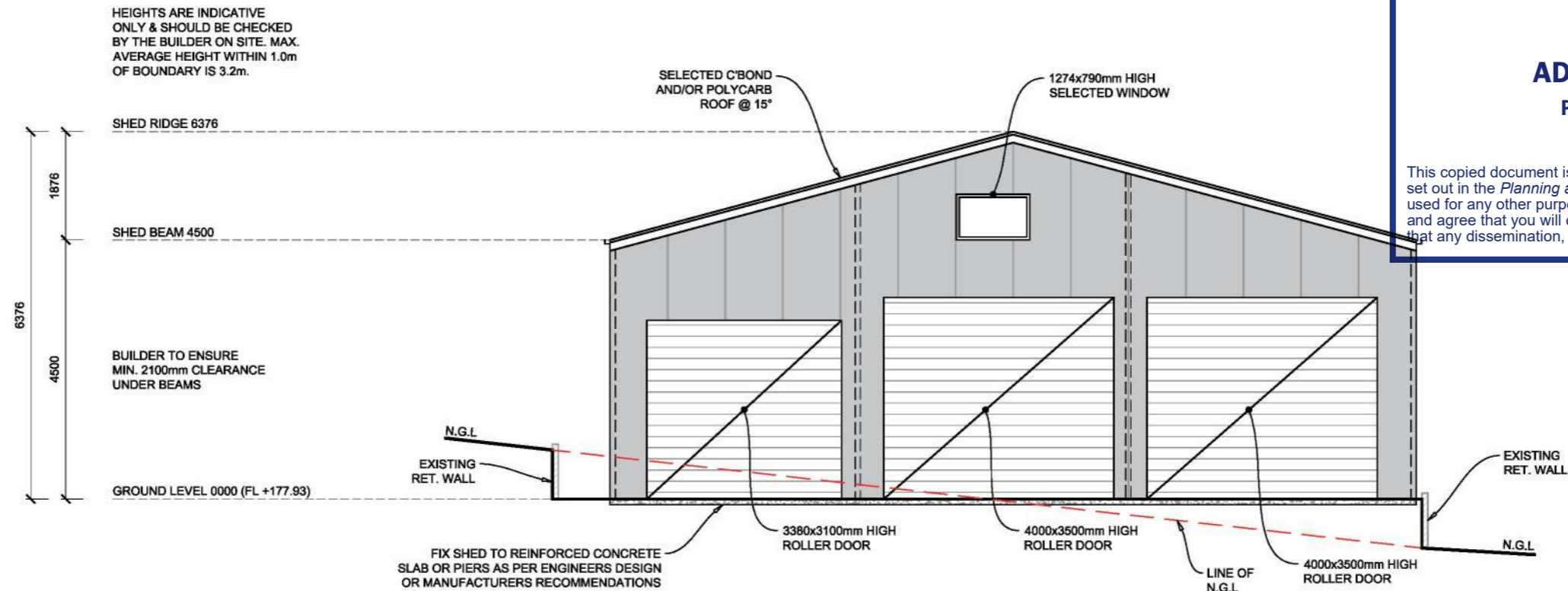
STRUCTURAL INFORMATION

PROPOSED FRAME MEMBERS	ALL STEEL FRAMING MEMBERS AS PER MANUFACTURERS SPAN TABLE OR ENGINEERS DESIGN AND INSTALLED STRICTLY TO MANUFACTURERS INSTRUCTION MANUAL. REFER SEPARATE SPECIFICATION. STEEL SHALL COMPLY WITH AS.4100.	
ROOFING & WALLS	SELECTED C'BOND STEEL ROOF @ 15-DEGREES	INSTALLED TO MANUFACTURERS INSTRUCTIONS
STORMWATER	SELECTED C'BOND GUTTER. 90mm DIA. PVC OR 100x50mm C'BOND DOWNPIPES TO NCC 3.5.2.	DOWNPIPES TO BE CONNECTED TO NEAREST EXISTING STORMWATER DRAINAGE SYSTEM (L.P.D.) WITH MIN. 90mm PVC PIPE IN A GRADE OF 1:100 AS PER AS.3500
GENERAL	<ul style="list-style-type: none"> NEW STRUCTURE TO BE CONNECTED TO EXISTING DWELLING VIA MANUFACTURERS RECOMMENDED METHOD. BUILDER TO ENSURE STEEL FRAME INSTALLATION AS PER MANUFACTURERS SPECIFICATION MANUAL AT ALL TIMES. FLASH BETWEEN PROPOSED & EXISTING AS REQUIRED 	

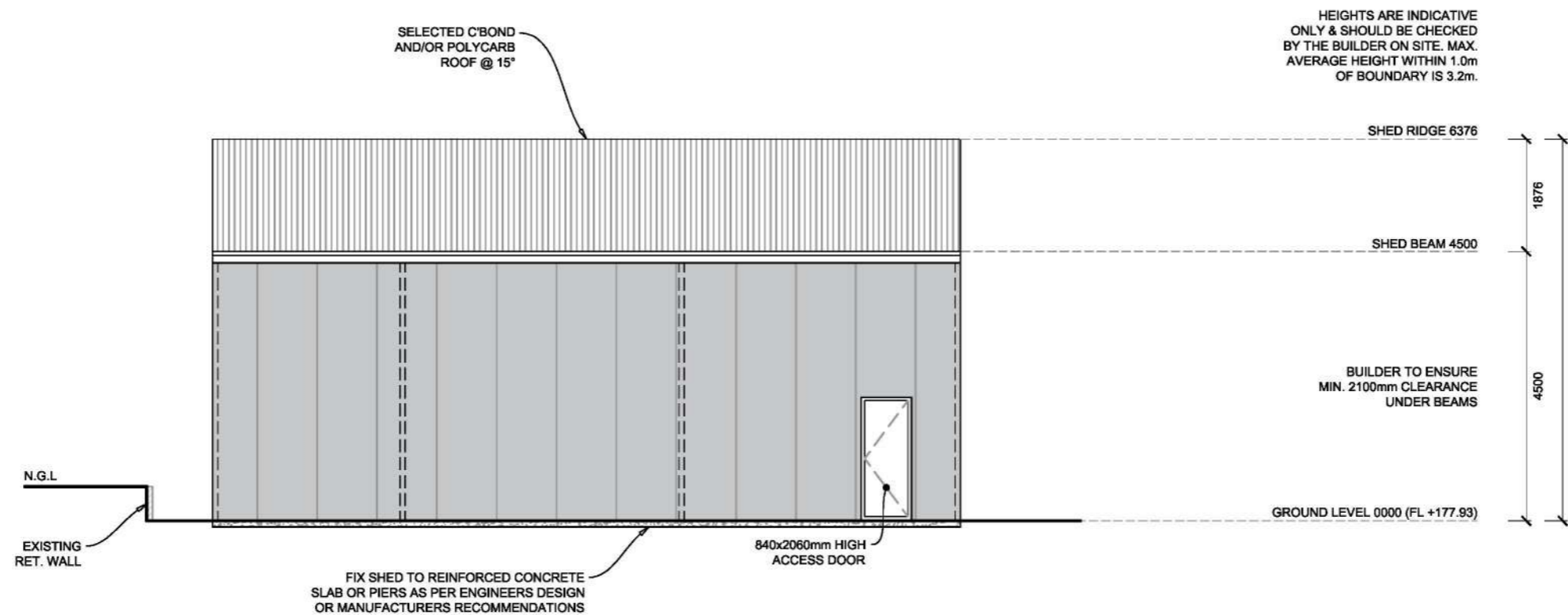


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NORTH ELEVATION



EAST ELEVATION

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PROJECT DETAILS:

PROPOSED SHED

5 FRANCIS STREET, COCKATOO

ISSUED BY:
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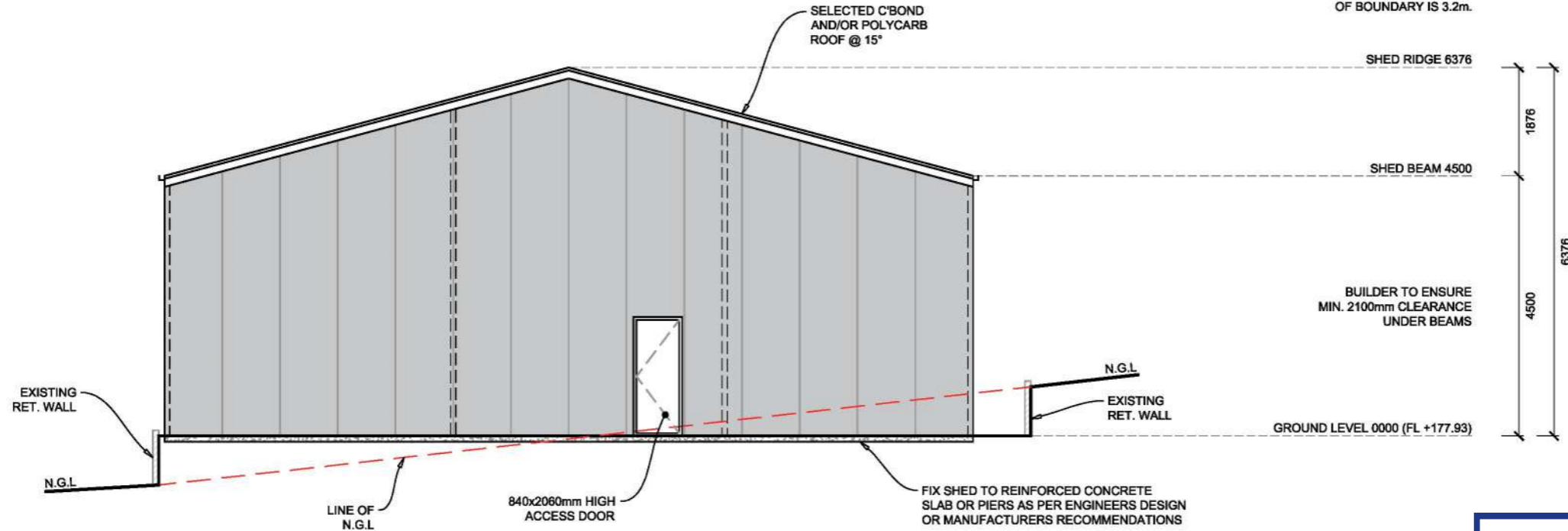
DRAWN BY:
J.H

CHECKED:
RICCARDO ROMANO
(DP-AD23101)

CLIENT NAME: [REDACTED]

PAGE Nº: 04/04
SCALE: 1:100 (A3)

HEIGHTS ARE INDICATIVE ONLY & SHOULD BE CHECKED BY THE BUILDER ON SITE. MAX. AVERAGE HEIGHT WITHIN 1.0m OF BOUNDARY IS 3.2m.

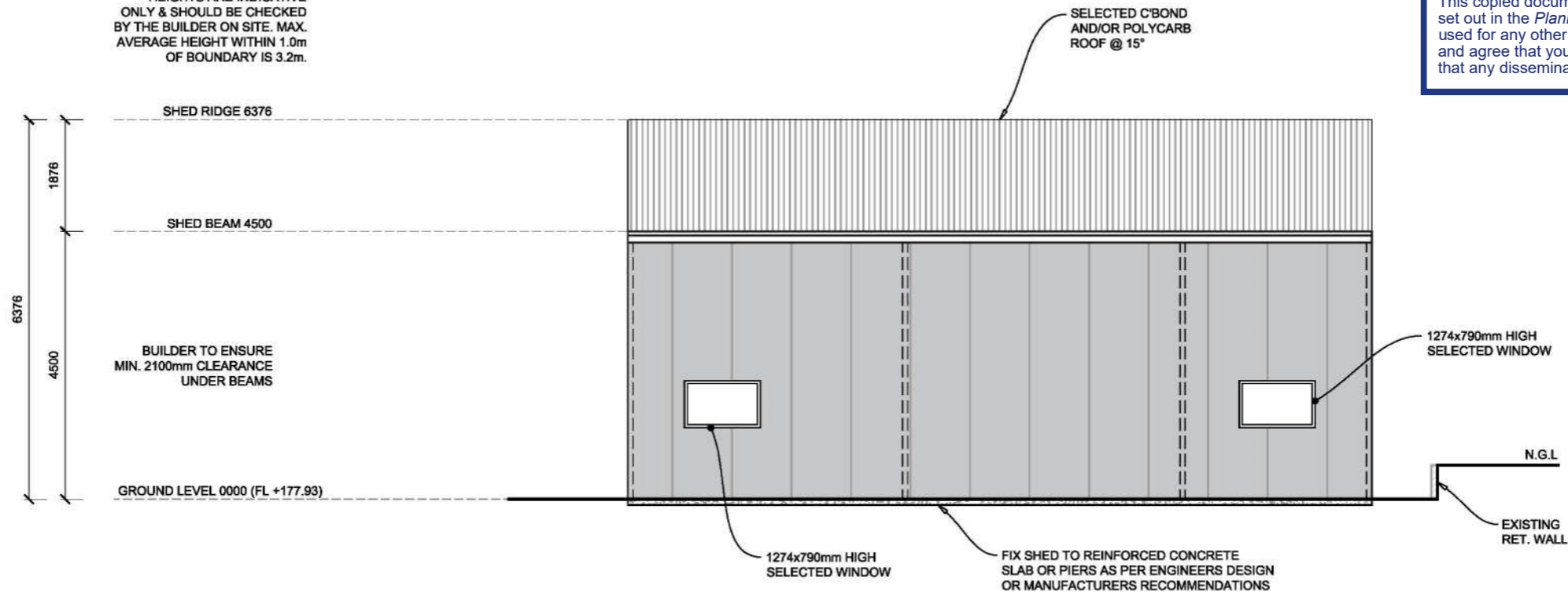


SOUTH ELEVATION


Cardinia
ADVERTISED MATERIAL
 Planning Application: T250661
 Date Prepared: 08 May 2026

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WEST ELEVATION

REV	ISSUE DESCRIPTION	DATE
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PROJECT DETAILS:
PROPOSED SHED

5 FRANCIS STREET, COCKATOO

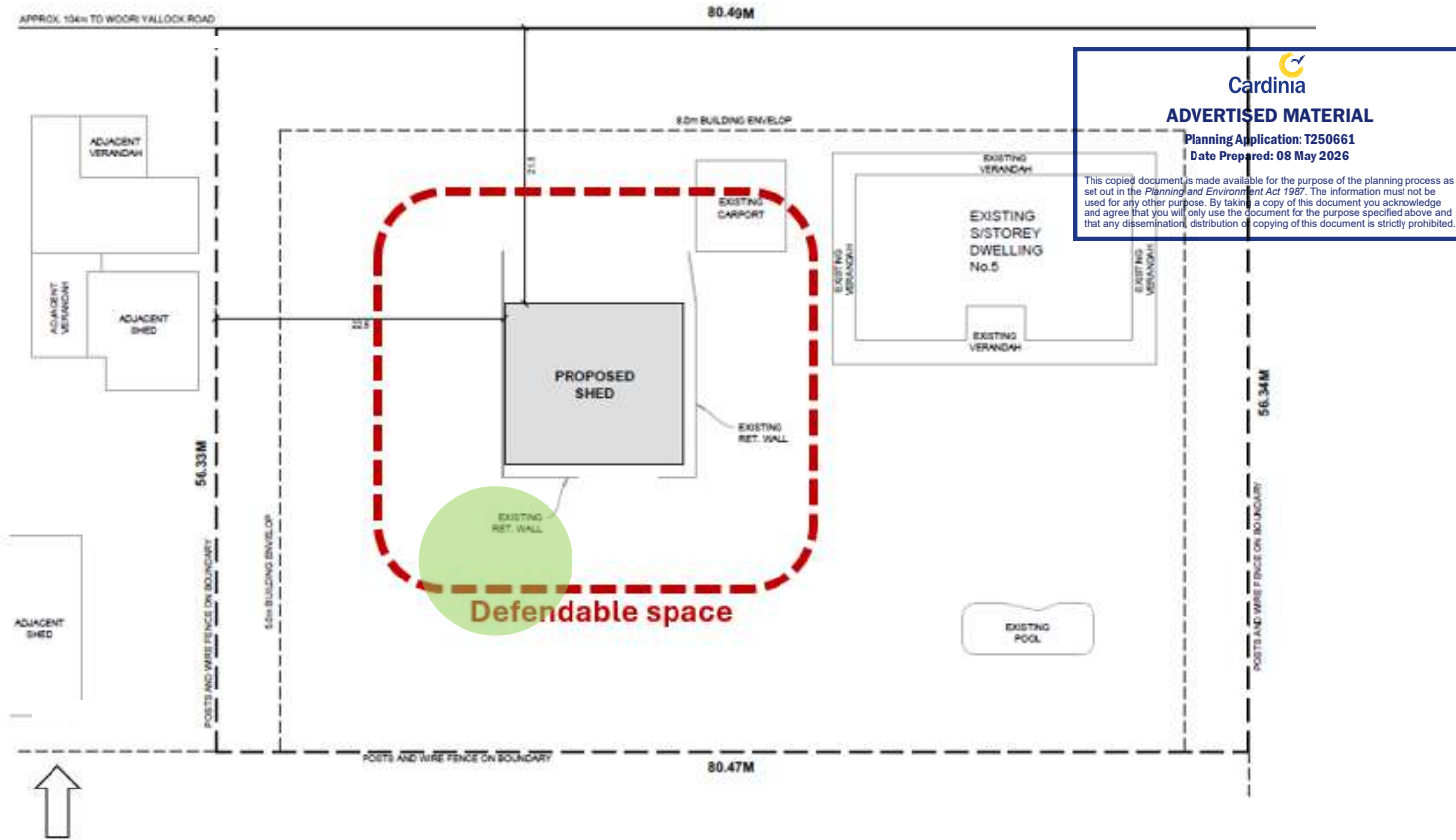
ISSUED BY:
HAVEN DESIGN

CLIENT NAME [REDACTED]

DRAWN BY:
J.H

CHECKED:
RICCARDO ROMANO
(DP-AD23101)

PAGE Nº: 04/04 SCALE: 1:100 (A3)



Defendable Space

Defendable space shall be provided from the outer face of the outbuilding for a distance of 10m as shown on the plan.

The defendable space must be managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of the outbuilding, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the outbuilding.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 2 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Construction Standard

There are no construction standards for the outbuilding, as the outbuilding is greater than 10m from the existing dwelling.

Water Supply

There are no water supply requirements for the proposed outbuilding.

Access

There are no access requirements for the proposed outbuilding.

Note

This Bushfire Management Plan has been prepared based on the guidelines: "Outbuildings in a Bushfire Management Overlay - October 2017" prepared by DELWP. The building is a non habitable outbuilding.



Cardinia

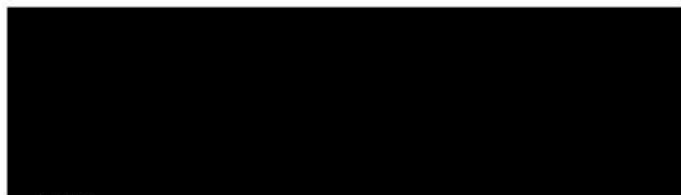
ADVERTISED MATERIAL
Planning Application: T250661
Date Prepared: 08 May 2026

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Receipt

Receipt No	EPLAN010704
Amount Paid	\$1,496.10
Transaction Status	Processing
Transaction Date	26/10/2025 8:13:37 AM
Reference 1	T28191886
Reference 2	T250661
Reference 3	A4257621

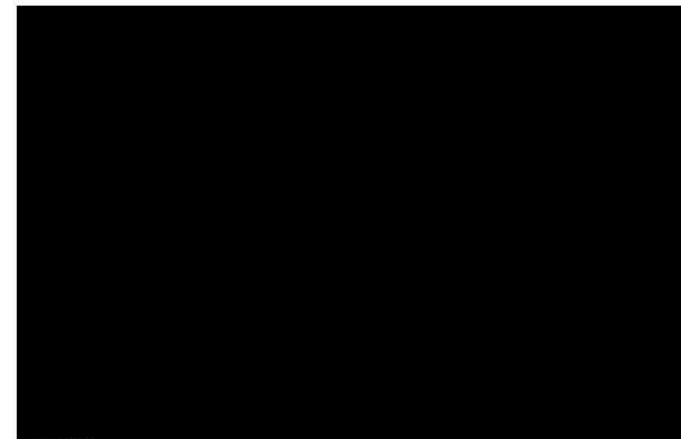
Applicant



Applicant Address

3781

Owner



Owner Address

3781

Preferred Contact

Preferred Contact Address

3781

Site Address

5 Francis Street Cockatoo 3781

Portal Reference

A4257621

ReferenceNumber

T250661

InvoiceNumber

501983

InvoiceDate

26-Oct-2025

InvoicePayByDate

25-Nov-2025

Regulation	Description	Amount	Modifier	Modified Amount
9 - Class 1	Change of use only	\$1,496.10	100%	\$1,496.10

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Total Amount		\$1,7496.10



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