

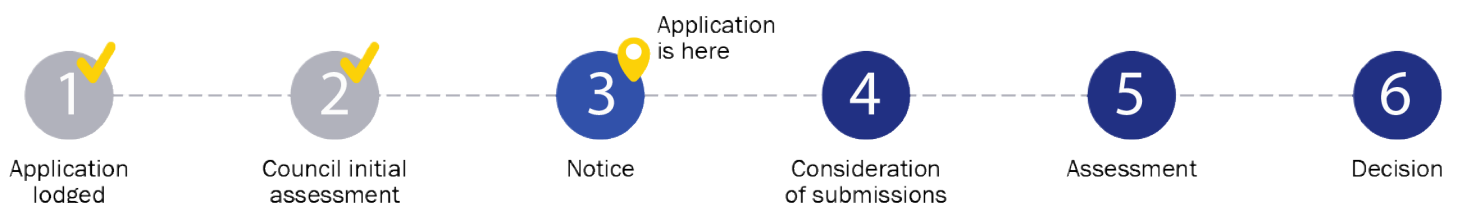


# Notice of Application for a Planning Permit

The land affected by the application is located at:	L2 LP219000 V9939 F544 126 Bourkes Creek Road, Pakenham Upper VIC 3810	
The application is for a permit to:	Buildings and Works (Extensions and Alterations to an Existing Dwelling, Construction of Two Outbuildings and Construction of a Small Second Dwelling), Use of Land for a Small Second Dwelling, Native Vegetation Removal and Other Vegetation Removal	
A permit is required under the following clauses of the planning scheme:		
35.04-1	Use of the land for a Small second dwelling	 <b>Cardinia</b> <b>ADVERTISED MATERIAL</b> Planning Application: T250199 Date Prepared: 05 May 2026 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>
35.04-5	Construct a building or construct or carry out works associated with a use in Section 2 (Small second dwelling)	
42.01-2	Construct a building within nominated setbacks	
42.01-2	Construct a building or construct or carry out works	
42.01-2	Remove, destroy or lop vegetation	
52.17-1	Remove, destroy or lop native vegetation	
<b>APPLICATION DETAILS</b>		
The applicant for the permit is:	EGBP - Traralgon	
Application number:	T250199	
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.		
<b>HOW CAN I MAKE A SUBMISSION?</b>		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		<b>22 May 2026</b>
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"> <li>• be made to the Responsible Authority in writing;</li> <li>• include the reasons for the objection; and</li> <li>• state how the objector would be affected.</li> </ul>	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



## Application Summary

Portal Reference: A22546SU



### ADVERTISED MATERIAL

Planning Application: T250199  
Date Prepared: 05 May 2026

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## Basic Information

Proposed Use	Proposed works - Construction of 2x Outbuildings, Extension to Existing Dwelling (Master Bedroom & Ensuite), Retrospective Works - Small Second Dwelling & Extension to Existing Dwelling (Including Deck, Verandah & Bottom Level).
Current Use	Existing Dwelling and multiple outbuildings
Cost of Works	\$200,000
Site Address	126 Bourkes Creek Road Pakenham Upper 3810

## Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

## Contacts

Type	Name	Phone	Email
Applicant	[REDACTED]	[REDACTED]	[REDACTED]
Owner	[REDACTED]	[REDACTED]	[REDACTED]
Preferred Contact	[REDACTED]	[REDACTED]	[REDACTED]

## Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,420.70	100%	\$1,420.70
<b>Total</b>			<b>\$1,420.70</b>

## Meetings

Meeting Type	Officer Name	Date of Meeting
Enforcement	[REDACTED]	08 Jul 2024



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VC, 3810

**Email:** mail@cardinia.vc.gov.au

Monday to Friday 8.30am–5pm

**Phone:** 1300 787 624

**After Hours:** 1300 787 624

**Fax:** 03 5941 3784

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User

Submission Date

## Declaration

By ticking this check  the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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20 Siding Avenue, Officer, Victoria

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### ADVERTISED MATERIAL

Planning Application: T250199  
Date Prepared: 05 May 2026

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5pm

**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

30/10/2025

Application Number: T250199 PA

## Response to Request for Further Information

**Address:** Lot 2 LP219000 V9939 F544, 126 Bourkes Creek Road, Pakenham Upper VIC 3810

**Proposal:** Buildings and Works (Extensions and Alterations to an Existing Dwelling, Construction of Two Outbuildings and Construction of a Small Second Dwelling) and Use of Land for a Small Second Dwelling.

Dear Sir/Madam:

Please find enclosed response to Council's request for further information letter dated 6<sup>th</sup> of May 2025.

1. Payment made 30<sup>th</sup> of October 2025 – Receipt attached.
2. Arboricultural Impact Assessment dated 20<sup>th</sup> of October 2025, prepared by Ben Machar ICR Trees.

Please note the owner is not removing any vegetation outside of the defensible space requirements and has obtained approval from the CFA to retain the cluster of 4 trees at the entrance (east of the dwelling). As this proposal is to bring previous building works into compliance the owner is limited in terms of defensible space location.

3. Please see letter dated 2<sup>nd</sup> of July from Division 1 Group Pty Ltd regarding Septic Information.
4. Site Plan updated.
5. Elevation Plan and all other Plans updated – Please find enclosed.

Please note: Floor Plan for the Small Second Dwelling has been reduced to comply with the required 60m<sup>2</sup> for a Small Second Dwelling.

If you have any further queries regarding the above, please contact our office on the details below.

Yours faithfully,





# Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

## PERMIT APPLICATION DETAILS

Application No.:	T250199
Address of the Land:	126 Bourkes Creek Road, Pakenham Upper VIC 3810

**ADVERTISED MATERIAL**  
 Planning Application: T250199  
 Date Prepared: 05 May 2026

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## APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	EGBP - Traralgon
Address:	20 Breed Street Traralgon VIC 3844
Phone:	5176 5599
Email:	[REDACTED]

## AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant <b>before</b> notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority <b>before</b> notice:	<input type="checkbox"/>
Section 57A – Amendment to application <b>after</b> notice is given:	<input type="checkbox"/>

## AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
To include the Clause 52.17 trigger		

**ADVERTISED MATERIAL**

Planning Application: T250199  
Date Prepared: 05 May 2026

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**Specify the estimated cost of any development for which the permit is required:**

Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$
---	---	---------------

**DECLARATION**

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.

<b>Name:</b>	
<b>Signature:</b>	
<b>Date:</b>	

**LODGEMENT**

Please submit this form, including all amended plans/documents, to [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

**IMPORTANT INFORMATION**

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.



### Application Summary

Portal Reference	D12610E0
Reference No	T250199

### Basic Information

Cost of Works	\$200,000
Site Address	126 Bourkes Creek Road Pakenham Upper VIC 3810

### Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

### Documents Uploaded

Date	Type	Filename
13-02-2026	Additional Document	04BO26 LCA.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

### Lodged By

Site User	[Redacted]
Submission Date	[Redacted]

### Declaration

By ticking this checkbox, I declare that the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified.



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# Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

## PERMIT APPLICATION DETAILS

Application No.:	T250199
Address of the Land:	126 Bourkes Creek Road, Pakenham Upper VIC 3810

## APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	EGBP - Traralgon
Address:	20 Breed Street, Traralgon VIC 3844
Phone:	5176 5599
Email:	sam@egbp.com.au

 <b>ADVERTISED MATERIAL</b> Planning Application: T250199 Date Prepared: 05 May 2026
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## AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 - Amendment to application at request of applicant <b>before</b> notice:	<input checked="" type="checkbox"/>
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Section 57A - Amendment to application <b>after</b> notice is given:	<input type="checkbox"/>

## AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Revised Plans to show septic/effluent location.		

<b>Specify the estimated cost of any development for which the permit is required:</b>
Not applicable <input checked="" type="checkbox"/> Unchanged <input type="checkbox"/> New amount \$ <input type="text"/>

**DECLARATION**

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
<b>Name:</b>	
<b>Signature:</b>	
<b>Date:</b>	

**LODGEMENT**

Please submit this form, including all amended plans/documents, to [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

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The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

# REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 09939 FOLIO 544

Security no : 124123105740R  
Produced 25/03/2025 11:20 AM

## LAND DESCRIPTION

Lot 2 on Plan of Subdivision 219000W.  
PARENT TITLE Volume 09510 Folio 630  
Created by instrument LP219000W 23/03/1990

## REGISTERED PROPRIETOR

Estate Fee Simple  
Joint Proprietors



126 BOURKES CREEK ROAD PAKENHAM UPPER VIC 3810

## ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AX936509T 24/04/2024  
BC INVEST LOANS PTY LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

## DIAGRAM LOCATION

SEE LP219000W FOR FURTHER DETAILS AND BOUNDARIES

## ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 126 BOURKES CREEK ROAD PAKENHAM UPPER VIC 3810

## ADMINISTRATIVE NOTICES

NIL

eCT Control 22342U GRINDAL LEGAL PTY LTD  
Effective from 24/04/2024

DOCUMENT END



**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250199  
Date Prepared: 05 May 2026

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Document Type	<b>Plan</b>
Document Identification	<b>LP219000W</b>
Number of Pages (excluding this cover sheet)	<b>1</b>
Document Assembled	<b>25/03/2025 11:20</b>

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--

OFFICE USE ONLY  
**LP219000W**  
**EDITION 1**  
 PSH 2

**NOTATIONS**

**LAND APPROPRIATED OR SET APART**

ROADS WITHIN THE CONTINUOUS THICK LINES FOR WAY, DRAINAGE, SEWERAGE AND SUPPLY OF GAS, WATER, ELECTRICITY AND TELECOM.

LAND HEREIN LIMITED TO A DEPTH OF 15.24 METRES

TO BE COMPLETED WHERE APPLICABLE  
 THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS NOS:  
 IN PROCLAIMED SURVEY AREA NO.

THE LAND TO BE SUBDIVIDED IS SHOWN ENCLOSED BY THICK LINES  
 TITLE REF: VOL 9510 FOL 630  
 LAST PLAN REF: LP 142320 (Lot 2)

**PLAN OF SUBDIVISION**

COUNTY MORNINGTON  
 PARISH GEMSBROOK  
 CROWN ALLOTMENT 82 (PART)

NUMBER OF SHEETS IN PLAN 1  
 NUMBER OF THIS SHEET 1

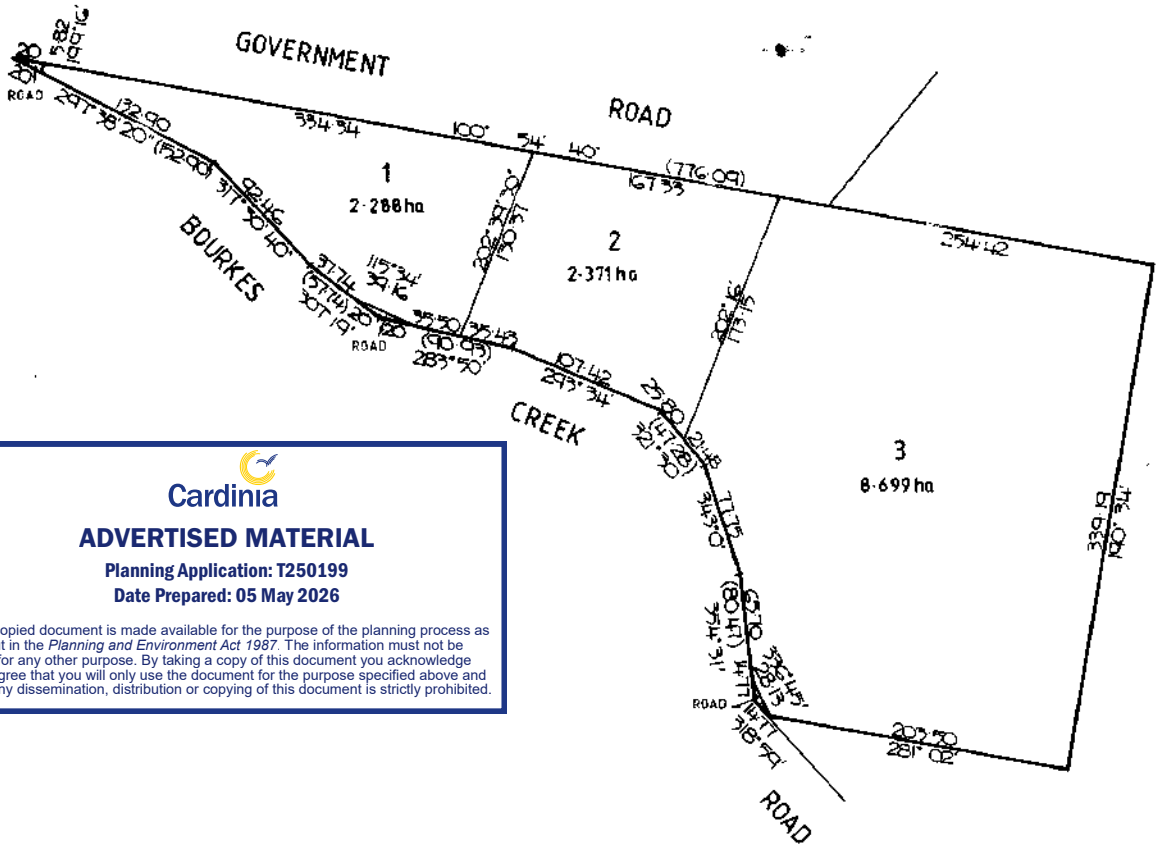
SCALE  
 25 0 50 100  
 LENGTHS ARE IN METRES

ORIGINAL SCALE SHEET SIZE  
 1:2500 A2

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 VICTORIA

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 Planning Application: T250199  
 Date Prepared: 05 May 2026

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**CERTIFICATION BY SURVEYOR**

**EDITION 1**  
**LP219000W**

AMENDMENTS

DAVID B. GUINEY  
 CONSULTING LAND SURVEYOR  
 SUITE 1 53-54 MOUNTAINGATE  
 SHOPPING CENTRE FERNTREE SULLY  
 758-4130

SURVEYORS REF  
**299612**

**CERTIFICATE OF MUNICIPAL CLERK**

MUNICIPALITY **PAKENHAM** COUNCIL REF. **48/3/257**

**CERTIFICATE A**  
 THIS PLAN ACCORDS WITH A PLAN  
 • SEALED BY THE COUNCIL UNDER SECTION 569B OF THE LOCAL GOVERNMENT ACT 1958 ON  
 • CONFIRMED BY THE PLANNING APPEALS BOARD ON  
 • AND A REQUIREMENT/NO REQUIREMENT PURSUANT TO SECTION 569E OF THE LOCAL GOVERNMENT ACT 1958 HAS BEEN MADE

DATE \_\_\_\_\_ MUNICIPAL CLERK \_\_\_\_\_

**CERTIFICATE B**  
 THIS PLAN ACCORDS WITH A PLAN EXEMPTED FROM SUBDIVISION (3) OF DIVISION (9) OF PART XIX OF THE LOCAL GOVERNMENT ACT 1958 BY  
 • THE COUNCIL ON  
 • THE PLANNING APPEALS BOARD ON

DATE \_\_\_\_\_ MUNICIPAL CLERK \_\_\_\_\_

OFFICE USE ONLY

PLAN APPROVED  
 AT \_\_\_\_\_  
 ON **23-3-23**

(ASSISTANT) REGISTRAR OF TITLES



  
Cardinia  
**ADVERTISED MATERIAL**  
Planning Application: T250199  
Date Prepared: 05 May 2026

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## Planning Permit Application



### **Lot 2, 126 Bourkes Creek Road Pakenham Upper**

Proposed works - Construction of 2x Outbuildings, Extension to Existing Dwelling (Master Bedroom & Ensuite).

Retrospective works - Small Second Dwelling & Extension to Existing Dwelling (Including Deck, Verandah & Bottom Level).



  
**Cardinia**  
**ADVERTISED MATERIAL**  
 Planning Application: T250199  
 Date Prepared: 05 May 2026

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## Disclaimer

This report has been made with careful consideration and with the information that was made available to EGBP Building Surveyors at the time of writing. Before relying on information in this report, users should evaluate the accuracy, completeness and relevance of the information provided for their purposes. EGBP Building Surveyors do not guarantee that it is without possible fault or omission of any kind and therefore disclaim all liability for any error, loss or other consequence that may arise from you relying on any information in this report. Therefore, as we, EGBP Building Surveyors, have taken all necessary steps to ensure the accuracy of this report, our company accepts no liability for any damages or loss incurred as a result of reliance placed upon the report and its contents.

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**ADVERTISED MATERIAL**  
Planning Application: T250199  
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## Appendices

- |             |   |
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| Appendix 8. | Building Notice Response from owners.                                   |

## 1. Preamble

---

## 1.1 Introduction

This application seeks planning approval for the proposed building works 2x Outbuildings, Extension to Existing Dwelling (Master Bedroom & Ensuite) and Retrospective building works: Small Second Dwelling & Extension to Existing Dwelling (Including Deck, Verandah & Bottom Level).

EGBP Building Surveyors has been appointed by the owner of the property to prepare the Planning Permit Submission to detail and cover all retrospective and proposed building works. Please see Appendix 10 – Response to Building Notice, which provides a detail timeline of retrospective works.

The property is covered by Clause 35.04 Green Wedge Zone and is affected by Clause 44.06 Bushfire Management Overlay and Clause 42.01 Environmental Significance Overlay.

The following document outlines the details of this assessment based on the information provided and the relevant Planning Scheme requirements pursuant to Clause 35.04, 44.06 and 42.01 as well as relevant Particular Provisions.

## 1.2 Background

The subject property is owned by Amanda Lee Pancari & Matthew John Pancari. The current subdivision was created on the 23<sup>rd</sup> of March 1990 from Instrument LP219000W.

## 1.3 Objectives

It is the objective of this application to provide details of the proposed development and ensure said proposal responds to and is consistent with the requirements under the Cardinia Shire Council Planning Scheme, including, but not limited to, Clause 35.04 Green Wedge Zone, Clause 44.06 Bushfire Management Overlay and a Clause 42.01 Environmental Significance Overlay.

## 1.4 Triggers





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The relevant triggers affecting this proposal are as follows.

- **Clause 35.04 – Buildings and works**  
 An alteration or extension to an existing dwelling with a floor area of no more than the area specified in a schedule to this zone or, if no area is specified, 50 square metres.
- **Clause 42.01 – Permit requirement** – The height of any dwelling must not exceed 7 metres above natural ground level and the height of all other buildings must not exceed 4 metres above natural ground level.
- The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion. If the building is an extension to an existing dwelling that is less than 50 percent of the floor area of the existing building.
- If the building is an outbuilding ancillary to a dwelling, the gross floor area of all outbuildings on the land must not exceed 120 square metres.
- **Clause 44.06 Buildings & Works – A permit is required to construct a building construct or carry out works.**

## 2. Existing Conditions

### 2.1 Subject Site

<b>Municipality</b>	Cardinia Shire Council	
<b>Title Description</b>	<b>Vol/Folio</b> – 09939/544	<b>Lot &amp; Plan</b> – Lot 2/LP219000W
<b>Zoning</b>	35.04 Green Wedge Zone 35.04 Green Wedge Zone – Schedule 1	
<b>Overlays</b>	42.01 Environmental Significance Overlay 42.01 Environmental Significance Overlay – Schedule 1 44.06 Bushfire Management Overlay	
<b>Planning Permit triggers</b>	Clause 35.04 – Buildings and works An alteration or extension to an existing dwelling with a floor area of no more than the area specified in a schedule to this zone or, if no area is specified, 50 square metres. Clause 42.01 – Permit requirement – The height of any dwelling must not exceed 7 metres above natural ground level and the height of all other buildings must not exceed 4 metres above natural ground level. * The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion. If the building is an extension to an existing dwelling that is less than 50 percent of the floor area of the existing building. * If the building is an outbuilding ancillary to a dwelling, the gross floor area of all outbuildings on the land must not exceed 120 square metres. Clause 44.06 Buildings & Works – A permit is required to construct a building construct or carry out works.	
<b>Statutory Mechanisms</b>	Not Applicable	

**Site Dimensions** North boundary – 167.3m approx.  
 East boundary – 173.2m approx.  
 South boundary – 168.6m approx.  
 West boundary – 130.4m approx.

---

**Site Area** (2.37 hectares) 23715m<sup>2</sup>

---

**Existing Buildings** Dwelling and outbuildings

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**Access to Property** Existing crossover & driveway off Bourke Creek Road

---

## 2.2 Site Context

The property is in the Green Wedge Zone of Pakenham Upper and is approximately 1.1km south of Gembrook Bushland Reserve.

The adjoining lots to the north, east, south and west to the subject lot are also zoned Green Wedge with Bushfire Management Overlay and Environmental Significance Overlay. The adjoining lots and those in proximity vary significantly in size and configuration to Lot 2, 126 Bourke’s Creek Road Pakenham Upper. It is noted in proximity – north/east is Rural Conservation.



Google image

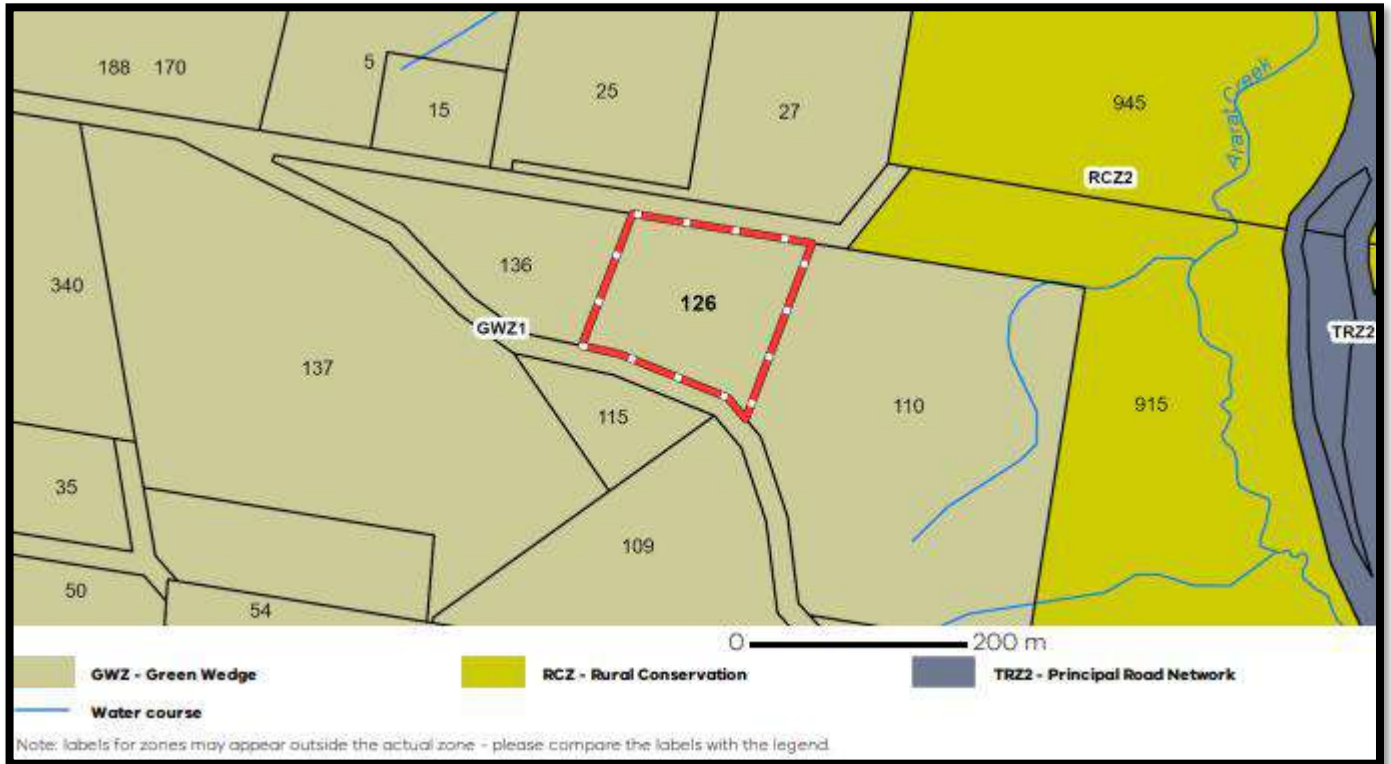
There is a vast array of vegetation located throughout the subject allotment, and along Title boundaries.

Please see mapping and zoning below.

  
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Figure 2.2-1 Zone Mapping – Green Wedge Zone



  
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Figure 2.2-3 Overlay Mapping – Bushfire Management Overlay

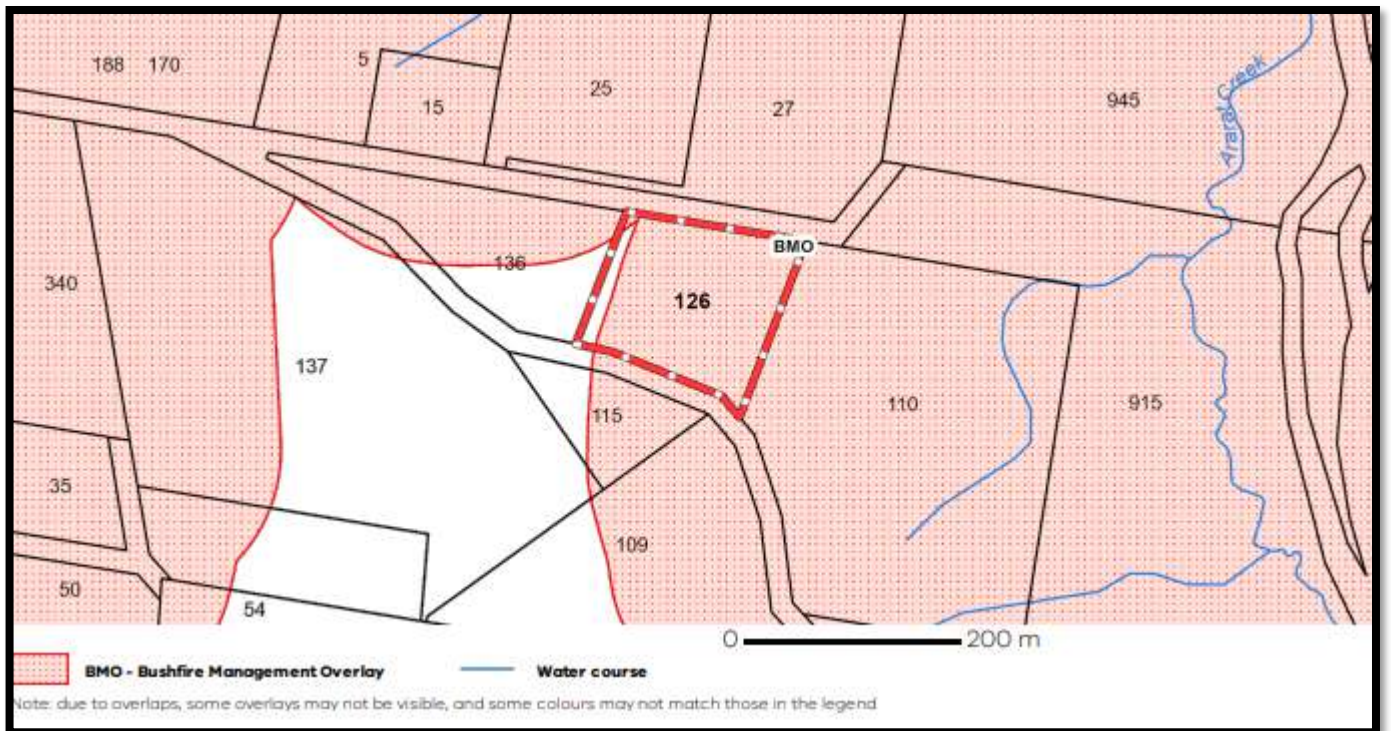


Figure 2.2-2 Overlay Mapping – Environmental Significance Overlay



### 3. Proposal

#### 3.1 General

This application seeks planning approval for the proposed building works 2x Outbuildings, Extension to Existing Dwelling (Master Bedroom & Ensuite) and Retrospective works: Small Second Dwelling & Extension to Existing Dwelling (Including Deck, Verandah & Bottom Level).

EGBP Building Surveyors have been appointed by the owner of the property to prepare the Planning Permit Submission to detail and cover all retrospective and proposed building works. Please see Appendix 10 – Response to Building Notice, which provides a detail timeline of retrospective works and Appendix 3 Architectural Plans details design and location.

  
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# Clause 65.01 Approval of an Application or Plan

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- **The matters set out in section 60 of the Act.**  
 Not Applicable to this application.
- **Any significant effects the environment, including the contamination of land, may have on the use or development.**  
 There are no known contamination or significant effects the environment would have a detrimental effect on the use or this development.
- **The Municipal Planning Strategy and the Planning Policy Framework.**  
 As set out throughout this report, we believe this proposal to be mostly consistent and compliant with the Municipal Planning Strategy and the Planning Policy Framework by supporting and enhancing the use of the allotment, whilst ensuring substantial land management is achieved and to decrease the level of risk to life, property, the environment, and biodiversity from bushfire impact on the land.
- **The purpose of the zone, overlay or other provision.**

**GREEN WEDGE ZONE**

***Purpose***

*To implement the Municipal Planning Strategy and the Planning Policy Framework.*

*To provide for the use of land for agriculture.*

*To recognise, protect and conserve green wedge land for its agricultural, environmental, historic, landscape, recreational and tourism opportunities, and mineral and stone resources.*

*To encourage use and development that is consistent with sustainable land management practices.*

*To encourage sustainable farming activities and provide opportunity for a variety of productive agricultural uses.*

*To protect, conserve and enhance the cultural heritage significance and the character of open rural and scenic non-urban landscapes.*

*To protect and enhance the biodiversity of the area.*

**BUSHFIRE MANAGEMENT OVERLAY**

***Purpose***

*To implement the Municipal Planning Strategy and the Planning Policy Framework.*

*To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.*

*To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.*

To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

## ENVIRONMENTAL SIGNIFICANCE OVERLAY

### Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas where the development of land may be affected by environmental

To ensure that development is compatible with identified environmental values.

- **Any matter required to be considered in the zone, overlay or other provision.**

Please see Decision Guideline responses throughout this report.

- **The effect on the environment, human health and amenity of the area.**

It is considered that no person or property will suffer any detrimental effect as a result of this proposal.

- **The proximity of the land to any public land.**

The subject allotment is approximately 1,242m north of Pakenham Upper Recreation Reserve, which is the nearest designated Public Land to the proposed.

- **Factors likely to cause or contribute to land degradation, salinity or reduce water quality.**

To minimise effect and/or degradation on the land all drainage, septic and like installations for collection and for disposal, will be carried out in accordance with regulations and policies of the responsible authorities.

- **Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.**

To maintain and improve the quality of stormwater, all stormwater over-flow will be diverted in accordance with regulations and policies of the responsible authorities and maintained within the subject allotment boundaries.

- **The extent and character of native vegetation and the likelihood of its destruction.**

Minimal vegetation to be removed, please refer to Bushfire Management Measures & Plan prepared by Euca Planning Pty Ltd.

- **Whether native vegetation is to be or can be protected, planted or allowed to regenerate.**

It is to be noted that majority of the building works are existing and subject to retrospective approval. The outbuildings to be replaced due to age, are to be located in similar location to that of the existing outbuildings, to minimise the effects on the existing vegetation. The small second dwelling is also existing and was originally considered a Dependable Persons Unit, therefore no vegetation to be removed. The proposed works for this proposal being the master bedroom with walk in robe and ensuite, are to be constructed under the existing roof line of the verandah and therefore no requirement for the removal of vegetation for these works also.



- **The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.**

All stormwater runoff will be directed and maintained in accordance with the Relevant Authorities advice to minimise any erosion. Please see enclosed Appendix 6 & 7 Bushfire Management Plan and Statement to detail measures to minimise fire hazard associated with this proposal.

- **The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.**

Please see Site Plan drawing no A01 for the location of existing driveway off Bourkes Creek Road.

- **The impact the use or development will have on the current and future development and operation of the transport system.**

Not Applicable to this application.

## 35.04-6 Decision Guidelines

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### General issues

- **The Municipal Planning Strategy and the Planning Policy Framework.**

The Planning Policy Framework has been introduced to improve the operation of planning policy in the planning schemes. The Municipal Planning Strategy supports but does not form part of the Planning Policy Framework. The Planning Policy Framework and Municipal Planning Strategy will work together to form the strategic basis of a planning scheme.

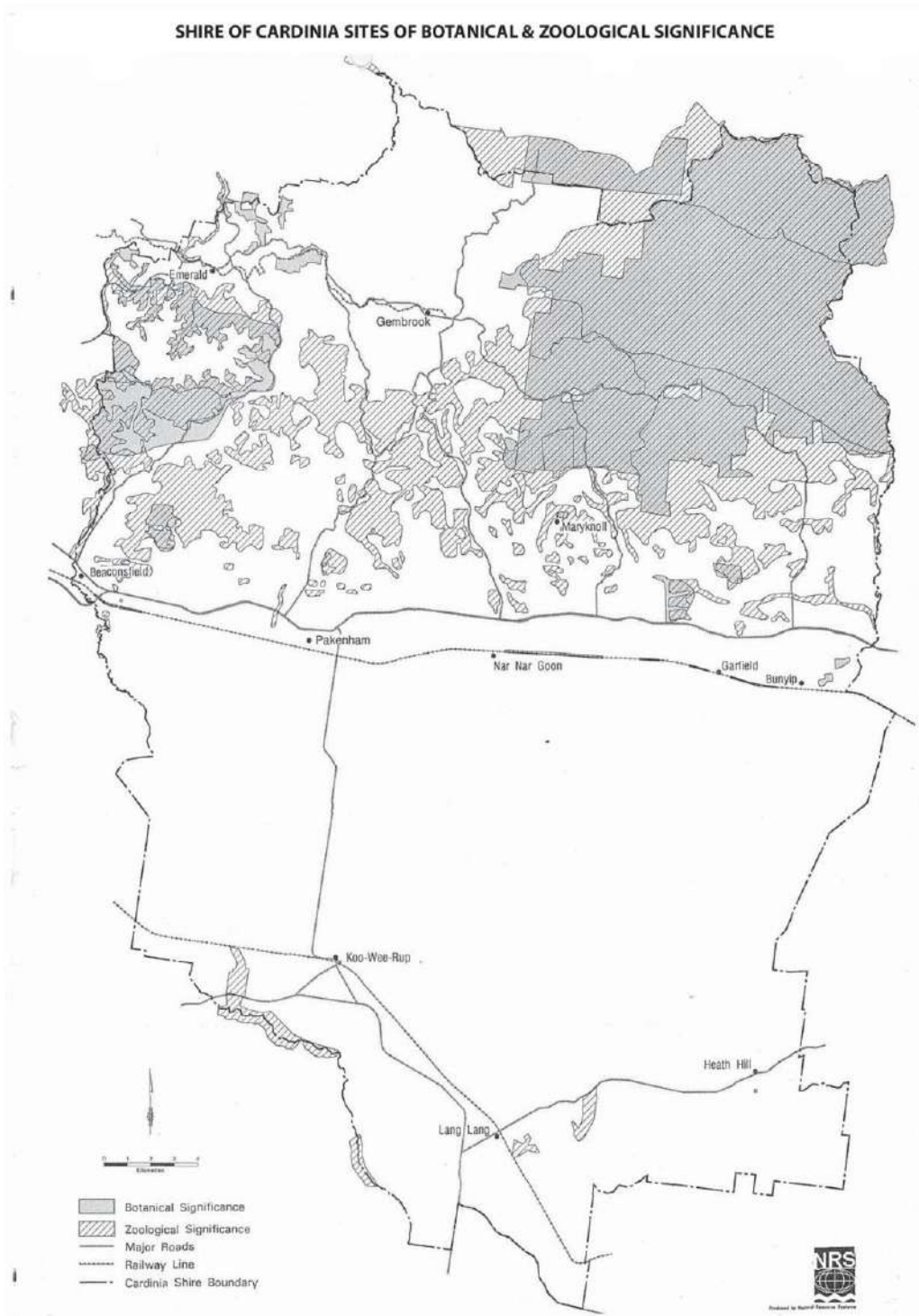
The Municipal Planning Strategy being specific to Cardinia Shire Council has outlined the parameters for the Green Wedge Zone Clause 35.04 – Buildings and works requirements - An alteration or extension to an existing dwelling with a floor area of no more than the area specified in a schedule to this zone or, if no area is specified, 50 square metres. Clause 42.01 – Permit requirement – The height of any dwelling must not exceed 7 metres above natural ground level and the height of all other buildings must not exceed 4 metres above natural ground level. The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion. If the building is an extension to an existing dwelling that is less than 50 percent of the floor area of the existing building. If the building is an outbuilding ancillary to a dwelling, the gross floor area of all outbuildings on the land must not exceed 120 square metres. Clause 44.06 Buildings & Works – A permit is required to construct a building construct or carry out works.

As previously mentioned, this proposal is to bring both retrospective building works by previous owner/s and new building works into building compliance and obtaining planning approval.

- Any Regional Catchment Strategy and associated plan applying to the land.

Map 1 to Schedule 1 to Clause 42.01

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- **The capability of the land to accommodate the proposed use or development.**  
 The subject allotment is approximately 23,715km in size (2.37 hectares) and as majority of these buildings have been in existence for a significant period, this proposal is to bring all into compliance with both the Cardinia Shire Council Planning Scheme and Building Regulations. We therefore believe the size of the allotment is capable of accommodating all structures both retrospective and proposed.
- **How the use or development relates to rural land use, rural diversification, natural resource management, natural or cultural heritage management, recreation or tourism.**  
 The use is already established on the subject allotment, and therefore the above is not applicable to this proposal.
- **Whether the site is suitable for the use or development and the compatibility of the proposal with adjoining land uses.**  
 The adjoining lots to the north, east, south and west to the subject lot are also zoned Green Wedge with Bushfire Management Overlay and Environmental Significance Overlay. The adjoining lots and those in proximity vary significantly in size and configuration to Lot 2, 126 Bourke’s Creek Road Pakenham Upper. Due to the vast array of allotments and land sizes, along with the significant period of time majority of this building work has been in existence, we believe the site to be suitable for the use and development and compatibility with adjoining land uses.
- **Whether the use or development is essential to the health, safety or well-being of the State or area but is not appropriate to locate in an urban area because of the effect it may have on existing or proposed urban areas or the effect that existing or proposed urban areas may have on the proposed use or development.**  
 Not Applicable to this application.
- **The need to minimise adverse impacts on the character and appearance of the area or features of architectural, scientific or cultural heritage significance, or of natural scenic beauty.**  
 This application seeks planning approval for the proposed building works 2x Outbuildings, Extension to Existing Dwelling (Master Bedroom & Ensuite) and Retrospective works: Small Second Dwelling & Extension to Existing Dwelling (Including Deck, Verandah & Bottom Level).

The proposed outbuildings are to be located in similar location to the existing and the proposed extension/alterations to dwelling which consists of a master bedroom and ensuite is to be located under the existing roof line.

Taking into account the above, it is therefore considered this proposal would have a minimal adverse impact on the character and appearance of the area, or feature of architectural, scientific or cultural heritage significance, or of natural scenic beauty.
- **The potential for accommodation to be adversely affected by vehicular traffic, noise, blasting, dust and vibration from an existing or proposed extractive industry operation if it is located within 500 metres from the nearest title boundary of land on which a work authority has been applied for or granted under the *Mineral Resources (Sustainable Development) Act 1990*.**  
 Not Applicable to this application.

## Rural issues

- **The maintenance of agricultural production and the impact on the rural economy.**  
Use is established and therefore not applicable to this application.
- **The environmental capacity of the site to sustain the rural enterprise.**  
Use is established and therefore not applicable to this application.
- **The need to prepare an integrated land management plan.**  
Use is established and therefore not applicable to this application.
- **The impact on the existing and proposed rural infrastructure.**  
Not Applicable to this application.
- **The potential for the future expansion of the use or development and the impact of this on adjoining and nearby agriculture and other land uses.**  
This allotment is only 2.37 hectares and therefore considered not suitable for agricultural activities due to the small size, although all structures are located in close proximity to one another to avoid any detrimental impact on surrounding allotments or agricultural activities.
- **The protection and retention of land for future sustainable agricultural activities.**  
This allotment is only 2.37 hectares and therefore considered not suitable for agricultural activities due to the small size, although all structures are located in close proximity to one another to avoid any detrimental impact on surrounding allotments or agricultural activities.

## Environmental issues

- **The impact of the use or development on the flora and fauna on the site and its surrounds.**  
As previously mentioned this proposal is for retrospective works and new building works, new works are to be constructed in similar location to that of the existing and therefore considered to have minimal impact on any flora or fauna on site or surrounds.
- **The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge area.**  
There is significant vegetation located along property boundaries and surrounding existing dam.
- **How the use or development relates to sustainable land management and the need to prepare an integrated land management plan.**  
Use is existing and therefore not applicable to this application.  
Please note: Please see attached Appendix 6. Bushfire Management Statement – Euca Planning Pty Ltd & Appendix 7. Bushfire Management Plan – Euca Planning Pty Ltd detailed bushfire management measures to be implemented onsite.

- **The location of on-site effluent disposal areas to minimise impact of nutrient loads on waterways and native vegetation.**

Please see Appendix 3 Architectural Plans – Location of existing septic tank system and effluent field.

## Design and siting issues

- **The need to minimise any adverse impacts of siting, design, height, bulk, and colours and materials to be used, on landscape features, major roads and vistas.**

The proposed building work locations are within similar footprint to that of the existing, and with the addition of significant vegetation located along the frontage of the allotment, this will also soften the visual impact on the current landscape.

- **The location and design of existing and proposed infrastructure services which minimises the visual impact on the landscape.**

As mentioned above the proposed building work locations are within similar footprint to that of the existing, and with the addition of significant vegetation located along the frontage of the allotment, this will also soften the visual impact on the current landscape.

- **The need to minimise adverse impacts on the character and appearance of the area or features of archaeological, historic or scientific significance or of natural scenic beauty or importance.**

The proposed building work locations are within similar footprint to that of the existing, and with the addition of significant vegetation located along the frontage of the allotment, this will also soften the visual impact on the current landscape.

- **The need to locate and design buildings used for accommodation to avoid or reduce the impact from vehicular traffic, noise, blasting, dust and vibration from an existing or proposed extractive industry operation if it is located within 500 metres from the nearest title boundary of land on which a work authority has been applied for or granted under the *Mineral Resources (Sustainable Development) Act 1990*.**

Not Applicable to this application.

## 53.02-3.1 Decision Guidelines

- **The Municipal Planning Strategy and the Planning Policy Framework.**
- **The bushfire hazard site assessment and the bushfire management statement submitted with the application.**
- **Whether all of the approved measures have been incorporated into the application.**

Please see enclosed Appendix 6 Bushfire Management Statement & Appendix 7 Bushfire Management Plan – Prepared by Euca Planning Pty Ltd, that details the above requirements.



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## 42.01-5 Decision Guidelines

- **The Municipal Planning Strategy and Planning Policy Framework.**  
Please see detailed above.
- **The statement of environmental significance and the environmental objective contained in a schedule to this overlay.**

### **NORTHERN HILLS**

#### **1.0 Statement of environmental significance**

*The hills to the northern part of the municipality (generally to the north of the Princes Highway) is an area with significant landscape and environmental values. The area is characterised by a geology of Devonian Granitic and Sulrian Sediment origin, moderate to steep slopes, and areas of remnant vegetation. These characteristics contribute to environmental values including landscape quality, water quality, and habitat of botanical and zoological significance. These characteristics are also a significant factor in terms of environmental hazards including erosion and fire risk.*

*The vegetation supports the ecological processes and biodiversity of this area by forming core habitat areas within a complex network of biolink wildlife corridors. Sites containing threatened flora and fauna are defined as being of botanical and zoological significance. Development within and around these sites need to be appropriately managed to ensure the long term protection, enhancement and sustainability of these ecological processes and the maintenance of biodiversity.*

#### **2.0 Environmental objective to be achieved**

*To protect and enhance the significant environmental and landscape values in the northern hills area including the retention and enhancement of indigenous vegetation.*

*To ensure that the siting and design of buildings and works does not adversely impact on environmental values including the diverse and interesting landscape, areas of remnant vegetation, hollow bearing trees, habitat of botanical and zoological significance and water quality and quantity.*

*To ensure that the siting and design of buildings and works addresses environmental hazards including slope, erosion and fire risk, the protection of view lines and maintenance of vegetation as the predominant feature of the landscape.*

*To protect and enhance biolinks across the landscape and ensure that vegetation is suitable for maintaining the health of species, communities and ecological processes, including the prevention of the incremental loss of vegetation.*

- **The need to remove, destroy or lop vegetation to create a defensible space to reduce the risk of bushfire to life and property.**  
Please see attached Appendix 6 & 7 – Bushfire Management Statement and Plan detailing the defensible space requirements to reduce the risk of bushfire.
- **Any other matters specified in a schedule to this overlay.**  
Not Applicable.

## 5.0 - Schedule 1 - Decision Guidelines

- **Whether the removal of any vegetation has been avoided and/or minimised.**

As previously mentioned majority of the building works have been completed, the proposed building work is to be constructed in similar location to the existing buildings and therefore vegetation removal minimised. Please see attached – Appendix 7 Bushfire Management Plan regarding defendable space requirements to reduce the risk of fire to the property.

- **The Land Capability Study for the Cardinia Shire (February 1997).**

*A Land Capability Study of the Shire of Cardinia conducted in February 1997, by Matthew J Macmillan, Angela L Smith and Nathalie M Baxter of the former Department of Natural Resources and Environment, describes in detail the land present in the Cardinia Shire and provides information relevant to land use planning and assessment.*

*A land capability study provides a planning tool to assist the Shire in the development of a detailed planning scheme. It facilitates the planning of land use through a systematic and rational examination of the lands management requirements, and the consequences of undertaking a range of alternative land uses. Revision of the planning scheme, based on sound land resources information, is required to direct development away from areas not well suited to certain uses, and to maintain a balance between competing land uses and the better quality agricultural land, in the interest of the whole community.*

- **The protection and enhancement of the natural environment and character of the area.**

Due to the location of all building work and surrounding allotment configuration/existing use, we believe this proposal to be consistent with the existing character.

- **The retention, protection and enhancement of remnant vegetation and habitat, and the need to plant vegetation along waterways, gullies, ridgelines and property boundaries.**

Existing vegetation located along property boundary lines at 126 Bourkes Road Pakenham Upper.

- **The impact of proposed buildings and works on the landscape character of the area, including prominent ridgelines and significant views.**

Due to the significant vegetation located along the frontage of the allotment and the building being in existence for some time (Please see Appendix 10 – Response to Building Notice detailing timeline of building works). In addition, the proposed works are in similar location to that of the existing, this proposal is therefore considered to have minimal impact on the landscape character of the area.

- **The availability of other alternative sites, alternative building designs or alternative construction practices for the proposed buildings and works that minimise cut and fill and would better meet the environmental objectives of this schedule, having regard to the size and topography of the land, retention of vegetation and the form and nature of the proposed buildings and works.**

As previously mentioned majority of earthworks have been completed and part of this proposal is to obtain planning approval for those retrospective works completed sometime ago. The new building works are to be constructed in similar locations to that of the existing, in particular the replacement outbuildings and the alteration to the existing dwelling is to be constructed under the existing roofline of the dwelling.

- **Measures to address environmental hazards or constraints including slope, erosion, drainage, salinity and fire.**

All stormwater runoff from roofing/downpipes will be directed in accordance with the Relevant Authorities advice to minimise erosion on the subject allotment.

Please see Appendix 6 & 7 Bushfire Management Statement and Plan to address all environmental hazards and management measures regarding fire.

- **The protection of waterways and water quality through the appropriate management of effluent disposal, erosion and sediment pollution.**

Please see Appendix 3 – Architectural Plans for the existing location of septic tank system and effluent field, which is located clear of all retrospective and proposed building works.

## 6. Summary & Conclusion

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In summary, the proposal details for this application are as follows.

- This application seeks planning approval for the proposed building works 2x Outbuildings, Extension to Existing Dwelling (Master Bedroom & Ensuite) and Retrospective works: Small Second Dwelling & Extension to Existing Dwelling (Including Deck, Verandah & Bottom Level).
- EGBP Building Surveyors have been appointed by the owner of the property to prepare the Planning Permit Submission to detail and cover all retrospective and proposed building works. Please see Appendix 10 – Response to Building Notice, which provides a detail timeline of retrospective works.
- Subject property is 23715m<sup>2</sup> (2.37 hectares).
- Subject property is covered by Clause 35.04 Green Wedge Zone and is affected by Clause 44.06 Bushfire Management Overlay and Clause 42.01 Environmental Significance Overlay.
- It is considered that no person or property will suffer any detrimental effect as a result of this proposal.

It is considered that this proposal and application meet all planning scheme requirements, relevant Planning Scheme requirements pursuant to Clause 35.04, 44.06 and 42.01 as well as relevant Particular Provisions. If any further information is required, please advise us at your earliest convenience.

## LAND CAPABILITY ASSESSMENT REPORT

**126 Bourkes Creek Road  
Pakenham Upper VIC 3810**



Prepared for: **MATT AND AMANDA PANCARI  
C/O 126 BOURKES CREEK ROAD  
PACKENHAM UPPER**

Site: **126 Bourkes Creek Road  
Pakenham Upper VIC 3810**

Prepared by:



Reference No. **04BO26 LCA**

Date: **February 9, 2026**

  
Cardinia

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Date Prepared: 05 May 2026

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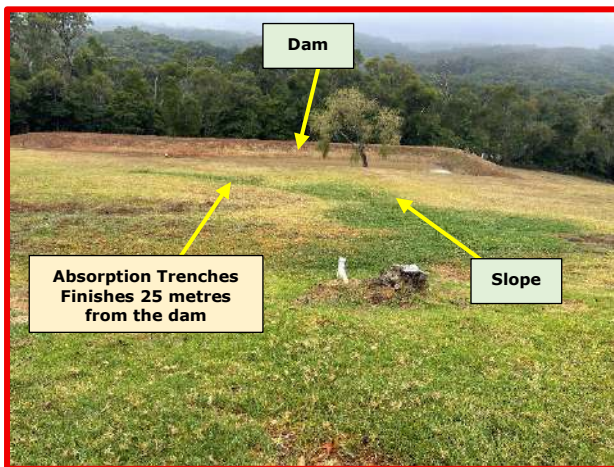
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## 1. Executive Summary and Discussion

The purpose of this report is to provide a Land Capability Assessment (LCA) for Matt and Amanda Pancari (2.37ha site at 126 Bourkes Creek Road, Pakenham Upper) as an LCA has been requested by Cardinia Shire Council in correspondence dated January 14<sup>th</sup>, 2026. This includes information particularly to EPA surface water setbacks including Environmental Significance Overlay (ESO) considerations with specific requirements noted in Section 2 – Introduction. The LCA relates to the renovated dwelling and existing wastewater infrastructure.

The site contains a dwelling which has been renovated to contain a potential five bedroom capacity and includes a one bedroom self-contained unit. Hydraulic loading is based on a potential eight person occupancy. The existing installed wastewater field (absorption trenches) are not compliant with EPA buffer distances setbacks as a result of the close proximity of the existing wastewater field (primary treated) absorption trenches to the downslope dam with a setback of approximately 25 metres (measured using a cartwright wheel meter).

Eco Vision Australia conducted a site inspection on February 10<sup>th</sup> to evaluate the existing wastewater infrastructure, site slopes, soil profile and potential location for a new wastewater field using secondary wastewater treatment. The existing dam and existing wastewater and absorption trenches is depicted below:





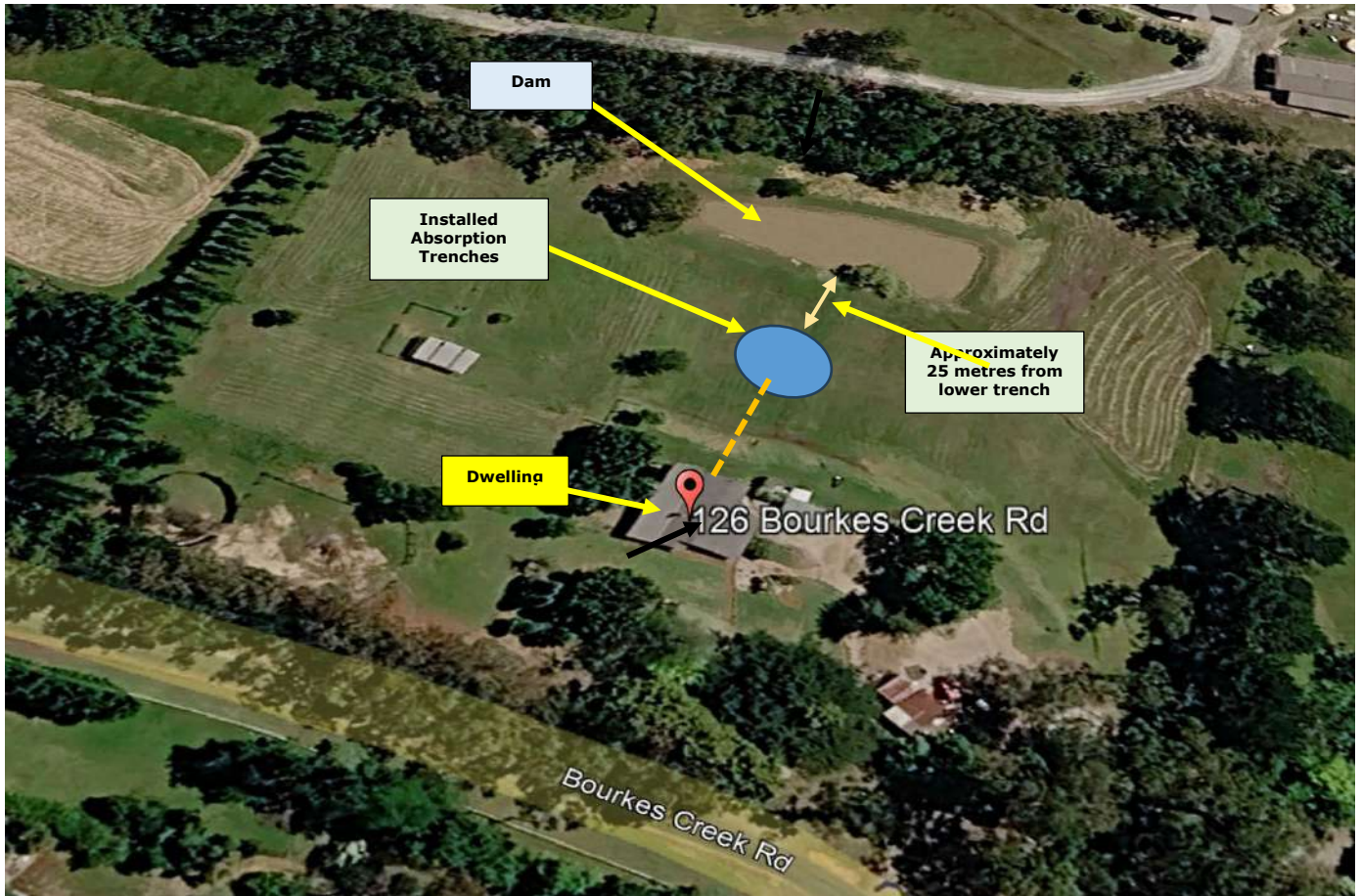
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**Council considerations as noted in the RFI :**

**A. Adjacent/surrounding vegetation.**

- The existing wastewater field (absorption trenches) is located in grassed areas with no surrounding vegetation such as trees and shrubs. The proposed new LAA for SSI is located within a grassed area maximising exposure and uptake of secondary treated wastewater within the biologically active upper soil horizon. There are existing trees and vegetation beyond the new proposed LAA for SSI.
- 

**B. Assessment of the existing septic system, including its current condition, location, capacity and compliance with the EPA 2017 and Guidelines for onsite wastewater management.**

- The existing septic system including the existing absorption trenches has been assessed and is likely to be over 20 years of age with an indicative capacity of 3,000 litres. The existing absorption trench field is small in size with lower portions located 25 metres from the onsite dam. Under current EPA guidelines it does not comply resulting in a treatment system that is not capable of treating wastewater to secondary levels. A new SSI field is recommended in a new location with an increased distance to the onsite dam.

**C. Evaluation of the suitability of the site to sustainably manage all wastewater generated by the dwelling (s), including soil type, slope, drainage characteristics, setback requirements and any site constraints.**

- The site has been evaluated in terms of suitability to manage wastewater which is explained further throughout this report. However to summarise the findings it is recommended that a new secondary wastewater treatment system such as a Taylex ABS secondary treatment plant be installed with a new SSI field (installed within the biologically active upper soil horizon) located within the grassed south west corner of the site as depicted on the site plan. This will increase the distance from the dam to over 60 metres which minimise the environmental amenity of the wastewater system. Diversion drains are required around the SSI field to divert any overland flows. Setback distances comply with the EPA guidelines as noted in table 4-10 Surface Waters

**D. Identification of an appropriate wastewater management system and associated effluent disposal system that meets current standards.**

- The proposed wastewater management system including effluent dispersal as described in this report is fully compliant with current standards. The proposed Taylex ABS secondary treatment tank is fully compliant with EPA Victoria and is regarded as being a robust system installed throughout Victoria. Taylex are one of the largest providers of secondary treatment tanks in Australia. SSI is an excellent system to distribute secondary wastewater as described in this report.

**E. Assessment of potential impacts on the dam, including how effluent and runoff will be contained within the disposal area to avoid detrimental effects on the dam.**

- The installation of a secondary treatment system such as the Taylex ABS treatment plant provides a current best practice within the wastewater industry thus providing high quality wastewater. Additionally the new wastewater field location increases the setback distance to the onsite dam lowering any potential impacts with the field sizing sized on a maximum occupancy of eight people ensuring the field is sized appropriately. As noted throughout this report SSI is installed within the biologically active upper soil horizon maximising uptake by grass avoiding any detrimental on the dam. Diversion drains will assist in diverting any overland water flows.

**F. Recommendations for system design, loading rates, disposal type and size, to ensure wastewater is treated and disposed of safely**

- System design, loading rates is described in detail within this report to ensure that wastewater is treated and disposed of safely.

**G. A site plan (drawn to a stated scale with dimensions) clearly showing: The location of any bore hole(s) dug to inform the assessment; All proposed buildings (as shown on the approved plans); All proposed works (as shown on the approved plans); and The location of the proposed on-site wastewater treatment system, including tanks, absorption lines and/or fields or similar relevant components.**

- The above requirements are provided throughout this report in the relevant sections.

**The LCA needs to specifically acknowledge the ESO setback requirement (a 300m setback requirement from the onsite dam) and discuss how that setback can be reduced in line with the GOWM and the EDRS.**

The ESO applicable to the property predominately relates to biodiversity considerations with no ESO specifically addressing water considerations including catchment considerations. The existing dam does not have any water courses emanating from its location. It therefore does not provide a water source for any downstream watercourses. In this instance a 300 metre set back should not be applicable. However under the GOWN guidelines the following applies contained within table 4-10 – Surface Waters:

Surface waters			
Dam, lake or reservoir (used as source water for drinking or within a special water supply catchment) (See Notes 5, 6)	300	300	150
Waterways (used as a source of water for drinking or within a special water supply catchment) (See Notes 4, 5)	100	100	50
Waterways not used as source of water for drinking or within a special water supply catchment (for example, wetlands (continuous or ephemeral); estuaries (See Note 4)	60	30	30
Ocean beach at high-tide mark; dams, reservoirs or lakes not used as source of water for drinking or within a special water supply catchment (See Note 6)	60	30	30
Dam, lake or reservoir (used as source water for drinking or within a special water supply catchment) (See Notes 5, 6)	300	300	150
Drainage lines (See Note 7)	40	20	20

The setback is noted above in the yellow highlighted section. It is noted that dam is not used as a source of drinking water with either 60 metres for primary treated wastewater or 30 metres for secondary treated wastewater. In this instance 60 metres has been adopted for additional environmental benefit providing the maximum separation to the onsite dam.

This report also reflects the updated EPA wastewater guidelines released on May 2024 replacing EPA (891.4, July 2016).

- Guideline for onsite wastewater management (GOWM)
- Guideline for onsite wastewater effluent dispersal and recycling systems (EDRS).

The methods used for this report include soil tests and site survey undertaken by Eco Vision Australia (February 10<sup>th</sup>, 2025). A desktop study was undertaken and included obtaining relevant planning reports and climate data. Soil samples were taken and further analysed. These methods provided the information to write the LCA.

The dwelling including additional building infrastructure is accessed from 126 Bourkes Creek Road, Pakenham Upper along the southern boundary. The proposed new LAA for SSI is located towards the south west corner a minimum 60 metres from the dam as depicted on the updated site plan.

The overall land capability generally rates between very good to fair. The matrix indicator that rates as very poor is the rainfall the site receives. These factors have been considered in the preparation of this report.

The soil type in the LAA consists of brown weakly structured loam to a maximum depth of 300mm overlying moderately structured slightly mottled brown yellow clay loam to a maximum depth of 600mm. Below 600mm to 1100mm the soil grades into a moderately structured slightly mottled light clay overlying moderately structured slightly mottled medium clay. No groundwater within the proposed LAA was encountered during the site inspection.

The site allows for the installation of secondary wastewater treatment facilities replacing the existing primary (septic) tank and absorption trenches (which is located within close proximity to the onsite dam – approximately 25 metres). The Design Loading Load (DIR) is 3mm/day to allow for a more conservative area sizing. A full water balance has been used to size the LAA. Typically, during winter household water rates reduce by approximately 30%. This is beneficial in providing an additional environmental buffer during the cooler months.

The wastewater field is to be set back a minimum distance of 60 metres upslope from the dam ensuring a maximum separation distance to the dam and compliant with EPA setback distances. As noted in this LCA report the Environmental Significance Overlay (ESO1) applies specifically to NORTHERN HILLS Statement of environmental significance relating to vegetation retention. Water quality is noted however the installation of secondary treatment in combination with SSI within the biologically active upper soil horizon provides a significant environmental benefit. The existing wastewater field (absorption trenches) are to be decommissioned due to the proximity of the dam and **non-compliant** with EPA setbacks (GOWM – 2024).

**Table 1 – Land application Area (LAA) three bedroom area sizing EDS sizing assessment (derived from Table 69, p.183 EDRS) 150L/D per person 1200L/D – Potential 4 person Occupancy**

Calculation Method	EDS size (m <sup>2</sup> )
Simple hydraulic equation	400
Monthly Water Balance	630
Nitrogen Balance	398
Phosphorus Balance	445

The installation of a secondary wastewater treatment system in conjunction with SSI is beneficial in protecting the environment. Secondary wastewater is distributed into the biologically active topsoil layer therefore **minimising any groundwater impacts.**

Site size is of sufficient size to allow for an appropriately sized effluent treatment field of a minimum size of 630m<sup>2</sup> (315m<sup>2</sup> each and watered alternately) be established using Sub Surface Irrigation (SSI) in conjunction with a new secondary treatment plant (such as Taylex ABS secondary treatment plant) using a full water balance based on a potential eight person occupancy person occupancy.



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## 2. Introduction

Eco Vision Australia has been engaged to undertake a Land Capability Assessment (LCA) for a site at 126 Bourkes Creek Road, Pakenham Upper sized at approximately 2.37ha. The site contains an existing dwelling that has been renovated that contains an effective five bedrooms and a self-contained unit with the hydraulic load based on a potential eight person occupancy. The site currently has a primary (septic) tank – capacity unknown with the LAA provided by absorption trenches located approximately 25 metres from the downslope dam (setback is non-compliant with EPA guidelines). It is proposed to install a new secondary treatment plant with the LAA provided by SSI in a new location to the west of the site as depicted on the site plan.

The report will accompany an application submitted to the Cardinia Shire Council for the proposal that will ensure wastewater can be contained within property boundaries to specifically comply with dam setbacks as described in EPA GOWN 2024 - setbacks as described in Table 4.1 Setback Distances (m) and specifically noted within the section titled 'Surface Waters' which defines a range of scenarios requiring different setback distances dependent upon the particular requirement.

Cardinia Shire Council in correspondence dated 14 January 2026 via a 'Request for Information' (RFI) for a Land Capability Assessment (LCA) with the following points noted within this correspondence:

#### Land Capability Assessment

1. A Land Capability Assessment, prepared by a suitably qualified professional, demonstrating that wastewater can be treated and retained within the lot in accordance with the requirements of the Environment Protection Regulations under the *Environment Protection Act 2017* for an on-site wastewater management system, including:
  - a. Adjacent/surrounding vegetation.
  - b. Assessment of the existing septic system, including its current condition, location, capacity and compliance with the EPA 2017 and Guidelines for onsite wastewater management.

  
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- c. Evaluation of the suitability of the site to sustainably manage all wastewater generated by the dwelling (s), including soil type, slope, drainage characteristics, setback requirements and any site constraints.
- d. Identification of an appropriate wastewater management system and associated effluent disposal system that meets current standards
- e. Assessment of potential impacts on the dam, including how effluent and runoff will be contained within the disposal area to avoid detrimental effects on the dam.
- f. Recommendations for system design, loading rates, disposal type and size, to ensure wastewater is treated and disposed of safely.
- g. A site plan (drawn to a stated scale with dimensions) clearly showing:
  - i. The location of any bore hole(s) dug to inform the assessment;
  - ii. All proposed buildings (as shown on the approved plans);
  - iii. All proposed works (as shown on the approved plans); and
  - iv. The location of the proposed on-site wastewater treatment system, including tanks, absorption lines and/or fields or similar relevant components.

The LCA needs to specifically acknowledge the ESO setback requirement (a 300m setback requirement from the onsite dam) and discuss how that setback can be reduced in line with the GOWM and the EDRS.

Discussion around these elements is discussed within the Executive Summary and Discussion within section 1 of this report. This document provides information about the site and soil conditions. It also provides a detailed LCA and includes a conceptual design for a suitable onsite wastewater management system, including recommendations for monitoring and management requirements.

The field investigation and report have been undertaken and prepared by suitably experienced staff. Eco Vision Australia has appropriate professional indemnity insurance for this type of work. Our professional indemnity insurance certificate is available on request.

The approximate 2.37ha property is roughly rectangular in shape. Boundary lengths are variable with the northern boundary being 167 metres in length, southern boundary approximately 107 metres in length, eastern boundary being 173 metres in length and the western boundary being 130 metres in length. Site entry is from 126 Bourkes Creek Road, Pakenham Upper along the southern boundary. The property contains a number of landform elements ranging from gentle slopes within the south west corner to moderate slopes within central to lower portions. The property contains a dam within lower portions of the property. Property elevations are approximately 180m with a slope from the south east to the north west. The property does not contain any **designated watercourses** including **any emanating** from the **onsite dam**.

Soil Testing and site survey was undertaken by Eco Vision Australia in February 2026 including the use of NF-198 Land Meter, Nikon Farm Forestry Pro and/or Cartwright Wheel meter for onsite distance measurements.

Rainfall data was obtained from the Beaconsfield Upper Climate Station 086261 and temperature data obtained from Dandenong Climate Station – 086224.

We have considered a number of options for both the treatment system and land application area (LAA). Above all a new secondary wastewater treatment plant (AWTS) with the Land Application by SSI located as depicted in the wastewater envelope as shown in the site plan in conjunction with a minimum 60 metre setback from the dam. The SSI field is located in the optimum location from the dam.

There is sufficient land available for sustainable onsite effluent management that maintains appropriate buffers to protect sensitive receptors for to residentially develop the site.



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### 3. Description of the Development

**Table 2 Site Description**

<b>Site Address:</b>	126 Bourkes Creek Road Pakenham Upper Vic 3810
<b>Owner/Developer:</b>	Matt & Amanda Pancari
<b>Postal Address:</b>	126 Bourkes Creek Road Pakenham Upper 3810
<b>Contact:</b>	D1 Plumbing – 1300 414 299
<b>Council Area:</b>	Cardinia Shire Council
<b>Rural Water Corporation:</b>	Southern Rural Water
<b>Urban Water Corporation:</b>	South East Water
<b>Zoning:</b>	Planning Zone – Green Wedge Zone – Schedule 1 (GWZ1) – Planning Overlays – Bushfire Management Overlay (BMO), Environmental Significance Overlay – Schedule 1 (ESO1)
<b>Allotment Size:</b>	2.37ha
<b>Domestic Water Supply:</b>	Tank
<b>Anticipated Wastewater Load per allotment:</b>	Five Bedroom Dwelling – Six Person Potential Occupancy + 1 Bedroom – Two person occupancy (potential total eight person occupancy @ 150L/D per person – 1200L/D. This design load is sourced from Guidelines for onsite wastewater management (May 2024). (Table 4-1, Design Flows for households Minimum daily wastewater flow rates with standard water fixtures).
<b>Anticipated BOD Load per allotment:</b>	Five Bedroom Dwelling + 1 Bedroom – Two person occupancy (potential total eight person occupancy – Eight Person Potential Occupancy @ 60g/d/p per person – 480g/d. This design load is sourced from Guidelines for onsite wastewater management (May 2024).
<b>Availability of Sewer:</b>	The area is unsewered and unlikely to be sewered in the short to medium term future

## 4. Site Key Features

Robert Krainz undertook a desktop review and site inspection on the 10<sup>th</sup> of February 2026. A range of site features were assessed in terms of the degree of limitation they present for a range of onsite wastewater management systems. Reference is made to the rating scale described in Table 1 of EPA (2003a). As a guide, remedial measures should be considered whenever ratings of 3, 4, or 5 occur and this might involve land improvement works, soil amelioration or simply adoption of higher-level technologies to ensure environmental protection. Table 3 summarises the key features in relation to effluent management at the site. The site experiences negligible stormwater run-on. There is no evidence of a water table in the proposed LAA.

The soil type in the LAA consists of brown weakly structured loam to a maximum depth of 300mm overlying moderately structured slightly mottled brown yellow clay loam to a maximum depth of 600mm. Below 600mm to 1100mm the soil grades into a moderately structured slightly mottled light clay overlying moderately structured slightly mottled medium clay. No groundwater within the proposed LAA was encountered during the site inspection.

The site is within the location of Pakenham Upper, which is part of the Planning Zone – Planning Zone – Green Wedge Zone – Schedule 1 (GWZ1) – Planning Overlays – Bushfire Management Overlay (BMO), Environmental Significance Overlay – Schedule 1 (ESO1)

Appendix i provides a site locality plan (Property Report) and indicates the location of the site of the proposed development.

Appendix ii provides a Proposed Development Plan.

Appendix iii provides photographs of the existing site conditions

Appendix iv provides Bureau of Meteorology Climate Report for Dandenong Climate Station- 086244 (Temperature Statistics) and Beaconsfield Upper Climate Station - 086261 (Rainfall Statistics)

Appendix v provides Test Site Location Plan

Appendix vi provides a water balance and nitrogen balance

Appendix vii provides Borelog descriptions

  
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**Table 3 Site Features**

Feature	
Climate	The site has a cool temperate climate with maximum temperatures and minimum rainfall in summer (Dandenong - 086244). The site experiences a mean annual rainfall of 1016mm (Beaconsfield Upper - 08261)
Exposure	The site (new LAA) is predominately grassed. The proposed LAA has high sun and wind exposure.
Vegetation	The site contains a mix of grassed areas and some vegetation.
Landform	The site is contained within a mix of landform element ranging from more gentle slopes to moderate slopes within central portions of the site. The proposed LAA is located on more gentle slopes.
Slope	The proposed effluent management area is located on more gently sloping land.
Fill	Fill was not observed within the proposed LAA.
Rocks and Rock Outcrops	No rock outcrops or low lying large sub surface rocks were encountered.
Erosion Potential	The erosion hazard is low to moderate. Other areas of the site have steeper slopes which potentially has higher risk of erosion. The proposed LAA has a lower risk of erosion.
Surface Water	Some potential however overland water flows are at lower risk within the proposed LAA.
Flood Potential	The site is not located within a floodway overlay and Land Subject Inundation Overlay.
Stormwater run-on and upslope seepage	The proposed effluent management area is expected to receive minor stormwater run-on which can be diverted via surface spoon drainage or sub surface drainage. There is no evidence of groundwater seepage, soaks or springs.
Groundwater	There are minor signs of shallow groundwater tables.
Site Drainage and Subsurface Drainage	The site could experience variable stormwater run-on and run-off. However, there are minor visible signs of surface dampness. Surface dampness due to recent rainfall and seasonal conditions.
Recommended Buffer Distances	All buffer distances recommended in Table 4-10 of EPA Guideline for Onsite Wastewater Management May 2024 will be achievable in the proposed treatment envelope in conjunction with a 30 metre setback.
Available Land Application Area	Considering all site constraints and the buffers mentioned above, the site has ample land that is suitable and available for land application of effluent treated to secondary levels. There will be ample protection for surface and groundwater.

## 5. Soil Assessment and Constraints

The sites soils have been assessed for their suitability for onsite wastewater management by a combination of soil survey and review of desktop published material.

The site (LAA) at 126 Bourkes Creek Road, Pakenham Upper contains soils consistent within a rolling hills landform element – Devonian Granite Moderate (Dgd) to Gentle Slope (Dgf). The underlying geology is predominately Lysterfield granodiorite with the ASC soil type for this geology typically deep Brown Yellow Chromosols. Other portions of the site beyond the proposed LAA have influences from the adjacent Tertiary Volcanics (Tvc1) moderately steep slopes.

These are described soils that have high iron levels and have textural changes between the A & B horizon. The site visit and field work has confirmed these characteristics. Soil texture of the underlying soils is moderate especially within the B horizon.

The soil type in the LAA consists of brown weakly structured loam to a maximum depth of 300mm overlying moderately structured slightly mottled brown yellow clay loam to a maximum depth of 600mm Below 600mm to 1100mm the soil grades into a moderately structured slightly mottled light clay overlying moderately structured slightly mottled medium clay. No groundwater within the proposed LAA was encountered during the site inspection.

The soil type in the LAA consists of brown moderately structured clay loam to a maximum depth of

Soil permeability was not undertaken however textural soil analysis indicating that infiltration would be moderately through the A horizon and slowing through the B horizon. This is consistent with soil permeability testing undertaken on similar soil types. A conservative Ksat for a moderately structured clay loam is 0.5m m/d with a corresponding soil percolation rate of 20.08mm per hour. The moderately structured Light Clay B horizon has a lower Ksat at 0.12 m/d with a corresponding soil percolation rate of 5mm per hour. Sizing of the LAA is based on a moderately light clay DIR. The DIR is 3mm/hr (21mm/day) in conjunction with SSI as recommended in this report.



On-site Orange Brown Chromosols at 126 Bourkes Creek Road, Pakenham Upper

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**Table 4 Soil Features:**

Soil Feature		
Soil Depth	Soil depth up to 1500mm encountered.	
Depth to watertable	Groundwater not encountered.	
Coarse Fragments (%)	No coarse fragments were observed through the soil profile.	
<b>Soil Permeability and Design loading Rates</b>	Soil permeability was not directly measured but can be inferred with reference to Tables L1 to N1 in AS/NZS 1547:2012, that describe conservative design loading rates (DI-R5) and Design Irrigation Rates (DIRs) for various effluent application systems according to soil type. Critical soil properties are texture and structure, but depth, colour and degree of mottling are also used to infer drainage conditions. We note that the indicative loading rates below assume secondary treated effluent is being applied. Reduced loading rates would apply to primary treatment systems (septic tanks), although these are not recommended here.	
	Topsoils	Subsoils
Description	<b>Clay Loam (moderately structured)</b>	<b>Light Clay (moderately structured)</b>
<b>Soil Category (AS/NZ1547:2012)</b>	<b>4a</b>	<b>5b</b>
Design Irrigation Rate (DIR mm/week)	<b>24.5 – 3.5mm/day (Secondary Treated)</b>	<b>21 – 3mm/day (Secondary Treated Effluent)</b>
pH	The pH of 1:5 soil/water suspensions was not measured. The present soil conditions do not appear to be restricting plant growth.	
Electrical Conductivity	Electrical conductivity was not measured.	

  
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## 6. Land Capability Assessment Matrix

The Land Capability Assessment has been developed for the whole site, but using the soils in the vicinity of the building envelope.

**Table 5 Land Capability Assessment Matrix**

LAND FEATURES	Land capability class rating					Site rating
	Very good (1)	Good (2)	Fair (3)	Poor (4)	Very poor (5)	
<b>GENERAL CHARACTERISTICS</b>						
Site drainage	No visible signs of dampness	Moist soil, but no standing water in soil pit		Visible signs of dampness, such as moisture-tolerant plants	Water ponding on surface	2
Runoff	None	Low	Moderate	High – need for diversionary structures	Very high – diversion not practical	2
Flood Levels	Never		<1 in 100	>1 in 100 and <1 in 20	<1 in 20	3
Proximity to Watercourses	>60 metres					1
Slope (%)	0-2	2-8	8-12	12-20	>20	2
Landslip	No actual or potential failure		Low potential for failure	High potential for failure	Present or past failure	1
Groundwater (seasonal watertable depth (m))	>5	5-2.5	2.5-2.0	2.0-1.5	<1.5	2
Rock outcrop (1% of land surface containing rock >200mm)	0	<10%	10-20%	20-50%	>50%	1
Erosion potential	No erosion potential	Minor	Moderate	High	Severe erosion potential	2
Exposure	High sun and wind exposure		Moderate	Low sun and wind exposure		1
Landform	Hill crests, convex side slopes and plains		Concave sideslopes and footslopes		Floodplains & incised channels	1
Vegetation Type	Turf or pasture				Dense forest with little understorey	1
Average Rainfall (mm/yr)	<450	450-650	650-750	750-1000	>1000	2
Pan evaporation (mm/yr)	<1500	1250-1500	1000-1250	---	<1000	1
Fill	No fill		Fill present			1

**SOIL PROFILE CHARACTERISTICS**

Soil permeability category <sup>1</sup>	2 and 3	4		5	1 and 6	<b>4</b>
Profile depth	>2m	1.5-2m	1.5 – 1	1.0-0.5m	>0.5m	<b>2</b>
Presence of mottling	None				Extensive	<b>1</b>
Course fragments (%)	<10	10-20	20-40		>40	<b>1</b>
Permeability * (m/d)	0.3-0.15	0.08-0.15 0.3-0.6	0.06-0.08 0.6-1.5	--- 1.5-2.0	<0.06 >2.0	<b>3</b>
pH	6-8		4.5-6		<4.5, >8	<b>3</b>
Emerson Aggregate	4, 6, 8	5	7	2, 3	1	<b>2</b>
Electrical Conductivity	<0.3	0.3-0.8	0.8-2	2-4	>4	<b>1</b>
Sodicity ESP%	<3		6-8	8-14	>14	<b>2</b>
<b>Overall Site Rating</b>	<b>Very Poor (Rainfall only limiting factor)</b>					<b>4</b>

1. Source: AS/NZ1547:2012

  
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## 7. The Management Program

The purpose of this report is to provide a Land Capability Assessment (LCA) to accompany an application for a new secondary wastewater treatment system such as a Taylex ABS secondary treatment plant with Subsurface Irrigation (SSI) to replace the existing primary (septic) system and absorption trenches that are non-compliant with EPA setback distances to the existing dam. adjustment to an existing installed wastewater field (absorption trenches) that are not compliant with EPA buffer distances setbacks. The site contains a dwelling with a potential six person occupancy and additional one bedroom self-contained unit – potential two person occupancy. Hydraulic loading rates are based on a potential eight person occupancy. The following sections provide an overview of the existing system, with sizing and design considerations and justification for its selection. Detailed design for the system is beyond the scope of this study but should be undertaken at the time of building application and submitted to Council.

### 7.1 Treatment System

To treat domestic wastewater and allow irrigation with the treated effluent, the proposed Taylex ABS treatment provides secondary treatment with disinfection to meet Environment Protection Authority requirements for irrigation. Indicative target effluent quality is:

- BOD <20 mg/l;
- SS <30 mg/l;

### 7.2 Land Application

A range of possible land application systems have been considered, such as absorption trenches, evapotranspiration/absorption (ETA) beds, surface and subsurface irrigation, and sand mounds. The preferred system is pressure compensating subsurface irrigation. In combination with the selected secondary treatment system subsurface irrigation will provide even and widespread dispersal of highly treated effluent loads within the root-zone of plants. Subsurface irrigation will provide beneficial reuse of wastewater. It will also ensure that the risk of effluent being transported off this site will be negligible.



### 7.3 Sizing the Irrigation System

To determine the necessary size of the irrigation area water and nutrient balance modelling (nitrogen and phosphorus) has been considered as required under the updated EPA guidelines contained within the EDRMS.

The water balance has been used to calculate the minimum area required to balance all inputs and outputs, with the need for wet weather storage. See the table below for SSI field sizing for the dwelling.

**Table 6 – Land application Area (LAA) three bedroom area sizing EDS sizing assessment (derived from Table 69, p.183 EDRS) 150L/D per person 1200L/D – 8 person potential occupancy.**

Calculation Method	EDS size (m <sup>2</sup> )
Simple hydraulic equation	400
Monthly Water Balance	630
Nitrogen Balance	398
Phosphorus Balance	445

#### Water Balance

A preliminary model water balance with wet month storage and a daily wastewater hydraulic load as noted indicates the field sizing is satisfactory with the water balance being the most limiting factor in sizing the effluent field.

#### Nutrient Balance

A nitrogen balance has been considered to check that the LAA is of sufficient size to ensure nutrients are assimilated by the soils and vegetation. The nitrogen balance is provided in appendix vi and sizes the LAA at 398m<sup>2</sup> (1200L/D). It is acknowledged that a proportion of nitrogen will be retained in the soil through processes such as mineralisation and volatilisation.

We are of the opinion that the area required for nitrogen assimilation and phosphorus (calculation noted below, can be met by the above sized LAA.

The Phosphorus balance (445m<sup>2</sup>) has been calculated below with the proposed LAA able to assimilate phosphorus using the water balance as the most limiting factor to size the LAA.



## Phosphorus Balance

### Phosphorus Balance – Rye Clover 50kg/y – 1200L/D

#### Daily P load

Effluent Concentration P – 10mg/L  
Daily hydraulic load – 1200L/D  
 $10 \times 1200 = 12,000\text{mg/d}$

#### Annual P load

$12,000\text{mg/d} \times 365 \text{ days} = 4,380,000$   
Annual P load = 4.380kg

#### Plant uptake (Rye Grass) 50kg P/ha/year

#### P sorption each year for 50 years

$4380 / 50 \times 0.5 = 43.80 \text{ kg/ha/yr}$

#### Annual Application Rate

Plant uptake + P sorption =  $43.80 + 50$   
Total P application rate = 93.80 kg/ha/yr

#### Annual P load

$4.380 / 93.80 = 0.0466$   
 $0.0445 \times 10,000 = 466\text{m}^2$

**Minimum Area Required for P assimilation over 50 years = 445m<sup>2</sup>**

  
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## Summary and Discussion

It is worth noting that modelling includes several significant factors of conservatism:

- Hydraulic load (1200 L/day). This assumes a maximum capacity of occupancy of eight people will permanently occupy an effective 5 – bedroom residence including a one bedroom self-contained unit. It is very likely that the actual occupancy and daily water usage will be substantially less than this;
- From the nutrient balances, in the absence of site-specific data very conservative estimates of crop nutrient uptake rates and total nitrogen lost to soil processes are considered.

#### 7.4 Siting and Configuration of the Land Application Area

It is preferable to keep the irrigation area as high on the property as possible based upon the proposed site plan. Eco Vision has delineated on the provided site plan a suitable LAA, but the areas tested are deemed suitable.

As well as providing area for application of effluent, it is important that buffer distances be adhered to. It is important to note that buffers are measured as the overland flow path for run-off water from the effluent irrigation area.

The LAA area 630m<sup>2</sup> can be subdivided into two separate fields (sized at 315m<sup>2</sup> each) that can be watered alternately if the installer deems it suitable. An automatic indexing valve generically known as a 'roto-valve' can be used to allow alternation between the areas with each pump cycle.

It is recommended that the owner consult an irrigation expert familiar with wastewater irrigation equipment, to help design and install the irrigation system. The irrigation plan must ensure good, even application of effluent.

#### 7.5 Irrigation System Design

A detailed irrigation system design is beyond the scope of this report; however, a general description of subsurface irrigation is provided here for the information of the client and Council.

Subsurface irrigation comprises a network of drip-irrigation lines that is specially designed for use with wastewater. The pipe contains pressure compensating emitters that employ a biocide to prevent build-up of slimes and inhibit root penetration. The laterals are usually 0.5 to 1.0 m apart, roughly parallel and along the contour if possible. Installation depth is commonly 100-150 mm. It is critical that the irrigation pump be sized properly to ensure adequate pressure and delivery rate to the irrigation network.

A filter is installed in the main line to remove fine particulates that could block the emitters. This must be cleaned regularly following manufacturer's instructions.

Vacuum breakers should be installed at the high points in the system to prevent air and soil being sucked back into the drippers when the pump shuts off. Flushing valves are an important component and allow periodic flushing of the lines, which should be done at least yearly. Flush water can be either returned to the treatment system or should be released where it will be readily absorbed.

All trenching used to install the pipes must be backfilled properly to prevent preferential subsurface flows along trench lines, particularly where trenches are not absolutely parallel to contours. Irrigation areas should not be subject to high traffic movement, especially by vehicles, otherwise compaction around emitters can lead to premature system failure.



## 7.6 Buffer Distances

Buffer distances from LAAs are required to help prevent human contact, maintain public amenity and protect sensitive environments. Council generally adopts the following nominal buffers secondary sewage and greywater effluent, described in Guideline for Onsite Wastewater Management (May 2024):

Table 4-10: Setback distances (m) <sup>20,21</sup>

Landscape feature or structure	OWMS with primary treated effluent	OWMS with secondary treated effluent or Level 3 greywater effluent	OWMS with Level 1 and 2 greywater effluent
Building/allotment boundary			
Up-slope of building (See Note 1)	6	3	3
Down-slope of building	3	1.5	1.5
Up-slope of adjacent lot	6	3	1
Down-slope of adjacent lot	3	1.5	0.5
Services			
Water supply pipe	3	1.5	1.5
Up-slope of potable supply channel (stock and domestic)	300	150	150
Down-slope of potable water supply	20	10	10

<sup>20</sup> Setback distances are measured horizontally from the external wall of the treatment plant and the boundary of the land application area, except for soil depth as per Note 10.

<sup>21</sup> The setback distances for flat land are equivalent to down-slope setback distances.



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Landscape feature or structure	OWMS with primary treated effluent	OWMS with secondary treated effluent or Level 3 greywater effluent	OWMS with Level 1 and 2 greywater effluent
channel (stock and domestic)			
In-ground water tank (See Note 2)	15	7.5	3
Closed stormwater drain	6	3	2
Open stormwater drain	50	30	10
Gas supply pipe	3	1.5	1.5
<b>Recreational areas</b>			
Children's grassed playground (See Note 3)	6	3	2
In-ground swimming pool	6	3	2
<b>Surface waters</b>			
Dam, lake or reservoir (used as source water for drinking or within a special water supply catchment) (See Notes 5, 6)	300	300	150
Waterways (used as a source of water for drinking or within a special water supply catchment) (See Notes 4, 5)	100	100	50
Waterways not used as source of water for drinking or within a special water supply catchment (for example, wetlands (continuous or ephemeral); estuaries (See Note 4)	60	30	30
Ocean beach at high-tide mark; dams, reservoirs or lakes not used as source of water for drinking or within a special water supply catchment (See Note 6)	60	30	30
Dam, lake or reservoir (used as source water for drinking or within a special water supply catchment) (See Notes 5, 6)	300	300	150
Drainage lines (See Note 7)	40	20	20

Landscape feature or structure	OWMS with primary treated effluent	OWMS with secondary treated effluent or Level 3 greywater effluent	OWMS with Level 1 and 2 greywater effluent
Up-slope of cutting/escarpment (See Note 8)	15	15	15
Groundwater bores			
Groundwater bores – category 1 and 2a soils	NA	50	20
Groundwater bores – category 2b to 6 soils	20	20	20
Soil depth (See Note 9)			
Depth to highest seasonal water table (See Note 10)	1.5	1.5	1.5
Depth to hydraulically limiting layer (for example, bedrock)	1.5	0.6	0.6

Notes to Table 4-10:

1. Establishing an OWMS up-slope of a building may have implications for the structural integrity of the building. This should be examined by a building surveyor on a site-by-site basis.
2. It is recommended that OWMS are installed down-slope of an in-ground water tank.
3. Means a school, council, community or other children's grassed playground managed by an organisation which may contain play equipment but does not mean a sports field.
4. Means a waterway as defined in the *Water Act 1989*.
5. Applies to land adjacent to a dam, lake, reservoir or waterway that provides source water used for the supply of public drinking water or, which is subject to an environmental significance overlay (ESO) that designates maintenance of water quality as the environmental objective to be achieved, or within a special water supply catchment area listed in Schedule 5 of the *Catchment and Land Protection Act 1994*.
6. Does not apply to dams, lakes or reservoirs located above ground level that cannot receive runoff.
7. An intermittent stream that is found to be a drainage line (drainage depression) with no defined banks and the bed is not incised. The topography of the drainage line should be demonstrated in writing and photographs in the LCA report.
8. A cutting/escarpment from which water is likely to emanate.
9. Depth is measured vertically through the soil profile from the base of absorption/ETA trenches/beds or from the irrigation pipes.
10. The highest seasonal water table occurs when groundwater is closest to the ground surface. This usually occurs in the wettest months of the year.

  
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All nominal buffers (**Tier 1**) are achievable for a suitably sized LAA.

## 8. Monitoring, Operation and Maintenance

Maintenance is to be carried out in accordance with the certificate of approval and Council's permit conditions. The system proposed above will only function adequately if appropriately maintained. Residents will be required to carry out maintenance as discussed below.

### To ensure the treatment system functions adequately, residents must:

- Have a suitably qualified maintenance contractor service the AWTS as required by Council under the approval to operate.
- Any pump will need regular maintenance and seals checked regularly.
- Use household cleaning products sparingly and check that they are suitable for septic tanks;
- Keep as much fat and oil out of the system as possible; and
- Conserve water

### To ensure the land application system functions adequately, residents must:

- Regularly harvest (mow) vegetation within the LAA and remove this to maximise uptake of water and nutrients;
- Monitor and maintain the subsurface irrigation system following the manufacturer's recommendations, including flushing of irrigation lines;
- Regularly clean in-line filters;
- Not erect any structures over the LAA;
- Minimise vehicle access to the LAA, to prevent compaction; and
- Ensure that the LAA is kept level by filling any depressions with good quality topsoil (not clay).
- Good water conservation is an important aspect in the overall management of onsite systems. It will be important for the ongoing performance of both the treatment and application system that they are not overloaded hydraulically. AAA rated plumbing is recommended for all future water fixtures.

## 9. Stormwater Management

As mentioned above, stormwater runoff has been considered. The construction and maintenance of diversion drains is recommended. Roof stormwater must not be disposed in the LAA.

## 10. Conclusions

As a result of our investigations, we recommend that a sustainable onsite wastewater management system can be built to meet the needs of a new residence on the allotment. Specifically, we recommend the following:

- Decommission the existing primary treatment plant and absorption trenches absorption trenches;
- Utilise and commission the existing Turbo Jet secondary wastewater treatment system that meets 20/30 standards;
- Site size is of sufficient size to allow for an appropriately sized effluent treatment field sized at 630m<sup>2</sup> to comply with a 60 metre dam setback as for additional conservatism depicted on the site plan using Sub Surface Irrigation (SSI) in conjunction with secondary treated wastewater.
- The LAA area 630m<sup>2</sup> can be subdivided into two separate fields (315m<sup>2</sup> each) that can be watered alternately if the installer deems it suitable. An automatic indexing valve generically known as a 'roto-valve' can be used to allow alternation between the areas with each pump cycle.
- Do not allow any vehicle access and utilise surface plants that tolerate wet conditions (including roots) and have a high evapo-transpiration capacity. Where possible use plants well exposed to the sun. Plant high transpiration species to minimise waterlogging.
- LAA for SSI can be adjusted in consultation with Eco Vision Australia.
- Use of low phosphorus and low sodium (liquid) detergents to improve effluent quality and maintain soil properties;
- Operation and management of the treatment and disposal system in accordance with manufacturer's recommendations and the recommendations made in this report; and
- Construction of diversion drains on sides of the LAA to divert stormwater and surface water runoff.

*Robert Krainz*

**Land Management Consultant**

Grad Cert. Environmental Management (CSU), Ad. Dip. Land Management (Syd), Cert Hort. Landscape & Nursery (Qld)

## 11. References & Bibliography

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## 11. APPENDICES

- i. Site Locality Plan – Property Reports
- ii. Proposed Development Plan
- iii. Existing conditions
- iv. Bureau of Meteorology Climate Report for Dandenong (086224) and Rainfall Beaconsfield Upper (086261)
- v. Test Site Location Plan
- vi. Water balance and nitrogen balance
- vii. Borelog Descriptions

  
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Date Prepared: 05 May 2026

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## APPENDIX i

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### SITE LOCALITY PLAN - PROPERTY PLANNING REPORTS

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## PROPERTY REPORT



Created at 03 February 2025 11:44 AM

### PROPERTY DETAILS

Lot and Plan Number: **Lot 2 LP219000**  
 Address: **126 BOURKES CREEK ROAD PAKENHAM UPPER 3810**  
 Standard Parcel Identifier (SPI): **2\LP219000**  
 Local Government Area (Council): **CARDINIA**  
 Council Property Number: **1120600600**  
 Directory Reference: **Melway 313 K12**

[www.cardinia.vic.gov.au](http://www.cardinia.vic.gov.au)

### SITE DIMENSIONS

All dimensions and areas are approximate. They may not agree with those shown on a title or plan.



**Area:** 23715 sq. m (2.37 ha)

**Perimeter:** 640 m

For this property:

— Site boundaries

— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available

Calculating the area from the dimensions shown may give a different value to the area shown above

For more accurate dimensions get copy of plan at [Title and Property Certificates](#)

### UTILITIES

Rural Water Corporation: **Southern Rural Water**  
 Melbourne Water Retailer: **South East Water**  
 Melbourne Water: **Inside drainage boundary**  
 Power Distributor: **AUSNET**

### STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**  
 Legislative Assembly: **PAKENHAM**

### PLANNING INFORMATION

Property Planning details have been removed from the Property Reports to avoid duplication with the Planning Property Reports from the Department of Transport and Planning which are the authoritative source for all Property Planning information.

The Planning Property Report for this parcel can found here - [Planning Property Report](#).

Planning Property Reports can be found via these two links:

**Vicplan** <https://mapshare.vic.gov.au/vicplan/>

**Property and parcel search** <https://www.land.vic.gov.au/property-and-parcel-search>

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PROPERTY REPORT: Lot 2 LP219000

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## PLANNING PROPERTY REPORT



From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) at 03 February 2026 11:48 AM

### PROPERTY DETAILS

Address: **126 BOURKES CREEK ROAD PAKENHAM UPPER 3610**  
 Lot and Plan Number: **Lot 2 LP219000**  
 Standard Parcel Identifier (SPI): **2\LP219000**  
 Local Government Area (Council): **CARDINIA** [www.cardinia.vic.gov.au](http://www.cardinia.vic.gov.au)  
 Council Property Number: **1120600600**  
 Planning Scheme: **Cardinia** [Planning Scheme - Cardinia](#)  
 Directory Reference: **Melway 313 K12**

### UTILITIES

Rural Water Corporation: **Southern Rural Water**  
 Melbourne Water Retailer: **South East Water**  
 Melbourne Water: **Inside drainage boundary**  
 Power Distributor: **AUSNET**

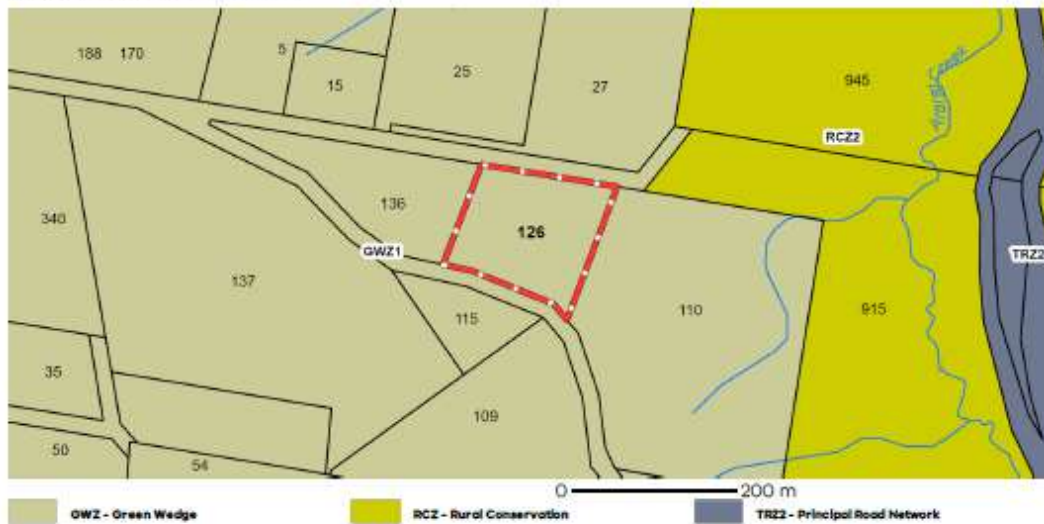
### STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**  
 Legislative Assembly: **PAKENHAM**  
**OTHER**  
 Registered Aboriginal Party: **Bunurong Land Council  
 Aboriginal Corporation**  
 Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

### Planning Zones

[GREEN WEDGE ZONE \(GWZ\)](#)  
[GREEN WEDGE ZONE - SCHEDULE 1 \(GWZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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PLANNING PROPERTY REPORT: 06 BOURKES CREEK ROAD PAKENHAM UPPER 3610

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**PLANNING PROPERTY REPORT**



**Planning Overlays**

RUSHFIRE MANAGEMENT OVERLAY (BMO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 1 (ESO1)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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## PLANNING PROPERTY REPORT

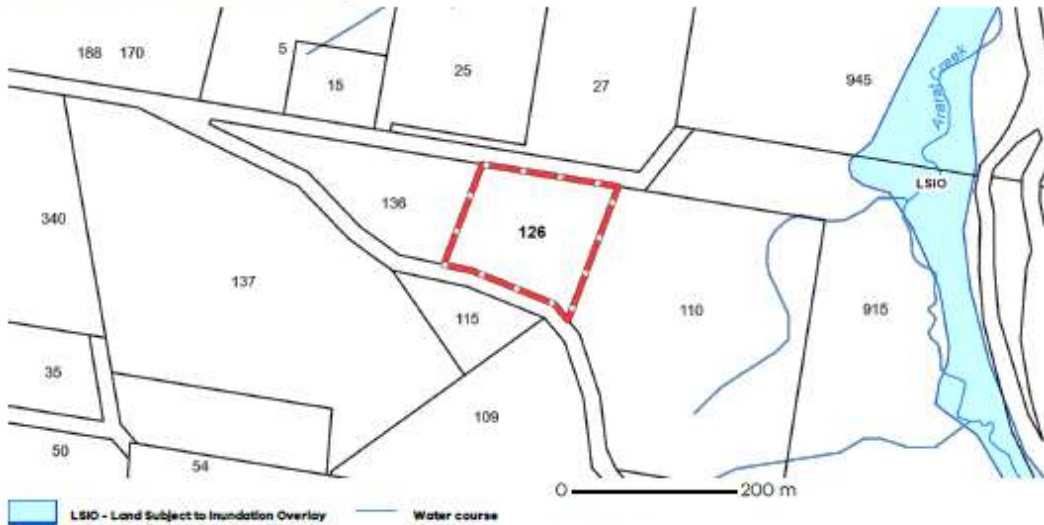


### Planning Overlays

#### OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

#### LAND SUBJECT TO INUNDATION OVERLAY (LSIO)



LSIO - Land Subject to Inundation Overlay Water course

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

### Further Planning Information

Planning scheme data last updated on 23 January 2026.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.vic.gov.au/vicplan/>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

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PLANNING PROPERTY REPORT: 06 BOURKES CREEK ROAD PAKENHAM UPPER 2026

Page 3 of 4

## PLANNING PROPERTY REPORT



### Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

### Native Vegetation

Native plants that are indigenous to Victoria and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#).

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Regulations Map (NVR Map) <https://mapshare.vic.gov.au/nvr/> and [Native vegetation \(environment.vic.gov.au\)](#) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](#).

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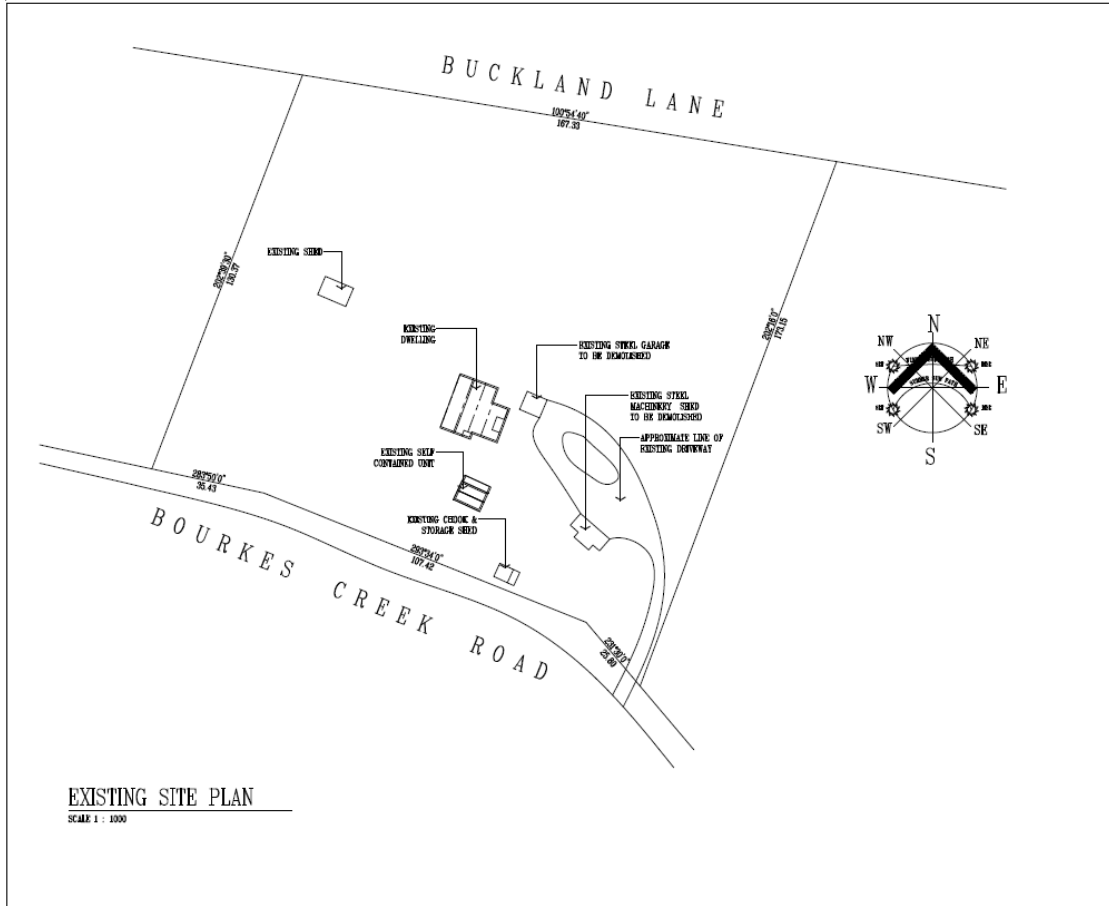
**APPENDIX ii**

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**PROPOSED DEVELOPMENT PLAN,  
MAPSHARE, GEOVIC & AERIAL PHOTO**

  
**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250199  
Date Prepared: 05 May 2026

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**EXISTING SITE PLAN**  
 SCALE 1 : 1000

**A 01**

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**Amber Rees Design**

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 MOB: 0437 253 564  
 EMAIL: ardesign@bigpond.com

WORKING DRAWINGS  
 21ST MARCH 2025  
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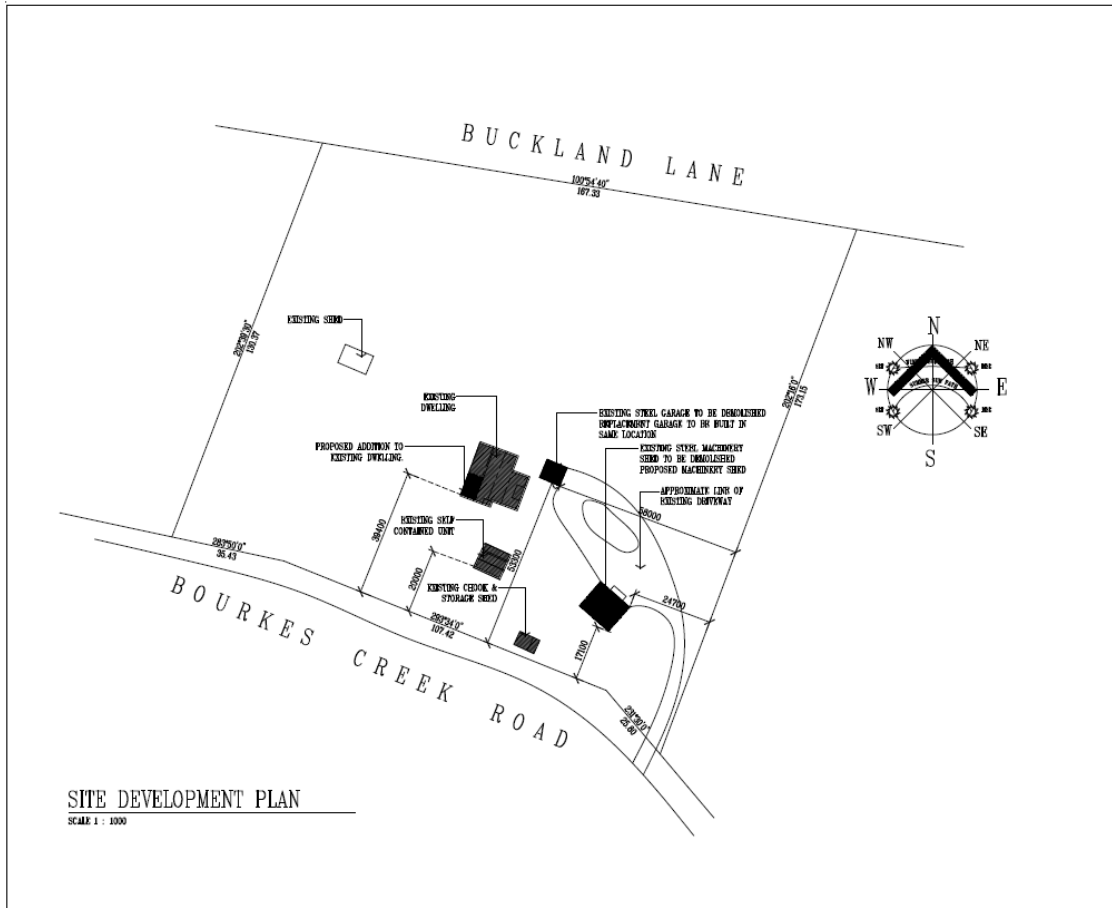
CLIENT:	MATT & AMANDA PANCARI
PROJECT:	EXISTING BUILDINGS
ADDRESS:	126 BOURKES CREEK ROAD PAKENHAM UPPER 3810
TITLE:	EXISTING SITE CONDITIONS
DESIGN:	A REES DP-ADD0125
DRAWN BY:	A REES
DATE:	01 : 2025
SCALE:	1 : 1000 @ A3
REVISION:	-
DRAWING NO:	585
STATUS:	WORKING DRAWINGS



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Planning Application: T250199  
 Date Prepared: 05 May 2026

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**SITE DEVELOPMENT PLAN**  
 SCALE 1 : 1000

**A 02**

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 EMAIL: ardesign@bigpond.com

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CLIENT: **MATT & AMANDA PANCARI**

PROJECT: **EXISTING BUILDINGS**

ADDRESS: **126 BOURKES CREEK ROAD  
 PAKENHAM UPPER 3810**

TITLE: **SITE DEVELOPMENT PLAN**

DESIGN: **A. REES**  
 DFN-ADR1215

DRAWN BY: **A. REES**

DATE: **01 : 2025**

SCALE: **1 : 1000 @ A3**

REVISION: **-**

DRAWING NO: **585**

STATUS: **WORKING DRAWINGS**

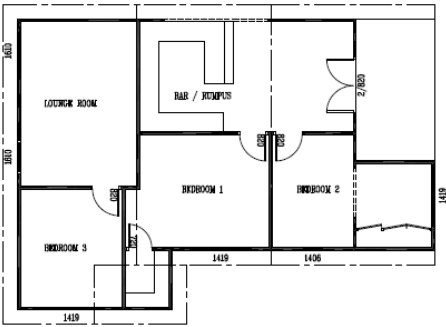
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 Planning Application: T250199  
 Date Prepared: 05 May 2026

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 WORK TO BE COMPLETED TO BE COMPLETED WITHIN THE TIME FRAME SPECIFIED BY THE ARCHITECT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND MATERIALS TO THE WORKS.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND MATERIALS TO THE WORKS.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND MATERIALS TO THE WORKS.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND MATERIALS TO THE WORKS.

**WALL LEGEND:**  
 - - - - - WALL TO BE DEMOLISHED  
 ——— PROPOSED WALLS EXISTING WALLS  
 ——— EXISTING WALLS



EXISTING FLOOR PLAN - DWELLING - BEFORE BUILDING WORKS  
 SCALE 1 : 100

**A 03**

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WORKING DRAWINGS  
 21ST MARCH 2025  
 BAL 29.0



CLIENT:  
 MATT & AMANDA PANCARI

PROJECT:  
 EXISTING BUILDINGS

ADDRESS:  
 126 BOURKES CREEK ROAD  
 PAKENHAM UPPER 3610

TITLE:  
 DWELLING FLOOR PLAN  
 DESIGNER:  
 A. REES  
 DP-AD30125  
 DWN BY:  
 A. REES  
 DATE:  
 01.03.2025  
 SCALE:  
 1:100 @ A3  
 SHEET NO:  
 585

DRAWING NO:  
 585  
 STATUS:  
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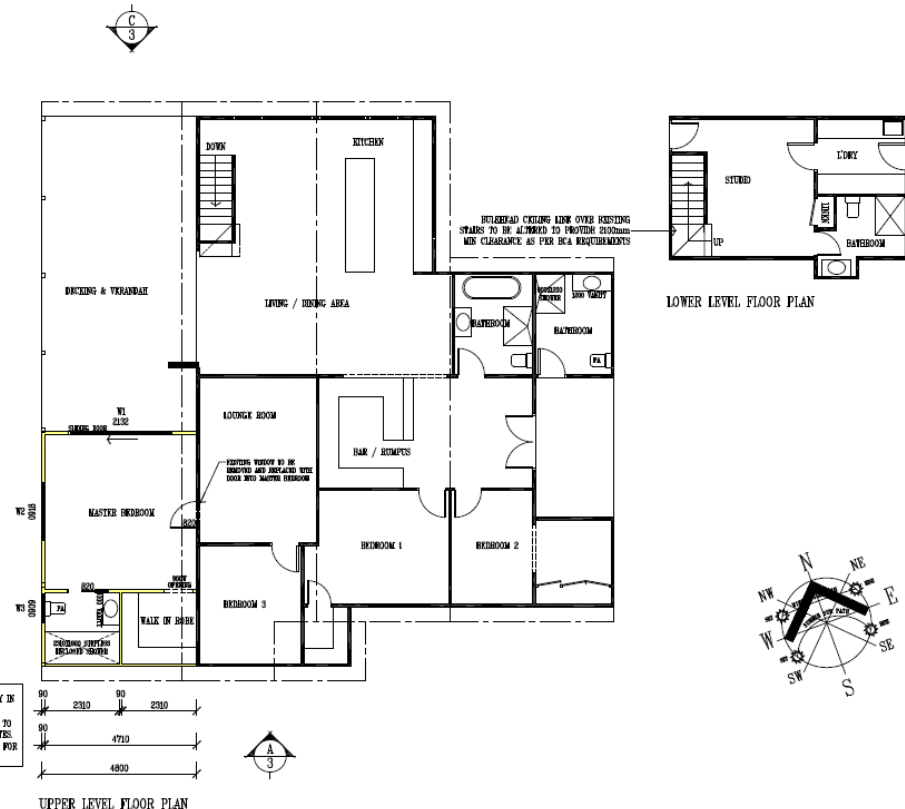


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 DIMENSIONS TO CENTER UNLESS OTHERWISE SPECIFIED TO BE SHOWN TO THE LEFT OF DIMENSION LINE UNLESS OTHERWISE SPECIFIED.  
 DIMENSIONS TO CENTER UNLESS OTHERWISE SPECIFIED TO BE SHOWN TO THE RIGHT OF DIMENSION LINE UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS SHALL BE GIVEN TO CENTER UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS SHALL BE GIVEN TO CENTER UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS SHALL BE GIVEN TO CENTER UNLESS OTHERWISE SPECIFIED.

**WALL LEGEND:**

- WALL TO BE DEMOLISHED
- PROPOSED BRICK EXTERIOR WALL
- EXISTING WALL

VIEW AREAS TO BE CONSTRUCTED STRICTLY IN ACCORDANCE WITH AS3745-2002.  
 EXISTING FLOORS TO BE REINFORCED TO OUTSIDE AIR AS PER MCC 2002 FLOOR SLABS.  
 40L/S FOR KITCHEN AND LAUNDRY, 25L/S FOR BATHROOMS, INSUITIES AND WC'S



**PROPOSED FLOOR PLAN - DWELLING - ADDITION & RECTIFICATION WORKS**  
 SCALE 1 : 100

**A 05**

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 21ST MARCH 2025  
 BAL 29.0



CLIENT:  
 MATT & AMANDA PANCARI

PROJECT:  
 EXISTING BUILDINGS

ADDRESS:  
 126 BOURKES CREEK ROAD  
 PAKENHAM UPPER 3810

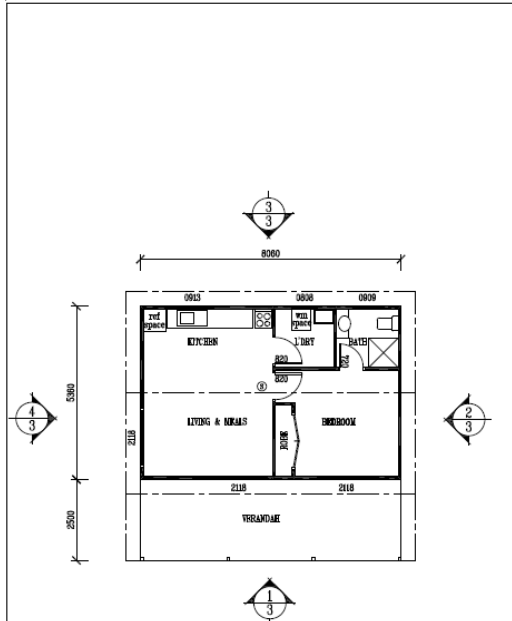
TITLE:  
 DWELLING FLOOR PLAN

DESIGN: A. REES  
 DWN BY: A. REES  
 DATE: 01. 2025  
 SCALE: 1 : 100 @ A3  
 DRAWING NO: 585

STATUS: WORKING DRAWINGS

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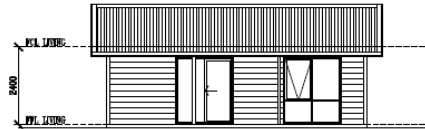
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EXISTING FLOOR PLAN - SELF CONTAINED UNIT

SCALE 1 : 100

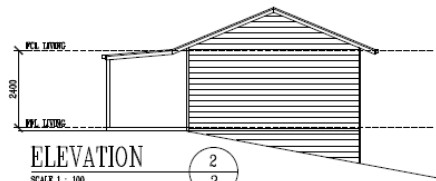
EXISTING SELF CONTAINED UNIT -  
 NO ALTERATIONS



ELEVATION 1

SCALE 1 : 100

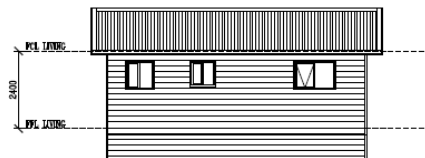
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2



ELEVATION 2

SCALE 1 : 100

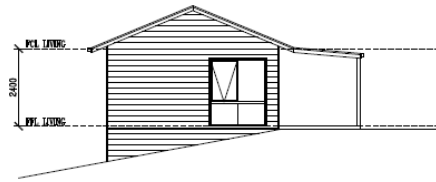
2  
2



ELEVATION 3

SCALE 1 : 100

3  
2



ELEVATION 4

SCALE 1 : 100

4  
2

**A 12**

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 EMAIL: ardesign@bigpond.com

WORKING DRAWINGS  
 21ST MARCH 2025  
 BAL 29.0



CLIENT:  
 MATT & AMANDA PANCARI

PROJECT:  
 EXISTING BUILDINGS

ADDRESS:  
 126 BOURKES CREEK ROAD  
 PAKENHAM UPPER 3810

TITLE:  
 SELF CONTAINED UNIT

DESIGNER: A. REES  
 DFN-AD08125  
 DWN BY: A. REES  
 DATE: 01/2025  
 SCALE: 1:100 @ A3  
 REVIEWER: -

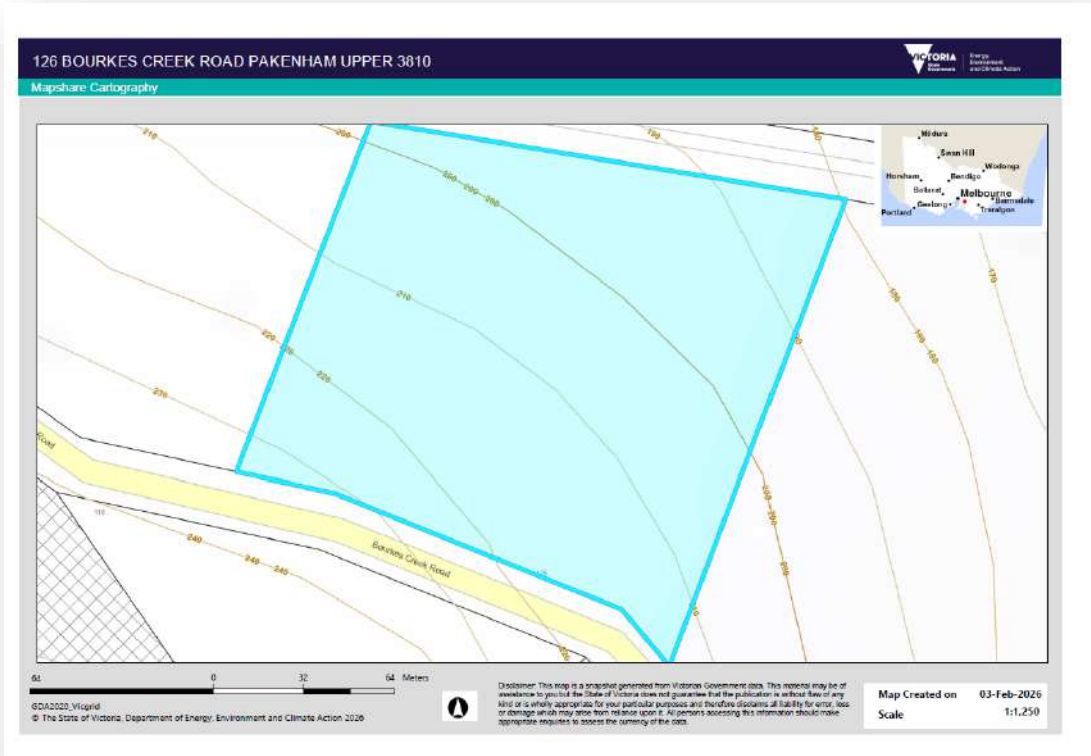
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STATUS: WORKING DRAWINGS

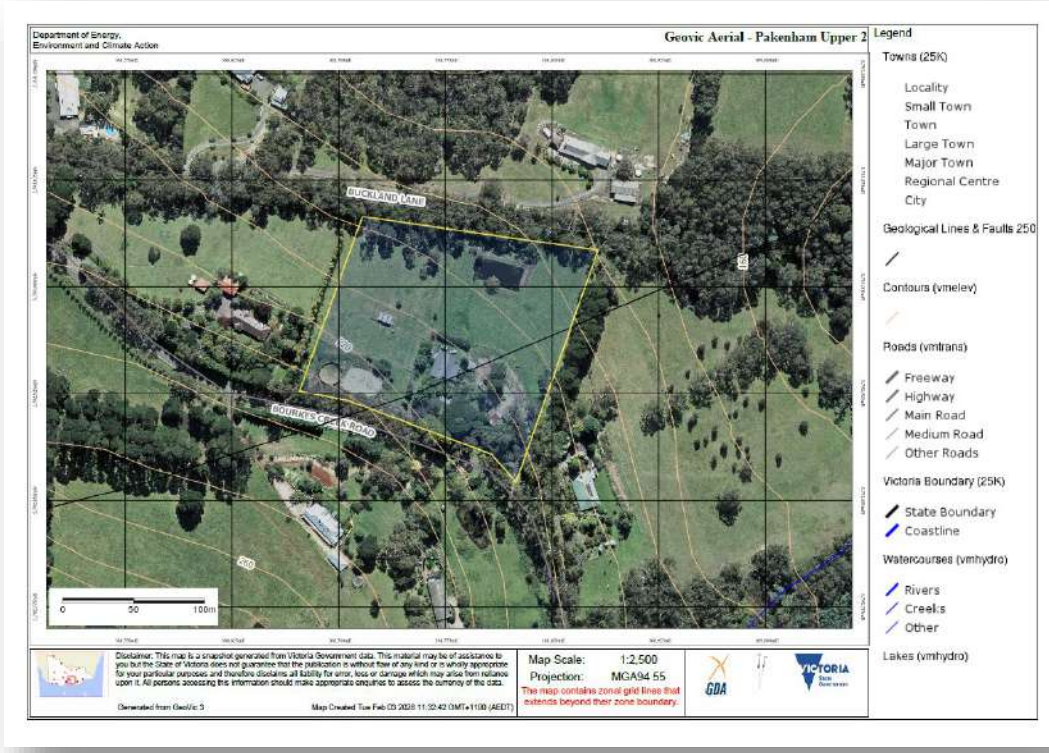
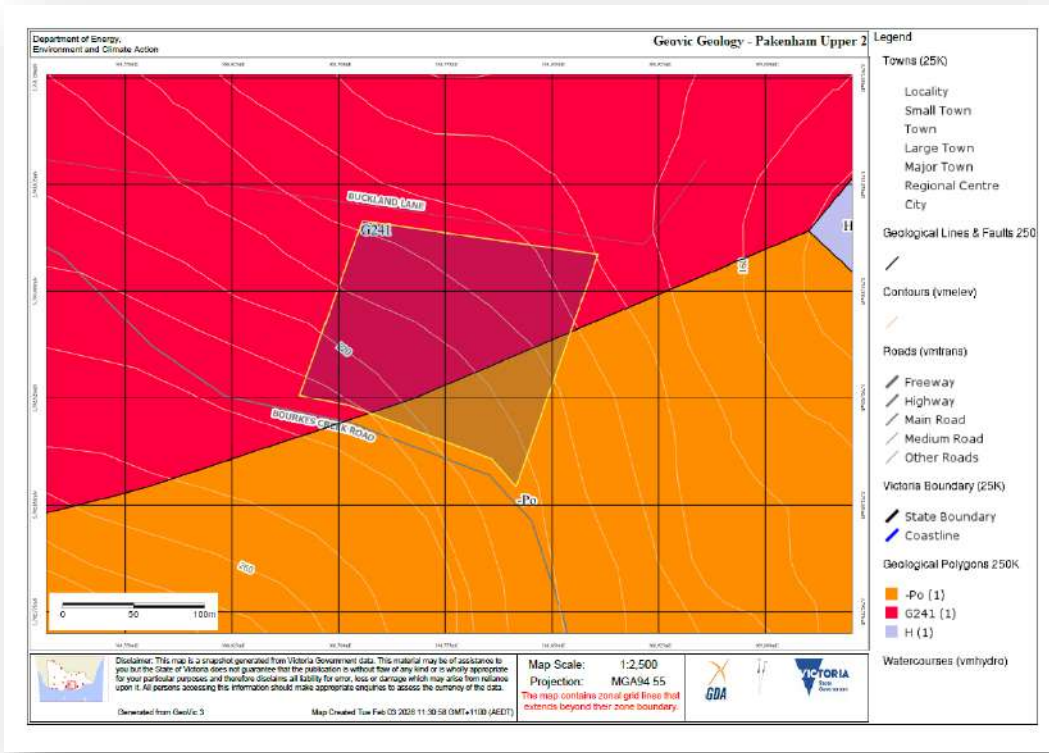
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## APPENDIX iii

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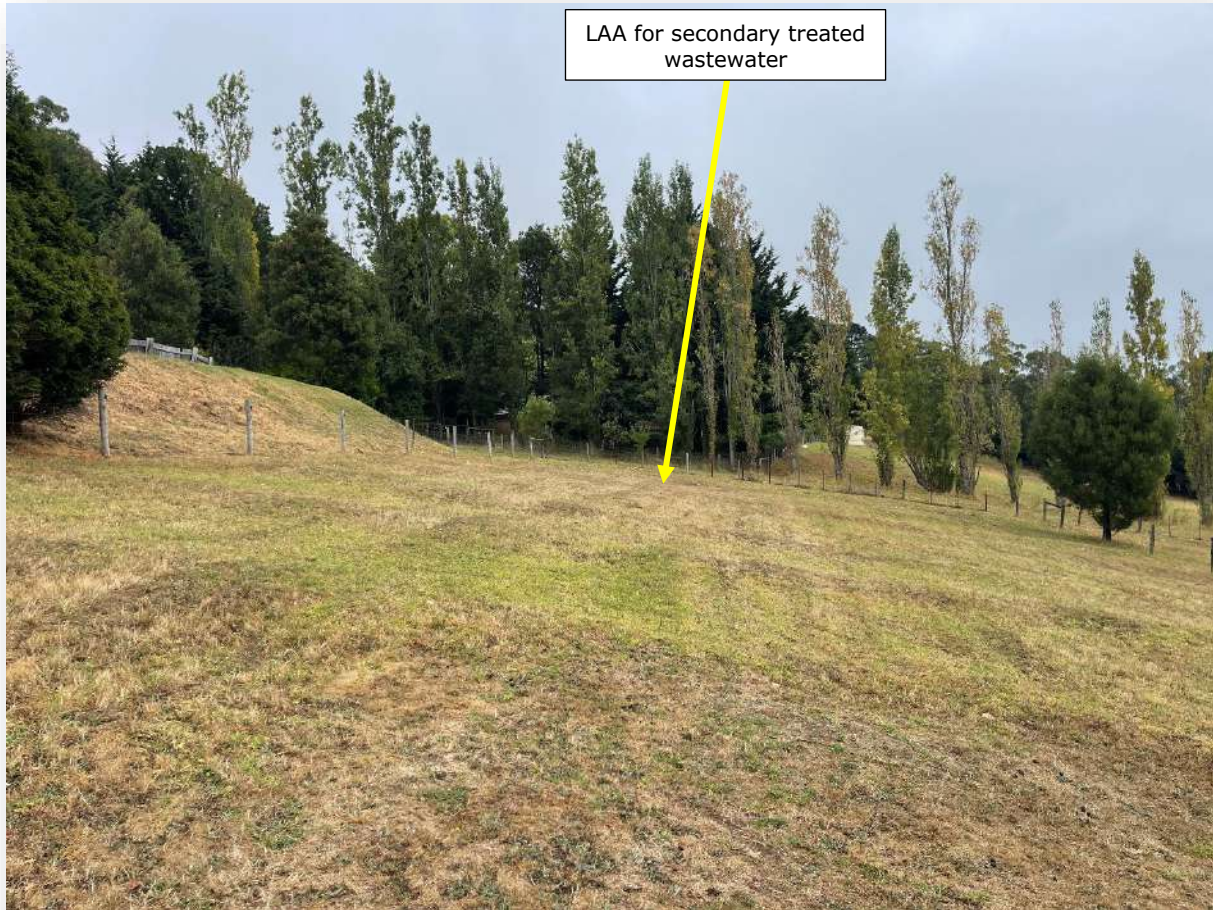
## EXISTING CONDITIONS



P1 - View towards the south west depicting the proposed LAA for secondary treated wastewater – specific location can be adjusted in consideration of the proposed 60 metre dam setback – diversion drains required especially upslope of the LAA (126 Bourkes Creek Road, Pakenham Upper).

  
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Planning Application: T250199  
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P2 - View towards the south west depicting the proposed LAA for secondary treated wastewater – specific location can be adjusted in consideration of the proposed 60 metre dam setback – diversion drains required especially upslope of the LAA (126 Bourkes Creek Road, Pakenham Upper).

  
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Planning Application: T250199  
Date Prepared: 05 May 2026

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**APPENDIX iv**

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**CLIMATE STATISTICS TEMPERATURE DANDENONG (086224) & RAINFALL  
BEACONSFIELD UPPER CLIMATE STATION (086261)**

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Australian Government Bureau of Meteorology

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Bureau Home > Climate > Climate Data Online > Monthly Statistics

## Climate statistics for Australian locations

### Monthly climate statistics

All years of record

About Climate statistics | Data file of statistics for this site (csv) | Site selection menu

#### Summary statistics DANDENONG

A summary of the major climate statistics recorded at this site is provided below. There is also an extended table with more statistics available. More detailed data for individual sites is available.

#### Site information

Site name: DANDENONG  
 Site number: 086224  
 Latitude: 37.98°S Longitude: 145.22°E  
 Elevation: 54 m  
 Commenced: 1960 Status: Open  
 Latest available data: 31 Aug 2017

#### Additional information

Additional site information

#### Nearest alternative sites

- 086077 MOORABBIN AIRPORT (11.2km)
- 086104 SCOPESBY RESEARCH INSTITUTE (12.0km)
- 086147 ASPENDALE CSIRO (12.6km)

View larger map

View: Main statistics | All available | Period: Use all years of data | Text size: Normal | Large

Statistics	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual	Years	Plot
<b>Temperature</b>															
Mean maximum temperature (°C)	26.6	26.2	24.3	20.5	16.2	14.0	13.3	14.3	16.3	19.3	20.8	23.5	19.6	12	1962-1974
Mean minimum temperature (°C)	12.8	13.4	11.7	9.9	7.6	5.6	5.3	6.1	7.2	8.5	9.5	11.0	9.0	11	1962-1974
<b>Rainfall</b>															
Mean rainfall (mm)	50.4	52.4	48.4	66.9	73.1	66.4	68.6	72.7	72.1	71.3	70.7	64.6	776.2	42	1960-2017
Decile 5 (median) rainfall (mm)	46.0	34.9	42.8	63.6	71.3	62.6	68.6	76.2	65.2	63.4	63.5	58.0	766.4	49	1960-2017
Mean number of days of rain ≥ 1 mm	5.9	4.9	6.4	8.1	11.1	10.9	12.0	12.7	11.3	9.5	8.4	7.4	108.6	49	1960-2017
<b>Other daily elements</b>															
Mean daily sunshine (hours)															
Mean number of clear days														9	1964-1974
Mean number of cloudy days														9	1964-1974
<b>9 am conditions</b>															
Mean 9am temperature (°C)														9	1964-1974
Mean 9am relative humidity (%)														9	1964-1974
Mean 9am wind speed (km/h)														9	1964-1974
9am wind speed vs direction plot															
<b>3 pm conditions</b>															
Mean 3pm temperature (°C)														9	1964-1974
Mean 3pm relative humidity (%)														9	1964-1974
Mean 3pm wind speed (km/h)														8	1964-1974
3pm wind speed vs direction plot															

red = highest value blue = lowest value

Product IDCJCM026 Prepared at Thu 14 Sep 2017 01:35:58 AM EST

#### Related information

**Maps**

- Long term climatology maps for selected elements
- Rainfall maps and temperature maps based on recent observations

**Recent observations for this site**

- Daily Weather Observations from this site are included in the Daily Weather Observations

**Climate outlooks**

- Monthly and seasonal climate outlooks

**Additional climate information**

- Weather station directory
- Climate and oceans data and analysis

Page created: Thu 14 Sep 2017 01:35:58 AM EST

Ref: 04BO26 LCA – 126 Bourkes Creek Road, Pakenham Upper  
 Page 49 of 55

Monthly Rainfall (millimetres)

BEACONSFIELD UPPER

Station Number: 086261 · State: VIC · Opened: 1968 · Status: Open · Latitude: 37.98°S · Longitude: 145.42°E · Elevation: 196 m

Statistics for this station calculated over all years of data

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
<b>Mean</b>	65.4	60.9	70.6	81.0	87.5	88.8	87.2	95.3	99.3	100.0	90.4	81.0	1016.0
<b>Lowest</b>	2.5	0.0	13.7	20.1	15.8	17.4	27.3	34.8	44.0	33.2	0.0	0.0	589.1
<b>5th percentile</b>	22.2	7.2	17.8	30.2	24.5	31.4	34.2	37.5	48.0	45.3	29.2	5.0	712.6
<b>10th percentile</b>	30.0	7.9	27.4	34.6	30.0	45.3	40.4	50.5	51.9	49.1	42.4	18.2	802.6
<b>Median</b>	65.6	43.8	64.6	71.4	90.6	84.2	76.9	95.8	86.3	102.0	93.0	80.8	1030.2
<b>90th percentile</b>	96.9	161.0	111.0	135.4	151.1	130.6	138.5	139.6	160.4	160.6	135.7	126.4	1226.1
<b>95th percentile</b>	120.8	183.1	129.6	157.1	178.4	159.9	144.8	148.7	201.3	165.0	160.7	171.4	1253.2
<b>Highest</b>	151.7	237.4	234.4	191.6	190.5	179.8	200.0	161.9	208.6	213.9	201.1	205.6	1323.9

Statistics calculated over the period 1961-1990

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
<b>Mean</b>	57.1	56.5	77.1	82.6	102.4	83.9	84.2	98.0	93.5	106.2	84.0	74.8	1000.0
<b>Lowest</b>	2.5	4.6	13.7	29.1	15.8	17.4	27.3	34.8	47.3	39.0	0.0	0.0	704.7
<b>5th Percentile</b>	22.4	7.6	15.1	35.4	22.4	29.8	37.5	47.9	52.4	50.2	26.2	1.9	724.5
<b>10th percentile</b>	26.3	8.0	26.6	46.6	39.8	33.1	40.9	52.0	58.0	56.6	32.0	8.5	806.2
<b>Median</b>	56.2	42.2	75.0	74.9	101.9	76.1	84.8	95.4	86.3	105.8	92.1	80.8	1008.9
<b>90th percentile</b>	85.8	164.4	111.3	114.2	159.1	125.0	124.8	146.7	130.1	158.4	123.3	125.0	1203.7
<b>95th percentile</b>	96.4	179.1	125.2	122.6	177.1	156.2	130.7	149.9	139.6	182.5	130.3	127.8	1251.8
<b>Highest</b>	130.9	204.0	234.4	191.6	181.6	179.8	144.0	161.9	208.0	213.9	201.1	171.4	1323.9

  
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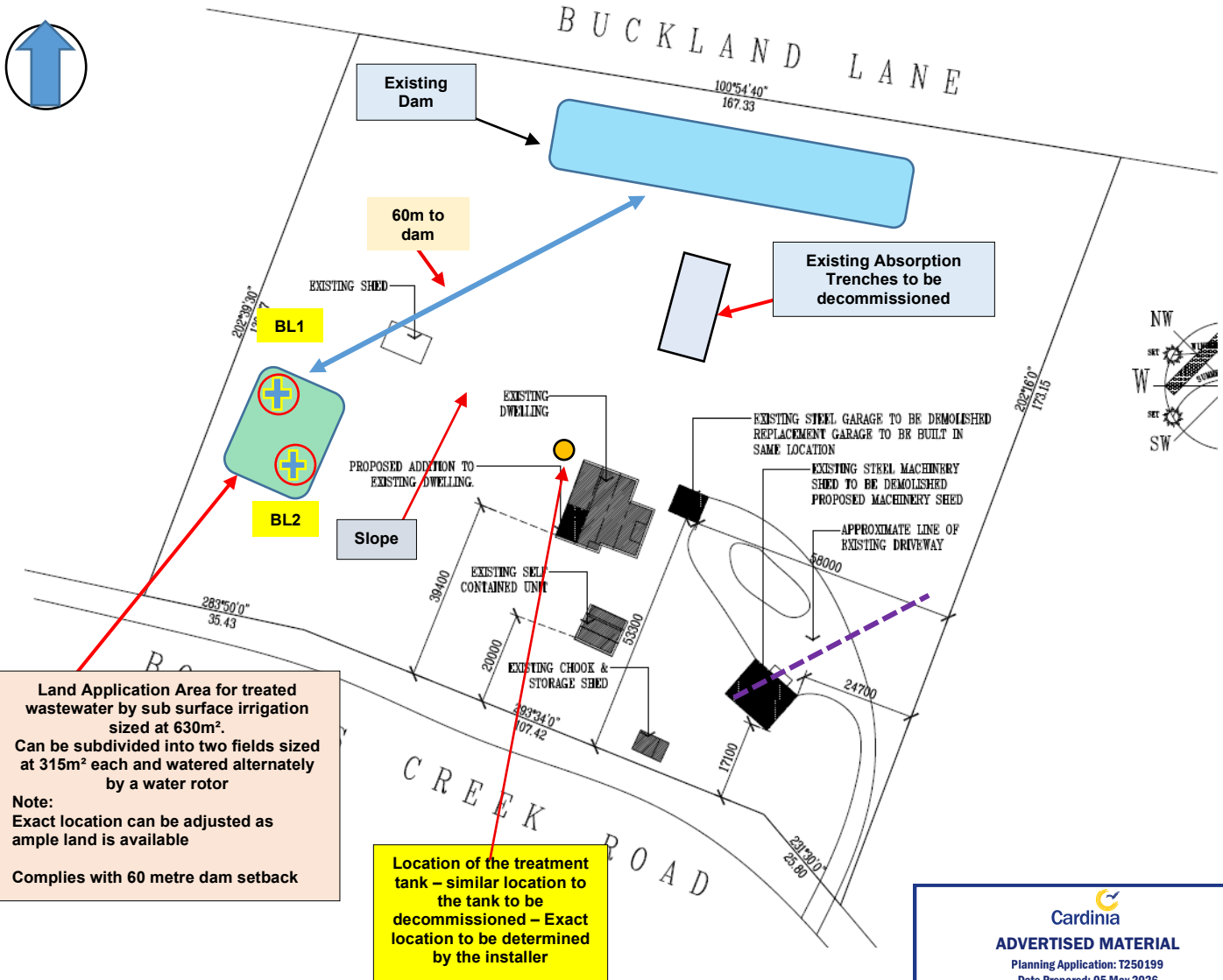
**APPENDIX v**

**TEST SITE LOCATION PLAN**

**BORE LOG LOCATION PLAN & PROPOSED LAA  
 (NOT TO SCALE)**

**Date: 04/12/2025**

126 Bourkes Creek Road, Pakenham Upper



**Land Application Area for treated wastewater by sub surface irrigation sized at 630m<sup>2</sup>. Can be subdivided into two fields sized at 315m<sup>2</sup> each and watered alternately by a water rotor**

**Note:**  
 Exact location can be adjusted as ample land is available

**Complies with 60 metre dam setback**

**Location of the treatment tank – similar location to the tank to be decommissioned – Exact location to be determined by the installer**

**Cardinia**  
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 Planning Application: T250199  
 Date Prepared: 05 May 2026

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**APPENDIX vi**

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**WATER BALANCE AND NITROGEN BALANCE**

**Nominated Area Water Balance & Storage Calculations - SSI**

**Site Address:** 1000 Pakenham Road, Pakenham Upper

**INPUT DATA**

Design Wastewater Flow	Q	1200	L/day
Design DiR	DI R	21	mm/week
Daily DiR		3.0	mm/day
Nominated Land Application Area	L	350	m sq
Crop Factor	C	0.7-0.8	unitless
Retained Rainfall	Rf	0.8	unitless
Rainfall Data	Beaconsfield Upper (080261)		
Evaporation Data	Cranbourne Botanic - (080375)		

1200 Ave hydraulic load

Parameter	Symbol	Formula	Units	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Days in month	D	1	days	31	28	31	30	31	30	31	31	30	31	30	31	366
Rainfall	R	1	mm/month	65.4	60.9	79.1	81.6	87.5	83.9	84.2	98	93.5	106.2	84	74.8	1000.1
Evaporation	E	1	mm/month	115	152.9	127.6	71.8	68.1	52.6	59.3	70.7	76.6	145.1	129.5	197.4	1287.8
Crop Factor	C			0.80	0.80	0.80	0.75	0.70	0.65	0.65	0.65	0.70	0.80	0.80	0.80	
<b>OUTPUTS</b>																
Evapotranspiration	ET	ExC	mm/month	92.0	122.3	102.1	54.6	47.7	34.2	38.5	46.0	53.6	116.1	103.6	157.9	988.68
Percolation	B	(DiR/7)xD	mm/month	93.0	84	93.0	90.0	93.0	90.0	93.0	90.0	93.0	90.0	93.0	90.0	1066.0
Outputs		ET+B	mm/month	185.0	206.32	195.1	144.6	140.7	124.2	131.5	139.0	143.6	209.1	193.6	250.9	2063.8
<b>INPUTS</b>																
Retained Rainfall	RR	RxRf	mm/month	52.32	49.72	63.28	66.08	70	67.12	67.36	78.4	74.8	84.96	67.2	59.84	800.08
Effluent Irrigation	W	(QxD)/L	mm/month	105.3	96.0	106.3	102.9	106.3	102.9	106.3	106.3	102.9	106.3	102.9	106.3	1261.4
Inputs		RR+W	mm/month	158.6	144.7	169.6	168.9	176.3	170.0	173.6	184.7	177.7	191.2	170.1	166.1	2061.6
<b>STORAGE CALCULATION</b>																
Storage remaining from previous month			mm/month	0.0	0.0	0.0	0.0	24.3	49.0	105.7	147.8	193.8	227.8	209.8	189.2	
Storage for the month	S	(RR+W)-(ET+E)	mm/month	-25.4	-61.6	-25.6	24.3	35.6	45.8	42.1	45.7	34.0	-17.8	-23.5	-84.8	108.6
Cumulative Storage	M		mm	0.0	0.0	0.0	24.3	60.0	105.7	147.8	193.6	227.6	209.8	186.2	101.4	1268.6
Maximum Storage for Nominated Area	N		mm	227.61												
	V	NxL	L	79663												
<b>LAND AREA REQUIRED FOR ZERO STORAGE</b>																
			m <sup>2</sup>	200	210	202	450	628	631	600	814	620	300	205	105	
<b>MINIMUM AREA REQUIRED FOR ZERO STORAGE:</b>				630.8 m <sup>2</sup>												

**Nitrogen Balance**

**Site Address:** 126 Bourkes Creek Road, Pakenham Upper

**SUMMARY - LAND APPLICATION AREA REQUIRED BASED NITROGEN BALANCE** 398 m<sup>2</sup>

**INPUT DATA<sup>1</sup>**

Wastewater Loading			Nutrient Crop Uptake		
Hydraulic Load	1200	L/day	Crop N Uptake	220	kg/ha/yr which equals 60.27 mg/m <sup>2</sup> /day
Effluent N Concentration	25	mg/L			
% N Lost to Soil Processes (Geary & Gardner 1996)	0.2	Decimal			
Total N Loss to Soil	6000	mg/day			
Remaining N Load after soil loss	24000	mg/day			

**NITROGEN BALANCE BASED ON ANNUAL CROP UPTAKE RATES**

Minimum Area required with zero buffer		Determination of Buffer Zone Size for a Nominated Land Application Area (LAA)	
Nitrogen	398 m <sup>2</sup>	Nominated LAA Size	300 m <sup>2</sup>
		Predicted N Export from LAA	2.16 kg/year
		Minimum Buffer Required for excess nutrient	98 m <sup>2</sup>

CELLS

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**APPENDIX vii**

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**BORELOGS**

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**BORELOG SHEET**

CLIENT: Matt and Amanda Pancari  
 PROJECT ADDRESS: 126 Bourkes Creek Road, Pakenham Upper  
 JOB NO: 04BO26 - LCA  
 FIELD WORK DATE: 10/02/26  
 LOGGED BY: Rob Krainz  
 DRILLING METHOD: 63mm Mechanical Auger, 100mm Earth Auger, Shovel and Crowbar

BORELOG 1				BORELOG 2			
DEPTH	Soil Profile	Clr	Fill	DEPTH	SOIL PROFILE	Clr	Fill
100mm	Loam (Br)			100mm	Loam (Br)		
200mm	Moist; Medium Dense			200mm	Moist; Medium Dense		
300mm				300mm	Clay Loam (Br Yl)		
400mm	Clay Loam (Br Yl)			400mm	Moist; Medium Dense		
500mm	Moist; Medium Dense			500mm	Slightly Mottled		
600mm	Slightly Mottled			600mm	Light Clay (Br Yl)		
700mm	Light Clay (Br Yl)			700mm	Moist; Medium Dense		
800mm	Moist; Medium Dense			800mm	Slightly mottled		
900mm	Slightly mottled			900mm			
1000mm				1000mm			
1100mm				1100mm			
1200mm	Med Clay (Br Yl)			1200mm	Med Clay (Br Yl)		
1300mm	Moist; Medium Dense			1300mm	Moist; Medium Dense		
1400mm	Slightly mottled			1400mm	Slightly mottled		
1500mm				1500mm			
1600mm	End Log			1600mm	End Log		
1700mm				1700mm			
1800mm				1800mm			
1900mm				1900mm			
2000mm				2000mm			
2100mm				2100mm			

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Landscape feature or structure	OWMS with primary treated effluent	OWMS with secondary treated effluent or Level 3 greywater effluent	OWMS with Level 1 and 2 greywater effluent
channel (stock and domestic)			
In-ground water tank (See Note 2)	15	7.5	3
Closed stormwater drain	6	3	2
Open stormwater drain	50	30	10
Gas supply pipe	3	1.5	1.5
<b>Recreational areas</b>			
Children's grassed playground (See Note 3)	6	3	2
In-ground swimming pool	6	3	2
<b>Surface waters</b>			
Dam, lake or reservoir (used as source water for drinking or within a special water supply catchment) (See Notes 5, 6)	300	300	150
Waterways (used as a source of water for drinking or within a special water supply catchment) (See Notes 4, 5)	100	100	50
Waterways not used as source of water for drinking or within a special water supply catchment (for example, wetlands (continuous or ephemeral); estuaries (See Note 4)	60	30	30
Ocean beach at high-tide mark; dams, reservoirs or lakes not used as source of water for drinking or within a special water supply catchment (See Note 6)	60	30	30
Dam, lake or reservoir (used as source water for drinking or within a special water supply catchment) (See Notes 5, 6)	300	300	150
Drainage lines (See Note 7)	40	20	20

Landscape feature or structure	OWMS with primary treated effluent	OWMS with secondary treated effluent or Level 3 greywater effluent	OWMS with Level 1 and 2 greywater effluent
Up-slope of cutting/escarpment (See Note 8)	15	15	15
Groundwater bores			
Groundwater bores – category 1 and 2a soils	NA	50	20
Groundwater bores – category 2b to 6 soils	20	20	20
Soil depth (See Note 9)			
Depth to highest seasonal water table (See Note 10)	1.5	1.5	1.5
Depth to hydraulically limiting layer (for example, bedrock)	1.5	0.6	0.6

Notes to Table 4-10:

1. Establishing an OWMS up-slope of a building may have implications for the structural integrity of the building. This should be examined by a building surveyor on a site-by-site basis.
2. It is recommended that OWMS are installed down-slope of an in-ground water tank.
3. Means a school, council, community or other children's grassed playground managed by an organisation which may contain play equipment but does not mean a sports field.
4. Means a waterway as defined in the *Water Act 1989*.
5. Applies to land adjacent to a dam, lake, reservoir or waterway that provides source water used for the supply of public drinking water or, which is subject to an environmental significance overlay (ESO) that designates maintenance of water quality as the environmental objective to be achieved, or within a special water supply catchment area listed in Schedule 5 of the *Catchment and Land Protection Act 1994*.
6. Does not apply to dams, lakes or reservoirs located above ground level that cannot receive runoff.
7. An intermittent stream that is found to be a drainage line (drainage depression) with no defined banks and the bed is not incised. The topography of the drainage line should be demonstrated in writing and photographs in the LCA report.
8. A cutting/escarpment from which water is likely to emanate.
9. Depth is measured vertically through the soil profile from the base of absorption/ETA trenches/beds or from the irrigation pipes.
10. The highest seasonal water table occurs when groundwater is closest to the ground surface. This usually occurs in the wettest months of the year.

  
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All nominal buffers (**Tier 1**) are achievable for a suitably sized LAA.

## 8. Monitoring, Operation and Maintenance

Maintenance is to be carried out in accordance with the certificate of approval and Council's permit conditions. The system proposed above will only function adequately if appropriately maintained. Residents will be required to carry out maintenance as discussed below.

### To ensure the treatment system functions adequately, residents must:

- Have a suitably qualified maintenance contractor service the AWTS as required by Council under the approval to operate.
- Any pump will need regular maintenance and seals checked regularly.
- Use household cleaning products sparingly and check that they are suitable for septic tanks;
- Keep as much fat and oil out of the system as possible; and
- Conserve water

### To ensure the land application system functions adequately, residents must:

- Regularly harvest (mow) vegetation within the LAA and remove this to maximise uptake of water and nutrients;
- Monitor and maintain the subsurface irrigation system following the manufacturer's recommendations, including flushing of irrigation lines;
- Regularly clean in-line filters;
- Not erect any structures over the LAA;
- Minimise vehicle access to the LAA, to prevent compaction; and
- Ensure that the LAA is kept level by filling any depressions with good quality topsoil (not clay).
- Good water conservation is an important aspect in the overall management of onsite systems. It will be important for the ongoing performance of both the treatment and application system that they are not overloaded hydraulically. AAA rated plumbing is recommended for all future water fixtures.

## 9. Stormwater Management

As mentioned above, stormwater runoff has been considered. The construction and maintenance of diversion drains is recommended. Roof stormwater must not be disposed in the LAA.

## 10. Conclusions

As a result of our investigations, we recommend that a sustainable onsite wastewater management system can be built to meet the needs of a new residence on the allotment. Specifically, we recommend the following:

- Decommission the existing primary treatment plant and absorption trenches absorption trenches;
- Utilise and commission the existing Turbo Jet secondary wastewater treatment system that meets 20/30 standards;
- Site size is of sufficient size to allow for an appropriately sized effluent treatment field sized at 630m<sup>2</sup> to comply with a 60 metre dam setback as for additional conservatism depicted on the site plan using Sub Surface Irrigation (SSI) in conjunction with secondary treated wastewater.
- The LAA area 630m<sup>2</sup> can be subdivided into two separate fields (315m<sup>2</sup> each) that can be watered alternately if the installer deems it suitable. An automatic indexing valve generically known as a 'roto-valve' can be used to allow alternation between the areas with each pump cycle.
- Do not allow any vehicle access and utilise surface plants that tolerate wet conditions (including roots) and have a high evapo-transpiration capacity. Where possible use plants well exposed to the sun. Plant high transpiration species to minimise waterlogging.
- LAA for SSI can be adjusted in consultation with Eco Vision Australia.
- Use of low phosphorus and low sodium (liquid) detergents to improve effluent quality and maintain soil properties;
- Operation and management of the treatment and disposal system in accordance with manufacturer's recommendations and the recommendations made in this report; and
- Construction of diversion drains on sides of the LAA to divert stormwater and surface water runoff.

*Robert Krainz*

**Land Management Consultant**

Grad Cert. Environmental Management (CSU), Ad. Dip. Land Management (Syd), Cert Hort. Landscape & Nursery (Qld)

## 11. References & Bibliography

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Charman, P.E.V. & Murphy, B.W., ed. (2007), *Soils Their Properties and Management (Third Edition)*, Oxford University Press.

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March 2003 – *Land Capability Assessment for On-site Domestic Wastewater Management*.

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## 11. APPENDICES

- i. Site Locality Plan – Property Reports
- ii. Proposed Development Plan
- iii. Existing conditions
- iv. Bureau of Meteorology Climate Report for Dandenong (086224) and Rainfall Beaconsfield Upper (086261)
- v. Test Site Location Plan
- vi. Water balance and nitrogen balance
- vii. Borelog Descriptions

  
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## APPENDIX i

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### SITE LOCALITY PLAN - PROPERTY PLANNING REPORTS

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## PROPERTY REPORT



Created at 03 February 2025 11:44 AM

### PROPERTY DETAILS

Lot and Plan Number: **Lot 2 LP219000**  
 Address: **126 BOURKES CREEK ROAD PAKENHAM UPPER 3810**  
 Standard Parcel Identifier (SPI): **2\LP219000**  
 Local Government Area (Council): **CARDINIA**  
 Council Property Number: **1120600600**  
 Directory Reference: **Melway 313 K12**

[www.cardinia.vic.gov.au](http://www.cardinia.vic.gov.au)

### SITE DIMENSIONS

All dimensions and areas are approximate. They may not agree with those shown on a title or plan.



**Area:** 23715 sq. m (2.37 ha)

**Perimeter:** 640 m

For this property:

— Site boundaries

— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available

Calculating the area from the dimensions shown may give a different value to the area shown above

For more accurate dimensions get copy of plan at [Title and Property Certificates](#)

### UTILITIES

Rural Water Corporation: **Southern Rural Water**  
 Melbourne Water Retailer: **South East Water**  
 Melbourne Water: **Inside drainage boundary**  
 Power Distributor: **AUSNET**

### STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**  
 Legislative Assembly: **PAKENHAM**

### PLANNING INFORMATION

Property Planning details have been removed from the Property Reports to avoid duplication with the Planning Property Reports from the Department of Transport and Planning which are the authoritative source for all Property Planning information.

The Planning Property Report for this parcel can found here - [Planning Property Report](#).

Planning Property Reports can be found via these two links:

**Vicplan** <https://mapshare.vic.gov.au/vicplan/>

**Property and parcel search** <https://www.land.vic.gov.au/property-and-parcel-search>

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PROPERTY REPORT: Lot 2 LP219000

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## PLANNING PROPERTY REPORT



From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) at 03 February 2026 11:48 AM

### PROPERTY DETAILS

Address: **126 BOURKES CREEK ROAD PAKENHAM UPPER 3610**  
 Lot and Plan Number: **Lot 2 LP219000**  
 Standard Parcel Identifier (SPI): **2\LP219000**  
 Local Government Area (Council): **CARDINIA** [www.cardinia.vic.gov.au](http://www.cardinia.vic.gov.au)  
 Council Property Number: **1120600600**  
 Planning Scheme: **Cardinia** [Planning Scheme - Cardinia](#)  
 Directory Reference: **Melway 313 K12**

### UTILITIES

Rural Water Corporation: **Southern Rural Water**  
 Melbourne Water Retailer: **South East Water**  
 Melbourne Water: **Inside drainage boundary**  
 Power Distributor: **AUSNET**

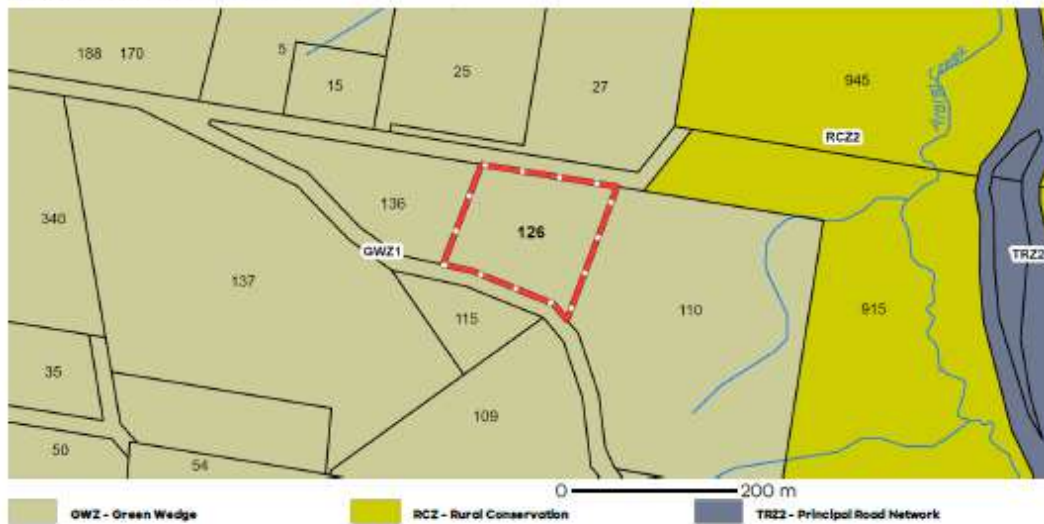
### STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**  
 Legislative Assembly: **PAKENHAM**  
**OTHER**  
 Registered Aboriginal Party: **Bunurong Land Council  
 Aboriginal Corporation**  
 Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

### Planning Zones

[GREEN WEDGE ZONE \(GWZ\)](#)  
[GREEN WEDGE ZONE - SCHEDULE 1 \(GWZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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PLANNING PROPERTY REPORT: 06 BOURKES CREEK ROAD PAKENHAM UPPER 3610

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**PLANNING PROPERTY REPORT**



**Planning Overlays**

RUSHFIRE MANAGEMENT OVERLAY (BMO)



BMO - Bushfire Management Overlay Water course

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 1 (ESO1)



ESO - Environmental Significance Overlay Water course

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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PLANNING PROPERTY REPORT: 05 BOURKES CREEK ROAD PAKENHAM UPPER 3020

Page 2 of 4

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## PLANNING PROPERTY REPORT

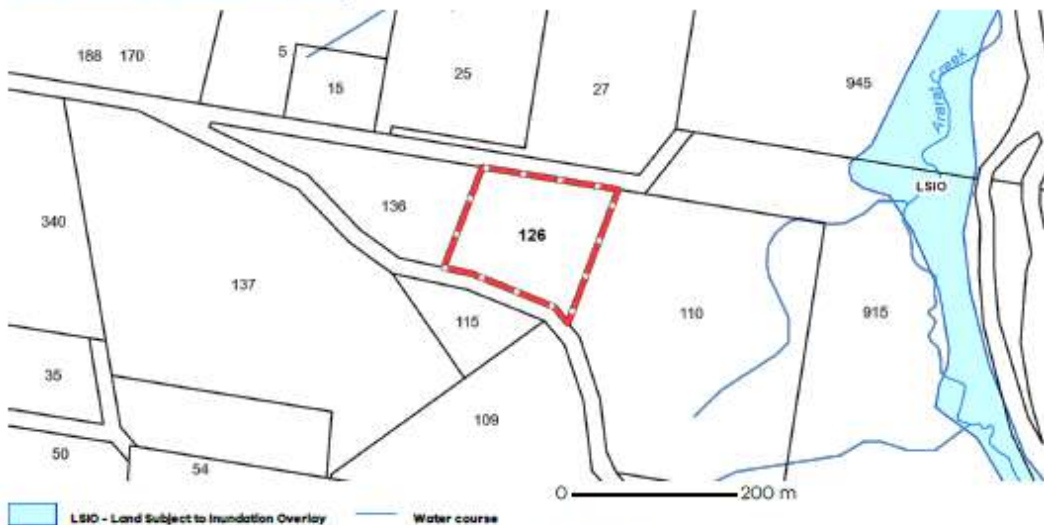


### Planning Overlays

#### OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

#### LAND SUBJECT TO INUNDATION OVERLAY (LSIO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

### Further Planning Information

Planning scheme data last updated on 23 January 2026.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.vic.gov.au/vicplan/>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

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PLANNING PROPERTY REPORT: 05 BOURKES CREEK ROAD PAKENHAM UPPER 2026

Page 3 of 4

## PLANNING PROPERTY REPORT



### Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

### Native Vegetation

Native plants that are indigenous to Victoria and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#).

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Regulations Map (NVR Map) <https://mapshare.vic.gov.au/nvr/> and [Native vegetation \(environment.vic.gov.au\)](#) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](#).

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Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1992 (Vic).

PLANNING PROPERTY REPORT: 05 BOURKES CREEK ROAD PAKENHAM UPPER 2020

Page 4 of 4

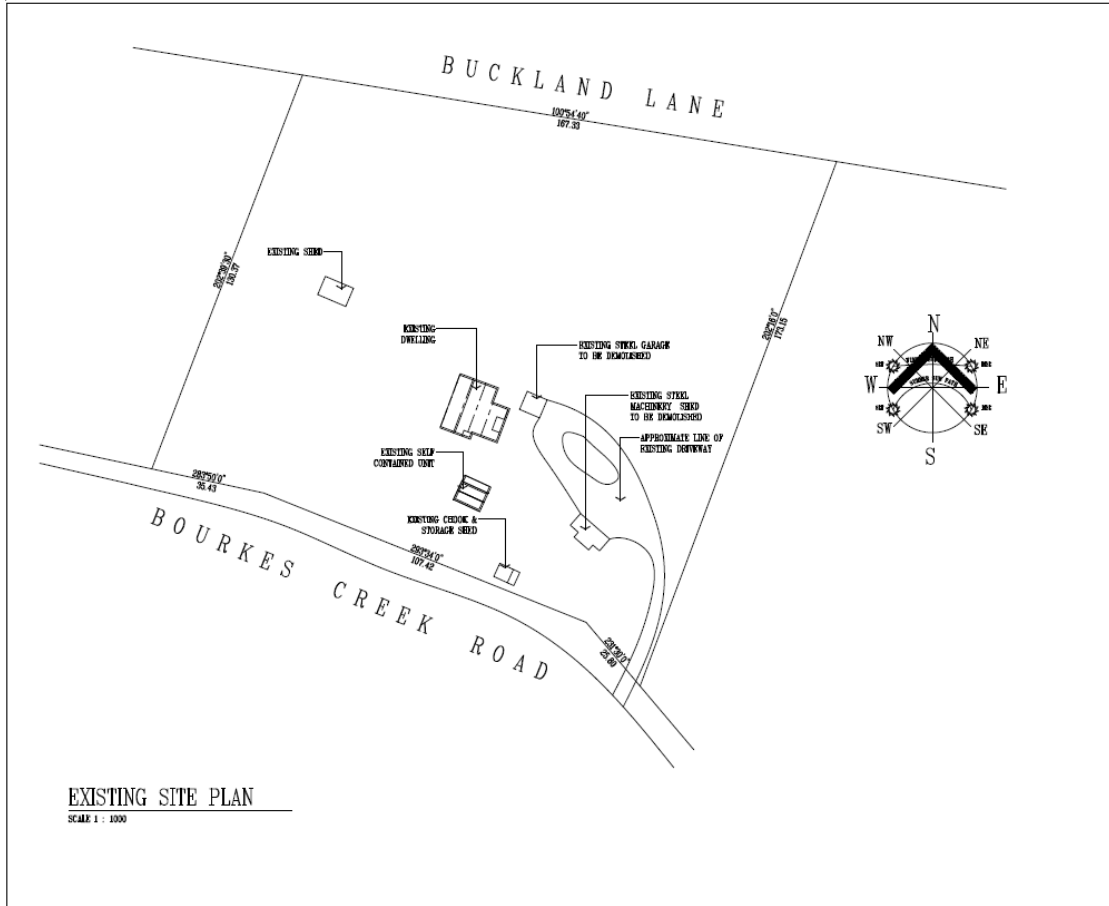
**APPENDIX ii**

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**PROPOSED DEVELOPMENT PLAN,  
MAPSHARE, GEOVIC & AERIAL PHOTO**

  
**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250199  
Date Prepared: 05 May 2026

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**EXISTING SITE PLAN**  
 SCALE 1 : 1000

**A 01**

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**Amber Rees Design**

16 HAMILTON STREET  
 CORNFELIA VIC 3984  
 MOB: 0437 253 564  
 EMAIL: ardesign@bigpond.com

WORKING DRAWINGS  
 21ST MARCH 2025  
 BAL 29.0

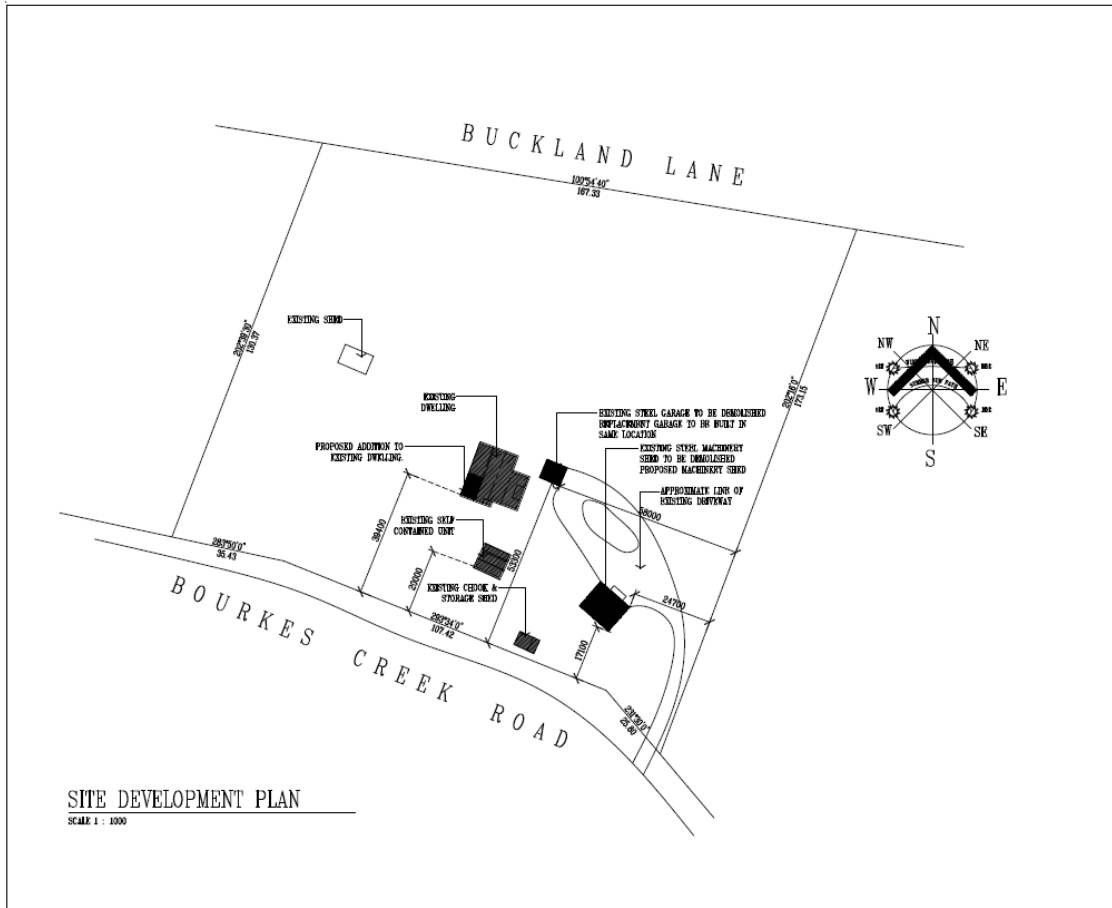
**Design Matters** Member  
Design Matters is a not-for-profit association of design professionals. It is the peak body for the building design industry.

CLIENT:	MATT & AMANDA PANCARI
PROJECT:	EXISTING BUILDINGS
ADDRESS:	126 BOURKES CREEK ROAD PAKENHAM UPPER 3810
TITLE:	EXISTING SITE CONDITIONS
DESIGN:	A REES DP-ADD0125
DRAWN BY:	A REES
DATE:	01 : 2025
SCALE:	1 : 1000 @ A3
REVISION:	-
DRAWING NO:	585
STATUS:	WORKING DRAWINGS

**ADVERTISED MATERIAL**

Planning Application: T250199  
 Date Prepared: 05 May 2026

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**SITE DEVELOPMENT PLAN**  
 SCALE 1 : 1000

**A 02**

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 EMAIL: ardesign@bigpond.com

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Quality, Integrity, Innovation  
 THE PEAK BODY FOR THE BUILDING DESIGN PROFESSION

CLIENT: **MATT & AMANDA PANCARI**

PROJECT: **EXISTING BUILDINGS**

ADDRESS: **126 BOURKES CREEK ROAD  
 PAKENHAM UPPER 3810**

TITLE: **SITE DEVELOPMENT PLAN**

DESIGN: **A. REES**  
 DFN-ADR1215

DRAWN BY: **A. REES**

DATE: **01 : 2025**

SCALE: **1 : 1000 @ A3**

REVISION: **-**

DRAWING NO: **585**

STATUS: **WORKING DRAWINGS**

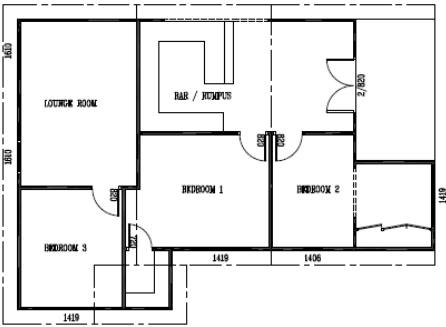
**Cardina**

**ADVERTISED MATERIAL**  
 Planning Application: T250199  
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ALL DIMENSIONS AND SPACES SHALL BE CHECKED ON THE FIELD TO CORROBORATE THE TRUE OR FALSE OF THE DIMENSIONS AND SPACES. THE DIMENSIONS AND SPACES SHALL BE CHECKED BY THE ARCHITECT BEFORE COMMENCING WORK.  
 WORK TO BE COMPLETED TO BE COMPLETED WITHIN THE TIME FRAME OF WORK AS SPECIFIED IN THE CONTRACT.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND MATERIALS TO THE WORK.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND MATERIALS TO THE WORK.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND MATERIALS TO THE WORK.  
 THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND MATERIALS TO THE WORK.

**WALL LEGEND:**  
 - - - - - WALL TO BE DEMOLISHED  
 ——— PROPOSED WALLS EXISTING WALLS  
 ——— EXISTING WALLS



EXISTING FLOOR PLAN - DWELLING - BEFORE BUILDING WORKS  
 SCALE 1 : 100

**A 03**

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 BAL 29.0



CLIENT:  
 MATT & AMANDA PANCARI

PROJECT:  
 EXISTING BUILDINGS

ADDRESS:  
 126 BOURKES CREEK ROAD  
 PAKENHAM UPPER 3610

TITLE:  
 DWELLING FLOOR PLAN  
 DESIGNER:  
 A REES  
 DP-AD30125  
 DWN BY:  
 A REES  
 DATE:  
 01/03/25  
 SCALE:  
 1:100 @ A3  
 REVISION:  
 -

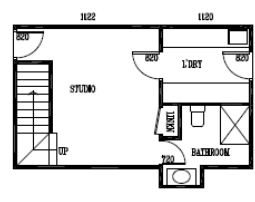
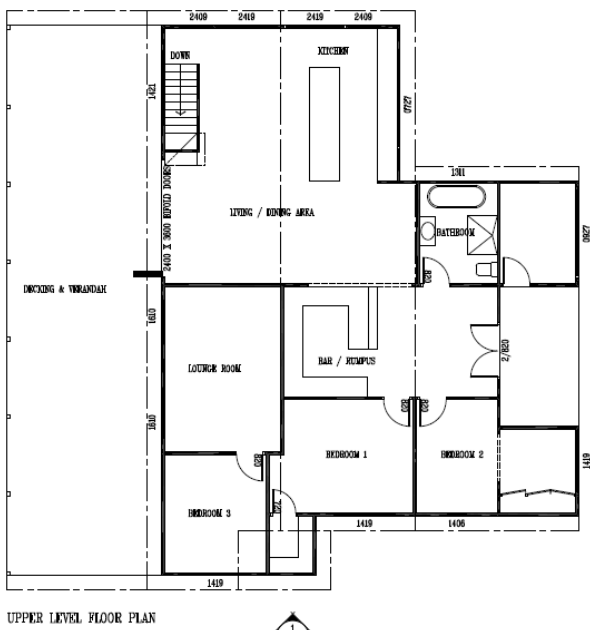
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 STATUS:  
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**Cardinia**  
**ADVERTISED MATERIAL**  
 Planning Application: T250199  
 Date Prepared: 05 May 2026

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ALL DIMENSIONS AND LEVELS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK OR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LEVELS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LEVELS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LEVELS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LEVELS ON SITE.

**WALL LEGEND:**  
 - - - - - WALLS TO BE DEMOLISHED  
 - - - - - PROPOSED BRICKS EXTERIOR WALLS  
 - - - - - EXISTING WALLS



EXISTING FLOOR PLAN - DWELLING - AFTER BUILDING WORKS  
 SCALE 1 : 100

**A 04**

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS OF THE EXISTING BUILDING PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LEVELS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND LEVELS ON SITE.

**Amber Rees Design**  
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 EMAIL: ardesign@bigpond.com

WORKING DRAWINGS  
 21ST MARCH 2025  
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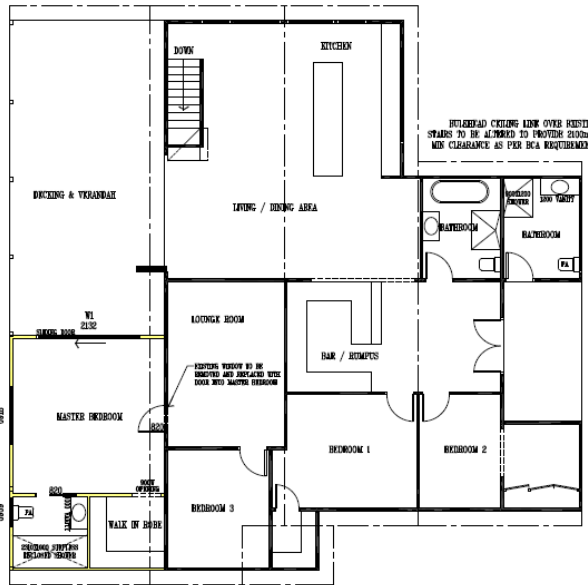
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 PROJECT: EXISTING BUILDINGS  
 ADDRESS: 126 BOURKES CREEK ROAD, PAKENHAM UPPER 3610  
 TITLE: DWELLING FLOOR PLAN  
 DESIGNER: A. REES  
 DWN BY: A. REES  
 DATE: 01/03/25  
 SCALE: 1:100 @ A3  
 DRAWING NO: 585  
 STATUS: WORKING DRAWINGS



**Cardina**  
**ADVERTISED MATERIAL**  
 Planning Application: T250199  
 Date Prepared: 05 May 2026

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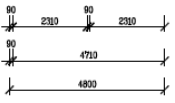
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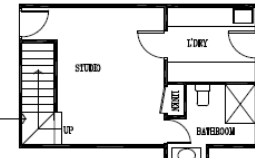
**WALL LEGEND:**

- WALLS TO BE DEMOLISHED
- PROPOSED BRICK EXTERIOR WALLS
- EXISTING WALLS

NEW AREAS TO BE CONSTRUCTED STRICTLY IN ACCORDANCE WITH AS3745-2002. EXISTING FLOORS TO BE REINFORCED TO OUTSIDE AIR AS PER MCC 2008 FLOOR SLABS. 40L/S FOR KITCHEN AND LAUNDRY, 25L/S FOR BATHROOMS, RESTROOMS AND WC'S.



**PROPOSED FLOOR PLAN - DWELLING - ADDITION & RECTIFICATION WORKS**  
 SCALE 1 : 100



**A 05**

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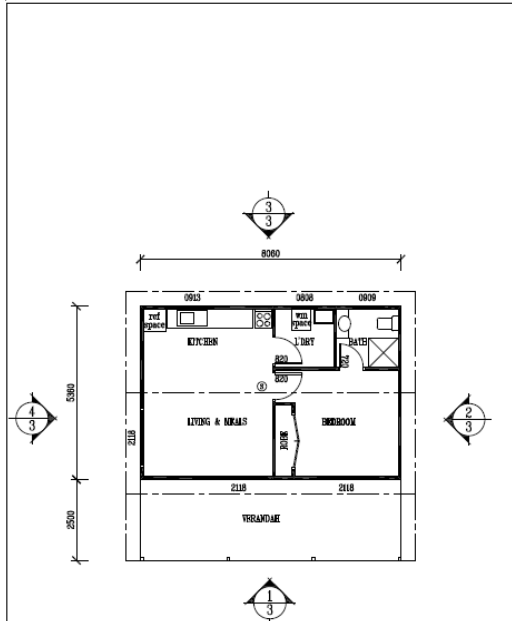
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 21ST MARCH 2025  
 BAL 29.0



CLIENT:	MATT & AMANDA PANCARI
PROJECT:	EXISTING BUILDINGS
ADDRESS:	126 BOURKES CREEK ROAD PAKENHAM UPPER 3810
TITLE:	DWELLING FLOOR PLAN
DESIGN:	A. REES DP-1250125
DRAWN BY:	A. REES
DATE:	01. 2025
SCALE:	1 : 100 @ A3
DRAWING NO.:	585
STATUS:	WORKING DRAWINGS

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 Planning Application: T250199  
 Date Prepared: 05 May 2026

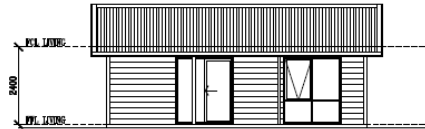
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EXISTING FLOOR PLAN - SELF CONTAINED UNIT

SCALE 1 : 100

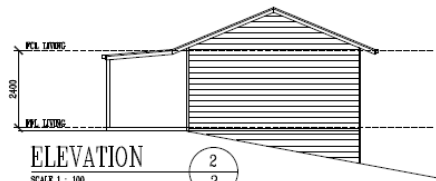
EXISTING SELF CONTAINED UNIT -  
 NO ALTERATIONS



ELEVATION 1

1  
2

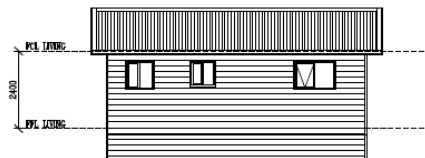
SCALE 1 : 100



ELEVATION 2

2  
2

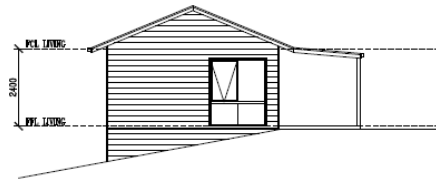
SCALE 1 : 100



ELEVATION 3

3  
2

SCALE 1 : 100



ELEVATION 4

4  
2

SCALE 1 : 100

**A 12**

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CLIENT: MATT & AMANDA PANCARI

PROJECT: EXISTING BUILDINGS

ADDRESS: 126 BOURKES CREEK ROAD  
 PAKENHAM UPPER 3810

TITLE: SELF CONTAINED UNIT

DESIGNER: A. REES  
 DTP: ADP0125  
 DWN BY: A. REES  
 DATE: 01/03/2025  
 SCALE: 1:100 @ A3  
 REVIEWER: -

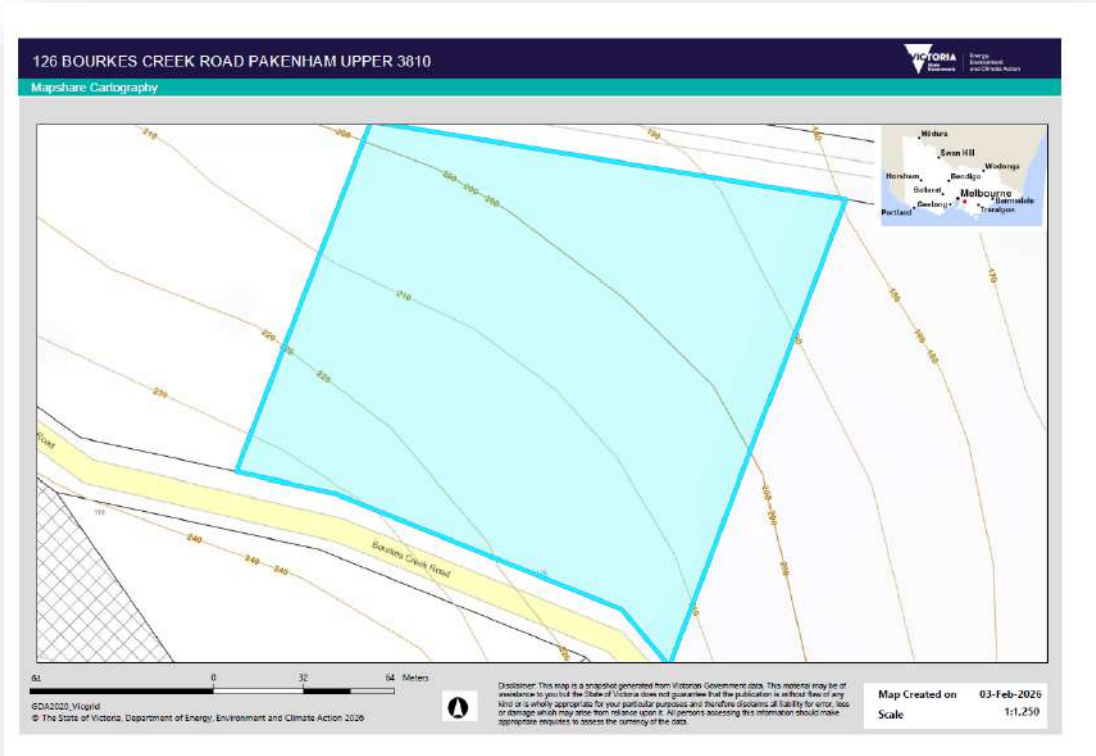
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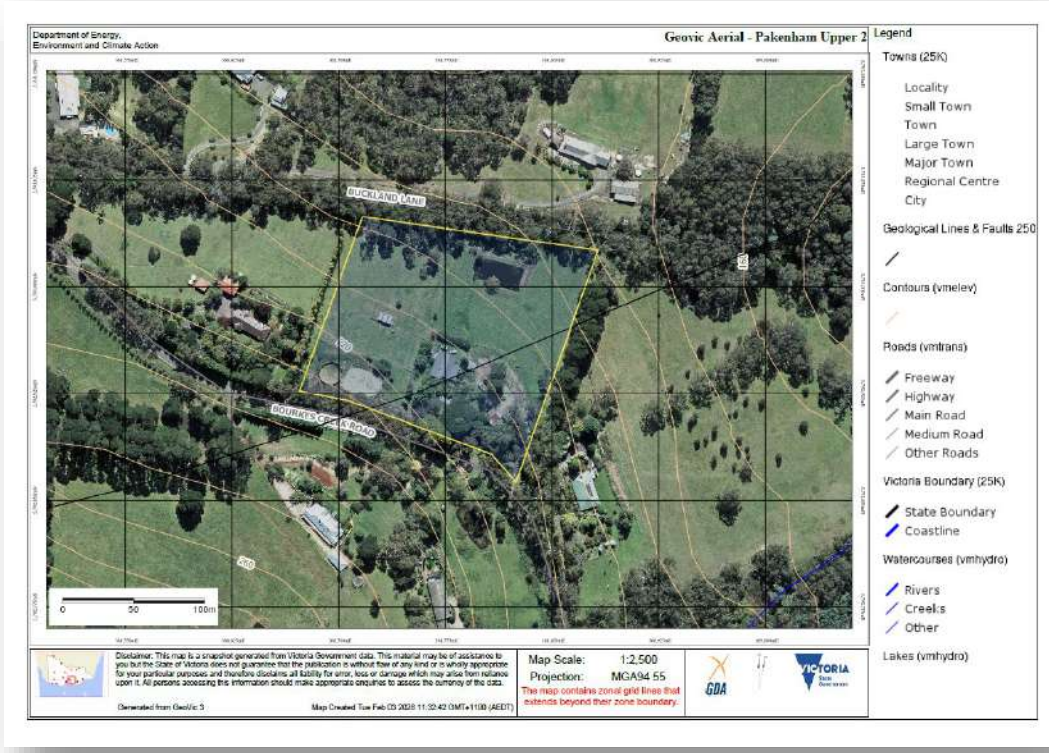
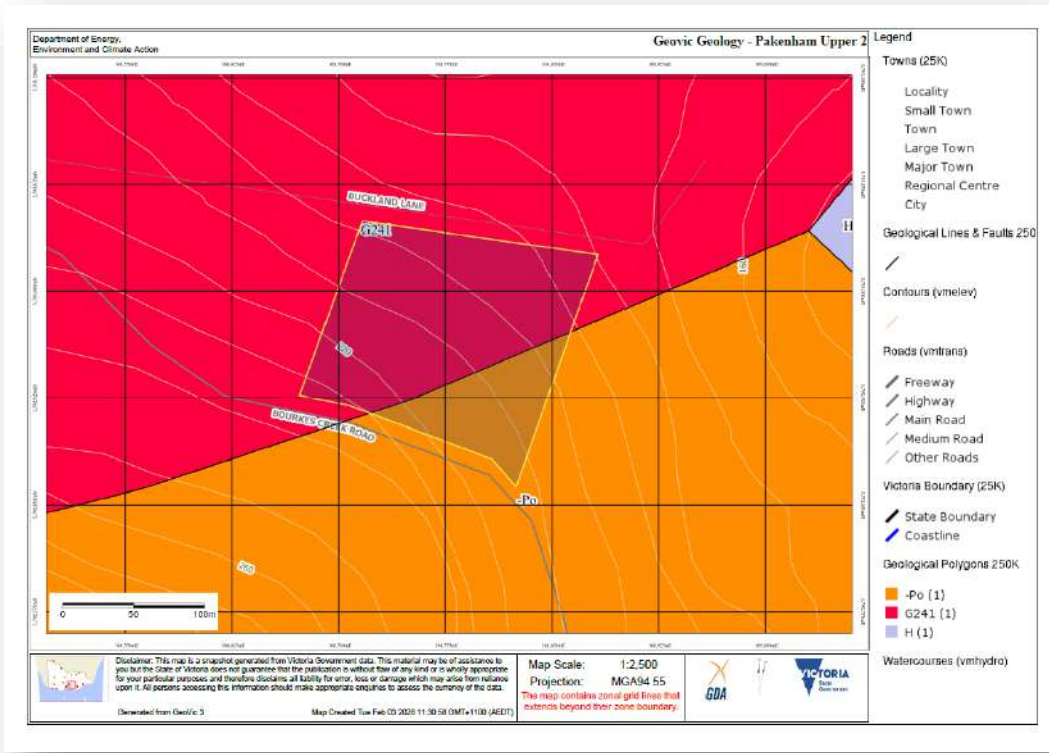
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## APPENDIX iii

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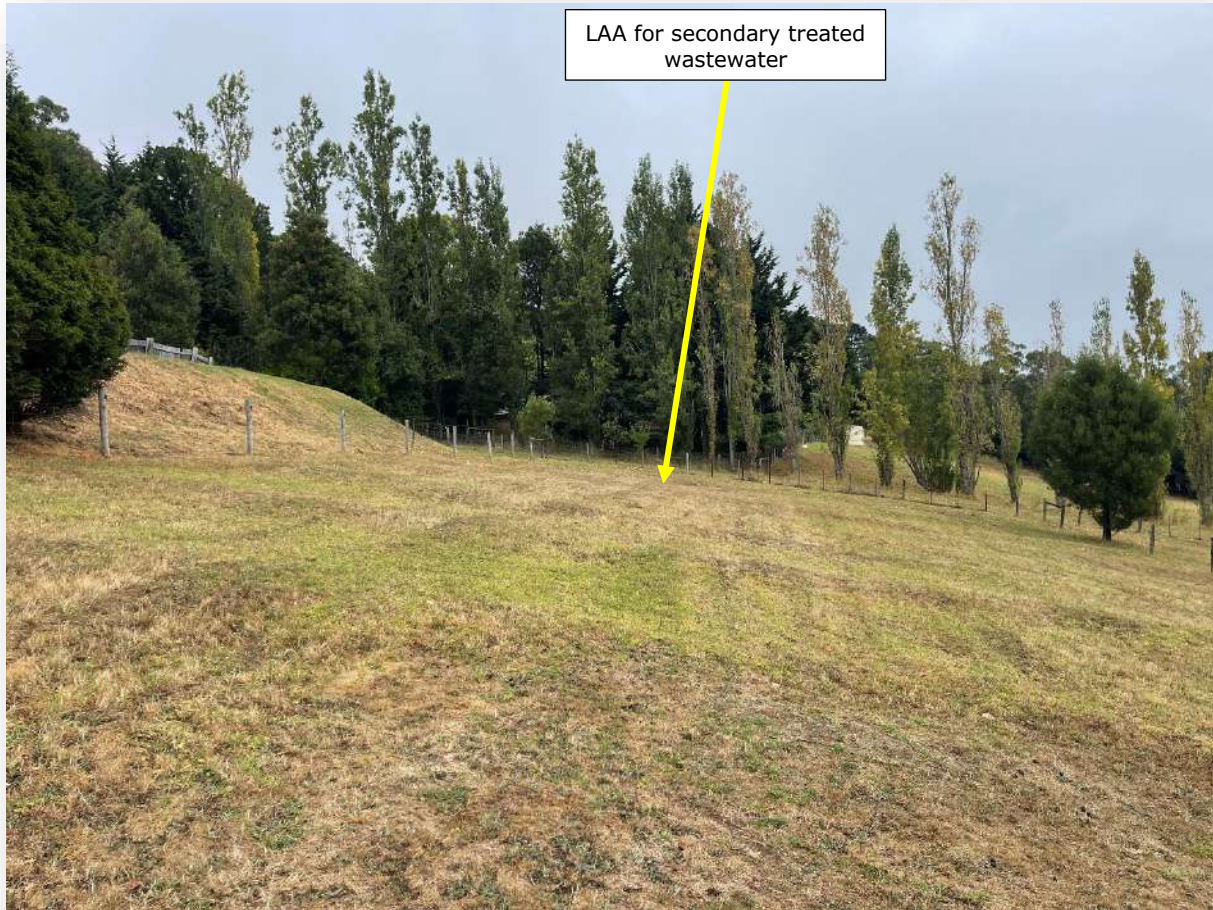
## EXISTING CONDITIONS



P1 - View towards the south west depicting the proposed LAA for secondary treated wastewater – specific location can be adjusted in consideration of the proposed 60 metre dam setback – diversion drains required especially upslope of the LAA (126 Bourkes Creek Road, Pakenham Upper).

  
**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250199  
Date Prepared: 05 May 2026

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P2 - View towards the south west depicting the proposed LAA for secondary treated wastewater – specific location can be adjusted in consideration of the proposed 60 metre dam setback – diversion drains required especially upslope of the LAA (126 Bourkes Creek Road, Pakenham Upper).

  
**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250199  
Date Prepared: 05 May 2026

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**APPENDIX iv**

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**CLIMATE STATISTICS TEMPERATURE DANDENONG (086224) & RAINFALL  
BEACONSFIELD UPPER CLIMATE STATION (086261)**

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Australian Government Bureau of Meteorology

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Bureau Home > Climate > Climate Data Online > Monthly Statistics

## Climate statistics for Australian locations

### Monthly climate statistics

All years of record

About Climate statistics | Data file of statistics for this site (csv) | Site selection menu

#### Summary statistics DANDENONG

A summary of the major climate statistics recorded at this site is provided below. There is also an extended table with more statistics available. More detailed data for individual sites is available.

#### Site information

Site name: DANDENONG  
 Site number: 086224  
 Latitude: 37.98°S Longitude: 145.22°E  
 Elevation: 54 m  
 Commenced: 1960 Status: Open  
 Latest available data: 31 Aug 2017

#### Additional information

Additional site information

#### Nearest alternative sites

- 086077 MOORABBIN AIRPORT (11.2km)
- 086104 SCOPESBY RESEARCH INSTITUTE (12.0km)
- 086147 ASPENDALE CSIRO (12.6km)

View larger map

View: Main statistics | All available | Period: Use all years of data | Text size: Normal | Large

Statistics	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual	Years	Plot
<b>Temperature</b>															
Mean maximum temperature (°C)	26.6	26.2	24.3	20.5	16.2	14.0	13.3	14.3	16.3	19.3	20.8	23.5	19.6	12	1962-1974
Mean minimum temperature (°C)	12.8	13.4	11.7	9.9	7.6	5.6	5.3	6.1	7.2	8.5	9.5	11.0	9.0	11	1962-1974
<b>Rainfall</b>															
Mean rainfall (mm)	50.4	52.4	48.4	66.9	73.1	66.4	68.6	72.7	72.1	71.3	70.7	64.6	776.2	42	1960-2017
Decile 5 (median) rainfall (mm)	46.0	34.9	42.8	63.6	71.3	62.6	68.6	76.2	65.2	63.4	63.5	58.0	766.4	49	1960-2017
Mean number of days of rain ≥ 1 mm	5.9	4.9	6.4	8.1	11.1	10.9	12.0	12.7	11.3	9.5	8.4	7.4	108.6	49	1960-2017
<b>Other daily elements</b>															
Mean daily sunshine (hours)															
Mean number of clear days														9	1964-1974
Mean number of cloudy days														9	1964-1974
<b>9 am conditions</b>															
Mean 9am temperature (°C)														9	1964-1974
Mean 9am relative humidity (%)														9	1964-1974
Mean 9am wind speed (km/h)														9	1964-1974
9am wind speed vs direction plot															
<b>3 pm conditions</b>															
Mean 3pm temperature (°C)														9	1964-1974
Mean 3pm relative humidity (%)														9	1964-1974
Mean 3pm wind speed (km/h)														8	1964-1974
3pm wind speed vs direction plot															

red = highest value blue = lowest value

Product IDCJCM026 Prepared at Thu 14 Sep 2017 01:35:58 AM EST

#### Related information

**Maps**

- Long term climatology maps for selected elements
- Rainfall maps and temperature maps based on recent observations

**Recent observations for this site**

- Daily Weather Observations from this site are included in the Daily Weather Observations

**Climate outlooks**

- Monthly and seasonal climate outlooks

**Additional climate information**

- Weather station directory
- Climate and oceans data and analysis

Page created: Thu 14 Sep 2017 01:35:58 AM EST

Ref: 04BO26 LCA – 126 Bourkes Creek Road, Pakenham Upper  
 Page 49 of 55

Monthly Rainfall (millimetres)

BEACONSFIELD UPPER

Station Number: 086261 · State: VIC · Opened: 1968 · Status: Open · Latitude: 37.98°S · Longitude: 145.42°E · Elevation: 196 m

Statistics for this station calculated over all years of data

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
<b>Mean</b>	65.4	60.9	70.6	81.0	87.5	88.8	87.2	95.3	99.3	100.0	90.4	81.0	1016.0
<b>Lowest</b>	2.5	0.0	13.7	20.1	15.8	17.4	27.3	34.8	44.0	33.2	0.0	0.0	589.1
<b>5th percentile</b>	22.2	7.2	17.8	30.2	24.5	31.4	34.2	37.5	48.0	45.3	29.2	5.0	712.6
<b>10th percentile</b>	30.0	7.9	27.4	34.6	30.0	45.3	40.4	50.5	51.9	49.1	42.4	18.2	802.6
<b>Median</b>	65.6	43.8	64.6	71.4	90.6	84.2	76.9	95.8	86.3	102.0	93.0	80.8	1030.2
<b>90th percentile</b>	96.9	161.0	111.0	135.4	151.1	130.6	138.5	139.6	160.4	160.6	135.7	126.4	1226.1
<b>95th percentile</b>	120.8	183.1	129.6	157.1	178.4	159.9	144.8	148.7	201.3	165.0	160.7	171.4	1253.2
<b>Highest</b>	151.7	237.4	234.4	191.6	190.5	179.8	200.0	161.9	208.6	213.9	201.1	205.6	1323.9

Statistics calculated over the period 1961-1990

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
<b>Mean</b>	57.1	56.5	77.1	82.6	102.4	83.9	84.2	98.0	93.5	106.2	84.0	74.8	1000.0
<b>Lowest</b>	2.5	4.6	13.7	29.1	15.8	17.4	27.3	34.8	47.3	39.0	0.0	0.0	704.7
<b>5th Percentile</b>	22.4	7.6	15.1	35.4	22.4	29.8	37.5	47.9	52.4	50.2	26.2	1.9	724.5
<b>10th percentile</b>	26.3	8.0	26.6	46.6	39.8	33.1	40.9	52.0	58.0	56.6	32.0	8.5	806.2
<b>Median</b>	56.2	42.2	75.0	74.9	101.9	76.1	84.8	95.4	86.3	105.8	92.1	80.8	1008.9
<b>90th percentile</b>	85.8	164.4	111.3	114.2	159.1	125.0	124.8	146.7	130.1	158.4	123.3	125.0	1203.7
<b>95th percentile</b>	96.4	179.1	125.2	122.6	177.1	156.2	130.7	149.9	139.6	182.5	130.3	127.8	1251.8
<b>Highest</b>	130.9	204.0	234.4	191.6	181.6	179.8	144.0	161.9	208.0	213.9	201.1	171.4	1323.9

  
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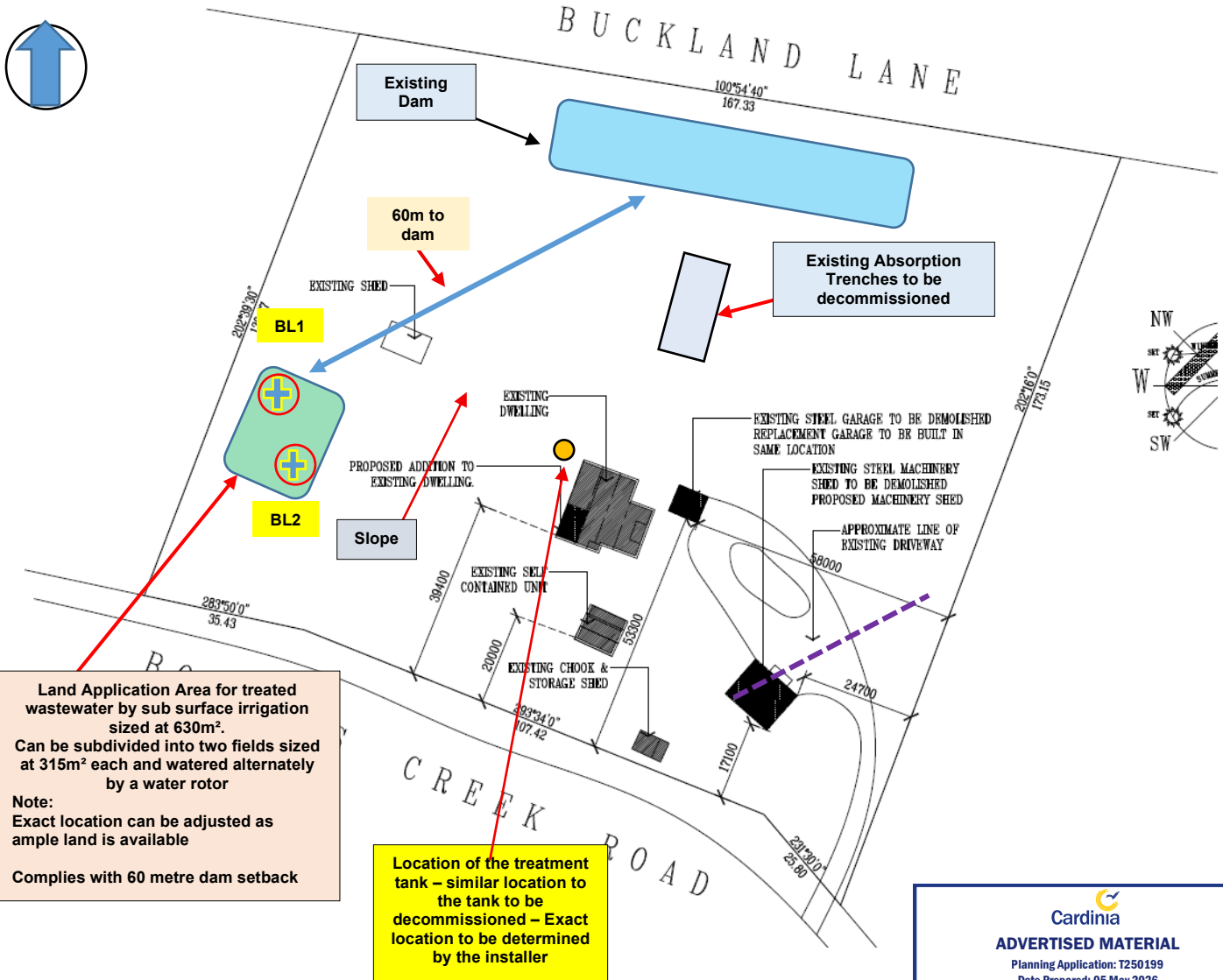
**APPENDIX v**

**TEST SITE LOCATION PLAN**

**BORE LOG LOCATION PLAN & PROPOSED LAI  
 (NOT TO SCALE)**

**Date: 04/12/2025**

126 Bourkes Creek Road, Pakenham Upper



**Land Application Area for treated wastewater by sub surface irrigation sized at 630m<sup>2</sup>. Can be subdivided into two fields sized at 315m<sup>2</sup> each and watered alternately by a water rotor**

**Note:**  
 Exact location can be adjusted as ample land is available

**Complies with 60 metre dam setback**

**Location of the treatment tank – similar location to the tank to be decommissioned – Exact location to be determined by the installer**

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**APPENDIX vi**

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**WATER BALANCE AND NITROGEN BALANCE**

**Nominated Area Water Balance & Storage Calculations - SSI**

**Site Address:** 1000 Pakenham Road, Pakenham Upper

**INPUT DATA**

Design Wastewater Flow	Q	1200	L/day
Design DiR	DI R	21	mm/week
Daily DiR		3.0	mm/day
Nominated Land Application Area	L	350	m sq
Crop Factor	C	0.7-0.8	unitless
Retained Rainfall	Rf	0.8	unitless
Rainfall Data	Beaconsfield Upper (088261)		
Evaporation Data	Cranbourne Botanic - (086375)		

1200 Ave hydraulic load

Parameter	Symbol	Formula	Units	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Days in month	D	1	days	31	28	31	30	31	30	31	31	30	31	30	31	366
Rainfall	R	1	mm/month	65.4	60.9	79.1	81.6	87.5	83.9	84.2	98	93.5	106.2	84	74.8	1000.1
Evaporation	E	1	mm/month	115	152.9	127.6	71.8	68.1	52.6	59.3	70.7	76.6	145.1	129.5	197.4	1287.8
Crop Factor	C			0.80	0.80	0.80	0.75	0.70	0.65	0.65	0.65	0.70	0.80	0.80	0.80	
<b>OUTPUTS</b>																
Evapotranspiration	ET	ExC	mm/month	92.0	122.3	102.1	54.6	47.7	34.2	38.5	46.0	53.6	116.1	103.6	157.9	988.68
Percolation	B	(DiR/7)xD	mm/month	93.0	84	93.0	90.0	93.0	90.0	93.0	90.0	93.0	90.0	93.0	90.0	1066.0
Outputs		ET+B	mm/month	185.0	206.32	195.1	144.6	140.7	124.2	131.5	139.0	143.6	209.1	193.6	250.9	2063.8
<b>INPUTS</b>																
Retained Rainfall	RR	RxRf	mm/month	52.32	49.72	63.28	66.08	70	67.12	67.36	78.4	74.8	84.96	67.2	59.84	800.08
Effluent Irrigation	W	(QxD)/L	mm/month	105.3	96.0	106.3	102.9	106.3	102.9	106.3	106.3	102.9	106.3	102.9	106.3	1261.4
Inputs		RR+W	mm/month	158.6	144.7	169.6	168.9	176.3	170.0	173.6	184.7	177.7	191.2	170.1	166.1	2061.6
<b>STORAGE CALCULATION</b>																
Storage remaining from previous month			mm/month	0.0	0.0	0.0	0.0	24.3	49.0	105.7	147.8	193.8	227.8	209.8	189.2	
Storage for the month	S	(RR+W)-(ET+E)	mm/month	-25.4	-61.6	-25.6	24.3	35.6	45.8	42.1	45.7	34.0	-17.8	-23.5	-84.8	108.6
Cumulative Storage	M		mm	0.0	0.0	0.0	24.3	60.0	105.7	147.8	193.6	227.6	209.8	186.2	101.4	1268.6
Maximum Storage for Nominated Area	N		mm	227.61												
	V	NxL	L	79663												
<b>LAND AREA REQUIRED FOR ZERO STORAGE</b>																
			m <sup>2</sup>	200	210	202	450	628	631	600	814	620	300	205	105	
<b>MINIMUM AREA REQUIRED FOR ZERO STORAGE:</b>				630.8 m <sup>2</sup>												

**Nitrogen Balance**

**Site Address:** 126 Bourkes Creek Road, Pakenham Upper

**SUMMARY - LAND APPLICATION AREA REQUIRED BASED NITROGEN BALANCE** 398 m<sup>2</sup>

**INPUT DATA<sup>1</sup>**

Wastewater Loading			Nutrient Crop Uptake		
Hydraulic Load	1200	L/day	Crop N Uptake	220	kg/ha/yr which equals 60.27 mg/m <sup>2</sup> /day
Effluent N Concentration	25	mg/L			
% N Lost to Soil Processes (Geary & Gardner 1996)	0.2	Decimal			
Total N Loss to Soil	6000	mg/day			
Remaining N Load after soil loss	24000	mg/day			

**NITROGEN BALANCE BASED ON ANNUAL CROP UPTAKE RATES**

Minimum Area required with zero buffer		Determination of Buffer Zone Size for a Nominated Land Application Area (LAA)	
Nitrogen	398 m <sup>2</sup>	Nominated LAA Size	300 m <sup>2</sup>
		Predicted N Export from LAA	2.16 kg/year
		Minimum Buffer Required for excess nutrient	98 m <sup>2</sup>

CELLS

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**APPENDIX vii**

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**BORELOGS**

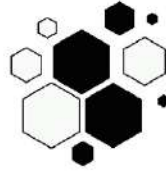
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**BORELOG SHEET**

CLIENT: Matt and Amanda Pancari  
 PROJECT ADDRESS: 126 Bourkes Creek Road, Pakenham Upper  
 JOB NO: 04BO26 - LCA  
 FIELD WORK DATE: 10/02/26  
 LOGGED BY: Rob Krainz  
 DRILLING METHOD: 63mm Mechanical Auger, 100mm Earth Auger, Shovel and Crowbar

BORELOG 1				BORELOG 2			
DEPTH	Soil Profile	Clr	Fill	DEPTH	SOIL PROFILE	Clr	Fill
100mm	Loam (Br)			100mm	Loam (Br)		
200mm	Moist; Medium Dense			200mm	Moist; Medium Dense		
300mm				300mm	Clay Loam (Br Yl)		
400mm	Clay Loam (Br Yl)			400mm	Moist; Medium Dense		
500mm	Moist; Medium Dense			500mm	Slightly Mottled		
600mm	Slightly Mottled			600mm	Light Clay (Br Yl)		
700mm	Light Clay (Br Yl)			700mm	Moist; Medium Dense		
800mm	Moist; Medium Dense			800mm	Slightly mottled		
900mm	Slightly mottled			900mm			
1000mm				1000mm			
1100mm				1100mm			
1200mm	Med Clay (Br Yl)			1200mm	Med Clay (Br Yl)		
1300mm	Moist; Medium Dense			1300mm	Moist; Medium Dense		
1400mm	Slightly mottled			1400mm	Slightly mottled		
1500mm				1500mm			
1600mm	End Log			1600mm	End Log		
1700mm				1700mm			
1800mm				1800mm			
1900mm				1900mm			
2000mm				2000mm			
2100mm				2100mm			



## Euca Planning

Bushfire Specialists



# Bushfire Planning Report Version 1.0 (Including Bushfire Management Statement)

Lot 2 LP219000

126 Bourkes Creek Road Pakenham Upper 3810

Traditionally the land of Bunurong People  
April 3rd, 2025

## Euca Planning Pty Ltd

PO Box 570, Warragul 3820.

Phone: 0418 597 662 Email: [info@eucaplanning.com.au](mailto:info@eucaplanning.com.au)

Director & Principal Consultant: [REDACTED]

### Qualifications/Accreditations:

- Masters of Planning (Professional) – Deakin University
- Postgraduate Diploma in Bushfire Planning and Management – The University of Melbourne (2017)
  - Graduate Diploma of Applied Science (Agricultural Studies) – Charles Sturt University
  - Graduate Certificate in Public Sector Management – Flinders University
  - Bachelor of Science – University of Melbourne (1996)

### Memberships

- Member of Planning Institute of Australia (MPIA)
- Corporate Bronze Member of Fire Protection Association of Australia

### Acknowledgement of Country

Euca Planning would like to acknowledge the Bunurong people as the Traditional owners of the unceded land that we conduct our business on. We pay our Respects to their Elders past, present, and future.

### Disclaimer

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Requirements detailed in this document do not guarantee survival of the buildings or the occupants. The client is strongly encouraged to develop and practice a bushfire survival plan.

Information and assistance including a template for a Bushfire Survival Plan is provided as part of the 'Fire Ready Kit' available through the CFA website at [www.cfa.vic.gov.au](http://www.cfa.vic.gov.au) or through your local CFA Regional office.

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### Version Control

	Name	Date Completed	Comments
<b>Field Assessment</b>	Deanne Smith	19/03/2025	
<b>Mapping</b>	Kelly Hedley	13/03/2025	
<b>Initiate report</b>	Brydie Smith	11/03/2025	
<b>Draft report</b>	Deanne Smith	17/03/2025	
<b>Final</b>	Deanne Smith	03/04/2025	



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## Executive Summary

This report has been prepared to support a planning permit of the development at 126 Bourkes Creek Road Pakenham Upper. The site is within the Bushfire Management Overlay (BMO) and is required to demonstrate that the development has regard for the surrounding bushfire hazards.

This report presents a comprehensive assessment of the hazards and suggests mitigation measures to improve the protection of life and property for the development at 126 Bourkes Creek Road Pakenham Upper. The site is within the Green Wedge Zone – Schedule 1 (GWZ1) and requires a Pathway 2 application to meet the objectives and approval measures of Clause 53.02 of the Cardinia Planning Scheme. As such a Pathway 2 style response has been adopted for this report.

This report includes the following components:

- A **Clause 13.02 Bushfire Assessment** that considers the policy context.
- A **Bushfire Hazard Landscape Assessment** that considers the landscape risk and whether the Clause 53.02 modelled fire assumptions are adequate.
- A **Bushfire Hazard Site Assessment** considering localised hazards, defensible space and the bushfire attack level.
- The design response (**Bushfire Management Statement**) to the relevant approval measures in Clause 53.02 from the Cardinia Planning Scheme.
- The **Bushfire Management Plan** that responds to the site and the proposed development, including the standard CFA permit conditions.

The site is in the green wedge area of Pakenham Upper. Grassland, forest and modified vegetation are immediate to the site and forest in the broader landscape. Bourkes Creek Road is the egress route from the site connecting to the broader road network and south to the highly urbanised highway corridor. The site is a 13-minute travel time by car to the Pakenham township.

Bushfire Management Statement demonstrates that the defensible space objectives can be met for Column A of Table 2 to Clause 53.02-5 for the dwelling and DPU. Standard outbuilding provisions will be applied to the two replacement sheds. A construction level of BAL29 is applied to the dwelling and the DPU to respond to modified vegetation with access and water supply provided.

Due to the grassland and forest beyond the site, and the vegetation close to the site, the proposed development is expected to be affected by a moderate level of ember attack in the event of a bushfire and some radiant heat from localised ignitions. A BAL of 29 is deemed appropriate for the construction to address the expected bushfire and considering the opportunities of the site. The proposal provides for a decrease in risk by enhancing the existing development and responds to Clause 13.02-1S of the Cardinia Planning Scheme.

The site can meet the approval measures within Clause 53.02 for Column A of Table 2 to Clause 53.02-5, with a BAL of 29 based on an FFDI of 100 and a flame temperature of 1090K.

## 1.0 Introduction

This Bushfire Management Statement (BMS) has been prepared to enable the applicants to respond to the requirements of Clause 44.06 Bushfire Management Overlay (BMO) (known from this point on as Clause 44.06), and in accordance with the application requirements of Clause 53.02 – Bushfire Protection: Planning Requirements (known from this point on as Clause 53.02).

The statement contains these components:

1. A **Clause 13.02-1S assessment** that considers the strategic intent of the Cardinia Planning Scheme.
2. A **bushfire hazard landscape assessment** including a plan that describes the bushfire hazard of the general locality more than 150 metres from the site.
3. A **bushfire hazard site assessment** including a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard has been prepared in accordance with Section 2.2.3 to 2.2.5 of AS3959:2018 Construction of buildings in bushfire prone areas (Standards Australia) and is supported by photographs to assist in describing the bushfire hazard.
4. A **bushfire management statement** describing how the development responds to the requirements of Clause 44.06 and 53.02.
5. A **bushfire management plan** that spatially records the bushfire mitigation measures for endorsement with the planning permit.

### 1.1 Application Details

Municipality	Cardinia
Title description	Lot 2 LP219000
Overlays	Bushfire Management Overlay (BMO) Environmental Significance Overlay – Schedule 1 (ESO1)
Zoning	Green Wedge Zone – Schedule 1 (GWZ1)

### 1.2 Site Description

Site shape	Irregular square
Site Dimensions	The property has a road frontage to Bourkes Creek Road of approximately 168.76 metres, and a property depth of approximately 146.50 metres
Site area	Approximately 2.37 hectares
Existing use and siting of buildings and works on and near the land	Existing use is Green Wedge and existing condition comprise of dwelling, DPU and outbuildings.
Existing vehicle arrangements	From Bourkes Creek Road
Nearest fire hydrant	Not applicable
Private bushfire shelter	Not proposed
Any other site features relevant to bushfire risk	Patches of forest and grassland through private properties close to the site.

## 1.3 Site Location

  
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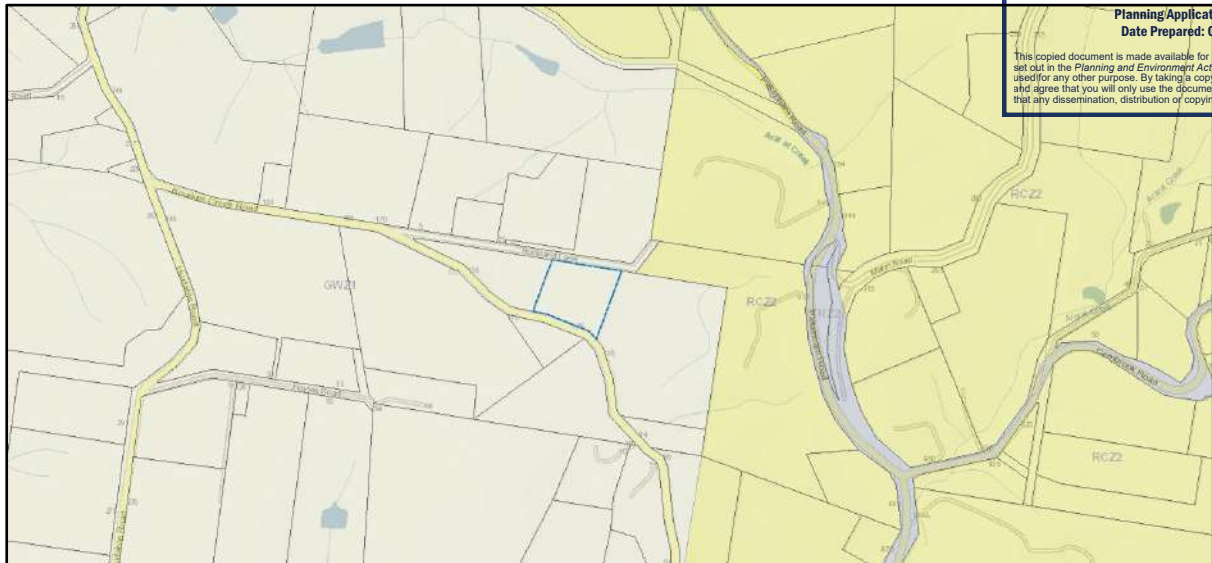


Figure One – Property Location – identified with the blue dashes central to the map (VicPlan, 2025)



Figure Two – Property Location – 126 Bourkes Creek Road Pakenham Upper (VicPlan, 2025)

## 2.0 Planning Policy Framework

### 2.1 Planning Policy Framework

Clause 71.02-3 (integrated decision making) of the Planning Scheme has been recently amended and provides that:

*Planning authorities and responsible authorities should endeavour to integrate the range of planning policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and*

*future generations. However in bushfire affected areas, planning authorities and responsible authorities must prioritise the protection of human life over all other policy considerations.*

Clause 13.02-1S (Bushfire) of the Planning Scheme applies to all decision making and seeks to:

*To strengthen the resilience of settlements and communities to bushfire through **risk-based planning** that prioritises the protection of human life.*

**[Emphasis added]**

Clause 13.02-1S includes a number of strategies to achieve that objective. Broadly these strategies include:

- prioritising the protection of human life;
- requiring a robust assessment of the bushfire hazard and risk assessment before any strategic or statutory decision is made; and
- directing population growth and new settlements to low risk locations.

Importantly in relation to the protection of human life, clause 13.02-1S includes the following requirements:

*Give priority to the protection of human life by:*

- *Prioritising the protection of human life over all other policy considerations.*
- *Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.*
- *Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision-making at all stages of the planning process.*

In relation to Bushfire hazard identification and assessment, clause 13.02-1S includes the following relevant requirements:

*Identify bushfire hazard and undertake appropriate risk assessment by:*

- *Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.*
- *Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.*
- *Considering and assessing the bushfire hazard on the basis of:*
  - *Landscape conditions - meaning conditions in the landscape within 20 kilometres (and potentially up to 75 kilometres) of a site;*
  - *Local conditions - meaning conditions in the area within approximately 1 kilometre of a site;*
  - *Neighbourhood conditions – meaning conditions in the area within 400 metres of a site; and*
  - *The site for the development.*
- *Consulting with emergency management agencies and the relevant fire authority*

early in the process to receive their recommendations and implement appropriate bushfire protection measures.

- Ensuring that strategic planning documents, planning scheme amendments, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures.
- Not approving development where a landowner or proponent has not satisfactorily demonstrated that the relevant policies have been addressed, performance measures satisfied or bushfire protection measures can be adequately implemented.



Importantly in relation to settlement planning, clause 13.02-1S includes the following requirements:

Plan to strengthen the resilience of settlements and communities and prioritise protection of human life by:

- Directing population growth and development to low risk locations, being those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metres under AS 3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018).
- Ensuring the availability of, and safe access to, areas assessed as a BAL-LOW rating under AS 3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018) where human life can be better protected from the effects of bushfire.
- Ensuring the bushfire risk to existing and future residents, property and community infrastructure will not increase as a result of future land use and development.
- Achieving no net increase in risk to existing and future residents, property and community infrastructure, through the implementation of bushfire protection measures and where possible reduce bushfire risk overall.
- Assessing and addressing the bushfire hazard posed to the settlement and the likely bushfire behaviour it will produce at a landscape, settlement, local, neighborhood and site scale, including the potential for neighborhood-scale destruction.
- Assessing alternative low risk locations for settlement growth on a regional, municipal, settlement, local and neighborhood basis.
- Not approving any strategic planning document, local planning policy, or planning scheme amendment that will result in the introduction or intensification of development in an area that has, or will on completion have, more than a BAL-12.5 rating under AS 3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018).

In relation to use and development control in a Bushfire Prone Area, clause 13.02-1S includes the following relevant requirements:

*Use and development control in a Bushfire Prone Area in a bushfire prone area*

*designated in accordance with regulations made under the Building Act 1993, bushfire risk should be considered when assessing planning applications for the following uses and development:*

*... Accommodation*

*When assessing a planning permit application for the above uses and development:*

- *Consider the risk of bushfire to people, property and community infrastructure.*
- *Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.*
- *Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.*

When these strategies are read together it is clear that any future development would be required to provide a considered assessment of the bushfire risk. As such, the development must ensure it responds to bushfire risk. The purpose of this report is to undertake such an assessment for the site including an assessment of the likely fire behaviour and the risk to future residents. It is acknowledged that this site is subject to the Bushfire Management Overlay and Parts 3 to 5 of this report specifically address the application requirements of Clause 44.06 and 53.02 of the Cardinia Planning Scheme.

In the context of strategic planning decisions, these strategies need to be read as on balance and consider the *'net increase in risk to existing and future residents'*. As it relates to the objectives at Clause 13.02-1S of the Planning Scheme, it is necessary to ensure that the protection of human life is prioritised when decisions are made. However the strategies listed at Clause 13.02-1S in the Planning Scheme are not 'mandatory requirements' and it is not necessary to 'tick every box'. It is more important to ensure that decisions are consistent with the State policy objectives and build resilient communities.

## 2.2 Planning Policy Framework Assessment

### 2.2.1 Objective

Clause 13.02-1S seeks *'to strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life'*.

### 2.2.2 Application

The policy must be applied to all planning and decision making under the Planning and Environment Act 1987 relating to land which is within a designated bushfire prone area; or subject to a Bushfire Management Overlay.

#### Bushfire Prone Area and Bushfire Management Overlay

The planning proposal area is included in the Bushfire Prone Area (BPA). As described in Planning Advisory Note 46 (2013), the BPA is a building regulation tool that identifies where moderate bushfire hazard can be expected. It applies to areas subject to the BMO, and to areas that experience a lower head fire intensity modelled to be between 4,000kW/m and 30,000kW/m. This level of hazard informs areas declared as bushfire prone in the building system. Areas at the

upper end of the bushfire intensity range (that is 28,000kW/m and above and referred to as BHL1b) are considered, where appropriate, for applying the BMO based on the advice of the relevant fire authority. The land is contained in the BMO with small portion traversing along the north-west boundary excluded. The entire planning proposal site is subject to the BPA. The greater area in Pakenham Upper is also in the BPA and BMO reflecting the moderate to high bushfire hazard that can be expected from the vegetation connecting to and distributed within the rural living and conservation area.

In December 2017, Clause 13.02-1S of the Cardinia Planning Scheme was amended to specifically refer to Bushfire Prone Areas and to strengthen the consideration of bushfire risk in all planning decisions. As the site is fully contained within the Bushfire Prone Area, the minimum level of construction for all dwellings is BAL 12.5, and this bushfire risk must be considered.

### 2.2.3 Strategies

#### Protection of human life

  
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<i>Give priority to the protection of human life by:</i>	<i>Response</i>
Prioritising the protection of human life over all other policy considerations.	<ul style="list-style-type: none"> <li>- This proposal provides recognition of an extension to a dwelling and DPU that will respond to the risk of bushfire through siting and construction.</li> <li>- The proposal can be undertaken in a manner that will improve the safety of the existing residents in the established lots with the establishment of an increased area of management.</li> </ul>
Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.	<ul style="list-style-type: none"> <li>- The lot has existed for many years.</li> <li>- Existing dwellings exist adjacent to this development and the buildings are sited in an area of the site that is substantially cleared.</li> <li>- The overall design responds to by setback from the boundaries and establishment of defendable space between the buildings and the boundary.</li> <li>- The existing road network facilitates safe egress towards the established Pakenham Townships.</li> </ul>
Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision-making at all stages of the planning process.	<ul style="list-style-type: none"> <li>- An application to develop land needs to articulate how the design responds to the identified bushfire risk.</li> <li>- The dwelling has been designed and sited to respond to bushfire with the assessment of the bushfire risk being undertaken to ensure the dwelling maximises the separation from the hazard and achieves a radiant heat exposure no greater than 12.5kW/m<sup>2</sup>.</li> </ul>

Bushfire hazard identification and assessment

<i>Identify bushfire hazard and undertake appropriate risk assessment by:</i>	<i>Response</i>
Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.	<ul style="list-style-type: none"> <li>- The Cardinia Planning Scheme relies on the planning proposal to respond to bushfire based on current assessment methods.</li> <li>- Clauses 13.02-1S, 44.06 and 53.02 are to be considered for proposal.</li> <li>- Clause 71.02-3 <i>Integrated Decision Making</i> strengthens the importance of bushfire planning as an appropriate tool to reconcile potential conflicts in design and vision.</li> <li>- The assessment method aligns with AS3959-2018 and is provided in this report (see Section 4).</li> </ul>
Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.	<ul style="list-style-type: none"> <li>- Consistent with the revised Clause 13.02-1S, the planning proposal responds to the Bushfire Prone Area and the Bushfire Management Overlay.</li> <li>- This report demonstrates that sufficient setbacks from the vegetation can be achieved to meet Column A of Table 2 of Clause 53.02, which is an appropriate benchmark for this development.</li> <li>- Detailed design and consideration of the development application is reinforced by the preliminary planning drawings.</li> </ul>
Applying the Bushfire Management Overlay in planning schemes to areas where the extent of vegetation can create an extreme bushfire hazard	The BMO does apply to this land recognising that the land is in an area of high bushfire hazard. The BMO is addressed in Sections 3 to 5 of this report.
Considering and assessing the bushfire hazard on the basis of: <ul style="list-style-type: none"> <li>• Landscape conditions - meaning the conditions in the landscape within 20 kilometres and potentially up to 75 kilometres from a site;</li> <li>• Local conditions - meaning conditions in the area within approximately 1 kilometre from a site;</li> <li>• Neighbourhood conditions - meaning conditions in the area within 400 metres of a site; and,</li> <li>• The site for the development</li> </ul>	<ul style="list-style-type: none"> <li>- An assessment of Clause 13.02 is provided in Section 3.0 of this report.</li> <li>- All scales of consideration are applied.</li> <li>- The site conditions are considered through the Bushfire Hazard Site Assessment.</li> </ul>
Consulting with emergency management agencies and the relevant fire authority	It is expected that this development would be referred to CFA for consideration as it is in the Bushfire Management Overlay.

<p>early in the process to receive their recommendations and implement appropriate bushfire protection measures.</p>	
<p>Ensuring that strategic planning documents, planning scheme amendments, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures</p>	<ul style="list-style-type: none"> <li>- The content of this report provides a solid foundation for the design and subsequent approval of the planning proposal, with regard to bushfire risk.</li> <li>- Assessing the site-based bushfire risk and including appropriate bushfire protection measures (e.g. managed land, BALs, separation from the hazard) enables the achievement of the direction of the Planning Scheme.</li> </ul>
<p>Not approving development where a landowner or proponent has not satisfactorily demonstrated that the relevant policies have been addressed, performance measures satisfied or bushfire protection measures can be adequately implemented.</p>	<ul style="list-style-type: none"> <li>- This element of the revised Clause 13.02-1S is the most important element and empowers the Responsible Authority to not approve a permit application until it is satisfied with the bushfire protection measures being implemented.</li> <li>- This report demonstrates that the risk of bushfire should not be a reason for refusal.</li> </ul>

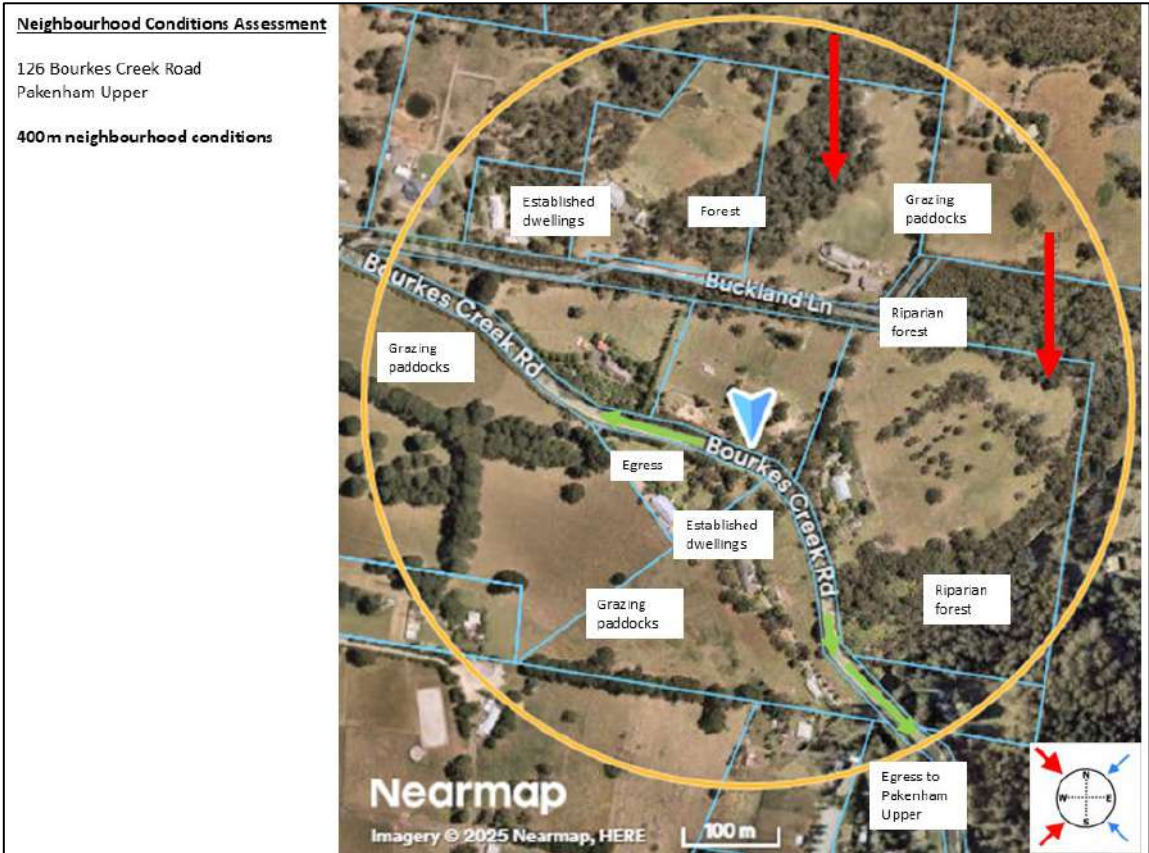


Figure Three (a) – Neighbourhood conditions within 400m

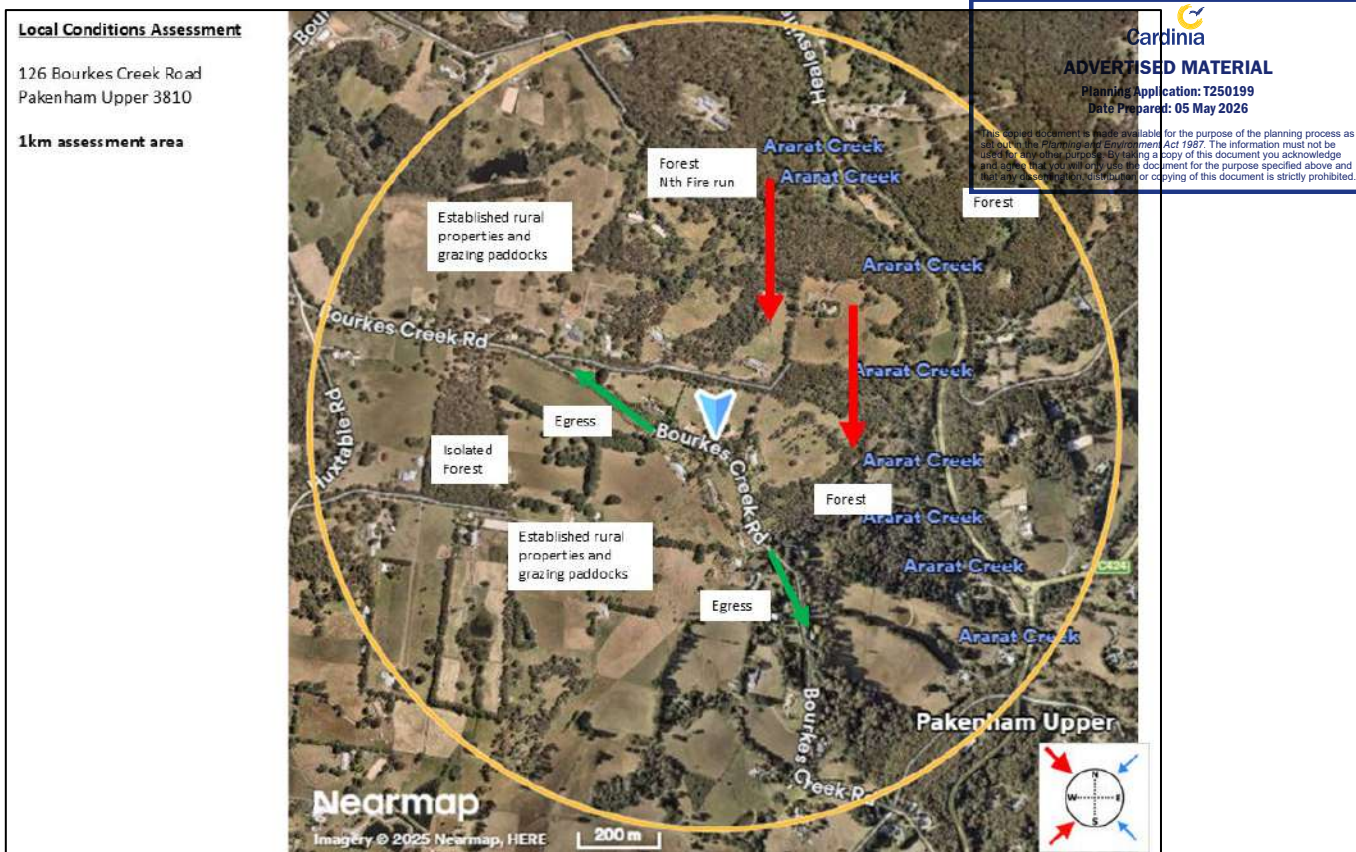


Figure Three (b) – Local conditions within 1km

Settlement Planning

<i>Plan to strengthen the resilience of settlements and communities and prioritise protection of human life by:</i>	<i>Response</i>
Directing population growth and development to low risk locations, being those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metres under AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018).	<ul style="list-style-type: none"> <li>- Recognising the land is an established lot that is at high risk from bushfire, the development of land should only proceed where all elements of the BMO are achieved.</li> <li>- This report demonstrates that this goal is achieved including the provision of the greatest separation from the hazard and an increased level of construction.</li> <li>- The development has a siting that has been assessed as having a radiant heat flux of less than 12.5kW/m<sup>2</sup> under AS3959-2018.</li> </ul>
Ensuring the availability of, and safe access to, areas assessed as a BAL-LOW rating under AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018) where human life can be better protected from the effects of bushfire	<ul style="list-style-type: none"> <li>- The nature of the settlement of Pakenham Upper, provides ready access with a 13 minute drive to areas of the Pakenham township that constitute BAL-LOW.</li> </ul>
Ensuring the bushfire risk to existing and	<ul style="list-style-type: none"> <li>- The establishment and maintenance of</li> </ul>

<p>future residents, property and community infrastructure will not increase as a result of future land use and development.</p>	<p>defendable space will accompany the approval. The increased level of vegetation management will reduce the risk of bushfire to the existing residents to the east.</p>	 <p><b>ADVERTISED MATERIAL</b>          Planning Application: T250199          Date Prepared: 05 May 2026</p> <p><small>For the purpose of the planning process as set out in the Planning and Environment Act 1987, the information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small></p>
<p>Achieving no net increase in risk to existing and future residents, property and community infrastructure, through the implementation of bushfire protection measures and where possible reduce bushfire risk overall.</p>	<ul style="list-style-type: none"> <li>- The development will implement the current regulations pertaining to bushfire construction. This will be resolved with the enforcement.</li> </ul>	
<p>Assessing and addressing the bushfire hazard posed to the settlement and the likely bushfire behaviour it will produce at a landscape, settlement, local, neighbourhood and site scale, including the potential for neighbourhood-scale Destruction</p>	<ul style="list-style-type: none"> <li>- An assessment is provided in Section 3.0 and 4.0 of this report.</li> <li>- All scales of consideration are applied.</li> <li>- The site conditions are best considered through the Bushfire Hazard Site Assessment methodology.</li> </ul>	
<p>Assessing alternative low risk locations for settlement growth on a regional, municipal, settlement, local and neighbourhood basis.</p>	<ul style="list-style-type: none"> <li>- The proposal is an existing lot in an established rural residential 'type' area. It is acknowledged that such a subdivision may not be expected to be established under the current Planning Policy Framework. However, the scheme does provide for the use of 'legacy' lots in this environment when bushfire risk is appropriately responded to.</li> </ul>	
<p>Not approving any strategic planning document, local planning policy, or planning scheme amendment that will result in the introduction or intensification of development in an area that has, or will on completion have, more than a BAL-12.5 rating under AS3959-2018.</p>	<ul style="list-style-type: none"> <li>- The proposal is a statutory planning application only.</li> </ul>	

Areas of high biodiversity conservation value

Ensure settlement growth and development approvals can implement bushfire protection measures without unacceptable biodiversity impacts by discouraging settlement growth and development in bushfire affected areas that are of high biodiversity conservation value.

*Assessment of the development*

- Vegetation removal is expected to be limited to exotic species.

Use and development control in a Bushfire Prone Area

In a bushfire prone area designated in accordance with regulations made under the Building Act 1993, bushfire risk should be considered when assessing planning applications for accommodation.

*Assessment of the proposal's response:* As the proposal is to develop a dwelling and DPU, and 'dwelling' is a nested term in the 'accommodation' group this section of Clause 13.02-1S is relevant.

When assessing a planning permit application for the above uses and development:	Response
Consider the risk of bushfire to people, property and community infrastructure.	Consistent with Clause 13.02-1S, Clause 53.02 of the Scheme has been used as a guide and is supported by a landscape analysis that demonstrates that the risk to people, property and the asset can be appropriately mitigated by its inherent design features in this specific location – specifically siting, separation from the hazard, building construction, and defensible space.
Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.	The development provides a siting that achieves Column A separation from the hazard and the design of the dwelling and DPU will be in accordance with BAL29 of AS3959.
Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.	Exotic species proposed for removal

#### 2.2.4 Policy Guidelines

Planning must consider as relevant:	Response
Any relevant approved State, regional and municipal fire prevention plan.	Fire prevention measures of the Cardinia Shire Municipal Fire Prevention Plan apply.
AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2018).	This is relevant through the derivation of Bushfire Attack Levels, and is considered when referring to BAL29
Building in bushfire-prone areas - CSIRO & Standards Australia (SAA HB36-1993, May 1993).	This is the handbook to AS3959-2018 and does not need to be considered directly by the planning proposal.
Any Bushfire Prone Area map prepared under the Building Act 1993 or regulations made under that Act.	The updated Bushfire Prone Area map has been considered in this report.



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### 3.0 Bushfire Hazard Landscape Assessment

The Bushfire Hazard Landscape Assessment includes a plan that describes the bushfire hazard of the general locality surrounding the site (Figure Four).

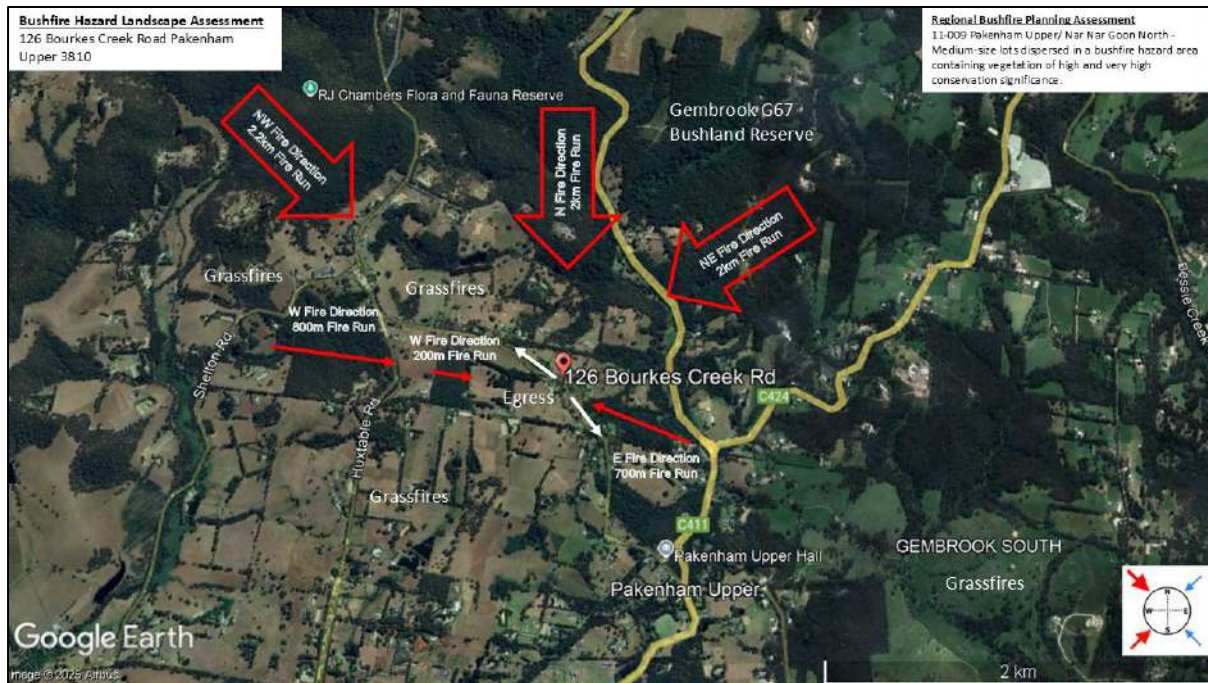


Figure Four – Bushfire Hazard Landscape Assessment

The landscape risk of a site is an important consideration when mitigating bushfire hazards. The landscape risk is the combination of several elements in the surrounding landscape. These relate to the vegetation extent, the area available to a landscape bushfire, the orientation of the ridgelines and the steepness of the terrain, the accessibility to low threat areas and the quality of the road networks surrounding the site.

The site is considered ‘**Landscape Type 3**’ as defined by DELWP guidance:

- *The type and extent of vegetation located more than 150 metres from the site may result in neighbourhood-scale destruction as it interacts with the bushfire hazard on and close to a site.*
- *Bushfire can approach from more than one aspect.*
- *The site is located in an area that is not managed in a minimum fuel condition.*
- *Access to an appropriate place that provides shelter from bushfire is not certain.*

The site will experience landscape fire scenarios that are within the assumptions of the Bushfire Management Overlay. The design of the development, the defensible space and consideration of egress is necessary to develop an appropriate site-responsive design. The site will experience ember attack, radiant heat and localised ignitions associated with the fires. The site could experience short fire runs particular to the east and west, but convection column collapse is not expected. The immediate and broader landscape has succumbed to previous bushfires, more recent than others. There are multiple NSP-LPR to the north within 15 kilometres, however urbanised townships to the south that are accessible, and that constitute BAL-LOW and shelter to retreat to are better options.

### 3.1 Regional Bushfire Planning Assessment

The Regional Bushfire Planning Assessment (RBPA) for the Gippsland Region (2012) provides a high-level analysis of locations where the bushfire hazard may impact on planning objectives. The RBPA provides information where a range of land use planning matters intersect with a bushfire hazard to influence the level of risk to life and property from bushfire. This information is required to be used as part of strategic land use and settlement planning at the regional, municipal and local levels.

*“The RBPA is not a statutory planning provision and does not directly translate into planning schemes. However, it complements planning scheme provisions such as the Bushfire Management Overlay (BMO) by providing spatial and qualitative information from a variety of sources which together can inform considerations about where bushfire should be assessed early in the strategic planning process.”* RBPA – Gippsland Region (2012)

After review of the RBPA, it is noted that there is reference to this area:

**11-009 Pakenham Upper/ Nar Nar Goon North** - Medium-size lots dispersed in a bushfire hazard area containing vegetation of high and very high conservation significance.

### 3.2 Vegetation Extent in the Broader Landscape

The vegetation in the broader landscape is predominantly forest, scrub associated to the waterway corridors and grassland. The vegetation occurs as isolating patches closer to the site and in the broader landscape with large tracts through public and private land, reserves and conservation significance. The grassland occurs as grazing land associated to rural living and provides some mitigation as a clearing between forest. An indication of the Ecological Vegetation Classes in the landscape is provided below (site central to image).

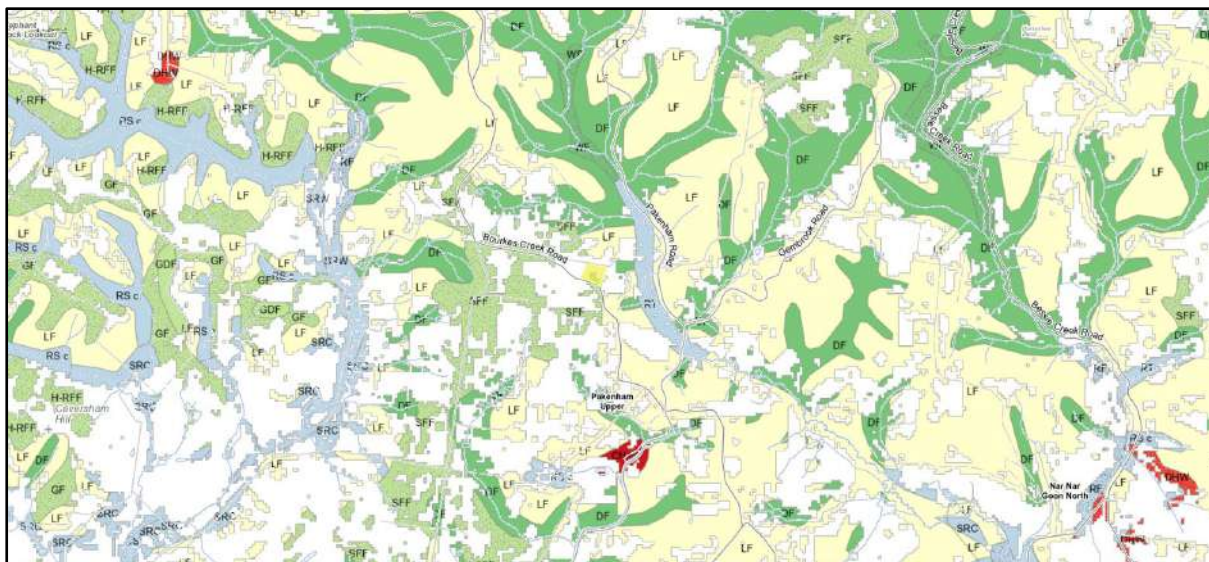


Figure Five – NatureKit Map of surrounds with subject site (yellow) central to the image showing, Shrubby Foothill Forest (light green with dots), Grassy Dry Forest (light green), Damp Forest (green), Wet Forest (green with dots), Lowland Forest (pale yellow), Riparian Thicket, Clay Heathland/Wet Heathland/Riparian Scrub Mosaic (red), Damp Heathy Woodland (red with dots), (NatureKit, 2025)

### 3.3 Topography

The topography of the surrounding landscape is typical of this area of Pakenham Upper. The terrain is quite hilly, comprising of some steep declines. The site is positioned on a decline in contours between two road networks with Ararat Creek, contributing as a catchment and Healesville-Koo Wee Rup Road at a lower elevation.



Figure Six – Topography of area around the site (VicPlan, 2025)

### 3.4 Surrounding Road Network

The site has frontage to Bourkes Creek Road, a sealed road with grass shoulders. This is a local road providing access to the development and other established properties along Bourke Creek Road. The road is connected to the broader road network of Huxtable Road and Healesville-Koo Wee Rup Road, that changes to Pakenham Road in the south.

### 3.5 Bushfire History of the Area

Fire history in the immediate and broader landscape is indicated by Figure Seven. The region has a fire history that comprises of major bushfire campaigns as recent as 2019-2020 bushfire through Bunyip State Park. The site has not directly been affected, however came particularly close in 1983. Planned burning is undertaken in the region to prevent entry to parks and reserves or exit of fire from the parks and reserves.

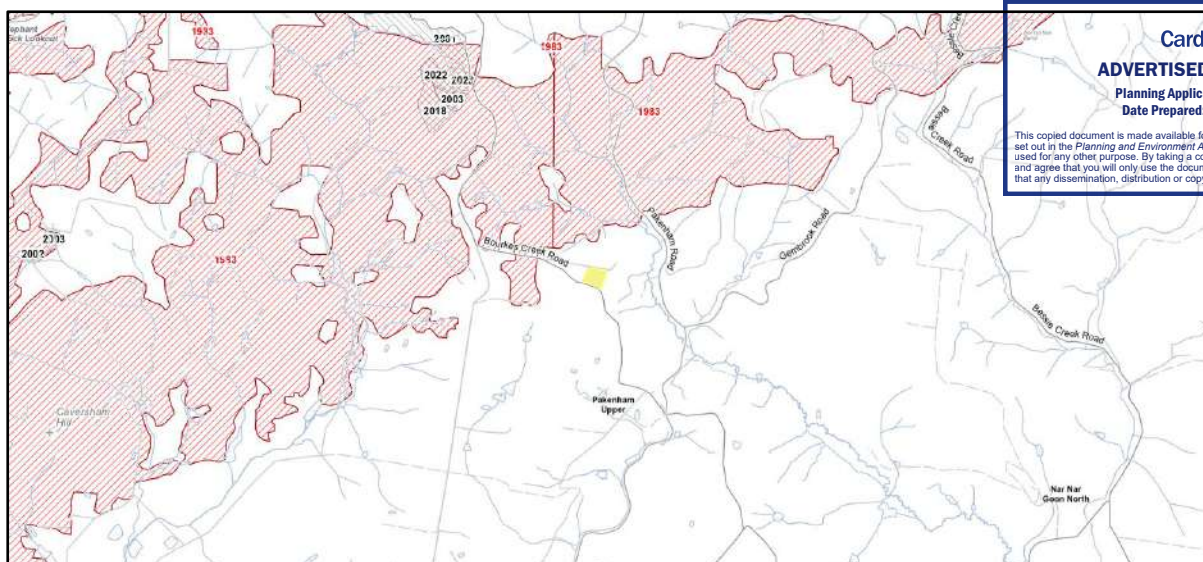


Figure Seven – Fire History Map of Planned burns 1970-present and Bushfires 1970-present (NatureKit, 2025)

### 3.6 Bushfire Scenarios

The site is at a high risk of bushfire due to its location to forest, immediate and broader landscape to the site and possible convection column collapse when approaching grassland. The grazing land provides some moderation to the effects of bushfire. The surrounding landscape has seen significant fire campaigns as recent as 2019-2020 through the Bunyip State Forest. Consideration of the potential bushfire behaviour local to the site has been undertaken in refining the options and to inform the building design, siting, extent of vegetation management and building construction levels. All scenarios are within the assumptions of the BMO.

#### Scenario No.1 – Bushfire from the north

For this site a fire approaching from the north which has the potential for a short fire run of approximately 2 kilometres can pose as a threat, propagated by northerly temperatures, winds and steep slopes. This fire cannot be a landscape fire; however, convection column collapse is unlikely. Ember attack and localised ignitions are expected. Early evacuation is advisable.

#### Scenario No.2 – Bushfire from the north-east and east

The scenario for this site includes a fire approaching from the north-east, approximately 2 kilometres and east, approximately 700 metres. Both directions have the potential for short fire runs propagated by steep slopes. The cool temperature of these winds and short fire runs will provide for a moderate fire. These fires cannot be a landscape fire but may present to the site as ember attack, and localised ignitions. Early evacuation is advisable.

#### Scenario No.3 – Bushfire from the west and north-west

The scenario for this site includes two isolated patches of forest approximately 200 metres and 700 metres approaching from the west and a fire run of approximately 2.2 kilometres from the north-west. Although short fire runs, there is extensive fuel loads available, and when propagated by high temperatures and winds, it has the potential to pose as a threat. These fires can be a landscape fire; and present to the site as ember attack, and localised ignitions. Early evacuation is advisable.

### Scenario No.4 - Bushfire from all other decorations

The other scenarios for this site are dominated by grassland associated to grazing paddocks and developed rural living areas that may assist with some moderation of fire.

### 3.7 Neighbourhood Safer Place – Place of Last Resort

There are multiply nearby designated Neighbourhood Safer Place – Place of Last Resort within 15 kilometres north of the development. However, there are several urbanised townships to the south that constitute BAL-LOW and accessible for use from the development site.

### 4.0 Bushfire Hazard Site Assessment

The Bushfire Hazard Site Assessment includes a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard is prepared in accordance with AS3959:2018 Construction of buildings in bushfire prone areas (Standards Australia, 2018) excluding any exclusions i.e. paragraph (a) of section 2.2.3.2 (Vegetation exclusions). Refer to Figure Eight

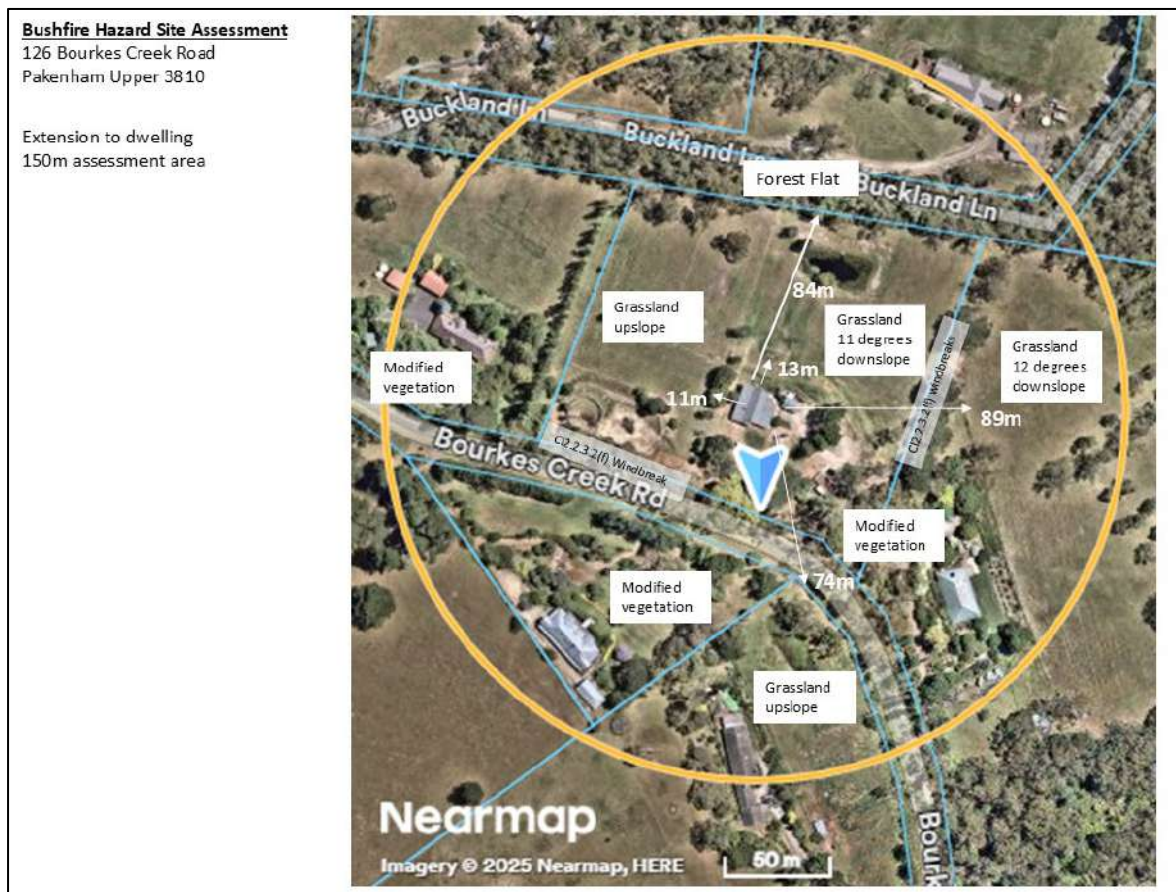


Figure Eight(a) – Bushfire Hazard Site Assessment – Extension to dwelling

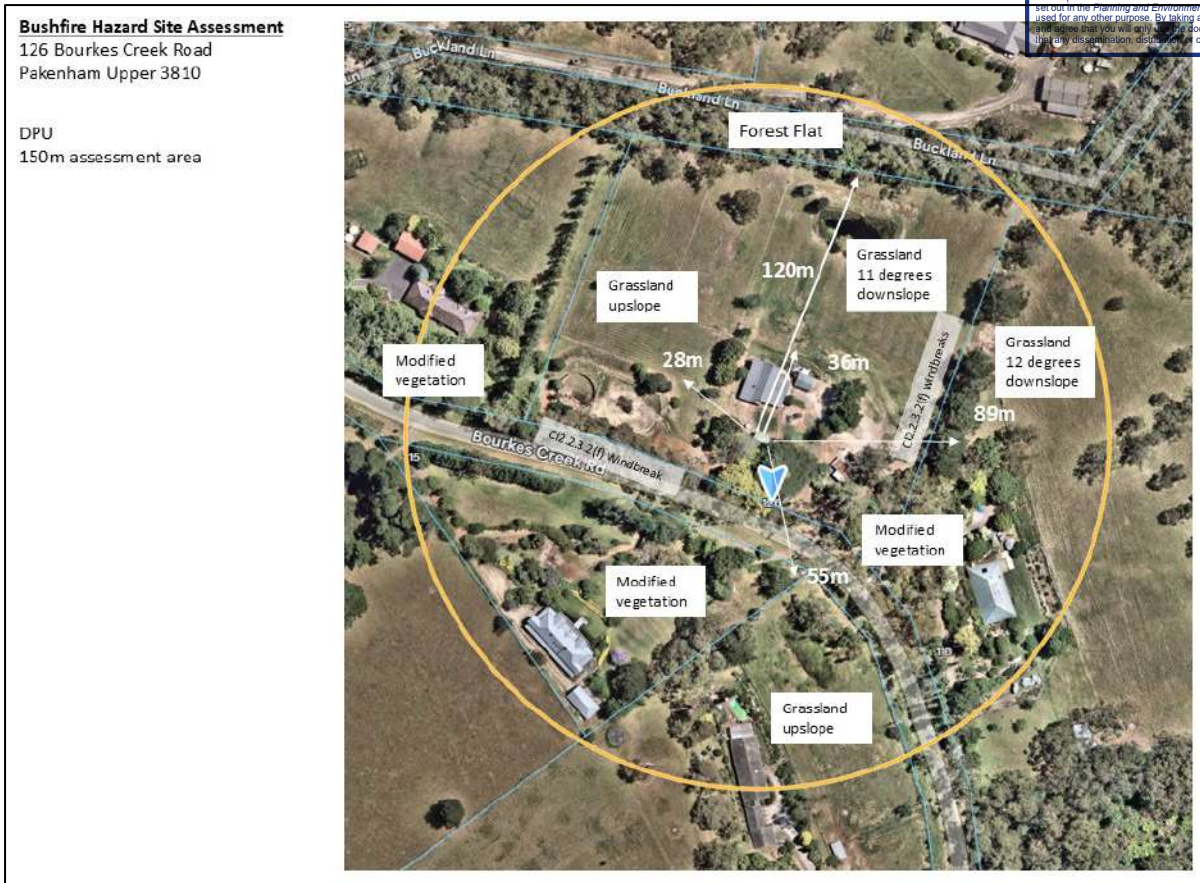


Figure Eight(b) – Bushfire Hazard Site Assessment – Dependent Persons Unit

#### 4.1 Vegetation

The vegetation within the 150 metre assessment area was classified according to AS 3959, Practice Note 65 (DTPLI 2014) and the Overall Fuel Hazard Assessment Guide (DSE, 2010).

The Bushfire Hazard Site Assessment has been conducted to deliver the ‘Bushfire hazard identification and assessment’ strategy outlined in Clause 13.02-1S of the Scheme. This report demonstrates that the application meets the objective of Clause 13.02-1S ‘*To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life*’ by avoiding the bushfire hazard using maximum separation, and implementing bushfire mitigation measures that respond to the planning zone, the neighbourhood and site context, and the outcome of the assessment.

The Standard AS 3959 approach uses a generalised description of vegetation based on the AUSLIG Australian Natural Resources Atlas” No.7 Native Vegetation classification system. According to this method, vegetation can be classified into seven categories. Each category indicates a particular type of fire behaviour and these categories or classifications are then used to determine bushfire intensity. Information gained from the Ecological Vegetation Classes (Figure Five) reinforces the vegetation classification chosen, and provides an indication of connectivity within the greater landscape.

The forms of classifiable vegetation identified on this site are described below.

**Vegetation Classification: Forest**

**AS3959:2018 Definition:**

*Open forest– Trees 10-30 m high; 30-70% foliage cover (may include understorey of sclerophyllous low trees and tall scrubs or grass). Typically dominated by eucalypts.*

**Site Description:**

The site has a linear tract of forest to the north that is on flat land. The forest is approximately 120 metres from the DPU, and 84 metres from the dwelling.



Image – Linear forest along Buckland Lane to the north (site inspection, 2025)

**Vegetation Classification: Grassland**


**AS3959:2018 Definition:**

*Sown pasture– All forms, including situations with shrubs and trees, if the overstorey foliage cover is less than 10%.*

**Site Description:**

The site has grassland on the land that has an 11-degree downslope in the north and is upslope to the west. In the neighbouring property at a distance of 89 metres is grassland on a 12-degree downslope. Grassland is located in the south-east at a distance of 55 metres from the DPU and 74 metres from the dwelling.



  
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Image – Grassland to the north of the dwelling (site inspection, 2025)



Image – Grassland to the west of the dwelling (site inspection, 2025)

## Vegetation Classification: Modified vegetation

### Planning Scheme Definition:

*Modified vegetation is vegetation that doesn't fit into the vegetation classifications in AS3959:20009 Construction of buildings in bushfire prone areas (the standard) because it:*

- *Has been modified, altered or is managed due to urban development, or gardening,*
- *Has different fuel loads from those assumed in the standard,*
- *Has limited or no understorey vegetation, or*
- *Is not low-threat or low-risk vegetation as defined in the standard.*

### Site Description

The site has modified vegetation to the east, south and west due to the existing dwellings located in this well-established settlement. The vegetation is generally planted vegetation of mixed species with mature trees.



Image – Modified vegetation to the south (site inspection, 2025)



Image – Modified vegetation to the in the east of the site (site inspection, 2025)

### **Vegetation Classification: Excludable and Low threat vegetation**

#### **AS3959:2018 Definition:**

#### *2.2.3.2 Exclusions – Low threat vegetation and non-vegetated areas*

*The following vegetation shall be excluded from a BAL assessment:*

- a. Vegetation of any type that is more than 100 m from the site*
- b. Single areas of vegetation less than 1 ha in area and not within 100 m of other areas of vegetation being classified vegetation.*
- c. Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site, or each other or of other areas of vegetation being classified vegetation.*
- d. Strips of vegetation less than 20 m in width (measured perpendicular to the elevation exposed to the strip of vegetation) regardless of length and not within 20 m of the site or each other, or other areas of vegetation being classified vegetation.*
- e. Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings and rocky outcrops.*
- f. Vegetation regarded as low threat due to factors such as flammability, moisture content or fuel load. This includes grassland managed in a minimal fuel condition, mangroves and other saline wetlands, maintained lawns, golf courses (such as playing areas and fairways), maintained public reserves and parklands, sporting fields, vineyards, orchards, banana plantations, market gardens (and other non-curing crops), cultivated gardens, commercial nurseries, nature strips and windbreaks.*

**NOTES:**

1. *Minimal fuel condition means there is insufficient fuel available to significantly increase the severity of the bushfire attack (recognizable as short-cropped grass for example, to a nominal height of 100 mm).*
2. *A windbreak is considered a single row of trees used as a screen or to reduce the effect of wind on the leeward side of the trees.*

**Site Description**

Apart from the land in the immediate surrounds of each dwelling and road pavement, there is lack of ‘low threat vegetation’. The owner is seeking to retain a cluster of four ornamental trees located in and adjacent the driveway circle immediately east of the dwelling.



Image – The cluster of four trees being sought for retention, and isolated from other vegetation (site inspection, 2025)

#### 4.2 Topography

The topography of the site and the surrounding area is characterised by the rise to the south and the decline to the north.

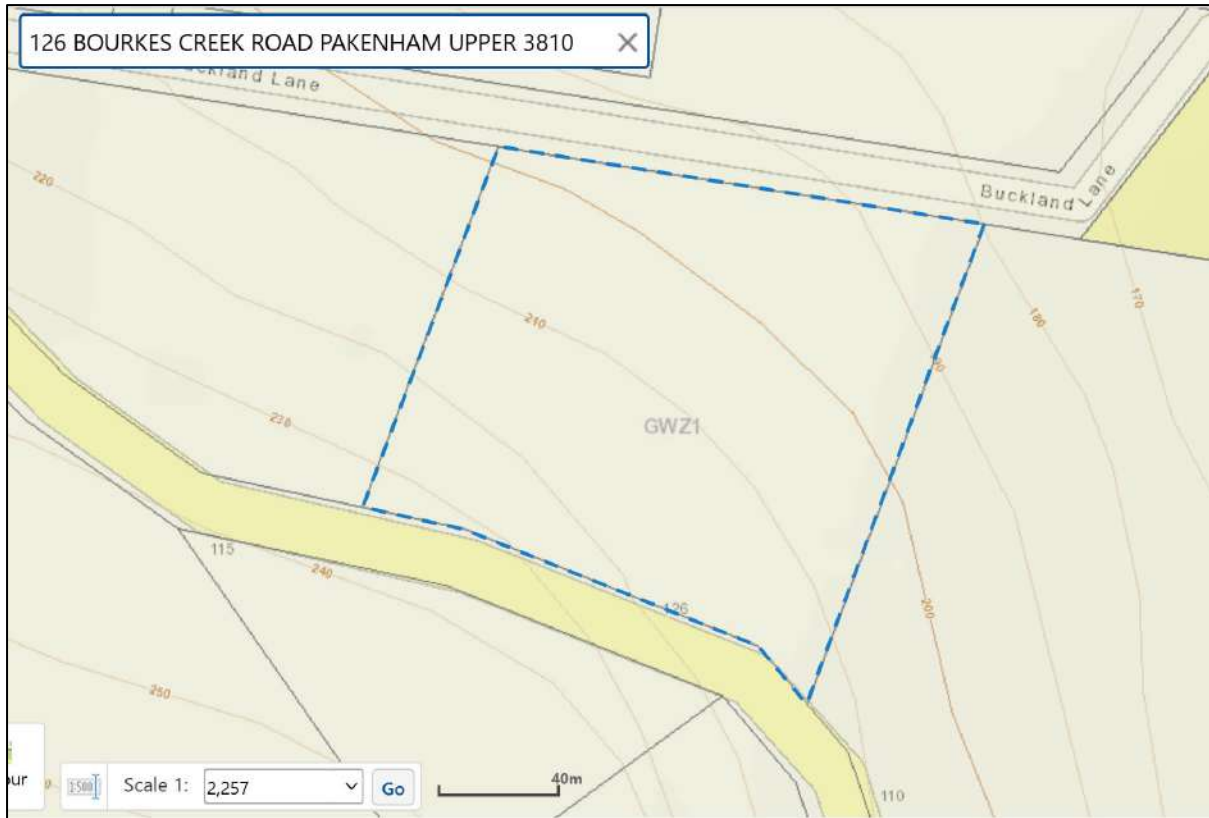


Figure Nine – Topography local to the site (VicPlan, 2025)

### 4.3 Separation from the Hazard and Bushfire Attack Level for the Proposed Development

The bushfire attack level (BAL) is a means of measuring the severity of a building's potential exposure to ember attack, radiant heat and direct flame contact, using increments of radiant heat expressed in kilowatts per meter squared. The BAL is also the basis for establishing the requirements for construction to improve protection of building elements from attack by bushfire.

The highest BAL determines the construction requirements for the dwelling and DPU. A reduction of one BAL level may be applied if facades of the building are shielded from the bushfire hazard. The BAL for this site has been calculated using a Forest Fire Danger Index (FFDI) of 100 and a Flame Temperature of 1090K. These parameters are in accordance with the risk parameters set in Clause 53.02.

An assessment of the site conditions without modification was made and informs the BAL assessment (Table 1).

*Table 1a – Separation from the Hazard Assessment for extension to existing dwelling (without modification)*

Orientation	Classified vegetation	Average slope under classifiable vegetation	Separation distance	Separation achieved
North	Grassland	11° downslope	13 metres	Column B
	Forest	Flat	84 metres	Column A
East	Grassland	12° downslope	89 metres	Column A
	Modified vegetation	Not applicable	Not applicable	Table 1 – BAL29
South	Grassland	Upslope	74 metres	Column A
	Modified vegetation	Not applicable	Not applicable	Table 1 – BAL29
West	Grassland	Upslope	11 metres	Column C
	Modified vegetation	Not applicable	Not applicable	Table 1 – BAL29

*Table 1b – Separation from the Hazard Assessment for second small dwelling (without modification)*

Orientation	Classified vegetation	Average slope under classifiable vegetation	Separation distance	Separation achieved
North	Grassland	11° downslope	36 metres	Column A
	Forest	Flat	120 metres	Column A
East	Grassland	12° downslope	89 metres	Column A
	Modified vegetation	Not applicable	Not applicable	Table 1 – BAL29
South	Grassland	Upslope	74 metres	Column A
	Modified vegetation	Not applicable	Not applicable	Table 1 – BAL29
West	Grassland	Upslope	11 metres	Column C
	Modified vegetation	Not applicable	Not applicable	Table 1 – BAL29

*Table 2a – Separation determination for extension to existing dwelling – Column A*

Orientation	Highest threat vegetation	Average slope under classifiable vegetation	Separation distance currently	Separation achieved
North	Forest	Flat	84 metres	48 metres
East	Grassland	12° downslope	89 metres	28 metres
South	Grassland	Upslope	74 metres	19 metres
West	Grassland	Upslope	11 metres	19 metres

Table 2b – Separation determination for DPU – Column A

Orientation	Highest threat vegetation	Average slope under classifiable vegetation	Separation distance currently	Separation achieved
North	Forest	Flat	120 metres	48 metres
East	Grassland	12° downslope	89 metres	28 metres
South	Grassland	Upslope	55 metres	19 metres
West	Grassland	Upslope	28 metres	19 metres

In determining the defensible space to be established the following principles have been applied:

- The dwelling and the DPU can both achieve Column A in all directions but recognising that modified vegetation does exist will adopt 50 metres of defensible space (or to the property boundary where lesser) as this exceeds the greatest of the Column A separations.
- A variation in canopy separation is proposed for a small cluster of four ornamental trees immediately east of the dwelling, however the owner understands that removal of many of the cypress will be required to achieve the defensible space more broadly.

## 5.0 Bushfire Management Plan

A Bushfire Management Plan is provided in Appendix One for endorsement with the planning permit.

### 5.1 Proposed Planning Permit Conditions

The following are the expected planning permit conditions.

The bushfire management plan prepared by Euca Planning (Version 1, dated 3/4/2025) be endorsed by the Responsible Authority and form part of this permit.

### 5.2 Design Response Against Clause 53.02

In accordance with Clause 44.06 Bushfire Management Overlay a response is provided against Clause 53.02. A selection of the sub clauses and associated objectives, approved measures (AM), alternative measures (AltM) and decision guidelines applies to this application. Table 4 details which clauses are relevant to this application and the following pages demonstrate how the requirements have been met for each relevant standard.

*Table 4 - Specification of Relevant Clauses*

Clause	Approved Measure	Achieved	Justification
<b>Clause 53.02-3 Dwelling in existing settlements – Bushfire protection objective</b>	AM 1.1	Not applicable	
	AM 1.2	Not applicable	
	AM 1.3	Not applicable	
<b>Clause 53.02-4.1 Landscape, siting and design objectives</b>	AM 2.1	Applicable	The dwelling is not located in an existing settlement as described in Clause 53.02
	AM 2.2	Applicable	The dwelling is not located in an existing settlement as described in Clause 53.02
	AM 2.3	Applicable	The dwelling is not located in an existing settlement as described in Clause 53.02
<b>Clause 53.02-4.2 Defendable space and construction objectives</b>	AM 3.1	Applicable	The building is a dwelling and a DPU and all defendable space is located on site
	AM 3.2	Not applicable	
	AltM 3.3	Not applicable	
	AltM 3.4	Not applicable	
	AltM 3.5	Not applicable	
	UnspeAltM 3.6	Applicable	Seeks to retain one cluster of trees
<b>Clause 53.02-4.3 Water supply and access objectives</b>	AM 4.1	Applicable	The building is a dwelling and a DPU
	AM 4.2	Not applicable	
<b>Clause 53.02-4.4 Subdivision objectives</b>	AM 5.1	Not applicable	
	AM 5.2	Not applicable	
	AM 5.3	Not applicable	
	AM 5.4	Not applicable	
	AM 5.5	Not applicable	

The following part of the application outlines each of the relevant clauses and provides justification as to how this design responds to the requirements.

**Clause 53.02-2.1 Bushfire Protection Objective**

**Landscape, siting and design objective**

Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.

Development is sited to minimise the risk from bushfire.

Development is sited to provide safe access for vehicles, including emergency vehicles.

Building design minimises vulnerability to bushfire attack.

Approved Measure	Requirement
AM 2.1	<p><b>The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.</b></p> <p><b>Response:</b> The site is in an area that has forest in the broader landscape particularly to the north. The land is a rural living style parcel that is already developed with an existing dwelling and existing dependent persons unit (both seeking approval for recent works). The terrain is undulating and is not rugged. It is expected that a large landscape fire could occur and progress through the area as Ash Wednesday did to the north. Scenarios are detailed earlier in this report. It is noted that site has reasonable access from the south to the growing town of Pakenham and is located in a lower area of risk being proximal to clear farming land. All bushfire scenarios are within the scope of the Bushfire Management Overlay assumptions. The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level by adopting a Column A of Table 2 to Clause 53.02-5 separation, integrated with 'modified vegetation' to create a site-responsive defensible space and BAL29 construction for the dwelling and dependent persons unit. The retention of one cluster of ornamental trees is supported by the landscape fire scenarios as the trees have no limbs close to the ground, associated with the gravel driveway and are well separated from any connected tree vegetation.</p>
AM 2.2	<p><b>A building is sited to ensure the site best achieves the following:</b></p> <ul style="list-style-type: none"> <li>• <b>The maximum separation distance between the building and the bushfire hazard</b></li> <li>• <b>The building is in close proximity to a public road</b></li> <li>• <b>Access can be provided to the building for emergency services vehicles</b></li> </ul> <p><b>Response:</b> The dwelling and DPU are sited in a cleared area approximately 40 metres from the road but longer using the driveway achieving separation from the boundaries, the forest, and all defensible space being onsite. The dwelling and DPU will be accessed by an all-weather driveway of approximately 70 metres directly from the public road. The driveway is existing. Emergency vehicles will be able to access the building and water supply from the access, with the water supply to be adjacent the replacement farm building.</p>
AM 2.3	<p><b>A building designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.</b></p> <p><b>Response:</b> The dwelling extensions and the DPU will need to meet the requirements of BAL29, as part of this enforcement process. This responds to the ember attack potential.</p>

### Clause 53.02-2.2 Defendable space and construction objective

Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings.

Approved Measure	Requirement
AM 3.1	<p><b>A building used for a dwelling (including an extension or alteration to a dwelling), small second dwelling, industry, office or retail premises is provided with defendable space in accordance with:</b></p> <ul style="list-style-type: none"> <li>• <b>Table 2 Columns A, B or C and Table 6 to Clause 53.05 wholly within the title boundaries of the land; or</b></li> <li>• <b>If there are significant siting constraints, Table 2 Column D and Table 6 to clause 53.02-5.</b></li> </ul> <p><b>The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5.</b></p> <p><b>Response:</b> The proposed dwelling and DPU are sited within 150 metres of modified vegetation, grassland and forest as detailed in the Bushfire Hazard Site Assessment. The siting is constrained by the existing buildings but achieves the best separation from the hazards given the proximity of boundaries. The dwelling and the DPU achieves a separation from the hazard in accordance with Column A of Table 2 of Clause 53.02-5. The defendable space is located entirely on the lot. The dwelling and DPU will be designed to meet the requirements of BAL29 as detailed in AS3959-2018, to better respond to ember attack. The nearest replacement shed (garage) will have FRL requirements as it is located less than 10 metres to the dwelling.</p>
Unspecified Alt Measure	<p><b>Achieve canopy separation of 5 metres for all of the trees in the defendable space except for the identified cluster of 4 trees shown on plan east of the dwelling.</b></p> <p><b>Response:</b> The proposed dwelling has four mature ornamental trees directly east of the dwelling. These trees have no connectivity to other vegetation. The owner seeks to retain these trees.</p>

### Clause 53.02-2.3 Water supply and access objectives

A static water supply is provided to assist in protecting property.

Vehicle access is designed and constructed to enhance safety in the event of a bushfire.

Approved Measure	Requirement
AM 4.1	<p><b>A building used for a dwelling (including an extension or alteration to a dwelling), a small second dwelling, industry, office or retail premises is provided with:</b></p> <ul style="list-style-type: none"> <li>• <b>A static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-5.</b></li> </ul>

- **Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5.**

**The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for firefighting water supplies.**

**Response:** The dwelling and dependent persons unit are to be served by a new static water supply for firefighting by a tank constructed of non-combustible material located on the north-west wall of the replacement farm shed and within 4 metres of access from the driveway.

## 6.0 References

*Standards Australia (2018) Construction of Buildings in Bushfire Prone Areas. Standards Australia, North Sydney, NSW.*

*The State of Victoria - Department of Environment, Land, Water and Planning (2025) NatureKit.*

*The State of Victoria Department of Environment, Land, Water and Planning (2015) Fire Operations Plan 2015/16-2017/18 Gippsland Region.*

*The State of Victoria Department of Planning and Community Development (2012) Regional Bushfire Planning Assessment – Gippsland Region.*

  
Cardinia

**ADVERTISED MATERIAL**

Planning Application: T250199

Date Prepared: 05 May 2026

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# Bushfire Management Plan Page 1 of 2

126 Bourkes Creek Road Pakenham Upper 3810

Version 1, 03/04/2025 Euca Planning Pty Ltd

## BUSHFIRE PROTECTION MEASURES

### Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defensible space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed

### Construction Standard – Dwelling and Dependent Persons' Unit

Building design and all construction works of the dwelling and the dependent person's unit need to comply with a minimum BAL of BAL29 from AS 3959.

### Construction Standard – Outbuildings

The proposed machinery shed has no bushfire construction level requirement as it is more than 10 metres from a habitable building.

The proposed garage is to be separated from the adjacent building (dwelling) by a wall that extends to the underside of a non-combustible roof covering and:

- has a FRL of not less than 60/60/60 for loadbearing walls and -/60/60 for non-load bearing walls when tested from the attached structure side, or
- is of masonry, earth wall or masonry-veneer construction with the masonry leaf of not less than 90 millimetres in thickness.

Any openings in the wall shall be protected in accordance with the following:

- i. Doorways – by FRL -/60/30 self-closing fire doors
- ii. Windows – by FRL -/60/- fire windows permanently fixed in the closed position
- iii. Other openings – by construction with a FRL of not less than -/60/-

Note: Control and construction joints, subfloor vents, weepholes and penetrations for pipes and conduits need not comply with Item iii.

### Access

Access is required, and the following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20% (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.

### Firefighting water supply

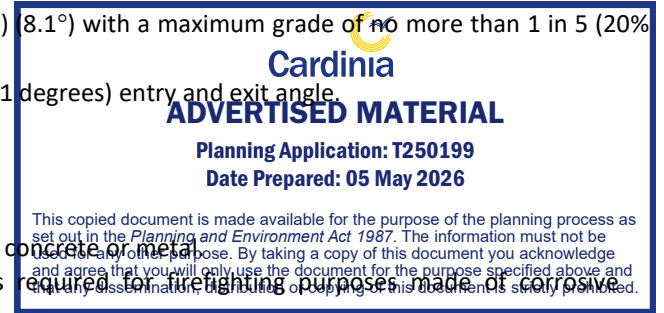
The following requirements apply:

- An effective capacity of 10,000 litres
- Be stored in an above ground water tank constructed of concrete or fibre glass
- Have all fixed above-ground water pipes and fittings resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4m of the accessway and be unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 mm CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling).

### Defendable space

Defendable space extending around the dwelling and dependent persons unit for a distance of 50 metres will be managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 cm in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres except for the identified cluster of 4 trees shown on plan east of the dwelling.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

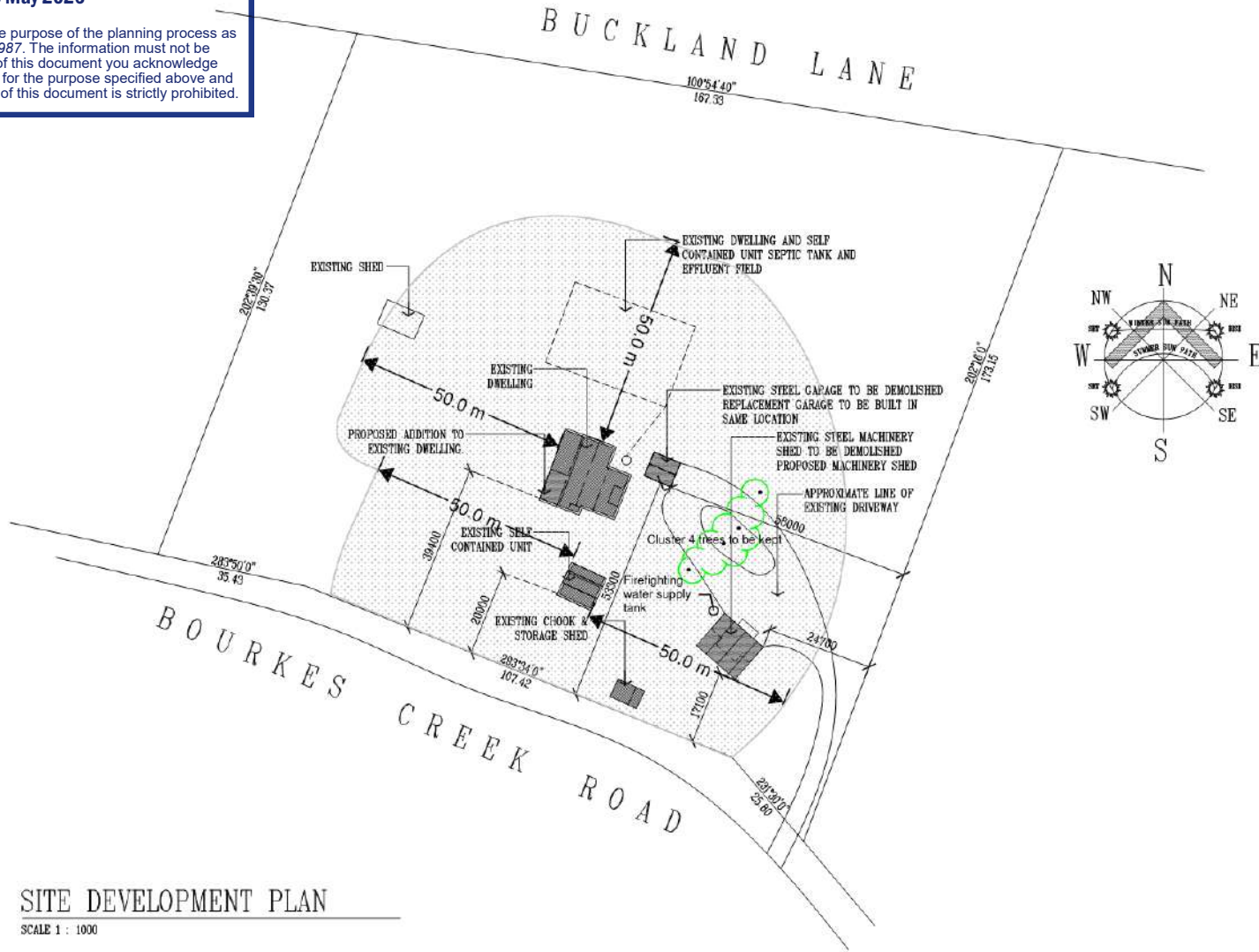




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**SITE DEVELOPMENT PLAN**

SCALE 1 : 1000

**A 02**

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TOWN PLANNING PLANS  
 20TH MARCH 2025



CLIENT:	MATT & AMANDA PANCARI
PROJECT:	EXISTING BUILDINGS
ADDRESS:	126 BOURKES CREEK ROAD PAKENHAM UPPER 3810
TITLE:	SITE DEVELOPMENT PLAN
DESIGN:	A. REES DP - AD30125
DWN BY:	A. REES
DATE:	01 : 2025
SCALE:	1 : 100 @ A3
REVISION:	-
DRAWING NO:	585
STATUS:	TOWN PLANNING



cfa.vic.gov.au

Patron: Her Excellency Professor the Honourable Margaret Gardner AC, Governor of Victoria

CFA Fire Risk, Research and Community Preparedness  
8 Lakeside Drive Burwood East Vic 3151  
Email: firesafetyreferrals@cfa.vic.gov.au

CFA Ref: 8000-84058-144825  
Council Ref: T250199

19 June 2025



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Date Prepared: 05 May 2026

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██████████ Council  
PO Box 7  
PAKENHAM VIC 3810

## CONDITIONAL CONSENT TO THE GRANT OF A PERMIT

**Application No:** T250199  
**Site Address:** 126 Bourkes Creek Road, Pakenham Upper  
**Proposal:** Buildings and works to extend a dwelling, construct two outbuildings and use of the land for a small second dwelling

I refer to correspondence dated 29 May 2025 seeking comments on the above application.

CFA, as a Referral Authority pursuant to Section 55 of the *Planning and Environment Act 1987* (Act) has considered and does not object to the grant of a permit for the above proposal subject to –

- Any mandatory conditions specified within the planning scheme; and
- The following conditions being included on any planning permit that may be issued.

### – Start of Conditions –

#### 1. Endorsement of Bushfire Management Plan

Before the development starts, the Bushfire Management Plan (BMP) prepared by Euca Planning, Version 1, dated 03/04/2025, pages 1 and 2 must be endorsed by the Responsible Authority. Once endorsed the plan must not be altered unless agreed to in writing by CFA and the Responsible Authority.

### – End of Conditions –

#### Further Comments

**Following a site inspection, the proposed small second dwelling appears to be built and occupied already. CFA recommends that prior to endorsing the set of plans, it is ensured that the small second dwelling meets BAL-29 construction in accordance with AS 3959:2018.**

A clump of trees has been proposed for retention within defensible space, which CFA can support.

CFA requests that a copy of any permit and a copy of any notice given under section 64 or 65 of the Act be sent to CFA pursuant to section 66 of the Act

If you wish to discuss this matter further, please contact [REDACTED] 866.

[REDACTED]

  
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Planning Application: T250199  
Date Prepared: 05 May 2026

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cc: [sam@egbp.com.au](mailto:sam@egbp.com.au)



# Arboricultural Impact Assessment

126 Bourkes Creek Road, Pakenham Upper. VIC  
3810

14 Nov 2025

V2



**ADVERTISED MATERIAL**

Planning Application: T250199

Date Prepared: 05 May 2026

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Diploma of Arboriculture)

M: 0412 723 911

ICR Trees ABN: 30 688 718 941

E: admin@icrtrees.com.au

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# 1. Introduction

## 1.1 SCOPE

- 1.1.1 This report has been prepared in response to a request for further information relating to planning permit application number T250199. The proposal relates to extensions or alterations to an existing dwelling, two outbuildings and construction of a small second dwelling.
- 1.1.2 The purpose of this report is to provide information requested in section 2 Environmental Significance Overlay Application Requirements and also section 7 of the comments relating to the Bushfire Management Overlay.
- 1.1.3 Only trees within 50 metres of any proposed dwelling or trees within the vicinity of proposed works that have potential for impact have been assessed in this report. Trees located onsite but sufficiently distant from proposed works, as well as offsite trees not subject to BMO requirements have not been included.

## 1.2 METHODOLOGY AND LIMITATIONS

- 1.2.1 A ground based Visual Tree Assessment (VTA) was conducted using principals outlined by Mattheck and Breloer (1994). This assessment is limited to tree parts viewed from ground level within the subject site or easily accessible areas surrounding the subject site. Assessments on the structure of tree parts and health of the tree have been made to determine useful life expectancy (ULE) and retention value only, they are not intended to form a risk value for the tree and no risk assessment has been provided within this report. All assessments are based on information available, and observations made at the time of inspection only.
- 1.2.2 A diameter tape was used to measure trunk diameter at standard height (DSH) and trunk diameter above buttress (DAB). Applying these measurements to formulas and methodologies outlined in AS4970-2025 *Protection of Trees on Development Sites* a notional root zone (NRZ) and a structural root zone (SRZ) has been calculated for each tree and where applicable a TPZ has been determined.
- 1.2.3 Estimations of DSH and DAB may have been made for third-party trees or trees that are not easily accessible onsite. Tree height and canopy spreads are estimates only unless otherwise stated.
- 1.2.4 Based on the definition of a tree provided in AS4970-2025 *Protection of Trees on Development Sites*, only trees above 3 meters in height, or juvenile trees with potential to grow above 3 meters in height have been included in this report. Plants and shrubs onsite (either shown on plan or not) that do not meet this description have not been considered.
- 1.2.5 Descriptors are provided in the appendix of this report and should be referred to for definitions of tree health, tree structure, ULE, age class, origin and tree retention values. All photos were taken by the author unless otherwise stated.
- 1.2.6 Documents and plans supplied to ICR Trees and used within this report are assumed to be correct and accurate. ICR Trees will not be held liable for errors arising from the use of supplied documents or plans.
- 1.2.7 ICR Trees and the author of this report give permission for personal information within this report to be made public during the planning application process.

## 2. Site Details

### 2.1 PLANNING INFORMATION

2.1.1 Responsible Authority: Cardinia City Council

Planning Zones: Green Wedge Zone – Schedule 1

Planning Overlays: Environmental Significance Overlay – Schedule 1, Bushfire Management Overlay. (Victoria State Government DTP 2024)

### 2.2 SITE DESCRIPTION AND VEGETATION OVERVIEW

2.2.1 The subject site is used for residential purposes and there is an existing multi-level dwelling on the land that includes a bungalow and several sheds. The block slopes down and away from the road.

2.2.2 Open spaces are made up of lawn areas with primarily large mature exotic trees planted as specimen trees around the dwellings. There were pockets of native eucalypts and acacias predominantly around the assessment boundaries. Understorey vegetation was well maintained.

2.2.3



Figure 1 Aerial image (Nearmap 2025) showing conditions onsite for the approximate assessment location.

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2.3 EXISTING SITE PLAN

**FEATURE & LEVEL PLAN**

126 Bourkes Creek Road  
PAKENHAM UPPER

SCALE 1:750 (A3)



Figure 2 Feature and Level Plan showing existing conditions

## 2.4 TREE LOCATIONS

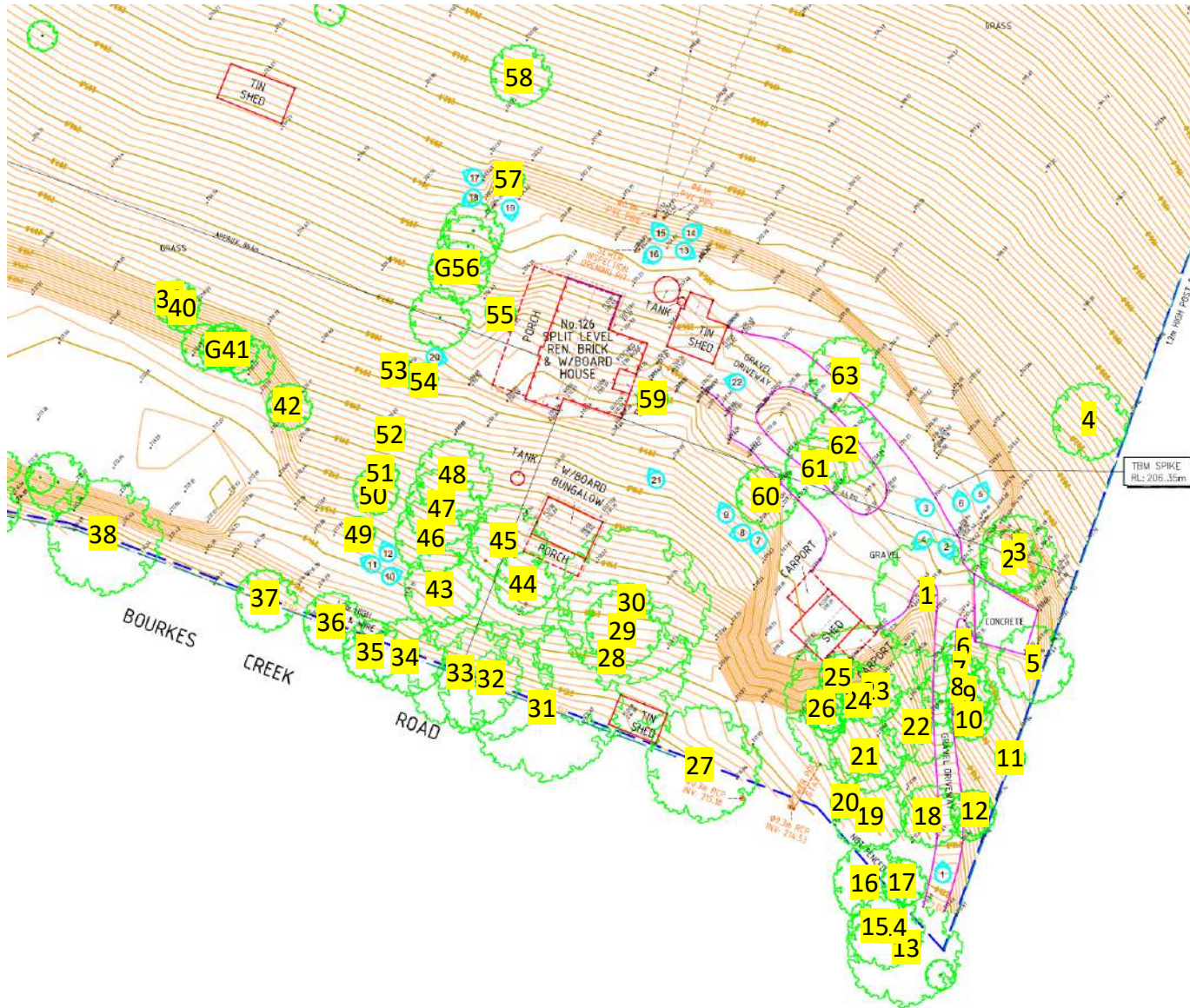


Figure 3 Zoomed in image of Feature and Level Plan showing tree numbers and location onsite.

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2.5 PROPOSED SITE PLAN

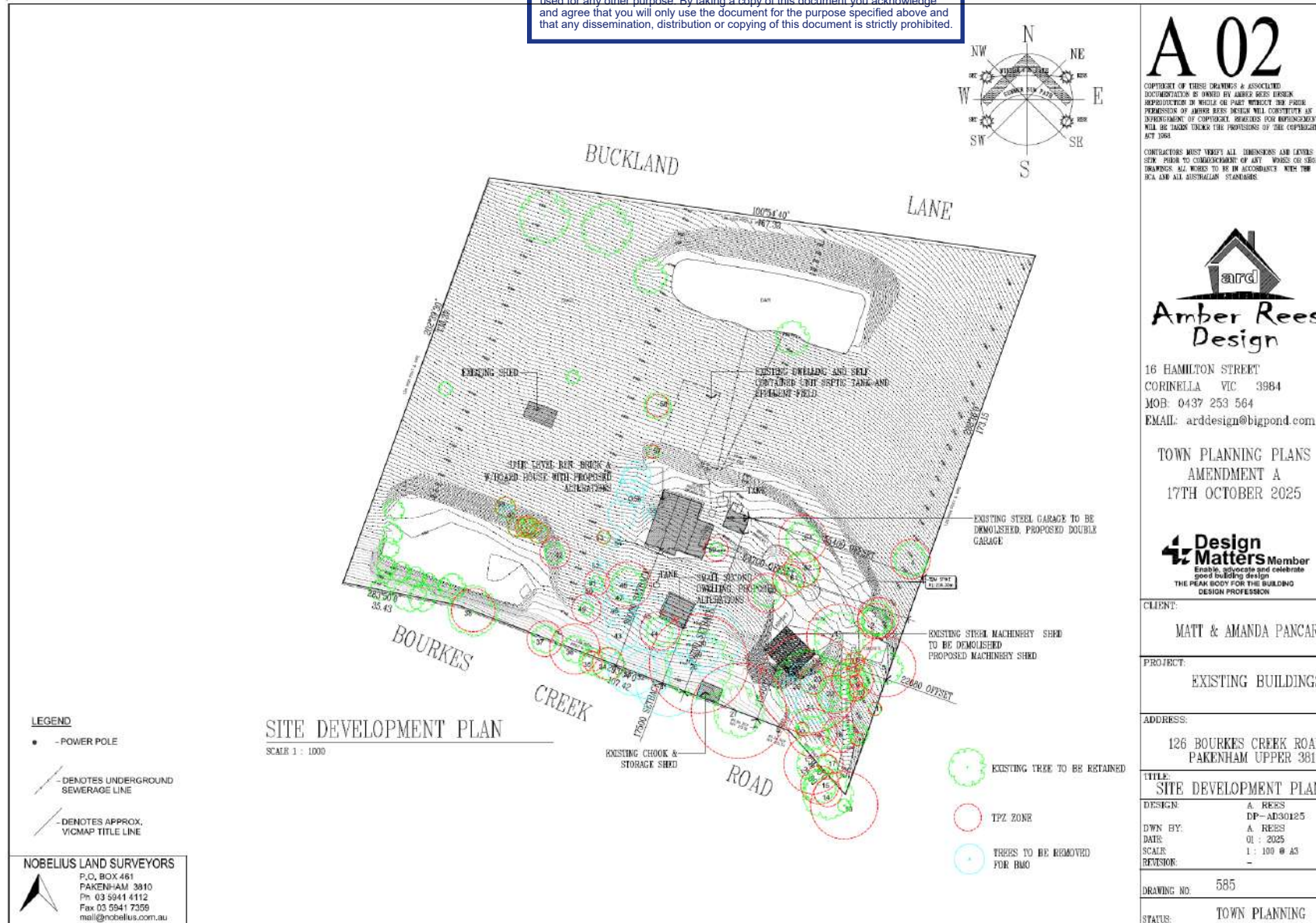


Figure 4 Proposed Site Development Plan showing NRZ of trees retained and trees to be removed for BMO

## 2.6 TREE DATA

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Tree No	Botanical Name Common Name	Origin	DSH cm	DAB cm	NRZ Radius m	SRZ Radius m	Height m	Spread Dia. m	Health	Structure	ULE	Age class	Retention value	Impact
1	<i>Eucalyptus ovata</i> Swamp Gum	Indigenous	83	95	10.0	3.2	12	10	Fair	Fair	5-15yrs	Mature	High	Retain with pruning
2	<i>Eucalyptus ovata</i> Swamp Gum	Indigenous	45	50	5.4	2.5	14	6	Fair	Fair	15-30yrs	Mature	High	Retain no impact
3	<i>Eucalyptus ovata</i> Swamp Gum	Indigenous	52	52	6.2	2.5	12	9	Fair	Poor	5-15yrs	Mature	Moderate	Retain no impact
4	<i>Eucalyptus ovata</i> Swamp Gum	Indigenous	50	80	6.0	3.0	14	7	Poor	Poor	5-15yrs	Mature	Moderate	Retain no impact
5	<i>Eucalyptus radiata</i> Narrow-leaved Peppermint	Indigenous	75	80	9.0	3.0	12	8	Fair	Poor	5-15yrs	Mature	Moderate	Retain no impact
6	<i>Pittosporum tenuifolium</i> Kohuhu	Exotic	24	28	2.9	1.9	8	5	Good	Fair	<5yrs	Mature	Low	Retain no impact
7	<i>Pittosporum tenuifolium</i> Kohuhu	Exotic	16	18	2.0	1.6	8	3	Good	Fair	<5yrs	Mature	Low	Retain no impact
8	<i>Eucalyptus radiata</i> Narrow-leaved Peppermint	Indigenous	53	64	6.4	2.7	13	12	Fair	Fair	15-30yrs	Mature	High	Retain no impact
9	<i>Pittosporum tenuifolium</i> Kohuhu	Exotic	16	18	2.0	1.6	8	3	Good	Fair	<5yrs	Mature	Low	Retain no impact
10	<i>Pittosporum tenuifolium</i> Kohuhu	Exotic	18	20	2.2	1.7	8	5	Good	Fair	<5yrs	Mature	Low	Retain no impact
11	<i>Acacia melanoxylon</i> Blackwood	Indigenous	7	10	2.0	1.5	5	3	Good	Fair	5-15yrs	Semi-mature	Low	Retain no impact
12	<i>Acer</i> sp. Maple	Exotic	16	18	2.0	1.6	8	3	Good	Fair	5-15yrs	Mature	Low	Retain no impact
13	<i>Eucalyptus ovata</i> Swamp Gum	Indigenous	85	95	10.2	3.2	16	10	Fair	Poor	15-30yrs	Mature	Third party	Retain no impact
14	<i>Eucalyptus radiata</i> Narrow-leaved Peppermint	Indigenous	35	45	4.2	2.4	7	8	Good	Fair	5-15yrs	Mature	Third party	Retain no impact
15	<i>Eucalyptus ovata</i> Swamp Gum	Indigenous	48	60	5.8	2.7	13	12	Fair	Fair	15-30yrs	Mature	Third party	Retain no impact
16	<i>Eucalyptus radiata</i> Narrow-leaved Peppermint	Indigenous	75	80	9.0	3.0	12	10	Good	Fair	15-30yrs	Mature	Third party	Retain no impact

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Tree ID	Botanical Name Common Name	Origin	DSH cm	DAB cm	NRZ Radius m	SRZ Radius m	Height m	Spread Dia. m	Health	Structure	ULE	Age class	Retention value	Impact
17	<i>Hoheria populnea</i> Lacebark	Exotic	23	35	2.8	2.1	6	4	Good	Fair	5-15yrs	Mature	Low	Retain no impact
18	<i>Eucalyptus</i> sp. Gum	Native	45	50	5.4	2.5	16	8	Good	Fair	30+yrs	Mature	High	Retain no impact
19	<i>Eucalyptus botryoides</i> Southern Mahogany Gum	Vic Native	61	79	7.3	3.0	15	13	Good	Fair	30+yrs	Mature	High	Retain no impact
20	<i>Corymbia maculata</i> Spotted Gum	Vic Native	16	20	2.0	1.7	7	3	Good	Fair	30+yrs	Semi-mature	Moderate	Retain no impact
21	<i>Eucalyptus globulus</i> subsp. <i>globulus</i> Tasmanian Blue Gum	Vic Native	62	73	7.4	2.9	16	8	Good	Fair	30+yrs	Mature	High	Remove for BMO
22	<i>Cupressocyparis leylandii</i> Leyland Cypress	Exotic	48	55	5.8	2.6	15	7	Good	Fair	15-30yrs	Mature	Moderate	Retain no impact
23	<i>Eucalyptus radiata</i> Narrow-leaved Peppermint	Indigenous	30	32	3.6	2.1	8	6	Good	Fair	15-30yrs	Mature	High	Remove for BMO
24	<i>Eucalyptus viminalis</i> Manna Gum	Indigenous	130	140	15.6	3.8	20	16	Fair	Fair	15-30yrs	Mature	High	Retain with pruning
25	<i>Pittosporum undulatum</i> Sweet Pittosporum	Vic Native	20	25	2.4	1.8	7	4	Good	Fair	<5yrs	Mature	Low	Remove for BMO
26	<i>Cotoneaster glaucophyllus</i> Cotoneaster	Exotic	14	16	2.0	1.5	5	6	Fair	Fair	<5yrs	Mature	Low	Remove for BMO
27	<i>Eucalyptus ovata</i> Swamp Gum	Indigenous	120	150	14.4	3.9	11	12	Fair	Poor	15-30yrs	Mature	Third party	Retain no impact
28	<i>Hesperocyparis macrocarpa</i> Monterey Cypress	Exotic	200	200	24.0	4.4	17	21	Good	Fair	15-30yrs	Mature	Moderate	Retain no impact
29	<i>Hesperocyparis macrocarpa</i> Monterey Cypress	Exotic	57	70	6.8	2.8	17	4	Good	Fair	15-30yrs	Mature	Moderate	Remove for BMO
30	<i>Hesperocyparis macrocarpa</i> Monterey Cypress	Exotic	200	200	24.0	4.4	17	21	Good	Poor	5-15yrs	Mature	Moderate	Remove for BMO
31	<i>Hesperocyparis macrocarpa</i> Monterey Cypress	Exotic	180	200	21.6	4.4	18	14	Good	Fair	15-30yrs	Mature	Moderate	Remove for BMO
32	<i>Hesperocyparis macrocarpa</i> Monterey Cypress	Exotic	150	180	18.0	4.2	18	14	Good	Fair	15-30yrs	Mature	Moderate	Remove for BMO
33	<i>Hesperocyparis macrocarpa</i> Monterey Cypress	Exotic	150	180	18.0	4.2	18	14	Good	Poor	5-15yrs	Mature	Moderate	Remove for BMO
34	<i>Pinus radiata</i> Monterey Pine	Exotic	40	45	4.8	2.4	16	4	Good	Fair	15-30yrs	Mature	Third party	Retain no impact

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No.	Common Name	Origin	DSH cm	DAB cm	NRZ Radius m	SRZ Radius m	Height m	Spread Dia. m	Health	Structure	ULE	Age class	Retention value	Impact
	Narrow-leaved Peppermint	Indigenous	25	30	3.0	2.0	11	5	Fair	Fair	5-15yrs	Mature	Third party	Retain no impact
36	<i>Eucalyptus cephalocarpa</i> Silver-Leaved Stringybark	Indigenous	63	63	7.6	2.7	12	10	Good	Fair	15-30yrs	Mature	High	Retain no impact
37	<i>Eucalyptus radiata</i> Narrow-leaved Peppermint	Indigenous	45	55	5.4	2.6	11	9	Good	Fair	15-30yrs	Mature	High	Retain with pruning
38	<i>Eucalyptus radiata</i> Narrow-leaved Peppermint	Indigenous	55	60	6.6	2.7	10	10	Good	Fair	15-30yrs	Mature	High	Retain no impact
39	<i>Platycladus orientalis</i> Oriental Arborvitae	Exotic	25	30	3.0	2.0	6	2	Good	Fair	15-30yrs	Mature	Low	Retain no impact
40	<i>Platycladus orientalis</i> Oriental Arborvitae	Exotic	25	30	3.0	2.0	6	3	Good	Fair	15-30yrs	Mature	Low	Remove for BMO
41	<i>Acacia melanoxylon</i> Blackwood	Indigenous	20	25	2.4	1.8	8	4	Good	Fair	5-15yrs	Mature	Moderate	Retain no impact
42	<i>Platycladus orientalis</i> Oriental Arborvitae	Exotic	38	38	4.6	2.2	5	3	Good	Fair	15-30yrs	Mature	Low	Retain no impact
43	<i>Fraxinus angustifolia</i> subsp. <i>angustifolia</i> Desert Ash	Exotic	49	55	5.9	2.6	10	12	Poor	Fair	<5yrs	Senescent	Low	Remove for BMO
44	<i>Ulmus glabra</i> 'lutescens' Golden Elm	Exotic	49	49	5.9	2.5	9	8	Fair	Fair	5-15yrs	Mature	Low	Retain with pruning
45	<i>Cedrus deodara</i> Himalayan Cedar	Exotic	58	65	7.0	2.8	15	10	Fair	Fair	5-15yrs	Mature	Moderate	Remove for BMO
46	<i>Arbutus unedo</i> Irish Strawberry	Exotic	23	28	2.8	1.9	7	6	Good	Poor	5-15yrs	Mature	Low	Remove for BMO
47	<i>Syzygium smithii</i> Lilly Pilly	Vic Native	52	66	6.2	2.8	12	10	Good	Fair	15-30yrs	Mature	Moderate	Remove for BMO
48	<i>Syzygium smithii</i> Lilly Pilly	Vic Native	58	75	7.0	2.9	12	10	Good	Fair	15-30yrs	Mature	Moderate	Retain no impact
49	<i>Juniperus chinensis</i> Juniper	Exotic	37	45	4.4	2.4	7	3	Good	Fair	15-30yrs	Mature	Low	Retain no impact
50	<i>Juniperus chinensis</i> Juniper	Exotic	37	45	4.4	2.4	8	3	Good	Fair	15-30yrs	Mature	Low	Remove for BMO
51	<i>Juniperus chinensis</i> Juniper	Exotic	32	45	3.8	2.4	8	3	Good	Fair	15-30yrs	Mature	Low	Retain no impact
52	<i>Prunus cerasifera</i> 'Nigra' Purple-leaved Cherry Plum	Exotic	30	30	3.6	2.0	6	4	Fair	Fair	<5yrs	Mature	Low	Remove for BMO

Tree No	Botanical Name Common Name	Origin	DSH cm	DAB cm	NRZ Radius m	SRZ Radius m	Height m	Spread Dia. m	Health	Structure	ULE	Age class	Retention value	Impact
53	<i>Acacia melanoxylon</i> Blackwood	Indigenous	10	12	2.0	1.5	6	3	Good	Fair	15-30yrs	Semi-mature	Low	Retain no impact
54	<i>Malus xdomestica</i> Apple	Exotic	10	13	2.0	1.5	4	3	Fair	Fair	5-15yrs	Mature	Low	Remove for BMO
55	<i>Pittosporum undulatum</i> Sweet Pittosporum	Vic Native	14	16	2.0	1.5	4	4	Good	Fair	<5yrs	Mature	Low	Remove for BMO
G56	<i>Syzygium smithii</i> Lilly Pilly	Vic Native	35	40	4.2	2.3	8	5	Good	Fair	15-30yrs	Mature	Moderate	Remove for BMO
57	<i>Acer rubrum</i> Red Maple	Exotic	12	13	2.0	1.5	6	3	Good	Fair	15-30yrs	Mature	Low	Retain no impact
58	<i>Acacia melanoxylon</i> Blackwood	Indigenous	28	32	3.4	2.1	7	6	Good	Fair	15-30yrs	Mature	Low	Retain no impact
59	<i>Prunus subhirtella</i> 'Pendula' Weeping Cherry	Exotic	30	30	3.6	2.0	3	3	Good	Fair	15-30yrs	Mature	Moderate	Retain no impact
60	<i>Araucaria heterophylla</i> Norfolk Island Pine	Exotic	49	55	5.9	2.6	14	7	Good	Good	15-30yrs	Mature	Moderate	Retain with exemption
61	<i>Quercus palustris</i> Pin Oak	Exotic	40	60	4.8	2.7	14	6	Good	Fair	15-30yrs	Mature	Moderate	Retain with exemption
62	<i>Quercus palustris</i> Pin Oak	Exotic	45	65	5.4	2.8	14	6	Good	Fair	15-30yrs	Mature	Moderate	Retain with exemption
63	<i>Quercus robur</i> English Oak	Exotic	61	67	7.3	2.8	13	9	Good	Fair	30+yrs	Mature	Moderate	Retain with exemption



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### 3. Discussion

#### 3.1 PROTECTION OF TREES ON DEVELOPMENT SITES OVERVIEW

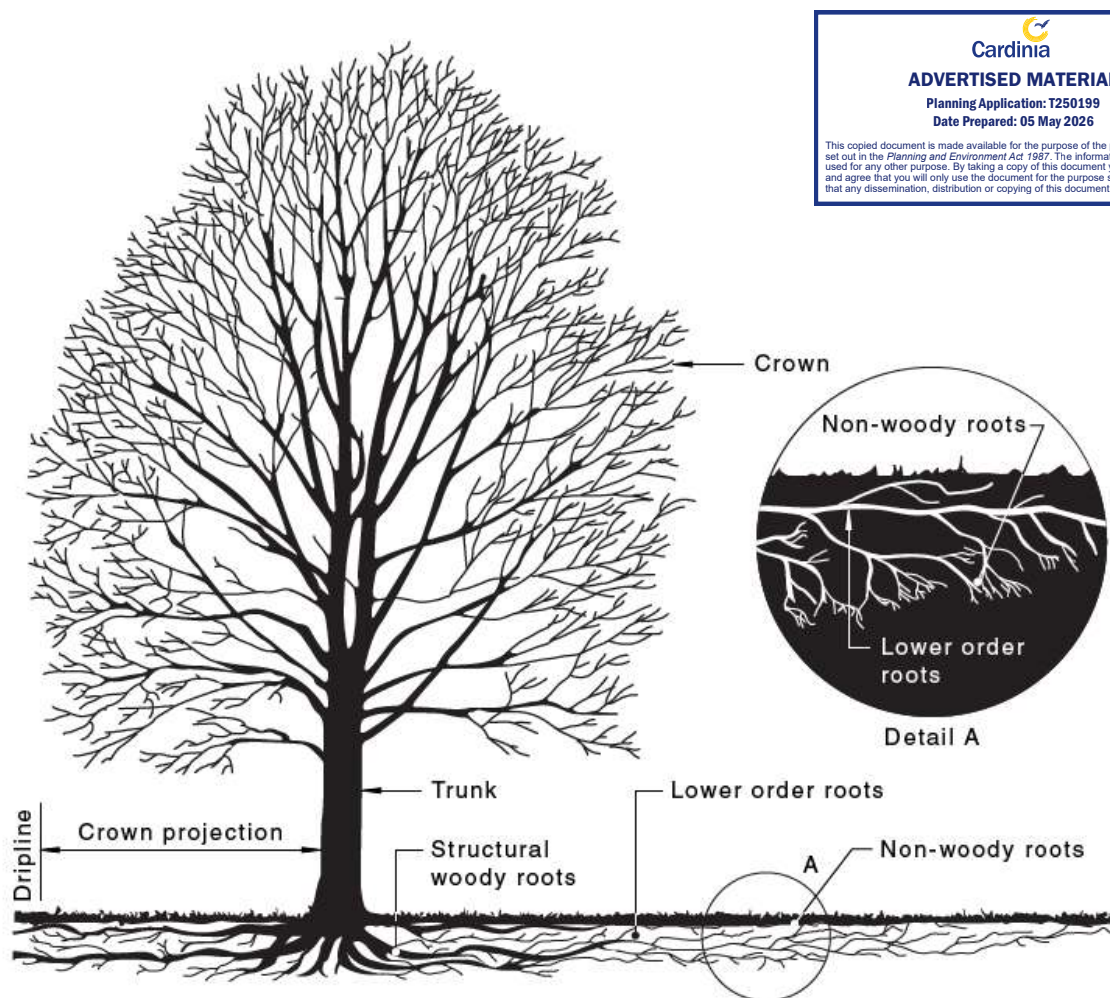
3.1.1 Roots anchor the tree and supply the crown with water and mineral elements. Their continued function is an important factor in a trees survival during construction (Matheny and Clark 1998). Root protection is the core element for protection of trees on development sites. Protection must also be afforded to all above ground tree parts, but it is generally damage to the below ground parts that can be unseen or overlooked during design and development.

3.1.2 When assessing the likely impact on roots during development two factors must be considered.

1. Will the impact to the roots compromise the structural integrity of the tree.
2. How will the works impact the availability of water and nutrients to the tree now and into the future.

Activities during construction can cause both outcomes if not correctly managed. Expected works that can cause root damage include severing roots during excavation, soil disturbance or soil compaction from machinery and the construction of hard surfaces that render the soil below unsuitable for root development.

3.1.3



  
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Figure 5 Structure of a tree in a normal growing environment

- 3.1.4 For each retained tree either onsite or within vicinity of the site a notional root zone (NRZ) is calculated using formulas outlined in AS4970-2025 *Protection of Trees on Development Sites*. The NRZ is a notional area set as a radius from the centre of the tree that would be the trigger for consideration and relevant tree protections when encroached by development works.
- 3.1.5 A smaller notional area again described as a radius around the tree is the structural root zone (SRZ). The SRZ is the area that the tree requires for stability. A larger area than the SRZ is required for the successful retention of a tree.
- 3.1.6 The principal means for protecting trees on development sites is the use of tree protection zones (TPZ). The TPZ is a defined area that is either managed or isolated from the works to allow retained trees enough area to continue their function and to prevent accidental damage. The TPZ is defined by the project arborist or the Consent Authority. It is based on the NRZ and the practical implementation of the development design.

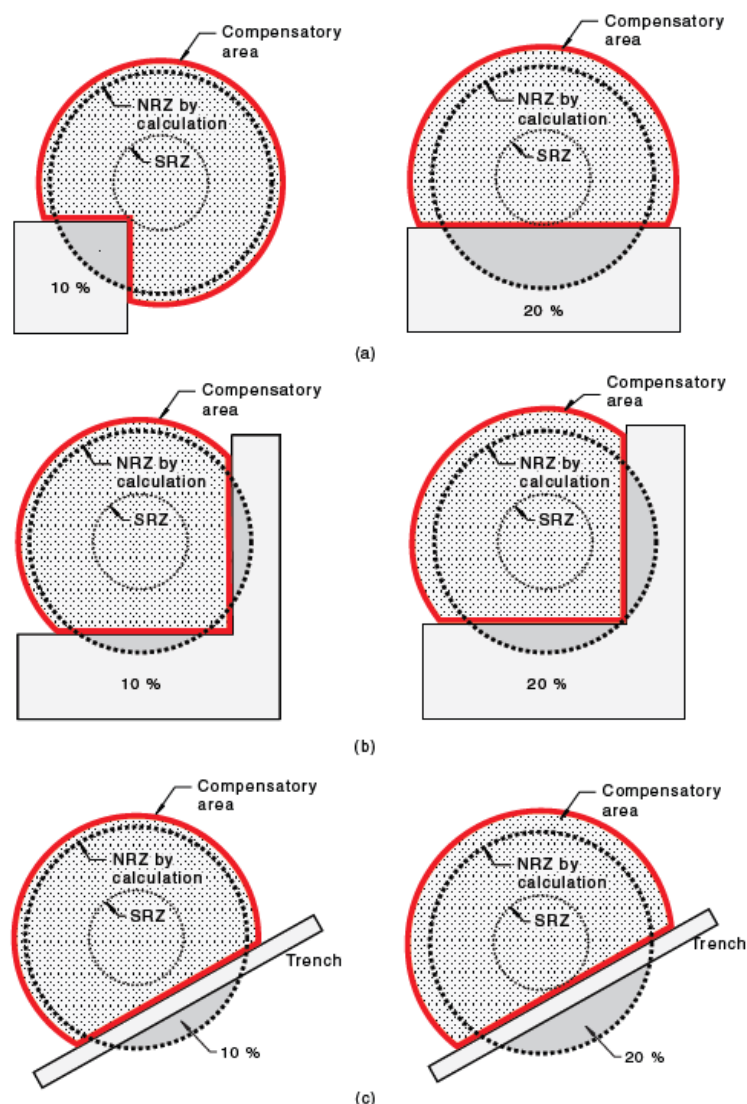


Figure 6 Examples of minor and moderate encroachments (AS4970-2025)

  
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## 3.2 PLANNING CONTROLS OVERVIEW

3.2.1 The site is subject to the Bushfire Management Overlay and Environmental Significance Overlay – Schedule 1 (ESO1) of the Cardinia Shire Planning Scheme.

3.2.2 Schedule 1 to Clause 42.01 *Environmental Significance Overlay* provides the following relevant details relating to tree protections.

In addition to the exemptions under Clause 52.12 *Bushfire Protection Exemptions*, a permit is not required to remove, destroy or lop any vegetation if:

- The vegetation is a tree overhanging the roof of a building used for Accommodation. This exemption only allows the removal, destruction, or lopping of that part of the tree which is overhanging the building and which is necessary for fire protection.
- The vegetation is dead as a result of natural circumstances or the spread of noxious weeds and which has been assessed as being suitable for removal by an authorised officer of the responsible authority. This exemption does not apply to standing dead trees with a trunk diameter of 40 centimetres or more at a height of 1.3 metres above ground level.
- It is the minimum extent necessary to maintain utility services for the transmission of water, sewage, gas, electricity, electronic communications or the like, provided that the removal, destruction or lopping is undertaken with the written consent of the responsible authority.
- It is necessary for maintenance by the Cardinia Shire Council of works including any road, drain, essential service or public facility.
- The vegetation is seedlings or regrowth less than 5 years old, the land has previously been lawfully cleared and the land is being maintained for cultivation or pasture.
- The vegetation is to be removed, destroyed or lopped by cutting only to obtain reasonable amounts of wood for personal use by the owner or occupier of the land. Personal use is wood used for firewood, the construction of fences on the same land and hobbies such as craft. This exemption does not apply to:
  - Standing living and dead trees with a trunk diameter of 40 centimetres or more at a height of 1.3 metres above natural ground level.
  - Living native vegetation on contiguous land in the same ownership with an area less than 10 hectares.
- It is the removal of any vegetation from an existing dam wall where the vegetation may impact on the structural stability of the dam wall.
- It is within 6 metres of an existing dwelling on a lot less than 0.4 hectares.



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- It is necessary for the works associated with the normal operation of Puffing Billy Tourist Railway as defined in the Schedule to the Public Use Zone under Clause 36.01 of this Planning Scheme.
- The vegetation is to be pruned or lopped (but not removed) as part of normal domestic or horticultural practice for the species.
- The vegetation is an environmental weed contained in the table below; that is not listed under the Schedule to Clause 43.01 (Heritage Overlay)

3.2.3 Trees 12, 2, 25, 26, 43, 46, 52, 55, 57 and 59 would be exempt from requiring a permit for removal under ESO1 as they are listed within the table of environmental weeds. All other trees included in this report will require a permit for removal under ESO1.

3.2.4 In response to the Bushfire Management Overlay a Bushfire Management Plan (BMP) has been developed for the subject site by Euca Planning Pty Ltd, dated 03 April 2025.

3.2.5 The bushfire protection measures detailed in the BMP state defensible space for a distance of 50m around the proposed building (or to the property boundary, whichever is the lesser distance) must be provided where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres **except for the identified cluster of 4 trees shown on plan to the east of the dwelling.**
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

3.2.6 Compliance with the BMP will require the removal of 18 trees and one group of trees onsite to create canopy separation of at least 5 metres.



### 3.2.7

Table 1 Trees to be removed to comply with the BMP and their retention value

	Low retention value	Moderate retention value	High retention value
Total number of trees removed	10	7	2
Tree number reference	25, 26, 40, 43, 46, 50, 52, 54, 55, G56	29, 30, 31, 32, 33, 45, 47	21, 23

## 3.3 CLAUSE 52:17 NATIVE VEGETATION

3.3.1 Clause 52.17 *native vegetation* relates to the protection of native vegetation on sites greater than 4000m<sup>2</sup> (State Government of Victoria DTP 2025B). The Victorian Planning Scheme glossary defines native vegetation as - *plants that are indigenous to Victoria, including trees, shrubs, herbs, and grasses* (Victoria Planning Authority 2025). Table 7 to Clause 52.17 provides a list of exemptions. Notable exemptions include dead trees with a DBH of <40cm, vegetation that was planted (unless publicly funded for the purpose of land protection or enhancing biodiversity) and naturally occurring regrowth vegetation that is less than 10 years old, on land that was previously lawfully cleared.

A permit is required to remove, destroy or lop native vegetation, including dead native vegetation. This does not apply:

- If the table to Clause 52.17-7 specifically states that a permit is not required.
- If a native vegetation precinct plan corresponding to the land is incorporated into this scheme and listed in the schedule to Clause 52.16.
- To the removal, destruction or lopping of native vegetation specified in the schedule to this clause (Victoria State Government 2025B).

3.3.2 Proposed development plans shown as in Figure 4 will require the removal of one indigenous tree (23) onsite to comply with the BMP.

3.3.3 Tree 23 was a mature Narrow-leaved Peppermint growing in close proximity to tree 24. The entire canopy of tree 23 is below the canopy of tree 24 and pruning will not be sufficient to create a 5-metre canopy separation. Narrow-leaved Peppermints are a common species within the local area and can be easily replaced as part of the development design.

3.3.4 For assessment purposes, both trees have been noted as scattered trees and removal of the smaller less significant tree 23 is proposed in order to retain the larger tree 24.

3.3.5 Biodiversity score and offset requirements for the removal of tree 23 have been provided in Attachment A – *Native Vegetation Removal Report* along with relevant vegetation credit information in Attachment B – *Report of Available Native Vegetation Credits*.

## 3.4 IMPACT ON TREES TO BE RETAINED

3.4.1 Proposed plans as shown in figure 4 allow for the successful retention of all third-party trees and 44 onsite trees included in this report.

3.4.2 Proposed plans show no direct NRZ encroachments resulting from building works and it is expected all 44 retained trees will be unaffected by the proposed plans.

3.4.3 Four trees (1, 24, 37 and 44) have been recommended for pruning to comply with the BMP. Pruning of these trees, along with the strategic selection of trees to be removed to comply with BMP demonstrates the client's intent to minimise and avoid the removal of native vegetation.

## 4. Conclusion and recommendations

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4.1.1 Proposed plans to develop the subject site as shown in Figure 4 will require the removal of 19 trees onsite. Proposed building works show no direct NRZ encroachments, and all trees proposed for removal within this report are to satisfy compliance with the BMP.

4.1.2 Of the 19 trees proposed for removal,

- Ten trees were assessed as low retention value. Low retention value trees should place no constraint on development design.
- Seven trees were assessed as moderate retention value. Moderate retention value trees should be retained where possible but not to the detriment of the development design.
- Two trees were high retention value trees. All alternative construction or design options should be considered to retain high retention value trees.
- 14 trees (21, 23, 29, 30, 31, 32, 33, 40, 45, 46, 47, 50, 54 and G56) proposed for removal would trigger a planning permit requirement under ESO1
- One tree (23) was assessed as being indigenous and would be subject to protections under Clause 52:17 *Native Vegetation*.

4.1.3 Proposed plans allow for the successful retention of all third-party trees and 44 onsite trees included in this report with no direct NRZ encroachments planned.

4.1.4 Retained trees have been selectively chosen to avoid and minimise the removal of native vegetation as possible while complying with the BMP.

4.1.5 Tree removal and replacement tree planting must be to the satisfaction of the of the Responsible Authority.

4.1.6 Retained trees must be protected during all stages of site development in accordance with AS4970-2025 *Protection of Trees on Development Sites* and to the satisfaction of the Responsible Authority.

4.1.7 The following site-specific tree protection requirements are recommended:

- A. An AQF level 5 or higher arborist must be engaged as the Project Arborist for the duration of site works and must be consulted by the Project Manager prior to any works commencing.
- B. Tree protection zones (TPZ) must be established within the site and nature strip around each retained tree prior to any works commencing. 1.8m high temporary chain mesh fencing held in position with concrete pads must be used to exclude works from within a TPZ. TPZ fence locations must be defined by referring to TPZ dimensions provided in this report, modified only to allow for site access and construction works approved within those zones.
- C. Signage in accordance with AS1319 stating the words 'Tree Protection Zone-No Access' must be affixed to TPZ fencing and remain visible from within the development site.

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- D. Areas of exposed soil within a TPZ radius that cannot be fenced off due to essential site access requirements must be covered by geotextile fabric, 100mm of mulch and be topped by wooden rumble boards or plastic tracker mats.
- E. Soil excavation within a TPZ must be supervised and documented by the Project Arborist. Excavation encroachments must be limited to those shown on endorsed plans. Any modification or additional excavation inside a TPZ must first be approved by the Responsible Authority.
- F. Underground utilities and services must be routed outside of TPZs or be installed using manual excavation, non-destructive digging (NDD) or directional boring at a depth greater than 1.0m. Boring pits must be positioned outside of TPZs.
- G. Roots damaged during site works must be pruned back to undamaged wood using clean sharp tools. Root pruning must be conducted and documented by the project arborist and be in accordance with AS4373-2007 *Pruning of Amenity Trees*.
- H. Pruning of roots greater than 50mm in diameter must first be approved by the Responsible Authority.
- I. Material storage, waste disposal and site amenities must be located outside of TPZs.
- J. Any essential canopy pruning must be completed in accordance with AS4373-2007 *Pruning of Amenity Trees* and any other relevant law, policy or guidelines enforced by local authority.
- K. The project arborist must supply final documentation that all tree protection measures were implemented, comment on the post development health of the trees and make any further recommendations as required.

# 5. References and appendices

## 5.1 APPENDIX 1 TREE IMAGES



Figure 7 Tree 1



Figure 8 Tree 2



Figure 9 Tree 3



Figure 10 Tree 4



Figure 11 Tree 5



Figure 12 Tree 6



Figure 13 Tree 7



Figure 14 Tree 8



Figure 15 Tree 9



Figure 16 Tree 10



Figure 17 Tree 11



Figure 18 Tree 12



Figure 19 Tree 13



Figure 20 Tree 14



Figure 21 Tree 15



Figure 22 Tree 16



Figure 23 Tree 17



Figure 24 Tree 18

  
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Figure 25 Tree 19



Figure 26 Tree 20



Figure 27 Tree 21



Figure 28 Tree 22



Figure 29 Tree 23



Figure 30 Tree 24



Figure 31 Tree 25



Figure 32 Tree 26



Figure 33 Tree 27

  
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Figure 34 Tree 28



Figure 35 Tree 29



Figure 36 Tree 30



Figure 37 Tree 31



Figure 38 Tree 32



Figure 39 Tree 33



Figure 40 Tree 34



Figure 41 Tree 35



Figure 42 Tree 36

  
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Figure 43 Tree 37



Figure 44 Tree 38



Figure 45 Trees 39 and 40



Figure 46 Tree group 41



Figure 47 Tree 42



Figure 48 Tree 43



Figure 49 Tree 44



Figure 50 Tree 45



Figure 51 Tree 46

  
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Figure 52 Tree 47



Figure 53 Tree 48



Figure 54 Tree 49



Figure 55 Tree 50



Figure 56 Tree 51



Figure 57 Tree 52



Figure 58 Tree 53



Figure 59 Tree 54



Figure 60 Tree 55



Figure 61 Tree group 56



Figure 62 Tree 57



Figure 63 Tree 58



Figure 64 Tree 59



Figure 65 Tree 60

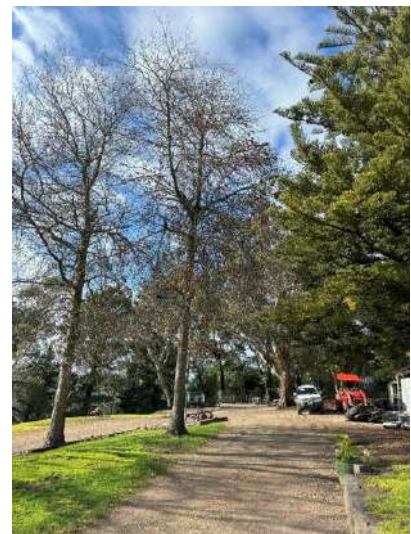


Figure 66 Tree 61



Figure 67 Tree 62



Figure 68 Tree 63

  
**Cardinia**

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## 5.2 APPENDIX 2 DATA DESCRIPTORS, DEFINITIONS AND CRITERIA

### 5.2.1 Origin

**Indigenous** – Known to occur naturally in the local area of the subject site.

**Vic native** – Species that occur naturally in Victoria (may include the subject site location).

**Native** – Species that occur naturally in other states of Australia, but not Victoria.

**Exotic** – Species that do not occur naturally in Australia.

#### Health ratings

**Dead** – Tree is completely dead, non-functional crown (no green leaves), stem cambium completely dead, no evidence of root suckers or sprouts.

**Poor** – Tree is presenting large quantities of crown dieback and/or major crown thinning. Persistent infections of pathogens, insect borers, fungal cankers and root disease may be present. Irreversible condition, any treatments may only be temporary to achieve hazard reduction prior to tree removal.

**Fair** – Tree is presenting symptoms of stress that may be due to seasonal biotic or abiotic conditions e.g. water stress or seasonal defoliators. The symptoms may include tip dieback, crown thinning, defoliation, leaf discoloration, reduced leaf and/or internode length. The condition may be reversible.

**Good** – Tree is generally free of pest and disease symptoms; any biotic or abiotic stress is not present over more than 10% of the tree parts concerned. Internode length may be variable but generally consistent in length for the last two annual increments.

**Excellent** – Tree is completely free from evidence of pest or disease organisms. Tree is exhibiting no signs of abiotic stress such as tip dieback or loss of foliage. Growth is of typical colouration, size and quantity for that species at that location. Internode length is consistent or increasing in length from previous two increments. The tree crown appears complete and balanced.

### 5.2.2 Structure ratings

**Compromised** – Tree has suffered mechanical damage and now presents a risk of partial or whole tree collapse.

**Hazardous** – Tree presents with one or more snapped branches caught in the crown of the tree. Removal of defective branch may then change structure rating.

**Very poor** – Tree has pronounced structural weakness that may be due to poor growth development, advanced fungal decay, multiple previous failures within crown, and/or mechanical damage. Tree is presenting signs of instability and possible imminent structural failure of major structural component(s).

**Poor** – Tree has structural weakness that may be due to poor growth development, fungal decay, mechanical damage including past pruning or a combination of these but is not at this time presenting signs of imminent structural failure of major structural components.

**Fair** – Tree has some structural weakness but failure of which is not a major structural component and does not present any signs of potential imminent failure. Fungal degradation was not observed in any structurally significant component.

**Good** – Tree does not appear to have any obvious, notable structural defects, signs of structural distress or indicators of fungal decay.



### 5.2.3 Age classifications

**Juvenile** – Young trees that are yet to reach ~~one third of their expected size~~, generally less than 10 years old.

**Reformed** – Trees which have previously been cut to a stump and allowed to regrow.

**Semi-mature** – Trees which have reached approximately half of their expected size and are less than one third of the way through their expected lifespan; species and location considered.

**Mature** – Trees which have reached two thirds of their expected size or more and are approximately two thirds or more of the way through their expected lifespan; species and location considered.

**Senescent** – Trees which have over matured within the surrounding landscape and present in a state of irreversible health and/or structural decline.

**Dead** – Trees with a non-functional crown (no green leaves), stem cambium completely dead, no evidence of root suckers or sprouts.

### 5.2.4 Retention value

**Low retention value** – Trees that offer little opportunity of contributing to the future site for reasons of health or structural condition, low horticultural value of the species, inaptness in relation to unacceptable growth habit, noxious or invasive weed species or a combination of these characteristics. Juvenile and semi-mature trees which could be readily replaced may also be placed in this category.

Low retention value trees should be considered for removal prior to development works proceeding. Trees of low retention value should place no restraints on proposed designs.

**Moderate retention value** – Trees offering some beneficial attributes that may enhance the site or local environment in relation to botanical, historical or local significance, but may be limited to some degree by their current health condition, structural condition, species traits or ULE.

Moderate retention value trees should be considered for retention where possible within the development design, but not necessarily to the detriment of the design. Arboricultural works or alternate construction techniques within practical limits may be utilized to allow construction to proceed with the retention of moderate retention value tree/s.

**High retention value** – Trees with potential to positively contribute to the future site or local environment due to their botanical, historical or local significance in combination with good characteristics of health and structure, ULE of >30 yrs. Significant remnant specimens may also be placed in this category regardless of health and structure.

High retention value trees should be considered for retention and be incorporated into the design layout. All avenues of tree protection and alternative construction techniques that will allow for tree retention should be investigated.

**Third-party** – Trees located within adjoining properties or Council owned land adjacent to the subject site. Third-party trees must be protected from major physical injury, or where appropriate permission may be sought to alter or replace the tree(s).

## 5.2.5 Useful Life Expectancy – ULE (Adapted from Barrell 2001)

**30+ years/long:** *Trees that appear to be retainable in the current landscape for more than 30 years.*

Structurally sound trees located in positions that can accommodate future growth.

Minimally defective trees that could be made suitable for retention in the long term by remedial arboricultural practices and maintenance.

Trees of special significance for historical, commemorative or rarity reasons that would warrant extraordinary efforts to secure their long-term retention.

**15-30 years/Medium:** *Trees that appear to be retainable in the current landscape for 15 to 30 years.*

Trees that may only live between 15 and 30 years.

Trees that may live for more than 30 years but would be removed to allow for new plantings.

Trees that may live for more than 30 years but would be removed during the course of normal management for safety or nuisance reasons.

Minimally defective trees that can be made suitable for retention in the medium term by remedial arboricultural practices and maintenance.

**5-15 years/Short:** *Trees that appear to be retainable in the current landscape for 5 to 15 years.*

Trees that may only live for 5 to 15 years.

Trees that may live for more than 15 years but would be removed to allow for new plantings.

Trees that may live for more than 15 years but would be removed during the course of normal management for safety or nuisance reasons.

Defective trees that require substantial remedial work to make safe and are only suitable for retention in the short term.

**<5 years/Remove:** *Trees requiring immediate removal or trees that should be removed within 5 years.*

Dead trees.

Declining trees through disease or inhospitable conditions.

Dangerous trees through instability or recent loss of adjacent trees.

Dangerous trees through advanced structural defects.

Damaged trees that are considered unsafe to retain.

Trees that are listed as invasive or noxious weeds in the local area.

Trees conflicting with structures, underground utilities or hard surfaces that cannot be remedied through arboricultural practices or engineering solutions.

**N/A:** *Small, young or regularly pruned trees of low retention value.*

Trees that can be reliably moved or replaced.

Small trees less than 5m in height.

Young trees less than 10 years old but over 5m in height.

Trees intended for regular pruning to artificially control growth and rated as low retention value.

### 5.3 REFERENCES

Barrell. J, 2001. *SULE: Its use and status into the new millennium*. Viewed 18 Oct 2018 <<https://www.barrelltreecare.co.uk/assets/Uploads/BTC08-Sydney.pdf>>

Matheny. N & Clark. J, 1998. *Trees and development*. International Society of Arboriculture, Champaign, USA.

Mattheck. C and Breloer. H, 1994. *The body language of trees-a handbook for failure analysis*, The Stationary Office, UK.

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### 5.4 ATTACHMENTS

Attachment A – *Native Vegetation Removal Report*. NVRID 311\_20251112\_SHK, 12 Nov 2025

Attachment B – *Report of Available Native Vegetation Credits*. Report ID 32712, 12 Nov 2025



# Native Vegetation Removal Report

NVRR ID: 311\_20251112\_SHK

This report provides information to support an application to remove, destroy or lop native vegetation in accordance with the [Guidelines for the removal, destruction or lopping of native vegetation](#) (the Guidelines). This report is **not an assessment by DEECA** of the proposed native vegetation removal. Offset requirements have been calculated using modelled condition scores.

## Report details

**Date created:** 12/11/2025

**Local Government Area:** CARDINIA SHIRE

**Registered Aboriginal Party:** Bunurong

**Coordinates:** 145.50566, -38.00182

**Address:** 126 BOURKES CREEK ROAD PAKENHAM UPPER 3810

## Summary of native vegetation to be removed

Assessment pathway	Basic Assessment Pathway		
<b>Location category</b>	Location 1 The native vegetation extent map indicates that this area is not typically characterised as supporting native vegetation. It does not meet the criteria to be classified as Location Category 2 or 3. The removal of less than 0.5 hectares of native vegetation in this area will not require a Species Offset.		
<b>Total extent including past and proposed removal (ha)</b> <i>Includes endangered EVCs (ha): 0</i>	<b>0.031</b>	<i>Extent of past removal (ha)</i>	<i>0</i>
		<i>Extent of proposed removal - Patches (ha)</i>	<i>0.000</i>
		<i>Extent of proposed removal - Scattered Trees (ha)</i>	<i>0.031</i>
<b>No. Large Trees proposed to be removed</b>	<b>0</b>	<i>No. Large Patch Trees</i>	<i>0</i>
		<i>No. Large Scattered Trees</i>	<i>0</i>
<b>No. Small Scattered Trees</b>	<b>1</b>		



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## Offset requirements if approval is granted

Any approval granted will include a condition to secure an offset, before the removal of native vegetation, that meets the following requirements:

<b>General Offset amount <sup>1</sup></b>	<b>0.007 General Habitat Units</b>
Minimum strategic biodiversity value score <sup>2</sup>	0.408
Large Trees	0
Vicinity	Melbourne Water CMA or CARDINIA SHIRE LGA

NB: values within tables in this document may not add to the totals shown above due to rounding

The availability of third-party offset credits can be checked using the Native Vegetation Credit Register (NVCR) Search Tool - <https://nvcr.delwp.vic.gov.au>



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1. The General Offset amount required is the sum of all General Habitat Units in Appendix 1.  
2. Minimum strategic biodiversity value score is 80 per cent of the weighted average score across habitat zones where a General Offset is required.

## Application requirements

Applications to remove, destroy or lop native vegetation must include all the below information. If an appropriate response has not been provided the application is not complete.

### Application Requirement 1 - Native vegetation removal information

If the native vegetation removal is mapped correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 1.

### Application Requirement 2 - Topographical and land information

This statement describes the topographical and land features in the vicinity of the proposed works, including the location and extent of any ridges, hilltops, wetlands and waterways, slopes of more than 20% gradient, low-lying areas, saline discharge areas or areas of erosion.

The tree is situated on gentle gradient piece of land adjacent to steep drop off. There are several other larger trees in close proximity of the tree to be removed. Canopy and root structure of the larger tree next to the tree to be removed would completely encompass the canopy the canopy and root structure of the tree to be removed.

### Application Requirement 3 - Photographs of the native vegetation to be removed

Application Requirement 3 is not addressed in this Native Vegetation Removal Report. All applications must include recent, timestamped photos of each Patch, Large Patch Tree and Scattered Tree which has been mapped in this report.

### Application Requirement 4 - Past removal

If past removal has been considered correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 4.

### Application Requirement 5 - Avoid and minimise statement

This statement describes what has been done to avoid and minimise impacts on native vegetation and associated biodiversity values.

In order to minimise and avoid the removal of native vegetation on the property the following measure have been undertaken.

- Consultaion with a Level 5 Arborist to identify non-native species that can be removed or pruning works that can be undertaken to avoid native removal.
- Requests to CFA for exemptions on the distances of the defendable space as the tree to be removed is within 2m of the defendable space boundary.
- Consciously made development designs so that they do not push defendable space boundary closer to other native vegetation.

In all other cases on this propeerty we have been able to create the defendable space by pruning and non-native removal. The tree to be removed is situated completey under another larger, more significant indigenous tree. Pruning will not be possible to create the required canopy separation and removal of the smaller tree is a more desired outcome than losing the larger signifacnt tree.

### Application Requirement 6 - Property Vegetation Plan

  
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This requirement only applies if an approved Property Vegetation Plan (PVP) applies to the property  
Does a PVP apply to the proposal?

No

### **Application Requirement 7 - Defendable space statement**

Where the removal of native vegetation is to create defendable space, this statement:

- Describes the bushfire threat; and
- Describes how other bushfire risk mitigation measures were considered to reduce the amount of native vegetation proposed for removal (this can also be part of the avoid and minimise statement).

This statement is not required if, If the proposed defendable space is within the Bushfire Management Overlay (BMO), and in accordance with the 'Exemption to create defendable space for a dwelling under Clause 44.06 of local planning schemes' in Clause 52.12-5.

### **Application Requirement 8 - Native Vegetation Precinct Plan**

This requirement is only applicable if you are removing native vegetation from within an area covered by Native Vegetation Precinct Plan (NVPP), and the proposed removal is not identified as 'to be removed' within the NVPP.

Does an NVPP apply to the proposal?

No

### **Application Requirement 9 - Offset statement**

This statement demonstrates that an offset is available and describes how the required offset will be secured. The Applicant's Guide provides information relating to this requirement.

We intent to purchase third-party offsets from an existing native vegetation credit site. Attached is the report of available GHU native vegetation credits for the required offsets for the removal of the tree. We understand the costs involved.



## Next steps

Applications to remove, destroy or lop native vegetation must address all the application requirements specified in the Guidelines. If you wish to remove the mapped native vegetation you are required to apply for approval from the responsible authority (e.g. local Council). This Native vegetation removal report must be submitted with your application and meets most of the application requirements. The following requirements need to be addressed, as applicable.

### **Application Requirement 3 - Photographs of the native vegetation to be removed**

Recent, dated photographs of the native vegetation to be removed **must be provided** with the application. All photographs must be clear, show whether the vegetation is a Patch of native vegetation, Patch Tree or Scattered Tree, and identify any Large Trees. If the area of native vegetation to be removed is large, provide photos that are indicative of the native vegetation.

Ensure photographs are attached to the application. If appropriate photographs have not been provided the application is not complete.

### **Application Requirement 6 - Property Vegetation Plan**

If a PVP is applicable, it must be provided with the application.

  
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## Appendix 1: Description of native vegetation to be removed

General Habitat Units for each zone (Patch, Scattered Tree or Patch Tree) are calculated by the following equation in accordance with the Guidelines

**General Habitat Units = extent without overlap x condition score x general landscape factor x 1.5, where the general landscape factor = 0.5 + (strategic biodiversity value score/2)**

The General Offset amount required is the sum of all General Habitat Units per zone.

### Native vegetation to be removed

Information provided by or on behalf of the applicant			Information calculated by NVR Map							
Zone	Type	DBH (cm)	EVC code (modelled)	Bioregional conservation status	Large Tree(s)	Condition score (modelled)	Polygon extent (ha)	Extent without overlap (ha)	SBV score	General Habitat Units
A	Scattered Tree	30	HSF_0045	Least Concern	-	0.200	0.031	0.031	0.510	0.007



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# Appendix 2: Images of mapped native vegetation

## 1. Property in context



-  Proposed Removal
-  Property Boundaries



200 m

  
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## 2. Aerial photograph showing mapped native vegetation



□ Proposed Removal



30 m

  
Cardinia

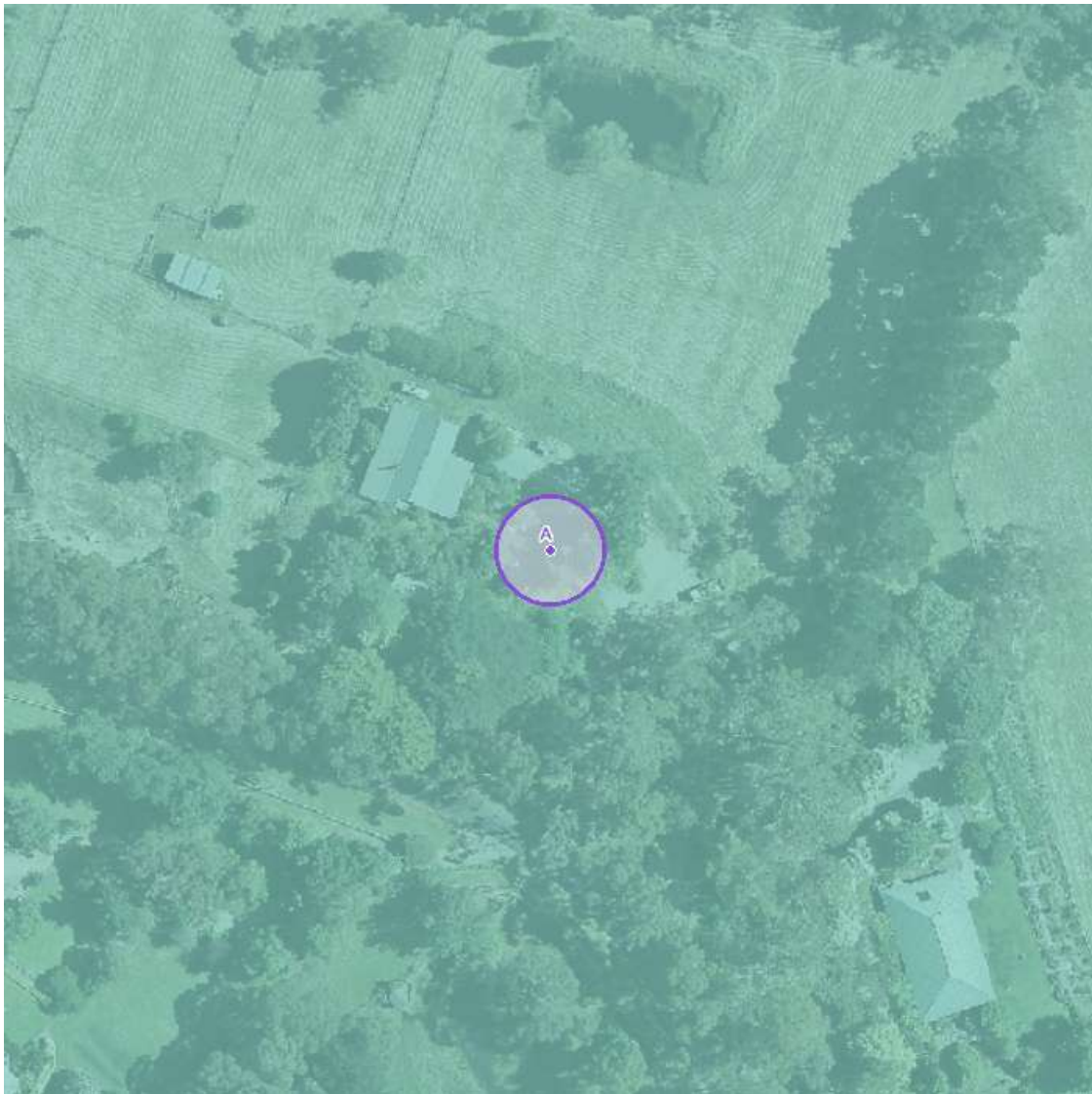
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### 3. Location Risk Map



Proposed Removal

Location 1

Location 2

Location 3



30 m



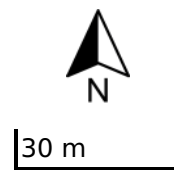
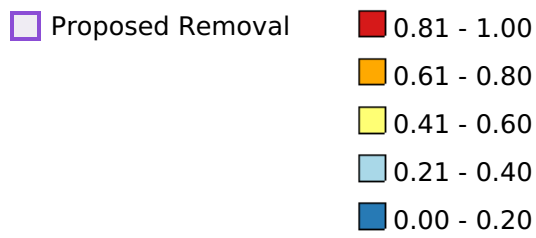
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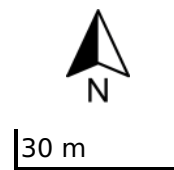
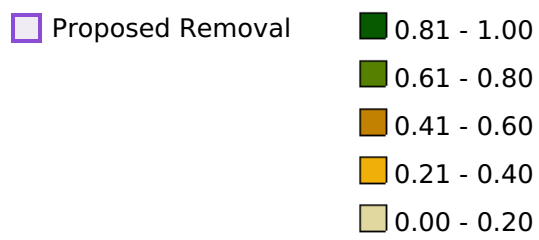
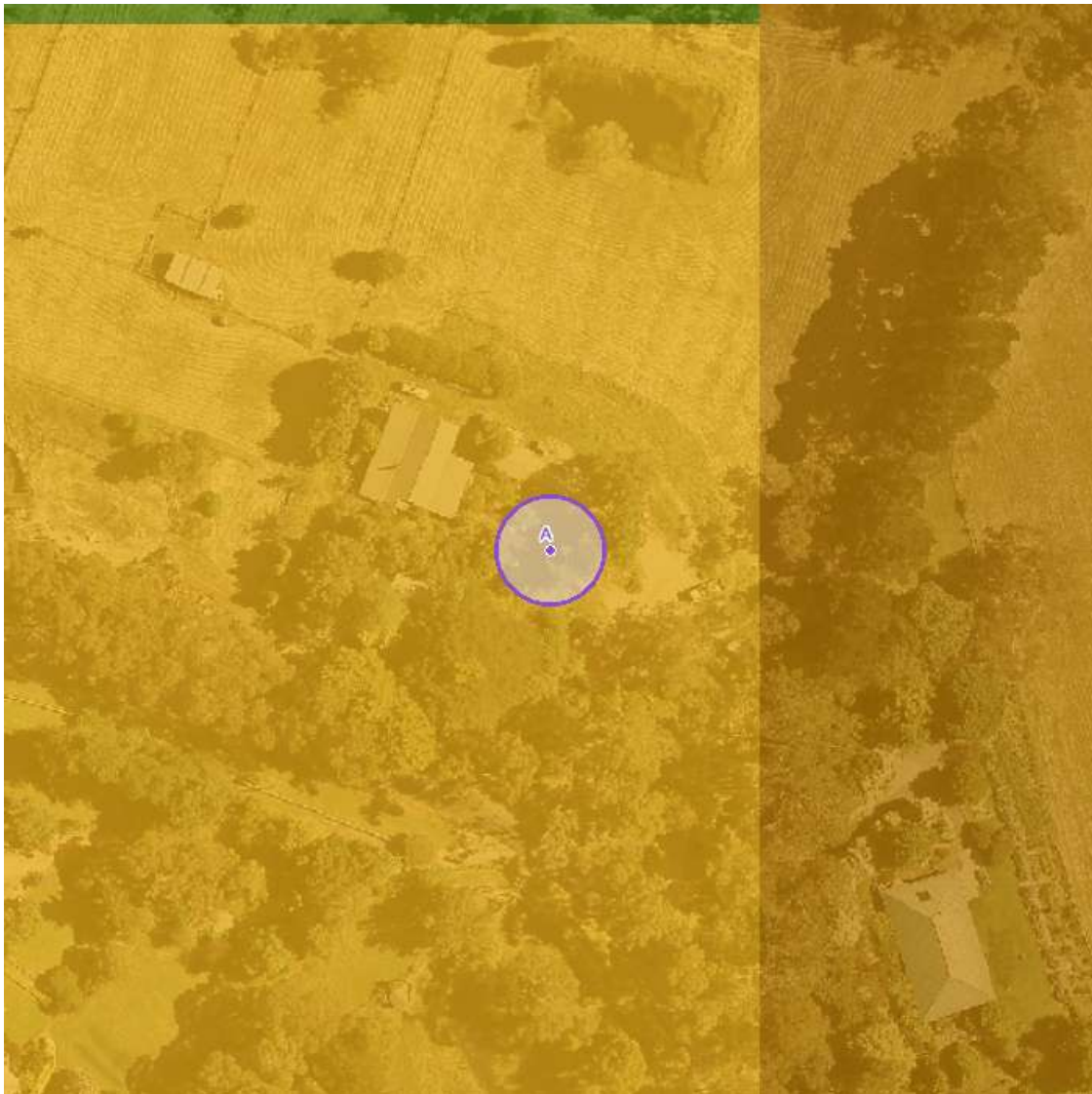
## 4. Strategic Biodiversity Value Score Map



  
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## 5. Condition Score Map



  
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## 6. Endangered EVCs

Not Applicable

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# Report of available native vegetation credits

This report lists native vegetation credits available to purchase through the Native Vegetation Credit Register.

This report is **not evidence** that an offset has been secured. An offset is only secured when the units have been purchased and allocated to a permit or other approval and an allocated credit extract is provided by the Native Vegetation Credit Register.

Date and time: 12/11/2025 02:07



Report ID: 32712

## What was searched for?

General offset

General habitat units	Strategic biodiversity value	Large trees	Vicinity (Catchment Management Authority or Municipal district)	
0.007	0.408	1	LGA	Cardinia Shire

## Details of available native vegetation credits on 12 November 2025 02:07

These sites meet your requirements for general offsets.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
BBA-0670	13.399	70	Melbourne Water	Cardinia Shire	No	Yes	No	Abezco, VegLink
VC_CFL-3740_01	0.021	42	Melbourne Water	Cardinia Shire, Yarra Ranges Shire	Yes	Yes	No	Bio Offsets

These sites meet your requirements using alternative arrangements for general offsets.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
----------------	-----	----	-----	-----	------------	--------	-------------	-----------

There are no sites listed in the Native Vegetation Credit Register that meet your offset requirements when applying the alternative arrangements as listed in section 11.2 of the Guidelines for the removal, destruction or lopping of native vegetation.

These potential sites are not yet available, land owners may finalise them once a buyer is confirmed.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
----------------	-----	----	-----	-----	------------	--------	-------------	-----------

There are no potential sites listed in the Native Vegetation Credit Register that meet your offset requirements.

LT - Large Trees

CMA - Catchment Management Authority

LGA - Municipal District or Local Government Authority

## Next steps

### If applying for approval to remove native vegetation

Attach this report to an application to remove native vegetation as evidence that your offset requirement is currently available.

### If you have approval to remove native vegetation

Below are the contact details for all brokers. Contact the broker(s) listed for the credit site(s) that meet your offset requirements. These are shown in the above tables. If more than one broker or site is listed, you should get more than one quote before deciding which offset to secure.

## Broker contact details

Broker Abbreviation	Broker Name	Phone	Email	Website
	Fully traded			
Abezco	Abzeco Pty. Ltd.	(03) 9431 5444	offsets@abzeco.com.au	www.abzeco.com.au
Baw Baw SC	Baw Baw Shire Council	(03) 5624 2411	bawbaw@bawbawshire.vic.gov.au	www.bawbawshire.vic.gov.au
Bio Offsets	Biodiversity Offsets Victoria	0452 161 013	info@offsetsvictoria.com.au	www.offsetsvictoria.com.au
Contact NVOR	Native Vegetation Offset Register	136 186	nativevegetation.offsetregister@deeca.vic.gov.au	www.environment.vic.gov.au/native-vegetation
Ecocentric	Ecocentric Environmental Consulting	0410 564 139	ecocentric@me.com	Not available
Ethos	Ethos NRM Pty Ltd	(03) 5153 0037	offsets@ethosnrm.com.au	www.ethosnrm.com.au
IDES	ID Ecological Management	(03) 9437 0555		www.idecological.com.au
Nillumbik SC	Nillumbik Shire Council	(03) 9433 3316	offsets@nillumbik.vic.gov.au	www.nillumbik.vic.gov.au
TFN	Trust for Nature	8631 5888	offsets@tfn.org.au	www.trustfornature.org.au
VegLink	Vegetation Link Pty Ltd	(03) 8578 4250 or 1300 834 546	offsets@vegetationlink.com.au	www.vegetationlink.com.au
Yarra Ranges SC	Yarra Ranges Shire Council	1300 368 333	biodiversityoffsets@yarraranges.vic.gov.au	www.yarraranges.vic.gov.au

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For more information contact the DEECA Customer Service Centre 136 186 or the Native Vegetation Credit Register at [nativevegetation.offsetregister@delwp.vic.gov.au](mailto:nativevegetation.offsetregister@delwp.vic.gov.au)

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### ADVERTISED MATERIAL

Planning Application: T250199  
Date Prepared: 05 May 2026

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**Division 1 Group Pty Ltd**  
145 Thewlis Road  
PAKENHAM 3810

P: 5941 4299  
E: office@d1group.com.au  
ABN: 40 668 446 446

2 July 2025

To Whom It May Concern

Address: 126 Bourkes Creek Road  
Pakenham Upper VIC 3810



Division 1 Group attended the above address on 15/05/25 to inspect the septic system. From digging around and using a drainage camera, we found the tank holds 2000ltr. The exact field size is unknown but it is maintaining the current waste. We think from probing the field area, the field size is approximately 120 meters of absorption trenches. After the septic system there is a filter system before the absorption trenches.

We are confident in saying the system is currently keeping up with the volume of water/sewer.

Regards

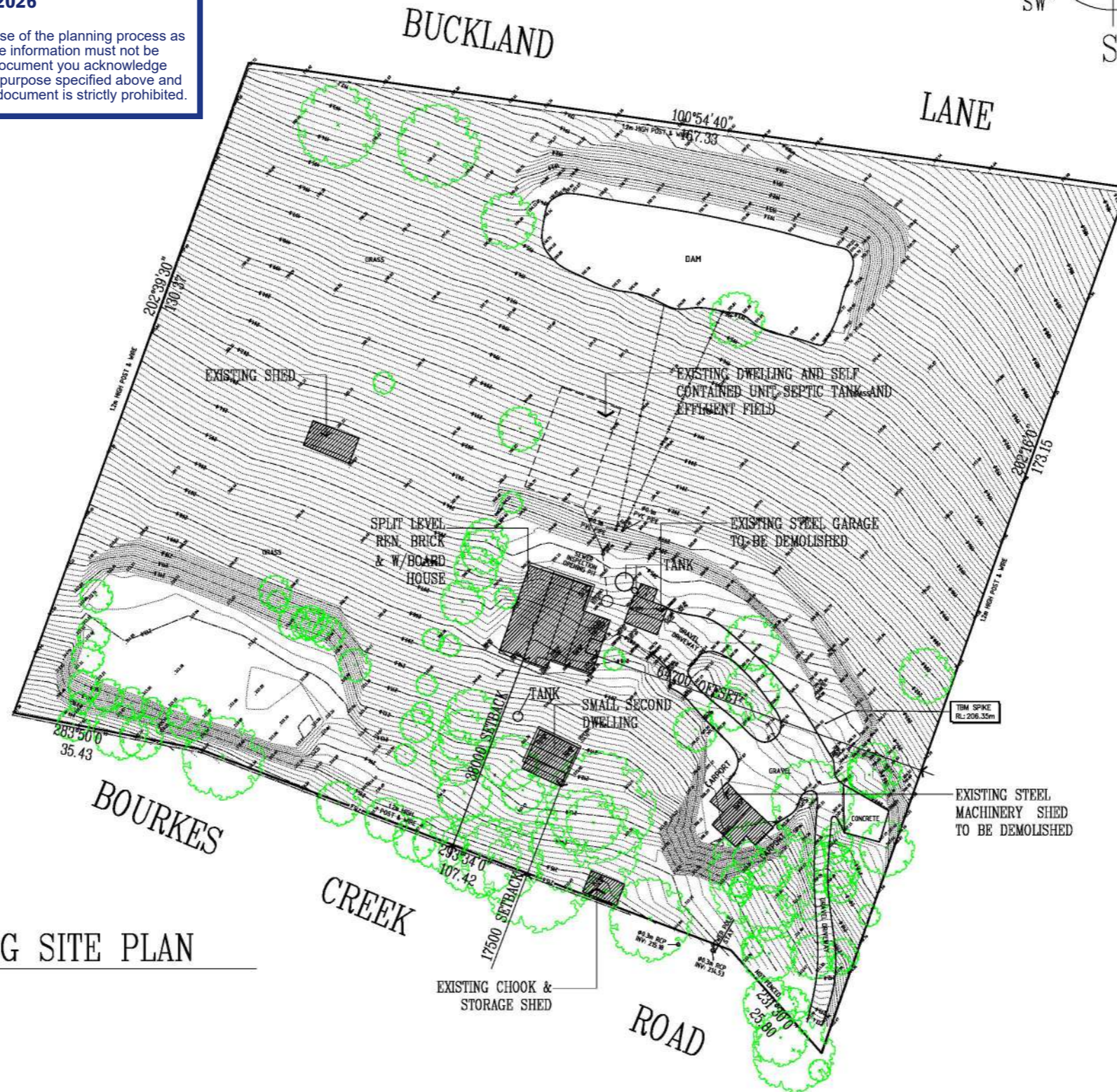
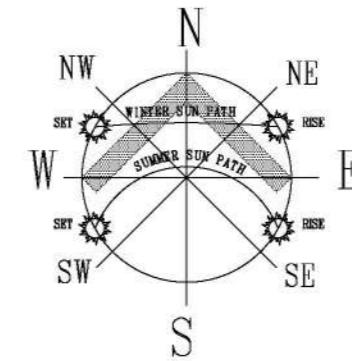




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### EXISTING SITE PLAN

SCALE 1 : 1000

#### LEGEND

- - POWER POLE
- DENOTES UNDERGROUND SEWERAGE LINE
- DENOTES APPROX. VICMAP TITLE LINE

#### NOBELIUS LAND SURVEYORS

P.O. BOX 461  
PAKENHAM 3810  
Ph 03 5941 4112  
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mail@nobelius.com.au

# A 01

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16 HAMILTON STREET  
CORINELLA VIC 3984  
MOB: 0437 253 564  
EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



CLIENT: [REDACTED]

PROJECT:  
EXISTING BUILDINGS

ADDRESS:  
126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE:  
EXISTING SITE CONDITIONS

DESIGN:	A. REES
	DP-AD30125
DWN BY:	A. REES
DATE:	01 : 2025
SCALE:	1 : 1000 @ A3
REVISION:	-

DRAWING NO: 585

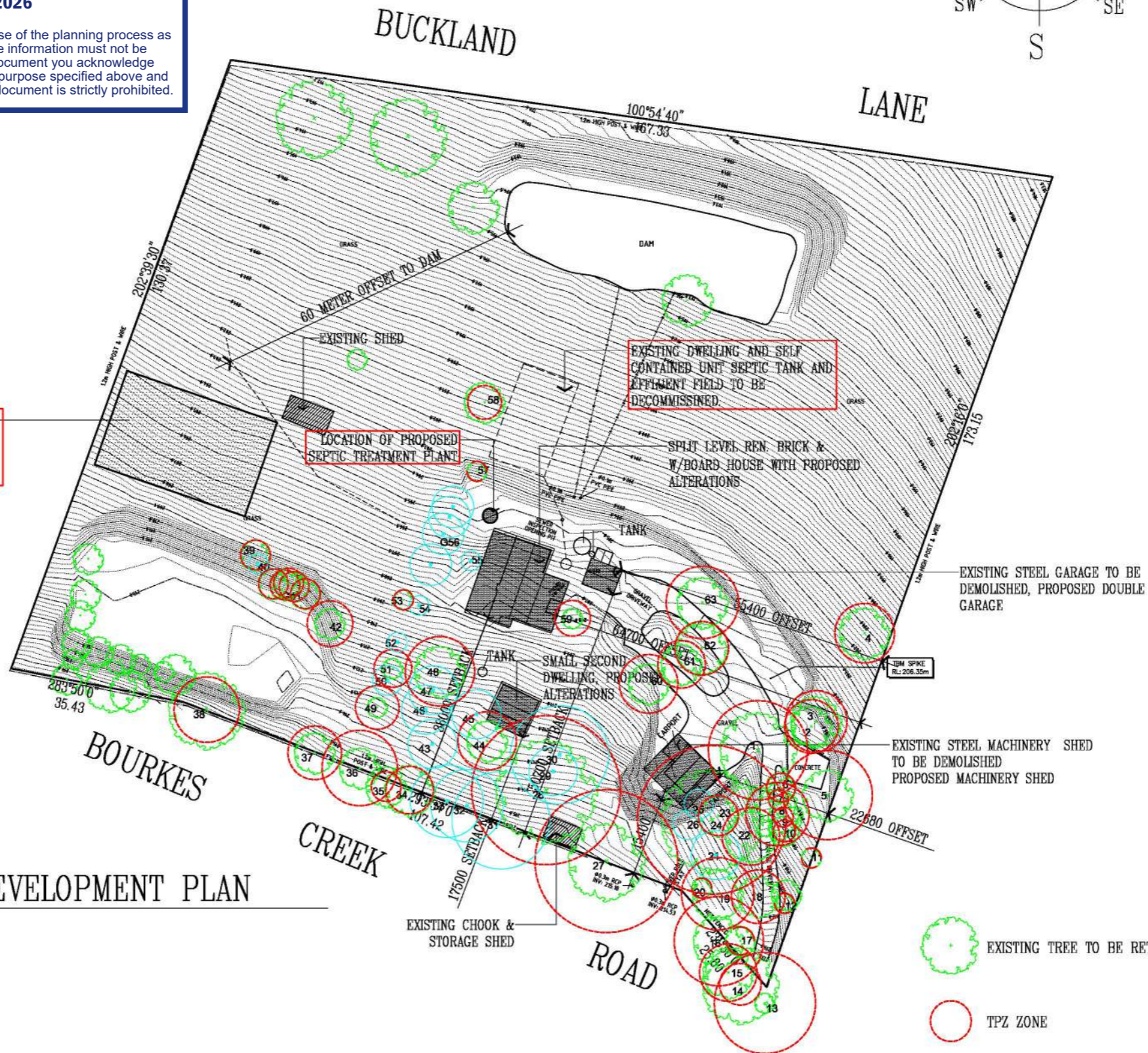
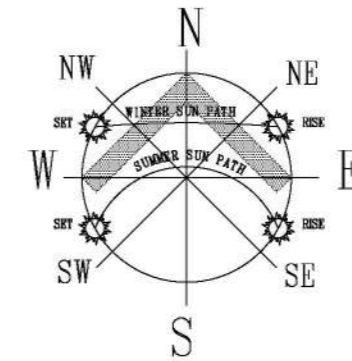
STATUS: TOWN PLANNING



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LOCATION OF TREATED WASTEWATER SUB SURFACE IRRIGATION AREA. 630m2 AS PER LCA REPORT. MINIMUM 60 METER OFFSET TO EXISTING DAM

EXISTING DWELLING AND SELF CONTAINED UNIT SEPTIC TANK AND EFFLUENT FIELD TO BE DECOMMISSIONED.

LOCATION OF PROPOSED SEPTIC TREATMENT PLANT

SPLIT LEVEL REN. BRICK & W/BOARD HOUSE WITH PROPOSED ALTERATIONS

EXISTING STEEL GARAGE TO BE DEMOLISHED, PROPOSED DOUBLE GARAGE

EXISTING STEEL MACHINERY SHED TO BE DEMOLISHED PROPOSED MACHINERY SHED

EXISTING CHOOK & STORAGE SHED

- LEGEND**
- - POWER POLE
  - DENOTES UNDERGROUND SEWERAGE LINE
  - DENOTES APPROX. VICMAP TITLE LINE

### SITE DEVELOPMENT PLAN

SCALE 1 : 1000

- EXISTING TREE TO BE RETAINED
- TPZ ZONE
- TREES TO BE REMOVED FOR BMO

# A 02

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CORINELLA VIC 3984  
MOB: 0437 253 564  
EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



CLIENT: [REDACTED]

PROJECT: EXISTING BUILDINGS

ADDRESS: 126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE: SITE DEVELOPMENT PLAN

DESIGN:	A. REES DP-AD30125
DWN BY:	A. REES
DATE:	01 : 2025
SCALE:	1 : 100 @ A3
REVISION:	-

DRAWING NO: 585

STATUS: TOWN PLANNING

**NOBELIUS LAND SURVEYORS**  
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DOORS TO SANITARY COMPARTMENTS TO BE PROVIDED WITH 'LIFT OFF HINGES' OR SIMILAR WHERE INDICATED BY THIS \*

OFFSET DOOR JAMBS FROM ADJACENT WALLS TO SUIT SELECTED ARCHITRAVES. SCRIBE FLUSH TO ADJACENT WALLS ALL ARCHITRAVES SELECTED THAT ARE LARGER THAN 42mm WHERE THERE IS INSUFFICIENT SPACE.

REFER TO SITE PLAN FOR ALL DOWN PIPE LOCATIONS.

ALL EXTERNAL TIMBERS USED SHALL BE TREATED FOR WEATHER EXPOSURE.

INTERCONNECTED SMOKE ALARMS CONNECTED TO MAINS ELECTRICAL POWER WITH BATTERY BACKUP COMPLYING WITH AS 3786 (S)

FLOW RATES OF EACH EXHAUST TO BE AS FOLLOWS




KITCHEN RANGEHOOD/LAUNDRY 40L/s

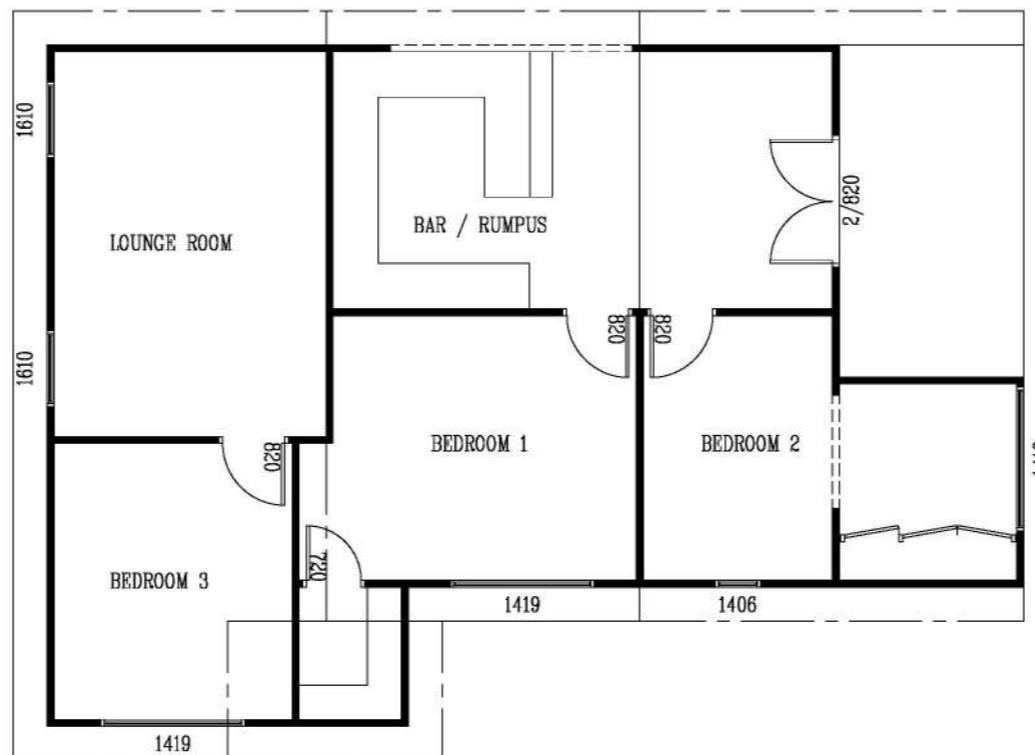
BATHROOM/ENSUITE/WC EXHAUST 25L/s

ALL EXHAUST FANS TO BE VENTED TO ATMOSPHERE

A VAPOUR PERMEABLE MEMBRANE TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2 TO EXTERNAL WALLS AS PER BCA 2022

## WALL LEGEND:

-  WALLS TO BE DEMOLISHED
-  PROPOSED 90mm TIMBER WALLS
-  EXISTING WALLS



UPPER LEVEL FLOOR PLAN

## EXISTING FLOOR PLAN - DWELLING - BEFORE BUILDING WORKS

SCALE 1 : 100



### ADVERTISED MATERIAL

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Date Prepared: 05 May 2026

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EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



CLIENT:  
[REDACTED]

PROJECT:  
EXISTING BUILDINGS

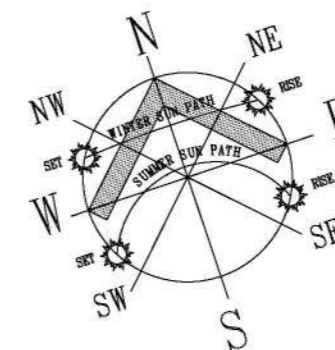
ADDRESS:  
126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE:  
DWELLING FLOOR PLAN

DESIGN: A. REES  
DP-AD30125  
DWN BY: A. REES  
DATE: 01 : 2025  
SCALE: 1 : 100 @ A3  
REVISION: -

DRAWING NO: 585

STATUS: TOWN PLANNING



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OFFSET DOOR JAMES FRAM ADJACENT WALLS TO SUIT SELECTED ARCHITRAVES. SCRIBE FLUSH TO ADJACENT WALLS ALL ARCHITRAVES SELECTED THAT ARE LARGER THAN 42mm WHERE THERE IS INSUFFICIENT SPACE.

REFER TO SITE PLAN FOR ALL DOWN PIPE LOCATIONS.

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INTERCONNECTED SMOKE ALARMS CONNECTED TO MAINS ELECTRICAL POWER WITH BATTERY BACKUP COMPLYING WITH AS 3786 (S)

FLOW RATES OF EACH EXHAUST TO BE AS FOLLOWS




KITCHEN RANGEHOOD/LAUNDRY 40L/s

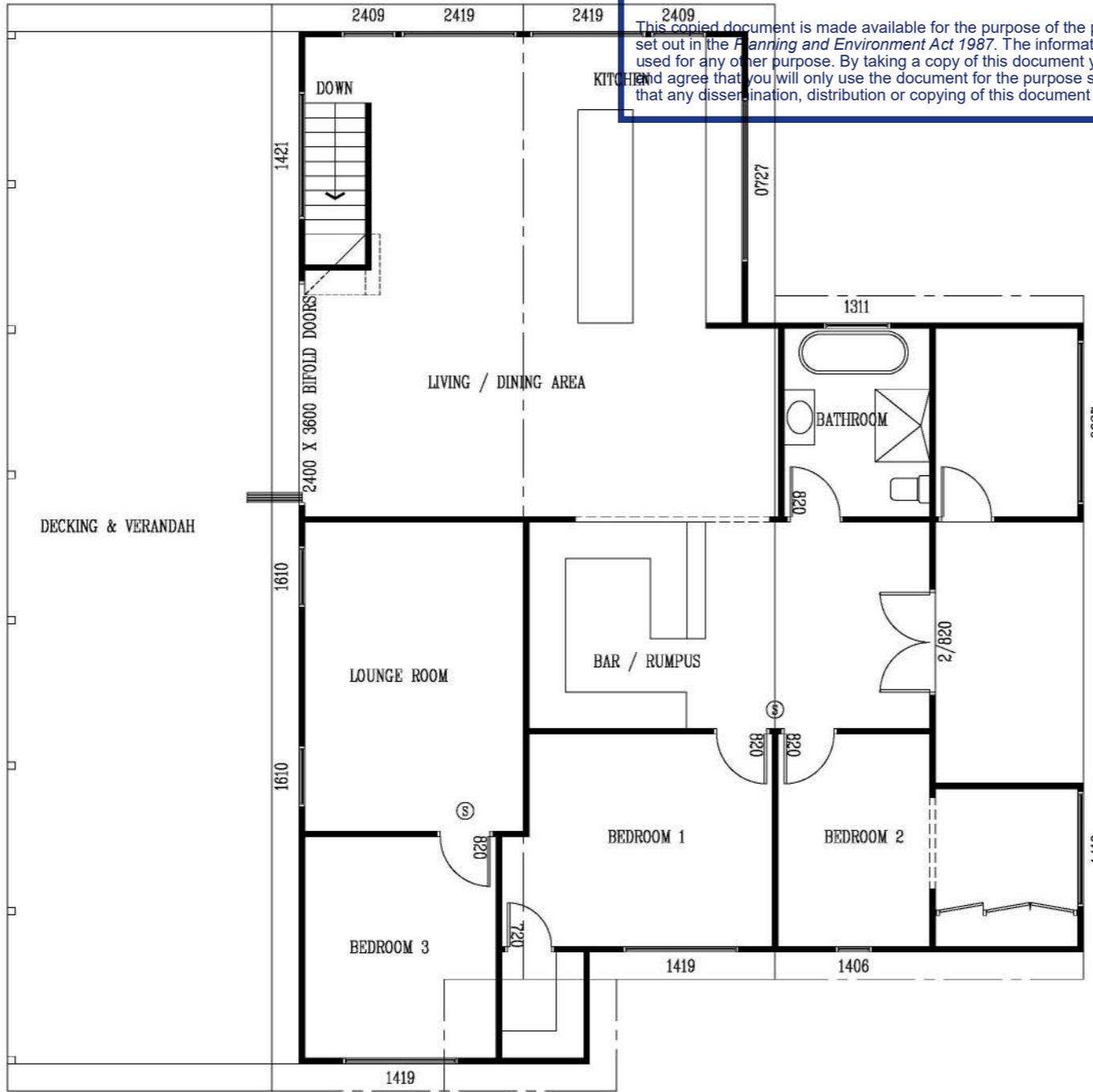
BATHROOM/ENSUITE/WC EXHAUST 25L/s

ALL EXHAUST FANS TO BE VENTED TO ATMOSPHERE

A VAPOUR PERMEABLE MEMBRANE TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2 TO EXTERNAL WALLS AS PER BCA 2022

### WALL LEGEND:

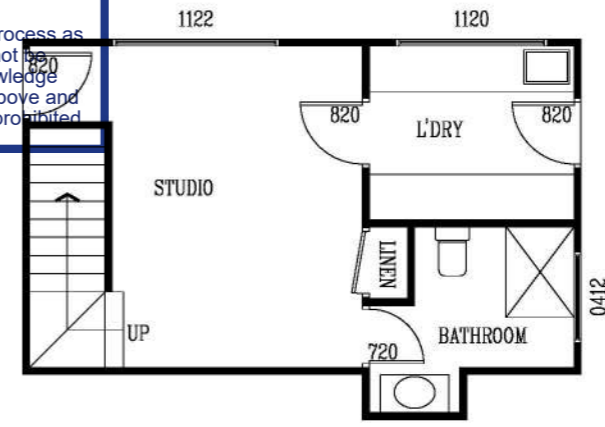
-  WALLS TO BE DEMOLISHED
-  PROPOSED 90mm TIMBER WALLS
-  EXISTING WALLS



UPPER LEVEL FLOOR PLAN

**Cardinia**  
**ADVERTISED MATERIAL**  
 Planning Application: T250199  
 Date Prepared: 05 May 2026

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LOWER LEVEL FLOOR PLAN

## EXISTING FLOOR PLAN - DWELLING - AFTER BUILDING WORKS

SCALE 1 : 100

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## Amber Rees Design

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TOWN PLANNING PLANS  
 AMENDMENT B  
 28TH APRIL 2026



CLIENT: [REDACTED]

PROJECT:  
 EXISTING BUILDINGS

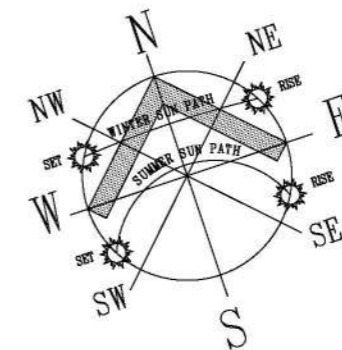
ADDRESS:  
 126 BOURKES CREEK ROAD  
 PAKENHAM UPPER 3810

TITLE:  
 DWELLING FLOOR PLAN

DESIGN: A. REES  
 DP-AD30125  
 DWN BY: A. REES  
 DATE: 01 : 2025  
 SCALE: 1 : 100 @ A3  
 REVISION: -

DRAWING NO: 585

STATUS: TOWN PLANNING



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FLOW RATES OF EACH EXHAUST TO BE AS FOLLOWS

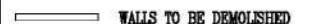


KITCHEN RANGEHOOD/LAUNDRY 40L/s

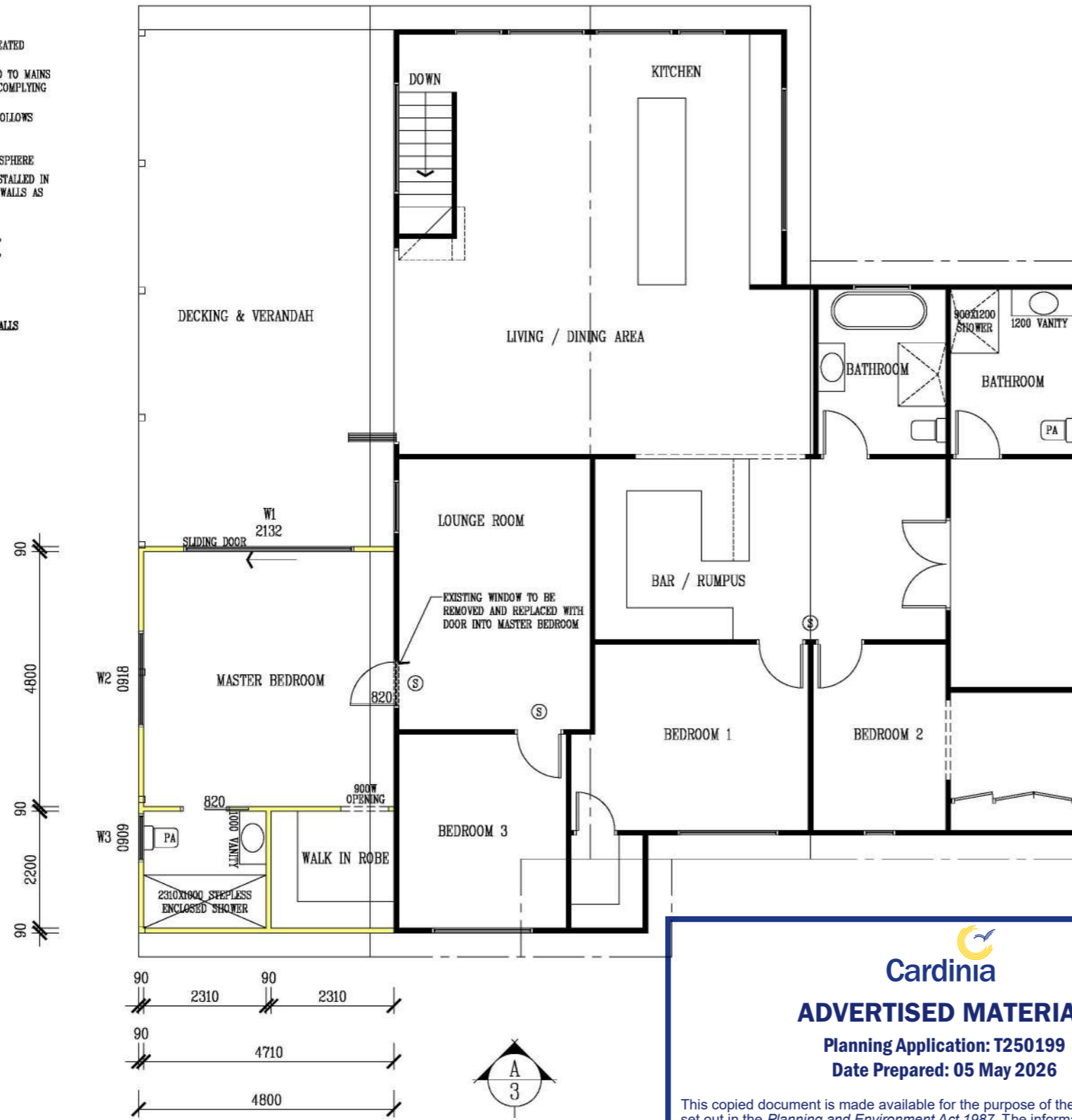
BATHROOM/ENSUITE/WC EXHAUST 25L/s

ALL EXHAUST FANS TO BE VENTED TO ATMOSPHERE

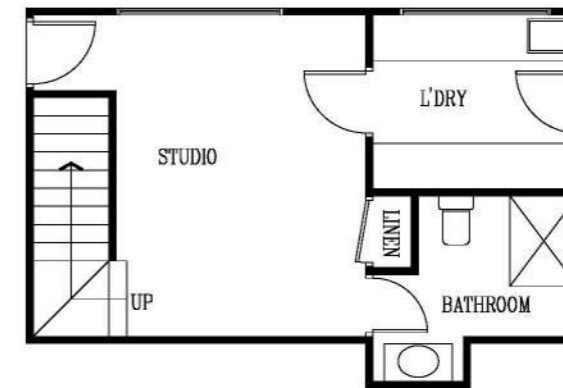
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-  PROPOSED 90mm TIMBER WALLS
-  EXISTING WALLS



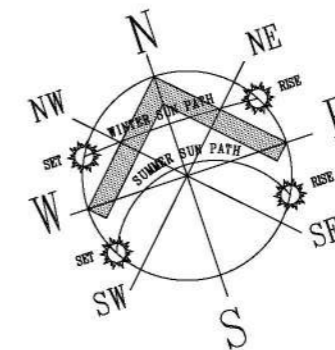
UPPER LEVEL FLOOR PLAN



LOWER LEVEL FLOOR PLAN

**Cardinia**  
**ADVERTISED MATERIAL**  
 Planning Application: T250199  
 Date Prepared: 05 May 2026

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## PROPOSED FLOOR PLAN - DWELLING - ADDITION & RECTIFICATION WORKS

SCALE 1 : 100

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 CORINELLA VIC 3984  
 MOB: 0437 253 564  
 EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
 AMENDMENT B  
 28TH APRIL 2026



CLIENT: [REDACTED]  
 PROJECT: [REDACTED]

EXISTING BUILDINGS

ADDRESS:  
 126 BOURKES CREEK ROAD  
 PAKENHAM UPPER 3810

TITLE:  
 DWELLING FLOOR PLAN

DESIGN: A. REES  
 DP-AD30125  
 DWN BY: A. REES  
 DATE: 01 : 2025  
 SCALE: 1 : 100 @ A3  
 REVISION: -

DRAWING NO: 585

STATUS: TOWN PLANNING

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**Amber Rees Design**

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TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



PROJECT:  
EXISTING BUILDINGS

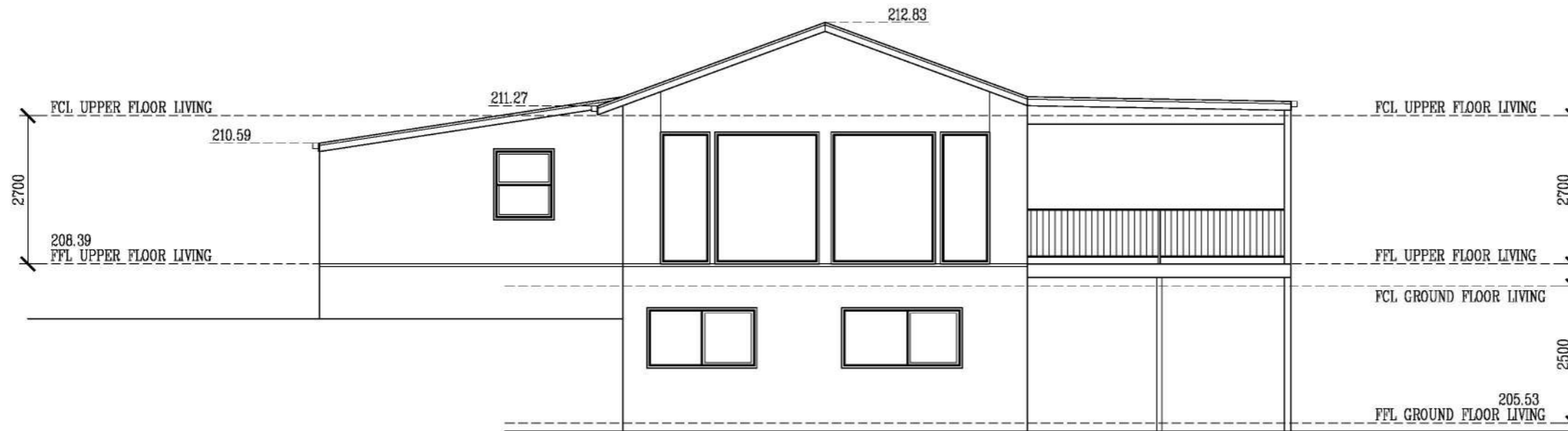
ADDRESS:  
126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE:  
EXISTING ELEVATIONS

DESIGN: A. REES  
DP-AD30125  
DWN BY: A. REES  
DATE: 01 : 2025  
SCALE: 1 : 100 @ A3  
REVISION: -

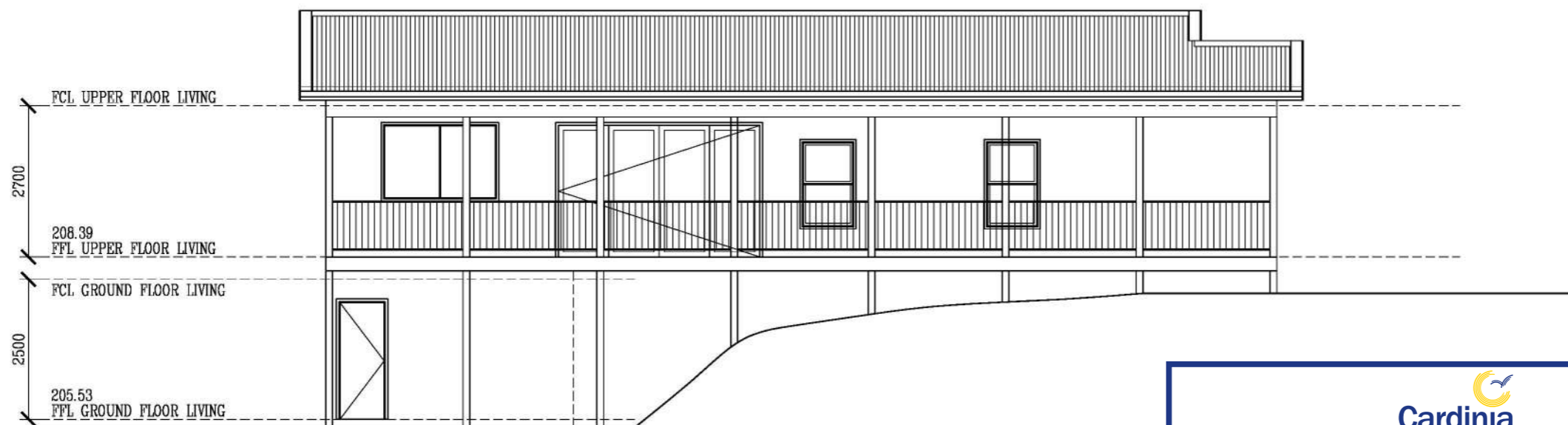
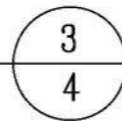
DRAWING NO: 585

STATUS: TOWN PLANNING



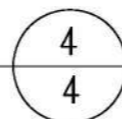
**NORTH ELEVATION**

SCALE 1 : 100



**WEST ELEVATION**

SCALE 1 : 100



**ADVERTISED MATERIAL**

Planning Application: T250199  
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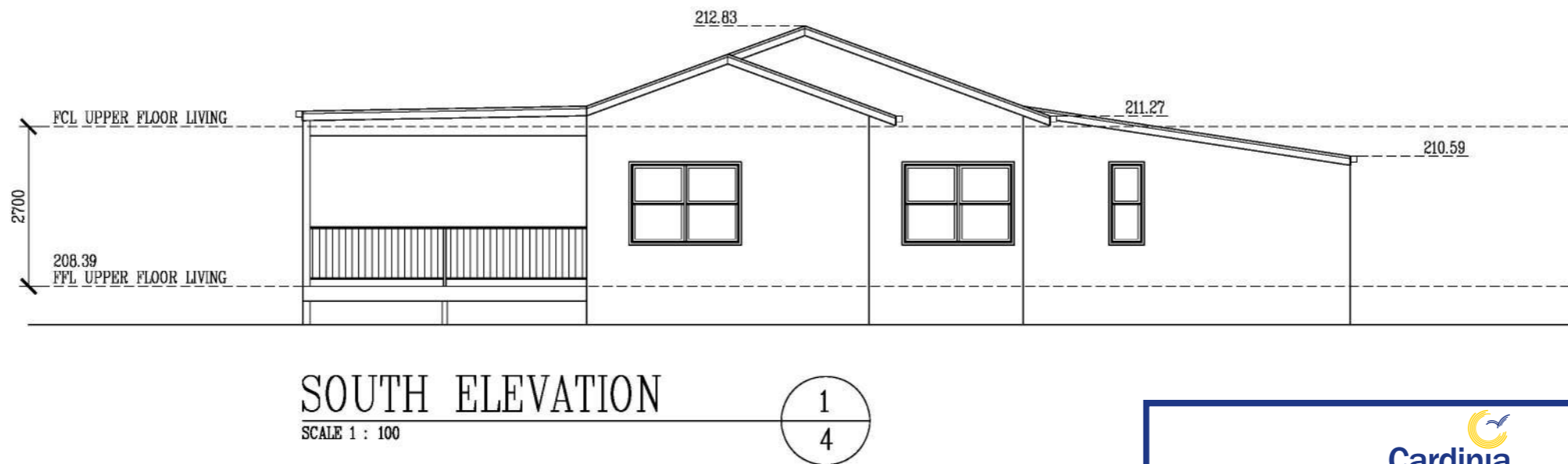
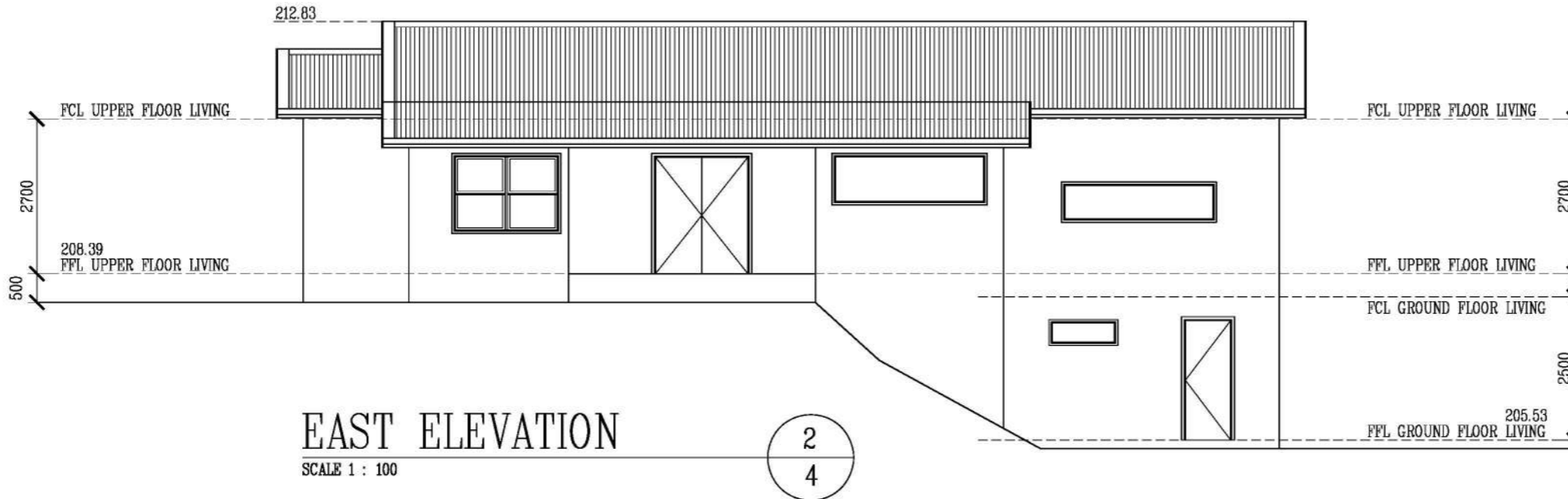
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TOWN PLANNING PLANS  
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28TH APRIL 2026





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CLIENT:	[REDACTED]
PROJECT:	EXISTING BUILDINGS
ADDRESS:	126 BOURKES CREEK ROAD PAKENHAM UPPER 3810
TITLE:	EXISTING ELEVATIONS
DESIGN:	A. REES DP-AD30125
DWN BY:	A. REES
DATE:	01 : 2025
SCALE:	1 : 100 @ A3
REVISION:	-
DRAWING NO:	585
STATUS:	TOWN PLANNING

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## Amber Rees Design

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CORINELLA VIC 3984  
MOB: 0437 253 564  
EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



CLIENT:  
[REDACTED]

PROJECT:  
EXISTING BUILDINGS

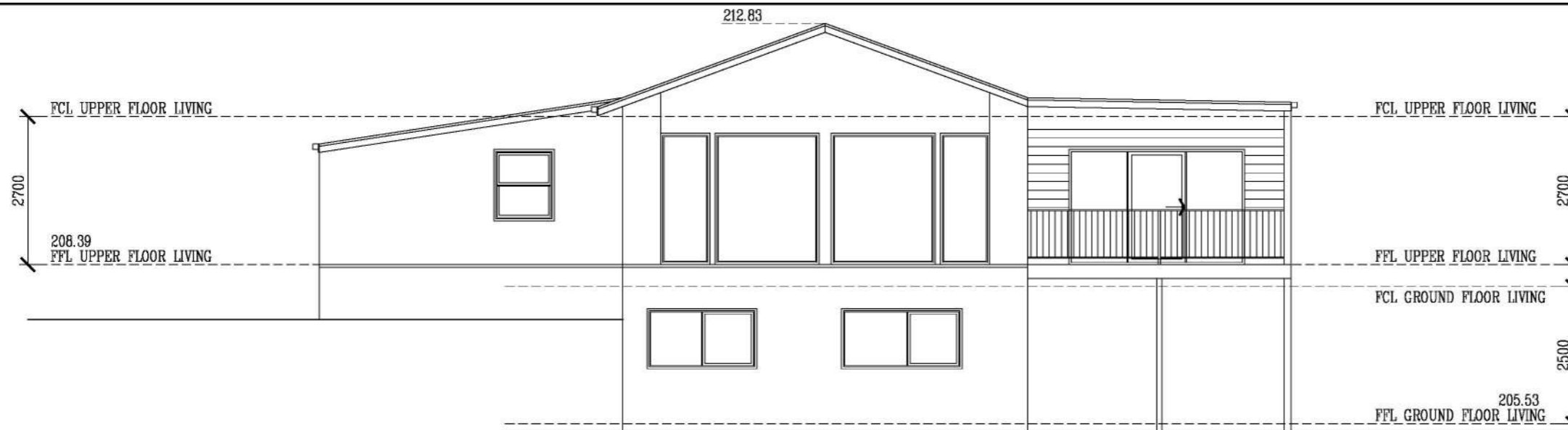
ADDRESS:  
126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE:  
PROPOSED ELEVATIONS

DESIGN: A. REES  
DP-AD30125  
DWN BY: A. REES  
DATE: 01 : 2025  
SCALE: 1 : 100 @ A3  
REVISION: -

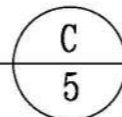
DRAWING NO: 585

STATUS: TOWN PLANNING

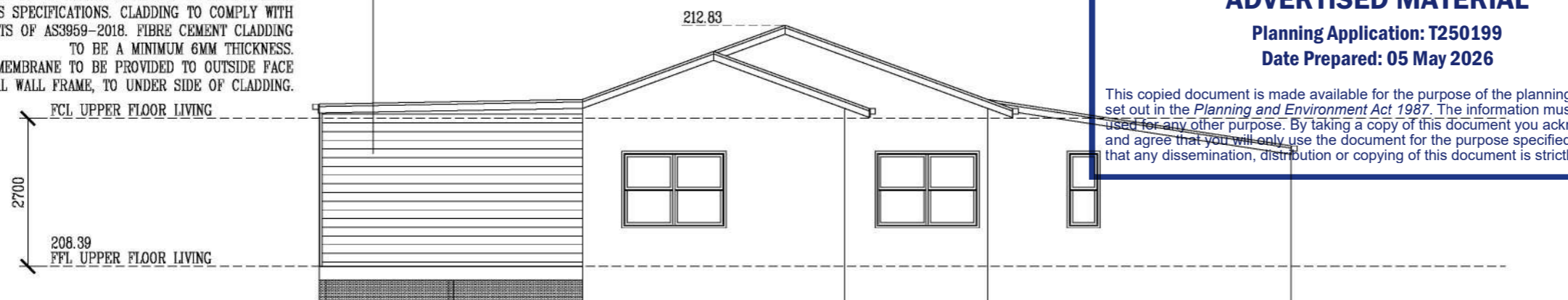


**NORTH ELEVATION**

SCALE 1 : 100

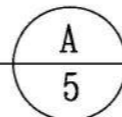


SELECTED FIBRE CEMENT WEATHERBOARD WALL CLADDING TO MATCH EXISTING DWELLING TO BE INSTALLED. CLADDING TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. CLADDING TO COMPLY WITH BAL 29.0 REQUIREMENTS OF AS3959-2018. FIBRE CEMENT CLADDING TO BE A MINIMUM 6MM THICKNESS. VAPOUR PERMEABLE MEMBRANE TO BE PROVIDED TO OUTSIDE FACE OF EXTERNAL WALL FRAME, TO UNDER SIDE OF CLADDING.



**SOUTH ELEVATION**

SCALE 1 : 100



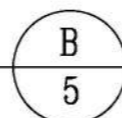
EXISTING COLOURBOND ROOF CLADDING TO REMAIN UNCHANGED. BUILDER TO ENSURE IT HAS BEEN INSTALLED AS PER MANUFACTURERS SPEC & BCA.

SELECTED ALUMINUM AWNING WINDOWS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. GLAZING TO BE IN ACCORDANCE WITH AS-1288 2021. WINDOWS TO COMPLY WITH BAL 29.0 REQUIREMENTS OF AS3959-2018



**WEST ELEVATION**

SCALE 1 : 100

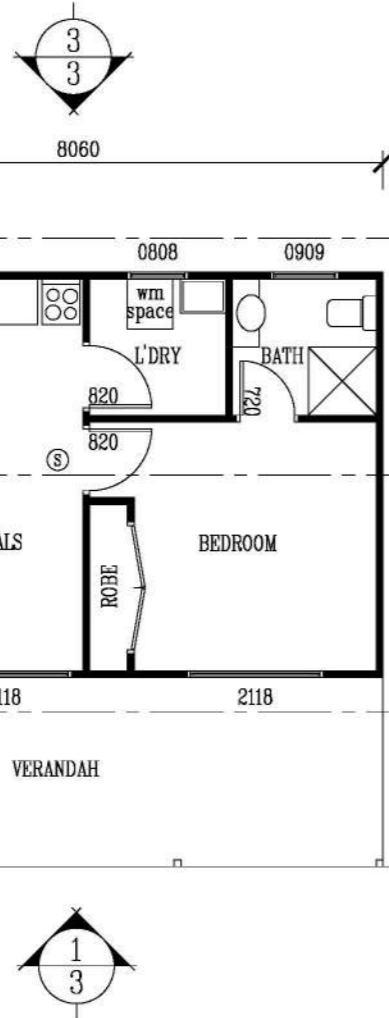
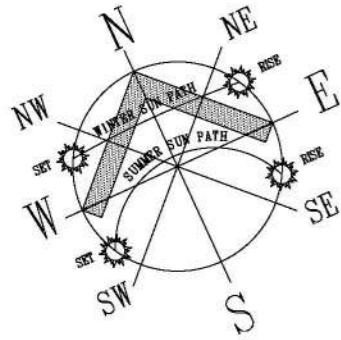


DWELLING SUBFLOOR TO BE ENCLOSED USING FIBRE-CEMENT CLADDING WITH A MINIMUM THICKNESS OF 6MM. ALL GAPS AND OPENINGS IN THE SUBFLOOR CLADDING TO HAVE ALUMINUM SCREENING MESH INSTALLED WITH A MAXIMUM APERTURE OF 2MM. ENCLOSED SUBFLOOR TO COMPLY WITH BAL 29.0 REQUIREMENTS OF AS3959-2018

SUBFLOOR VENTILATION TO BE PROVIDED TO PERIMETER OF DWELLING AS PER NCC 2022 REQUIREMENTS. 6000MM/M2 AND LOCATED WITHIN 600MM OF CORNERS. NOTE OPENINGS TO BE COVERED WITH NON-CORROSIVE METAL MESH WITH MAX APERTURES OF 2MM TO BAL 29.0 REQUIREMENTS.

**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250199  
Date Prepared: 05 May 2026

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**EXISTING FLOOR PLAN – SECOND SMALL DWELLING**

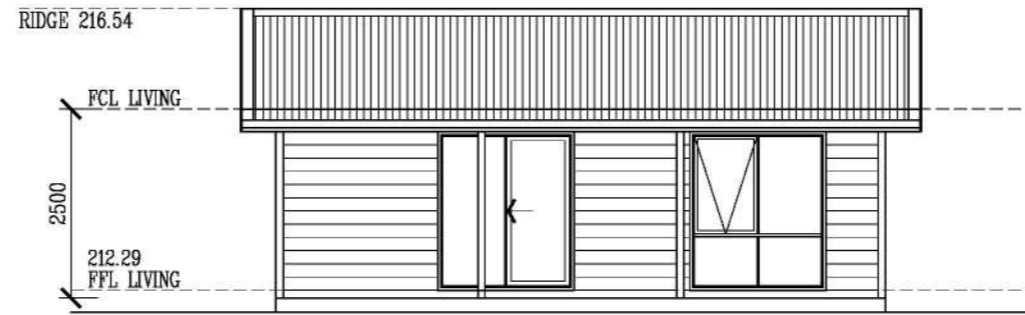
SCALE 1 : 100

**Cardinia**

**ADVERTISED MATERIAL**

Planning Application: T250199  
Date Prepared: 05 May 2026

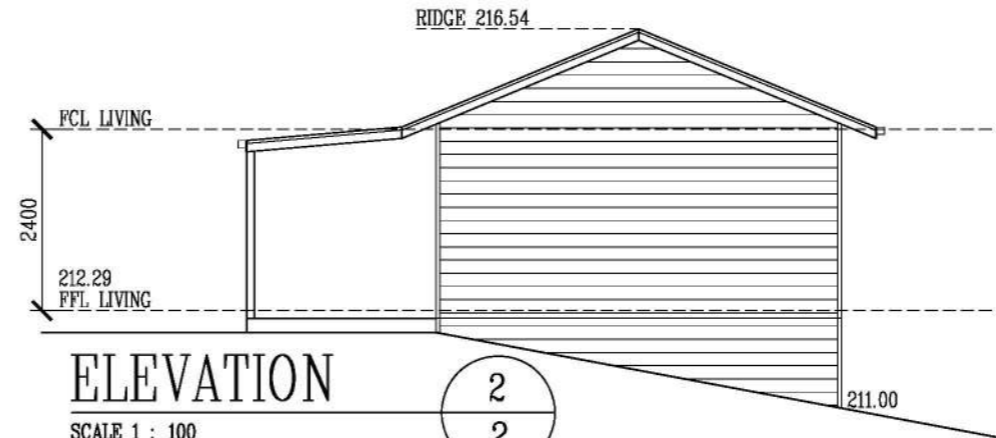
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**ELEVATION**

1  
2

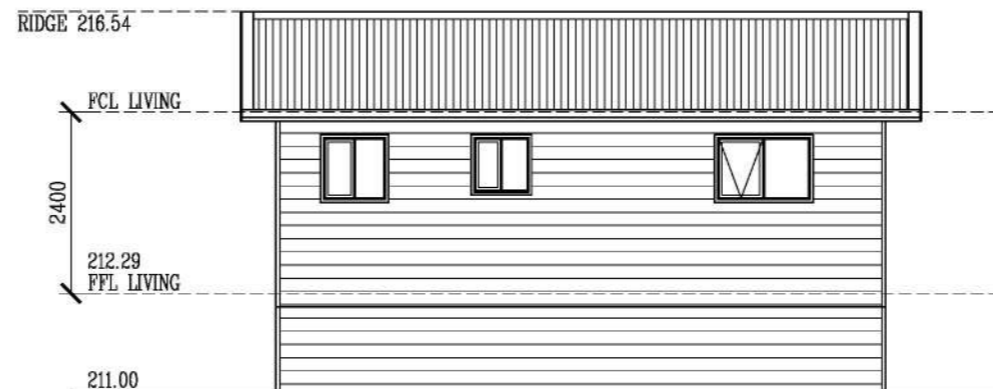
SCALE 1 : 100



**ELEVATION**

2  
2

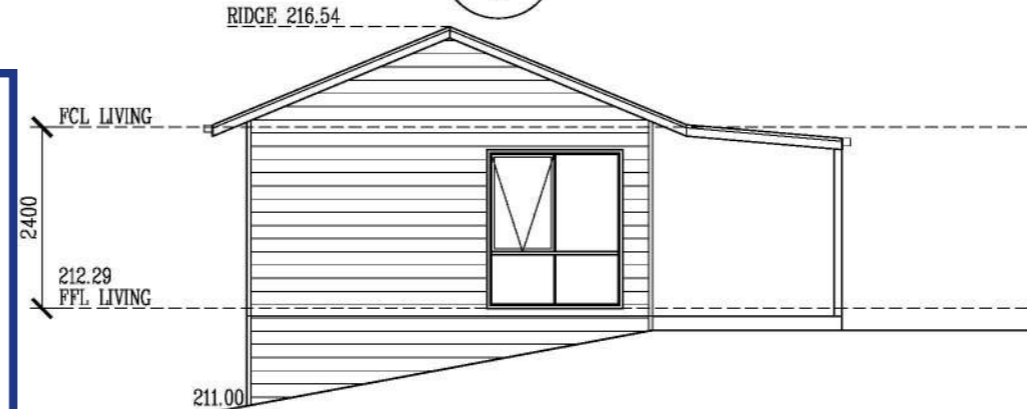
SCALE 1 : 100



**ELEVATION**

3  
2

SCALE 1 : 100



**ELEVATION**

4  
2

SCALE 1 : 100

# A 09

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16 HAMILTON STREET  
CORINELLA VIC 3984  
MOB: 0437 253 564  
EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



PROJECT:  
**EXISTING BUILDINGS**

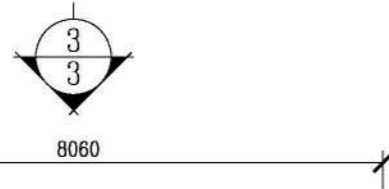
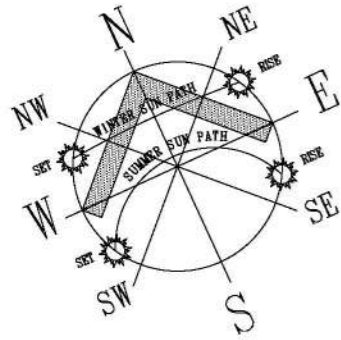
ADDRESS:  
126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE:  
**SECOND SMALL DWELLING**

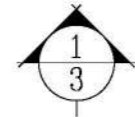
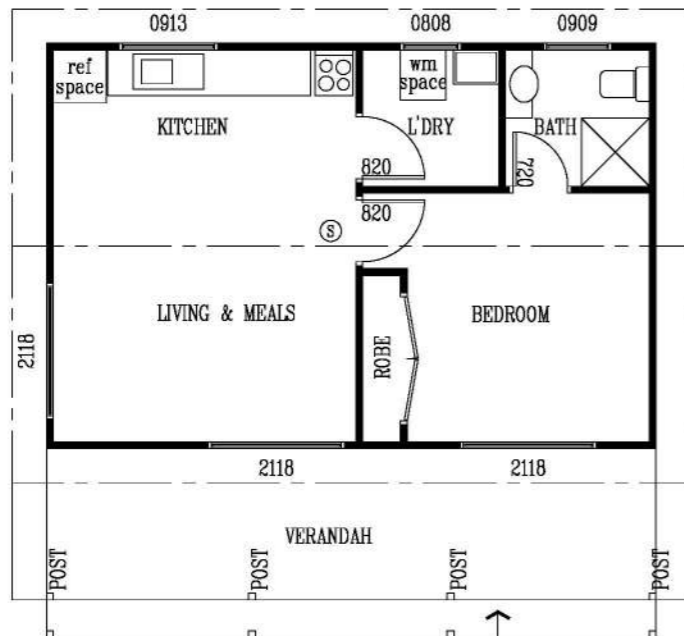
DESIGN: A. REES  
DP-AD30125  
DWN BY: A. REES  
DATE: 01 : 2025  
SCALE: 1 : 100 @ A3  
REVISION: -

DRAWING NO: 585

STATUS: TOWN PLANNING



SECTION OF VERANDAH TO BE REMOVED. TO REDUCE BUILDING TO UNDER 60m<sup>2</sup> VERANDAH POST FOOTINGS TO BE PROVIDED TO NEW POST LOCATIONS.



SECTION OF VERANDAH TO BE REMOVED. TO REDUCE BUILDING TO UNDER 60m<sup>2</sup> VERANDAH POST FOOTINGS TO BE PROVIDED TO NEW POST LOCATIONS.

### PROPOSED FLOOR PLAN – SECOND SMALL DWELLING

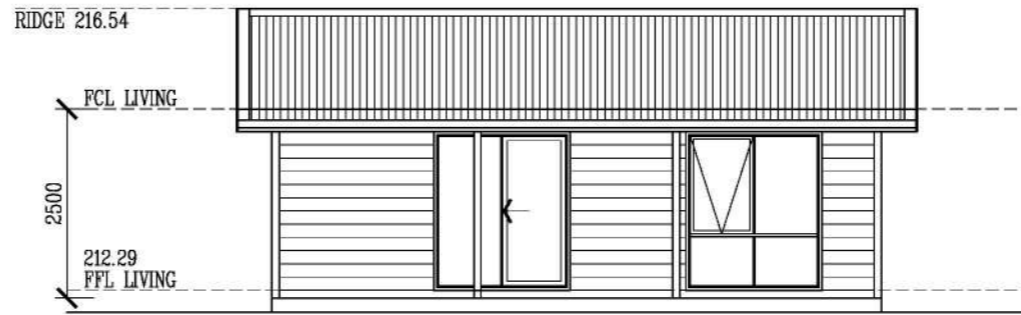
SCALE 1 : 100

**Cardinia**

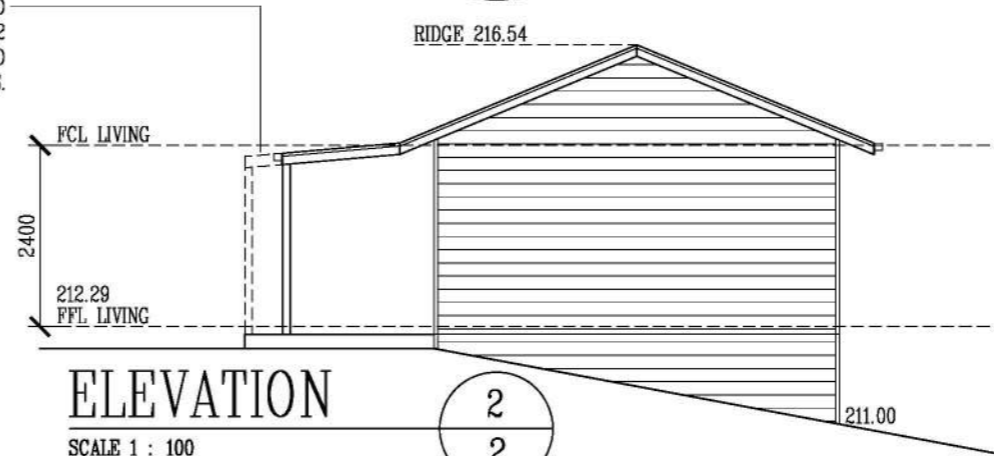
**ADVERTISED MATERIAL**

Planning Application: T250199  
Date Prepared: 05 May 2026

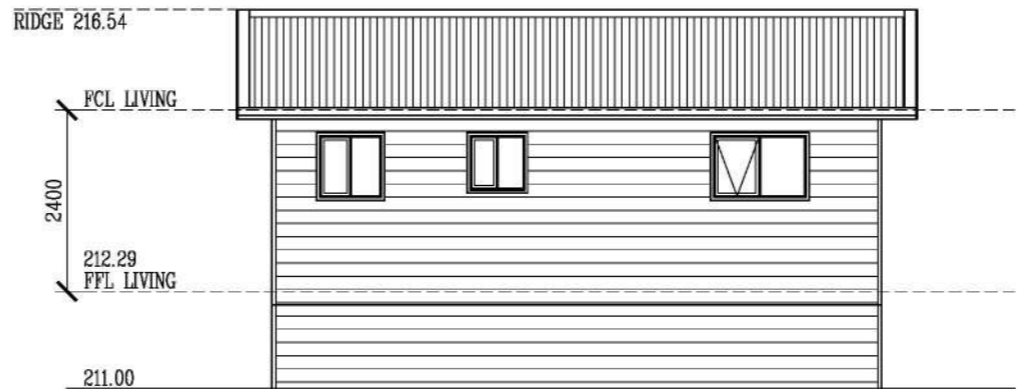
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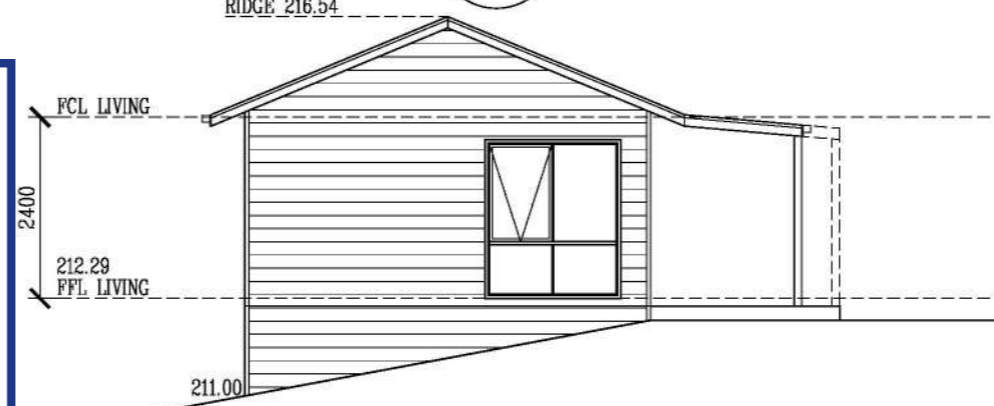
**ELEVATION 1**  
SCALE 1 : 100



**ELEVATION 2**  
SCALE 1 : 100



**ELEVATION 3**  
SCALE 1 : 100



**ELEVATION 4**  
SCALE 1 : 100

# A 10

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CORINELLA VIC 3984  
MOB: 0437 253 564  
EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



CITY OF PAKENHAM  
EXISTING BUILDINGS

ADDRESS:  
126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE:  
SECOND SMALL DWELLING

DESIGN: A. REES  
DP-AD30125  
DWN BY: A. REES  
DATE: 01 : 2025  
SCALE: 1 : 100 @ A3  
REVISION: -

DRAWING NO: 585

STATUS: TOWN PLANNING

# A 11

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CORINELLA VIC 3984  
MOB: 0437 253 564  
EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



CLIENT: [REDACTED]

PROJECT:  
EXISTING BUILDINGS

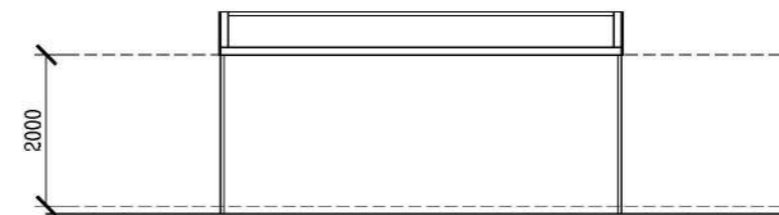
ADDRESS:  
126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE:  
STEEL GARAGE

DESIGN: A. REES  
DP-AD30125  
DWN BY: A. REES  
DATE: 01 : 2025  
SCALE: 1 : 100 @ A3  
REVISION: -

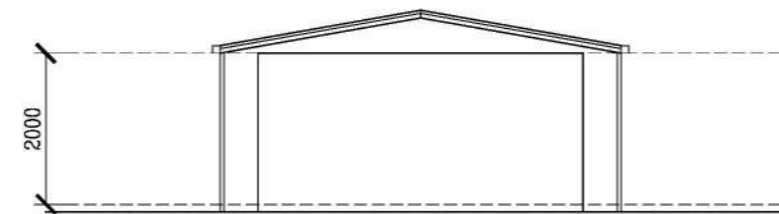
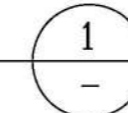
DRAWING NO: 585

STATUS: TOWN PLANNING



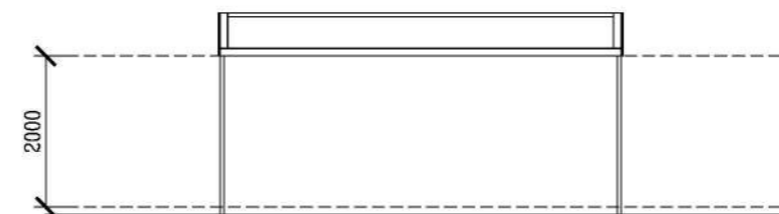
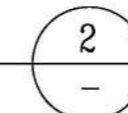
SOUTH ELEVATION

SCALE 1 : 100



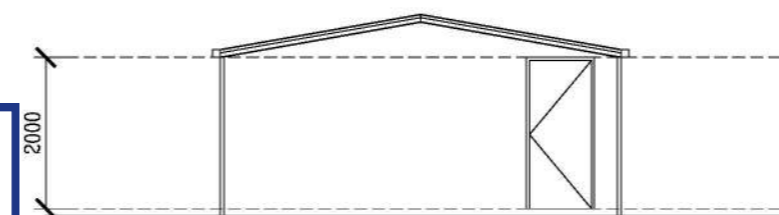
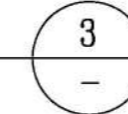
EAST ELEVATION

SCALE 1 : 100



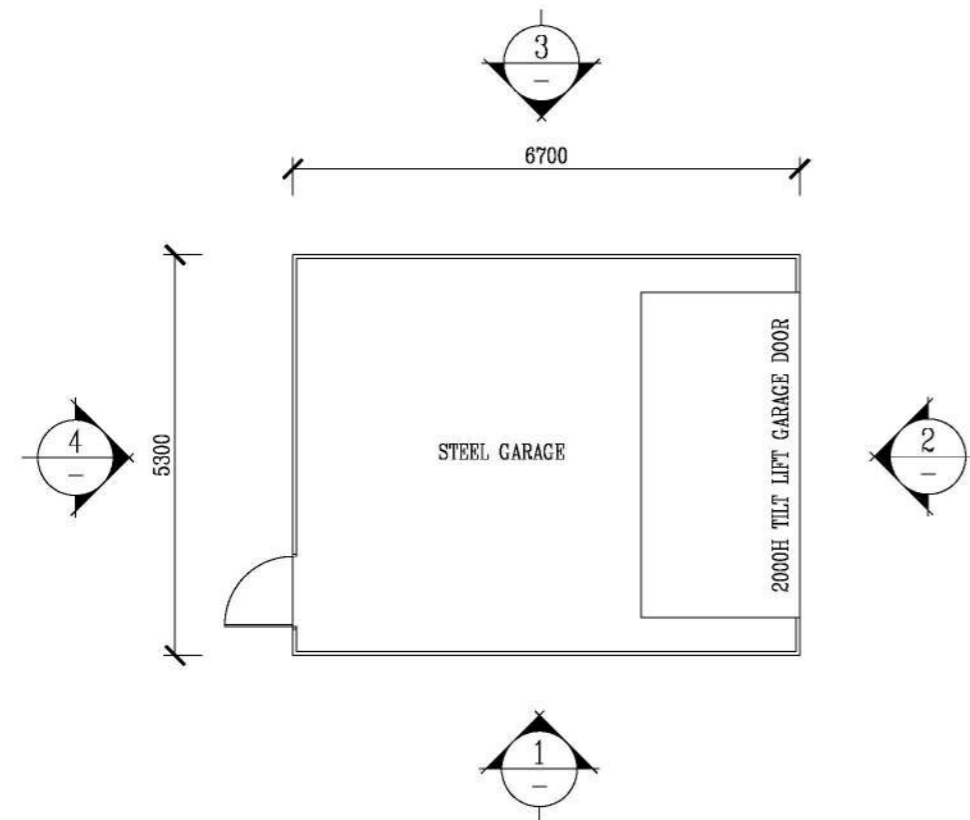
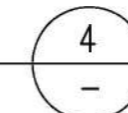
NORTH ELEVATION

SCALE 1 : 100



WEST ELEVATION

SCALE 1 : 100



EXISTING FLOOR PLAN - STEEL GARAGE

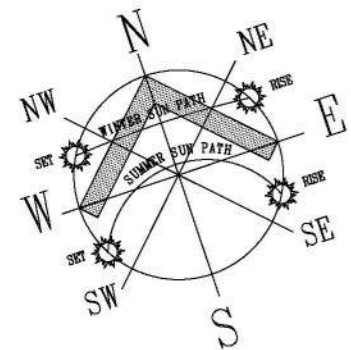
SCALE 1 : 100

EXISTING STEEL GARAGE TO BE DEMOLISHED,  
PROPOSED GARAGE TO BE CONSTRUCTED IN THE  
SAME LOCATION AS PER PLANS ON SHEET A12



**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250199  
Date Prepared: 05 May 2026

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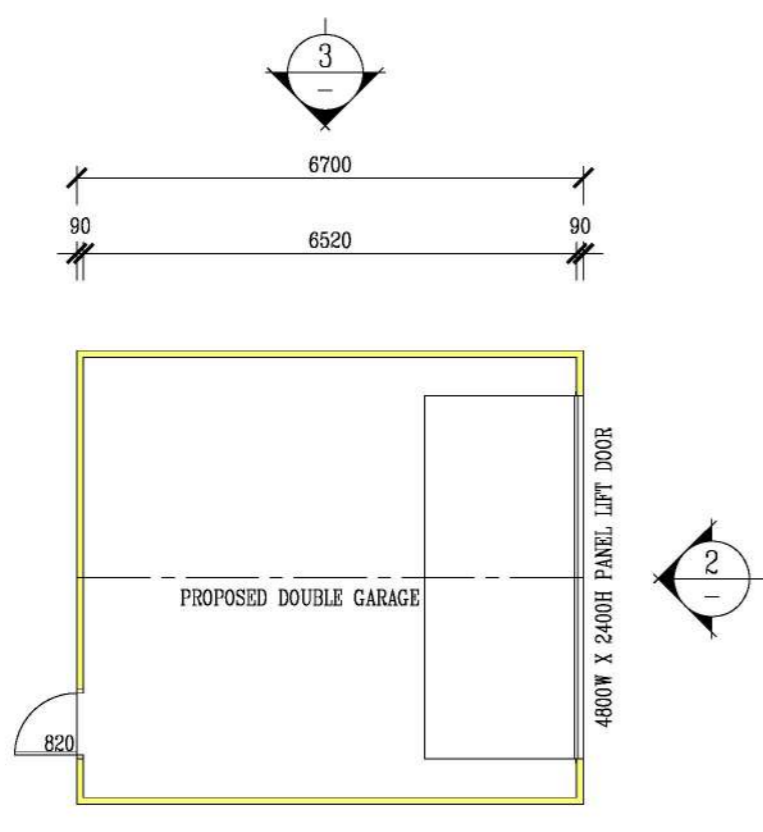
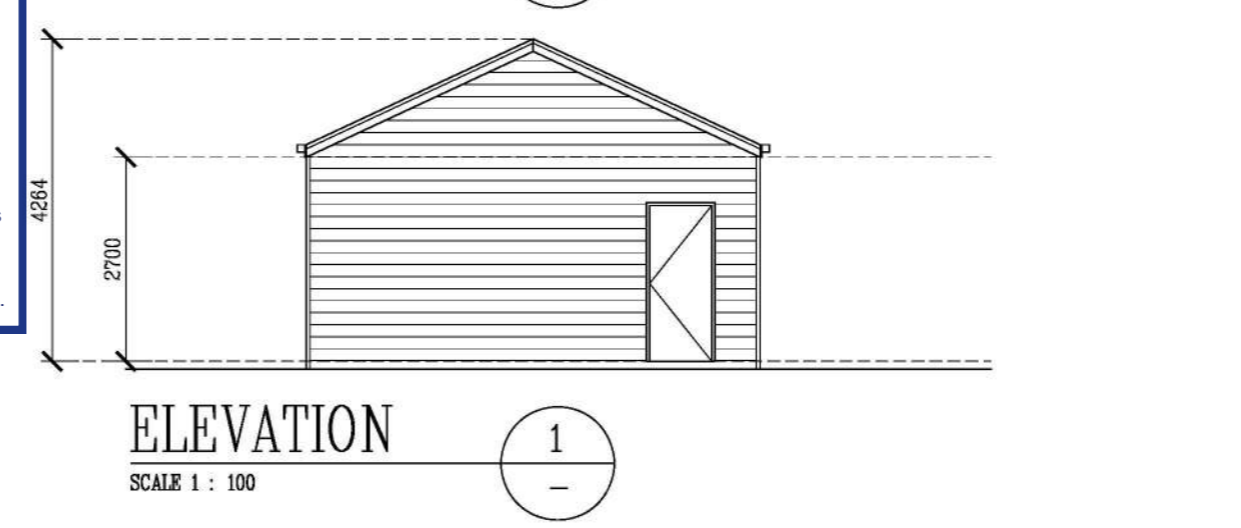
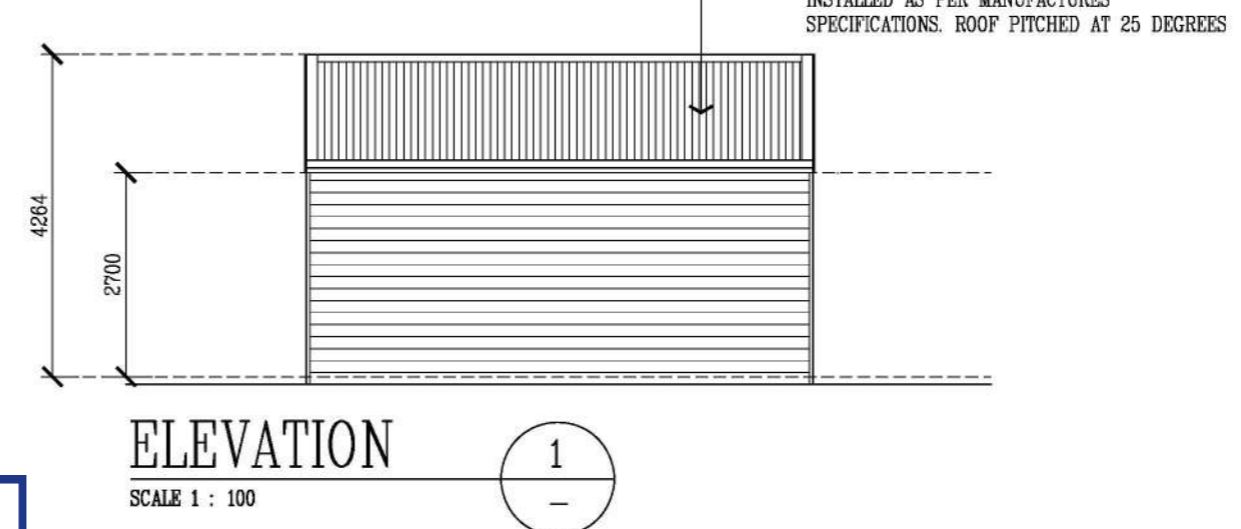
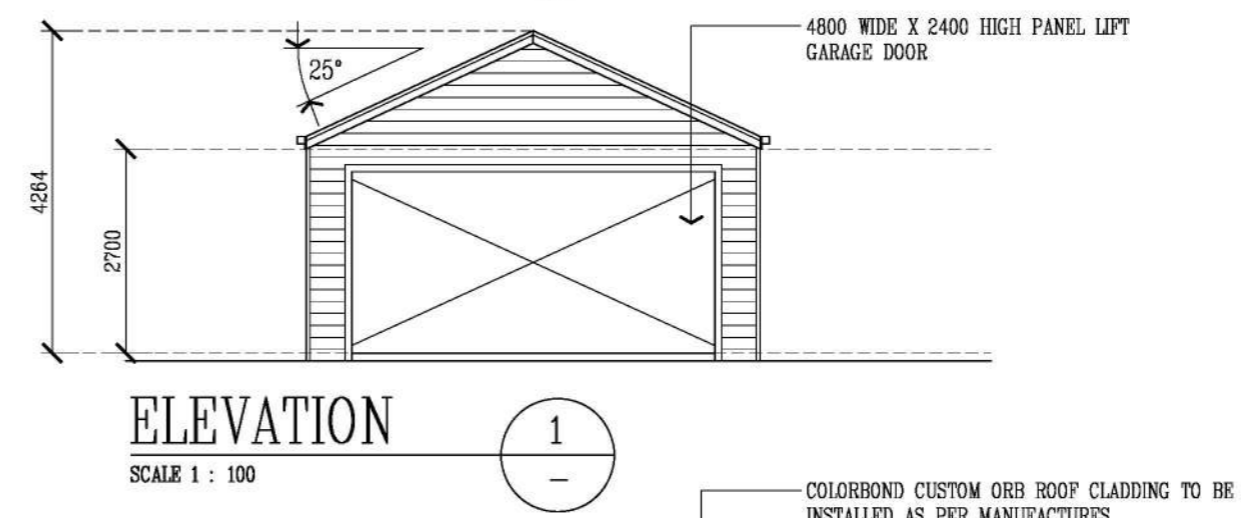
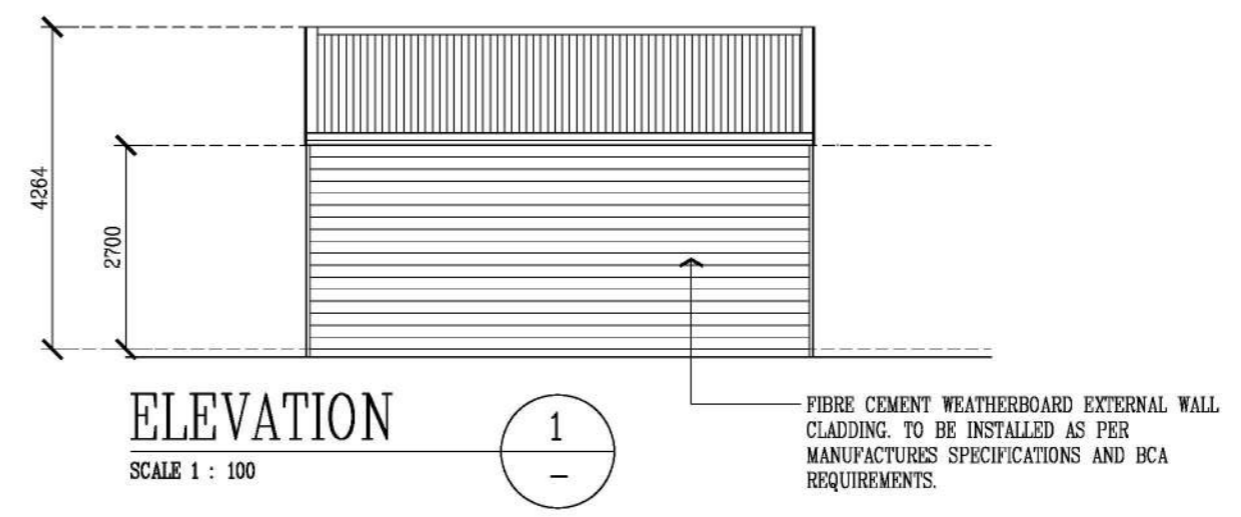


16 HAMILTON STREET  
CORINELLA VIC 3984  
MOB: 0437 253 564  
EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



EXISTING BUILDINGS	
ADDRESS: 126 BOURKES CREEK ROAD PAKENHAM UPPER 3810	
TITLE: REPLACEMENT GARAGE	
DESIGN:	A. REES DP-AD30125
DWN BY:	A. REES
DATE:	01 : 2025
SCALE:	1 : 100 @ A3
REVISION:	-
DRAWING NO:	585
STATUS:	TOWN PLANNING



**PROPOSED FLOOR PLAN - DOUBLE GARAGE**  
SCALE 1 : 100

PROPOSED DOUBLE GARAGE TO BE CONSTRUCTED TO BAL LEVEL REQUIREMENTS AS DETERMINED BY THE BAL ASSESSMENT REPORT.

**Cardinia**

**ADVERTISED MATERIAL**

Planning Application: T250199  
Date Prepared: 05 May 2026

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CORINELLA VIC 3984  
MOB: 0437 253 564  
EMAIL: arddesign@bigpond.com

TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



CLIENT: [REDACTED]

PROJECT:  
EXISTING BUILDINGS

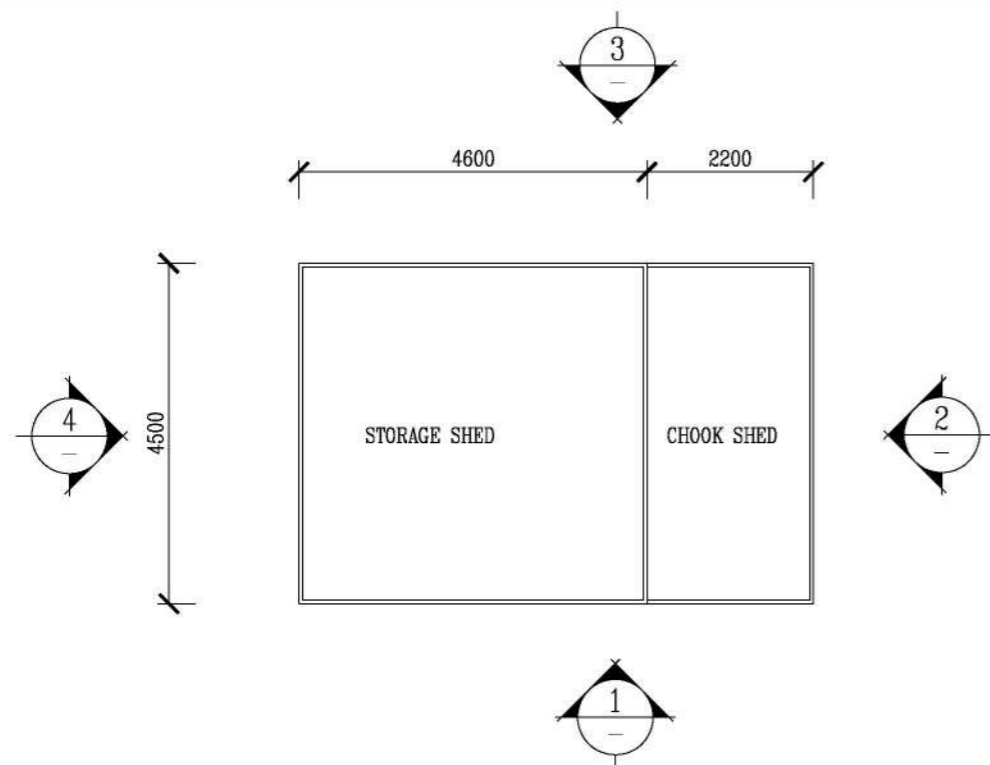
ADDRESS:  
126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE:  
STORAGE & CHOOK SHED

DESIGN: A. REES  
DP-AD30125  
DWN BY: A. REES  
DATE: 01 : 2025  
SCALE: 1 : 100 @ A3  
REVISION: -

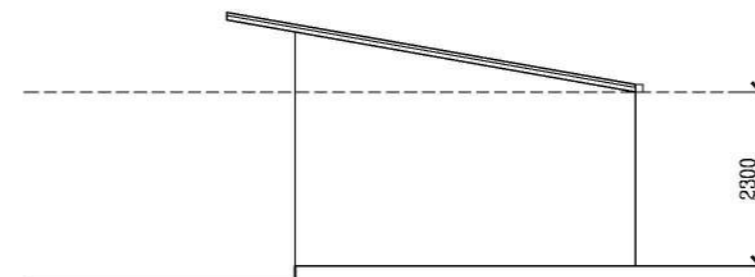
DRAWING NO: 585

STATUS: TOWN PLANNING



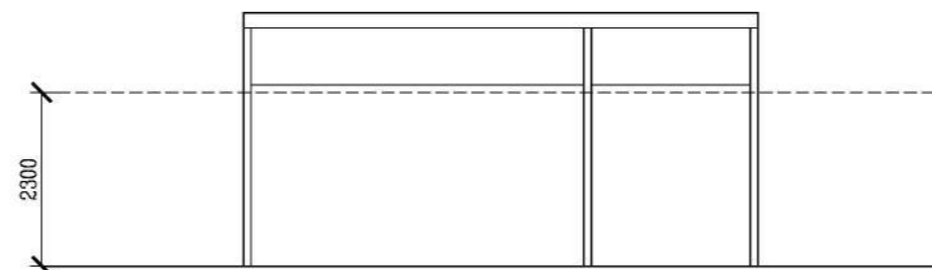
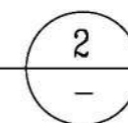
EXISTING FLOOR PLAN – STORAGE & CHOOK SHED

SCALE 1 : 100



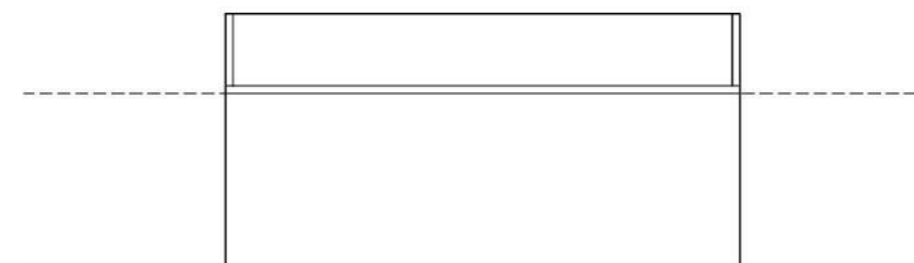
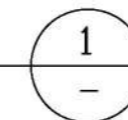
ELEVATION

SCALE 1 : 100



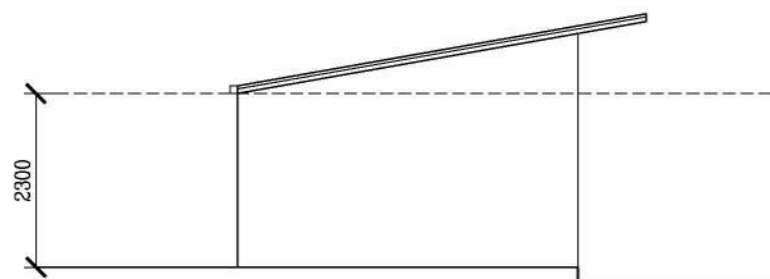
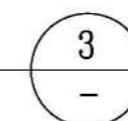
ELEVATION

SCALE 1 : 100



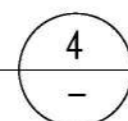
ELEVATION

SCALE 1 : 100



ELEVATION

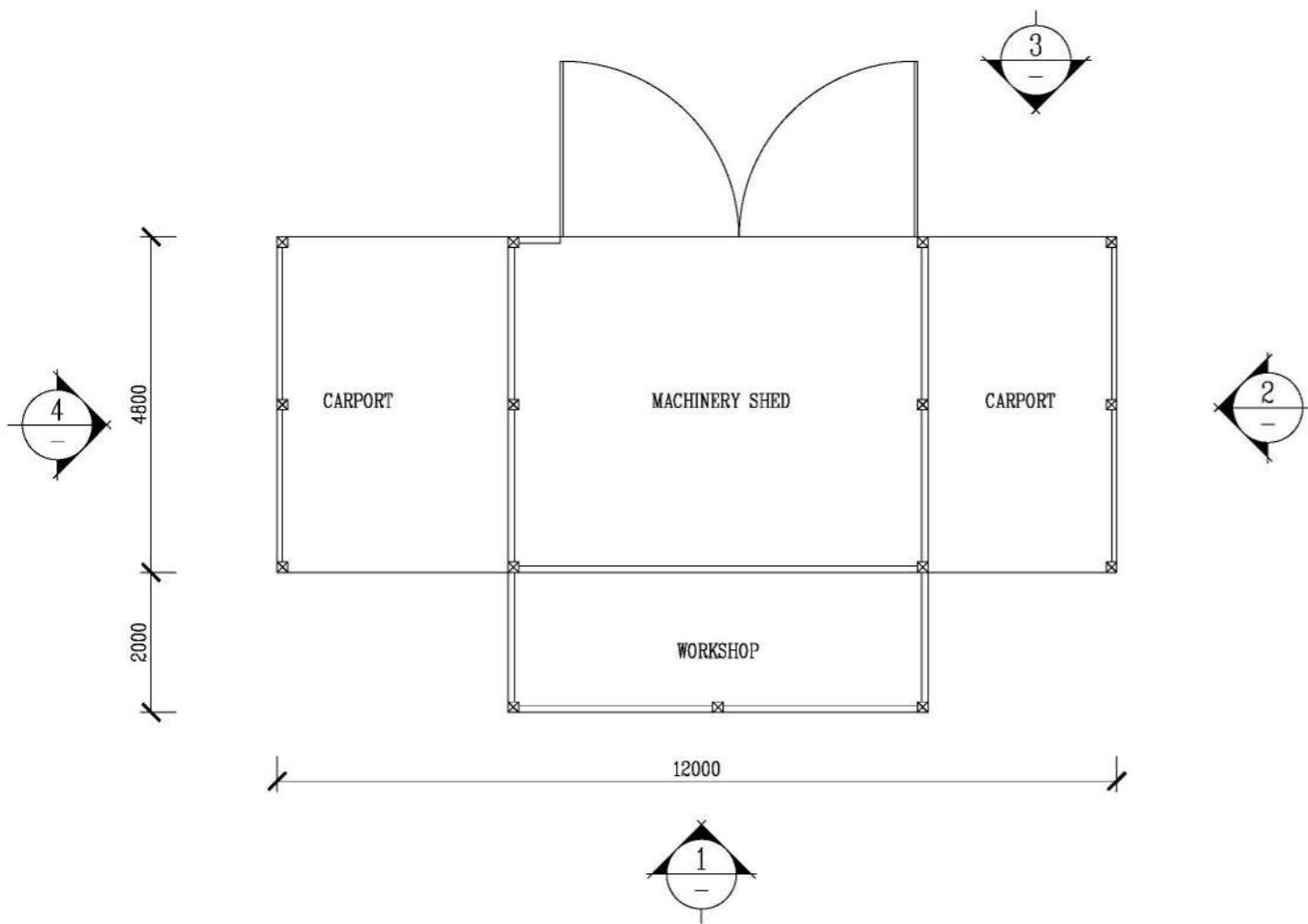
SCALE 1 : 100



## ADVERTISED MATERIAL

Planning Application: T250199  
Date Prepared: 05 May 2026

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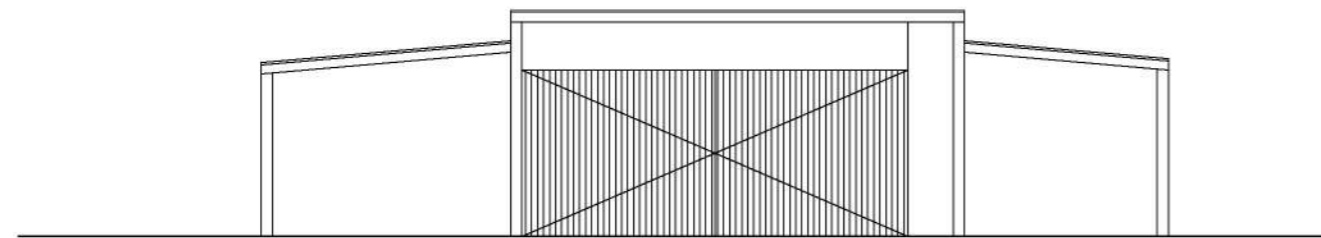
**EXISTING FLOOR PLAN – MACHINERY SHED**

SCALE 1 : 100

  
**ADVERTISED MATERIAL**  
 Planning Application: T250199  
 Date Prepared: 05 May 2026

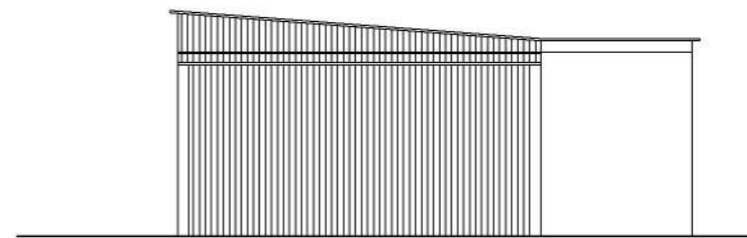
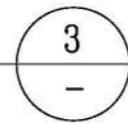
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EXISTING MACHINERY SHED TO BE DEMOLISHED,  
 PROPOSED MACHINERY SHED TO BE  
 CONSTRUCTED IN THE SAME LOCATION AS PER  
 PLANS ON SHEET A15



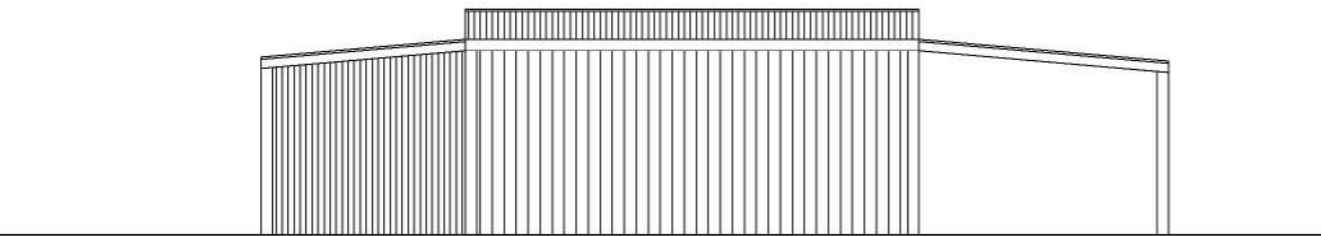
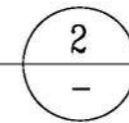
**ELEVATION**

SCALE 1 : 100



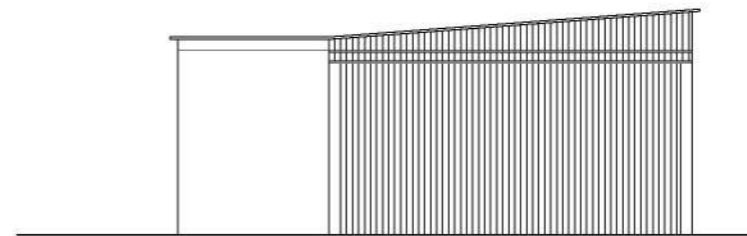
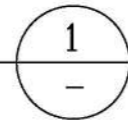
**ELEVATION**

SCALE 1 : 100



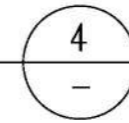
**ELEVATION**

SCALE 1 : 100



**ELEVATION**

SCALE 1 : 100



# A 14

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TOWN PLANNING PLANS  
 AMENDMENT B  
 28TH APRIL 2026



CLIENT:	
PROJECT:	<b>EXISTING BUILDINGS</b>
ADDRESS:	126 BOURKES CREEK ROAD PAKENHAM UPPER 3810
TITLE:	<b>EXISTING MACHINERY SHED</b>
DESIGN:	A. REES DP-AD30125
DWN BY:	A. REES
DATE:	01 : 2025
SCALE:	1 : 100 @ A3
REVISION:	-
DRAWING NO:	<b>585</b>
STATUS:	<b>TOWN PLANNING</b>



**ADVERTISED MATERIAL**

Planning Application: T250199

Date Prepared: 05 May 2026

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# A 15

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## Amber Rees Design

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TOWN PLANNING PLANS  
AMENDMENT B  
28TH APRIL 2026



CLIENT: [REDACTED]  
PROJECT: [REDACTED]

EXISTING BUILDINGS

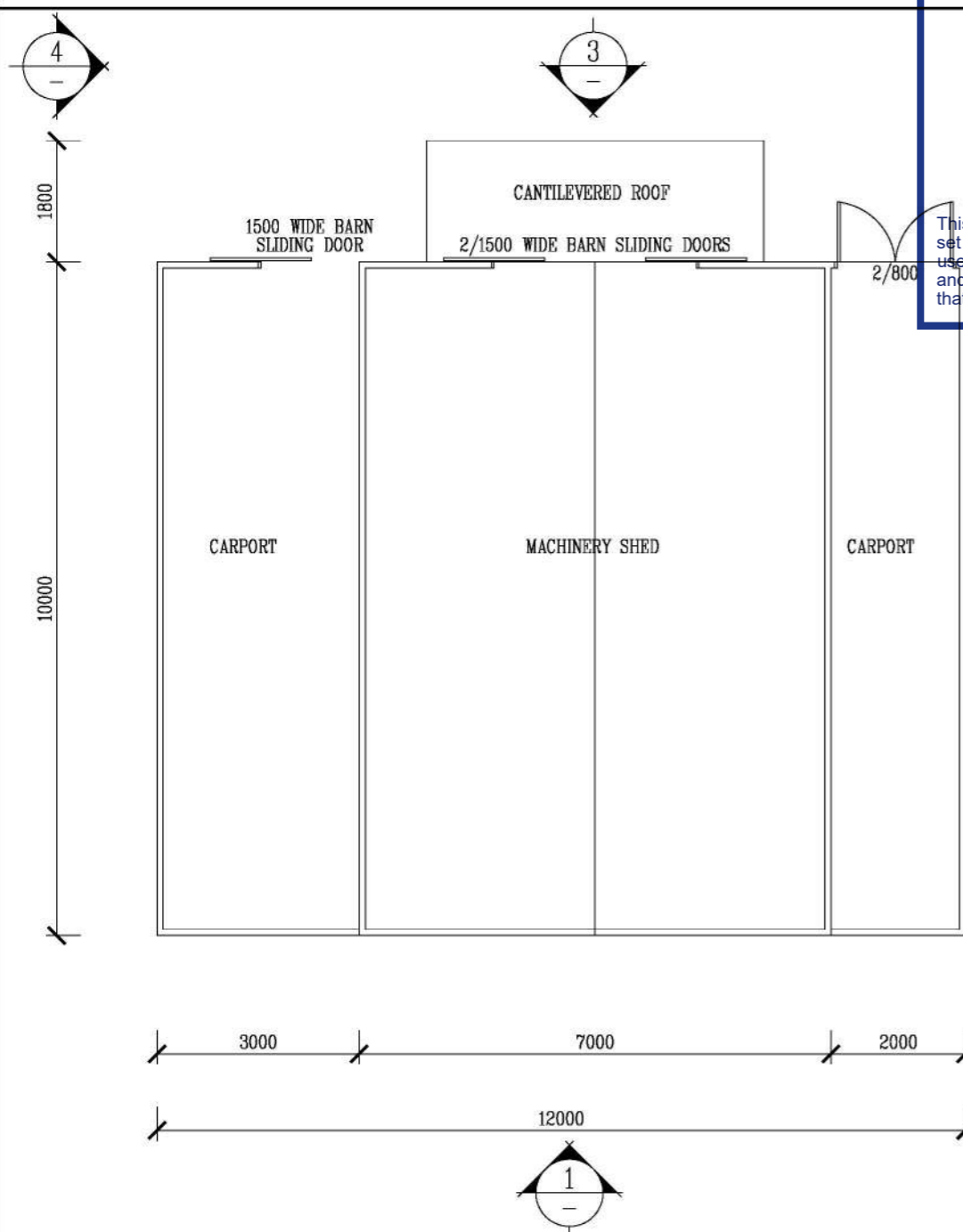
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126 BOURKES CREEK ROAD  
PAKENHAM UPPER 3810

TITLE:  
PROPOSED MACHINERY SHED

DESIGN: A. REES  
DP-AD30125  
DWN BY: A. REES  
DATE: 01 : 2025  
SCALE: 1 : 100 @ A3  
REVISION: -

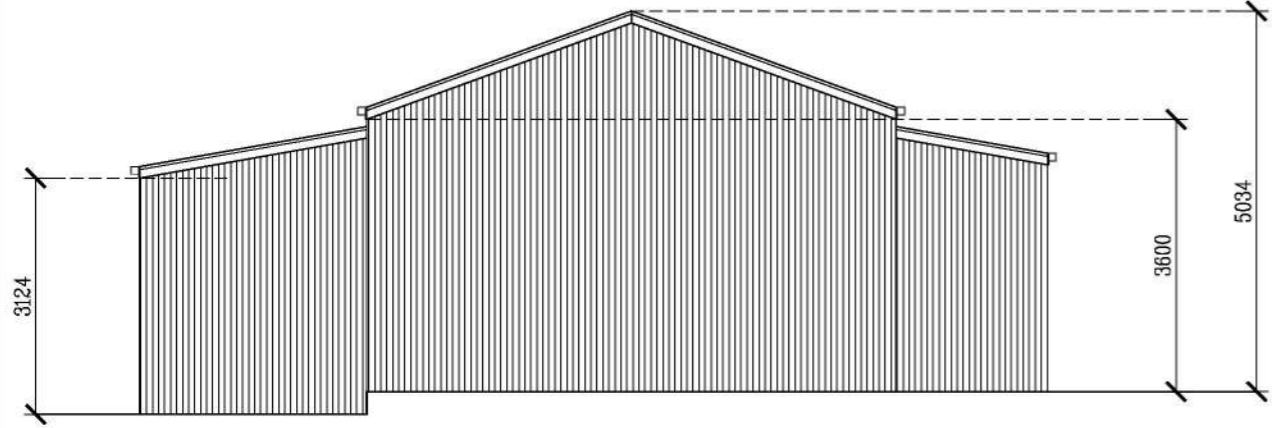
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STATUS: TOWN PLANNING

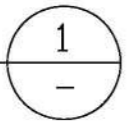


PROPOSED FLOOR PLAN - MACHINERY SHED

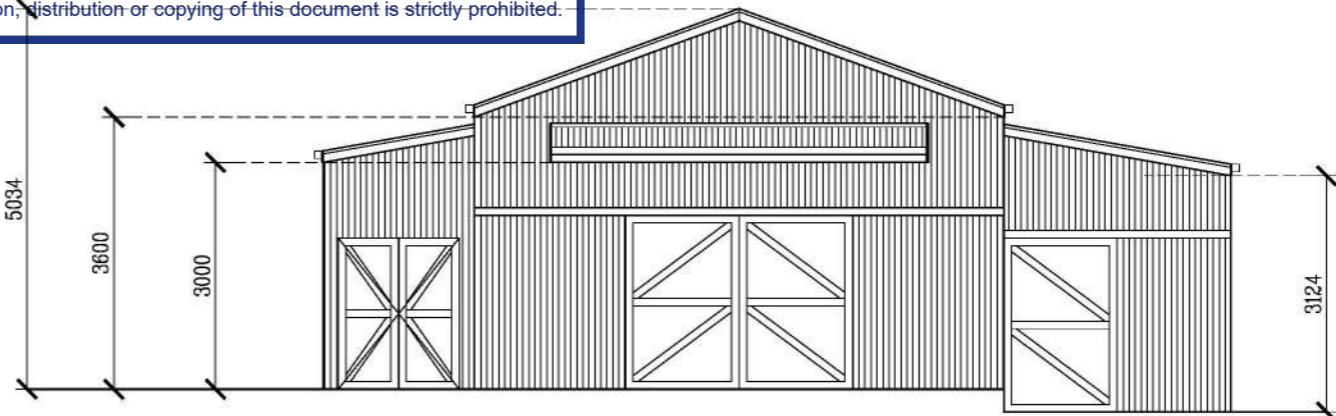
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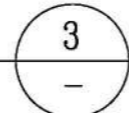
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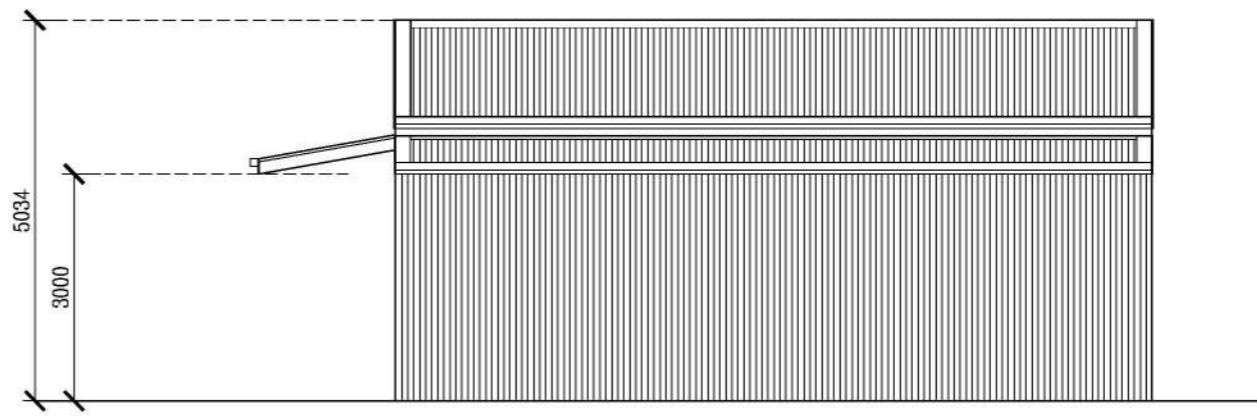
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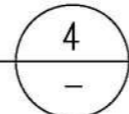
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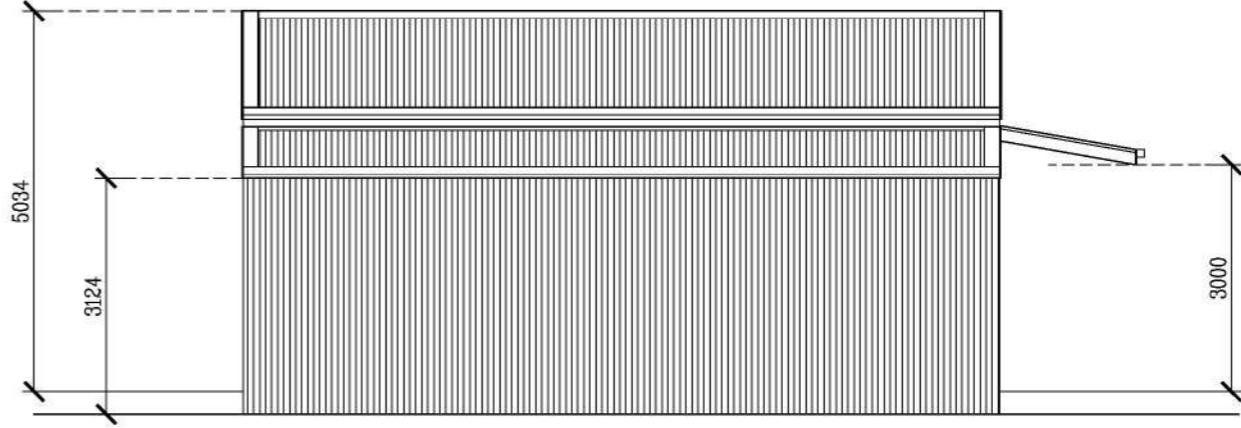
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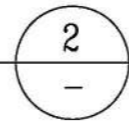
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SCALE 1 : 100



ELEVATION



SCALE 1 : 100