

# Notice of Application for a Planning Permit

  
**Cardinia**  
**ADVERTISED MATERIAL**  
 Planning Application: T250573  
 Date Prepared: 04 May 2026

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<b>The land affected by the application is located at:</b>	<b>L1 PS425333 V11212 F886</b> <b>13 Cremin Drive, Pakenham VIC 3810</b>
<b>The application is for a permit to:</b>	<b>Use and development of the land for a Dwelling</b>

**A permit is required under the following clauses of the planning scheme:**

35.05-1	Use of the land for a Dwelling
35.05-5	Construct a building or construct or carry out works associated with a use in Section 2 (Dwelling)
35.05-5	Construct or carry out earthworks specified in a schedule to this zone
42.01-2	Construct a building or construct or carry out works

### APPLICATION DETAILS

<b>The applicant for the permit is:</b>	<b>Prossor Town Planning Pty Ltd</b>
<b>Application number:</b>	<b>T250573</b>

**You may look at the application and any documents that support the application at the office of the Responsible Authority:**

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

This can be done during office hours and is free of charge.

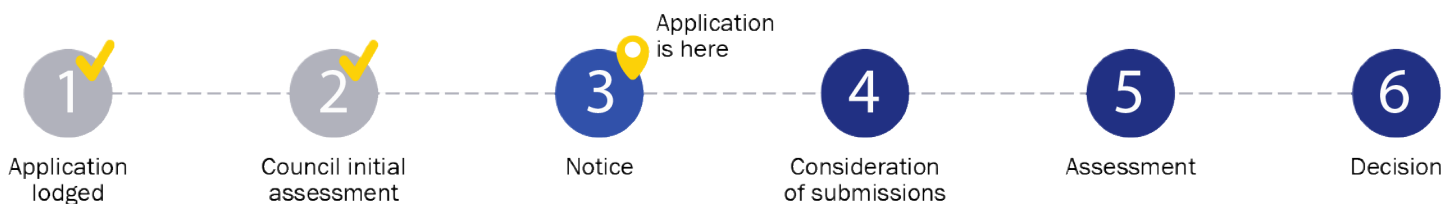
Documents can also be viewed on Council's website at [cardinia.vic.gov.au/advertisedplans](http://cardinia.vic.gov.au/advertisedplans) or by scanning the QR code.



### HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	<b>19 May 2026</b>
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<p><b>WHAT ARE MY OPTIONS?</b></p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> <li>• be made to the Responsible Authority in writing;</li> <li>• include the reasons for the objection; and</li> <li>• state how the objector would be affected.</li> </ul>	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>
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## Application Summary

Portal Reference A325875T

## Basic Information

Proposed Use	Use and development of the land for a dwelling and associated works
Current Use	Vacant
Cost of Works	\$1,070,000
Site Address	13 Cremin Drive Pakenham 3810

## Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? **No such encumbrances are breached**

Note: During the application process you may be required to provide more information in relation to any encumbrances.

## Contacts

### Regulation Fee Condition

		Amount	Modifier	Payable
9 - Class 6	More than \$1,000,000 but not more than \$2,000,000	\$1,697.80	100%	\$1,697.80
<b>Total</b>				<b>\$1,697.80</b>



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VC, 3810

**Email:** mail@cardinia.vc.gov.au

Monday to Friday 8.30am–  
5pm

**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

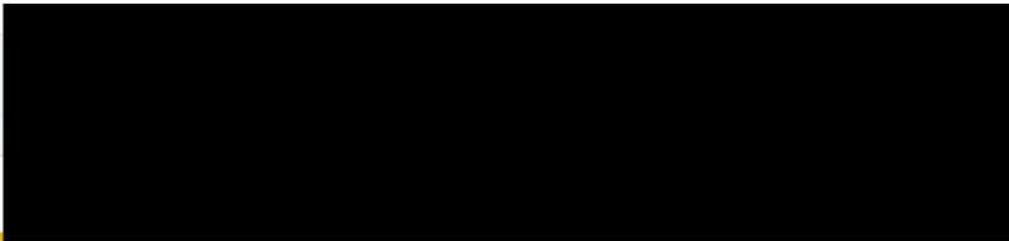
## Documents Uploaded

Date	Type	Filename
19-09-2025	A Copy of Title	13 Cremin Drive - Title.pdf
19-09-2025	Encumbrance	13 Cremin Drive - Title.pdf
19-09-2025	A proposed floor plan	13 Cremin Drive - Plans.pdf
19-09-2025	Overlay Requirements	13 Cremin Drive - Planning Submission.pdf
19-09-2025	Additional Document	13 Cremin Drive - Application letter.pdf
19-09-2025	Additional Document	13 Cremin Drive - Colour Schedule.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User
Submission Date



## Declaration

By ticking this checkbox, I declare that the information provided is true and correct; and the Applicant and/or Owner (if not myself) has been notified of this declaration.



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8.30am-5pm  
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**Fax:** 03 5941 3784



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

VOLUME 11212 FOLIO 886

Security no : 124128265890H  
Produced 19/09/2025 05:25 PM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 425333C.  
PARENT TITLES :  
Volume 09796 Folio 128 to Volume 09796 Folio 132  
Created by instrument PS425333C 05/07/2010

  
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**REGISTERED PROPRIETOR**

Es  
So  
 D NARRE WARREN NORTH VIC 3804

**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE AY664409D 04/12/2024  
PERPETUAL CORPORATE TRUST LTD

COVENANT PS425333C 05/07/2010

COVENANT AH403193H 03/08/2010

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AG496847T 11/05/2009

**DIAGRAM LOCATION**

SEE PS425333C FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 13 CREMIN DRIVE PAKENHAM VIC 3810

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 23038S JHK LEGAL AUSTRALIA PTY LTD  
Effective from 04/12/2024

DOCUMENT END

# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>PS425333C</b>
Number of Pages (excluding this cover sheet)	<b>4</b>
Document Assembled	<b>19/09/2025 17:25</b>

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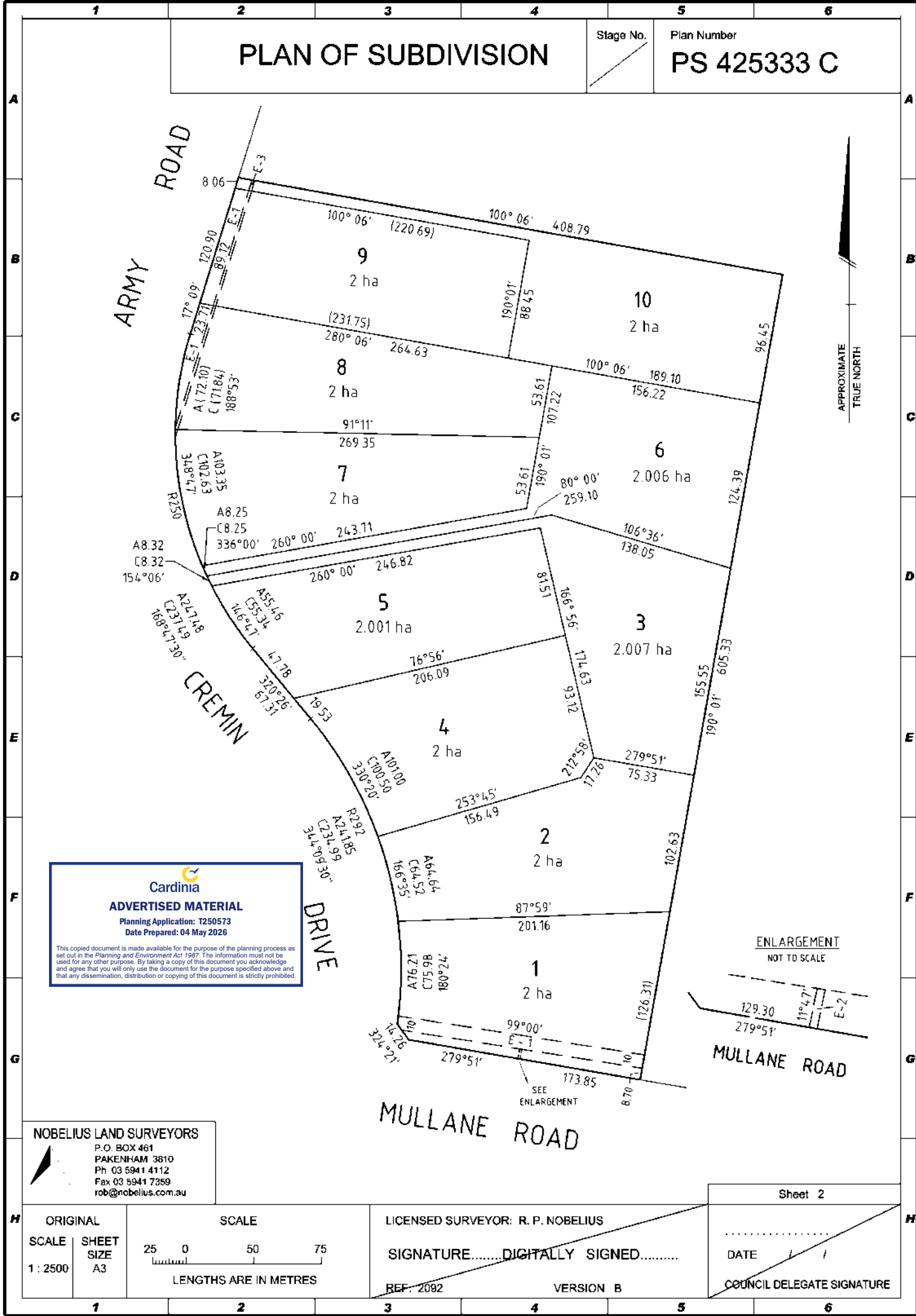
<b>PLAN OF SUBDIVISION</b>				LR use only <b>EDITION 1</b>	Stage No. /	Plan Number <b>PS 425333 C</b>
<p><b>LOCATION OF LAND</b></p> <p><b>Parish:</b> Nar-Nar-Goon</p> <p><b>Township:</b> ---</p> <p><b>Section:</b> ---</p> <p><b>Crown Allotment:</b> ---</p> <p><b>Crown Portion:</b> 16 (pt) &amp; 17 (pt)</p> <p><b>LTO Base Record:</b> DCMB</p> <p><b>Title Reference:</b> V. 9796 F. 128 to 132 (incl)</p> <p><b>Last Plan Reference:</b> Lots 4,5,6 7, &amp; 8 LP 206671 T</p> <p><b>Postal Address:</b> 210 Army Road (at time of subdivision) Pakenham 3810</p> <p><b>MGA94 Co-ordinates:</b> E 368 590 (of approx centres of land in plan) N 5 787 590 Zone: 55</p>				<p><b>COUNCIL CERTIFICATION AND ENDORSEMENT</b></p> <p><b>COUNCIL NAME :</b> CARDINIA      <b>REF:</b></p> <ol style="list-style-type: none"> <li>1. This plan is certified under section 6 of the Subdivision Act 1988.</li> <li>2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 / /</li> <li>3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.</li> </ol> <p><b>OPEN SPACE</b></p> <p>(i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made.</p> <p>(ii) The requirement has been satisfied.</p> <p>(iii) The requirement is to be satisfied in Stage.....</p> <p>Council Delegate Council Seal Date / /</p> <p>Re-certified under section 11(7) of the Subdivision Act 1988</p> <p>Council Delegate Council Seal Date / /</p>		
<b>Vesting of Roads or Reserves</b>						
Identifier	Council / Body / Person					
Nil	Nil					
<b>Notations</b>						
Depth Limitation: DOES NOT APPLY				Staging      This is not a staged subdivision Planning Permit No. T030207		
This is a Spear Plan				<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="text-align: center;"><b>ADVERTISED MATERIAL</b></p> <p style="text-align: center; font-size: small;">Planning Application: T250573 Date Prepared: 04 May 2026</p> <p style="text-align: center; font-size: x-small;">This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div> <p><u>Survey</u></p> <p>This plan is based on Survey</p> <p>This survey has been connected to permanent marks no(s) In Proclaimed Survey Area No.</p>		
<b>Easement Information</b>						<b>LR use only</b>
Legend:    A - Appurtenant Easement    E - Encumbering Easement    R - Encumbering Easement (Road)						Statement of Compliance/ Exemption Statement
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	Received <input checked="" type="checkbox"/>  DATE      25/06/2010	
E-1	Power Line	10	LP 206671 and Sec. 103 B of the S.E.C. Act 1958	S.E.C.V.	LR use only <b>PLAN REGISTERED</b> TIME 2.54pm DATE 5 / 7 / 2010 ..... <b>A.R.T.</b> ..... Assistant Registrar of Titles	
E-2	Power Line	1.5	This Plan & Sec.88 of the Elect. Industry Act 2000.	SPI Electricity Pty Ltd		
E-3	Power Line	2	This Plan & Sec.88 of the Elect. Industry Act 2000.	SPI Electricity Pty Ltd		
Sheet 1 of 2 sheets						
<p><b>NOBELIUS LAND SURVEYORS</b></p> <p>P.O. BOX 461 PAKENHAM 3810 Ph 03 5941 4112 Fax 03 5941 7359 rob@nobelius.com.au</p>			<p>LICENSED SURVEYOR: R. P. NOBELIUS</p> <p>SIGNATURE.....DIGITALLY SIGNED.....</p> <p>REF: 2092      VERSION B</p>			DATE / /  COUNCIL DELEGATE SIGNATURE Original sheet size A3

# PLAN OF SUBDIVISION

Stage No.

Plan Number

## PS 425333 C



### ADVERTISED MATERIAL

Planning Application: T250573  
Date Prepared: 04 May 2026

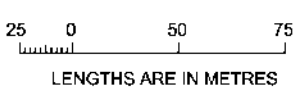
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Fax 03 5941 7359  
rob@nobelius.com.au

ORIGINAL SCALE  
1 : 2500

SHEET SIZE  
A3



LICENSED SURVEYOR: R. P. NOBELIUS

SIGNATURE.....DIGITALLY SIGNED.....

REF: 2092

VERSION B

Sheet 2

DATE / /  
COUNCIL DELEGATE SIGNATURE

# PLAN OF SUBDIVISION

Stage No.

Plan Number

**PS 425333 C**

CREATION OF RESTRICTION

On registration of this plan the following is created:

LAND TO BENEFIT: All Lots on This Plan of Subdivision.

LAND TO BE BURDENED: All Lots on this Plan of Subdivision.

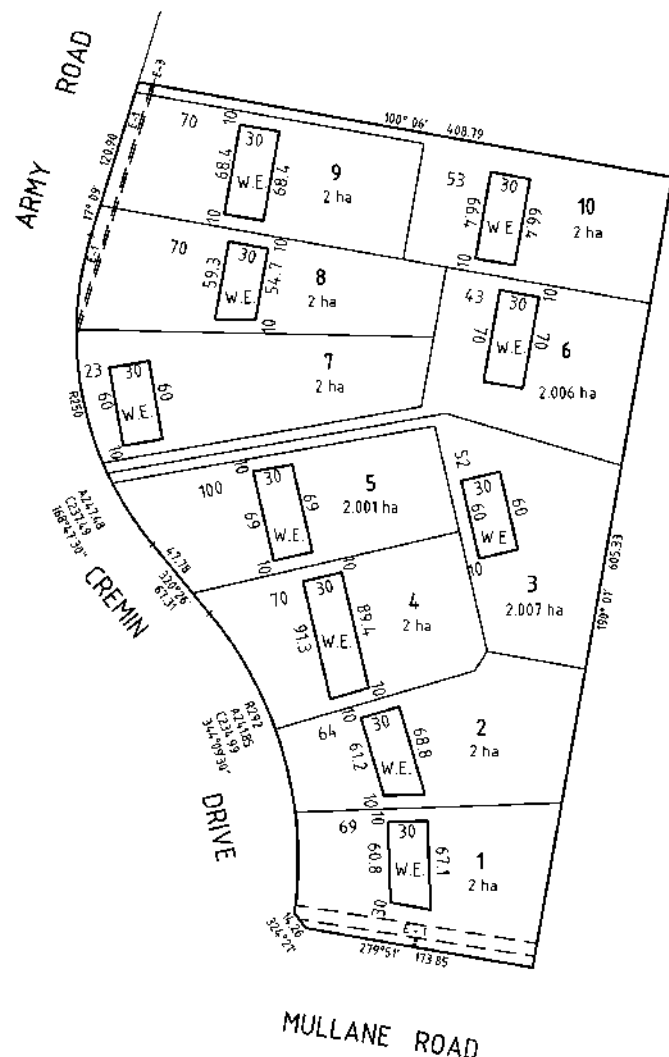
DESCRIPTION OF RESTRICTION

- The registered proprietor or proprietors for the time being of all lots shall not construct any building or carry out any filling or excavation works within the area denoted as Waste Disposal Envelope except for works related to the installation and maintenance of an on site absorption lines without the further consent of the Responsible Authority.

W. E. Denotes Waste Disposal Envelopes

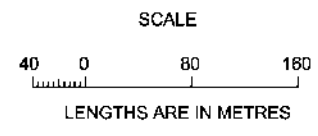
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 PAKENHAM 3810  
 Ph 03 5941 4112  
 Fax 03 5941 7359  
 rob@nobelius.com.au

ORIGINAL SCALE  
 1 : 4000



LICENSED SURVEYOR: R. P. NOBELIUS  
 SIGNATURE.....DIGITALLY SIGNED.....  
 REF: 2092 VERSION B

Sheet 3  
 DATE / /  
 COUNCIL DELEGATE SIGNATURE

**Plan of Subdivision PS425333C  
Statement of Compliance (Form 25)**

Regs (f) and 56 Subdivision (Procedures) Regulations 2000

Section 21

**Subdivision Act 1988**

To E McCarthy Pastoral Company Pty Ltd, 3 Cook Drive, Pakenham, VIC, 3810



**Statement of Compliance**

<b>SPEAR REF. NO.</b>	S001920S
<b>COUNCIL REF. NO.</b>	S08/136
<b>OFFICE OF TITLES PLAN NO.</b>	PS425333C
<b>SURVEYOR'S PLAN VERSION</b>	B
<b>ORIGINAL DATE CERTIFIED BY COUNCIL</b>	11/11/2008
<b>DATE OF LAST RE-CERTIFICATION BY COUNCIL</b>	06/04/2010

This is a Statement of Compliance issued under section 21 of the **Subdivision Act 1988** for the whole of the above plan.

Requirements under Parts 2 and 3 of the **Subdivision Act 1988** have now been satisfied.

In the case of a plan in a form other than paper, you should now make available this statement to the Office of Titles. If you have not yet lodged the certified plan, then this statement should be made available with this plan.

This document issued by Carolyn Murphy of Cardinia Shire Council and signed on 28/05/2010 at 11:02 am

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Document Identification	<b>AH403193H</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>20/10/2025 10:06</b>

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LOT 1

# TRANSFER OF LAND

Section 45 Transfer of Land Act 1958

Lodged by:

Name:

Phone:

Address:

Ref:

Customer Code:

PERPETUAL

Privacy Collecti  
The information f  
statutory authority  
maintaining publi  
indexes in the Vic

AH403193H

03/08/2010 \$1229 45



MADE AVAILABLE/CHANGE CONTROL

Office Use Only

The transferor at the direction of the directing party (if any) transfers to the transferee the estate and interest specified in the land described for the consideration expressed-

- together with any easements created by this transfer;
- subject to the encumbrances affecting the land including any created by dealings lodged for registration before the lodging of this transfer; and
- subject to any easements reserved by this transfer or restrictive covenant contained or covenant created pursuant to statute and included in this transfer.

Land: (volume and folio reference)

Volume 11212 Folio 886

Estate and Interest: (e.g. "all my estate in fee simple")

All ts estate in fee simple

Consideration:

\$450,000.00

Cardinia  
ADVERTISED MATERIAL  
Planning Application: 1250873  
Date Prepared: 04 May 2026  
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Transferee: (full name and address including postcode)

nil

Creation and/or Reservation of easement and/or Covenant

The Transferee, with the intention that the benefit of this covenant be annexed to and run at law and in equity with the land comprised in Plan of Subdivision PS425333C other than the Land and that the burden of this covenant be annexed to and run at law and in equity with the Land and every part or parts hereof, DOES HEREBY for itself its successors and transferees COVENANT with the Transferor its successors and assigns the registered proprietor or proprietors for the time being of all the land comprised in the Plan of Subdivision or any part or parts thereof other than the Land that the transferee will not at any time:

1. build, construct or erect or cause to be built, constructed or erected or allow to remain on the Land:
  - 1.1 more than one dwelling;
  - 1.2 a dwelling with a floor area (excluding verandahs, garages, out buildings, pergolas and balconies) of less than 200 square metres
  - 1.3 any Building the exterior of which is not constructed of:

Approval No. 13780911A

ORDER TO REGISTER

Please register and issue title to

STAMP DUTY USE ONLY

T2

Page 1 of 2

Signed

Cust. Code



Anstat Pty Ltd

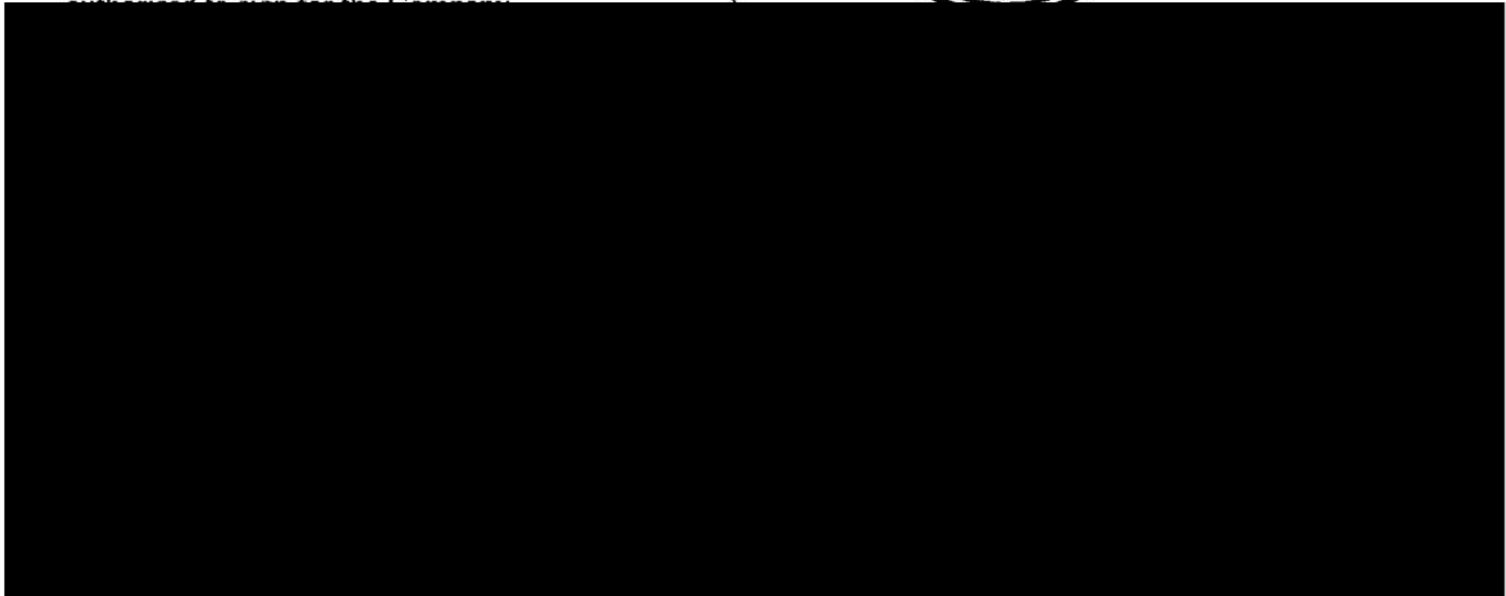
THE BACK OF THIS FORM MUST NOT BE REUSED  
Land Registry, 570 Bourke Street, Melbourne 3000 Phone 03 8636 2010

Perpetual Mortgage Services Pty Ltd	
DRS	AP 480
Vic Duty	\$22,070.00
Consideration	\$450,000.00
Trans No.	1839/2010
Endorse Date	26/07/2010
STAMP DUTY USE ONLY	Original

- 1.3.1 at least 70 per cent masonry, stone, brick, render or texture coated boards;
- 1.3.2 a non-reflective material and coloured in a subdued or muted colour;
- 1.4 any Building the external surface of which is constructed of:
  - 1.4.1 materials which are not new at the time of construction;
  - 1.4.2 unrendered fibre cement sheeting or blue board sheeting;
- 1.5 any transportable or relocatable dwelling or any dwelling other than one which was constructed on the Land;
- 1.6 any Building with stumps or support posts which are visible from a Street Frontage;
- 1.7 any Building with Plumbing (except for guttering and downpipes) which is visible from any Street Frontage;
- 1.8 any Building with external, clothesline, evaporative cooling unit or any part of any air conditioning system which are not positioned to minimize visibility from any Street Frontage;
- 1.9 any Building with a pitched roof and the pitch of which is less than 25 degrees;
- 1.10 any Building the roof of which is not constructed of tiles or colourbond;
- 1.11 any dwelling unless such dwelling includes a garage which is capable of accommodating two vehicles side by side and the external door of such garage is of a panel or roller shutter design.

This covenant will cease to affect the land hereby transferred 10 years after the registration of the Plan of Subdivision.

Dated: 29/07/2010 DATE  
 THE COMMON SEAL of E. McCARTHY )  
 PASTORAL COMPANY PTY LIMITED )  
 was affixed in the presence of those persons )  
 authorized to sign for the Company )



Approval No. 13780911A

03/08/2010 \$1229 45  


# T2

Page 2 of 2



Anstat Pty Ltd

  
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**THE BACK OF THIS FORM MUST NOT BE USED**  
 Land Registry, 570 Bourke Street, Melbourne 3000. Phone 03 8636 2010

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**AG496847T**

11/05/2009 \$99.90 173



**Form 13**

**Section 181**

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE MAKING OF A RECORDING OF AN AGREEMENT**

**Planning and Environment Act 1987**

Lodged by:

Name: J. N. Martin & Partners

Phone: (03) 9793 4722

Address: 146 - 148 Walker Street  
Dandenong. VIC. 3175.

**Privacy Collection Statement**

The information under this form is collected under statutory authority and is used for the purpose of maintaining publicly searchable registers and indexes in the Victorian Land Registry.

Ref: Customer Code: 1189T

The Authority having made an agreement referred to in Section 181(1) of the **Planning and Environment Act 1987** requires a recording to be made in the Register for the land.

Land: Volume 09796 Folios 128, 129, 130, 131 & 132

Authority: Cardinia Shire Council  
Henty Way,  
PAKENHAM. VIC. 3810.

  
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Date Prepared: 04 May 2026

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Section and Act under which agreement made: **Section 173 Agreement  
Planning and Environment Act  
1987**

A copy of the Agreement is attached to this Application

Signature for the Authority

Position held:

Name of Officer:

Date:



17/5/2009

**AG496847T**

11/05/2009 \$99.90 173



# **Deed of Agreement**

## **Section 173 Agreement**

**Cardinia Shire Council**

**and**

**South East Water Limited**  
**ABN 89 066 902 547**

**and**

***E.McCarthy Pastoral Company Pty. Ltd.***

***ACN 004 983 662***



**ADVERTISED MATERIAL**

**Planning Application: T250573**  
**Date Prepared: 04 May 2026**

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**DEED OF AGREEMENT**
  
**Section 173 Agreement**

**DATE**

**PARTIES**

Cardinia Shire Council (the "Responsible Authority"); 
  
 South East Water Limited ABN 89 066 902 547 of 20 Corporate Drive, <sup>Heatherton</sup> ~~Moerabbin~~, Victoria, 3189
   
 ("South East Water"); and



**RECITALS**

- A. The Owner is the registered proprietor of an estate in fee simple of the land known as Lots 4-8 on Plan of Subdivision LP2006671T (210 Army Road, Pakenham ) and being part of the land described in Certificate of Title Volume 9796 Folios 128,129,130,131,132 (the "**Land**").
- B. The Cardinia Shire Council is the Responsible Authority, under the *Planning and Environment Act 1987* (the "**Act**"), for the purposes of the Cardinia Planning Scheme (the "**Scheme**"). The Land is affected by the provisions of the Scheme.
- C. South East Water is the holder of a water and sewerage licence pursuant to section 17 of the *Water Industry Act 1994* (Vic). The Land is included in South East Water's licensed area.
- D. The Responsible Authority issued a planning permit (permit noT030207 ) to subdivide the Land into 10 allotments in accordance with plan of Subdivision no. 425333C (the "**Permit**"). Pursuant to Condition 10 a ,b ,c, d, e, of the Permit, the Owner is required to enter into an agreement with South East Water for the provision of sewerage services to the Land and fulfil all requirements (in relation to the provision of sewerage infrastructure) to South East Water's satisfaction.
- E. At the date of this Agreement, the Land is encumbered by Mortgage No N/A in favour of the N/A (the "**Mortgagee**"). The Mortgagee has consented to the Owner entering into this Agreement with respect to the Land.(THERE IS NO MORTGAGE ON THE PROPERTY )
- F. The Responsible Authority, South East Water and the Owner have agreed to enter into this agreement pursuant to section 173 of the Act.

**OPERATIVE PROVISIONS**

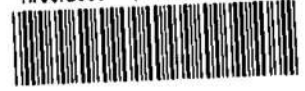
**1. DEFINITIONS AND INTERPRETATION**

**Definitions**

**"Act"** means the Planning and Environment Act 1987.
   
**"Agreement"** means this Deed of Agreement.
   
**"Chief General Manager"** means the Chief General Manager within the meaning of the Health Act 1958 (Vic).

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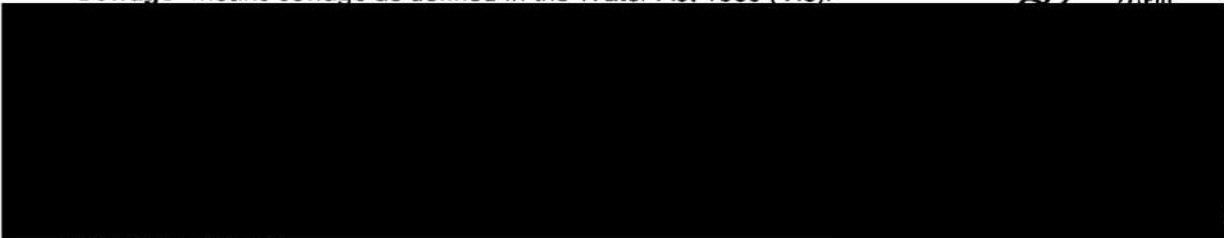


"EPA" means the Environment Protection Authority.

"Land" has the meaning ascribed to it in Recital A.

"Laws" means Commonwealth, Victorian or local government legislation, regulations, by-laws and other sub-ordinate legislation, codes and policies (including the State Environment Protection Policy (Waters of Victoria)), judicial , administrative or regulatory decrees, judgments or orders from time to time including as amended or modified or re-enacted from time to time.

"Sewage" means sewage as defined in the Water Act 1989 (Vic).



purchase the Land.

"Water Industry Act" means the Water Industry Act 1994 (Vic).

**General Interpretation**

In this Agreement, unless the context otherwise requires:

- (a) a reference to any legislation or any legislative provision includes any statutory modification or re-enactment of, or legislative provisions substituted for, and any subordinate legislation issued under, that legislation or legislative provisions;
- (b) the singular includes the plural and vice versa;
- (c) a reference to an individual or person includes a corporation, partnership, joint venture, association, authority, trust, state or government, or vice versa;
- (d) a reference to any gender includes all genders;
- (e) a reference to a recital, clause, schedule, annexure or exhibit is to a recital, clause, schedule, annexure or exhibit of or to this Agreement;
- (f) a recital, schedule, annexure or a description of the parties forms part of this Agreement;
- (g) a reference to any Agreement or document is to that Agreement or document (and, where applicable, any of its provisions) as amended, innovated, supplemented, or replaced from time to time;
- (h) a reference to any party to this Agreement or any other document or arrangement includes that party's executors, administrators, substitutes, successors and permitted assigns; and
- (i) where an expression is defined, another part of the speech or grammatical form of that expression has a corresponding meaning.

**Headings**

In this Agreement, headings are for convenience of reference only and do not affect interpretation.

**2. CONFIRMATION OF RECITALS**

Each of the parties to this Agreement confirms the recitals that relate to that party.



**ADVERTISED MATERIAL**

Planning Application: T250573  
Date Prepared: 04 May 2026

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**3. EFFECT OF THE AGREEMENT AND REGISTRATION**

**3.1 Agreement Under Section 173 of the Act**

The parties agree that without limiting or restricting the respective powers to enter into this Agreement and, in so far as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

**3.2 Covenants to Run with the Land**

The parties agree and declare that the obligations imposed on the Owner under this Agreement are intended to take effect as covenants which shall be annexed to and run at law and equity with the whole or any part of the Land and bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Land.

**3.3 Registration Memorandum**

- (a) An application, pursuant to section 181 of the Act shall be made by the Responsible Authority to the Registrar of Titles for the entry of a memorandum of this Agreement upon the Certificate of Title to the Land.
- (b) The Owner shall do all things necessary to enable the application made by the Responsible Authority to be entered on the Certificate of Title to the Land, including signing any further agreement, acknowledgment or document.

**4. COVENANTS**

**4.1 Owner's Covenants**

If a reticulated sewerage system is not provided to the Land, the Owner covenants and agrees with the Council and South East Water as follows:

- (a) It will at the written request of the Council, the Chief General Manager or the EPA, upon 60 days notice, provide proof at the cost of the Owner, and to the satisfaction of the Council, Chief General Manager or the EPA making the request, that:
  - (i) all sewage is being and will continue to be treated and retained within the Land without danger to public health, safety and the environment; and
  - (ii) any treatment systems meet and will continue to meet the relevant requirements of all Laws relating to such systems;
- (b) For the purpose of providing proof (b) under clause 4.1(a), and without limiting any other form of proof that may be required, it will conduct such tests reasonably required by the Council, the Chief General Manager or the EPA at the cost of the Owner;
- (c) It will at the written request of the Council, and at the Owner's cost:
  - (i) repair, replace or upgrade its treatment system; and
  - (ii) take any other steps required by the Council to ensure that:
    - (A) all sewage is being and will continue to be adequately treated and retained within the Land without danger to public health, safety or the environment; and
    - (B) any treatment system it uses meets and will continue to meet the requirements of Laws relating to such systems and the treatment of sewage from time to time;

  
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- (d) Without limiting any powers of the Council under clause 4.1(c), if the Council is not satisfied that:
  - (i) all sewage is being or will continue to be adequately treated and retained within the Land without danger to public health, safety or the environment; or
  - (ii) any treatment system used by the Owner meets and will continue to meet the requirements of all Laws relating to such systems and the treatment of sewage from time to time,

subject to clause 4.1(e), the Owner will at the written request of the Council, enter into an agreement with South East Water for the provision of reticulated sewerage services to the Land and fulfil all requirements of South East Water;

- (e) If South East Water provides, agrees to provide, or is legally required to provide reticulated sewerage services to the Land, whether pursuant to any agreement, or backlog or other program or scheme or otherwise, the Owner will pay the cost of extending and connecting the reticulated sewer and associated works to the Land, including pay the cost of any works, and pay the area contribution charge and other charges applicable from time to time.

#### 4.2 Council's and Owner's Agreements and Acknowledgments

The Council and the Owner acknowledge and agree that:

- (a) South East Water shall not be required to enter into an agreement with the Owner for the provision of reticulated sewerage services to the Land except to the extent it is required to do so under the Water Industry Act; and
- (b) nothing in this Agreement shall limit the powers of South East Water under the Water Industry Act, including Section 65(1) of that act.

#### 4.3 South East Water's Agreement

Any payments required by South East Water under Sections 27 and 29 of the Water Industry Act shall be assessed by South East Water in accordance with those respective provisions of that act.

### 5. OWNER'S INDEMNITY AND RELEASE

The Owner agrees not to make any claim for damage or loss of any kind against the Responsible Authority or South East Water arising from or referable to the provision of sewerage services to the Land, this Agreement or any non-compliance with this Agreement. The Owner agrees to hold harmless and keep the Responsible Authority and South East Water indemnified for and against all actions, claims, liability, demands, damages, losses, expenses and/or costs by or at the instance of any person or body whatsoever and howsoever caused, including but without limiting, any claim in negligence or arising from personal injury, arising from or referable to the provision of sewerage services to the Land, this Agreement or any non-compliance with this Agreement.

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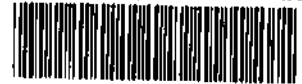
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**6. OWNER'S WARRANTIES**

- (a) Without limiting the operation or effect of this Agreement, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land which may be affected by this Agreement.
- (b) The Owner covenants to obtain the consent by any mortgagee to be bound by the covenants in this Agreement if the mortgagee becomes a mortgagee in possession of the Land.
- (c) Without limiting the operation or effect of this Agreement, the Owner must ensure that until a Memorandum of this Agreement is registered on the Certificate of Title to this Land, the Owner will ensure that its Transferees:
  - (i) give effect to, do all acts and sign all documents to give effect to this Agreement; and
  - (ii) execute a deed agreeing to be bound by this Agreement.

**7. OWNER'S OR TRANSFEREE'S DEFAULT**

If the Owner or a Transferee fails to comply with the provisions of this Agreement or any requirement made under the provisions of this Agreement, the Responsible Authority or South East Water may serve a notice on the Owner or a Transferee (as the case may be) specifying the works, matters and things in respect of which the Owner or Transferee is in default. If the alleged default continues for 30 days after the service of such notice, the Responsible Authority or South East Water may by its officers, employees, agents and contractors enter the Land and ensure that the works, matters and things are carried out. The costs incurred by the Responsible Authority or South East Water in undertaking the works as a result of the Owner or Transferee's default will be payable by the Owner or the Transferee.

**8. COSTS**

The Owner will pay South East Water's and the Responsible Authority's reasonable costs and expenses in relation to the negotiation, preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until payable remain a debt due to the Responsible Authority and/or South East Water (as the case may be).

**9. NO FETTERING OF THE RESPONSIBLE AUTHORITY'S POWERS**

The parties acknowledge and agree that this Agreement does not fetter or restrict the power or discretion of the Responsible Authority to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision application to the Land or relating to any use or development of the Land.

**10. NOTICES**

Any notice under this Agreement may be served by delivering, either personally or by registered mail, to the Parties.

**11. SEVERABILITY**

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, paragraph or clause of this Agreement is unenforceable, legal or void then it must be severed and the other provisions of this Agreement remain operational.

**12. FURTHER ASSURANCE**

Each party must promptly execute and deliver all documents and take all other actions necessary or desirable to effect, perfect or complete the transactions contemplated by this Agreement.

**13. NO WAIVER**

Any time or time indulgence granted by the Responsible Authority or South East Water to the Owner or any variation of the terms and conditions of this Agreement will not in any way amount to a waiver of any of the rights and remedies of the Responsible Entity or South East Water in relation to the terms of this Agreement.

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Cardinia

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**EXECUTED AS A DEED**

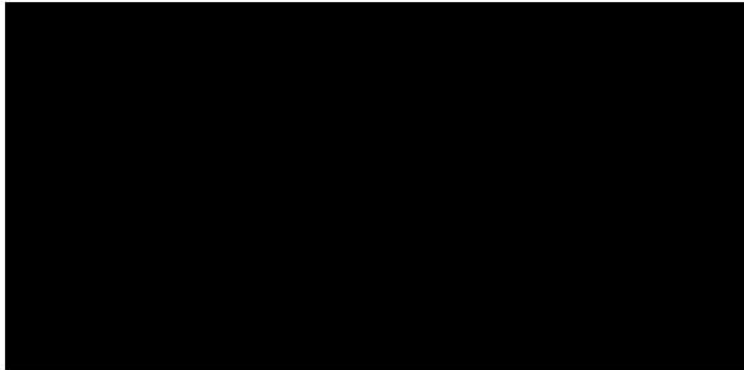
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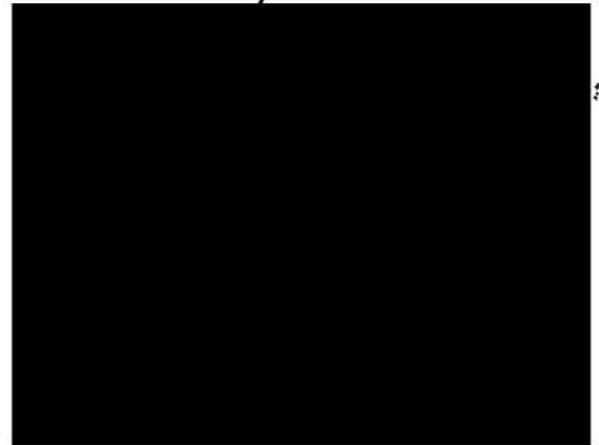
173



**Signed by and on behalf, and with the authority of The Cardinia Shire Council** by Jan Cussen, in the exercise of power conferred by an Instrument of Delegation dated 19<sup>th</sup> June 2006



**EXECUTED by SOUTH EAST WATER LIMITED**, by its duly appointed Attorney in the presence of:



**THE COMMON SEAL** of *[insert Owner's name and company]*, was affixed in accordance with its



18 September 2025

Cardinia Shire Council  
mail@cardinia.vic.gov.au



To whom it may concern,

**PLANNING PERMIT APPLICATION  
13 CREMIN DRIVE PAKENHAM**

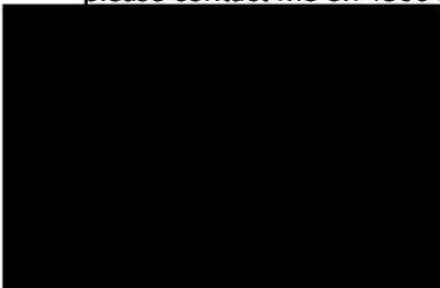
We act for the owners of 13 Cremin Drive Pakenham who seek planning approval for the use and development of a dwelling and associated works.


The attached written submission details how the proposal adequately responds to the relevant State and Local Planning Policies as well as the Zone and Overlays with all variations to the planning provisions clearly identified and justified.

To aid in the assessment of the application please find attached:

- A completed Planning Application Form
- Plans
- A current copy of the certificate of title
- Written planning submission

We trust that you have sufficient information to assess the application and look forward to receiving a favourable outcome in due course. If you would like to discuss anything further, please contact me on 1300 342 937.



Material Schedule: <b>Lot 1 (13) CREMIN DR PAKENHAM VIC 3810</b>			
Sample	Brand	Colour	Desc.
	Selkirk Bricks	IRONSTONE	Brick (Ground Floor)
	Dulux	HEIFER	Render (First Floor), Portico Beam, Timber Posts, Meter Box, Outdoor Room Beam, Pedestrian Access Door/Frame
	Dulux	RAKAIA	Render to Void Projection
	Colorbond	WALLABY	Roof, Gutter, Fascia, Downpipes, Metal Capping & Whirly Bird
	Dulux	LEXICON QUARTER	Portico Living and Eaves Lining
	Dulux	MONUMENT	Front Entry Door and Frame
	Southern Star	SATIN BLACK	Aluminium Windows and Flyscreens
	Dynamic Doors Sectional Colorbond FLATLINE	MONUMENT	Garage door (Wide Profile)



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# PROSSOR

TOWN PLANNING

## Planning Submission

13 Cremin Drive Pakenham

Use and development of a dwelling and associated works



# Executive Summary



## EXECUTIVE SUMMARY

<b>Proposal</b>	Use and development of the land for a dwelling and associated works
<b>Planning controls</b>	Clause 35.04 - Green Wedge A Zone, Schedule 2 (GWAZ2) Clause 42.01 - Environmental Significance Overlay, Schedule 1 (ESO1)
<b>Planning Permit triggers</b>	Clause 35.05-1 (GWAZ) - Use of the land for the purpose of a dwelling Clause 35.05-5 (GWAZ) - Buildings and works associated with a Section 2 use (dwelling) Clause 42.01-2 (ESO1) - Buildings and works associated with a Section 2 use (dwelling)
<b>Plan set</b>	This is a preliminary development plan prepared by Metricon Homes dated 04/08/2025
<b>Author</b>	[REDACTED]
<b>Client</b>	Krystal Li
<b>Council</b>	Cardinia
<b>Project Team</b>	Prossor Town Planning Metricon Homes
<b>Bushfire</b>	The land is located in a Bushfire Prone Area.
<b>Flood Prone</b>	The land not designated Flood Prone.
<b>Aboriginal Cultural Heritage</b>	The subject site is not located within an area of Aboriginal Cultural Heritage Sensitivity.
<b>Version no. &amp; date</b>	Version 1, September 2025

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# Introduction



  
Cardinia

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## 1.1 PROPOSAL

This application proposes the use and development of the land for a dwelling and associated works.

The dwelling is double storey and comprises of a portico, entry, sitting room, theatre, four bedrooms each with WIR and ensuite, laundry, powder room, and open plan kitchen, dining and family area with access to a covered outdoor room at ground floor level. The first floor level contains two additional bedrooms with WIR and ensuite, and a separate guest bedroom.

The dwelling is setback approximately 140 metres from the Cremin Drive frontage (west), 25.0 metres from the northern boundary, 28.597 metres from the eastern boundary and 52.283 metres from the southern boundary abutting Mullane Road.

The dwelling has a maximum height of 7.950 metres above natural ground level and is to be constructed of face brickwork and rendered cladding with a pitched metal sheet roof.

There are some minor earthworks (max 1.1 metres) required to facilitate the proposed development.

There is no vegetation removal proposed.

Access to the site is available via Cremin Drive. A driveway is proposed to extent to the double garage and workshop which is attached to the northern side of the dwelling. Separate access has also recently been constructed from Mullane Road – this is intended only as a temporary construction entry during the building process and will not be used as a permanent driveway. Upon completion of the development, the access will be removed and the land re-instated to Council's satisfaction. It does not appear that a crossover permit was issued by Council's Development Engineering Team for the creation of this access.

A wastewater disposal envelope is nominated on the site in accordance with the requirements of Restrictive Covenant PS425333.



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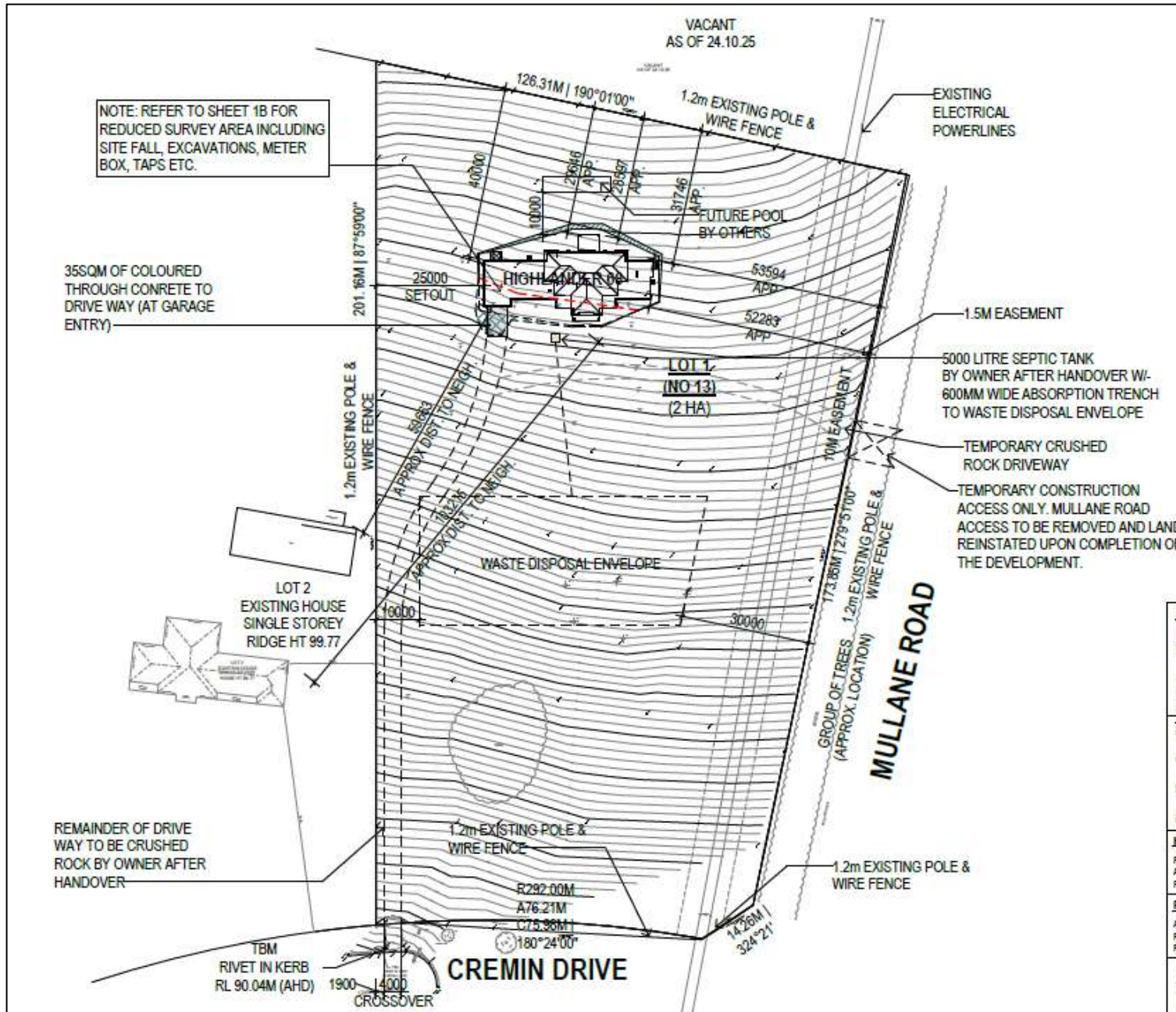


Figure 1. Proposed site plan

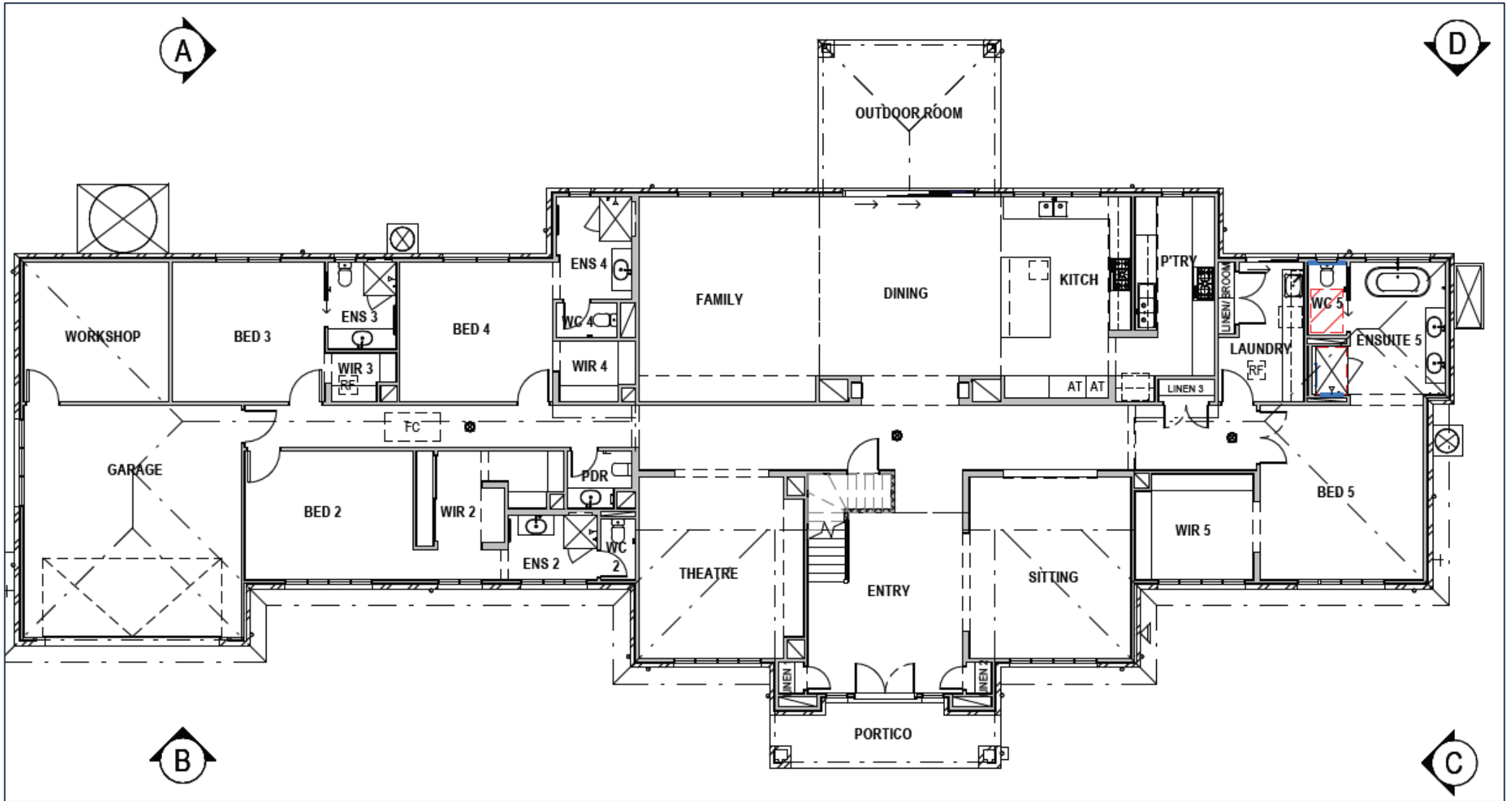


Figure 2. Proposed Ground Floor Plan

  
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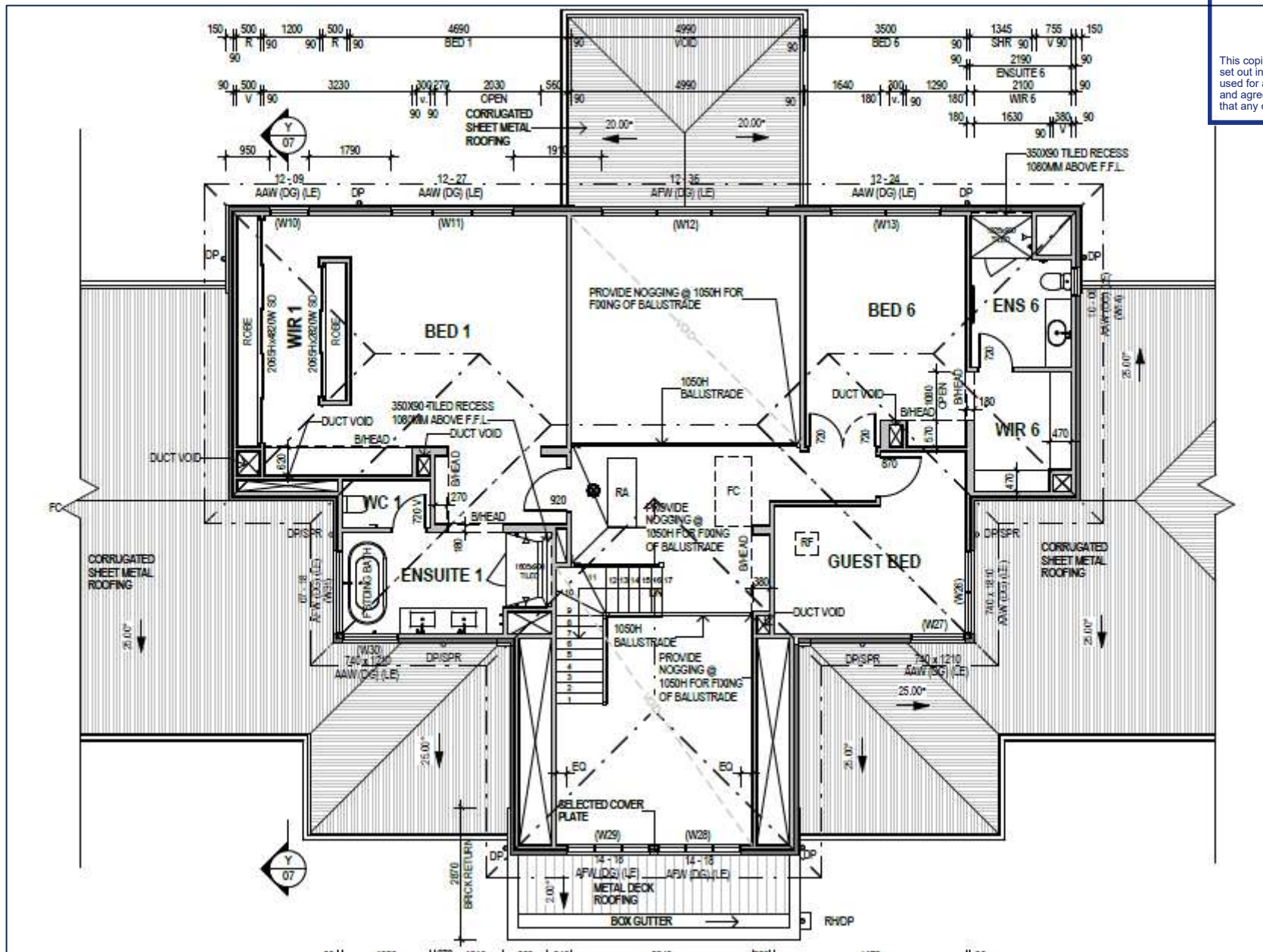


Figure 3. Proposed First Floor Plan



**Figure 4.** Proposed Western Elevation

  
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## 1.2 PLANNING PERMIT TRIGGERS

The subject land is located in a Green Wedge A Zone, Schedule 1 (GWAZ1) under the Cardinia Planning Scheme and is affected by the following Overlays:

- Clause 42.01 - Environmental Significance Overlay, Schedule 1 (ESO1)

A planning permit is required under the following provisions:

Planning Scheme Clause	Permit Trigger
Clause 35.05-1 (GWAZ)	Use of the land for the purpose of a dwelling
Clause 35.05-5 (GWAZ)	Buildings and works associated with a Section 2 use (dwelling)
Clause 42.01-2 (ESO1)	Buildings and works associated with a Section 2 use (dwelling)

## 1.3 KEY ISSUES

The key issues requiring consideration when reviewing the Cardinia Planning Scheme, visiting the site and considering the proposal are:

- Is the use and development of a dwelling appropriate having regard to the purpose of the Green Wedge A Zone?
- Will the development result in any environmental impacts?
- Does the dwelling respond to the rural landscape?
- Is the proposal consistent with the Planning Policy Framework?

This report aims to address these questions and demonstrate that the proposal should receive Council's full support on the basis that the proposal responds to the rural character of the area, the objectives of the Green Wedge A Zone and is appropriately sited and designed to avoid significant environmental impacts.

  
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Date Prepared: 04 May 2026  
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# Site Context



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## 2.1 LOCATION

The subject site is located to the south-east of the court bowl to Cremin Drive. It also abuts Mullane Road to the south. Land to the north is zoned Green Wedge A and most lots measure around 2.0 hectares in size and are used for rural residential purposes. Land to the east and west is zoned Green Wedge. The eastern lots are generally larger in size and used for agricultural pursuits. Land to the south, on the opposite side of Mullane Road is zoned General Residential.

The subject site was part of a wider 10 lot subdivision approved under Planning Permit T030207.



Figure 5. Zoning of the subject site and surrounds

An aerial image of the subject site (highlighted) and surrounding locality is presented below:



Image 1. Aerial image of the subject site and surrounds (source: [www.landchecker.com.au](http://www.landchecker.com.au))

  
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## 2.2 EXISTING LAND USE AND DEVELOPMENT

The subject site is irregular in shape and has a total site area of 20,001 square metres. The land abuts Cremin Drive to the west and Mullane Road to the south. The land is currently devoid of any development or vegetation. Power lines run along the length of the southern boundary of the site. The Mullane Road reserve is well vegetated. Vehicle access to the site is via a concrete crossover at the end of the Cremin Drive court bowl. The boundaries of the site are defined by 1.2 metre high post and wire fencing.

The following photographs provide more details of the site and its characteristics:



**Image 2.** Presentation of the subject site to Cremin Drive



**Image 3.** Western boundary viewed from Cremin Drive



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**Image 4.** Looking along eastern boundary from top of driveway



**Image 5.** Looking south-east along the driveway from the northern boundary



**Image 6.** Existing access from Mullane Road



**Image 7.** Existing driveway looking towards Mullane Road

  
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**Image 8.** Looking north-west from the existing driveway



**Image 9.** 11 Cremin Drive



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**Image 10.** 9 Cremin Drive



**Image 11.** 7 Cremin Drive



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## 2.3 EASEMENTS RESTRICTIONS AND COVENANTS

The subject site is known as Lot 1 on Plan of Subdivision 425333.

The land is encumbered by the following restrictions:

**Covenant PS425333** imposes the following restriction:

*"The registered proprietor or proprietors for the time being of all lots shall not construct any building or carry out any filling or excavation works within the area denoted as Waste Disposal Envelope except for works related to the installation and maintenance of an on site absorption lines without the further consent of the Responsible Authority".*

The proposal does not breach this restriction as there are no buildings or works nominated within the denoted waste disposal envelope, other than works related to the installation of on site absorption lines.

**Covenant AH403193** imposes the following restriction:

*"...will not at any time:*

*1. Build, construct or erect or cause to be built, constructed or erected or allow to remain on the land:*

- 1.1 More than one dwelling;*
- 1.2 A dwelling with a floor area (excluding verandahs, garages, out buildings, pergolas and balconies) of less than 200 square metres;*
- 1.3 Any building the exterior of which is not constructed of:
  - 1.3.1 At least 70 per cent masonry, stone, brick, render or texture coated boards;*
  - 1.3.2 A non-reflective material and coloured in subdued or muted colour;**
- 1.4 Any building the external surface of which is constructed of:
  - 1.4.1 Materials which are not new at the time of construction;*
  - 1.4.2 Unrendered fibre cement sheeting or blue board sheeting;**
- 1.5 Any transportable or relocatable dwelling or any dwelling other than one which was constructed on the land;*
- 1.6 Any building with stumps or support posts which are visible from a street frontage.*
- 1.7 Any building with plumbing (except for guttering and downpipes) which is visible from a street frontage;*
- 1.8 Any building with external clothesline, evaporative cooling unit or any part of any air conditioning system which are not positioned to minimise visibility from any street frontage;*
- 1.9 Any building with a pitched roof and the pitch of which is less than 25 degrees;*

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1.10 *Any dwelling unless such dwelling includes a garage which is capable of accommodating two vehicles side by side and the external door of such garage is of a panel or roller shutter design."*

The proposal does not breach this restriction as the application does not propose more than one dwelling, with a floor area which exceeds 200 square metres. The dwelling is primarily constructed of brick (75.11%) and rendered (23.63%) cladding, in muted and non-reflective tones. All materials will be new at the time of construction. The dwelling is not constructed on stumps and all plumbing, and heating and cooling units will be positioned to minimise visibility from the street. The dwelling has a roof pitch of 25 degrees and a garage which is capable of accommodating two vehicles side by side with a sectional roller door.

**Section 173 Agreement AG496847** relates to a requirement under Planning Permit T030207 for the owner to enter into an agreement with South East Water for the provision of sewerage services to the land.

A 10m wide powerline easement (E-1) runs along the length of the southern title boundary and will not be impacted as a consequence of the development.

## 2.4 REFERRALS

Nil



# Planning Scheme Assessment



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## 3.2 PLANNING POLICY FRAMEWORK

### 4.1 Planning Policy Framework

#### CLAUSE 11.01-1R GREEN WEDGES – METROPOLITAN MELBOURNE

The objective of this policy is to protect the green wedges of Metropolitan Melbourne from inappropriate development.

The proposal meets the objective and strategies of the policy as:

- The proposed dwelling will not bear any adverse visual intrusion upon the surrounding landscape.
- The proposed dwelling will not unreasonably reduce the agricultural capacity of the land.
- The site is well located in an established rural-residential area adjacent to an existing township therefore a dwelling use is suitable.
- The immediate area is not suitable for meaningful agriculture having regard to the location and overall site area (2 hectares).

#### CLAUSE 12.01-1S PROTECTION OF BIODIVERSITY

The objective of this policy is to assist the protection and conservation of Victoria's biodiversity.

The proposal is not excessive and has been designed to minimise impacts on biodiversity. There is no vegetation removal required to facilitate the proposed development, and the buildings and works are well setback from any nearby watercourse or area of significant biodiversity.

#### CLAUSE 12.05-2S LANDSCAPES

The objective of this policy is to protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.

The siting and design of the dwelling ensures that the landscape features of the broader area will be maintained. The height of the proposed double storey dwelling is commensurate with existing development in the broader area and has been sited to ensure minimal impact to adjoining properties.

#### CLAUSE 13.02-1S BUSHFIRE PLANNING

The objective of this policy is to strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.



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The subject site is located within a designated bushfire prone area pursuant to the *Building Regulations 2018*. As such, relevant bushfire mitigation and construction measures will be managed at the Building Permit stage.

The site is located within an established rural area with existing road networks. Vehicle access to and from the site is convenient and in the event of a bushfire, there is suitable access to main road networks leading to the nearby townships.

#### **CLAUSE 14.01-1S PROTECTION OF AGRICULTURAL LAND**

The objective of this policy is to protect productive farmland which is of strategic significance in the local or regional context.

The subject site is located within the Green Wedge A Zone rather than the Green Wedge Zone which is generally more suitable for meaningful agriculture. This GWAZ immediately abuts the General Residential Zone to the south, therefore from a strategic perspective, this area is not suitable for highly productive agriculture. Having regard to the modest lot area specifically, there are no opportunities for meaningful agriculture and therefore the use of the land for a dwelling is considered suitable.

#### **CLAUSE 15.01-6S DESIGN FOR RURAL AREAS**

The objective of this policy is to ensure development respects valued areas of rural character.

The dwelling is of high architectural design and will appropriately integrate with the surrounding rural landscape.

#### **CLAUSE 16.01-3S RURAL RESIDENTIAL DEVELOPMENT**

The objective of this policy is to identify land suitable for rural living and rural residential development.

The subject site is located within the GWAZ where lot sizes are typically smaller than GWZ allotments. This Zone also recognises that these areas are generally well established for rural residential purposes. The vast majority of land in the GWAZ area in the vicinity is currently used and developed for rural residential purposes therefore the proposal is consistent with the established theme.

  
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## CLAUSE 19.03-3S INTEGRATED WATER MANAGEMENT

The objective of this policy is to sustainably manage water supply, water resources, wastewater, drainage and stormwater through an integrated water management approach.

The relevant strategies of this policy are as follows:

- *Plan and coordinate integrated water management, bringing together stormwater, wastewater, drainage, water supply, water treatment and re-use*
- *Integrate water into the landscape to facilitate cooling, local habitat improvements and provision of attractive and enjoyable spaces for community use.*
- *Ensure that development protects and improves the health of water bodies including creeks, rivers, wetlands, estuaries and bays*
- *Manage stormwater quality and quantity through a mix of on-site measures and developer contributions at a scale that will provide greatest net community benefit.*
- *Ensure land is set aside for water management infrastructure at the subdivision design stage. Minimise the potential impacts of water, sewerage and drainage assets on the environment.*

The proposal meets the objectives and strategies of the policy as:

- It will treat discharge and water runoff as per relevant regulations and guidelines, including the treatment of wastewater.



## 4.2 Local Planning Policy Framework

### CLAUSE 21.02-2 LANDSCAPE

This clause seeks to recognise and protect the diverse landscape and areas of significant landscape value. The proposed development appropriately responds to the landscape character of the Northern Hills area as the built form is well designed and sited to avoid any visual intrusion.

### CLAUSE 21.02-3 BIODIVERSITY

There is no vegetation removal require to facilitate the proposed development and areas of high quality habitat will not be impacted.

### CLAUSE 21.02-4 BUSHFIRE MANAGEMENT

As above, relevant bushfire mitigation and construction measures will be managed at the Building Permit stage. The site is located within an established rural area with existing road networks. Vehicle access to and from the site is convenient and in the event of a bushfire, there is suitable access to main road networks leading to the nearby townships.

### CLAUSE 21.03-5 RURAL RESIDENTIAL AND RURAL LIVING DEVELOPMENT

Rural residential development is defined as the development of single dwellings on lots of between 0.4 hectare and 2.0 hectares, and rural living is defined as residential development on lots between 2 hectares and 16 hectares. The *Land Capability Study of the Cardinia Shire 1997* recognises that the indiscriminate development of land for small lot rural and rural residential purposes may result in extensive land and water degradation, loss of high quality agricultural land and unnecessarily high development and maintenance costs.

The objectives of this policy are to recognise the demand for rural residential and rural living development, and to provide for this development where it is closely integrated with an existing township or urban area and ensure that development reflects a high quality of design and does not result in environmental degradation.

The subject site measures 2.0 hectares in area and is located in an established rural-residential area adjacent to the existing Pakenham township and the urban growth boundary, therefore a dwelling use is suitable. The immediate area is not suitable for meaningful agriculture having regard to the location and overall site area. The proposed development will not impact on surrounding agricultural land or detract from the environmental values of the area.

A suitable wastewater envelope is nominated for the site and all wastewater will be appropriately contained.



A planning permit is required for the use and development of the land for the purpose of a dwelling pursuant to GWAZ1.

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The proposal is consistent with the objectives of this Zone as follows:

- The dwelling is moderate in scale and the use consistent with other lots in the area located within the GWAZ. Having regard to the relatively modest lot size, there are limited opportunities for agriculture. The use of the land for a dwelling is the most suitable in this context. There is an established theme of rural residential land use on surrounding lots located within the GWAZ.
- The proposed development is sympathetic to the semi-rural and landscape character of the area. Although double storey in height, the first floor footprint is relatively modest and well recessed from the ground floor below. A low site coverage is proposed with suitable setbacks from all title boundaries provided.
- The dwelling is appropriately scaled in its context and will not present any unreasonable bulk to the street or any adjoining property. The buildings and works are generously setback from Cremin Drive which assists in reducing any visual impact to the streetscape and existing vegetation within the road reserve will largely screen the development from Mullane Road. The use of muted and non-reflective colours and materials will ensure that the dwelling is appropriately integrated in the surrounding landscape.
- The environmental and landscape values of the land will not be impacted. There is no vegetation removal required to facilitate the proposal. There are no negative implications to any watercourse as a consequence of the proposal.
- There remains an ample extent of space around the proposed dwelling for landscaping opportunities which will further assist with softening built form and improving the environmental values of the land.
- A suitable effluent disposal system can be accommodated on the site and will be managed in such a way to ensure no adverse impacts on any nearby watercourse.
- The proposal complies with each of the setback requirements of the zone.

- The proposal satisfies the requirements of Clause 35.05-2 noting that access to the dwelling is provided via an all-weather road with adequate dimensions to accommodate emergency vehicles, all wastewater will be treated and retained onsite, and the dwelling will be connected to a reticulated water and electricity supply (or have an alternative source).

  
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## 3.4 OVERLAYS

### CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY, SCHEDULE 1 (ESO1)



  
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**Figure 7.** ESO mapping – source: <https://mapshare.vic.gov.au/vicplan/>

The environmental objectives of the overlay include:

- *To protect and enhance the significant environmental and landscape values in the northern hills area including the retention and enhancement of indigenous vegetation.*
- *To ensure that the siting and design of buildings and works does not adversely impact on environmental values including the diverse and interesting landscape, areas of remnant vegetation, hollow bearing trees, habitat of botanical and zoological significance and water quality and quantity.*
- *To ensure that the siting and design of buildings and works addresses environmental hazards including slope, erosion and fire risk, the protection of view lines and maintenance of vegetation as the predominant feature of the landscape.*
- *To protect and enhance biolinks across the landscape and ensure that vegetation is suitable for maintaining the health of species, communities and ecological processes, including the prevention of the incremental loss of vegetation.*

A planning permit is required for buildings and works associated with a Section 2 use (dwelling) pursuant to ESO1.

As the entire site is affected by this overlay, opportunities to site the dwelling outside the affected area are not achievable. However, the proposed dwelling is consistent with the objectives of this overlay as follows:

- The dwelling footprint is not excessive relative to the site area and is well setback from Cremin Drive and Mullane Road to ensure that the established semi-rural character is not compromised.
- The dwelling has been designed to avoid significant ground disturbance or impacts on existing vegetation.
- There is no vegetation removal required to facilitate the proposed development and the building footprint is well setback from any nearby watercourse.
- The external materials selected are of a muted tone with low reflectivity which ensures the dwelling are well integrated in this rural setting.

Having regard to the above, the landscape values and the environmental characteristics of the site will not be compromised as a consequence of the proposal.

  
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## 3.6 PARTICULAR PROVISIONS

### CLAUSE 51.02 METROPOLITAN GREEN WEDGE LAND

Relevant objectives:

- *To protect metropolitan green wedge land from uses and development that would diminish its agricultural, environmental, cultural heritage, conservation, landscape natural resource or recreation values.*
- *To protect productive agricultural land from incompatible uses and development.*
- *To ensure that the scale of use is compatible with the non-urban character of metropolitan green wedge land.*
- *To encourage the location of urban activities in urban areas.*
- *To provide deeming provisions for metropolitan green wedge land.*



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The proposed development of the land is not prohibited under this provision and is considered to be consistent with the Green Wedge A Zone as discussed throughout the submission.

## 4.1 CONCLUSION

It is submitted that the proposed use and development is consistent with the policies and provisions of the Cardinia Planning Scheme and should receive Council's support for the following reasons:

- The dwelling is moderate in scale and the use consistent with other lots located within the GWAZ. Given the modest lot size, there are limited opportunities for agriculture. The use of the land for a dwelling is the most suited in this context.
- The design, siting and form of the proposed dwelling is consistent with the siting and form of existing dwellings in the broader area and will provide a quality living outcome for future occupants. The proposed dwelling is compatible with the broader landscape character of the area.
- The proposal avoids any significant loss of amenity to any person.
- The proposal is consistent with the primary objectives the Green Wedge A Zone as well as those of the State and Local Planning Policies of the Cardinia Planning Scheme.
- There is no vegetation removal is required.

On balance, the proposal is worthy of support, and we look forward to a positive outcome in due course.

10 February 2026

Cardinia Shire Council

mail@cardinia.vic.gov.au



**PLANNING APPLICATION T250573  
13 CREMIN DRIVE PAKENHAM**

I refer to the above planning application, and your further information request letter dated 17 October 2025 and provide the following information:

1. Payment of outstanding application fees (refer to attached payment receipt).
2. A full and current copy of Restrictive Covenant AH403193H.
3. An amended town planning report outlining all elements of the proposal including:
  - a) An assessment as to how the proposed use of the land for a dwelling meets the requirements in Clause 35.05-2.
  - b) A detailed assessment as to how the proposal meets all relevant restrictions in Covenant AH403193H.
  - c) Whether the crossover connecting the subject site and Mullane Road was approved by a crossover permit by Council's Development Engineering team.
4. Fully dimensioned site plans clearly showing the following:
  - a) Setbacks of proposed building from a dwelling or small second dwelling on the abutting allotments not in the same ownership.
  - b) Location of the two crossovers as per the submitted Town Planning Report and dimensioned setbacks from any street trees.
  - c) Location, materiality (eg. gravel or concrete) and width of the proposed driveways.
  - d) Location of all vegetation to be removed (shown with a dotted red outline) and retained (shown with solid green outline).
  - e) Location, materials and heights of all boundary fencing and internal fencing. Please specify whether these are existing or proposed.
  - f) Location of any proposed earthworks and retaining walls.
  - g) Location of the proposed wastewater system, including any effluent envelope.

5. Fully dimensioned floor plans clearly showing the following:

- a) Finished floor levels of the first floor to AHD.

6. Fully dimensioned elevation plans clearly showing the following:

- a) Cardinal directions of all elevation plans (eg. North, south, east, west).
- b) Natural ground level and finished ground level (to AHD) clearly nominated on all elevations.
- c) Dimensions from NGL to the proposed finished floor levels.
- d) Details of the location of, and dimensions (height) of any earthworks and/or retaining walls (if any). Note: If no retaining walls are proposed, please include a notation on the elevation plan stating this.
- e) Overall building height from NGL and finished ground level to the highest point of the roof.
- f) A schedule of materials and finishes for all external surfaces. The schedule must include colour swatches and detail whether surface finishes are permeable or impermeable.



7. A Land Capability Assessment, prepared by a suitably qualified professional, demonstrating that wastewater can be treated and retained within the lot in accordance with the requirements of the Environment Protection Regulations under the *Environment Protection Act 2017* for an on-site wastewater management system, having regard to:

- Any changes to the siting/design of the dwelling in response to this letter;
- Adjacent/surrounding vegetation;
- The distance to the nearest waterway; and
- A site plan (drawn to a stated scale with dimensions) clearly showing:
  - The location of any bore hole(s) dug to inform the assessment;
  - All proposed buildings (as shown on the approved plans);
  - All proposed works (as shown on the approved plans); and
  - The location of the proposed on-site wastewater treatment system, including tanks, absorption lines and/or fields or similar relevant components.

The following comments are provided in response to the preliminary concerns:

### **Accuracy of the Waste Disposal Envelope**

The waste disposal envelope has been reviewed and correctly plotted in accordance with Covenant PS425333C (setback 10 metres from the northern boundary). The plans nominate a 5000 litre septic tank and 600mm wide absorption trenches within the waste disposal envelope.

### **Vegetation removal**

The street tree removal occurred prior to our client taking ownership of the property, so unfortunately, we are unable to provide any further information regarding this matter.

### **Access from Mullane Road**

The access from Mullane Road was intended only as a temporary construction entry during the building process and will not be used as a permanent driveway. Upon completion of the development, the access will be removed and the land re-instated to Council's satisfaction.

### **Visual Impact**

A landscape plan has been prepared by Moonah Design and includes landscaping adjacent to the boundaries of the site and around the proposed building footprint. This will assist with integrating the proposed built form and positively contribute to landscape character if the area.

We hope the provision of this information satisfies the further information request and promptly progresses the application. If the response is not deemed satisfactory, please consider this a request for additional time to provide the required information.

Should you require any further information I can be contacted on 1300 342 937.

Regards,



26 March 2026



Dear Lori,

**PLANNING APPLICATION T250573  
13 CREMIN DRIVE PAKENHAM**

I refer to the above planning application, and your further information request letter dated 3 March 2026 and provide the following information:

6. Fully dimensioned plans drawn to a stated scale, clearly showing the overall building height from NGL and finished ground level to the highest point of the roof.
7. An updated Land Capability Assessment showing the Waste Disposal Envelope as identified in Covenant PS425333C.

The following comments are provided in response to the preliminary concerns:

**Vegetation removal**

The tree to the west of the waste disposal envelope was removed prior to our client taking ownership of the property. Our client has advised that they did not undertake any works in relation to this tree.

**Access from Mullane Road**

The temporary crossover from Mullane Road was created to improve construction access due to the steep slope of the land. The associated vegetation removal was not approved by Council's Arboriculture team. This is a temporary measure and will be reinstated to its original condition once construction is completed.

**Visual Impact**

The driveway is proposed to be crushed rock with a small section of concrete at the garage entry. The landscape plan has been updated accordingly. The proposed tree planting has also been setback further from the powerline easement to reduce the potential for any conflict.

We hope the provision of this information satisfies the further information request and promptly progresses the application. If the response is not deemed satisfactory, please consider this a request for additional time to provide the required information.

Should you require any further information I can be contacted on 1300 342 937.

Regards,



**GEOTECHNICAL & ENVIRONMENTAL CONSULTANTS & PROJECT MANAGERS**  
27 GOULBURN STREET, CRANBOURNE EAST VIC 3977  
MOBILE NO.: +61470119665 | E: [admin@mlassociatesgeotechnicalengineers.com.au](mailto:admin@mlassociatesgeotechnicalengineers.com.au)  
WEBSITE: [www.mlassociatesgeotechnicalengineers.com.au](http://www.mlassociatesgeotechnicalengineers.com.au)

**KRYSTAL LI**  
**PROPOSED LAND CAPABILITY ASSESSMENT (LCA) FOR THE**  
**PROPOSED FIVE-BEDROOM SINGLE STOREY DWELLING IN THIS**  
**SITE**

**13 CREMIN DRIVE, PAKENHAM - VIC**

**2512.1014-1**



**REPORT**  
On-Site Wastewater  
Management

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 Planning Application: T250573  
 Date Prepared: 04 May 2026

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**DOCUMENT AUTHORISATION**

On Site Wastewater Management  
 On 13 Cremin Drive, Pakenham - VIC

Revised report on the proposed land capability assessment (LCA) for the proposed five-bedroom single storey dwelling in this site.



Prepared by ML & Associates Geotechnical Engineers Pty Ltd

2512.1014-1  
 17<sup>th</sup> March 2026

For and on behalf of  
**ML & Associates Geotechnical Engineers Pty Ltd**



(Redacted), RBP-EC, PE (VIC), Accredited RMS Slope Risk Assessor  
 Principal Geotechnical Engineer/Engineering Manager

  
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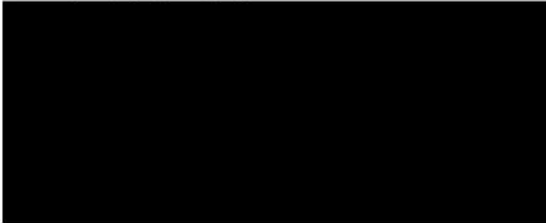
Rev	Revision Details	Author	Reviewer		Approved for Issue		
			Name	Initials	Name	Initials	Date
0	Initial issue	M. LEVI	L. Gabriel	LG	M. LEVI	ML	10/12/2025
01	Second issue	M. LEVI	L. Gabriel	LG	M. LEVI	ML	17/03/2026

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**Our Ref: 2512.1014-1**

17<sup>th</sup> March 2026



**ML & Associates Geotechnical Engineers Pty Ltd**  
ABN: 42154006750  
Email: [admin@mlassociatesgeotechnicalengineers.com.au](mailto:admin@mlassociatesgeotechnicalengineers.com.au)  
Web: [www.mlassociatesgeotechnicalengineers.com.au](http://www.mlassociatesgeotechnicalengineers.com.au)  
27 Goulburn Street  
**CRANBOURNE EAST VIC 3977**  
Mobile Phone: +61470119665

Dear Madam,

**PROPOSED LAND CAPABILITY ASSESSMENT (LCA) FOR THE FIVE-BEDROOM SINGLE STOREY DWELLING ON 13 CREMIN DRIVE, PAKENHAM - VIC ON-SITE WASTEWATER MANAGEMENT**

We are pleased to present herewith our revised report on the on-site wastewater management carried out at the above property described as 13 Cremin Drive, Pakenham - VIC. This revised report covers on-site wastewater aspects for the proposed land capability assessment (LCA) for the proposed five-bedroom single storey dwelling in this site only. This revised report supersedes our report 2612.1014, dated 10<sup>th</sup> December 2025.

The fieldwork denotes that the site is underlain by alluvial and residual soils mantled by approximately 0.30m of topsoil containing some roots, and root fibres. All the boreholes were terminated at a normal depth of 1.80m below ground level because the targeted depth has been achieved. Some free groundwater/seepage/perched water table was observed in any of the boreholes at a nominal depth of 0.30m bgl.

Our site assessment has determined the site soils to be akin to a Category 4 type material. Sizing of the wastewater disposal system for the proposed LCA for the five bedrooms single storey dwelling equivalent to eight (8 no.) people has been based on this information as per AS1547:2012 and Victorian Wastewater Management Planning Guide.

Design process has evaluated different options for wastewater management with a recommendation for the disposal of **primary** quality effluent via an Absorption Bed (ABS).

Details of the computations capturing the following are attached to the report.

- Design computations
- An investigation layout plan showing the approximate location & area of the disposal system.
- A typical plan of a sub-surface irrigation system.
- The relevant buffers that must be maintained under current guidelines.

We thank you for the opportunity to provide this service. Please contact the undersigned if you have any queries regarding the content of this report.

Yours faithfully,

Mori LEVI  
BEng, MIEAust, RBP-EC, PE (VIC), Accredited RMS Slope Risk Assessor  
Principal Geotechnical Engineer/Engineering Manager  
**ML & ASSOCIATES GEOTECHNICAL ENGINEERS PTY LTD**

## 1. INTRODUCTION

This revised report provides the results of an on-site wastewater management investigation commissioned by Mrs. Krystal Li for the proposed Land Capability Assessment (LCA) for the five-bedroom single storey dwelling at the property described as 13 Cremin Drive, Pakenham – VIC. The information provided by the client indicates that the proposed (LCA) is required to service a five-bedroom single-storey dwelling capable of housing an equivalent of eight (8 no.) people in this site.

A further assessment by required by the council to confirm if the wastewater envelope identified as covenant PC425333C can accommodate the wastewater system and the reserve.

No engineering/architectural drawings were provided to us by Mrs. Krystal Li for the purpose of this investigation.

The investigation reported herein comprised of the following:

- Desktop study.
- Mobilization Ex Cranbourne East.
- Location of underground service using dial before you dig (DBYD) plans.
- Regional geology of the site including site and subsurface conditions.
- Engineer for fieldwork supervision.
- Drilling of two boreholes (2 no.) to a nominal depth of 1.50 - 2.00m below ground level or earlier refusal on solid bedrock within the footprint of the proposed effluent disposal area in this site.
- An additional borehole and a percolation testing were carried out as part of the further assessment required by council.
- Percolation testing would be carried out adjacent to the two (2 no.) boreholes.
- Pocket Penetrometer (PP) testing would be carried out on the drilled spoils at some nominated depths in the boreholes.
- Site preparation.
- Site Geology.
- Surface and subsurface conditions.
- Comment on groundwater.
- Land capability assessment (LCA) in accordance with AS 1547:2012 and the Victorian Land capability Assessment framework.
- Provision of an on-site wastewater management/LCA report.

We understand that an on-site wastewater management report is required for the proposed Land Capability Assessment (LCA) for the five-bedroom single-storey dwelling in this site.

The fieldwork was carried out as per ML & Associates Geotechnical Engineers fee proposal number 2512.1014, dated 9<sup>th</sup> December 2025 in response to Mrs. Krystal Li's request for a quotation on 2<sup>th</sup> the same date. The authority to proceed with the investigation was issued on 9<sup>th</sup> December 2025 by Mrs. Krystal Li via an email with our signed service agreement attached. Additional investigation was carried out on 17<sup>th</sup> March 2026 comprising of a borehole and a percolation testing and was completed on the same date.

The fieldwork commenced on 9<sup>th</sup> December 2025, and 17<sup>th</sup> March 2026, and was completed on the same day under the full-time supervision of an experienced geotechnical engineer from ML & Associates Geotechnical Engineers Pty Ltd.

## **2. GEOTECHNICAL INVESTIGATION**

### **2.1 SITE DESCRIPTION**

The subject site is located on a raised block of farmland with a downward fall in northerly and westerly directions to give a low point at the northwestern end of this property. The site's slope varies from 2-5°. It is delimited to the north and west by existing farmland/rural residential development, and to the south and east by Cremin Drive and Mullane Road respectively. The subject site can be accessed via both Cremin Drive and Mullane Road from the southern and eastern ends of this property respectively. The subject site was enclosed by a fence. The area of the block is about 1ha.

The subject site was vacant during the investigation date. There was a gravel capped access track that transgresses the site anticlockwise along the boundaries from northeast to southwestern ends of the site. There were also some overhead powerlines that transgress the site from north to south close to Mullane Road frontage.

There were also some scattered trees on the western end of approximately 4-11m high noted on site along the property boundaries. The subject site appears to be boggy due to tyre ruts noted during the investigation date. The vegetation over the subject site was described as a low stratum regrowth.

The drainage over the subject site is judged to be fair due to the nature of the topography.



## 2.2 GEOLOGY & GROUNDWATER

The 1:63,360 Geological Survey of Victoria (Warragul; Sheet No. SJ55-10) indicates that the site is underlain by Eocene, Tertiary, Extrusive, Igneous, Latrobe Valley Coal Measures, Older Volcanics (Tvo) comprising of olivine basalt, titanite basalt, associated pyroclastics, plugs and dykes includes Thorpdale Volcanics. The materials penetrated in the boreholes are consistent with the prediction of the geologic map.

The review of Visualising Victoria's Groundwater (VVG) overlay map also shows that groundwater is available in this site at a nominal depth of between 10 – 20m below ground level (bgl). This is consistent with the observation made in the boreholes. However, some seepage/perched water table was noted in the boreholes at a nominal depth of about 0.30m bgl and no further groundwater monitoring was undertaken.

## 2.3 FIELDWORK

A total of two (2 no.) boreholes (BH01-BH02) were drilled to a normal depth of 1.80m below ground level using a CE Trailer Mounted Drilling Rig owned and operated by ML & Associates Geotechnical Engineers Pty Ltd. The boreholes were terminated at a nominal depth of 1.80m below ground level because the targeted depth has been achieved. An additional borehole and a percolation test were carried out at the Covenant PC425333C as part of the further assessment and investigation request by council.

The materials penetrated in the boreholes were visually classified and logged by an experienced geotechnical engineer from ML & Associates Geotechnical Engineers Pty Ltd to give the engineering logs appended to this report. The soil horizons penetrated in the boreholes were visually classified and logged in accordance to AS 1726-2017<sup>1</sup>.

PP testing was carried out in the boreholes at some nominated depths on the drill spoils and results shown on the accompanying engineering logs.

---

<sup>1</sup> AS1726-2017, Geotechnical Site Investigation

A falling head percolation testing was carried out adjacent to each borehole for both sets of investigation, and the results are presented in Table 2.1.

**TABLE 2.1**  
**PERCOLATION TEST RESULTS**

Test No.	Depth Range (m)	Permeability $K_{sat}$ (m/day)
December 2025 Percolation Tests		
PT01	0.00 – 0.85	0.312
PT02	0.00 – 0.85	1.74
March 2026 Percolation Test		
PT03	0.00 – 0.80	0.95

The boreholes and percolation test locations were backfilled with the drilled spoils following completion of drilling, testing, and flashed to ground level. The location of the boreholes, off set distance from the boundaries, and percolation test locations are documented in the accompanying investigation layout plan (Fig. 1014-1A) attached to this report.

The fieldwork commenced on 9<sup>th</sup> December 2025 and 17 March 2026, and was completed on the same day under the full-time supervision of a geotechnical engineer from ML & Associates Geotechnical Engineers Pty Ltd.

## 2.4 SUBSURFACE CONDITIONS

The investigation holes uncovered the following geologic soil units;

- Topsoil
- Alluvial soils.
- Residual soils.

The boreholes disclosed some 0.30m of topsoil described as moist, very loose, Clayey SAND of low plasticity fines containing some roots, and root fibres.

Alluvial soils emerged below the topsoil, the latter described as wet, loose, Clayey SAND of low plasticity fines.

The residual soil has been penetrated initially as moist ( $w > PL$ ), firm to very stiff, Silty CLAY of high to medium plasticity fines which descended progressively into moist ( $w > PL$ ), stiff, Silty CLAY of intermediate plasticity fines at the basal end of the boreholes.

All the boreholes were terminated in the residual soils.

Table 2.2 shows the summary of material succession penetrated in the boreholes.

**TABLE 2.2**  
**SUMMARY OF MATERIAL SUCCESSION**

<b>Borehole No.</b>	<b>Topsoil (m)</b>	<b>Alluvium (m)</b>	<b>Residual Soil (m)</b>	<b>Free Groundwater Table (m)</b>
December 2025 Investigation Holes				
BH01	0.00 – 0.30	0.30 – 0.50	0.50 – 1.80	Seepage, say at ~0.30m bgl
BH02	0.00 – 0.30	0.30 – 0.50	0.50 – 1.80	Seepage, say at ~0.30m bgl
March 2026 Investigation Hole				
BH03	0.00 – 0.30	0.30 – 0.50	0.50 – 1.80	Seepage, say at ~0.30m bgl

Some free groundwater was observed in the boreholes at a nominal depth of about 0.30m bgl and no further groundwater monitoring was undertaken.

The reader is referred to the attached engineering logs for detailed description of the material succession in the boreholes.

### **3. ON-SITE WASTEWATER MANAGEMENT/LCA, ASSESSMENT & DESIGN**

Testing and assessment carried out on this site returned a low permeability value. Our assessment and design have been based on Category 4 type material.

Information provided by the client indicates that the on-site wastewater treatment/LCA and disposal system is required to service a proposed five-bedroom single-story dwelling equivalent to eight (8 no.) people in this site. Using a daily effluent outflow of 150L/person/day for a reticulated water supply, the wastewater allowance adopted for this size of farm shed is 1,200L/day. This conforms to AS1547:2012.

Using the parameters given above, design computations have been carried out for suitable effluent application areas i.e., absorption trenches, evapotranspiration/absorption beds, and irrigation areas.

The report recommends the disposal of **primary quality** effluent via an Absorption (ABS) bed. The location of the disposal area is shown in the attached Figure 1014A. A typical ABS Bed cross section is given in Figure 1014-1B. We recommend a 4,000 Litres Septic Tank for the proposed LCA in this site with a filter fixed at the outlet. A land application of approximately 140m<sup>2</sup> is required for this site based on water balance and total effluent generated per day. A reserve area of 140m<sup>2</sup> shall be set aside in case of future system failure.

Based on the information provided by the client/Council the estimated area of the Covenant PC425333C proposed for wastewater disposal and reserve is about 1,855.5m<sup>2</sup> which is about six times the required area for both the effluent disposal and the reserve area.

The on-site disposal system must be maintained and monitored on a regular basis to ensure the system is working properly.

The following soil improvements are recommended for the effective operation of the system:

- The bottom 300-400mm of the bed should be ploughed and mixed with gypsum during construction stage to loosen up the soil.
- The growing of vigorous plants around the disposal area to promote the formation of biological pores.

As per AS 1547:2012, warning signs are required at the boundaries of the designated disposal area in at least two places, clearly visible to property users, with wording such as, "Sewage effluent installed below. DO NOT DIG".

The location of the disposal field allows for the following buffers that must be maintained throughout the service life of the disposal system:

- From upslope building, paths, and property boundary 2m
- From downslope building, paths, and property boundary 4m
- From potable water bore and water courses/bodies (primary effluent) 60m

Vehicular traffic must not be allowed over the disposal areas and human traffic must be kept to a minimum.

Should there be future site layout changes that infringe on the buffers indicated above, we recommend that this office be contacted so that design alternatives can be recommended.

Note the following features that some owners/occupants have been ignoring to the detriment of the long-term performance of the disposal system:

1. The use of products high in phosphorus or sodium (detergents and cleaning products) and pouring of fats and oils down sinks. These actions inhibit the operation of micro-organisms essential to the operation of wastewater systems.
2. Down pipes from structures and overflow pipes not properly piped to appropriate discharge points. Water from these sources should be directed away from the disposal area.

ML & Associates Geotechnical Engineers will not accept any liability for failures arising from departures from the design and recommendations provided herein.



## 4. LIMITATIONS

In addition to the limitations inherent in site investigations (refer to the attached Information Sheets), it must be pointed out that the recommendations in this report are based on assessed subsurface conditions from limited investigations. In order to confirm the assessed soil properties in this report, further investigation should be carried out if the scale of the development warrants, or if any of the properties are critical to the design, construction or performance of the development.

It is recommended that a qualified and experienced geotechnical engineer be engaged to provide further input and review during the design development; including site visits during construction to verify the site conditions and provide advice where conditions vary from those assumed in this report.

Development of an appropriate inspection and testing plan should be carried out in consultation with the geotechnical engineer.

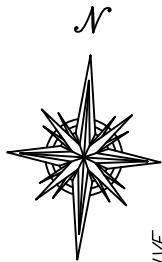
This report and details for the proposed effluent disposal/LCA should be submitted to relevant regulatory authorities that have an interest in the property for their review.

ML & Associates Geotechnical Engineers Pty Ltd shall take no responsibility for failure to engage us or any experienced geotechnical engineer to confirm the lithology provided herein during construction.

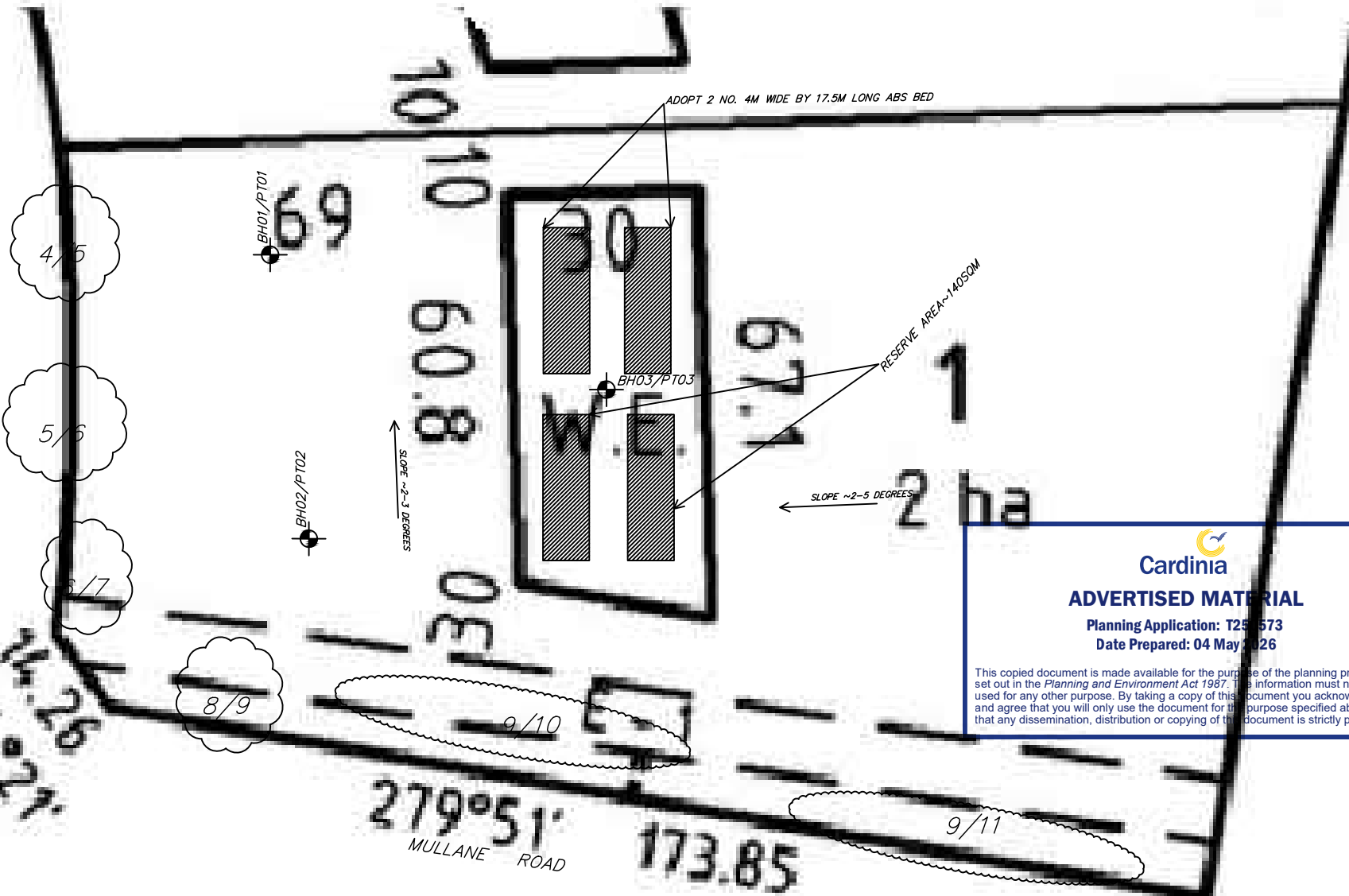
## 5. APPENDICES


- Investigation layout plan Figure. 1014-1A
- A typical section of an Absorption (ABS) bed Figure 1014B.
- Design computations.
- Engineering logs.
- Geotechnical symbols and notes.





CREMIN DRIVE



  
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LEGEND



BOREHOLE & PERCOLATION TEST LOCATIONS

JOB No.  
2512.1014-1

DATE:  
03/26

**ML** & ASSOCIATES  
 GEOTECHNICAL ENGINEERS  
 ABN: 42154006750  
 GEOTECHNICAL & ENVIRONMENTAL  
 CONSULTANTS

Address: 27 Goulburn Street, Cranbourne East VIC 3977  
 Email: admin@mlassociatesgeotechnicalengineers.com.au  
 Website: www.mlassociatesgeotechnicalengineers.com.au  
 Mobile Phone: +61 470119665

KRYSTAL LI  
 13 CREMIN DRIVE, PAKENHAM - VIC  
 ON-SITE WASTEWATER MANAGEMENT  
 INVESTIGATION LAYOUT PLAN

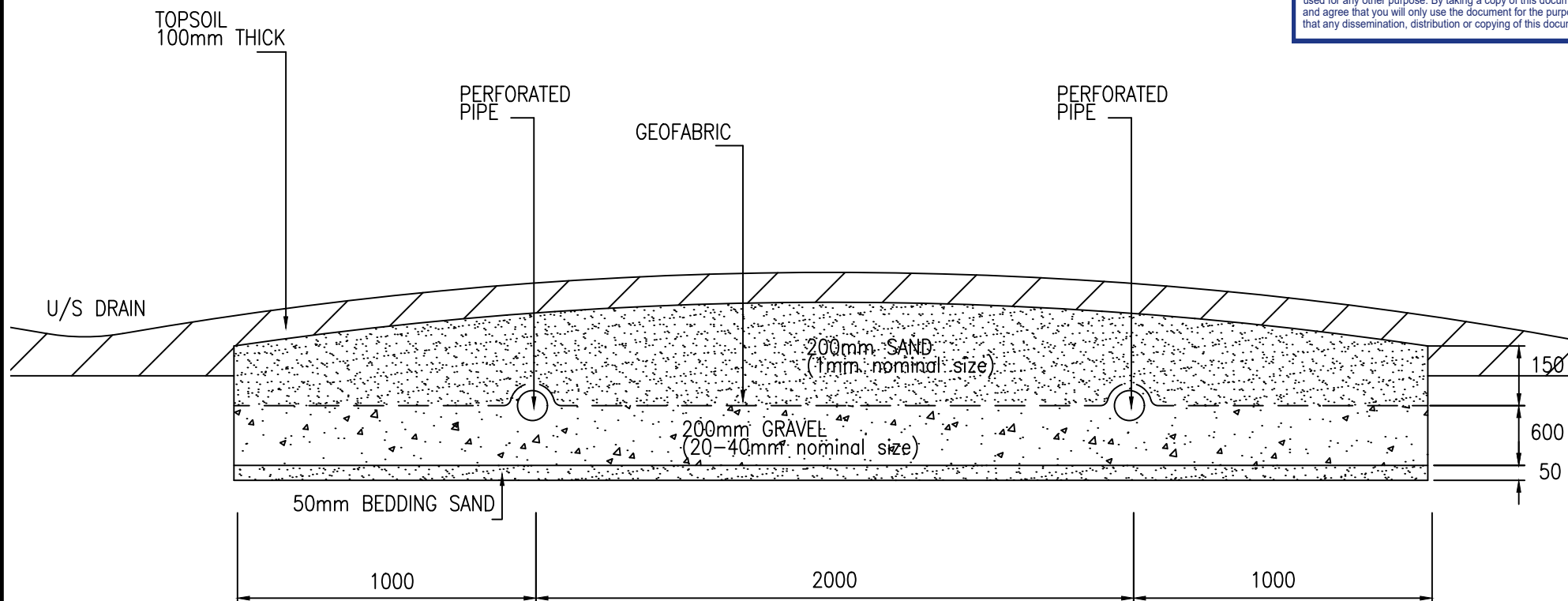
SCALE at A4

NTS

FIGURE No.

1014-1A

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ABS TYPICAL SECTION

NTS

THIS MUST BE READ WITH THE REPORT

JOB No. 2512.1014	ML & ASSOCIATES GEOTECHNICAL ENGINEERS ABN: 42154006750 GEOTECHNICAL & ENVIRONMENTAL CONSULTANTS Address: 27 Goulburn Street, Cranbourne East VIC 3977 Email: admin@mlassociatesgeotechnicalengineers.com.au Website: www.mlassociatesgeotechnicalengineers.com.au Mobile Phone: +61 470119665	Krystal Li	SCALE at A4 NTS
DATE 12/25		13 Cremin Drive On-site Wastewater Management A typical Cross Section of an ABS Bed	FIGURE No. 1014B

Land Application Assessment (LCA) Area Sizing Using Nominated Area Water Balance for Zero Storage																	
Site Address:	13 Cremin Drive, Pakenham - VIC										JOB No.	2512.1014					
Date:	9/12/2025			Assessor:	ML			Project Name:	On-site Wastewater Management								
<b>INPUT DATA</b>																	
Design Wastewater Flow:	Q	1200	L/day														
Design Loading Rate:	DLR	10	mm/day														
Nominated Land Application Area	L	140	m <sup>2</sup>														
Crop Factor	C	0.60-0.80	unitless														
Rainfall Runoff Factor	RF	0.75	unitless														
Mean Monthly Rainfall Data	Berwick (Buchanan Road) (086299)																
Mean Monthly Pan Evaporation Data	BOM Maps using Class A																
<b>PARAMETERS</b>																	
Parameter	Symbol	Formula	Units	Jan	Feb	Mar	Apr	May	Jun	July	Aug	Sep	Oct	Nov	Dec	Total	
Days in Month	D		days	31	28	31	30	31	30	31	31	30	31	30	31	365	
Rainfall	R		mm/month	61.3	53.5	55	78	75.1	85.1	80.9	82.6	83.8	90.8	85.5	73.5	905.1	
Evaporation	E		mm/month	175	175	150	60	50	40	40	50	80	125	150	150	1245	
Crop Factor	C		unitless	0.8	0.8	0.7	0.7	0.6	0.6	0.6	0.6	0.7	0.8	0.8	0.8		
<b>OUTPUTS</b>																	
Evapotranspiration	ET	ExC	mm/month	140	140	105	42	30	24	24	30	56	100	120	120	931	
Percolation	E	DLRxD	mm/month	310	280	310	300	310	300	310	310	300	310	300	310	3650	
Output		ET+E	mm/month	450	420	415	342	340	324	334	340	356	410	420	430	4581	
<b>INPUTS</b>																	
Retained Rainfall	RR	RxRF	mm/month	45.975	40.125	41.25	58.5	56.325	63.825	60.675	61.95	62.85	68.1	64.125	55.125	678.825	
Applied Effluent	W	QxD/L	mm/month	265.714	240	265.714	257.143	265.714	257.143	265.714	265.714	257.143	265.714	257.143	265.714	3128.57	
Inputs		RR+W	mm/month	311.689	280.125	306.964	315.643	322.039	320.968	326.389	327.664	319.993	333.814	321.268	320.839	3807.4	
<b>STORAGE CALCULATION</b>																	
Storage remaining from previous month			mm/month														
Storage for the month	S	(RR+W)-(ET+E)	mm/month	-138.311	-139.875	-108.036	-26.3571	-17.9607	-3.03214	-7.61071	-12.3357	-36.0071	-76.1857	-98.7321	-109.161	-773.604	
Cumulative storage	M		mm	0	0	0	0	0	0	0	0	0	0	0	0		
Maximum storage for Nominated Area	N		mm	0													
	V	V.L	L	0													
<b>LAND AREA REQUIRED FOR ZERO STORAGE</b>																	
			120 m <sup>2</sup>														
<b>MINIMUM AREA REQUIRED FOR ZERO STORAGE</b>																	
			140 m <sup>2</sup>														
Bed Width (m)	4																
Trench Width (m)																	
Bed Length (m)	35																
Trench Length (m)																	
IRRIGATION AREA (m <sup>2</sup> )																	
Comment :	Adopt 2 NO. of about 4m wide by 17.5m long ABS Bed																



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# BOREHOLE LOG

**BOREHOLE NO:** 1

**SHEET:** 1 OF 1

**Client:** Krystal Li  
**Project:** On-site Wastewater Management  
**Site:** 13 Cremin Drive, Pakenham - VIC  
**Surface RL:**  
**Location:** Refer Plan

**Equipment:** CE Trailer Mounted Drilling Rig  
**Contractor:** ML & Associates Geotechnical Engineers  
**Mounting:** Trailer  
**Datum:**

**Job No:** 2512.1014  
**Angle:** -90  
**Diameter:** 100mm  
**Logged By:** ML  
**Date:** 9/12/2025

STRATA			DRILLING			MATERIAL							ADDITIONAL DATA COMMENTS					
Depth (m)	R.L. (m)	USC / Weathering	DCP Blows per 100mm	Auger Wash Bore Coring Casing	SAMPLE AND TEST DATA	DESCRIPTION	INTACT ROCK STRENGTH			ROCK DEFECT SPACING (mm)								
							EH	VH	H	M	L	VL	20	60	200	600	2000	
0.30		SC				Clayey SAND; dark grey, fine to coarse grained, low plasticity, roots & root fibres, moist, very loose-loose (TOPSOIL)												Grass TOPSOIL
0.50		SC			Seepage@-0.30m bgl	Clayey SAND; pale brown, fine to coarse grained, low plasticity, wet, loose (ALLUVIUM)												ALLUVIAL SOILS
1.00		CH			PP@0.50m=100kPa	Silty CLAY; orange, grey, becoming red, orange, grey, high plasticity, trace of fine to coarse grained sand, moist (w>PL), firm-very stiff (RESIDUAL)												RESIDUAL SOILS
1.50		CH-CI			PP@0.80m=225kPa	Silty CLAY; orange, red, grey, high-medium plasticity, trace of fine to coarse grained sand, moist (w>PL), very stiff (RESIDUAL)												
1.80		CI			PP@1.20m=230kPa	Silty CLAY; grey, mottled red, orange, medium plasticity, trace of fine to coarse grained sand, moist (w>PL), stiff (RESIDUAL)												
2.00					PP@1.50m=220kPa	TERMINATED												
2.50					PP@1.70m=160kPa													
3.00																		
3.50																		
4.00																		

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**Checked By:** ML  
**Date:** 9/12/2025

# BOREHOLE LOG

**BOREHOLE NO:** 2

**SHEET:** 1 OF 1

**Client:** Krystal Li  
**Project:** On-site Wastewater Management  
**Site:** 13 Cremin Drive, Pakenham - VIC  
**Surface RL:**  
**Location:** Refer Plan

**Equipment:** CE Trailer Mounted Drilling Rig  
**Contractor:** ML & Associates Geotechnical Engineers  
**Mounting:** Trailer  
**Datum:**

**Job No:** 2512.1014  
**Angle:** -90  
**Diameter:** 100mm  
**Logged By:** ML  
**Date:** 9/12/2025

STRATA			DRILLING			MATERIAL							ADDITIONAL DATA COMMENTS					
Depth (m)	R.L. (m)	USC / Weathering	DCP Blows per 100mm	Auger Wash Bore Coring Casing	SAMPLE AND TEST DATA	DESCRIPTION	INTACT ROCK STRENGTH			ROCK DEFECT SPACING (mm)								
							EH	VH	H	M	L	VL	30	60	200	600	2000	
0.30		SC				Clayey SAND; dark grey, fine to coarse grained, low plasticity, roots & root fibres, moist, very loose-loose (TOPSOIL)												Grass TOPSOIL
0.50		SC			Seepage@-0.30m bgl	Clayey SAND; pale brown, fine to coarse grained, low plasticity, wet, loose (ALLUVIUM)												ALLUVIAL SOILS
1.00		CH			PP@0.50m=100kPa	Silty CLAY; orange, grey, becoming red, orange, grey, high plasticity, trace of fine to coarse grained sand, moist (w>PL), firm-very stiff (RESIDUAL)												RESIDUAL SOILS
1.40		CH-CI			PP@0.90m=205kPa	Silty CLAY; orange, grey, mottled red, high-medium plasticity, trace of fine to coarse grained sand, moist (w>PL), very stiff (RESIDUAL)												
1.50		CI			PP@1.40m=285kPa	Silty CLAY; grey, mottled orange, medium plasticity, trace of fine to coarse grained sand, moist (w>PL), stiff (RESIDUAL)												
1.80					PP@1.70m=165kPa													
2.00						TERMINATED												
3.00																		
3.50																		
4.00																		



**Cardinia**  
**ADVERTISED MATERIAL**  
 Planning Application: T250573  
 Date Prepared: 04 May 2026

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**Checked By:** ML  
**Date:** 9/12/2025

# BOREHOLE LOG

**BOREHOLE NO:** 3

**SHEET:** 1 OF 1

**Client:** Krystal Li  
**Project:** On-site Wastewater Management  
**Site:** 13 Cremin Drive, Pakenham - VIC  
**Surface RL:**  
**Location:** Refer Plan

**Equipment:** CE Trailer Mounted Drilling Rig  
**Contractor:** ML & Associates Geotechnical Engineers  
**Mounting:** Trailer  
**Datum:**

**Job No:** 2512.1014-1  
**Angle:** -90  
**Diameter:** 100mm  
**Logged By:** ML  
**Date:** 17/03/2026

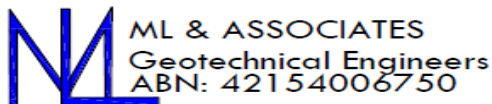
STRATA			DRILLING			MATERIAL							ADDITIONAL DATA COMMENTS							
Depth (m)	R.L. (m)	USC / Weathering	DCP Blows per 100mm	Auger Wash Bore	Coring	Casing	SAMPLE AND TEST DATA	DESCRIPTION	INTACT ROCK STRENGTH	ROCK DEFECT SPACING (mm)										
									EH	VH	H	M	L	VL	30	60	200	600	2000	
0.30		SC					Seepage@-0.30m bgl	Clayey SAND; dark grey, fine to coarse grained, low plasticity, roots & root fibres, moist, very loose-loose (TOPSOIL)												Grass TOPSOIL
0.50		SC					PP@0.50m=110kPa	Clayey SAND; pale brown, fine to coarse grained, low plasticity, wet, loose (ALLUVIUM)												ALLUVIAL SOILS
1.00		CH					PP@0.90m=215kPa	Silty CLAY; orange, grey, becoming red, orange, grey, high plasticity, trace of fine to coarse grained sand, moist (w>PL), firm-very stiff (RESIDUAL)												RESIDUAL SOILS
1.50		CH-CI					PP@1.40m=280kPa	Silty CLAY; orange, grey, mottled red, high-medium plasticity, trace of fine to coarse grained sand, moist (w>PL), very stiff (RESIDUAL)												
1.80		CI					PP@1.70m=160kPa	Silty CLAY; grey, mottled orange, medium plasticity, trace of fine to coarse grained sand, moist (w>PL), stiff (RESIDUAL)												
2.00								TERMINATED												
2.50																				
3.00																				
3.50																				
4.00																				



**Cardina**  
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**Date:** 17/03/2026



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## SOIL & ROCK LOG EXPLANATORY NOTES

### DEFINITION, CLASSIFICATION SYMBOLS & NOMECLATURE

For engineering purposes, soils include any organic and inorganic material in the ground that is unconsolidated and lies above bed rock. The classification system adopted and explained below is based on the Unified Soil Classification (USC) and accords to AS1726 – 2016/1993, Geotechnical Site investigations and Look Burt, Geotechnical Hand Book for Engineers.

Major Divisions	Particle Size, mm	Group Symbol	Description	Laboratory Classification					
<b>COARSE GRAINED SOILS</b> (more than half of the material less than 63 mm is larger than 0.075 mm)	BOULDERS	>200							
	COBBLES	63			% < 0.075mm	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{10}}$	$C_c = \frac{(D_{30})^2}{D_{10}D_{60}}$	NOTES
	GRAVELS	coarse	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0 - 5	-	$C_u > 4$	$1 < C_c < 3$	(1) Classify fines by the method given for fine-grained soils.
		20	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0 - 5	-	Not satisfying GW requirements		
		medium	GM	Silty gravels, gravel-sand-silt mixtures (1)	12 - 50	Below 'A' line or $PI < 4$	-	-	
		6	GC	Clayey gravels, gravel-sand-clay mixtures (1)	12 - 50	Above A line or $PI > 7$	-	-	(2) Dual symbols if % of fines (<0.075mm) is greater than 5% and less than 12%.
	fine	2.36	SW	Well graded sands and gravelly sands, little or no fines	0 - 5	-	$C_u > 6$	$1 < C_c < 3$	
	SANDS	coarse	SP	Poorly graded sands and gravelly sands, little or no fines	0 - 5	-	Not satisfying SW requirements		
		0.6	SM	Silty sands, sand-silt mixtures (1)	12 - 50	Below 'A' line or $PI < 4$	-	-	
		medium	SC	Clayey sands, sand-clay mixtures (1)	12 - 50	Above A line or $PI > 7$	-	-	
fine		0.075							
<b>FINE GRAINED SOILS</b> (more than half of the materials less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (liquid limit $\leq 50\%$ )	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity						
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
		CI	Organic silts and clays of low plasticity						
	SILTS & CLAYS (liquid limit $> 50\%$ )	MH	Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts						
		CH	Inorganic clays of high plasticity, fat clays						
		OH	Organic silts and clays of high plasticity						
	HIGHLY ORGANIC SOILS	PT	Peat and other highly organic soils						

Use the gradation curve of material passing 63mm for classification of fractions according to the criteria given in 'Major Divisions'

**SOIL NAME MODIFIERS**

Term	Field Guide	Proportion of Minor Component
Silty/Clayey	Significant amount of cohesive fraction in coarse grained soils	> 30% is fine grained in coarse material
Sandy/Gravelly	Significant amount of cohesionless fraction in fine grained soils	> 12% is coarse grained in fine material
With	Easily detectable by feel or sight. Little difference in properties of primary component	5-12% minor components in coarse grained soils. 15-30% minor components in fine grained soils
Trace	Detectable by feel or sight. Generally little or no difference in properties of primary component	< 5% of minor components in coarse grained soils < 15% of minor components in fine grained soils

**CONSISTENCY OF COHESIVE SOILS**

Terms	Field Guide	Undrained shear strength (kPa)	SPT N-Value	DCP (Blows/100mm)	UCS/PP (kPa)
Very soft	Oozes between fingers when squeezed in hand. A finger can be pushed with easy into the soil.	<12	0-2	0-1	<24
Soft	Easily moulded with fingers. A finger can be pushed into the soil up to about 25mm deep.	12-25	2-4	1-2	24-50
Firm	Can be moulded by strong finger pressure. Thumb can indent soil to 5mm but cannot penetrate with thumb pressure.	25-50	4-8	2-3	50-100
Stiff	Cannot be moulded with strong finger pressure. The surface of the soil can be indented by thumb but cannot penetrate with thumb pressure	50-100	8-15	3-7	100-200
Very Stiff	The surface of the soil can be marked, but not indented with thumb pressure	100-200	15-30	7-12	200-400
Hard	Can be indented with difficulty by thumb nail	>200	>30	>12	>400
Friable	Readily crumbles to powder				

**RELATIVE DENSITY OF COHESIONLESS SOILS**

Term	SPT N Value	Field Guide	Relative Density (%)	DCP Blows/100mm
Very Loose	0-4	Foot imprints readily	0-15	0-1
Loose	4-10	Shovels easily	15-35	1-3
Medium dense	10-30	Shovels with difficult	35-65	3-8
Dense	30-50	Pick required	65-85	8-15
Very dense	>50	Difficult with pick	85-100	>15

**SOIL MOISTURE**

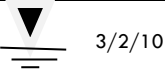


Term	Assessment
Dry	Cohesive soils; hard and friable or powdery, well dry of plastic limit. Granular soils; cohesionless and free-running.
Moist	Soil feels cool, darkened in colour. Cohesive soils can be moulded. Granular soils tend to cohere
Wet	Soil feels cool, darkened in colour. Cohesive soils usually weakened and free water forms on hands when handling. Granular soils tend to cohere and free water forms on hands when handling.
W <sub>l</sub>	Liquid limit, applied when logging cohesive materials/ fine grained particles
W <sub>p</sub>	Plastic limit applied when logging cohesive materials/fine grained particles

**SOIL ORIGIN**

Term	Origin
Residual	Derived from parent rock. Structure of parent rock not visible
Aeolian	Wind deposited soil
Alluvium	Stream and river deposited soil
Colluvium	Transported on slope faces by gravity
Fill	Soils affected by anthropogenic influences
Lacustrine	Lake deposited soils
Littoral	Beach front deposits

Marine	Deposited soils in ocean basins, bays and estuaries
--------	---

**GRAPHIC SYMBOLS**

Water Level and Observation Date	Water Inflow	Water Outflow
 3/2/10		

**IN-SITU SAMPLES & TESTS**

Vane Shear – AS 1289.6.2.1	Standard Penetration Test (SPT) – AS1289.6.3.1	Dynamic Cone Penetrometer (DCP) – AS1289.6.3.2
Undisturbed Tube Sample – U(63)	Pocket Penetrometer (pp)=2Cu	Piezocone (CPTU)

**ROCK LOG EXPLANATORY NOTES**

**DEFINITION, CLASSIFICATION SYMBOLS & NOMECLATURE**

For engineering purposes, rock substance includes any natural occurring aggregation of minerals and organic material that cannot be disintegrated or remoulded by hand in air or water. The classification system adopted and explained below broadly accords to AS1726-1993, Geotechnical Site investigations. Rock names are not based on precise geologic classifications but on simple rock names sufficient for characterisation of engineering behaviour.

**WEATHERING**

Term	Symbol	Field Guide
Residual soil	RS	Soil like material developed on extremely weathered rock; the mass structure and substance fabric are no long evident; there is a large change in volume but the material has not been significantly transported.
Extremely weathered	XW	Rock is weathered to such an extent that it has 'soil' properties, i.e. it either disintegrates or can be remoulded in water.
Highly weathered <sup>1</sup>	HW	Shows considerable change in appearance and very significant loss in strength. Strength may vary between 'soil' properties and low strength rock. Where cores tones are present, they form a minor component of the rock structure
Moderately weathered <sup>1</sup>	MW	Visible change in appearance and significant loss in strength. Core stones form a major component of the rocks structure
Slightly weathered	SW	Rock is slightly discoloured but shows little or no change in strength from fresh rock.
Fresh	FR	Rock shows no sign of weathering.

<sup>1</sup> Distinctly weathered (DW) combines HW and MW and is used where there is no requirement to make distinction between HW and MW weathering grades.

**GRAIN SIZE**

Igneous & Metamorphic	Sedimentary
Coarse	Rudaceous
Medium	Arenaceous
Fine	Argillaceous

**FABRIC**

Term	Field Guide
Massive	No layering
Layered	Bedded
Laminated	Foliated, cleaved

**STRENGTH**

Term	Symbol	Point load index I <sub>s50</sub> (MPa)	Field Guide
Extremely low	EL	≤0.03	Easily remoulded by hand to a material with soil properties.
Very Low	VL	>0.03 - ≤0.1	Material crumbles under firm blows with end of pick can be peeled with knife; too hard to cut a triaxial sample by hand. Pieces up to 30mm can be broken by finger pressure.
Low	L	>0.1 - ≤0.3	Easily scored with knife; indentations 1mm to 3mm show in the specimen with firm blows of the pick point; has dull sound under hammer. Sharp edges of core may be friable and break during handling.
Medium	M	>0.3 - ≤1	Readily scored with a knife; a piece of core 150mm long by 50mm diameter can be broken by hand with difficulty.
High	H	>1 - ≤3	A piece of core 150mm long by 50mm cannot be broken by hand but can be broken with a single firm pick blow; rock rings under hammer
Very High	VH	>3 - ≤10	Hand specimen breaks with pick after more than one blow; rock rings under hammer.
Extremely High	EH	>10	Specimen requires many blows with geologic pick to break intact rock

		material; rock rings under hammer.
--	--	------------------------------------

**Note: UCS=20Is(50)**

**DEFECT DESCRIPTION ABBREVIATIONS**

Type	Roughness	Wall Alterations	Other
J, Js Joint, Joints	R Rough	FeSt Iron Stained	CIn Clay Infill
B Bedding	SR Slightly Rough	Wth Weathered	CLy Clayey
BP Bedding Parting	S Smooth	Smn Secondary Mineralisation	Co Coal Seam
FP Foliation Parting	SL Slickensided	Cn Clean	Carb Carbonaceous
LP Lamination Parting	PO Polished		Si Sand Infill
CLV Cleavage			QZ Quartz
FR Fracture	<b>Planarity</b>	<b>Aperture</b>	CA Calcite
SZ Sheared Zone	PI Planar	C Closed	Chl Chlorite
CZ Crushed Zone	St Stepped	O Open	In Incipient
BZ Broken Zone	Un Undulating	F Filled	Int Intersecting
HFZ Highly Fractured Zone	Cu Curved	T Tight	Lam(s) Lamination(s)
WS Weathered Seam	Ir Irregular		DI Drilling Induced
VN Vein			H Horizontal
			V Vertical

**DEFECT SPACING**

Term	Spacing
Extremely Close	<6
Very Close	6 – 20
Close	20 – 60
Medium	60 – 200
Wide	200 – 600
Very Wide	600 – 2000
Extremely Wide	>2000

**DEFECT PERSISTENCE**

Term	Length (m)
Very High	>10
High	5 – 10
Moderate	2 – 5
Low	0.5 – 2
Very Low	<0.5

RQD=Sum of intact core pieces >2\*diameter/Total length of the Run\*100

**IN-SITU SAMPLE TESTS**

Symbols	Names
D	Disturbed samples
B	Bulk samples
U50-100	Thin walled sample 50-100mm diameter
PP	Pocket penetrometer (kPa)
SV	Shear vane test (kPa)
DCP	Dynamic Cone Penetrometer (Blows per 100mm penetration)
SPT	Standard Penetration Test
N*	SPT value (Blows per 300mm Penetration)
R	Refusal of DCP or SPT
PSP	Perth Sand Penetrometer

**INVESTIGATION ABBREVIATION & NOTES**

Borehole Log		Excavation Logs		Borehole Support	
Symbol	Name	Symbol	Name	Symbol	Name
AS	Auger Screw	NE	Natural Excavation	N	Nil
AD	Auger Drill	HE	Hand Excavation	C	Casing
RR	Roller/Tricone	BH	Backhoe Bucket	M	Mud
W	Washbore	Ex	Excavator Bucket	NQ	NQ Rods
HA	Hand Auger	DZ	Dozer Blade	CA	Casing Advancement
D	Diatube	R	Ripper Tooth	<b>Coring</b>	
B	Blade/Blank Bit	<b>Excavation Support</b>		NMLC	NMLC Rod/Barrel
ADV	V-bit	N	Nil	NQ	NQ Rod/Barrel
ADT	TC-bit	S	Shoring	PQ	PQ Rod/Barrel
		B	Benched	HQ	HQ Rod/Barrel

**SOIL ZONING**

Layers	Continuous exposures
lenses	Discontinuous layers or lenticular shapes
Pockets	Different materials or irregular inclusions



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# HIGHLANDER 68

## ASPIRE

**Cardinia**  
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### DRAWING LIST

SHEET No.	SHEET NAME	SHEET No.	SHEET NAME
0A	COVER SHEET	09	FIRST FLOOR FLOOR COVERINGS
0B	GENERAL NOTES	10	INTERNAL ELEVATIONS
1A	SITE PLAN 1/1000	11	INTERNAL ELEVATIONS
1B	SITE PLAN 1/200	12	INTERNAL ELEVATIONS
2A	GROUND FLOOR PLAN	13	INTERNAL ELEVATIONS
2B	GROUND FLOOR PLAN LEFT	14	INTERNAL ELEVATIONS
2C	GROUND FLOOR PLAN RIGHT	15	INTERNAL ELEVATIONS
3	FIRST FLOOR PLAN	16	INTERNAL ELEVATIONS
04	ROOF PLAN	17	INTERNAL ELEVATIONS
05	ELEVATIONS		
6A	ELEVATIONS		
6B	ELEVATIONS		
6C	ELEVATIONS		
07	SECTION		
08	GROUND FLOOR FLOOR COVERINGS		

#### REVISIONS

REV.	DESCRIPTION	DATE	DRAWN	CHECKED
1	CP	12/03/25	PD2	NSV
2	VO1	20/05/25	PD2	
3	VO2	26/06/25	AB	AB
4	RS	04/08/25	S3M	--
5	PLANNING RFI	06/02/26	R67	R67
6	PLANNING AMENDMENTS	25/03/26	R67	R67

#### REVISIONS

REV.	DESCRIPTION	DATE	DRAWN	CHECKED

DRAWING TITLE:  
**COVER SHEET**

0 1 2 3m  
 SCALE (A3)

Do NOT scale this drawing.  
 All written dimensions take precedence  
 over scaled dimension. If in doubt, ASK.

**m**  
**metricon**

**DESIGNER**

SPEC: BASE

DESIGN:  
**HIGHLANDER 68**

PRODUCT CODE:  
 VD3HIG68APRDN

FACADE:  
**ASPIRE**

CEILING:  
**27G, 25F L**

501 Blackburn Road, Mount Waverley, VIC, 3149  
 P.O. Box 857, Mount Waverley, VIC, 3149

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 www.metriconhomes.com.au

LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810	
JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	SHEET: 0A/17

26/03/2026 8:59:23 AM

NOTE: SHADOWS SHOWN HERE ARE NOT SITE SPECIFIC. THEY ARE ADDED TO HELP UNDERSTAND THE VOLUME AND SHAPE OF HOME.

# STANDARD NOTES:

AS PER NCC 2022

7-STAR

## GENERAL

- REFER TO ALL ASSOCIATED ENGINEERING DRAWINGS FOR DESIGN AND CONSTRUCTION REQUIREMENTS OF STRUCTURAL, SLAB & HYDRAULIC ELEMENTS (where applicable).
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- INTERNAL ELEVATION DIMENSIONS ARE TO PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.

## FRAMING

- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS1684.2-2021 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS & LAYOUTS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQ. TO BE AS PER ENGINEERS DETAIL.
- SPECIFIED EAVE WIDTH, MEASURED FROM FACE OF BRICK (UNO).
- PROVIDE 2No. JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAILS-TYP-DOOR-01N.
- ENSURE RETURN AIR GRILLE & AC VOIDS ARE CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.

## CEILING/WALL - GENERAL

- PROVIDE PLASTER LINED CEILINGS TO ALL AREAS (UNO).
- SOFFITS 4.5mm FC SHEET (UNO).
- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN LAP TO ALL JOINS WITH CONTINUOUS SILICON SEAL BETWEEN & 50mm MIN VERTICAL OVERHANG.)
- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5
- WATERPROOFING FOR EXTERNAL ABOVE GROUND USE TO COMPLY WITH AS4654.1-2012 & AS4654.2-2012.

## STEPS/STAIRS & BALUSTRADES

- ALL STEPS MUST COMPLY WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.2
- BARRIERS & HANDRAILS MUST COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3
- BALUSTRADE IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.3 TO BE INSTALLED WHERE VOIDS, OR INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND/FLOOR LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.4 & AS4586-2013.
- STAIRS ARE INDICATIVE ONLY. REFER TO DETAILS, SPECIFICATIONS & SELECTION DOCUMENTS.

## WET AREAS

- WATERPROOFING OF WET AREAS TO COMPLY WITH NCC 2022 H4D2 HOUSING PROVISIONS 10.2 INCLUDING STATE VARIATIONS AND ADDITIONS.
- WALL LINING TO WET AREAS TO BE APPROVED WET AREA BOARD (UNO).
- ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H4D5 HOUSING PROVISIONS 10.4.2

## WINDOWS & DOORS

- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNO).
- SIZES NOMINATED AS A GENERIC CODE (UNO). FIRST 2 NUMBERS REFER TO HEIGHT & SECOND 2 RELATE TO WIDTH.
- EXTERNAL WINDOWS & DOORS TO COMPLY WITH NCC 2022 H6D1 HOUSING PROVISIONS 13.4.4.
- WINDOWS TO COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6.
- ALL GLAZING TO COMPLY WITH AS1288-2021 & AS2047-2014, & WITH AS4055-2021 FOR WIND LOADING (UNO).
- WINDOWS SHALL BE PROTECTED IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & 11.3.8
- WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS (UNO).
- PROVIDE LIGHTWEIGHT CLADDING ABOVE ALL CORNER WINDOWS & CORNER DOORS (UNO).
- SAFETY GLAZING IN HUMAN IMPACT AREAS INCLUDING ADJACENT TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6

## ENERGY EFFICIENCY NOTES

NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, BASED ON SPECIFIC SITING. REFER TO SPECIFICATION & CONTRACT DOCUMENTATION.

- PROVIDE BULK CEILING INSULATION & EXTERNAL WALL INSULATION AS PER STD SPECIFICATIONS (UNO).
- PROVIDE WEATHER STRIPPING TO WINDOWS & ALL EXTERNAL HINGED DOORS.
- PROVIDE DRAFT PREVENTION TO EXHAUST FANS, AS PER RELEVANT BUILDING CODES.
- SEALED GAPS AROUND WINDOWS & EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 H1D7 HOUSING PROVISIONS 7.5.6 & AS/NZS 2904-1995.
- INSULATION OF SERVICES AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.2
- HEATING AND COOLING DUCTWORK AS PER NCC 2022 HOUSING PROVISIONS H6D2 13.7.4 & SEALING PER AS4254-2021.
- ARTIFICIAL LIGHTING AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.6
- WHERE APPLICABLE, PROVIDE SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022 H2D5 HOUSING PROVISIONS 6.2.1 TO SUSPENDED TIMBER FLOORS.

## MISCELLANEOUS

- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5.
- PLIABLE BUILDING MEMBRANES TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.1 & AS4200.1-2017 & BE INSTALLED IN ACCORDANCE WITH AS4200.2-2017.
- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, NCC 2022 H2D2 HOUSING PROVISIONS 3.3 & AS/NZS 3500.3-2021.
- PROVIDE MINIMUM 115mm SLOTTED GUTTERS WITH APPROVED OVERFLOW PROVISIONS AS REQUIRED.
- ALL EXHAUST SYSTEMS TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.2, INCLUDING "MAKE UP AIR" VENTILATION METHOD AS PER 10.8.2 (5)(a)
- WHERE REQUIRED, BATHROOM AND SANITARY COMPARTMENT EXHAUST FANS TO ACHIEVE A MINIMUM FLOW RATE OF 25 L/s, & 40 L/s FOR A KITCHEN OR LAUNDRY.
- PROVIDE TERMITE MGT. SYSTEM AS PER AS3660.1-2014.
- ALL SMOKE ALARMS TO COMPLY WITH AS3786-2014, CONNECTED TO MAINS POWER, AND INTERCONNECTED WHERE APPLICABLE. INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022 H3D6 HOUSING PROVISIONS 9.5.4
- LOCATIONS OF ELECTRICAL COMPONENTS & VENTS SHOWN ARE INDICATIVE ONLY, AND MUST BE INSTALLED TO REQUIRED DISTANCES FROM WALL & CEILING JUNCTIONS.
- BUILDINGS IN BUSHFIRE PRONE AREAS TO COMPLY WITH AS3959-2018.
- DWELLINGS WITHIN 1km OF A BAY/10km OF A SURF COAST MUST HAVE ALL STEEL & MORTAR IN ACCORDANCE WITH SECTION 5 OF AS3700-2018.
- TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE FOOTINGS.

## STEEL FRAMING REQUIREMENTS (WHERE APPLICABLE):

- STEEL FRAME & TRUSSES REQUIRING THE ISSUE OF A SIGNED COMPLIANCE CERTIFICATE FOR THE BUILDING DESIGN - FORM 15 UPON COMPLETION AND PRIOR TO FINAL CERTIFICATION
- STEEL FRAMES AND TRUSSES TO COMPLY WITH:
  - AS/NZS 1170.0-2002 STRUCTURAL DESIGN ACTIONS: PART 0: GENERAL PRINCIPLES
  - AS/NZS 1170.1-2002 STRUCTURAL DESIGN ACTIONS: PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS
  - AS/NZS 4600-2018 COLD-FORMED STEEL STRUCTURES
  - AS4055-2021 WIND LOADS FOR HOUSING
  - AS4100-2020 STEEL STRUCTURES CODE
  - AS3623-1993 DOMESTIC METAL FRAMING
  - AS3566.1-2002 SELF DRILLING SCREWS
  - NASH STANDARDS

STEEL FRAMING SUPPLIER TO PROVIDE DESIGN, CONNECTORS AND FIXING HARDWARE FOR ALL STEEL TO STRUCTURAL TIMBER MEMBERS (UNO BY ENGINEER).

## FACADE DETAIL

S-TYP-ASPI-23N FACADE DETAIL

## NCC 2022 - LIVABLE HOUSING APPLIES

### GENERAL NOTES:

- ABCB LIVABLE HOUSING DESIGN STANDARD
  - PART 1**: 1.1 STEP-FREE ACCESS PATH: DESIGN IS EXEMPT PURSUANT TO CLAUSE NCC22 H8D2(2).
  - PART 2**: PROVIDE LH DWELLING ENTRANCE DOOR (AS NOMINATED ON PLANS) WITH COMPLIANT THRESHOLD AS PER DETAIL "S-TYP-SILL-04N".
  - PART 3**: ALL LH APPLICABLE DOORS MUST HAVE COMPLIANT THRESHOLDS AS PER CLAUSE 3.2. WHERE FLOOR COVERINGS ARE INCLUDED IN CONTRACT, ENSURE ANY BEVELLED OR ROUNDED THRESHOLD IS NO MORE THAN 5MM IN HEIGHT IF THE LIP IS ROUNDED OR BEVELLED.
  - PART 4**: PROVIDE MINIMUM 1200MM X 900MM CLEAR CIRCULATION SPACE COMPLIANT WITH CLAUSE 4.2 TO NOMINATED WC (REFER FLOOR PLANS).
  - PART 5**: PROVIDE HOBLESS AND STEP-FREE ENTRY, COMPLIANT WITH CLAUSE 5.2, TO NOMINATED SHOWER (REFER FLOOR PLANS). REFER DETAIL "S-TYP-SHOW-03" (UNO).
  - PART 6**: PROVIDE IN-WALL REINFORCING COMPLIANT WITH PART 6. REFER PLANS AND DETAILS "S-TYP-BLOC-01N" (UNO).



## ADVERTISED MATERIAL

Planning Application: T250573

Date Prepared: 04 May 2026

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## NOTES:

- REFER TO "METRICON - WINDOW AND DOOR CODE SIZE GUIDE"

## CONTRACT DRAWINGS

These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

DRAWING TITLE:  
GENERAL NOTES



Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.



DESIGNER

SPEC: BASE

DESIGN:  
HIGHLANDER 68

FACADE:  
ASPIRE

PRODUCT CODE:  
VD3HIG68APRDN

CEILING:  
27G, 25F L

501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149  
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.  
Tel: 1300 786 773  
www.metriconhomes.com.au

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LOT 1 (NO 13) CREMIN DR,  
PAKENHAM, VIC, 3810

JOB N°: 752203 PERMIT N°: TBC

WIND SPEED: 40 M/S MASTER ISSUED: 01/04/2023

DRAWN: PD2 CHECKED: NSV SHEET:

CONTRACT PLAN (GF)

DATE: 12/03/2025

08/17

**BUILT UP AREA**

**IMPORTANT NOTES:**  
 ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM & SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3 DRAINAGE REQUIREMENTS OF AS2870-2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:  
 - SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION  
 - THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING  
 - WHERE PIPES PASS UNDER THE FOOTING SYSTEM, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER

FOR BUILDING ON HIGHLY AND REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING DRAINS AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4 PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION. SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50MM OVER THE FIRST 1000MM FROM THE DWELLING. SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3 SHALL BE INSTALLED FOR GROUNDWATER OR AGGRESSIVE SOILS.

**NO GAS AREA**

**TOWN PLANNING**  
 TOWN PLANNING APPROVAL REQUIRED.

**TERMITE PROTECTION:**  
 PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3680.1

**BUSHFIRE PROTECTION (BAL 12.5):**  
 PROPOSED DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH BUSHFIRE REQUIREMENTS (BAL 12.5) A.S.3959

**SUSTAINABLE ENERGY:**  
 DWELLING TO COMPLY W/ RELEVANT SUSTAINABLE ENERGY REQUIREMENTS.

**TEMPORARY FENCING:**  
 PROVIDE TEMPORARY FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTHORITY BY LAW)

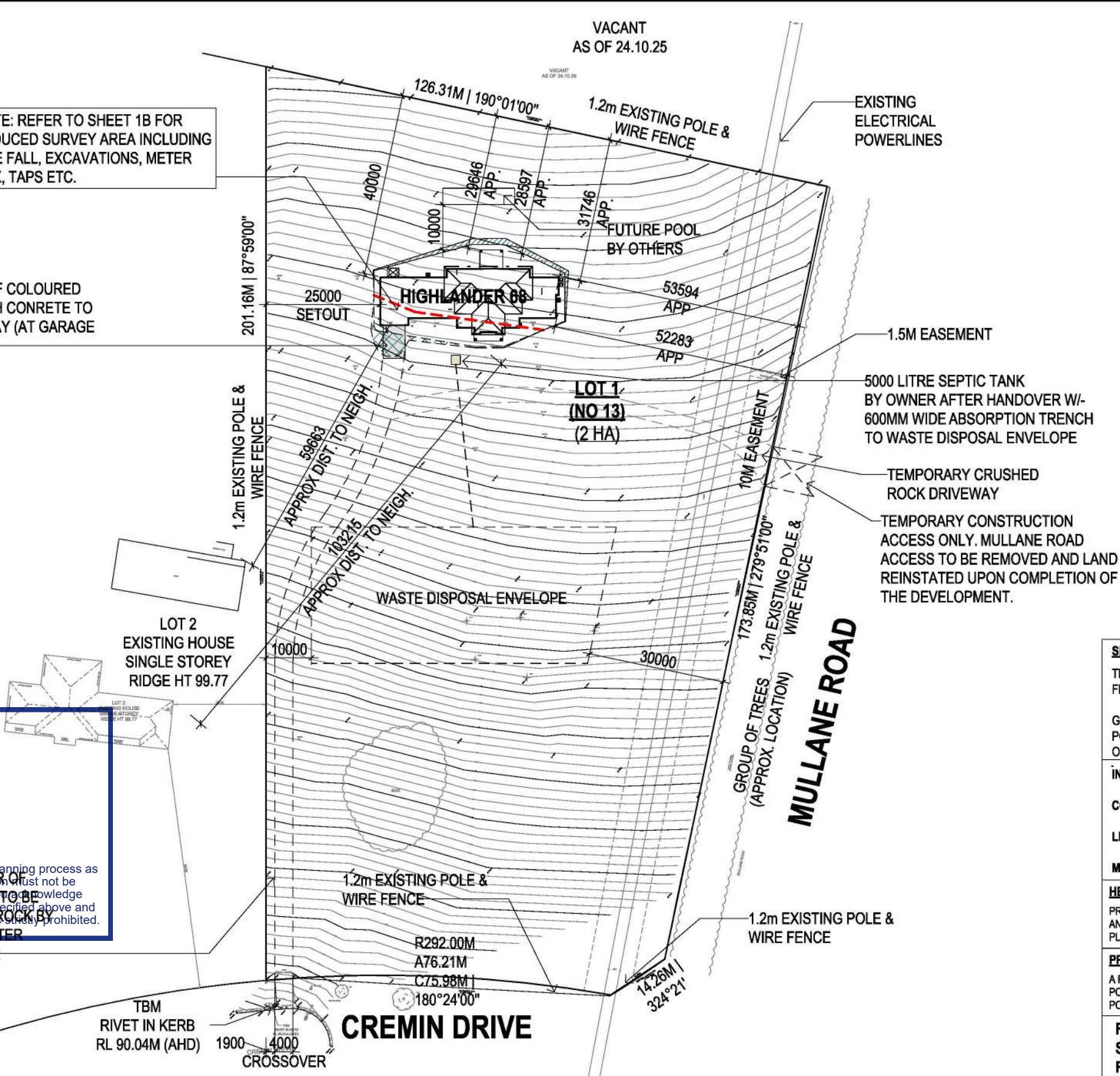
**RESCODE NOTES:**  
 SITING WILL BE SUBJECT TO FULL RESCODE GUIDELINES FOR BUILDING APPROVAL & CONSEQUENTLY, SITINGS MAY DIFFER FROM OWNERS ORIGINAL REQUEST IN ORDER TO ACCOMMODATE RESCODE REQUIREMENTS.

OWNER TO PROVIDE 1.8M H SCREENING PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ACHIEVE CERTIFICATE OF OCCUPANCY UPON COMPLETION THIS IS TO COMPLY WITH REG. 84 (OVERLOOKING REQUIREMENTS.)

NOTE: REFER TO SHEET 1B FOR REDUCED SURVEY AREA INCLUDING SITE FALL, EXCAVATIONS, METER BOX, TAPS ETC.

35SQM OF COLOURED THROUGH CONCRETE TO DRIVE WAY (AT GARAGE ENTRY)

**Cardinia**  
**ADVERTISED MATERIAL**  
 Planning Application: T250573  
 Date Prepared: 04 May 2026



**EXCAVATION NOTES:**  
 EXCAVATE APPROX. 1300 MM ON R.L. 104.7 & SPREAD FILL OVER REMAINING BUILDING AREA TO LEVEL.  
 EXCAVATIONS TO START 1000MM FROM EDGE OF SINGLE STOREY BUILDING OR 1500MM FROM DOUBLE STOREY BUILDING (WHERE POSSIBLE) AND TO BE BATTERED BACK AT 30 DEG. RETAINING WALLS MAY BE REQUIRED SUBJECT TO SITE CONDITIONS.

**DIFFICULT ACCESS:**  
 GARAGE HAS BEEN SITED AS DIRECTED BY THE OWNER.  
 GARAGE ACCESS FROM THE EXISTING CROSSOVER MAY BE RESTRICTIVE, DUE TO LOCATION OF STREET SERVICES, EXISTING CROSSOVER LOCATION AND/OR GRADIENT.

**SEPTIC:**  
 SEPTIC TANK SYSTEM TO BE PROVIDED BY OWNER IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

**PLUMBER NOTE:**  
 PROVIDE PLUMBING ROUGH-IN FROM FUTURE RAINWATER TANK POSITION TO SANITARY FLUSHING SYSTEMS.

**DRAINAGE NOTES:**  
 PROVIDE MIN. 100MM DIA. U.P.V.C. SEALED STORMWATER SYSTEM. OVERFLOW TO FALL TO PIC REQUIREMENTS. CONNECTED TO LEGAL POINT OF DISCHARGE.  
 REFER TO ENGINEERS DRAINAGE PLAN FOR FULL STORMWATER & DRAINAGE LAYOUT AND DETAILS.

**NOTE:**  
 NO VEGETATION REMOVAL PROPOSED

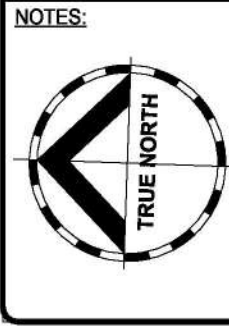
**SLAB STEP DOWNS:**  
 THE FOLLOWING STEP DOWNS ARE TAKEN FROM F.F.L. OF HOUSE SLAB:-  
 GARAGE: 0 MM  
 PORTICO: 149 MM  
 OUTDOOR ROOM: 149 MM

**INTRAX SURVEY DATE:** 24/10/2025  
**CONTOUR INTERVALS:** 200MM  
**LEVELS TO:** A.H.D  
**MELWAY REF.:** N/A

**HEAT PUMP NOTE:**  
 PROVIDE HEAT PUMP (MODEL 280HP) COMPLIES AND WILL BE INSTALLED IN ACCORDANCE WITH PLUMBING REGULATIONS 2018.

**PROPOSED POOL**  
 A POOL HAS BEEN PROPOSED FOR THIS SITE. POOL SIZE, DEPTH AND LOCATION TO BE CONFIRMED. POOL BY OTHERS.

**REFER ENGINEER'S FOOTING DESIGN SOIL CLASSIFICATION 'H1' REFER SOIL REPORT (REF. No: 233381)**



SITE AREA	
20001.73 m <sup>2</sup>	
<b>O/ALL SITE COVERAGE</b>	
474.27 m <sup>2</sup>	Acreage
<b>IMPERMEABLE AREA</b>	
509.27 m <sup>2</sup>	2.55%
<b>PERMEABLE AREA</b>	
19492.5 m <sup>2</sup>	97.45%
<b>PAVING AREA</b>	
35.00 m <sup>2</sup>	0.17%

**LEGEND:**

	EXISTING TREE		FENCE / GATE
	TREE REMOVED		GARDEN SHRUB
	STRUCTURAL ROOT ZONE		EXISTING TREE
	TREE PROTECTION ZONE		STORM WATER
	TELEPT		VERANDAH
	SEWER TEE		ROOF LINES
	ELEC POLE		EXTERNAL WALL
	STOP VALVE		SEWER RUN
	TAP		FINISHED SURFACE LEVEL
	METER BOX		
	GAS METER		
	HHU		
	DOWNPIPE		

**CONTRACT DRAWINGS**  
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 Dated .....  
 Signed Builder .....  
 Signed Purchased .....

**DRAWING TITLE:**  
 SITE PLAN 1/1000

0 1 2 3m  
 SCALE As Indicated (A3)  
 Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

**metricon DESIGNER**  
 SPEC: BASE

**DESIGN:**  
 HIGHLANDER 68

**PRODUCT CODE:**  
 VD3HIG68APRDN

**CEILING:**  
 27G, 25F L

**DESIGNER:**  
 ASPIRE

501 Blackburn Road, Mount Waverley, VIC, 3149  
 P.O. Box 857, Mount Waverley, VIC, 3149  
 Builders Licence N°: COB-U 52967 ACN: 005 108 752 in this drawing.  
 Tel: 1300 786 773  
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<b>JOB N°:</b> 752203	<b>PERMIT N°:</b> TBC
<b>WIND SPEED:</b> 40 M/S	<b>MASTER ISSUED:</b> 01/04/2023
<b>DRAWN:</b> PD2	<b>CHECKED:</b> NSV
<b>CONTRACT PLAN (GF)</b>	<b>SHEET:</b> 1A/17
<b>DATE:</b> 12/03/2025	

**BUILT UP AREA**

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**NO GAS AREA**

**TOWN PLANNING**

TOWN PLANNING APPROVAL REQUIRED.

**TERMITE PROTECTION:**

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1.

**BUSHFIRE PROTECTION (BAL 12.5):**

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DWELLING TO COMPLY W/ RELEVANT SUSTAINABLE ENERGY REQUIREMENTS.

**TEMPORARY FENCING:**

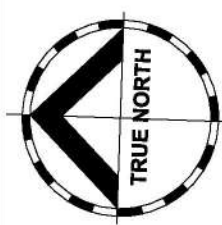
BUILDER TO PROVIDE TEMPORARY FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTHORITY BYLAW)

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**NOTES:**



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20001.73 m <sup>2</sup>	
O/ALL SITE COVERAGE	
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	STOP VALVE		SEWER RUN
	TAP		FINISHED SURFACE LEVEL
	METER BOX (SWITCHBOARD)		
	GAS METER		
	HHU		
	DOWNPIPE		

**CONTRACT DRAWINGS**

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Dated .....

Signed Builder .....

Signed Purchased .....

**DESIGNER**

**metricon**

501 Blackburn Road, Mount Waverley, VIC, 3149  
 P.O. Box 857, Mount Waverley, VIC, 3149

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**DESIGN:**  
 HIGHLANDER 68

**PRODUCT CODE:**  
 VD3HIG68APRDN

**CEILING:**  
 27G, 25F L

**OWNER:**  
 LOT 1 (NO 13) CREMIN DR,  
 PAKENHAM, VIC, 3810

**JOB N°:** 752203  
**PERMIT N°:** TBC

**WIND SPEED:** 40 M/S  
**MASTER ISSUED:** 01/04/2023

**DRAWN:** PD2  
**CHECKED:** NSV  
**SHEET:** 1B/17

**CONTRACT PLAN (GF)**  
 DATE: 12/03/2025

**DRAWING TITLE:**  
 SITE PLAN 1/200

**SCALE:** 1:200 (A3)

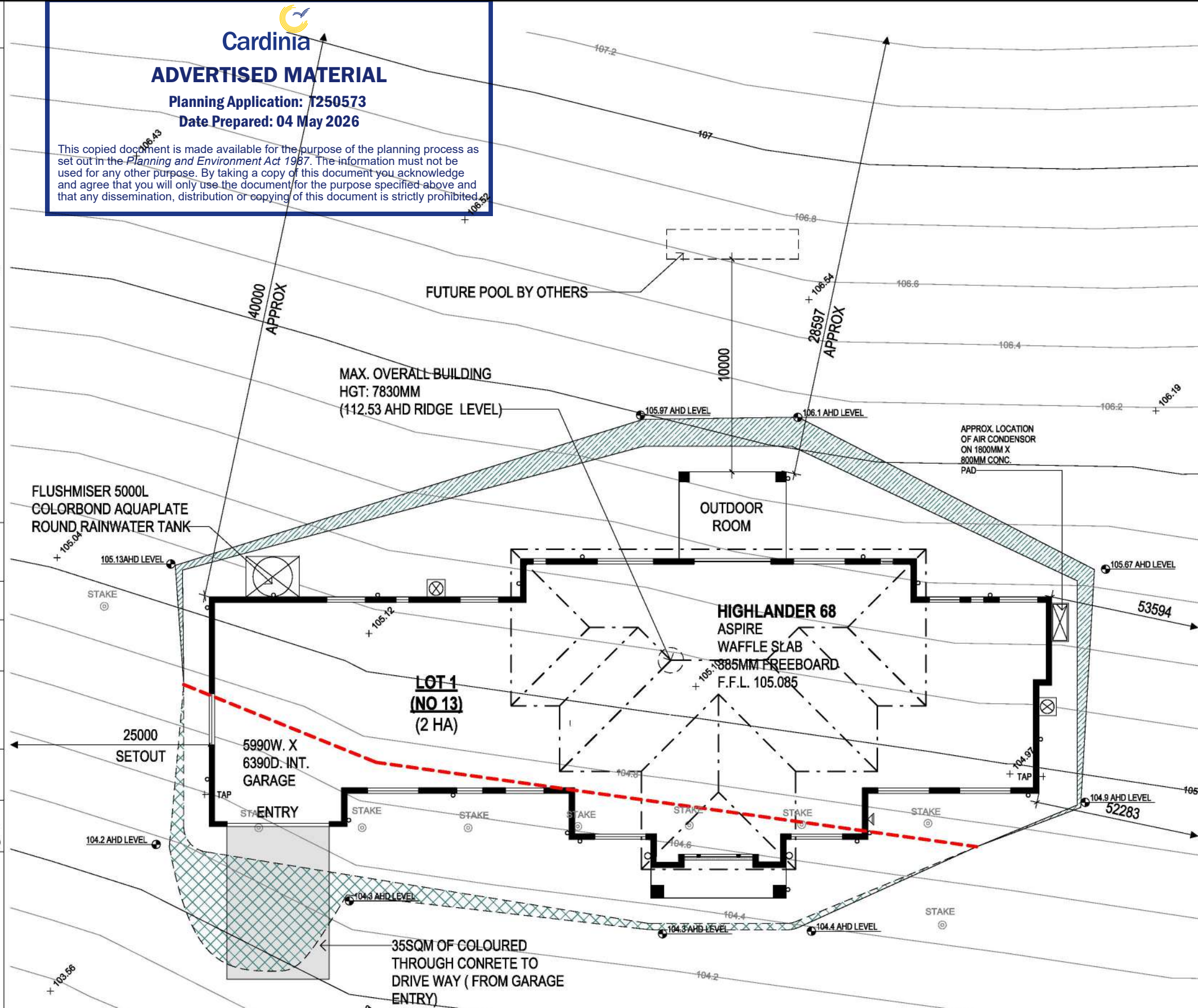
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**Cardinia**

**ADVERTISED MATERIAL**

Planning Application: T250573  
 Date Prepared: 04 May 2026

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**EXCAVATION NOTES:**  
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**NOTE:**  
 NO VEGETATION REMOVAL PROPOSED

**SLAB STEP DOWNS:**  
 THE FOLLOWING STEP DOWNS ARE TAKEN FROM F.F.L. OF HOUSE SLAB:-

GARAGE:	0 MM
PORTICO:	149 MM
OUTDOOR ROOM:	149 MM

**INTRAX SURVEY DATE:** 24/10/2025

**CONTOUR INTERVALS:** 200MM

**LEVELS TO:** A.H.D

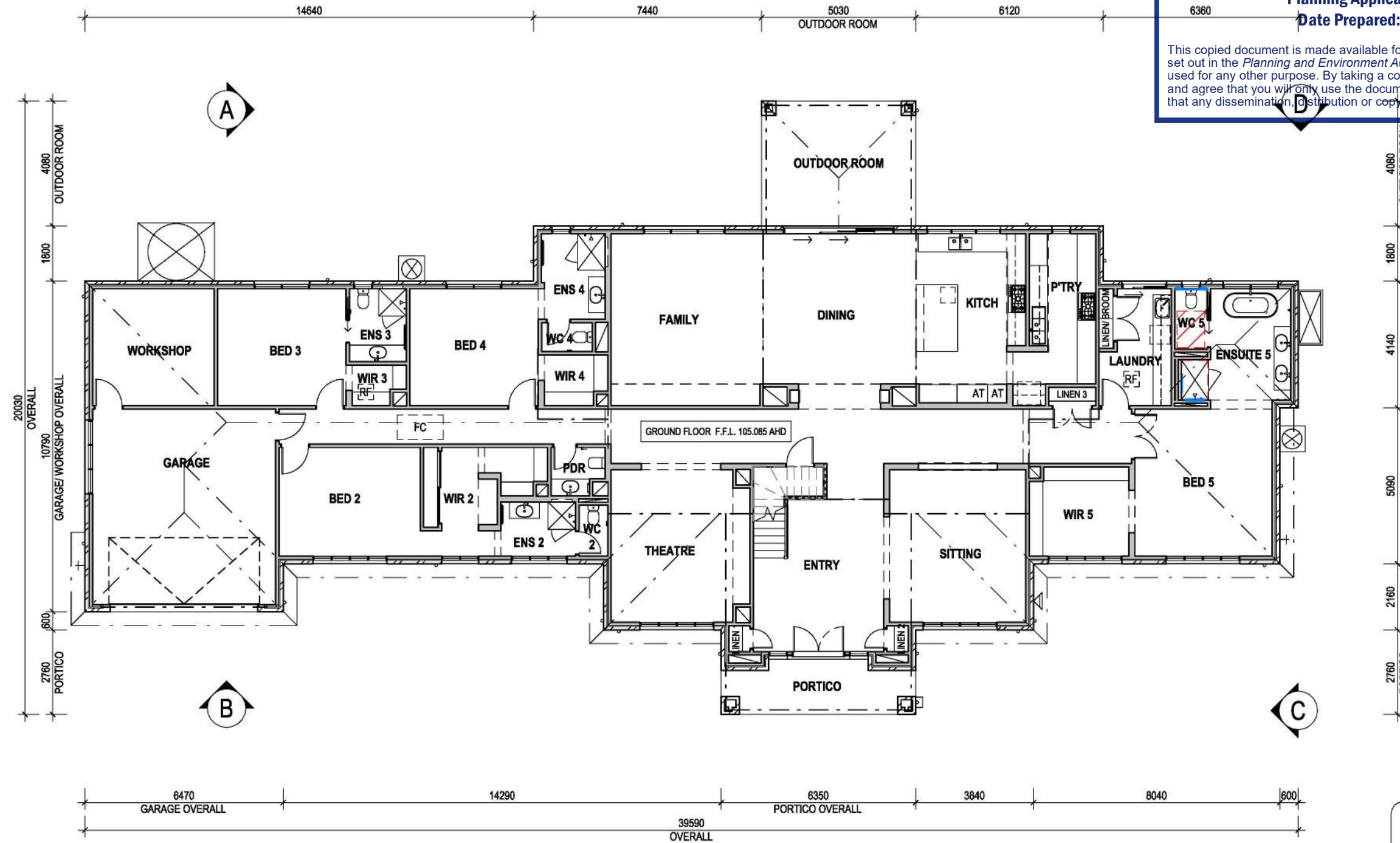
**MELWAY REF.:** N/A

**HEAT PUMP NOTE:**  
 PROVIDE HEAT PUMP (MODEL 280HP) COMPLIES AND WILL BE INSTALLED IN ACCORDANCE WITH PLUMBING REGULATIONS 2018.

**PROPOSED POOL**  
 A POOL HAS BEEN PROPOSED FOR THIS SITE. POOL SIZE, DEPTH AND LOCATION TO BE CONFIRMED. POOL BY OTHERS.

**REFER ENGINEER'S FOOTING DESIGN**  
**SOIL CLASSIFICATION 'H1'**  
**REFER SOIL REPORT (REF. No: 233381)**

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PROVIDE SUPPORT BEAMS TO ENTRY AND DINING FOR FUTURE PENDANT LIGHTS.

ALL WINDOWS & SLIDING DOORS TO BE 150 SERIES DOUBLE GLAZED + LOW-E (ENERGY TECH)

**CONTRACT DRAWINGS**

These are the specifications and plans referred to in the Building Agreement.

Dated .....  
Signed Builder .....  
Signed Purchaser .....

**NOTES:**

- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- 300D. BULKHEAD TO GROUND FLOOR (U.N.O)
- 245D. BULKHEAD TO FIRST FLOOR (U.N.O)
- 2340mm HIGH INTERNAL DOORS THROUGHOUT UNO

900W. x 1200D. CIRCULATION SPACE TO FRONT EDGE OF TOILET PAN

IN WALL REINFORCING REFER DETAIL

**LEGEND:**

- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
- 70MM STUD WALLS
- V (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT
- FC FAN COIL DUCTED AC UNIT LOCATED IN ROOF SPACE
- RF ROOF ACCESS

AREA	m <sup>2</sup>	SQR
GROUND FLOOR	384.18 m <sup>2</sup>	41.35
FIRST FLOOR	185.55 m <sup>2</sup>	19.97
TOTAL LIVING	569.73 m <sup>2</sup>	61.33
PORTICO	10.31 m <sup>2</sup>	1.11
OUTDOOR ROOM	20.52 m <sup>2</sup>	2.21
GARAGE	59.26 m <sup>2</sup>	6.38
TOTAL OTHER	90.09 m <sup>2</sup>	9.70
TOTAL	659.82 m <sup>2</sup>	71.02

DRAWING TITLE:  
**GROUND FLOOR PLAN**

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

SCALE 1: 150 (A3)

**m DESIGNER**  
metricon

SPEC: BASE

DESIGN: **HIGHLANDER 68**

PRODUCT CODE: VD3HIG68APRDN

FACADE: **ASPIRE**

CEILING: **27G, 25F L**

501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149

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Tel: 1300 786 773  
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OWNER: [REDACTED]

LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810

JOB N°: 752203 PERMIT N°: TBC

WIND SPEED: 40 M/S MASTER ISSUED: 01/04/2023

DRAWN: PD2 CHECKED: NSV SHEET: 2A/17

**CONTRACT PLAN (GF)**  
DATE: 12/03/2025

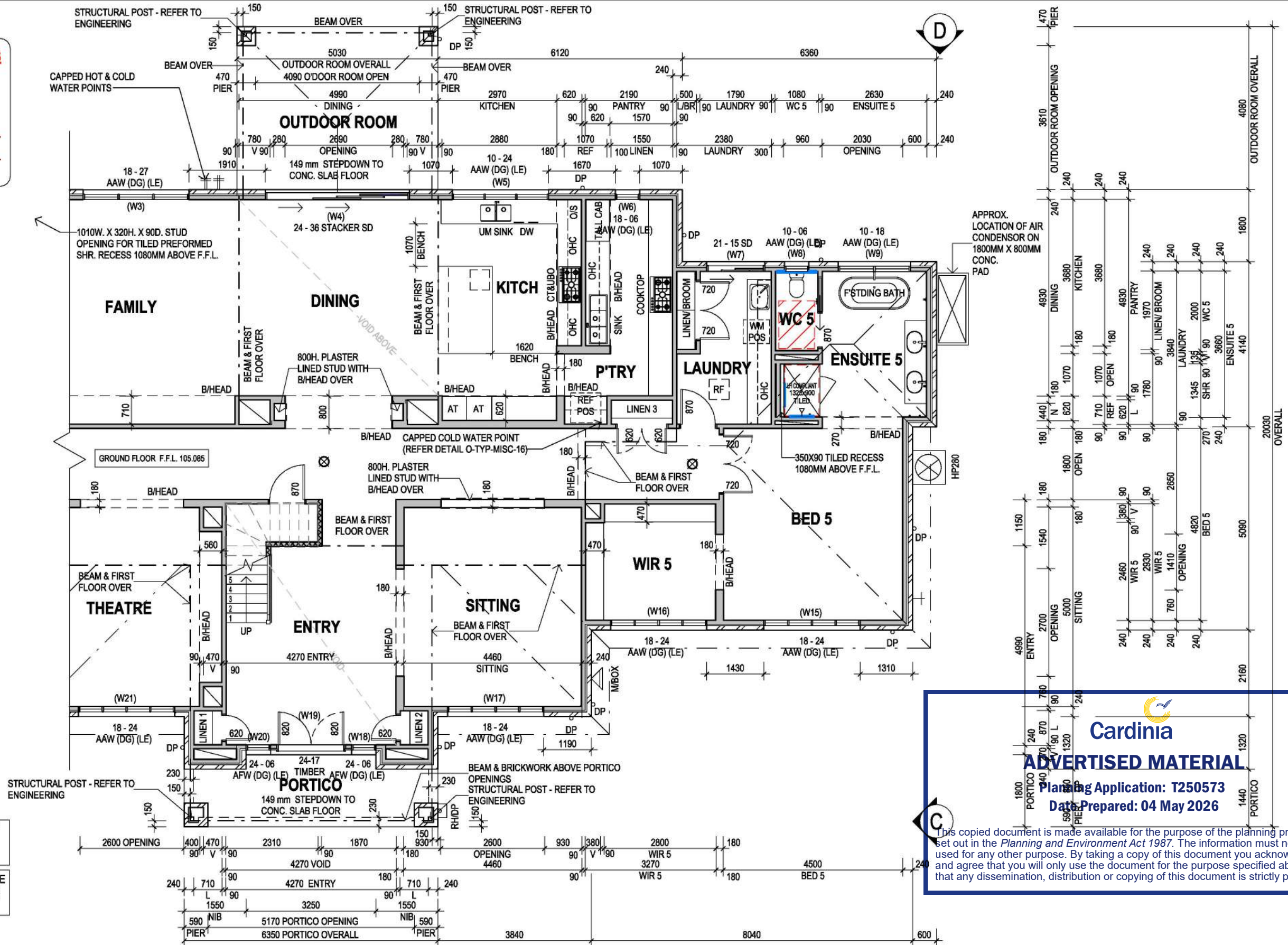
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**Cardinia**  
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PROVIDE SUPPORT BEAMS TO ENTRY AND DINING FOR FUTURE PENDANT LIGHTS.

ALL WINDOWS & SLIDING DOORS TO BE 150 SERIES DOUBLE GLAZED + LOW-E (ENERGY TECH)

- NOTES:**
- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
  - 300D. BULKHEAD TO GROUND FLOOR (U.N.O)
  - 245D. BULKHEAD TO FIRST FLOOR (U.N.O)
  - 2340mm HIGH INTERNAL DOORS THROUGHOUT UNO

900W. x 1200D. CIRCULATION SPACE TO FRONT EDGE OF TOILET PAN

IN WALL REINFORCING REFER DETAIL

- LEGEND:**
- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
  - 70MM STUD WALLS
  - (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT
  - ROOF ACCESS
  - SMOKE ALARM

AREA	m <sup>2</sup>	SQR
GROUND FLOOR	384.18 m <sup>2</sup>	41.35
FIRST FLOOR	185.55 m <sup>2</sup>	19.97
TOTAL LIVING	569.73 m <sup>2</sup>	61.33
PORTICO	10.31 m <sup>2</sup>	1.11
OUTDOOR ROOM	20.52 m <sup>2</sup>	2.21
GARAGE	59.26 m <sup>2</sup>	6.38
TOTAL OTHER	90.09 m <sup>2</sup>	9.70
TOTAL	659.82 m <sup>2</sup>	71.02

DRAWING TITLE:  
**GROUND FLOOR PLAN LEFT**

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

SCALE 1: 100 (AS)

**m** DESIGNER  
 metricon

SPEC: BASE

DESIGN:  
**HIGHLANDER 68**

PRODUCT CODE:  
 VD3HIG68APRDN

CEILING:  
**27G, 25F L**

501 Blackburn Road, Mount Waverley, VIC, 3149  
 P.O. Box 857, Mount Waverley, VIC, 3149

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Tel: 1300 786 773  
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OWNER:	LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810
JOB N°:	752203
PERMIT N°:	TBC
WIND SPEED:	40 M/S
MASTER ISSUED:	01/04/2023
DRAWN:	PD2
CHECKED:	NSV
SHEET:	2B/17
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	

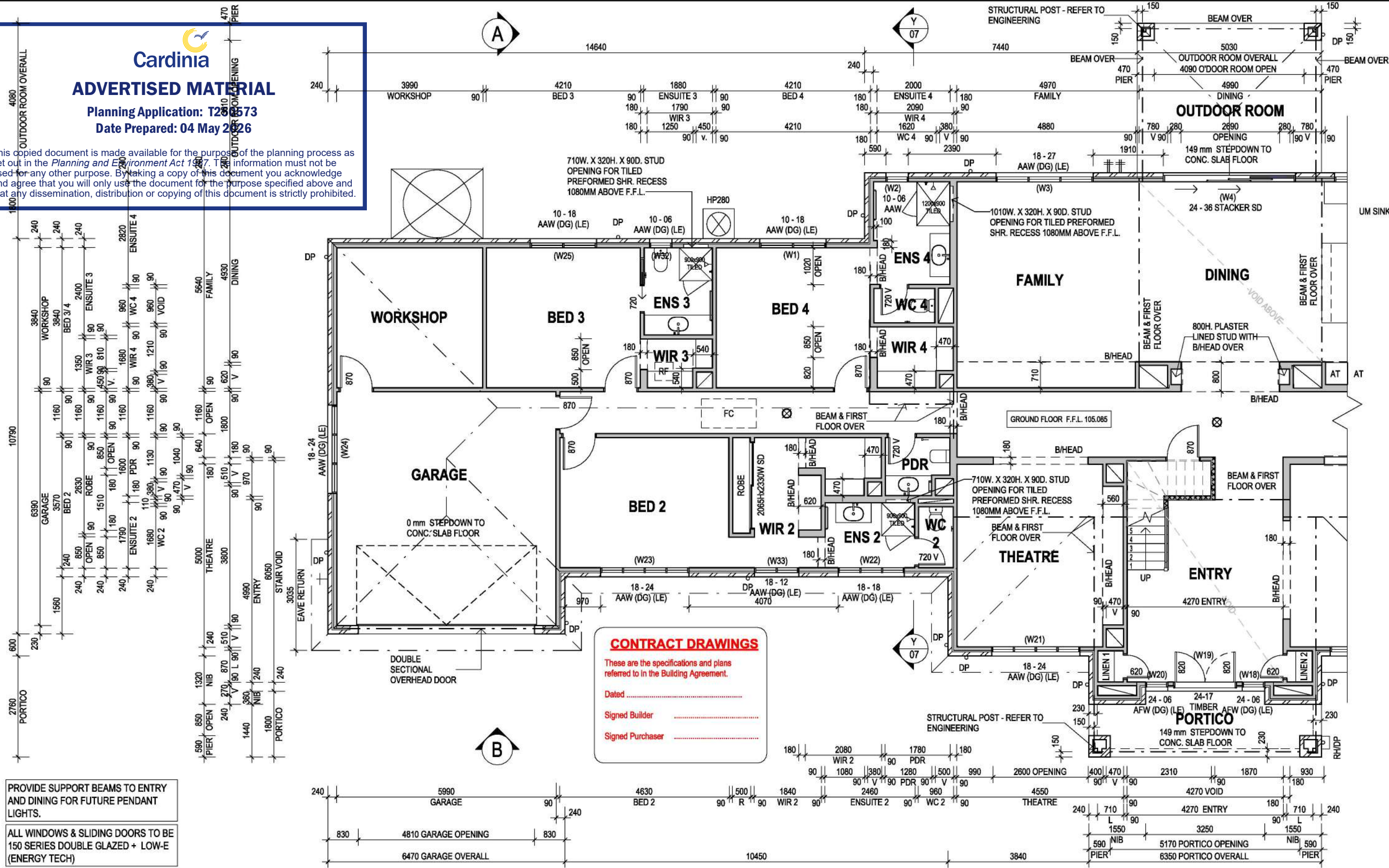
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# ADVERTISED MATERIAL

Planning Application: T260573  
Date Prepared: 04 May 2026

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**CONTRACT DRAWINGS**  
These are the specifications and plans referred to in the Building Agreement.  
Dated .....  
Signed Builder .....  
Signed Purchaser .....

PROVIDE SUPPORT BEAMS TO ENTRY AND DINING FOR FUTURE PENDANT LIGHTS.  
ALL WINDOWS & SLIDING DOORS TO BE 150 SERIES DOUBLE GLAZED + LOW-E (ENERGY TECH)

- NOTES:**
- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
  - 300D. BULKHEAD TO GROUND FLOOR (U.N.O)
  - 245D. BULKHEAD TO FIRST FLOOR (U.N.O)
  - 2340mm HIGH INTERNAL DOORS THROUGHOUT UNO

- LEGEND:**
- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
  - 70MM STUD WALLS
  - V (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT
  - FC FAN COIL DUCTED AC UNIT LOCATED IN ROOF SPACE
  - RF ROOF ACCESS
  - SMOKE ALARM

AREA	m <sup>2</sup>	SQR
GROUND FLOOR	384.18 m <sup>2</sup>	41.35
FIRST FLOOR	185.55 m <sup>2</sup>	19.97
TOTAL LIVING	569.73 m <sup>2</sup>	61.33
PORTICO	10.31 m <sup>2</sup>	1.11
OUTDOOR ROOM	20.52 m <sup>2</sup>	2.21
GARAGE	59.26 m <sup>2</sup>	6.38
TOTAL OTHER	90.09 m <sup>2</sup>	9.70
TOTAL	659.82 m <sup>2</sup>	71.02

DRAWING TITLE:  
**GROUND FLOOR PLAN RIGHT**

SCALE: 1:100 (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

**metricon** DESIGNER  
SPEC: BASE

DESIGN: **HIGHLANDER 68**

PRODUCT CODE: VD3HIG68APRO

OWNER: [REDACTED]

CEILING: **27G, 25F L**

FAÇADE: **ASPIRE**

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P.O. Box 857, Mount Waverley, VIC, 3149

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OWNER: [REDACTED]

LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810

JOB N°: 752203 PERMIT N°: TBC

WIND SPEED: 40 M/S MASTER ISSUED: 01/04/2023

DRAWN: PD2 CHECKED: NSV SHEET: 2C/17

**CONTRACT PLAN (GF)**  
DATE: 12/03/2025

26/03/2026 8:59:32 AM

A

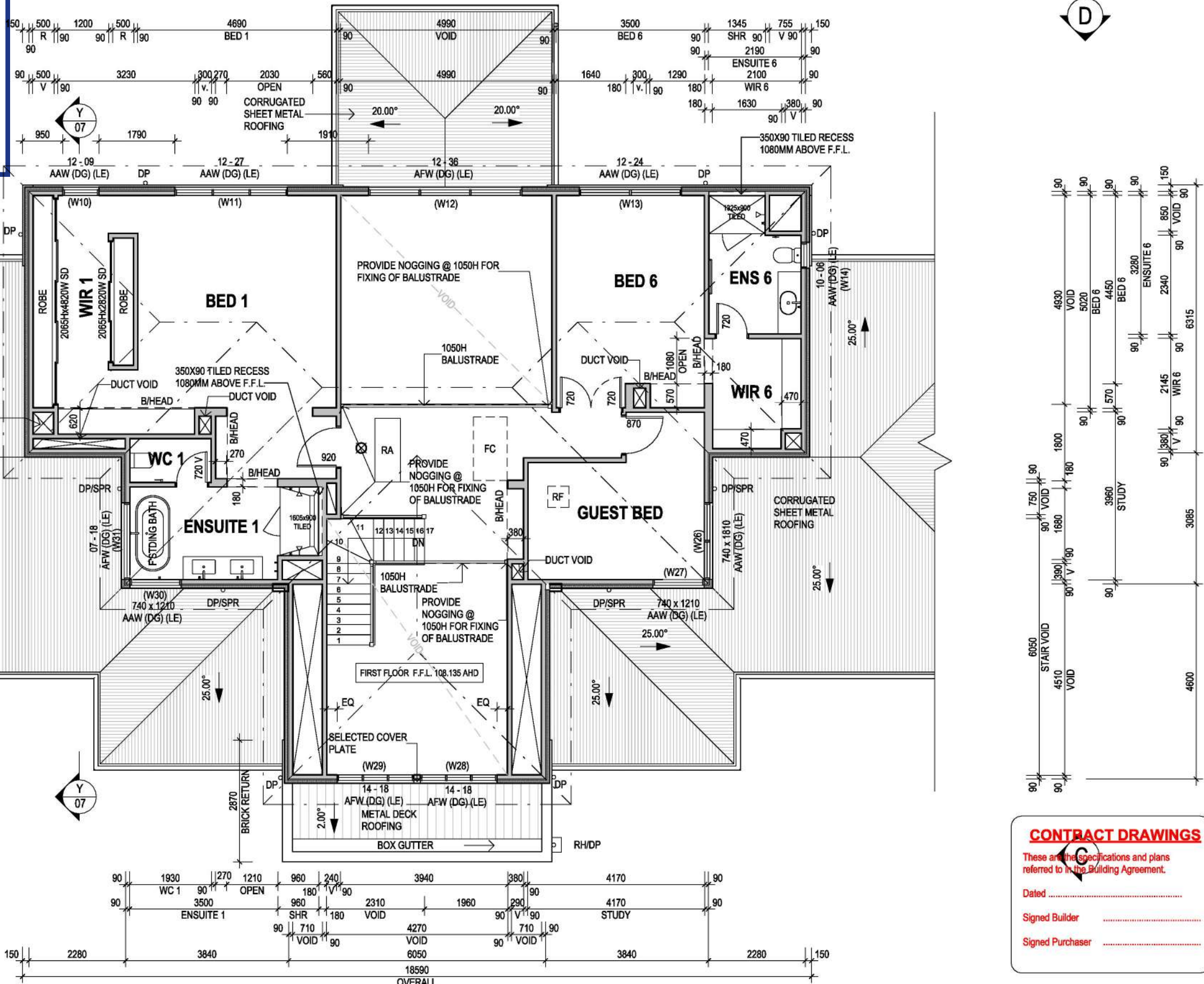


# ADVERTISED MATERIAL

Planning Application: T250573  
Date Prepared: 04 May 2026

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D



B

PROVIDE SUPPORT BEAMS TO ENTRY AND DINING FOR FUTURE PENDANT LIGHTS.  
ALL WINDOWS & SLIDING DOORS TO BE 150 SERIES DOUBLE GLAZED + LOW-E (ENERGY TECH)

**CONTRACT DRAWINGS**  
These are the specifications and plans referred to in the Building Agreement.  
Dated .....  
Signed Builder .....  
Signed Purchaser .....

- NOTES:**
- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
  - 300D. BULKHEAD TO GROUND FLOOR (U.N.O)
  - 245D. BULKHEAD TO FIRST FLOOR (U.N.O)
  - 2340mm HIGH INTERNAL DOORS THROUGHOUT UNO

**LEGEND:**

- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
- 70MM STUD WALLS
- (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT
- DUCTED RETURN AIR
- FAN COIL DUCTED AC UNIT LOCATED IN ROOF SPACE
- ROOF ACCESS
- SMOKE ALARM

AREA	m <sup>2</sup>	SQR
GROUND FLOOR	384.18 m <sup>2</sup>	41.35
FIRST FLOOR	185.55 m <sup>2</sup>	19.97
TOTAL LIVING	569.73 m <sup>2</sup>	61.33
PORTICO	10.31 m <sup>2</sup>	1.11
OUTDOOR ROOM	20.52 m <sup>2</sup>	2.21
GARAGE	59.26 m <sup>2</sup>	6.38
TOTAL OTHER	90.09 m <sup>2</sup>	9.70
TOTAL	659.82 m <sup>2</sup>	71.02

**DRAWING TITLE:**  
FIRST FLOOR PLAN

0 1 2 3m  
SCALE 1: 100 (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.



**DESIGN:**  
HIGHLANDER 68

**PRODUCT CODE:**  
VD3HIG68APRDN

**OWNER:**  
[REDACTED]

**CEILING:**  
27G, 25F L

**FAÇADE:**  
ASPIRE

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P.O. Box 857, Mount Waverley, VIC, 3149

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<b>LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810</b>	
JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	SHEET: 3/17

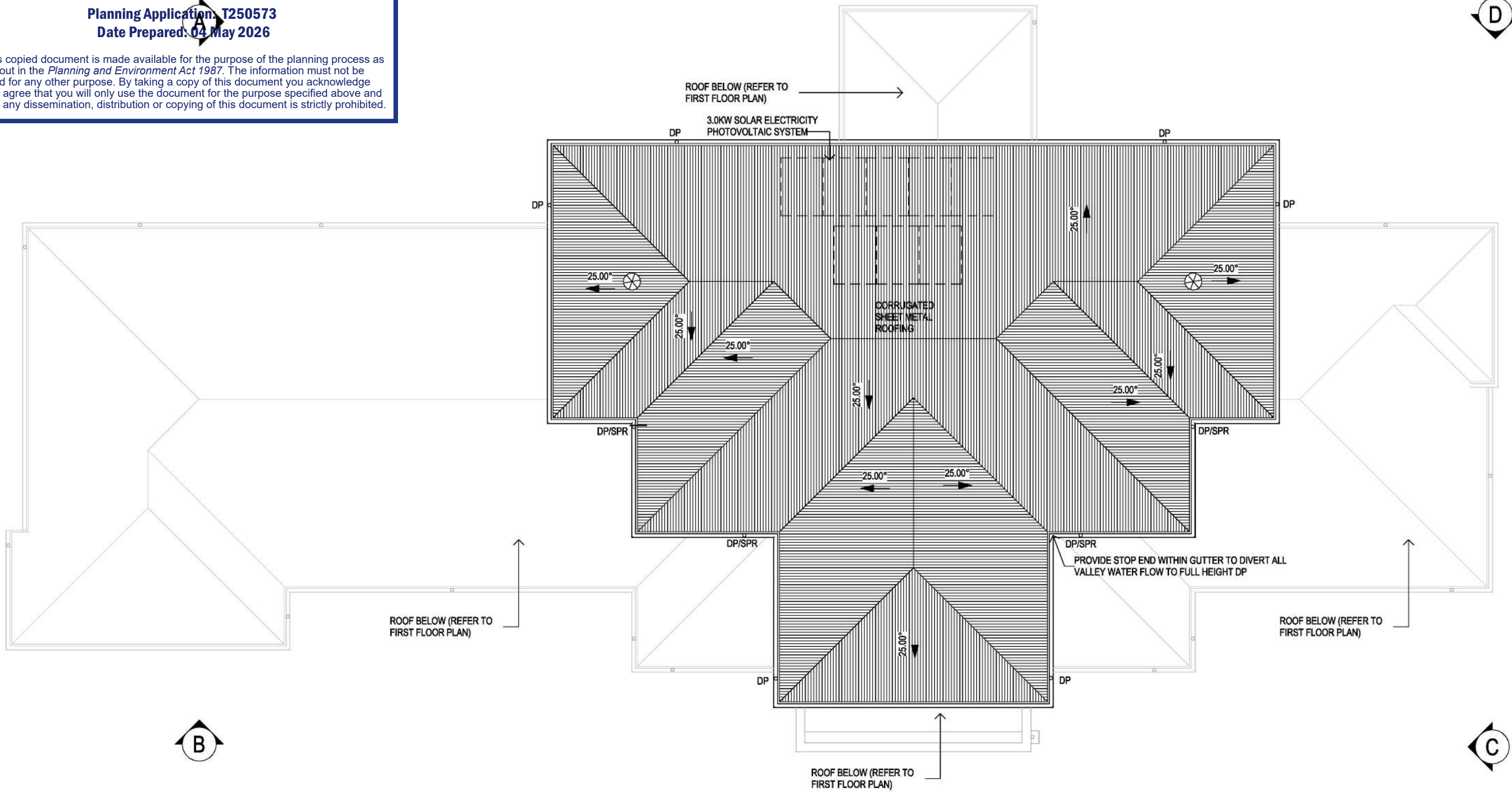
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# ADVERTISED MATERIAL

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Date Prepared: 04 May 2026

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### CONTRACT DRAWINGS

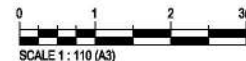
These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

DRAWING TITLE:  
**ROOF PLAN**



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SPEC: BASE

DESIGN:  
**HIGHLANDER 68**

FAÇADE:  
**ASPIRE**

501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149  
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.  
Tel: 1300 786 773  
www.metricronhomes.com.au

PRODUCT CODE:  
VD3HIG68APRD

CEILING:  
**27G, 25F L**

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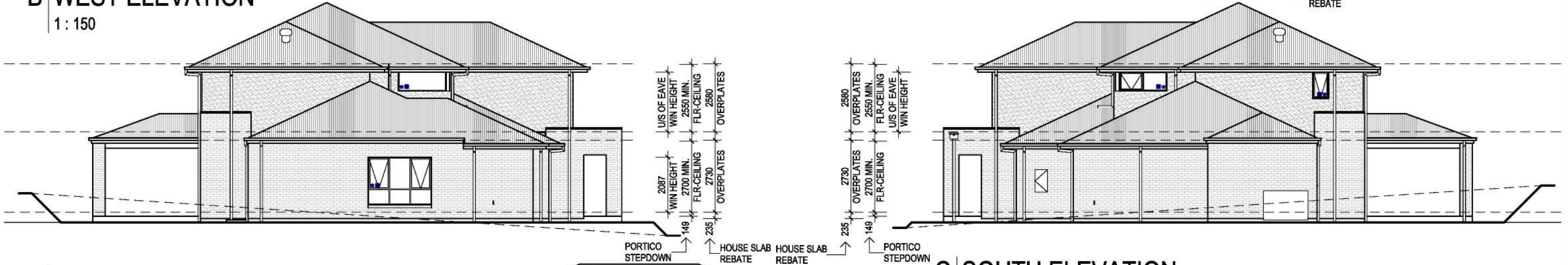
OWNER:  
[REDACTED]  
**LOT 1 (NO 13) CREMIN DR,  
PAKENHAM, VIC, 3810**

JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	
SHEET: <b>04/17</b>	

NOTE: NO RETAINING WALLS ARE PROPOSED FOR THIS DEVELOPMENT

FACADE FINISHES		
FACADE AREA: (EXCLUDING GLAZING, ROOFS & OPENINGS)	83.64 m <sup>2</sup>	
BRICKWORK	62.82 m <sup>2</sup>	75.11%
RENDERED	19.76 m <sup>2</sup>	23.63%
FC SHEET	1.06 m <sup>2</sup>	1.27%

**B WEST ELEVATION**  
1 : 150



**A NORTH ELEVATION**  
1 : 150



**C SOUTH ELEVATION**  
1 : 150

ALL WINDOWS & SLIDING DOORS TO BE 150 SERIES DOUBLE GLAZED + LOW-E (ENERGY TECH)

**D EAST ELEVATION**  
1 : 150

**MATERIAL SCHEDULE (ALL MATERIALS ARE IMPERMEABLE)**

SAMPLE	BRAND	COLOUR	DESCRIPTION
	SELKIRK BRICKS	IRONSTONE	BRICK (GROUND FLOOR)
	DULUX	HEIFER	RENDER (FIRST FLOOR), PORTICO BEAM, TIMBER POSTS, METER BOX, OUTDOOR ROOM BEAM, PEDESTRIAN ACCESS DOOR/FRAME
	DULUX	LEXICON QUARTER	PORTICO LIVING & EAVES
	DYNAMIC DOORS SECTIONAL	MONUMENT	GARAGE DOOR (WIDE PROFILE)
	COLORBOND	FLATLINE	

SAMPLE	BRAND	COLOUR	DESCRIPTION
	DULUX	RAKAIA	RENDER TO VOID PROJECTION
	COLORBOND	WALLABY	ROOF, GUTTER, FASCIA, DOWNPIPES, METAL CAPPING & WHIRLY BIRD
	DULUX	MONUMENT	FRONT ENTRY DOOR & FRAME
	SOUTHERN STAR	SATIN BLACK	ALUMINUM WINDOWS AND FLYSCREENS

**ADVERTISED MATERIAL**  
Planning Application: T250573  
Date Prepared: 04 May 2026

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**NOTES:**

- PROVIDE BRICKWORK ABOVE ALL SIDE & REAR GROUND FLOOR ELEVATION WINDOWS & DOORS AS REQUIRED UNLESS NOTED OTHERWISE.
- PROVIDE BRICKWORK ABOVE FRONT ELEVATION WINDOWS & ABOVE GARAGE DOOR OPENING, F.C INFILL ABOVE FRONT ENTRY DOOR FRAME UNLESS NOTED OTHERWISE.
- IMPORTANT NOTE: ALL FIRST FLOOR BEDROOM WINDOWS TO BE RENDERED UNOPENABLE BEYOND 125MM.

**CONTRACT DRAWINGS**

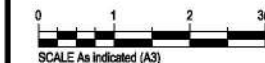
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Dated .....

Signed Builder .....

Signed Purchaser .....

DRAWING TITLE:  
**ELEVATIONS**



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**m** **DESIGNER**  
metricon

SPEC: BASE

DESIGN:  
**HIGHLANDER 68**

FACADE:  
**ASPIRE**

501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149  
Builders Licence N°: COB-U 52967 ACN: 005 108 752 in this drawing.  
Tel: 1300 786 773  
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PRODUCT CODE:  
VD3HIG68APRDN

CEILING:  
**27G, 25F L**

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OWNER: [REDACTED]	LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810
JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	SHEET: 05/17

26/03/2026 8:59:40 AM



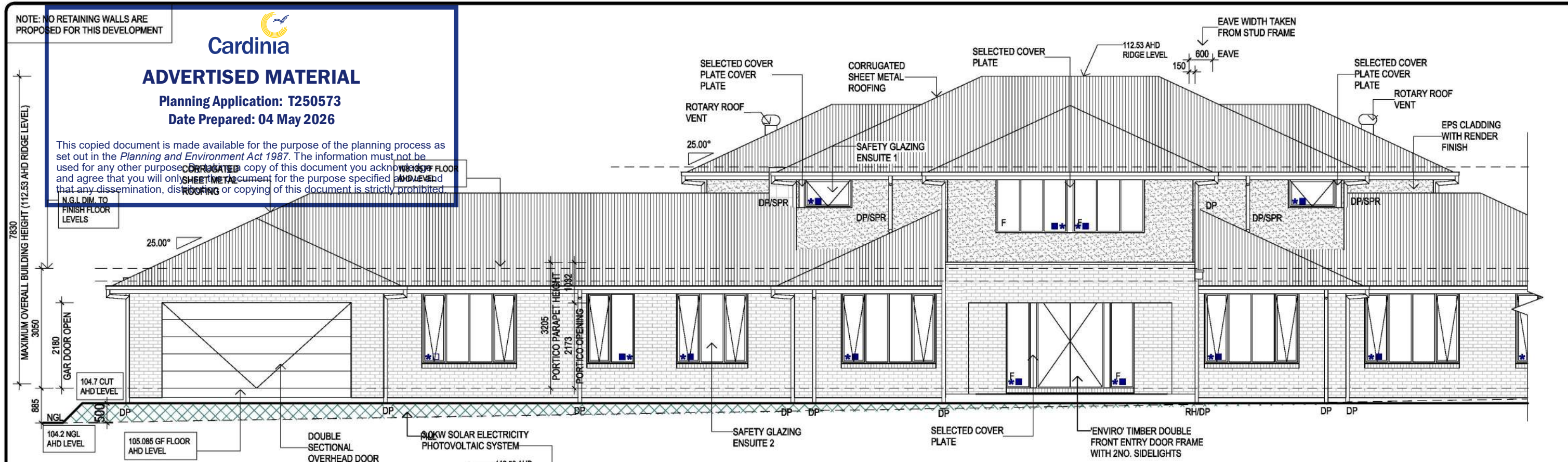
NOTE: NO RETAINING WALLS ARE PROPOSED FOR THIS DEVELOPMENT



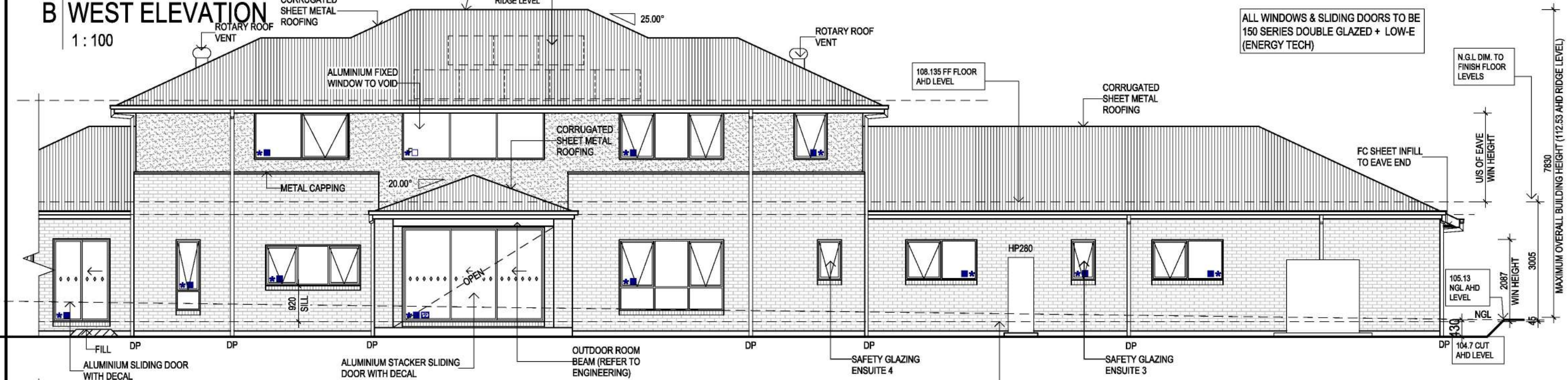
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Planning Application: T250573  
Date Prepared: 04 May 2026

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**B WEST ELEVATION**  
1 : 100



**D EAST ELEVATION**  
1 : 100

ALL WINDOWS & SLIDING DOORS TO BE 150 SERIES DOUBLE GLAZED + LOW-E (ENERGY TECH)

- NOTES:**
- PROVIDE BRICKWORK ABOVE ALL SIDE & REAR GROUND FLOOR ELEVATION WINDOWS & DOORS AS REQUIRED UNLESS NOTED OTHERWISE.
  - PROVIDE F.C INFILL ABOVE FRONT ENTRY DOOR FRAME & BRICKWORK ABOVE GARAGE DOOR OPENING UNLESS NOTED OTHERWISE.
  - IMPORTANT NOTE: ALL FIRST FLOOR BEDROOM WINDOWS TO BE RENDERED UNOPENABLE BEYOND 125MM.

**CONTRACT DRAWINGS**

These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

DRAWING TITLE:  
**ELEVATIONS**

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**metricon** DESIGNER

SPEC: BASE

DESIGN: <b>HIGHLANDER 68</b>	PRODUCT CODE: VD3HIG68APRD
FACADE: <b>ASPIRE</b>	CEILING: <b>27G, 25F L</b>
501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149	LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810
JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	
SHEET: 6B/17	

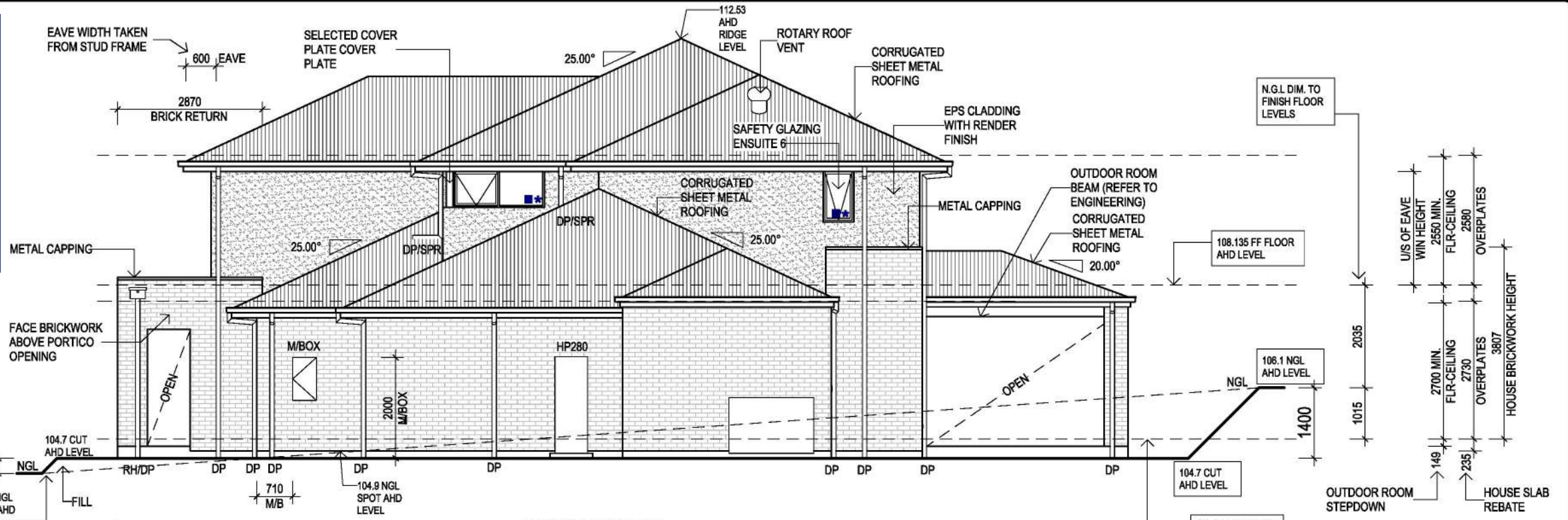
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Planning Application: T2505133  
Date Prepared: 04 May 2025

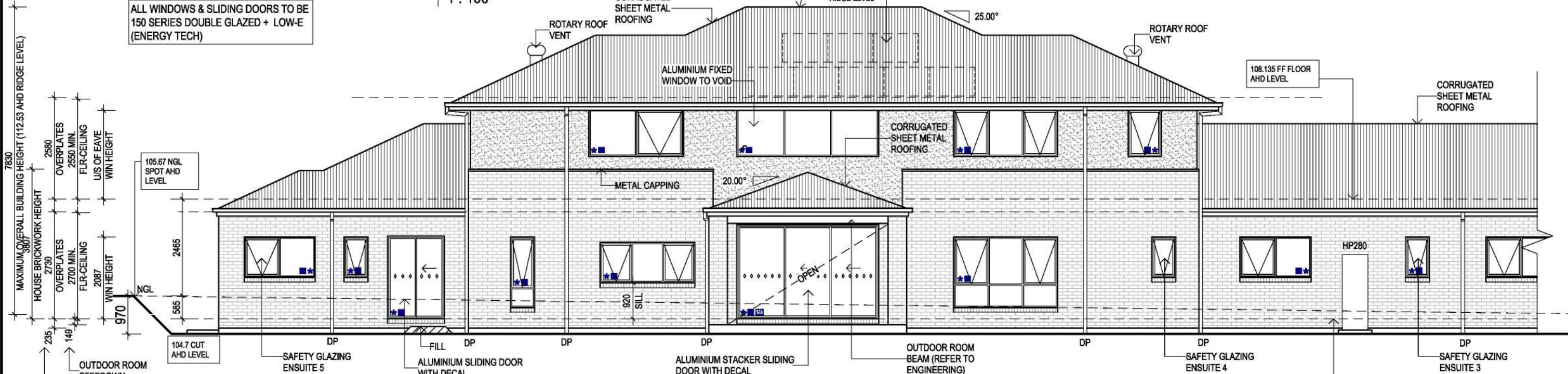
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### C SOUTH ELEVATION

1:100

ALL WINDOWS & SLIDING DOORS TO BE 150 SERIES DOUBLE GLAZED + LOW-E (ENERGY TECH)



### D EAST ELEVATION

1:100

- NOTES:**
- PROVIDE BRICKWORK ABOVE ALL SIDE & REAR GROUND FLOOR ELEVATION WINDOWS & DOORS AS REQUIRED UNLESS NOTED OTHERWISE.
  - IMPORTANT NOTE: ALL FIRST FLOOR BEDROOM WINDOWS TO BE RENDERED UNOPENABLE BEYOND 125MM.

**CONTRACT DRAWINGS**

These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

DRAWING TITLE:  
**ELEVATIONS**

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metricon DESIGNER

DESIGN:  
**HIGHLANDER 68**

PRODUCT CODE:  
VD3HIG68APRDN

OWNER:  
[REDACTED]

CEILING:  
**27G, 25F L**

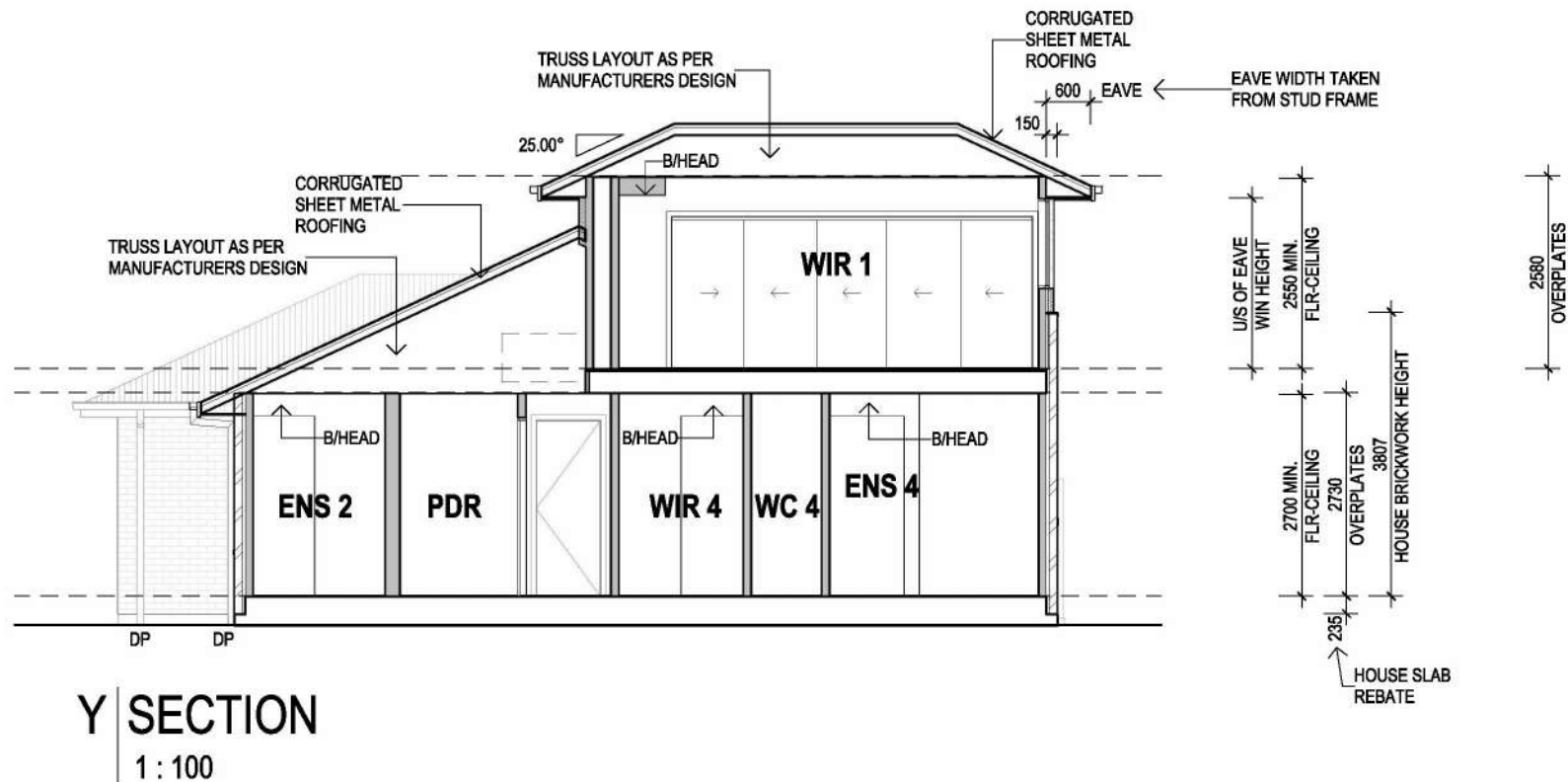
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LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810	
JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	
SHEET: 6C/17	

26/03/2026 8:59:50 AM



**BUSHFIRE REQUIREMENTS - BAL 12.5**

- WALLS**
- 4.5MM THICK (NOM) FIBRE CEMENT SHEET INFILLS ABOVE SIDE AND REAR ELEVATION WINDOWS AND DOORS
  - ALL LIGHTWEIGHT CLAD AREAS (WHERE INCLUDED) TO BE MINIMUM 4.5 THICK FIBRE CEMENT BASED PRODUCT.
  - STANDARD WEATHERWRAP TO WALLS TO REMAIN.
- VENTS & WEEPHOLES**
- PROVIDE WEEPA HIGH PERFORMANCE BUSHFIRE WEEPHOLE SCREENED WITH MESH MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM TO ALL VENTS AND WEEPHOLES.
  - ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 2MM.
- WINDOWS**
- PROVIDE A MINIMUM OF 4MM TOUGHENED GLASS TO WINDOWS AND SIDELIGHTS WITHIN 400MM OF A HORIZONTAL SURFACE. NOTE EXTERNAL PANE OF DOUBLE GLAZED WINDOWS TO BE A MINIMUM OF 4MM TOUGHENED. NOTE LAMINATED GLASS DOES NOT COMPLY.
  - PROVIDE ALUMINIUM FRAMED SCREENS WITH ALUMINIUM MESH TO ALL OPENABLE WINDOWS (OPENABLE SECTION ONLY). NOTE THIS ITEM INCLUDES ALUMINIUM FRAMED SCREENS TO OPENABLE TIMBER WINDOWS (WHERE APPLICABLE).
  - ALL WINDOW AND DOOR HARDWARE TO BE MADE OF METAL. NOTE NO PLASTIC ROLLERS TO WINDOWS OR DOUBLE HUNG WINDOWS.
- EXTERNAL DOORS**
- PROVIDE A MINIMUM OF 4MM TOUGHENED GLASS TO GLAZED BI-FOLD DOORS AND SLIDING DOORS. NOTE LAMINATED GLASS DOES NOT COMPLY.
  - WEATHERSTRIPS TO THE BOTTOM OF EXTERNAL HINGED DOORS (THIS ONLY APPLIES TO DOORS THAT DO NOT HAVE A FULLY SEALED FRAME).
- GARAGE DOORS**
- PROVIDE EMBER SEALS TO COLORBOND SECTIONAL DOORS AND ROLLER DOORS (WHERE INCLUDED). NOTE TIMBER GARAGE DOORS AND/OR WINDOW PANELS DO NOT COMPLY.
  - WHERE SCREENS ARE PROVIDED TO SLIDING DOORS THEY ARE TO HAVE A MAXIMUM APERTURE OF 2MM, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.
- ROOFING**
- PROVIDE ROOF SARKING TO ENTIRE ROOF AREA INCLUDING THE RIDGE AND EXTEND INTO GUTTERS AND VALLEYS.
  - PROVIDE COLORBOND WHIRLY BIRD WITH EMBER GUARDS TO ROOF.
  - PROVIDE ANTI-PONDING BOARDS TO PERIMETER OF ROOF AREA. NOTE THIS ITEM APPLIES TO TILED ROOFS ONLY.
  - VERANDAHS SEPARATED FROM THE MAIN ROOF SPACE (WHERE INCLUDED) BY AN EXTERNAL WALL MUST HAVE A METAL ROOF.
  - THE ROOF/WALL JUNCTION SHALL BE SEALED, TO PREVENT OPENINGS GREATER THAN 2MM.
- ROOF PENETRATIONS**
- PROVIDE UPGRADE TO STANDARD CHROMAGEN SOLAR HOT WATER UNIT (GAS OR ELECTRICAL) TO COMPLY WITH BUSHFIRE REQUIREMENTS (BAL 12.5, BAL 19 AND BAL 29) INCLUDING:
    - CONCRETE SLAB TO HOT WATER UNIT
    - UV AND TEMPERATURE RESISTANT SOLAR DEKTITE (SOLADEK) IN LIEU OF STANDARD DEKTITE.
    - SOLAR ARMAFLEX IN LIEU OF STANDARD ARMAFLEX
    - IF A GAS BOOSTER HAS BEEN PROVIDED, REPLACE THE FLEXIBLE CONNECTOR BETWEEN THE TANK AND THE BOOSTER WITH HALF-INCH COPPER LINE.
  - PROTECTIVE HOUSING TO THE PUMP AND CONTROLLER
  - SOLAR COLLECTORS TO BE SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 2MM.
  - ALL WATER AND GAS CONNECTIONS TO BE METAL.
- EAVES, LININGS, FASCIAS & GABLES**
- STANDARD PVC STRIPS TO EAVES TO REMAIN (WHERE INCLUDED).
  - GABLES TO BE LINED WITH A MINIMUM 4.5MM THICK (NOM) FIBRE CEMENT SHEET.
- GUTTERS & DOWNPIPES**
- BOX GUTTERS (WHERE INCLUDED) MUST BE METAL WITH METAL FLASHINGS.
- WATER & GAS SUPPLY PIPES**
- METAL DRAINAGE VENT PIPES WITH METAL MESH TO OPENINGS.
  - COPPER WATER LINE CONNECTION TO HOUSE.
  - METAL GAS LINE CONNECTION TO GAS METER.

**Cardinia**

**ADVERTISED MATERIAL**

Planning Application: T250573  
Date Prepared: 04 May 2026

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NOTE: SECTION VIEW IS INDICATIVE ONLY-- CONSTRUCTION DETAILS, COLOUR SELECTION & CONTRACT DOCUMENTATION ITEMS TAKE PRECEDENCE

**NOTES:**

- STAIR / BALUSTRADE SHOWN ARE INDICATIVE ONLY. REFER COLOUR SELECTION.

**CONTRACT DRAWINGS**

These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

DRAWING TITLE:  
**SECTION**

SCALE 1: 100 (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

**m** **DESIGNER**

metricon

SPEC: BASE

DESIGN: <b>HIGHLANDER 68</b>	PRODUCT CODE: VD3HIG68APRDN	OWNER: [REDACTED]	
FACADE: <b>ASPIRE</b>	CEILING: <b>27G, 25F L</b>	LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810	
501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149		JOB N°: 752203	PERMIT N°: TBC
Builders Licence N°: CDB-U 52967 ACT: 005 108 752 in this drawing.		WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
© COPYRIGHT Metricon homes owns copyright Unauthorised use, reproduction or adaptation is forbidden and will be prosecuted.		DRAWN: PD2	CHECKED: NSV
Tel: 1300 786 773 www.metriconhomes.com.au		<b>CONTRACT PLAN (GF)</b> DATE: 12/03/2025	
		SHEET: <b>07/17</b>	

26/03/2026 8:59:51 AM

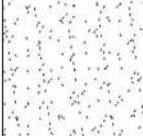


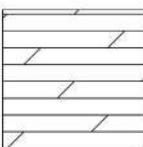
### ADVERTISED MATERIAL

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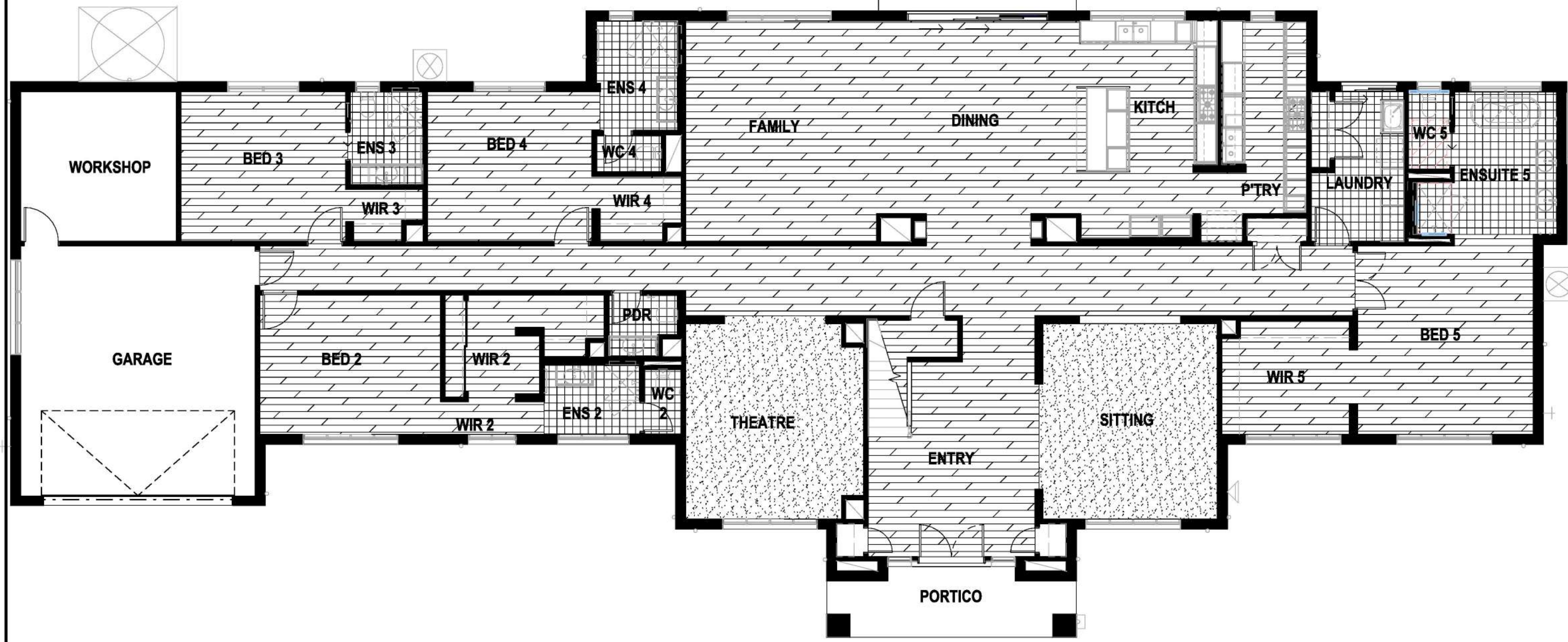
#### FLOOR COVERINGS

 CARPET 44.8 m<sup>2</sup>

 STRIP FLOORING 241.8 m<sup>2</sup>

#### FLOOR COVERINGS

 WET AREA TILES 41.8 m<sup>2</sup>



26/03/2026 8:59:53 AM

**CONTRACT DRAWINGS**  
These are the specifications and plans referred to in the Building Agreement.  
Dated .....  
Signed Builder .....  
Signed Purchaser .....

DRAWING TITLE:  
**GROUND FLOOR FLOOR COVERINGS**

SCALE 1: 100 (A3)



Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

**metricon** DESIGNER  
SPEC: BASE

DESIGN:  
**HIGHLANDER 68**

PRODUCT CODE: VD3HIG68APRDN

OWNER: [REDACTED]

CEILING:  
**27G, 25F L**

FACADE:  
**ASPIRE**

501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149

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LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810	
JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	
SHEET: 08/17	

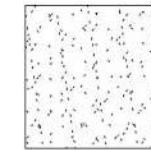


### ADVERTISED MATERIAL

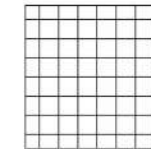
Planning Application: T250573  
Date Prepared: 04 May 2026

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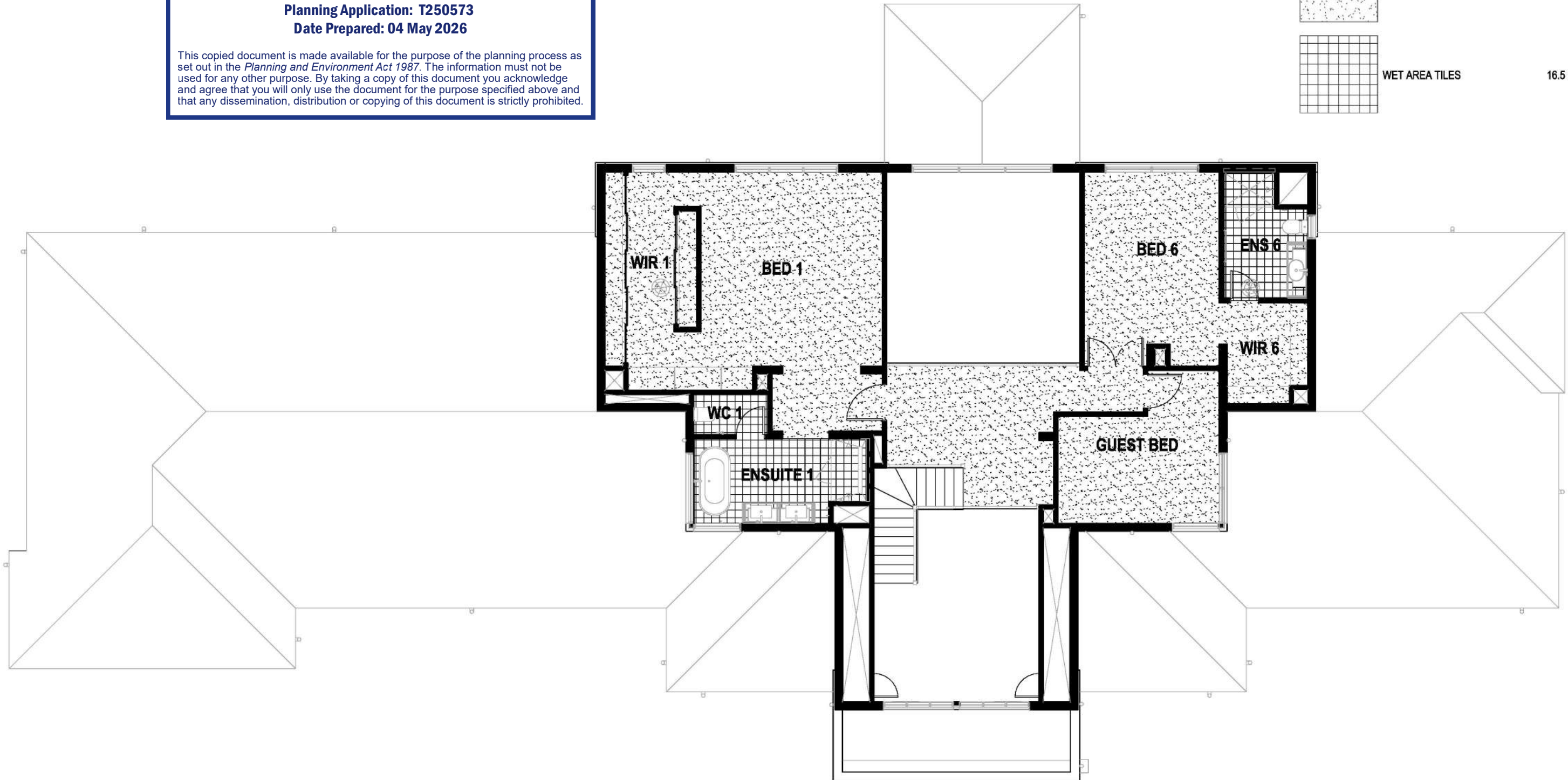
#### FLOOR COVERINGS



CARPET 95.8 m<sup>2</sup>



WET AREA TILES 16.5 m<sup>2</sup>



#### CONTRACT DRAWINGS

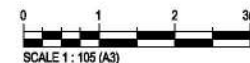
These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

DRAWING TITLE:  
FIRST FLOOR FLOOR COVERINGS



SCALE 1: 105 (A3)

Do NOT scale this drawing.  
All written dimensions take precedence over scaled dimension. If in doubt, ASK.

DESIGN:  
HIGHLANDER 68

FAÇADE:  
ASPIRE

PRODUCT CODE:  
VD3HIG68APRDN

CEILING:  
27G, 25F L

LOT 1 (NO 13) CREMIN DR,  
PAKENHAM, VIC, 3810

JOB N°: 752203 PERMIT N°: TBC

WIND SPEED: 40 M/S MASTER ISSUED: 01/04/2023

DRAWN: PD2 CHECKED: NSV SHEET:

CONTRACT PLAN (GF)  
DATE: 12/03/2025

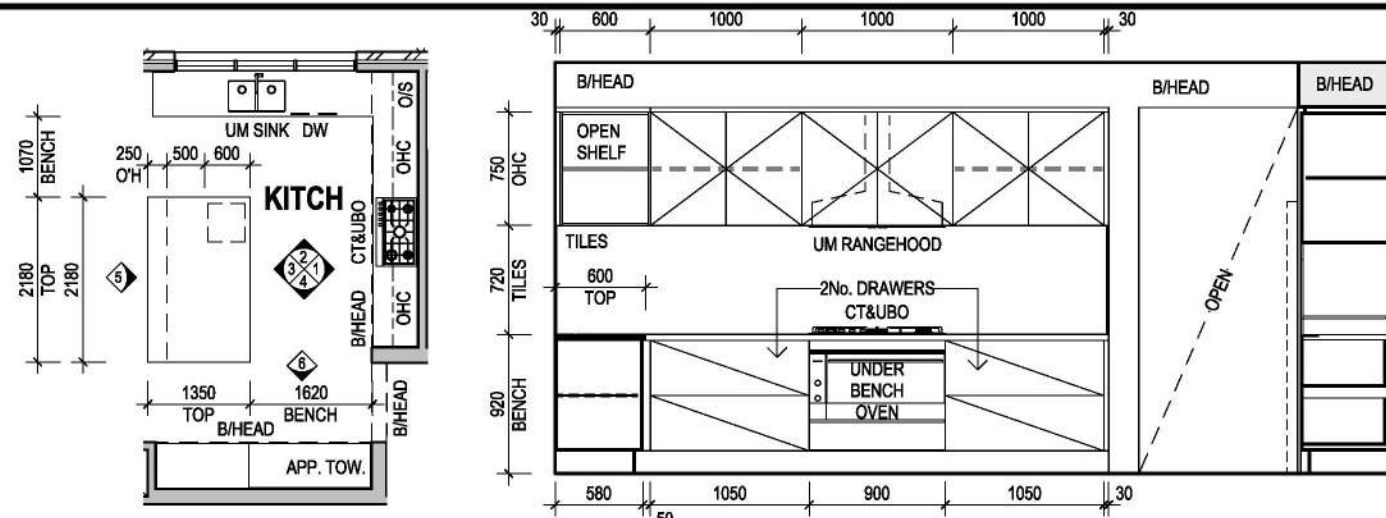
09/17

**m** DESIGNER  
metricon

SPEC: BASE

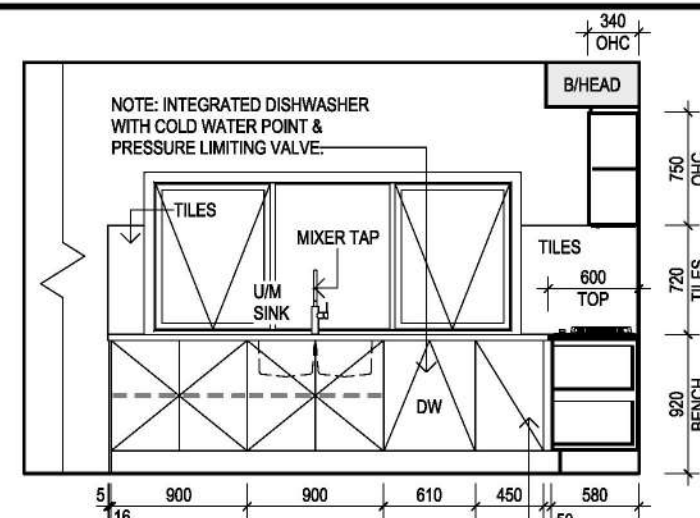
501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149  
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.  
Tel: 1300 786 773  
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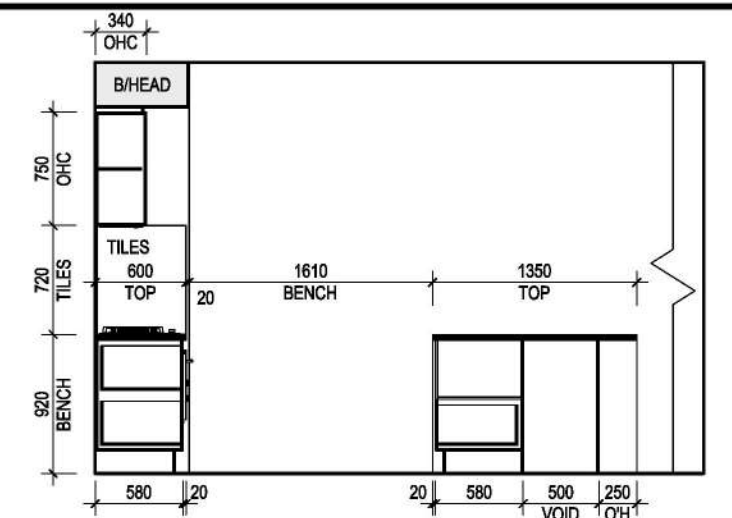


**KITCHEN**

**1 KITCHEN**



**2 KITCHEN**



**4 KITCHEN**

**Cardinia**  
**ADVERTISED MATERIAL**  
 Planning Application: T250573  
 Date Prepared: 04 May 2024

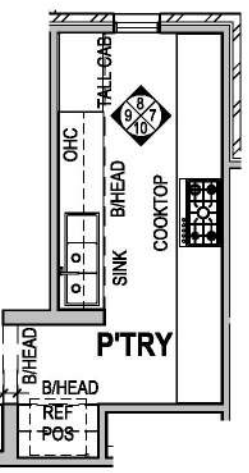
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**3 KITCHEN**

**5 KIT. ISLAND BENCH**

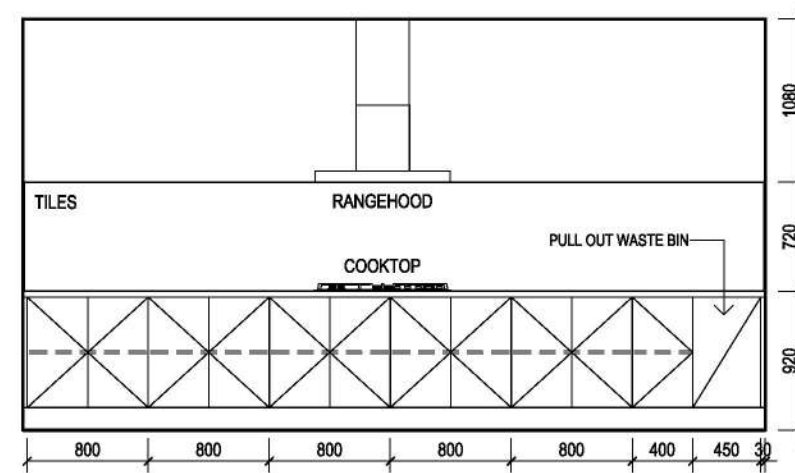
**6 KITCHEN**

**KITCHEN 3D VIEW**

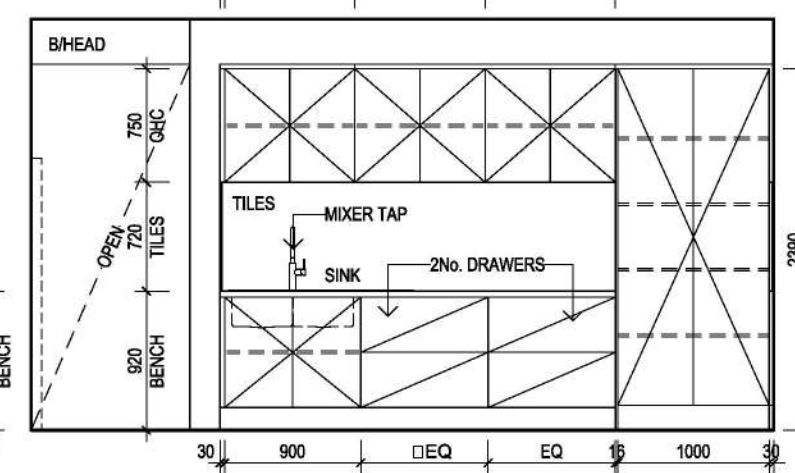


**PANTRY**

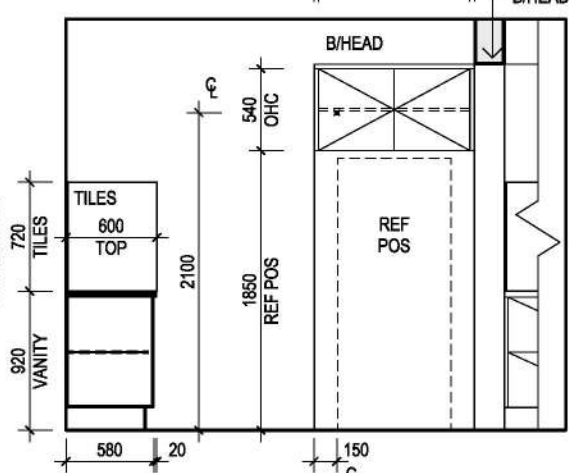
**7 PANTRY**



**8 PANTRY**



**9 PANTRY**



**10 PANTRY**

**NOTE: PROVIDE PROVISION FOR DUCTING AND EXTERNAL VENTING FOR RANGEHOOD THROUGH ROOF SPACE**

- INTERNAL DIMENSIONS ARE TAKEN FROM PLASTER.
- INTERNAL HEIGHT DIMENSIONS ARE TAKEN FROM FINISHED STRUCTURAL F.L. FLOOR COVERINGS ARE NOT ACCOUNTED FOR.
- ALL BENCHTOP DIMENSIONS ARE CRITICAL.
- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES & FINISH THICKNESSES
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.
- BENCHTOPS AND ISLAND BENCH BACK PANELS MAY HAVE A JOIN DEPENDANT ON SIZE & CONFIGURATION, POSITIONED AT THE MANUFACTURERS DISCRETION.
- PROFILE LINES DRAWN ON CABINETRY ARE INDICATIVE ONLY, REFER TO COLOUR SELECTION.
- REFER TO WAG.D-001 FOR WET AREA GENERIC DETAILS

**CONTRACT DRAWINGS**  
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 Dated .....  
 Signed Builder .....  
 Signed Purchaser .....

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1	SHELF WITH SUPPORT AS REQUIRED (No Front Rail)

DRAWING TITLE:  
**INTERNAL ELEVATIONS**

0 0.5 1 1.5m  
 SCALE As indicated (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

**metricon** DESIGNER  
 SPEC: BASE

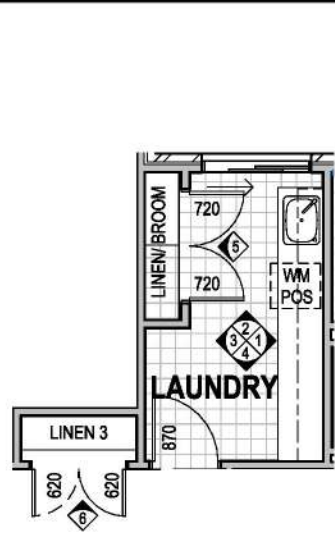
DESIGN: **HIGHLANDER 68**  
 PRODUCT CODE: [REDACTED]  
 OWNER: [REDACTED]

FACADE: **ASPIRE**  
 CEILING: **27G, 25F L**

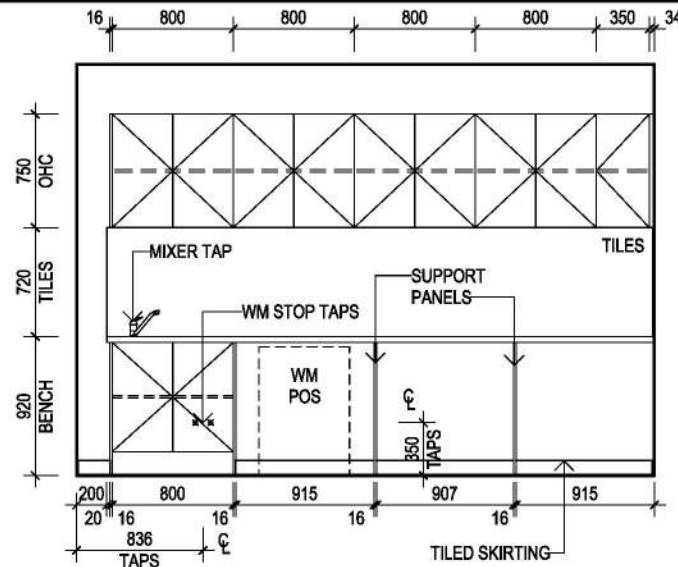
501 Blackburn Road, Mount Waverley, VIC, 3148  
 P.O. Box 857, Mount Waverley, VIC, 3149  
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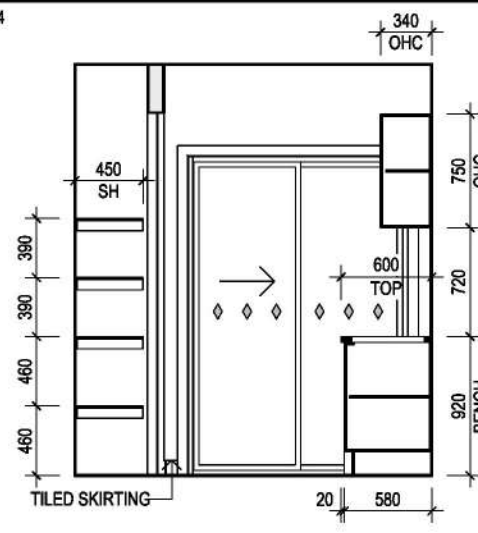
JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	SHEET: 10/17



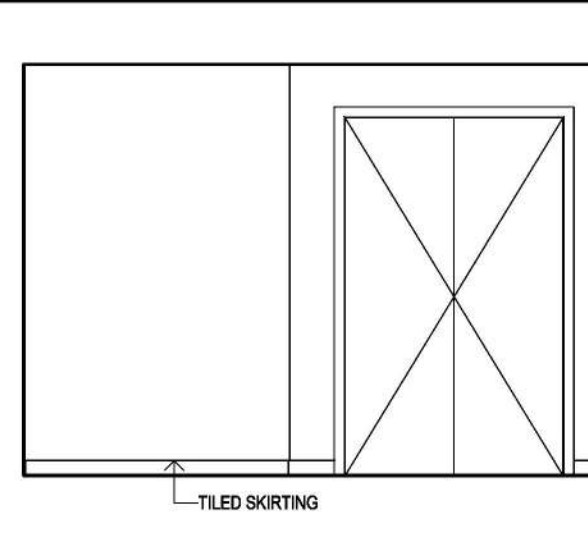
**LAUNDRY**  
1 : 100



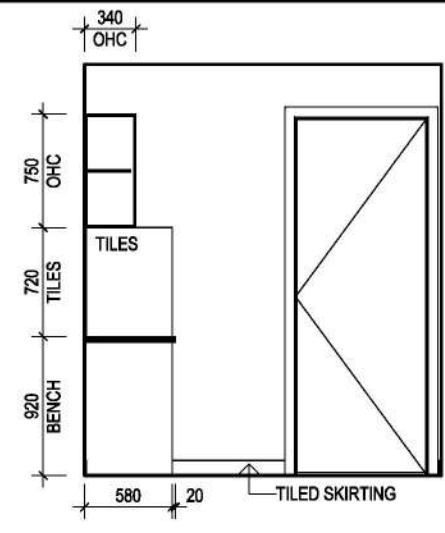
**1 LAUNDRY**  
1 : 50



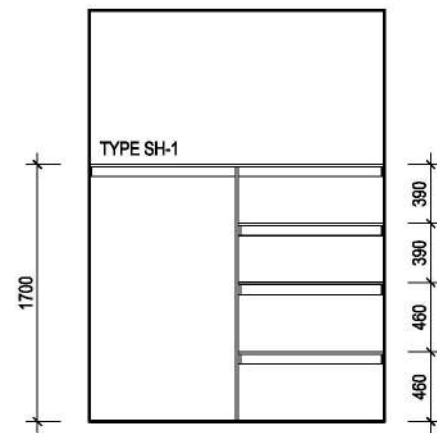
**2 LAUNDRY**  
1 : 50



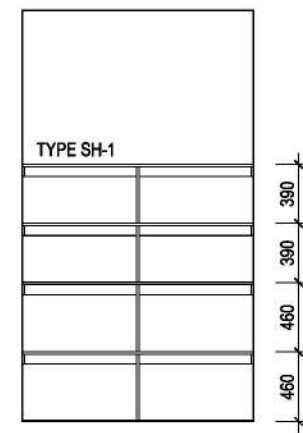
**3 LAUNDRY**  
1 : 50



**4 LAUNDRY**  
1 : 50



**5 LINEN/ BROOM**  
1 : 50

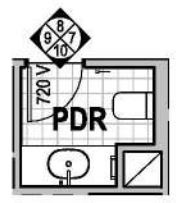


**6 LINEN 3**  
1 : 50

**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250573  
Date Prepared: 04 May 2026

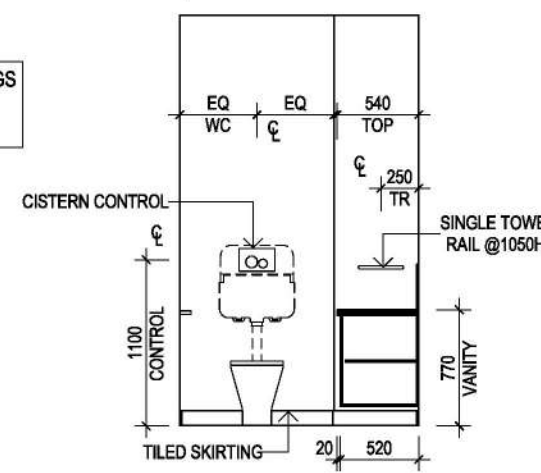
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**NOTE:** PROVIDE ADDITIONAL NOGGINGS BETWEEN STUDS AT 650MM FOR ELEVATED VANITY FIXING TO PDR.

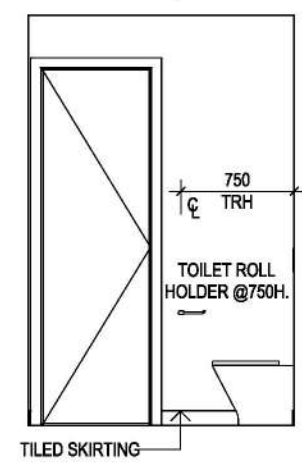


**NOTE:** PROVIDE ADDITIONAL NOGGINGS FOR SANITARYWARE

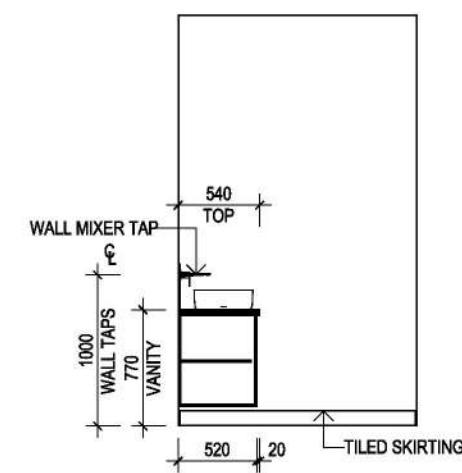
**PDR**  
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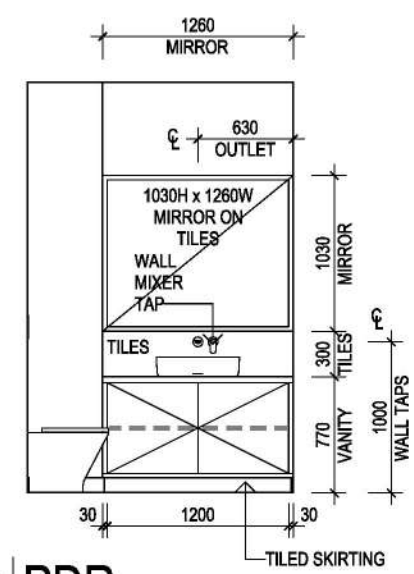
**7 PDR**  
1 : 50



**8 PDR**  
1 : 50



**9 PDR**  
1 : 50



**10 PDR**  
1 : 50

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- REFER TO WAG.D-001 FOR WET AREA GENERIC DETAILS

**CONTRACT DRAWINGS**

These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1	SHELF WITH SUPPORT AS REQUIRED (No Front Rail)
TYPE SH-1R	SHELF WITH DOUBLE HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)



DRAWING TITLE:  
**INTERNAL ELEVATIONS**

0 0.5 1 1.5m  
SCALE As Indicated (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

m

DESIGNER

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P.O. Box 857, Mount Waverley, VIC, 3149

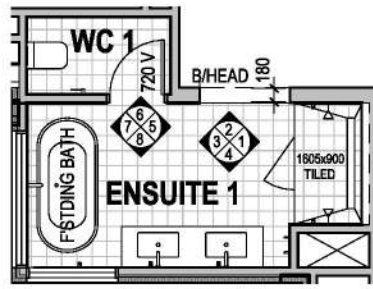
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.  
Tel: 1300 786 773  
www.metriconhomes.com.au

SPEC: BASE

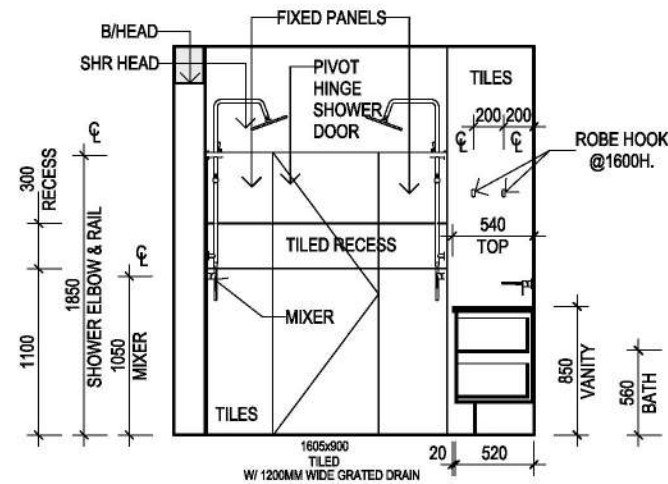
DESIGN: <b>HIGHLANDER 68</b>	PRODUCT CODE: [REDACTED]	OWNER: [REDACTED]
FACADE: <b>ASPIRE</b>	CEILING: <b>27G, 25F L</b>	LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810
501 Blackburn Road, Mount Waverley, VIC, 3149 P.O. Box 857, Mount Waverley, VIC, 3149		JOB N°: 752203 PERMIT N°: TBC
WIND SPEED: 40 M/S		MASTER ISSUED: 01/04/2023
DRAWN: PD2 CHECKED: NSV	SHEET: 11/17	
<b>CONTRACT PLAN (GF)</b> DATE: 12/03/2025		

26/03/2026 8:59:59 AM

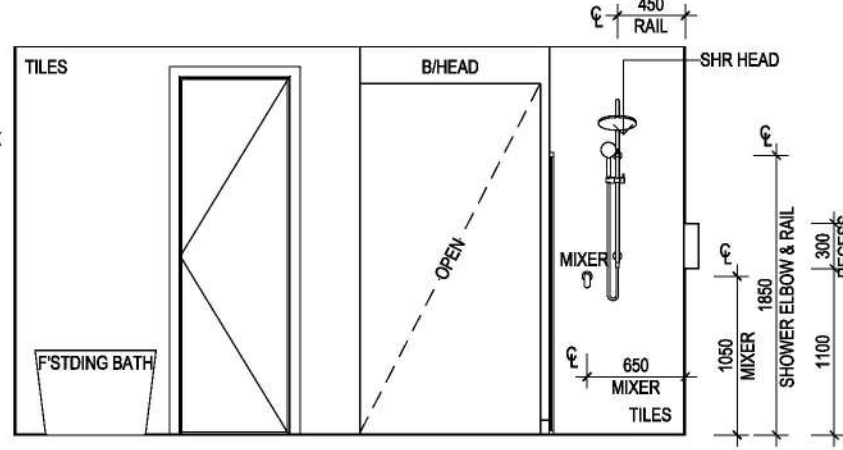
NOTE: PROVIDE ADDITIONAL NOGGINGS FOR SANITARYWARE



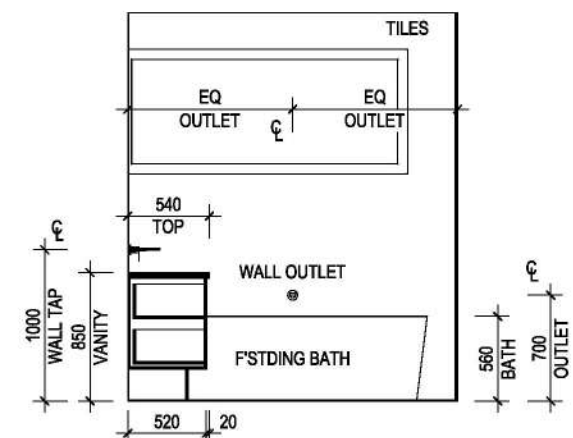
NOTE: PROVIDE FULL HEIGHT WALL TILING TO ENSUITE (EXCLUDES WC)



1 ENSUITE 1  
1:50

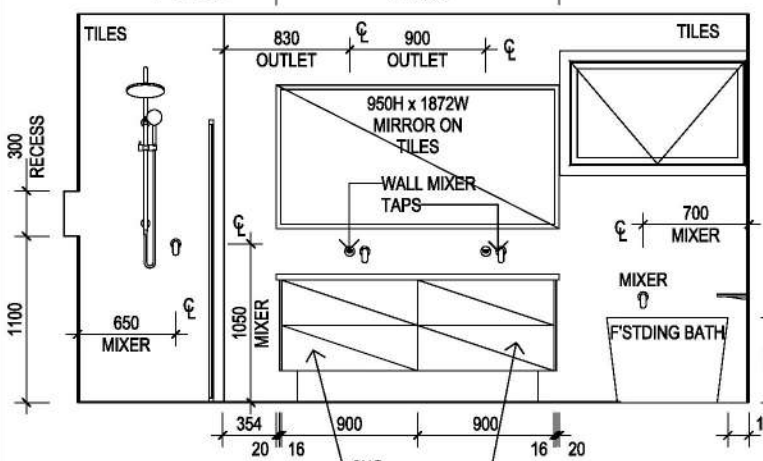


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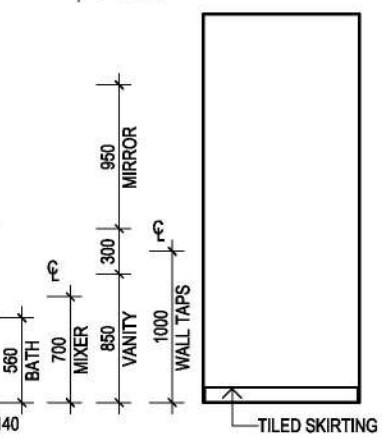


3 ENSUITE 1  
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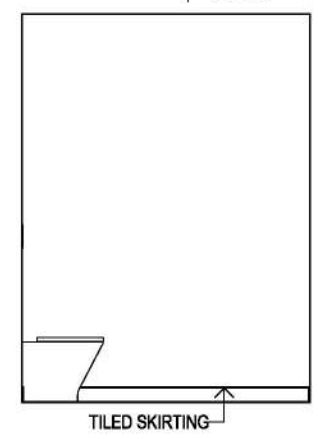
ENS 1/ WC 1  
1:100



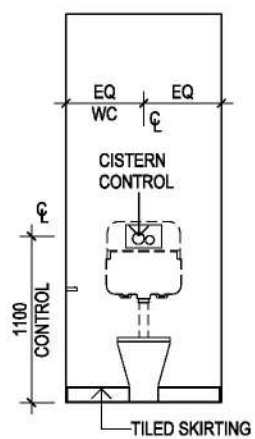
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1:50



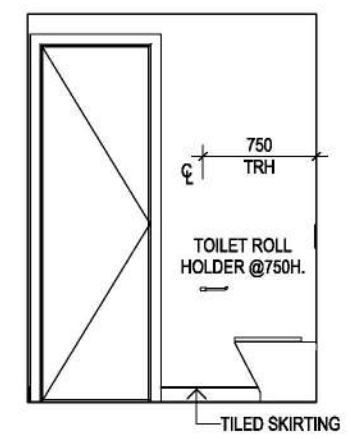
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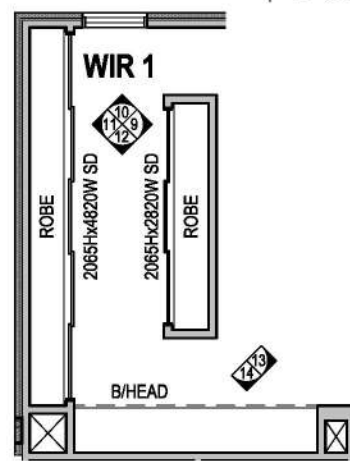
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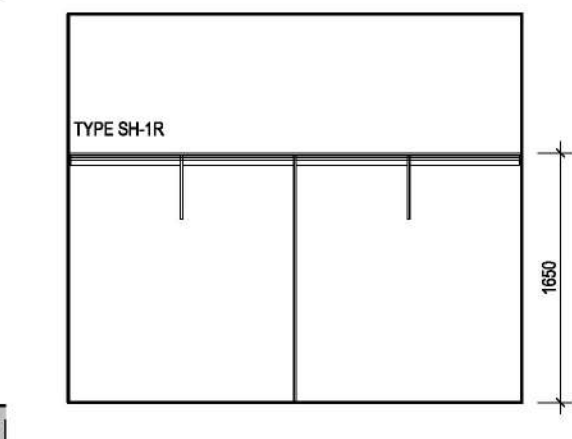
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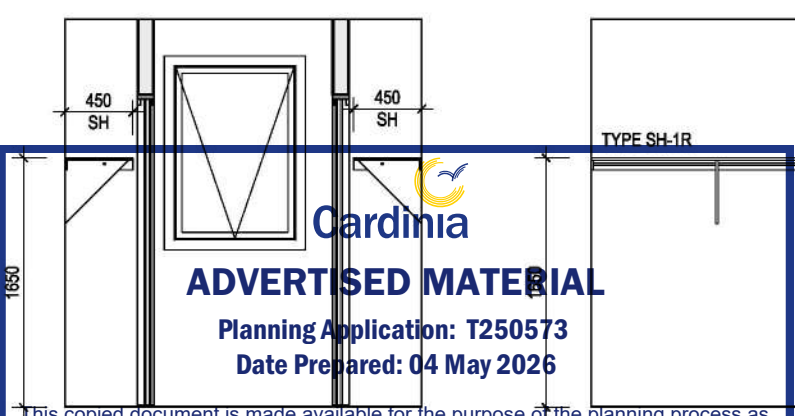
8 WC 1  
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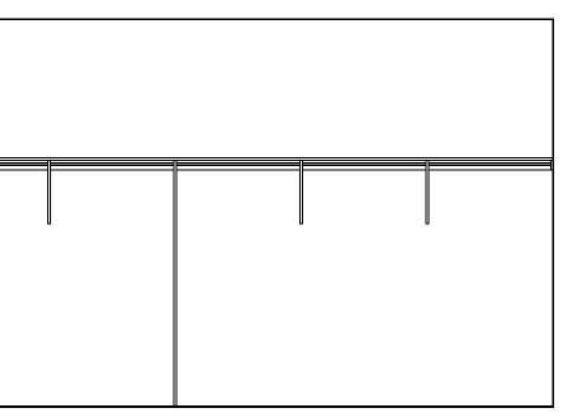
WIR 1  
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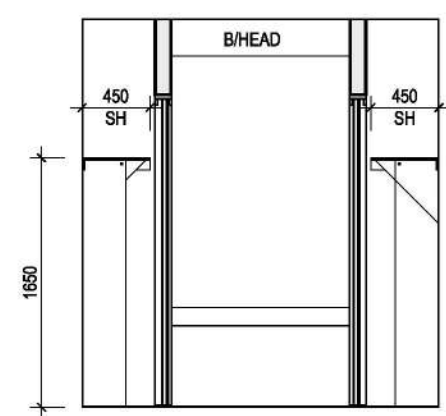
9 WIR 1  
1:50



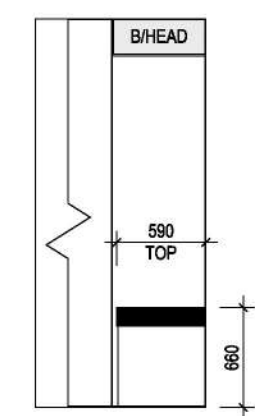
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1:50



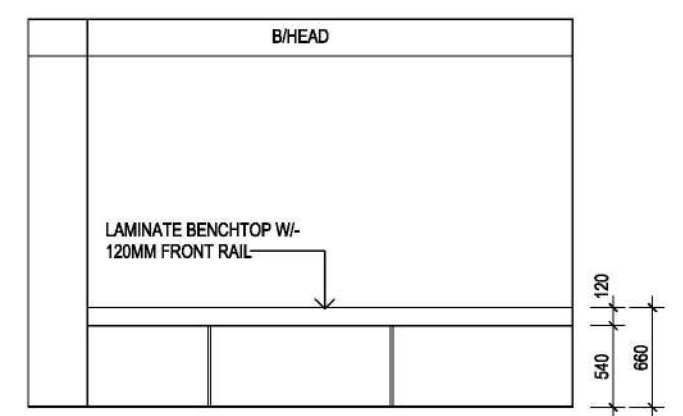
11 WIR 1  
1:50



12 WIR 1  
1:50



13 WIR ALCOVE  
1:50



14 WIR ALCOVE  
1:50

Cardinia  
ADVERTISED MATERIAL  
Planning Application: T250573  
Date Prepared: 04 May 2026

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**CONTRACT DRAWINGS**  
These are the specifications and plans referred to in the Building Agreement.  
Dated: .....  
Signed Builder: .....  
Signed Purchaser: .....

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH DOUBLE HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)



DRAWING TITLE:  
**INTERNAL ELEVATIONS**

0 0.5 1 1.5m  
SCALE As indicated (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

**metricon** DESIGNER  
SPEC: BASE

DESIGN: **HIGHLANDER 68**

PRODUCT CODE: [REDACTED]

OWNER: [REDACTED]

CEILING: **27G, 25F L**

FACADE: **ASPIRE**

501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149

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LOT 1 (NO 13) CREMIN DR,  
PAKENHAM, VIC, 3810

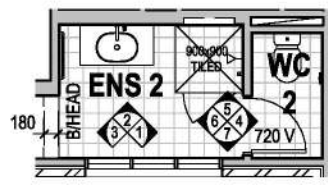
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WIND SPEED: 40 M/S MASTER ISSUED: 01/04/2023

DRAWN: PD2 CHECKED: NSV SHEET: 12/17

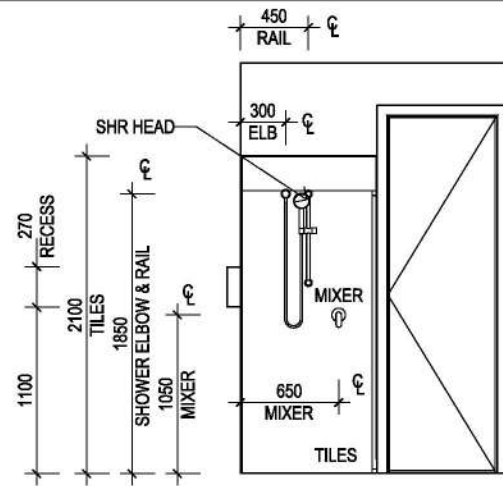
**CONTRACT PLAN (GF)**  
DATE: 12/03/2025

**NOTE:** PROVIDE ADDITIONAL NOGGINGS BETWEEN STUDS AT 650MM FOR ELEVATED VANITY FIXING TO ENS 2.

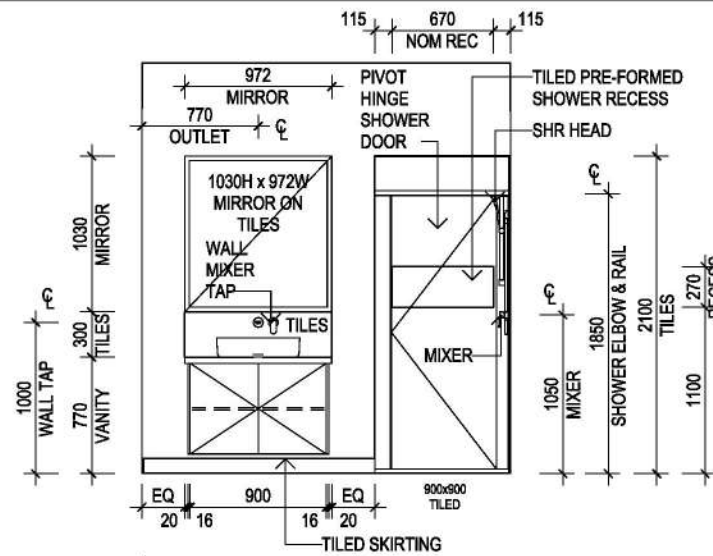


**NOTE:** PROVIDE ADDITIONAL NOGGINGS FOR SANITARYWARE

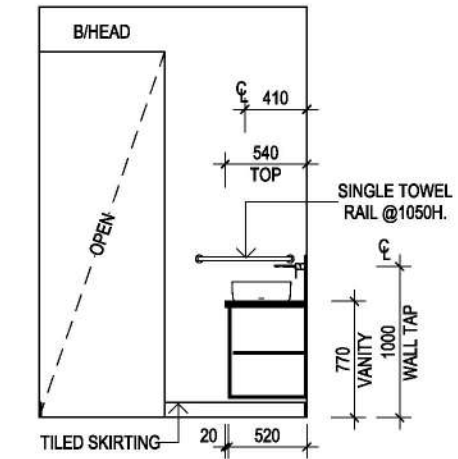
**ENSUITE 2/ WIR 2**  
1 : 100



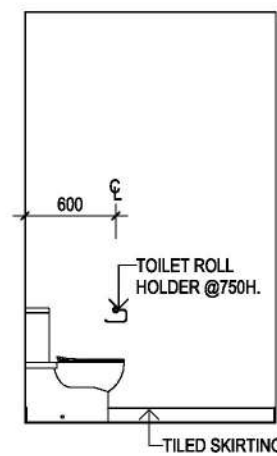
**1 ENSUITE 2**  
1 : 50



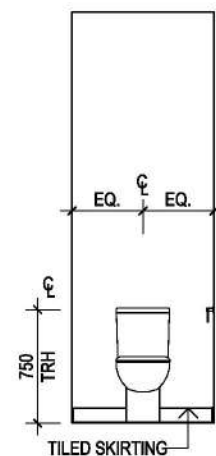
**2 ENSUITE 2**  
1 : 50



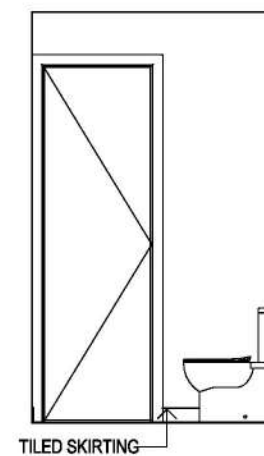
**3 ENSUITE 2**  
1 : 50



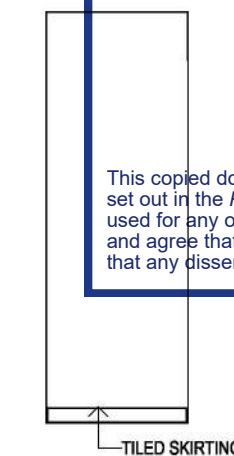
**4 WC 2**  
1 : 50



**5 WC 2**  
1 : 50



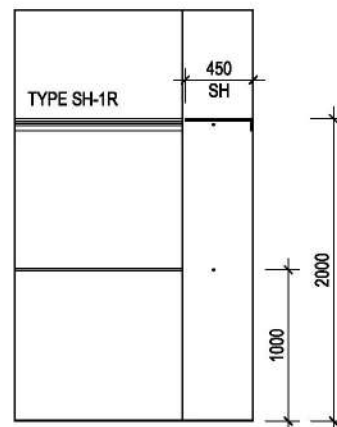
**6 WC 2**  
1 : 50



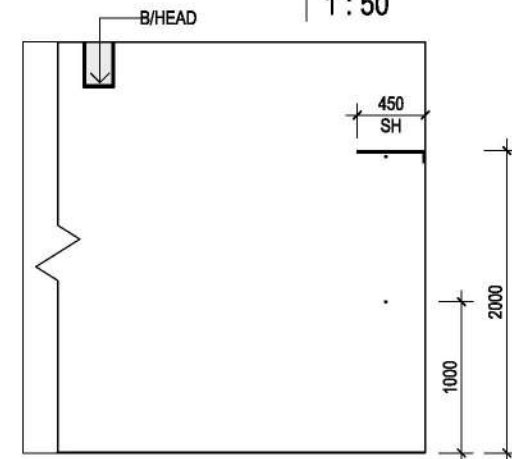
**7 WC 2**  
1 : 50



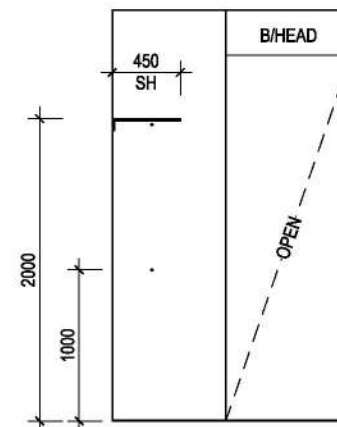
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1 : 100



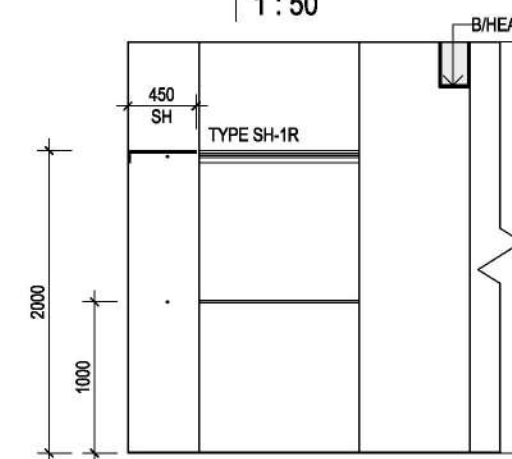
**8 WIR 2**  
1 : 50



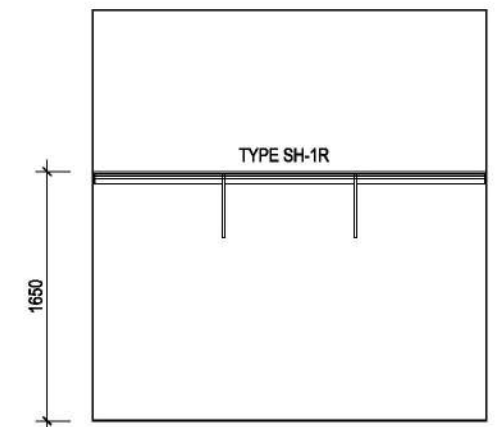
**9 WIR 2**  
1 : 50



**10 WIR 2**  
1 : 50



**11 WIR 2**  
1 : 50



**12 WIR 2**  
1 : 50

**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250573  
Date Prepared: 04 May 2026

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**CONTRACT DRAWINGS**

These are the specifications and plans referred to in the Building Agreement.

Dated .....

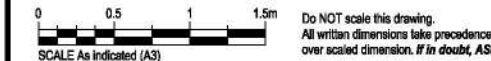
Signed Builder .....

Signed Purchaser .....

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH DOUBLE HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)



DRAWING TITLE:  
**INTERNAL ELEVATIONS**



**metricon** DESIGNER  
SPEC: BASE

DESIGN:  
**HIGHLANDER 68**

FAÇADE:  
**ASPIRE**

501 Blackburn Road, Mount Waverley, VIC, 3148  
P.O. Box 857, Mount Waverley, VIC, 3148  
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.  
Tel: 1300 786 773  
www.metriconhomes.com.au

PRODUCT CODE:

CEILING:  
**27G, 25F L**

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LOT 1 (NO 13) CREMIN DR,  
PAKENHAM, VIC, 3810

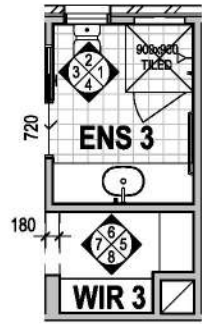
JOB N°: 752203 PERMIT N°: TBC  
WIND SPEED: 40 M/S MASTER ISSUED: 01/04/2023

DRAWN: PD2 CHECKED: NSV SHEET:

**CONTRACT PLAN (GF)**  
DATE: 12/03/2025

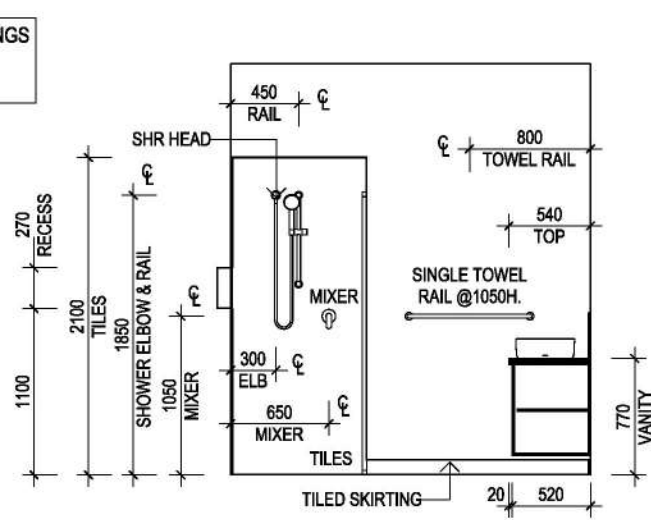
13/17

**NOTE:** PROVIDE ADDITIONAL NOGGINGS BETWEEN STUDS AT 650MM FOR ELEVATED VANITY FIXING TO ENS 3.

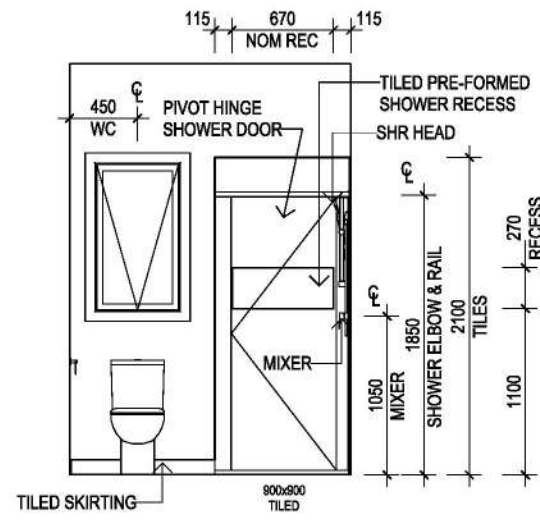


**NOTE:** PROVIDE ADDITIONAL NOGGINGS FOR SANITARYWARE

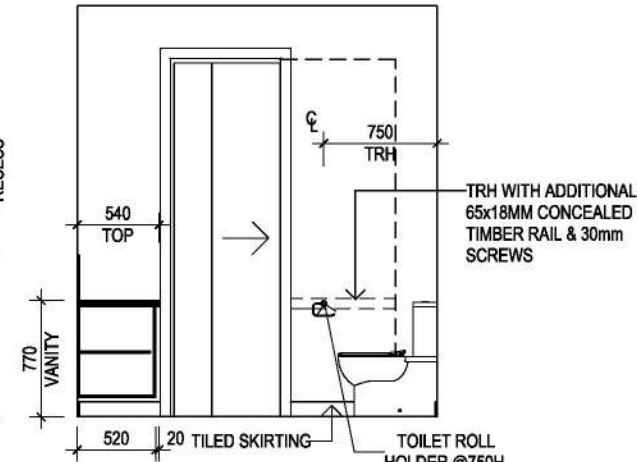
**ENS 3/ WIR 3**  
1 : 100



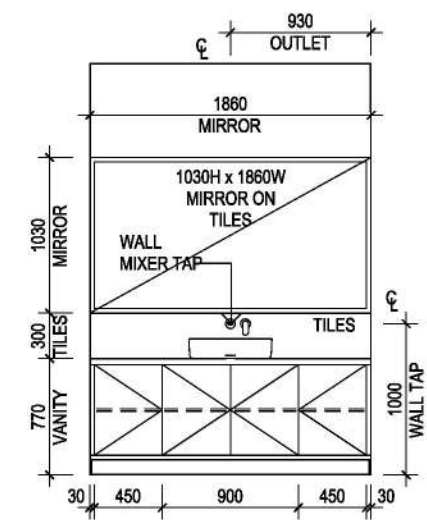
**1 ENSUITE 3**  
1 : 50



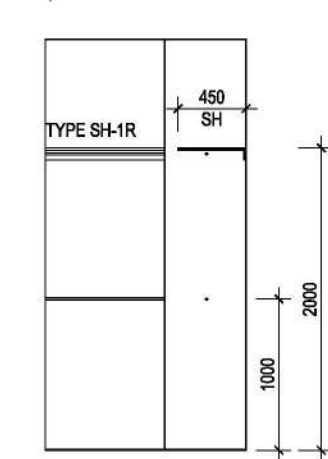
**2 ENSUITE 3**  
1 : 50



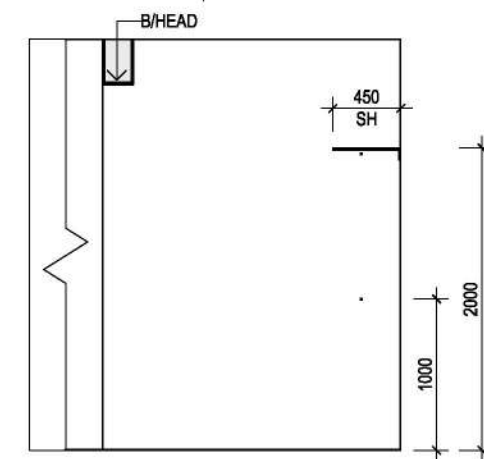
**3 ENSUITE 3**  
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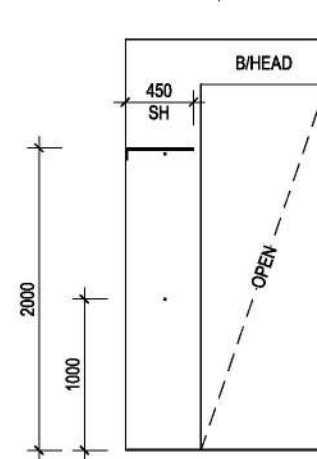
**4 ENSUITE 3**  
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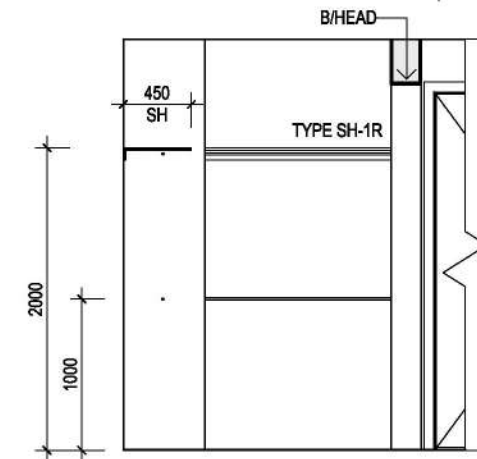
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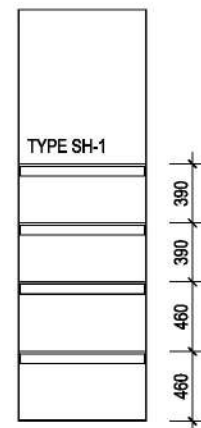
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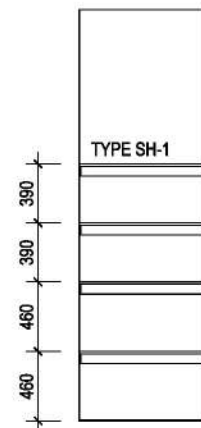
**7 WIR 3**  
1 : 50



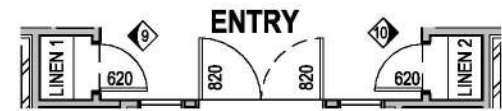
**8 WIR 3**  
1 : 50



**9 LINEN 1**  
1 : 50



**10 LINEN 2**  
1 : 50



**ENTRY**  
1 : 100

**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250573  
Date Prepared: 04 May 2026

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- PROFILE LINES DRAWN ON CABINERY ARE INDICATIVE ONLY, REFER TO COLOUR SELECTION.
- REFER TO WAG.D-001 FOR WET AREA GENERIC DETAILS

**CONTRACT DRAWINGS**

These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1	SHELF WITH SUPPORT AS REQUIRED (No Front Rail)
TYPE SH-1R	SHELF WITH DOUBLE HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)



DRAWING TITLE:  
**INTERNAL ELEVATIONS**

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

**metricon** DESIGNER  
SPEC: BASE

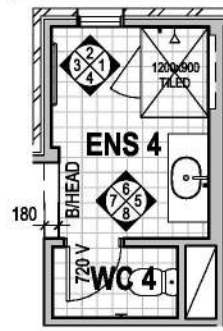
DESIGN: **HIGHLANDER 68**  
PRODUCT CODE:  
OWNER:  
FACADE: **ASPIRE**  
CEILING: **27G, 25F L**

501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149  
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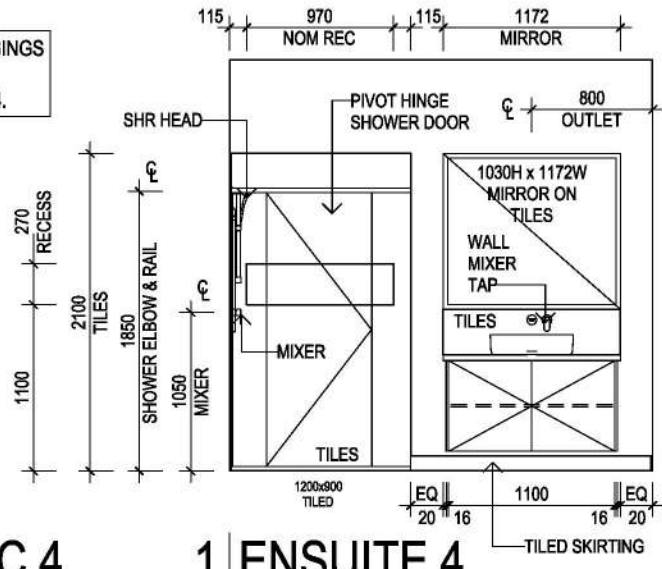
JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	
SHEET: 14/17	

**NOTE:** PROVIDE ADDITIONAL NOGGINGS BETWEEN STUDS AT 650MM FOR ELEVATED VANITY FIXING TO ENS 4.

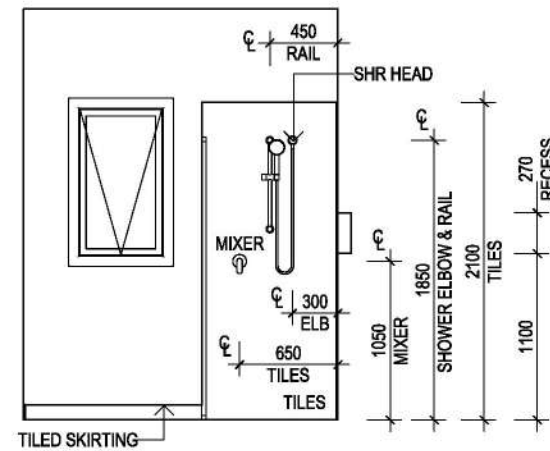


**NOTE:** PROVIDE ADDITIONAL NOGGINGS FOR SANITARYWARE

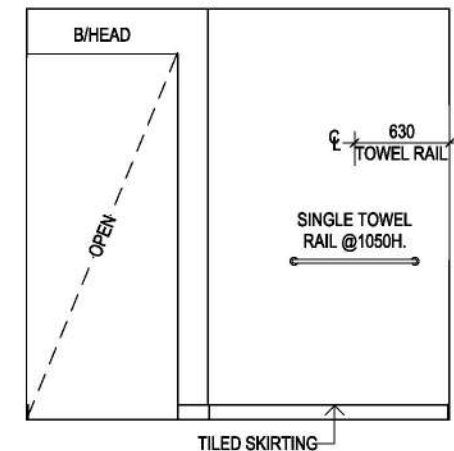
**ENSUITE 4/ WC 4**  
1 : 100



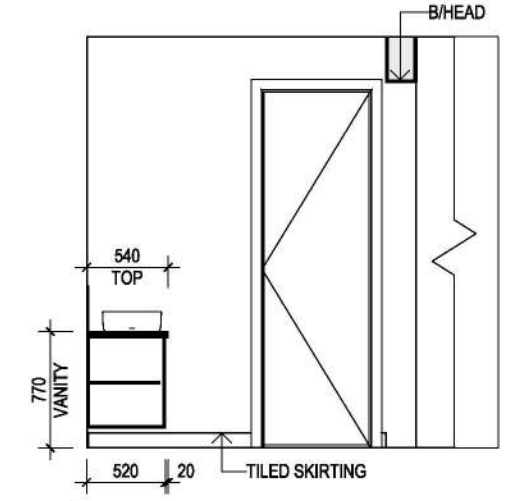
**1 ENSUITE 4**  
1 : 50



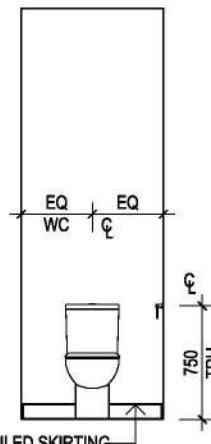
**2 ENSUITE 4**  
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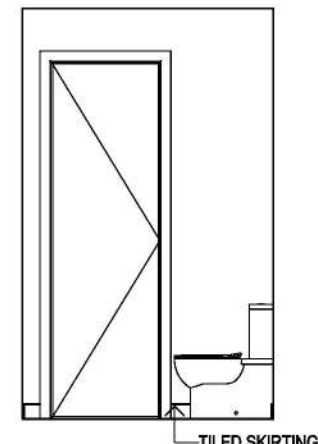
**3 ENSUITE 4**  
1 : 50



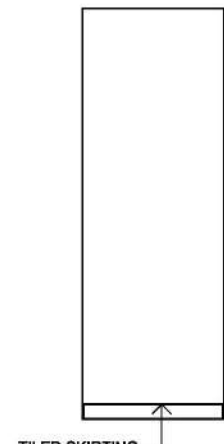
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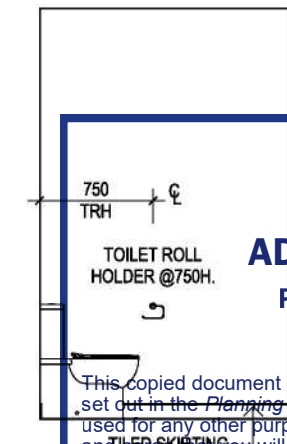
**5 WC 4**  
1 : 50



**6 WC 4**  
1 : 50



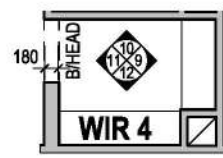
**7 WC 4**  
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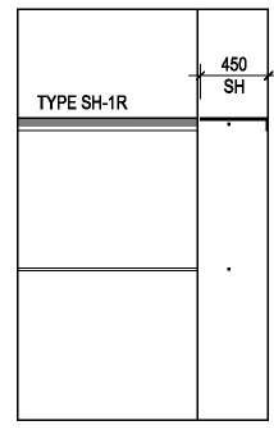
**8 WC 4**  
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**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250573  
Date Prepared: 04 May 2026

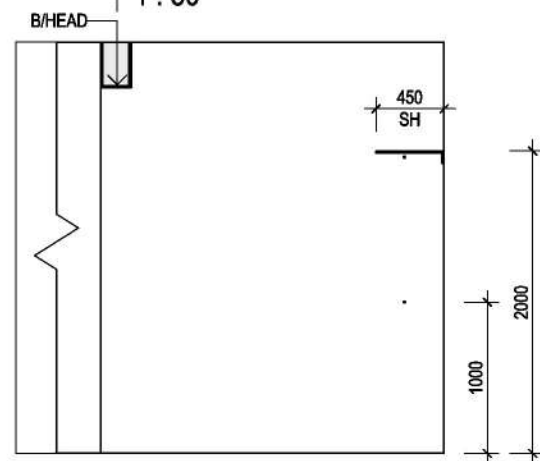
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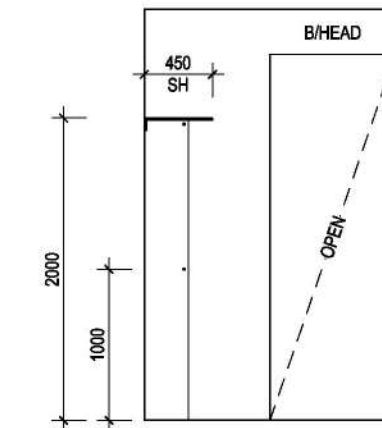
**WIR 4**  
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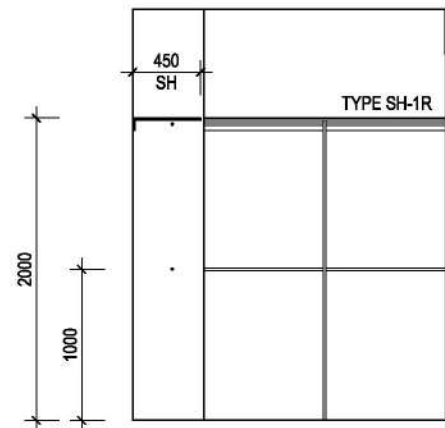
**9 WIR 4**  
1 : 50



**10 WIR 4**  
1 : 50



**11 WIR 4**  
1 : 50



**12 WIR 4**  
1 : 50

**CONTRACT DRAWINGS**

These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH DOUBLE HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)



DRAWING TITLE:  
**INTERNAL ELEVATIONS**

SCALE: As indicated (A3)

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

**metricon** DESIGNER  
SPEC: BASE

DESIGN: **HIGHLANDER 68**

PRODUCT CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_

CEILING: **27G, 25F L**

FACADE: **ASPIRE**

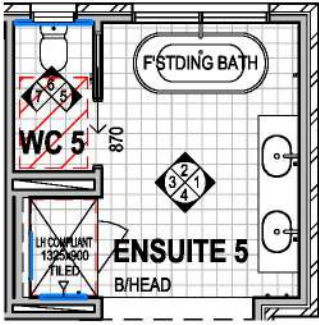
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P.O. Box 857, Mount Waverley, VIC, 3149

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JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	
SHEET: 15/17	

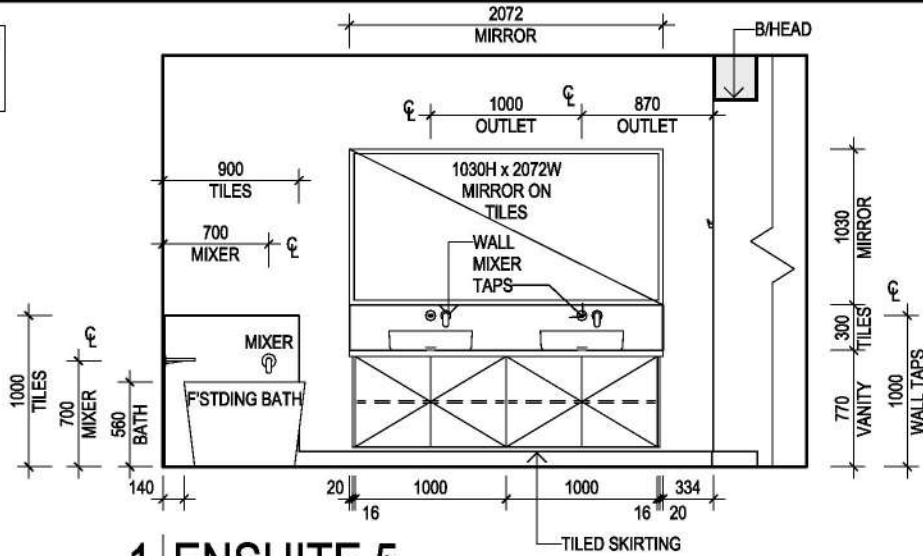
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**NOTE:** PROVIDE ADDITIONAL NOGGINGS BETWEEN STUDS AT 650MM FOR ELEVATED VANITY FIXING TO ENS 5.

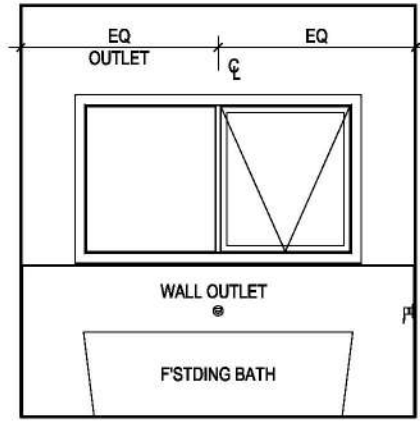


**NOTE:** PROVIDE ADDITIONAL NOGGINGS FOR SANITARYWARE

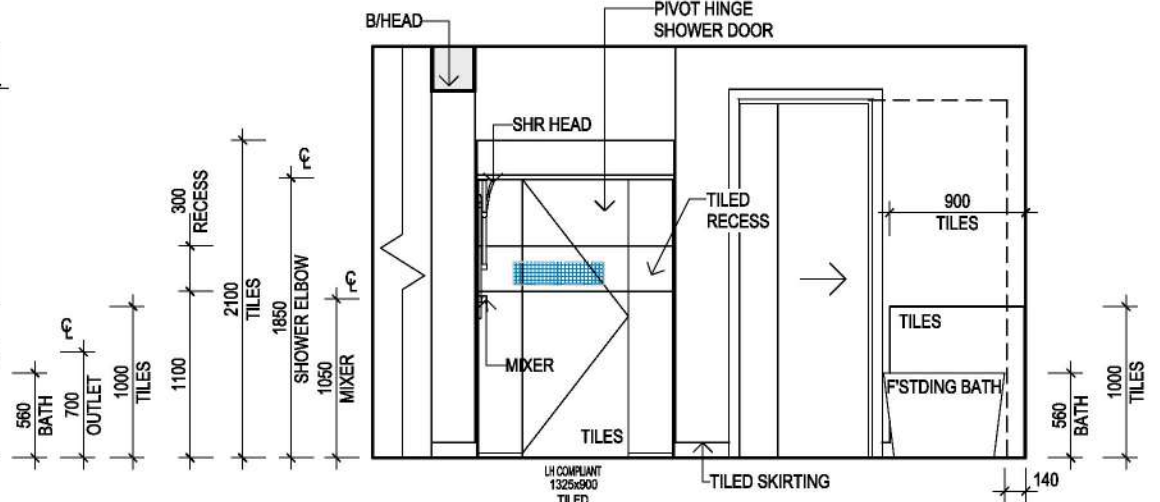
**ENS 5/ WC 5**  
1 : 100



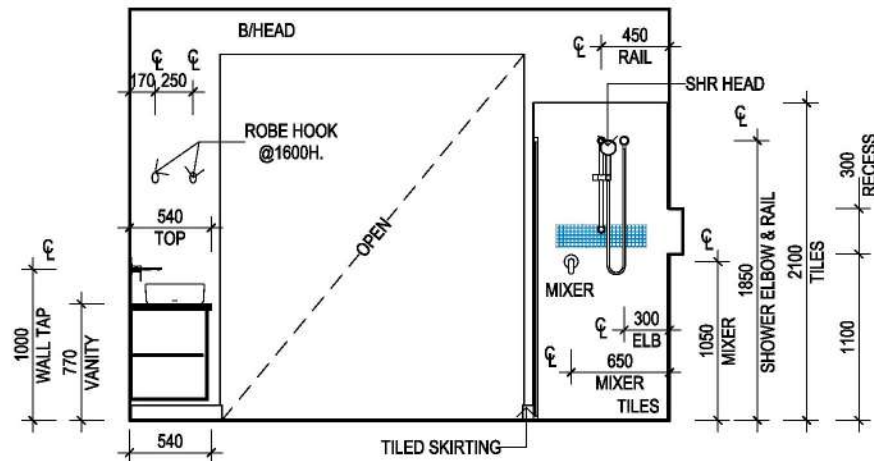
**1 ENSUITE 5**  
1 : 50



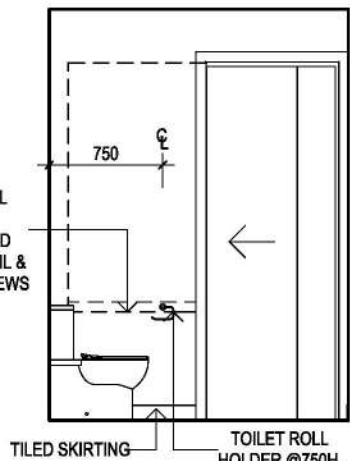
**2 ENSUITE 5**  
1 : 50



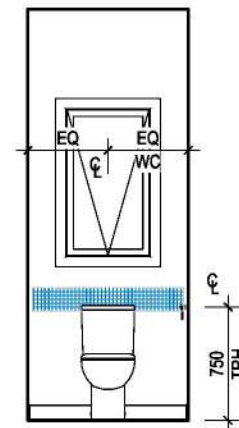
**3 ENSUITE 5**  
1 : 50



**4 ENSUITE 5**  
1 : 50



**5 WC 5**  
1 : 50

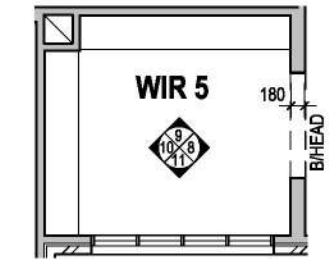


**6 WC 5**  
1 : 50

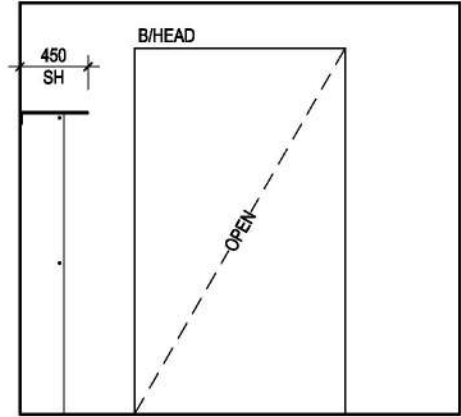
**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250573  
Date Prepared: 04 May 2026

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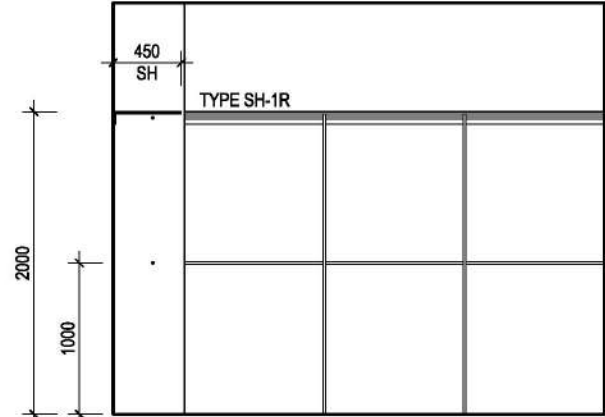
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1 : 50



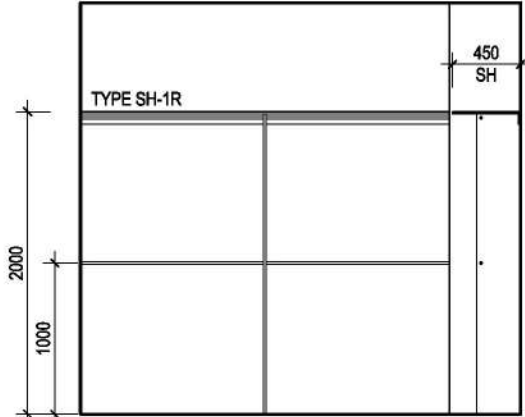
**WIR 5**  
1 : 100



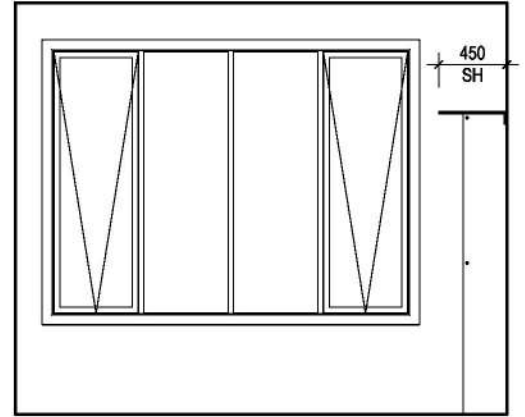
**8 WIR 5**  
1 : 50



**9 WIR 5**  
1 : 50



**10 WIR 5**  
1 : 50



**11 WIR 5**  
1 : 50

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SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH DOUBLE HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)

900W. x 1200D. CIRCULATION SPACE TO FRONT EDGE OF TOILET PAN

IN WALL REINFORCING REFER DETAIL

DRAWING TITLE:  
**INTERNAL ELEVATIONS**

0 0.5 1 1.5m  
SCALE As indicated (A3)

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**m** **DESIGNER**  
metricon

SPEC: BASE

DESIGN: **HIGHLANDER 68**

PRODUCT CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_

CEILING: **27G, 25F L**

FACADE: **ASPIRE**

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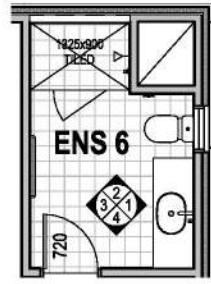
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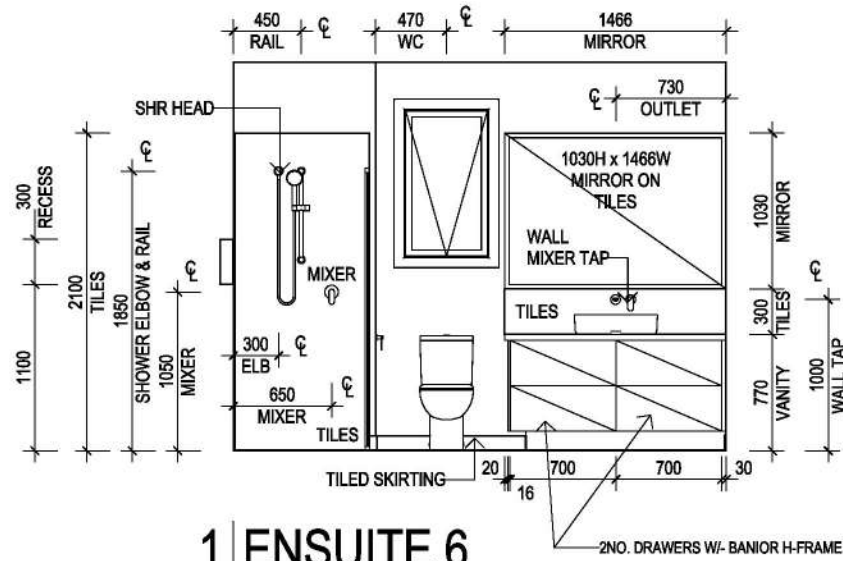
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WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
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DATE: 12/03/2025	
SHEET: 16/17	

26/03/2026 9:00:09 AM

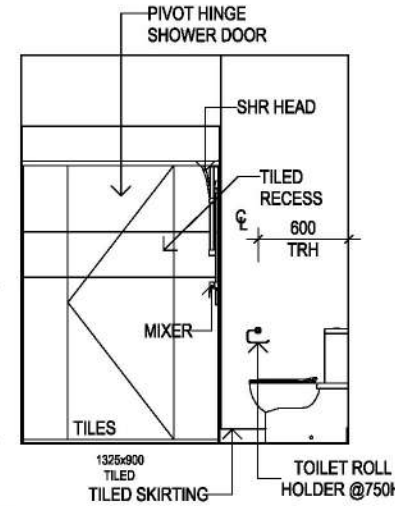


**NOTE:** PROVIDE ADDITIONAL NOGGINGS FOR SANITARYWARE

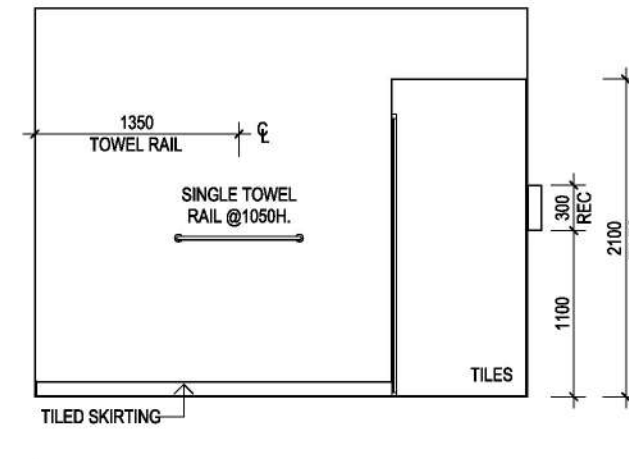
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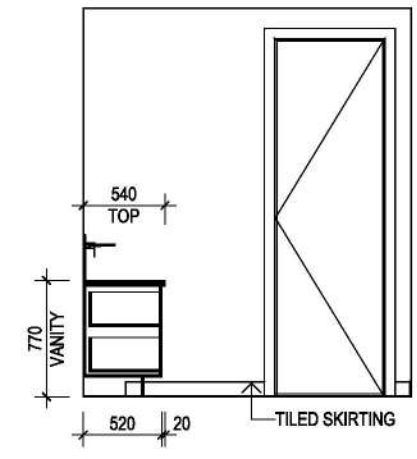
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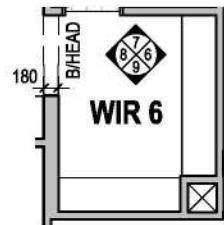
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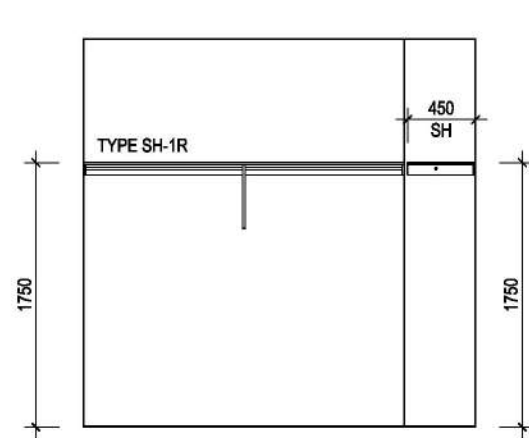
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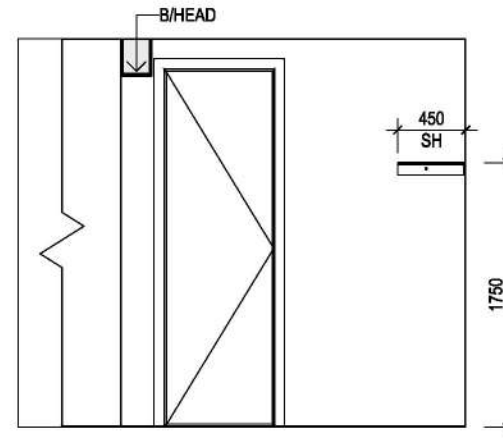
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1 : 50



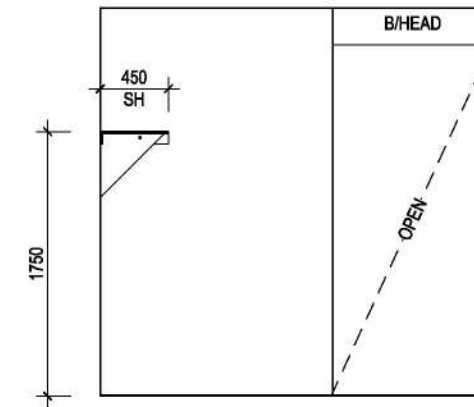
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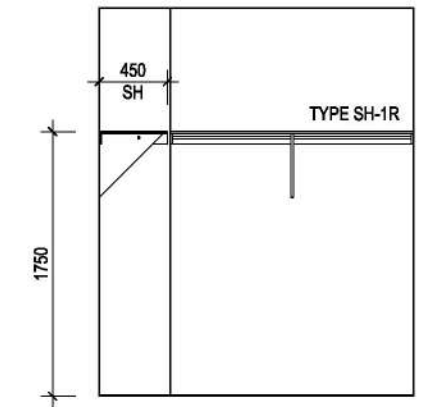
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**7 WIR 6**  
1 : 50



**8 WIR 6**  
1 : 50



**9 WIR 6**  
1 : 50

**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250573  
Date Prepared: 04 May 2026

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- INTERNAL HEIGHT DIMENSIONS ARE TAKEN FROM FINISHED STRUCTURAL F.L. FLOOR COVERINGS ARE NOT ACCOUNTED FOR.
- ALL BENCHTOP DIMENSIONS ARE CRITICAL.
- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES & FINISH THICKNESSES
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.
- BENCHTOPS AND ISLAND BENCH BACK PANELS MAY HAVE A JOIN DEPENDANT ON SIZE & CONFIGURATION, POSITIONED AT THE MANUFACTURERS DISCRETION.
- PROFILE LINES DRAWN ON CABINETRY ARE INDICATIVE ONLY, REFER TO COLOUR SELECTION.
- REFER TO WAG.D-001 FOR WET AREA GENERIC DETAILS

**CONTRACT DRAWINGS**

These are the specifications and plans referred to in the Building Agreement.

Dated .....

Signed Builder .....

Signed Purchaser .....

SHELF LEGEND	
REFER DETAIL: N-GUIDE-SHELF TYPES-01	
TYPE SH-1R	SHELF WITH DOUBLE HANGING RAIL & SUPPORT AS REQUIRED (No Front Rail)



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**INTERNAL ELEVATIONS**

0 0.5 1 1.5m  
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**HIGHLANDER 68**

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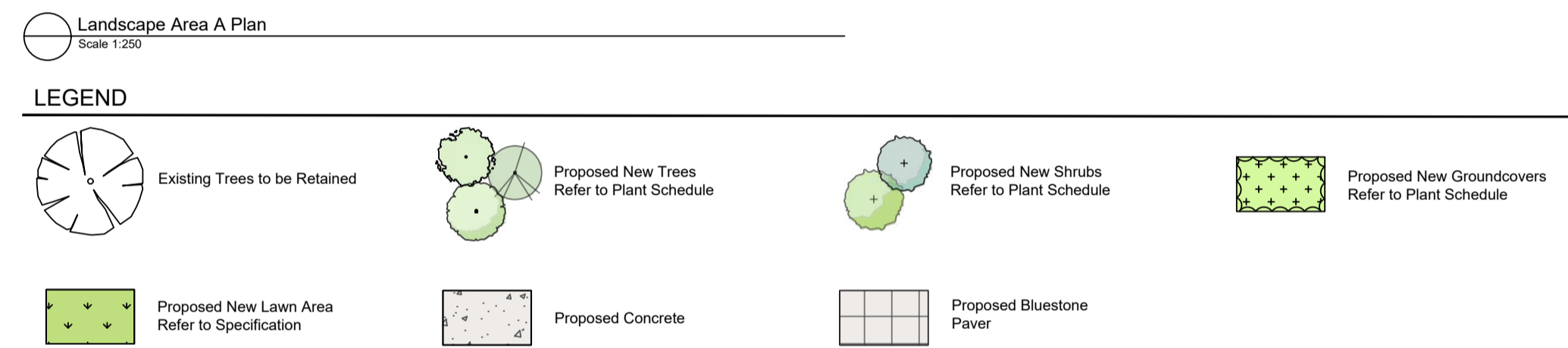
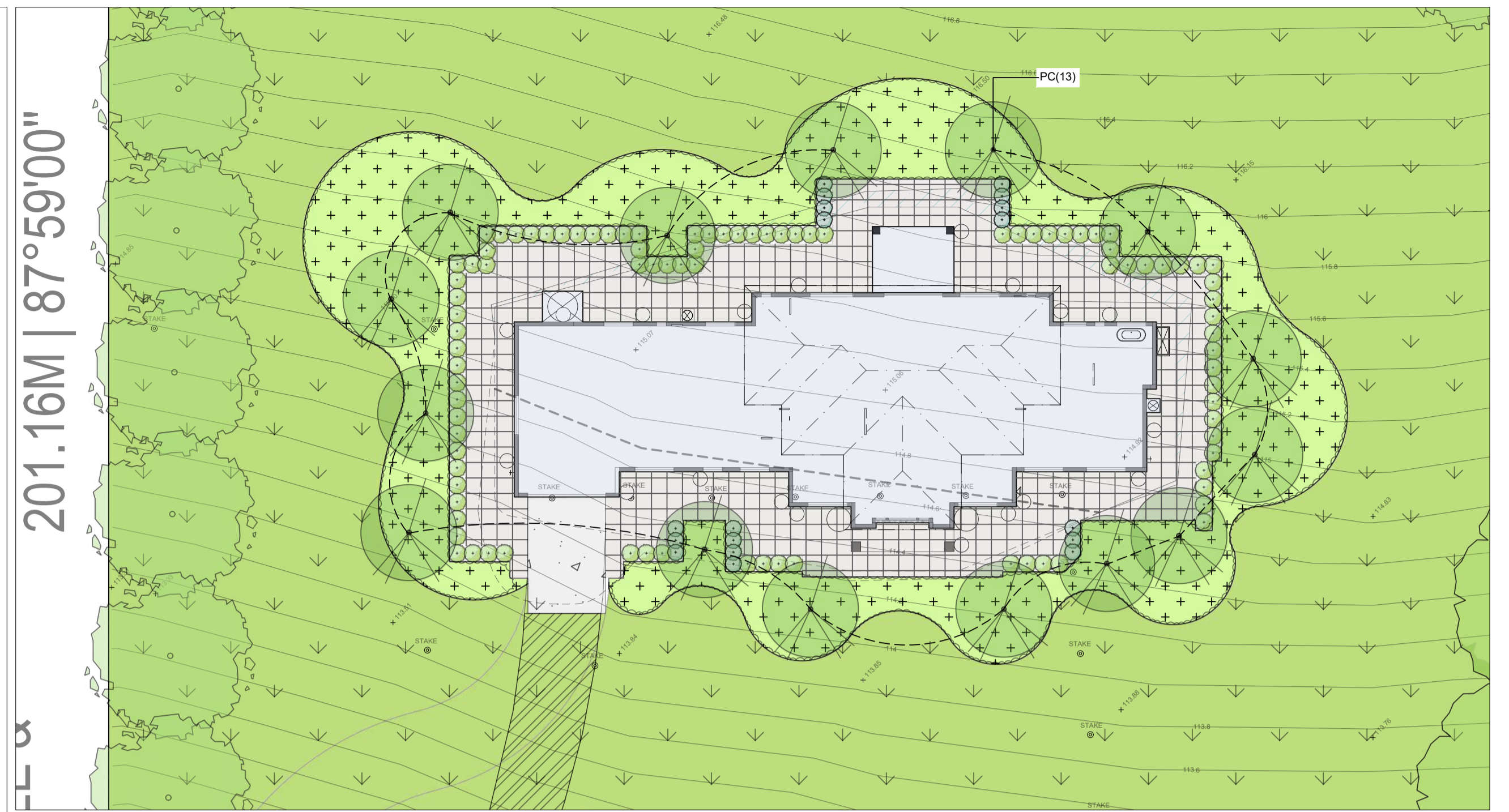
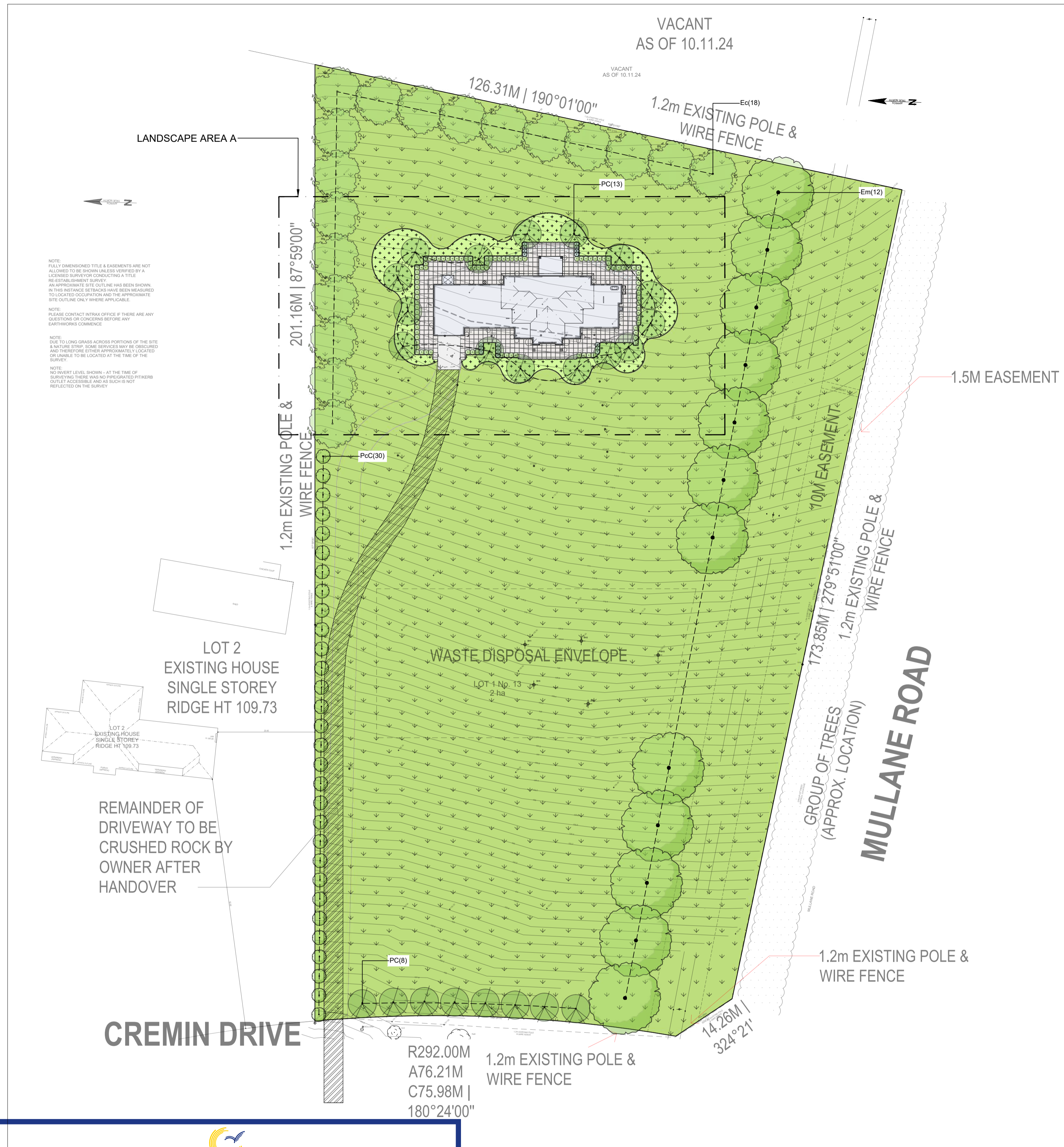
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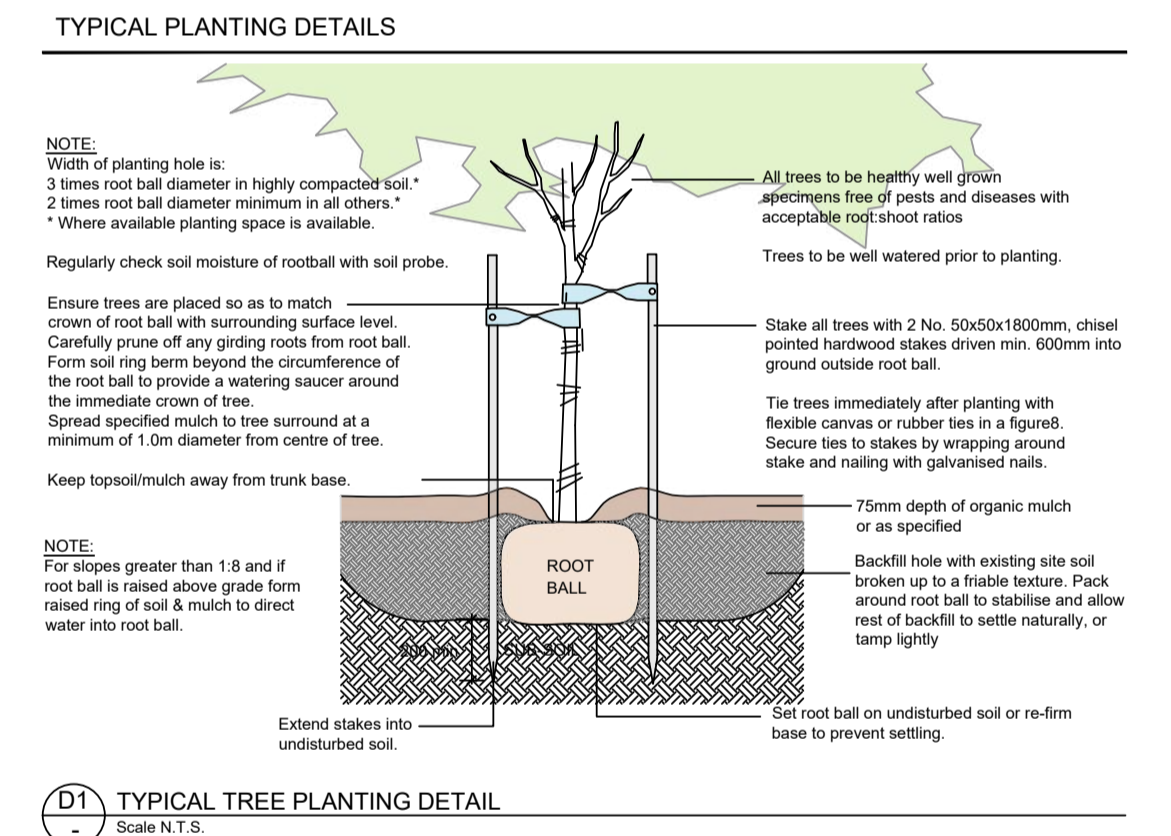
LOT 1 (NO 13) CREMIN DR, PAKENHAM, VIC, 3810	
JOB N°: 752203	PERMIT N°: TBC
WIND SPEED: 40 M/S	MASTER ISSUED: 01/04/2023
DRAWN: PD2	CHECKED: NSV
<b>CONTRACT PLAN (GF)</b>	
DATE: 12/03/2025	
SHEET: 17/17	

26/03/2026 9:00:11 AM



SYM	BOTANICAL NAME	COMMON NAME	DE/EX*	HEIGHT X WIDTH AT MATURITY	MIN SUPPLY SIZE	QTY
<b>TREES</b>						
Ec	<i>Eucalyptus camaldulensis</i>	River Red Gum	EN	12-30 x 10-15m	30cm <sup>1</sup> 5mH	18
Em	<i>Eucalyptus melliodora</i>	Yellow Box	EN	10-30 x 8-25m	30cm <sup>1</sup> 5mH	12
EplS	<i>Eucalyptus pauciflora</i> 'Little Snow man'	Dwarf Snow Gum	EN	5-10 x 4-6m	50cm <sup>2</sup> 0mH	9
PcC	<i>Pyrus calleryana</i> 'Capital'	Capital Pear	D/Ex	11 x 3m	50cm <sup>2</sup> 0mH	30
PC	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Callery Pear	D/Ex	11 x 6m	50cm <sup>2</sup> 0mH	12
<b>TOTAL</b>						<b>81</b>
<b>SHRUBS</b>						
Ca	<i>Correa alba</i>	White Correa	EI	1-1.5 x 1-1.5m	140mm pot	
Tc	<i>Tetradlea ciliata</i>	Pink Bells	EI	0.5 x 0.5m	140mm pot	
Or	<i>Olearia ramulosa</i>	Twiggy Daisy Bush	EI	1.5 x 1m	140mm pot	
<b>TOTAL</b>						<b>3</b>
<b>GROUNDCOVERS</b>						
D	<i>Dichondra repens</i>	Kidney Plant	EI	0.1 x 1m	140mm pot	
Lp	<i>Lobelia pedunculata</i>	Matted Pratia	EI	Prostrate by spreading	140mm pot	
LIT	<i>Lomandra longifolia</i> 'Tanika'	Tanika Mat-rush	EN	0.50-0.8 x 0.65m	140mm pot	
Vh	<i>Viola hederacea</i>	ivy-leaf Violet	EI	0.15 x Spreading	140mm pot	
<b>TOTAL</b>						<b>4</b>

\*E/D = Evergreen / Deciduous N/I/Ex = Natives / Indigenous/Exotic



SPECIFICATION NOTES

**Soil Preparation**  
Crushed rock, concrete spillage and any other material restrictive to plant growth (e.g. large rocks) shall be removed from the site of any planting beds and semi-advanced trees. All trees to be removed shall be stump ground and all rubbish/vegetative spoil is to be removed from site. Existing top soil in planting areas is to be preserved so that it does not receive additional compaction from site machinery and so that no rubble or building supplies are stored in these areas.

No imported top soil is to be used within the root zones of trees to be protected. Any preparation of existing soil for planting within these areas is to be done by hand only. Holes (e.g. as the result of plant removal) and uneven soil levels may be patched using topsoil as specified below.

Any imported topsoil is to be free of weeds, rubble and other materials damaging to plant growth and is to be of a medium texture (sandy loam) with a pH of 6.0-7.0. Top soil is to be laid over a prepared sub-base which has had any materials damaging to plant growth (e.g. rubble and large rocks) removed, spread to the appropriate depth and cultivated into the existing site soil to a minimum depth of 150mm.

Imported top soil is to be lightly and uniformly compacted in 150mm layers to a minimum depth of 100mm on lawn areas and 300mm on excavated planting beds.

**Weed Removal**  
All weeds shall be thoroughly removed. All vegetative material, including roots and rhizomes of non-woody perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stump ground. All vegetative material shall be appropriately disposed of off site in a manner which will not allow their re-establishment elsewhere. Any chemical controls are to be used in accordance with manufacturer's instructions and standard occupational health and safety procedures.

Care must be taken to ensure that all trees to be retained are not damaged during weed removal. This also implies that any herbicides used are suitable for use around the vegetation to be retained.

**Planting**  
Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely.

All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root curl or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety.

Planting holes for shrubs and groundcovers are to be of minimum size 75mm larger than the planting pot in all directions. Semi-advanced tree planting holes are to be the same depth as the rootball and 2-3 times its diameter, with the top of the rootball being at grade. A 75mm high berm is to be constructed at edge of rootball to hold water. All plants are to be thoroughly watered after planting and slow release fertiliser added at the quantities specified by the manufacturer.

**Mulch**  
Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded pine bark or hardwood with not more than 5% fines content by volume (preferably zero fines). The average size of the woodchip must be approximately 10mm x 20mm x 5mm and the maximum length is not to exceed 30mm. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. Mulch is to be kept back 100mm from the stems of all plants to prevent collar rot.

**Timber Edges**  
Provide 75 x 25mm treated pine edges to all borders between gravel mulch paths and garden beds using 75x25x300mm long treated pine stakes at 1200mm maximum centres. An additional stake is to be provided at joints in the plinth.

**Irrigation**  
An approved drip irrigation system is to be supplied to all landscape areas. An approved pop-up spray system is to be supplied to all lawn areas. It is the responsibility of the contractor to ensure that all irrigation meets manufacturers specifications. The system is to be connected to mains supply and include a rain-shut off device. All drip line is to be buried with approx. 50mm of topsoil cover and shall be anchored at regular intervals to ensure the tubing cannot be dislodged.

**Lawn - Turf**  
'Sapphire' Soft Leaf Buffalo turf (or similar) is to be supplied to lawn areas as shown. Turf is to be supplied by a specialist grower and is not to be allowed to dry out between cutting and laying. Turf should be laid in a stretcher pattern so that joints are staggered and is to be lightly tamped following laying. All lawn areas are to be thoroughly watered following planting and fertilised with an appropriate lawn starter at the quantities recommended by the manufacturer.

**Repair/Restoration of damaged Nature-strips**  
Nature strips are to be restored to current grades with any depressions filled with topsoil to specifications above and lightly compacted in 150mm layers. Areas are then to be re-seeded

using an appropriate and matching turf type and the area fenced off to allow the re-establishment of lawn. Re-seeded areas are to be well irrigated and the area supplied with a slow release fertiliser at the quantities recommended by the manufacturer.

Any areas of lawn which have failed to germinate (achieve an even green 95% covering of a consistent height) are to be re-seeded within one month of original sowing date.

**Plant Establishment Period**  
There shall be a 13 weeks Plant Establishment Period following the approval of Practical Completion by the Responsible Authority. During this period the landscape contractor shall make good all defects in his/her scope of works. Maintenance and Establishment means the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that become apparent in the work under normal use. This shall include, but shall not be limited to watering, fertilising, weeding, pruning, pest and disease control, cultivation, re-staking and replacement of any plants that fail with plants of the same species and size.

Landscape Plan  
Scale 1:500

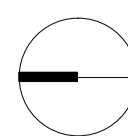


**ADVERTISED MATERIAL**  
Planning Application: T250573  
Date Prepared: 04 May 2026

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**PROPOSED LANDSCAPE PLAN FOR TOWN PLANNING**

Lot1 (No13) Cremin Dr, Pakenham



DRAWING NUMBER	SHEET NUMBER	DRAWN BY	CHECKED BY	ISSUE DATE	PROJECT NUMBER
LP01	01	CX	CX	24/04/26	25-39

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