

Notice of Application for a Planning Permit


ADVERTISED MATERIAL
 Planning Application: T260093
 Date Prepared: 21 April 2026

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The land affected by the application is located at:	L2 LP22715 V8265 F229 27 Kilvington Drive, Emerald VIC 3782
The application is for a permit to:	Buildings and works (extension to an existing dwelling)

A permit is required under the following clauses of the planning scheme:

35.06-5	Construct a building or construct or carry out works associated with a use in Section 2 (Dwelling)
35.06-5	Construct a building within nominated setbacks
42.01-2	Construct a building or construct or carry out works

APPLICATION DETAILS

The applicant for the permit is:	[REDACTED]
Application number:	T260093

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

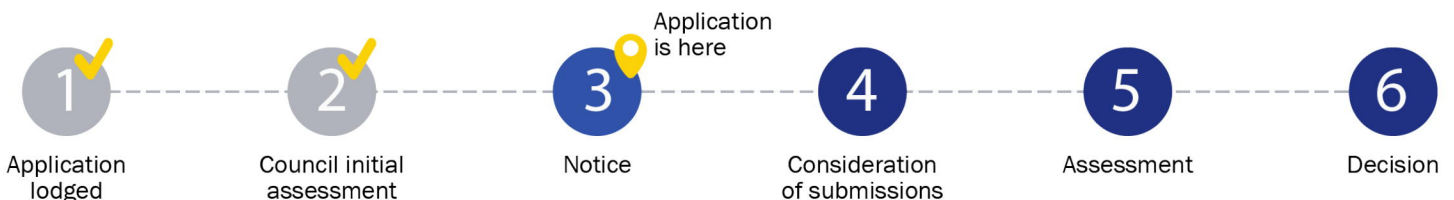
This can be done during office hours and is free of charge.

Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.



HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	06 May 2026	
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"> be made to the Responsible Authority in writing; include the reasons for the objection; and state how the objector would be affected. 	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application Summary

Portal Reference: A12667ZM

Basic Information

Proposed Use	This application seeks approval for a building extension to the rear of the existing single-dwelling residence. The primary objective of the proposal is to increase the internal living amenity to meet the needs of a growing family while maintaining the architectural integrity of the original home.
Current Use	Owner occupied residential dwelling
Cost of Works	\$500,000
Site Address	27 Kilvington Drive Emerald 3782

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address
Applicant	[REDACTED]	27 Kilvington Drive, Emerald VIC 3782
Owner	[REDACTED]	27 Kilvington Drive, Emerald VIC 3782
Preferred Contact	[REDACTED]	27 Kilvington Drive, Emerald VIC 3782

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
Total			\$1,462.50



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
15-02-2026	Alteration statement	Statement Proposed Amendments to Dwelling.docx
15-02-2026	Site plans	27 Kilvington Dr, Emerald - WD.3.pdf
15-02-2026	Additional Document	27-Kilvington-Drive-Emerald-(ID1526632)-Vicplan-Planning-Property-Report.pdf
15-02-2026	Additional Document	Approva_RP10APlus_Vic.pdf
15-02-2026	Additional Document	CC 27 Kilvington Dve Emerald.pdf
15-02-2026	Additional Document	Energy Assessment_27 Kilvington Drive.pdf
15-02-2026	A Copy of Title	Title 27 Kilvington Drive.pdf
15-02-2026	Encumbrance	LANDADTA PPlan 27 Kilvington Drive.pdf
15-02-2026	Additional Document	Tree Survey 27 Kilvington.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	[REDACTED]	27 Kilvington Drive, Emerald VIC 3782	[REDACTED]
Submission Date	15 February 2026 - 11:49:AM		

Declaration

By ticking this checkbox [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 08265 FOLIO 229

Security no : 124124168686Q
Produced 05/05/2025 02:43 PM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 022715.
PARENT TITLE Volume 03029 Folio 621
Created by instrument B006380 06/07/1960



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REGISTERED PROPRIETOR

Estate Fee Simple
TENANTS IN COMMON
As to 80 of a total of 100 equal undivided shares
Sole Proprietor
[REDACTED] 27 KILVINGTON DRIVE, . EMERALD, VIC 3782
As to 20 of a total of 100 equal undivided shares
Sole Proprietor
[REDACTED] 27 KILVINGTON DRIVE, . EMERALD, VIC 3782

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AJ910274M 13/09/2012
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP022715 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 27 KILVINGTON DRIVE EMERALD VIC 3782

ADMINISTRATIVE NOTICES

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA
Effective from 23/10/2016

DOCUMENT END

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	LP022715
Number of Pages (excluding this cover sheet)	2
Document Assembled	03/06/2025 16:09

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L.P. 22715


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PLAN OF SUBDIVISION

LP 22715 EDITION 1

CROWN ALLOTMENT 45^c PARISH OF GEMBROOK COUNTY OF MORNINGTON

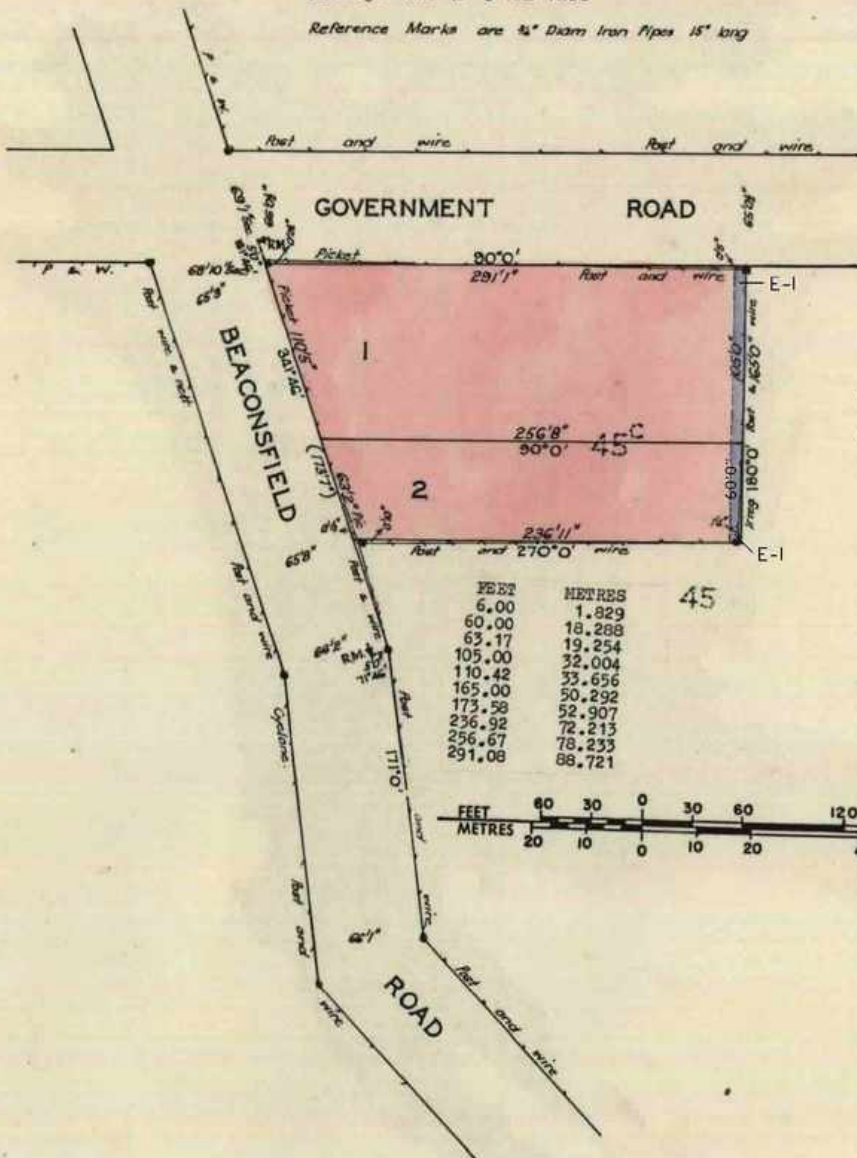


VOL 3029 - FOL 621

DEPTH LIMITATION: 50 FEET

Note: The land coloured blue is appropriated or set apart for easements of drainage and sewerage and is 6 feet wide

Reference Marks are 1/2" Diam Iron Pipes 15" long



COLOUR CODE
E-1= BLUE

FEET	METRES
6.00	1.829
60.00	18.288
63.17	19.254
105.00	32.004
110.42	33.656
165.00	50.292
173.58	52.907
236.92	72.213
256.67	78.233
291.08	88.721



FOR APPROPRIATIONS, ETC.
SEE BACK HEREOF

L.P. 22715

22715

Written Statement: Proposed Amendments to Dwelling

Address: 27 Kilvington Drive, Emerald, VIC 3782

Proposal: Extension to existing single-storey residence.



1. Internal Structural Amendments and Additions

The proposal involves a significant internal reconfiguration and extension of the existing floor plan to improve living amenity:

- **New Master Suite:** Construction of a new master bedroom wing featuring a walk-in-robe (WIR) and private ensuite.
- **Additional Bedroom:** Addition of one further bedroom (Bedroom 4).
- **Living and Utility Areas:** Expansion and modification of the existing dwelling to include 1 additional living room and separate laundry.
- **Decking:** plans include decking entry, side entry and rear deck for entertaining.
- **Floor Area Increase:** The total internal living area will increase from 154m² to approximately 228.45m² (a 74.45m² extension), with 66.30 m² of deck.

2. External Amendments and Materials

The external appearance of the home will be updated to ensure a cohesive aesthetic between the old and new sections:

- **Roofing:** The existing tiled roof (35° pitch) is to be completely removed and replaced with Colorbond sheet roofing to match the new extension.
- **Glazing:** Installation of new timber-framed windows, double glazed, toughened glass, and made from fire resistant timbers, to match the existing character, with one existing window to be replaced and reduced in height.
- **Outdoor Living:** Construction of a large, open timber deck (66.3m²) at the rear, featuring a selected balustrade at a minimum height of 1 meter.

3. Site Works and Compliance

- **Site Excavation:** Minor site cuts (maximum approximately 975mm) and fill are required to accommodate the new building footprint and deck.
- **Bushfire Safety (BAL-29):** All amendments, including new windows (5mm toughened glass) and non-combustible eaves (4.5mm fibre cement), are designed to meet BAL-29 requirements as per AS3959-2018.
- **Stormwater:** New 90mm UPVC stormwater lines will be installed to connect all new and existing roof areas to the legal point of discharge
- **Wastewater:** All new plumbing provisions will be installed to connect with existing (upgraded) onsite domestic wastewater treatment system (OzziKlean RP10A+ conforming to AS/NZS standard - 1546.3: 2017 – EPA Victoria Certificate of Conformance SMK02608)

- **Vegetation:** A tree survey was completed and is included with application, which details the proposed plans have no impact on surrounding vegetation.



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OZZI KLEEN COMMISSIONING CERTIFICATE

System Type:	<input checked="" type="checkbox"/> RP10	<input type="checkbox"/> RP10A	<input type="checkbox"/> GTS10	<input type="checkbox"/> OTHER: _____ <small>If other, please describe</small>		
Serial Number:	RP160535	Pump Model:	RHV220	Pump Serial Number:	16060060	
Site Address:	27 KILVINGTON DRIVE					
Suburb:	EMERALD	State:	VIC	Post Code:	3782	
Local Authority:	Cardinia (S)	Date of Commissioning:	14/11/2016			
Owner's First Name:	██████████	Last Name:	██████████			
Owner's Postal Address:	27 KILVINGTON DRIVE					
<input checked="" type="checkbox"/> As Above	Suburb:	EMERALD	State:	VIC	Post Code:	3782
Contact Phone Number:	██████████	Email:	██████████			

Commissioning Procedure: (Please Tick)

- Owner has been given the Owner's Manual.
- Tank complies with Plumber's Installation Certificate and Installation Instructions.
- Safety Switch has been installed and there is power to the system.
- Tank is full of water (approximately 4,500 litres). Access to main tank is under motor box by removing the hex head locking screws, one on each side of air blower (if the water level is too low refer to Installation Instructions, advise installer & **DO NOT COMMISSION**).
- Plug in blower - check operation of air blower by pressing the Blower Test button on the control panel.
- Untie rope off decanter and check operation of the floating decanter and ensure it is level.
- Pump float switch is swinging free. Plug in pump lead and observe operation.
- With all timer settings at 1, switch on power and observe the switching of controls is continuous from one cycle to the next (this is a test for the electronic control panel).
- Set all timers on control panel to the following (refer to Service Procedure Manual).
- Aeration 60 / Settling 30 / Decant 30 / Sludge Run 0 / Dosing 0
- Test the Audio Visual alarm panel - unplug the blower when in aeration, then press the mute button on the alarm panel and ensure the LCD screen on the OK1 displays "BUZZER MUTED". Plug the blower back in. If no audible alarm is heard or visual alarm is sighted **DO NOT COMMISSION**.
- Insert 10 chlorine tablets in inner tablet dispenser - Reinstall dispenser into chlorinator chamber.
- ALL** lids are closed, locking screws are inserted - (to prevent child access to these compartments).

Comments:

Company Name: Ozzi Kleen Water & Waste Water

Plumber's Name: ACCOMPLISHED PLUMBING

Technician's Name: ██████████

Technician's Signature: ██████████

Please Note: It is essential to return a copy of this Certificate to Ozzi Kleen Head Office to validate the product warranty.

From [REDACTED]
 Sent: Monday, July 31, 2023 2:42 PM
 To: [REDACTED]
 Subject: ENQ105527 - Ozzi Kleen Wastewater system updates



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OFFICIAL

Hello [REDACTED]

As discussed over the phone please be advised that your request is actioned and is waiting for it to be updated on EPA's website. The updates will provide the below information.

AS/NZS standard - 1546.3: 2017

Company name	Model name	Certificate of conformance no.	Certification expiry date
Suncoast Waste Water Management	RP 10S, Aerated Wastewater Treatment System - N 59%; P 60%	SMK02608	14-Aug-26
Suncoast Waste Water Management	RP 10S+, Aerated Wastewater Treatment System - N 80%; P 61%	SMK02608	14-Aug-26
Suncoast Waste Water Management	RP-10, Aerated Wastewater Treatment System	SMK02608	14-Aug-26
Suncoast Waste Water Management	RP 10A+ , Aerated Wastewater Treatment System - N 82% reduction; P 49% reduction	SMK02608	14-Aug-26

AS/NZS standard - 1546.1: 2008

Company name	Model name	Certificate of conformance no.	Certification expiry date
Suncoast Waste Water Management	Collection Well Model - PT400 - Single Turret, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Collection Well Model - PT400 - Twin Turret, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Collection Well Model - RW5300, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Collection Well Model - PT1000 - Flat Base, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23

AS/NZS standard - 1546.1: 2008

Company name	Model name	Certificate of conformance no.	Certification expiry date
Suncoast Waste Water Management	Collection Well Model - PT1000 - Hopper Bottom, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Collection Well Model - PT5300 - Flat Base, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Collection Well Model - PT5300 - Hopper Base, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	PT300 - Hopper Bottom, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Pump Chamber (Holding Tank) Model - PS1000, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Pump Chamber (Holding Tank) Model - PS1500, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Pump Chamber (Holding Tank) Model - PT1500 - Flat Base, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Pump Chamber (Holding Tank) Model - PT1500 - Hopper Bottom, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Pump Well Model - PT350, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Pump Well Model - PT500 - Flat Base Model, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Pump Well Model - PT850, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Septic Tank - ST10, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23
Suncoast Waste Water Management	Septic Tank - ST10A, Vertical Axis Type - Cylindrical Tank Rotomoulded Polyethylene	SMKB20032	23-Sep-23

Regards





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epa.vic.gov.au



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NOTES

90MM UPVC STORMWATER DRAIN CONNECTED TO LEGAL POINT OF DISCHARGE TO DIRECTION OF LOCAL AUTHORITY. BUILDER TO CONFIRM DISCHARGE POINT PRIOR TO CONSTRUCTION.

ALL WASTEWATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE TO DIRECTION OF LOCAL AUTHORITY.

H - INDICATES HABITABLE ROOM WINDOW

THE SITE CUT INDICATED IS APPROXIMATE ONLY. THE BUILDER SHALL ASSESS AND ADJUST THE CUTS AS NECESSARY TO ACCOMMODATE CONSTRUCTION VARIABLES SUCH AS:



- SITE DRAINAGE
- SLAB FORMING/BOXING SYSTEM
- TERMITE TREATMENT/CONTROL SYSTEM
- PROPOSED LANDSCAPE FEATURES INCLUDING FINISHED LEVELS, BACKFILLING, PAVEMENT DEPTHS, CROSS FALLS FOR DRAINAGE ETC...

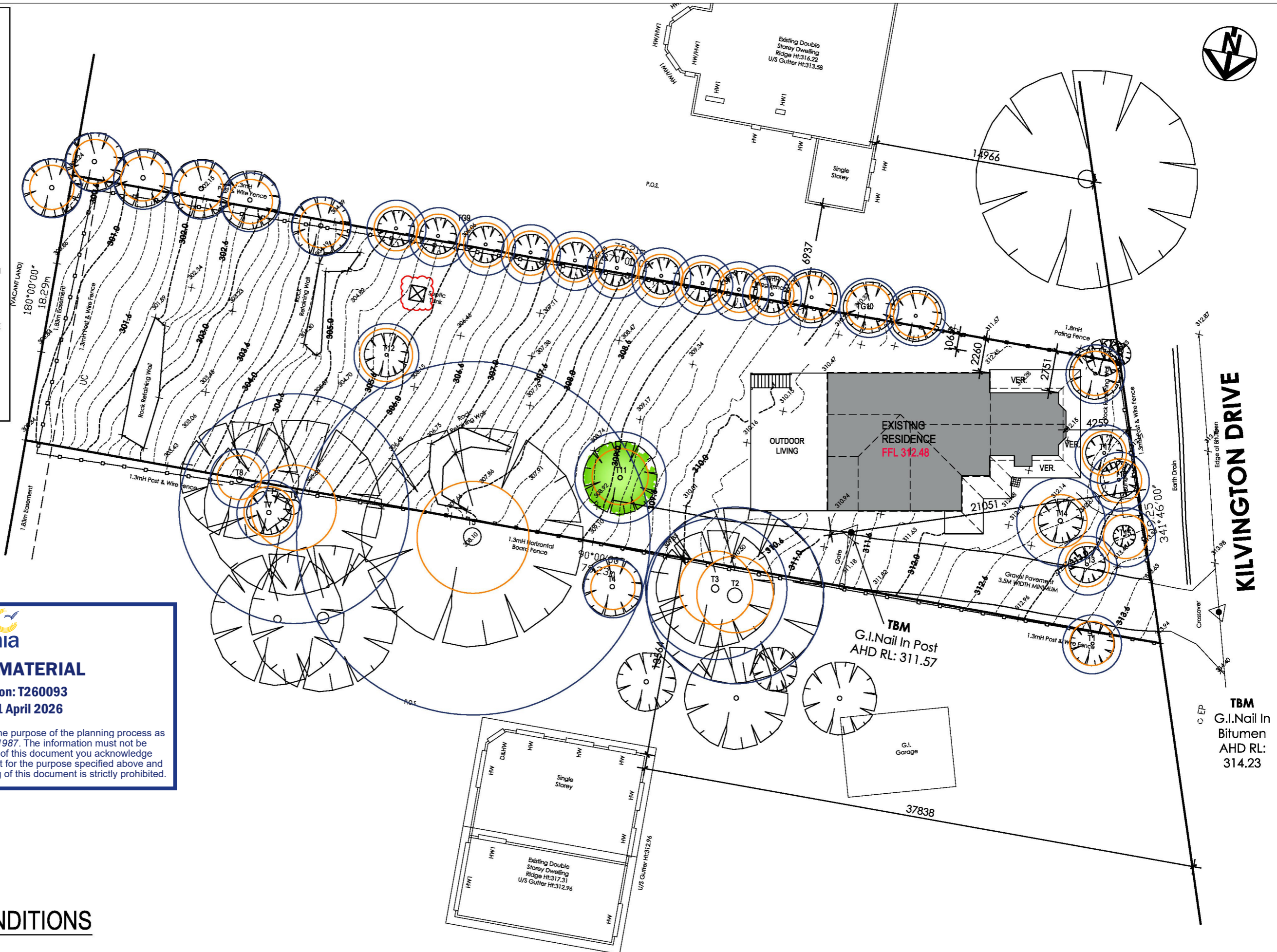
SITE CUTS SHOULD ALLOW FOR 100mm TOP SOIL BACK FILL TO LANDSCAPE AREAS UNLESS NOTED OTHERWISE. HOWEVER, CUTS ARE TO BE MINIMISED TO LIMIT THE NEED FOR EXCESSIVE BACKFILL.

ON SITES WHERE LANDSCAPED AREAS REQUIRE IN EXCESS OF 100mm BACK FILL CLEAN EXCAVATED MATERIAL MAY BE USED IN 150mm COMPACTED LAYERS TO WITHIN 100mm OF F.G.L.

BACKFILL UNDER SLABS SHALL BE TO ENGINEER DESIGN/DETAILS.

ALL SITE CUTS ARE TO HAVE CROSS FALL TO PROVIDE POSITIVE DRAINAGE. THE TOE OF EVERY CUT BATTER TO BE PROVIDED WITH 90mm UPVC SLOTTED AGGI DRAIN CONNECTED TO STORMWATER SYSTEM VIA A SILT PIT.

-  DENOTES AREA OF SITE CUT
-  DENOTES AREA OF SITE FILL



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EXISTING SITE CONDITIONS



REV	BY	DATE	DESCRIPTION

OWNER:
[Redacted]

PROJECT:
EXTENSION
EXTENSION TO EXISTING SINGLE STOREY RESIDENCE
27 KILINGTON DRIVE,
EMERALD, VIC.

NOTE
Do not scale drawings. Written dimensions take precedence.
Contractors must confirm all levels and dimensions on site before commencement of works.
This design is the exclusive property of AD Drafting Services P/L.

DATE: 01.04.26	DRAWN: AC
SCALE: 1:250	APPROVED: AC
DRAWING No: 3 of 13	REV: WD.4

NOTES

90MM UPVC STORMWATER DRAIN CONNECTED TO LEGAL POINT OF DISCHARGE TO DIRECTION OF LOCAL AUTHORITY. BUILDER TO CONFIRM DISCHARGE POINT PRIOR TO CONSTRUCTION.

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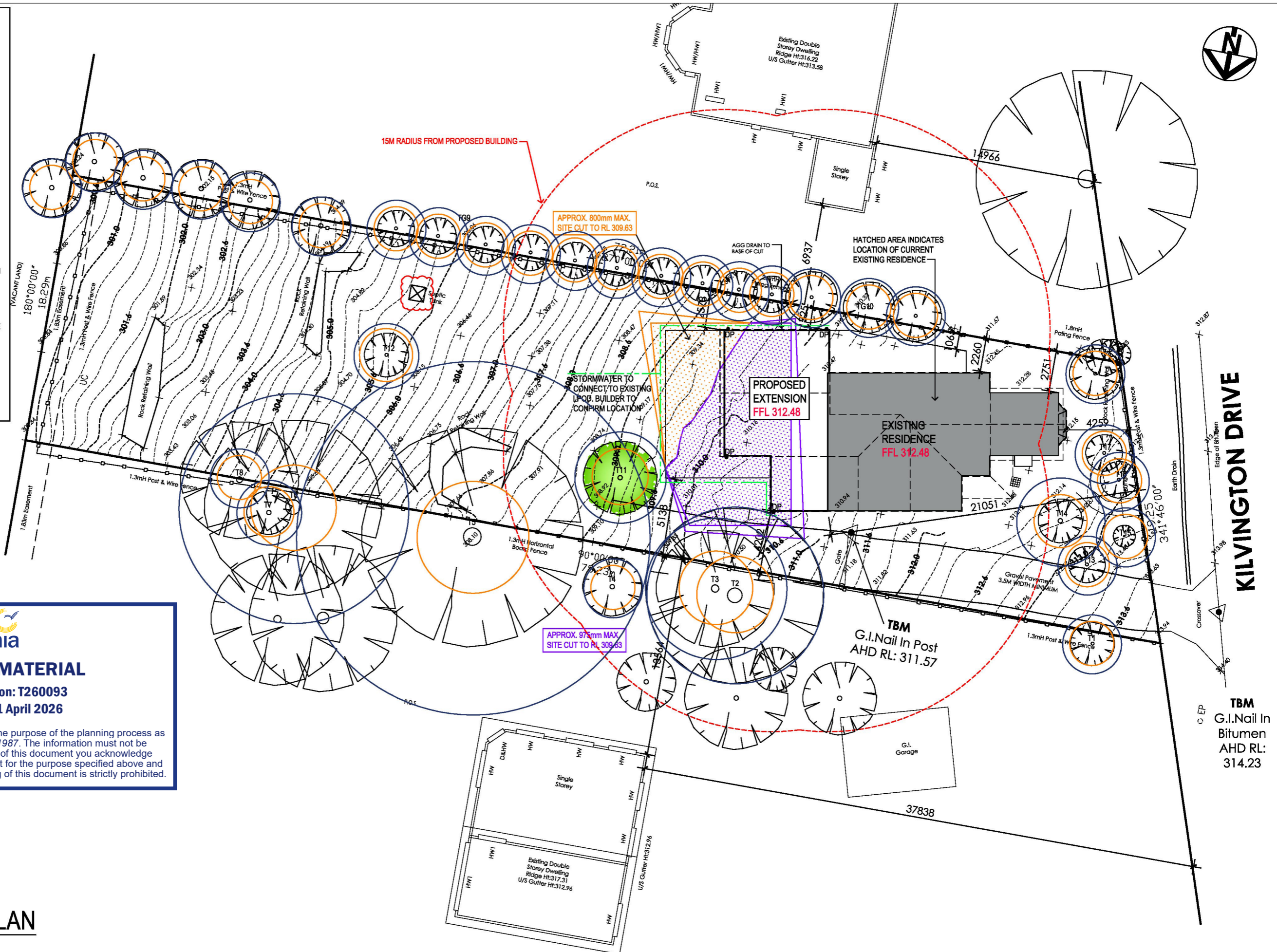
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PROPOSED SITE PLAN



REV	BY	DATE	DESCRIPTION

OWNER:
[Redacted]

PROJECT:
EXTENSION
EXTENSION TO EXISTING SINGLE STOREY RESIDENCE
27 KILINGTON DRIVE,
EMERALD, VIC.

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DRAWING No: 4 of 13	REV: WD.4



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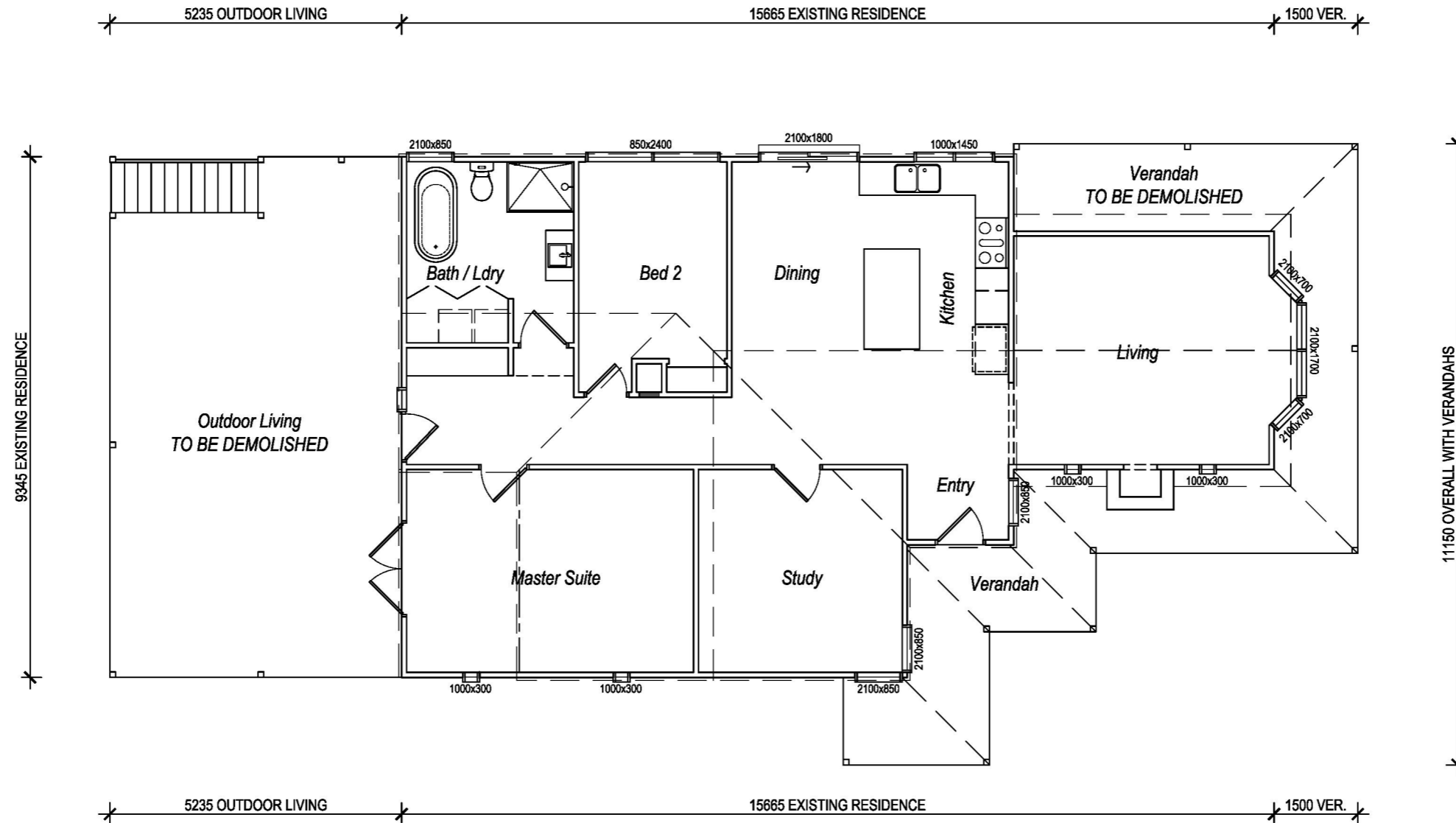
Planning Application: T260093

Date Prepared: 21 April 2026

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FLOOR AREAS

EXISTING RESIDENCE	154.00 m ²	16.58 sq
OUTDOOR LIVING (TBD)	78.00 m ²	8.40 sq
	0.00 m ²	0.00 sq
	0 m ²	0.00 sq
GRAND TOTAL:	232.00 m²	24.97 sq



EXISTING FLOOR PLAN

REV	BY	DATE	DESCRIPTION

OWNER:
 [REDACTED]

PROJECT:
EXTENSION
 EXTENSION TO EXISTING SINGLE STOREY RESIDENCE
 27 KILVINGTON DRIVE,
 EMERALD, VIC.

NOTE
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 Contractors must confirm all levels and dimensions on site before commencement of works.
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DATE: 01.04.26	DRAWN: AC
SCALE: 1:100	APPROVED: AC
DRAWING No: 5 of 13	REV: WD.4

WALL LEGEND

- NEW 90MM STUD WALLS
- EXISTING WALLS
- EXISTING WALLS, WINDOWS, DOORS, ETC, TO BE REMOVED.

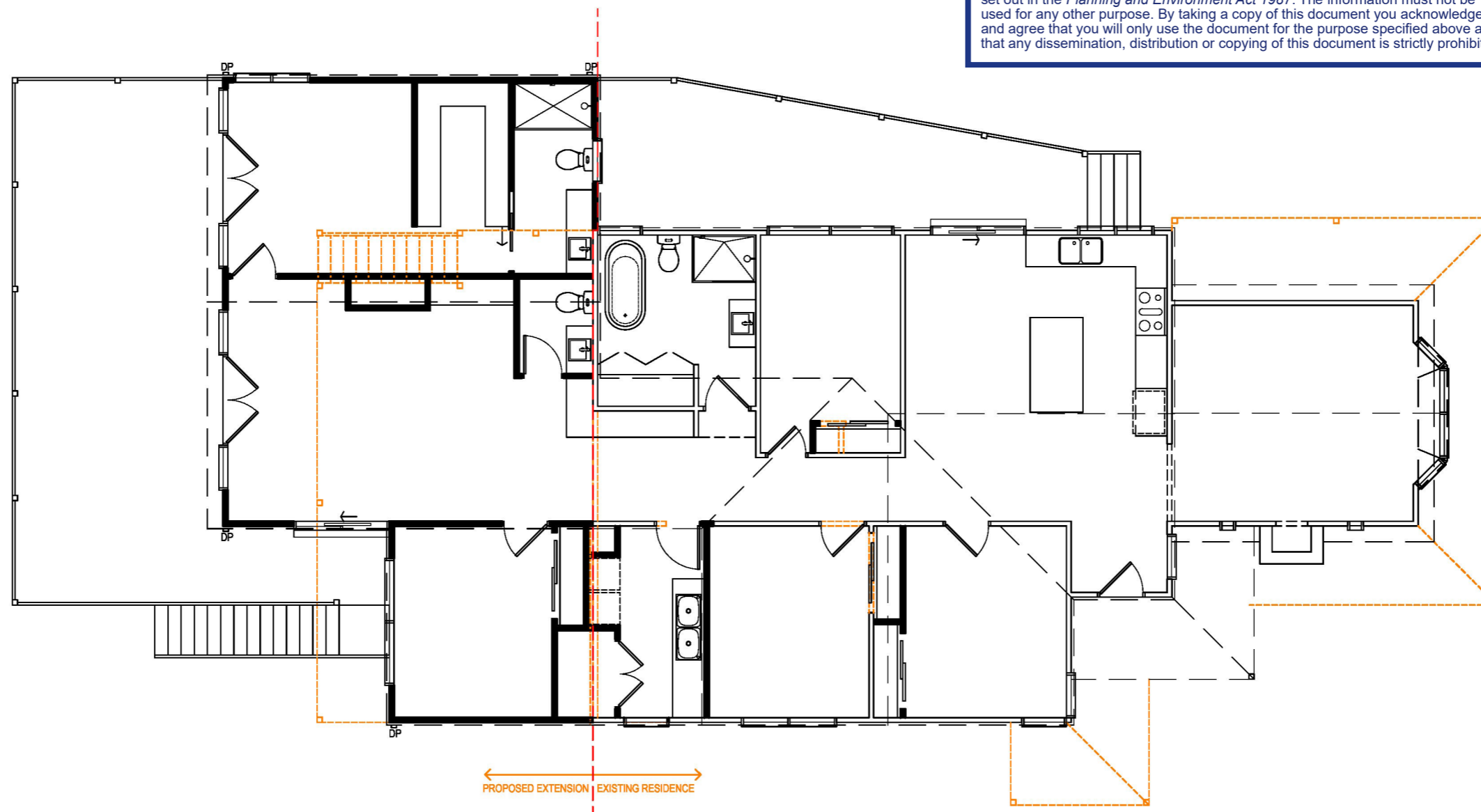


ADVERTISED MATERIAL

Planning Application: T260093

Date Prepared: 21 April 2026

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**DEMOLITION
FLOOR PLAN**

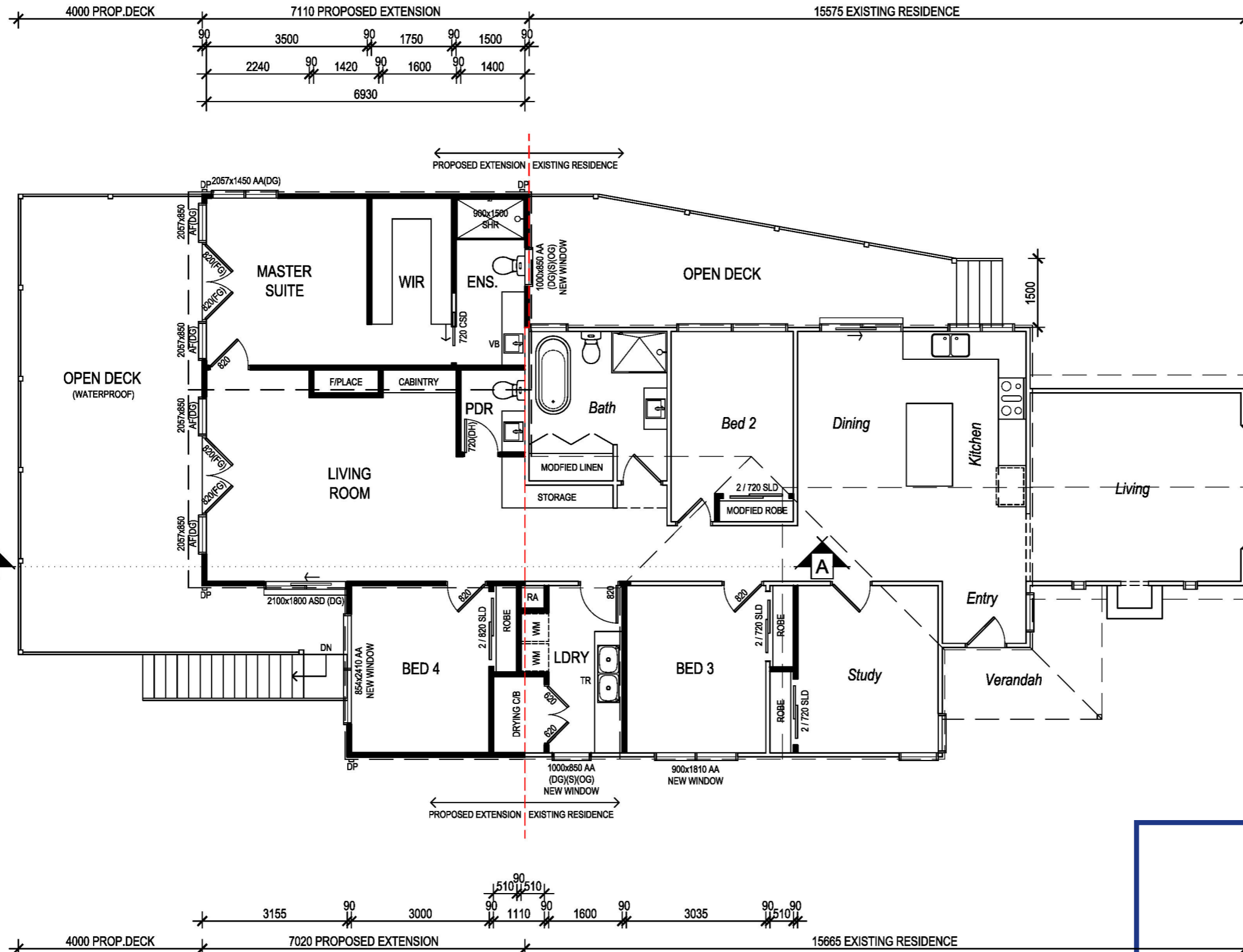
REV	BY	DATE	DESCRIPTION

OWNER:
[REDACTED]

PROJECT:
EXTENSION
EXTENSION TO EXISTING SINGLE STOREY RESIDENCE
27 KILVINGTON DRIVE,
EMERALD, VIC.

NOTE
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DATE: 01.04.26	DRAWN: AC
SCALE: 1:100	APPROVED: AC
DRAWING No: 7 of 13	REV: WD.4



- ### NOTES
- OWNER AND/OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS, SITE LEVELS, GRADES, ROOF PITCHES, ETC. PRIOR TO COMMENCING ANY WORKS. REPORT ANY DISCREPANCIES TO AD DRAFTING SERVICES FOR DIRECTIONS PRIOR TO ORDERING MATERIALS AND START OF BUILDING WORKS. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALED DRAWINGS. PLANS ARE DESIGNED TO BE VIEWED IN COLOR.
 - SD - SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
 - DH - DOOR TO BE FITTED WITH DEMOUNTABLE HINGES WITHIN 1200mm OF PAN.
 - ROBES TO BE FITTED WITH ONE SHELF AND ONE HANGING RAIL UNLESS OTHERWISE SPECIFIED.
 - PROVIDE MIN. FALL AWAY FROM BUILDING OF 1:20 FOR STORM-WATER RUN-OFF TO ALL EXTERNAL PAVING AND TERRACES (50MM FOR THE 1ST METER).
 - BRICKWORK ARTICULATION JOINTS
 - *EDB - ENGINEERED DESIGN BEAM.
 - GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
 - MH - 600x600 CEILING ACCESS MANHOLE LOCATION
 - ALL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK - *720)
 - EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
 - BIB TAP RECYCLED TAP
 - HWS WATER SERVICE TO BE 500MM CLEAR OF BLDG OPENINGS

- ### WINDOW & DOOR NOTES
- NOTE: ALL ALUMINIUM WINDOW FRAMES TO BE ALUMINIUM IMPROVED. REFER TO ENERGY RATING FOR U-VALUE AND SHGC FOR ALL WINDOWS. SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR / BATH BASE. OPENABLE PORTION OF THE UPPER FLOOR BEDROOM WINDOWS MUST BE FITTED WITH SECURE FITTINGS TO RESTRICT OPENINGS TO MAXIMUM 125mm AND RESIST AN OUTWARD FORCE OF 250N.
- | | |
|------------------------------|------------------------------|
| ABI - ALUMINIUM BI-PARTING | FG - FULL GLAZED DOOR |
| ASL - ALUMINIUM SLIDING | (SG) - SINGLE GLAZED |
| ASD - ALUMINIUM SLIDING DOOR | (DG) - DOUBLE GLAZED |
| ST - SOLID TIMBER DOOR | (OG) - OBSCURE GLAZED |
| HG - HALF GLAZED DOOR | (S) - SAFETY GLASS (GRADE A) |

FLOOR AREAS

EXISTING RESIDENCE	154.00 m ²	16.58 sq
PROPOSED EXTENSION	74.45 m ²	8.01 sq
OPEN DECK	66.30 m ²	7.14 sq
	0 m ²	0.00 sq
	0 m ²	0.00 sq
GRAND TOTAL:	294.75 m²	31.73 sq

- ### WALL LEGEND
- NEW 90MM STUD WALLS
 - EXISTING WALLS

ADVERTISED MATERIAL

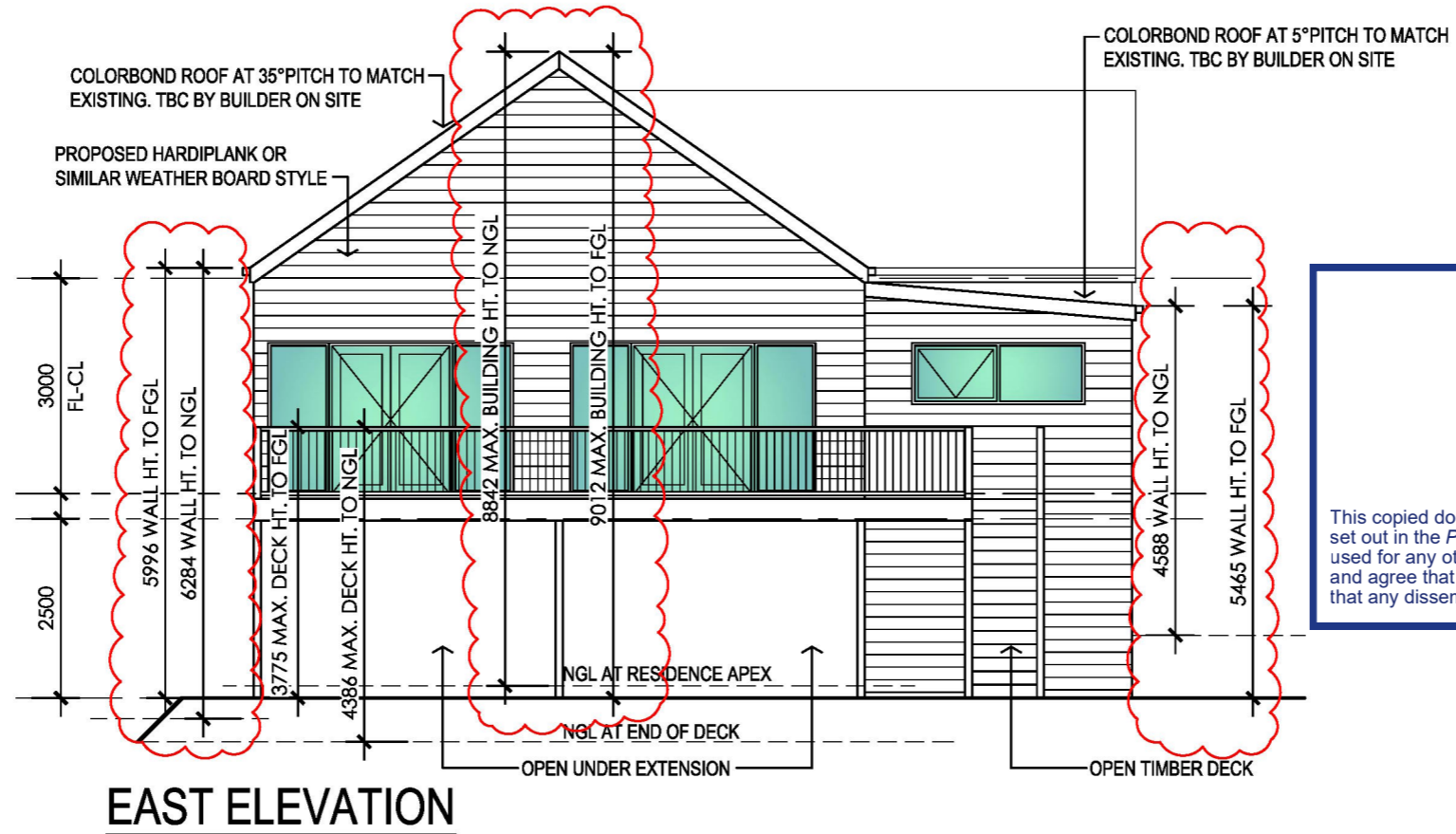
Planning Application: T260093
Date Prepared: 21 April 2026

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PROPOSED FLOOR PLAN

TAD DRAFTING SERVICES
YOUR DREAM OUR PASSION
P: 0417 240 423 E: annette@addraftingservices.com.au

REV	BY	DATE	DESCRIPTION	OWNER:	PROJECT:	NOTE	DATE:	DRAWN:
					EXTENSION EXTENSION TO EXISTING SINGLE STOREY RESIDENCE 27 KILVINGTON DRIVE, EMERALD, VIC.	Do not scale drawings. Written dimensions take precedence. Contractors must confirm all levels and dimensions on site before commencement of works. This design is the exclusive property of AD Drafting Services P/L.	01.04.26	AC
							SCALE:	APPROVED:
							1:100	AC
							DRAWING No:	REV:
							6 of 13	WD.4



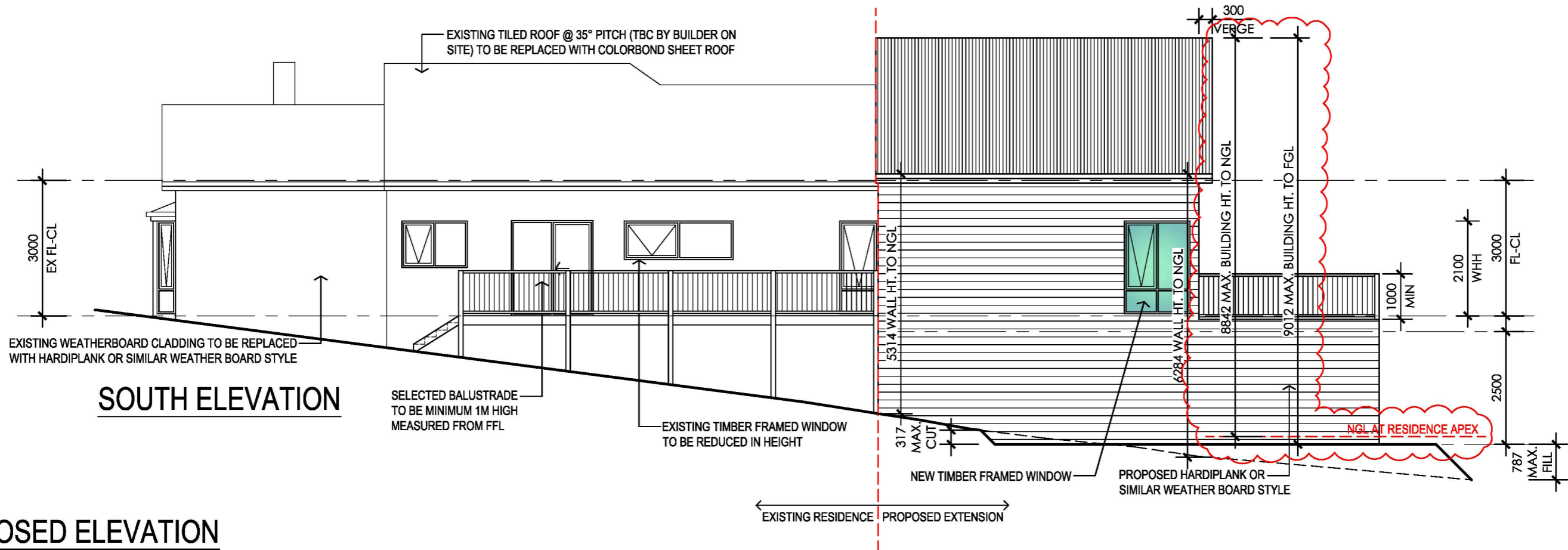
COLOR SCHEDULE.	
TIMBER WINDOW FRAMES -	SPOTTED GUM
WEATHERBOARDS -	PAPER BARK
COLORBOND ROOF -	WINDSPRAY
COLORBOND FASCIA & GUTTER -	WINDSPRAY



ADVERTISED MATERIAL

Planning Application: T260093
Date Prepared: 21 April 2026

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PROPOSED ELEVATION

REV	BY	DATE	DESCRIPTION

OWNER:
[Redacted]

PROJECT:
EXTENSION
EXTENSION TO EXISTING SINGLE STOREY RESIDENCE
27 KILINGTON DRIVE,
EMERALD, VIC.

NOTE
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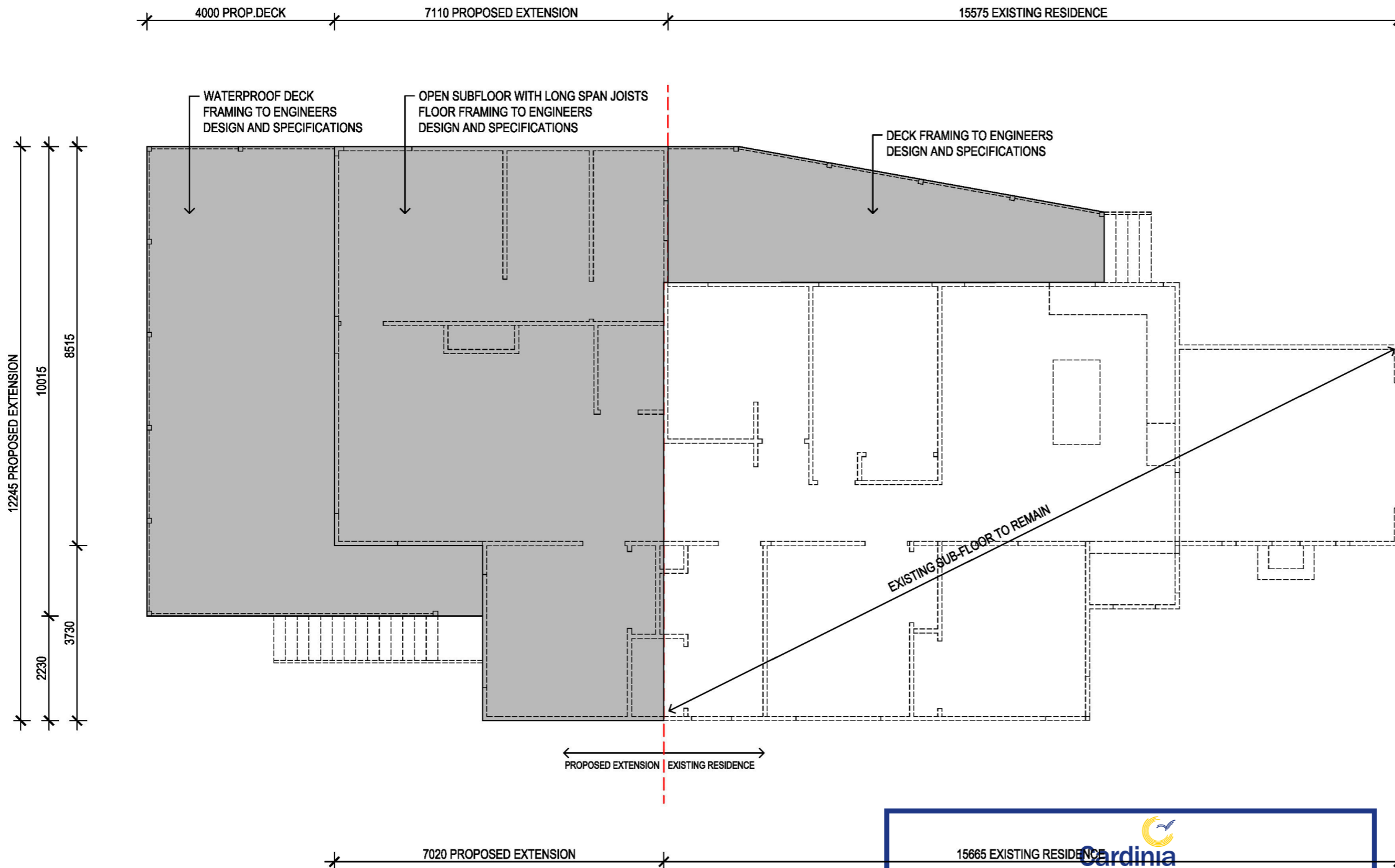
DATE: 01.04.26	DRAWN: AC
SCALE: 1:100	APPROVED: AC
DRAWING No: 9 of 13	REV: WD.4

This drawing shall be used for setout purposes only.
REFER TO SEPARATE ENGINEERS DESIGN FOR CONSTRUCTIONAL DETAILS.

BAL 29 - BUSH FIRE REQUIREMENTS

*SCREENS REFERRED TO IN THE FOLLOWING ITEMS ARE TO HAVE A MAX. APERTURE OF 2mm MESH OR PERFORATED SHEET, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM.

1. PROVIDE SCREENS* TO WEEP HOLES IN THE EXTERNAL WALLS.
2. PROVIDE MIN. 5MM THICK TOUGHENED GLASS TO ALL THE WINDOWS.
3. PROVIDE SCREENS* TO ALL THE OPENABLE PORTIONS OF WINDOWS.
4. METAL SCREEN DOORS REFERRED TO IN THE BUSHFIRE REPORT ARE TO COMPLY WITH THE SCREEN* REQUIREMENT ABOVE.
5. EXTERNALLY FITTED HARDWARE THAT SUPPORTS WINDOW SASH AND/OR DOOR PANEL IN ITS FUNCTIONS OF OPENING AND CLOSING SHALL BE METAL.
6. EXTERNAL DOOR FRAME MUST BE BUSHFIRE RESISTING TIMBER, METAL OR METAL-REINFORCED uPVC.
7. GLAZING TO THE LAUNDRY DOOR SHALL BE MIN. 6MM THICK TOUGHENED GLASS.
8. PROVIDE WEATHER STRIPS, DRAUGHT EXCLUDERS OR SEALS TO THE BASE OF ALL EXTERNAL DOORS.
9. PROVIDE SCREEN* TO EXTERNAL SLIDING DOORS.
10. GARAGE DOOR SHALL BE MADE OF NON-COMBUSTIBLE MATERIAL, BUSHFIRE-RESISTING TIMBER OR 6MM THICK FIBRE CEMENT SHEET.
11. PROVIDE WEATHER STRIPS, DRAUGHT EXCLUDERS, SEALS OR GUIDE TRACKS TO THE GARAGE LIFT PANEL DOOR.
12. PROVIDE SARKING TO THE ENTIRE ROOF. SARKING MUST BE EXTENDED INTO GUTTERS & VALLEYS.
13. BARGEBOARDS MUST BE BUSHFIRE RESISTING TIMBER OR METAL. IF METAL BARGEBOARDS IS TO BE INSTALLED, IT MUST BE FIXED AT 450mm CTS.
14. SUPPORTS FOR THE SOLAR PANELS SHALL BE SEALED AT THE ROOF TO PREVENT GAPS. MATERIAL USED TO FLASH THE PENETRATION IS TO BE NON-COMBUSTIBLE.
15. JOINTS IN EAVES LININGS AND FASCIA'S ARE TO BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS.
16. FASCIA'S ARE TO BE FIXED AT 450MM CENTRES.
17. EAVES ARE TO BE LINED WITH MIN. 4.5MM THICK FIBRE CEMENT SHEET.
18. ENSURE ANY ABOVE-GROUND, EXPOSED WATER AND GAS SUPPLY PIPES SHALL BE METAL.
19. ALL THE JOINTS IN THE EXTERNAL WALL ARE TO BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS.
20. ENTRY AND GARAGE EXTERNAL DOORS ARE TO BE NON-COMBUSTIBLE OR MIN. 35MM THICK SOLID TIMBER FOR THE FIRST 400MM ABOVE THE THRESHOLD. ALTERNATIVELY, PROVIDE SCREENS EXTERNALLY.
21. PROVIDE SCREEN TO THE SIDELIGHT WINDOW THAT IS 400MM ABOVE THE LANDING.
22. ALL THE DOOR FRAMES ARE TO BE MADE FROM METAL AND THE DOORS ARE TO BE TIGHT-FITTING TO THE DOOR FRAMES.
23. WHERE SLIDING DOOR IS NOT PROTECTED BY AN EXTERNAL SCREEN, THEN THE INCORPORATED GLAZING SHALL BE MIN. 6MM THICK TOUGHENED GLASS.
24. SLIDING DOOR IS TO BE TIGHT-FITTING IN THE FRAMES.
25. STEPS AND LANDING SHALL BE BUSHFIRE-RESISTING TIMBER OR NON-COMBUSTIBLE MATERIAL.
26. GAPS (I.E. UNDER CORRUGATIONS OR RIBS OF SHEET ROOFING & BETWEEN ROOF COMPONENTS) ARE TO BE SEALED AT THE FASCIA OR WALL LINE AND AT VALLEYS, HIPS AND RIDGES BY (1) A MESH WITH MAX. APERTURE OF 2MM, MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM; OR (2) MINERAL WOOL; OR (3) NON-COMBUSTIBLE MATERIAL.
27. ANY PIPE THAT PENETRATES THE ROOF COVERING IS TO BE NON-COMBUSTIBLE, AND ANY OPENINGS ARE TO BE FITTED WITH EMBER GUARDS MADE FROM A MESH WITH MAX. APERTURE OF 2MM, MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
28. EXTERNAL GAS PIPES AND FITTINGS ABOVE GROUND ARE TO BE STEEL OR COPPER HAVING MIN. WALL THICKNESS AS PER THE GAS REGULATIONS OR 0.9MM WHICHEVER IS GREATER. THE METAL PIPE IS TO EXTEND MIN. 400MM WITHIN THE BUILDING AND 100MM BELOW GROUND.
29. SUB-FLOOR ACCESS DOOR IS TO BE SCREENED EXTERNALLY. ALTERNATIVELY, THE DOOR SHALL BE NON-COMBUSTIBLE OR MIN. 35MM THICK SOLID TIMBER FOR THE FIRST 400MM ABOVE THE THRESHOLD.
30. THE EXTERNALLY FITTED HARDWARE FOR THE SUB-FLOOR ACCESS DOOR SHALL BE METAL.
31. SUB-FLOOR DOOR FRAME SHALL BE BUSHFIRE RESISTING TIMBER OR METAL.
32. THE SUB-FLOOR OF THE FRONT DECK SHALL BE ENCLOSED WITH MIN. 6mm THICK FIBRE CEMENT SHEET.
33. PROVIDE WEATHER STRIPS OR DRAUGHT EXCLUDERS/SEALS TO THE BASE OF THE SUB-FLOOR ACCESS DOOR.
34. THE DECKING BOARDS SHALL BE NON-COMBUSTIBLE OR BUSHFIRE-RESISTING TIMBER. THE DECKING MAY BE SPACED, HOWEVER THE SPACING MUST NOT EXCEED 3mm.
35. OUTDOOR LIVING AND VERANDAH POSTS MUST BE NON-COMBUSTIBLE OR BUSHFIRE-RESISTING TIMBER.
36. FIBRE CEMENT WEATHERBOARDS CLADDING WRAP SARKING TO OUTER FRAME PRIOR TO EXTERNAL CLADDING.
37. WHIRLYBIRD SHALL BE FITTED WITH NON-COMBUSTIBLE EMBER GUARD OR CORROSION-RESISTANT STEEL, BRONZE OR ALUMINIUM MESH/PERFORATED SHEET. IF THIS CANNOT BE ACHIEVED, PLEASE SEE 'UNIVERSAL TILE VENTILATOR' (WWW.UNIVERSALTILEVENTILATORS.COM.AU/INDEX.PHP/BLOG/ITEM/137-WHIRLYBIRD-BUSHFIRE) FOR ALTERNATIVE SOLUTION.
38. THE SKYLIGHT MUST BE GRADE A SAFETY GLASS AS PART OF THE BUSHFIRE REQUIREMENTS.




ADVERTISED MATERIAL
 Planning Application: T260093
 Date Prepared: 21 April 2026

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SUBFLOOR SETOUT

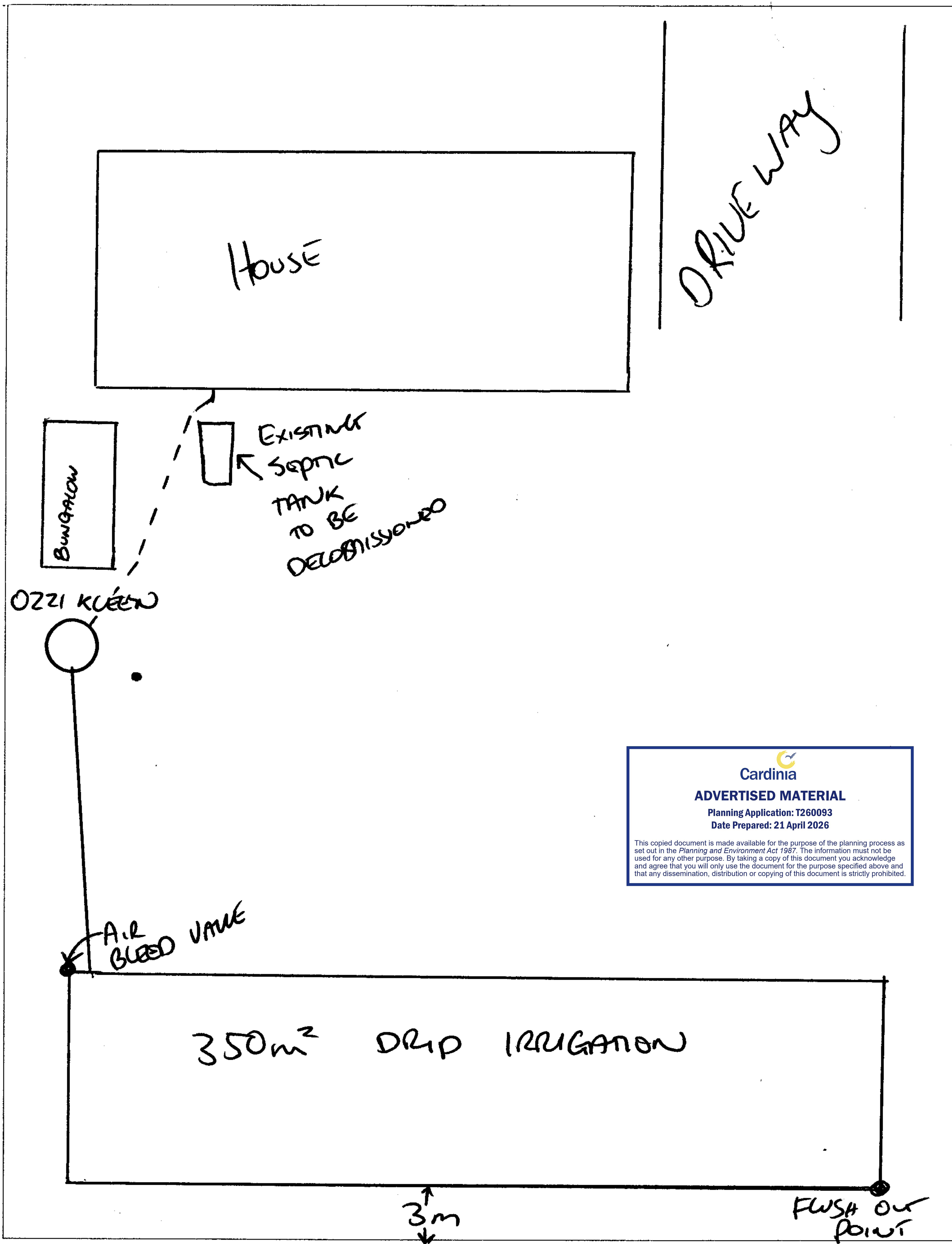
REV	BY	DATE	DESCRIPTION

OWNER: [REDACTED]

PROJECT:
EXTENSION
 EXTENSION TO EXISTING SINGLE STOREY RESIDENCE
 27 KILINGTON DRIVE,
 EMERALD, VIC.

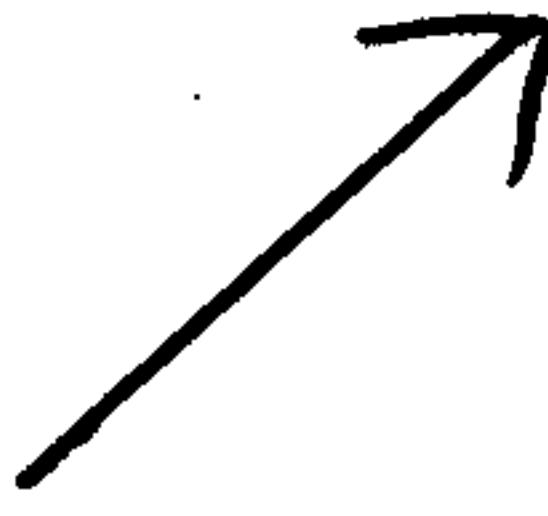
NOTE
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DATE: 01.04.26	DRAWN: AC
SCALE: 1:100	APPROVED: AC
DRAWING No: 12 of 13	REV: WD.4




Cardinia
ADVERTISED MATERIAL
 Planning Application: T260093
 Date Prepared: 21 April 2026
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FRONT OF ALLOTMENT


 NORTH

NOTES

90MM UPVC STORMWATER DRAIN CONNECTED TO LEGAL POINT OF DISCHARGE TO DIRECTION OF LOCAL AUTHORITY. BUILDER TO CONFIRM DISCHARGE POINT PRIOR TO CONSTRUCTION.

ALL WASTEWATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE TO DIRECTION OF LOCAL AUTHORITY.

H - INDICATES HABITABLE ROOM WINDOW

THE SITE CUT INDICATED IS APPROXIMATE ONLY. THE BUILDER SHALL ASSESS AND ADJUST THE CUTS AS NECESSARY TO ACCOMMODATE CONSTRUCTION VARIABLES SUCH AS:



- SITE DRAINAGE
- SLAB FORMING/BOXING SYSTEM
- TERMITE TREATMENT/CONTROL SYSTEM
- PROPOSED LANDSCAPE FEATURES INCLUDING FINISHED LEVELS, BACKFILLING, PAVEMENT DEPTHS, CROSS FALLS FOR DRAINAGE ETC...

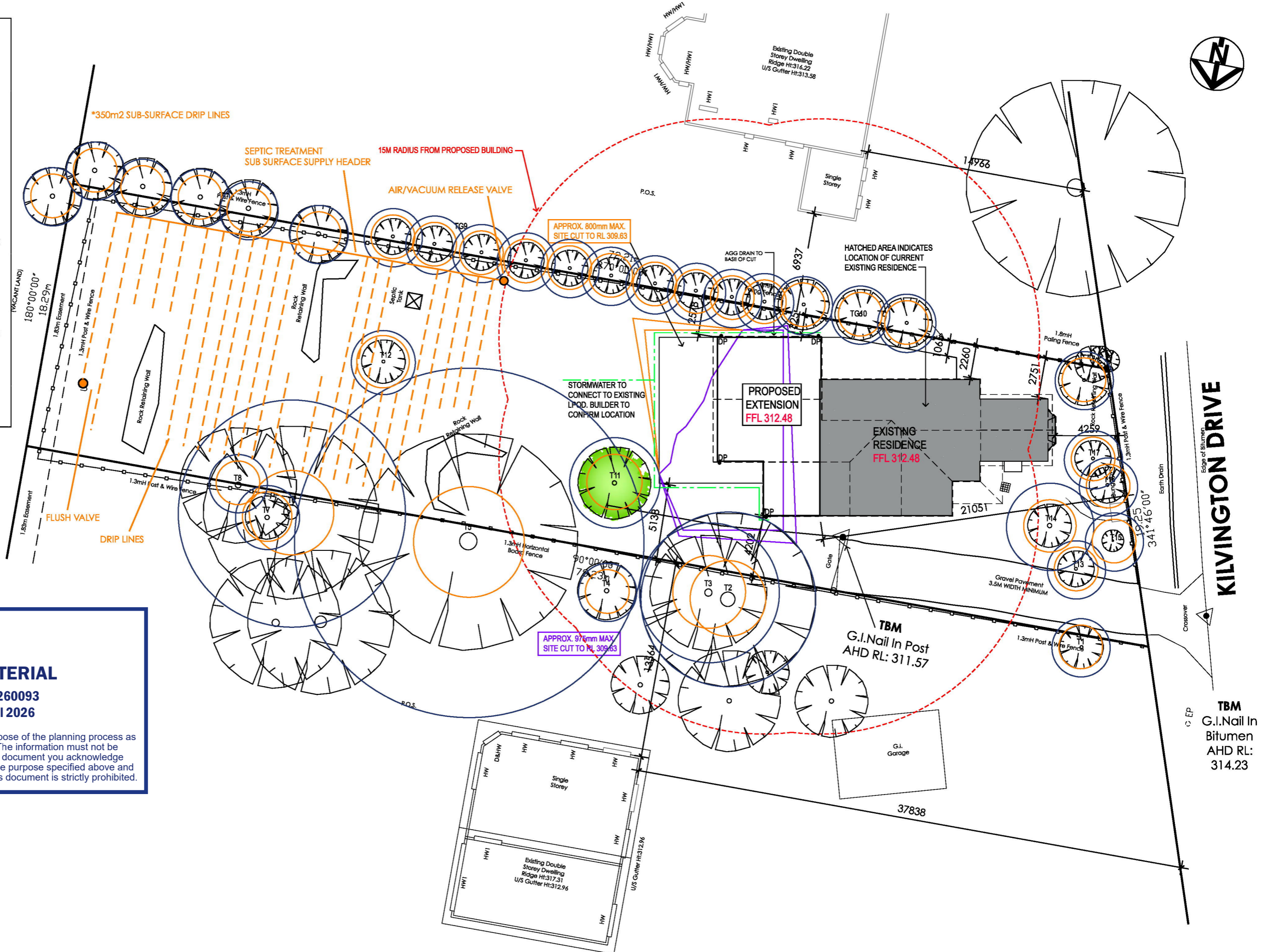
SITE CUTS SHOULD ALLOW FOR 100mm TOP SOIL BACK FILL TO LANDSCAPE AREAS UNLESS NOTED OTHERWISE. HOWEVER, CUTS ARE TO BE MINIMISED TO LIMIT THE NEED FOR EXCESSIVE BACKFILL.

ON SITES WHERE LANDSCAPED AREAS REQUIRE IN EXCESS OF 100mm BACK FILL CLEAN EXCAVATED MATERIAL MAY BE USED IN 150mm COMPACTED LAYERS TO WITHIN 100mm OF F.G.L.

BACKFILL UNDER SLABS SHALL BE TO ENGINEER DESIGN DETAILS.

ALL SITE CUTS ARE TO HAVE CROSS FALL TO PROVIDE POSITIVE DRAINAGE. THE TOE OF EVERY CUT BATTER TO BE PROVIDED WITH 90mm UPVC SLOTTED AGGI DRAIN CONNECTED TO STORMWATER SYSTEM VIA A SILT PIT.

-  DENOTES AREA OF SITE CUT
-  DENOTES AREA OF SITE FILL






ADVERTISED MATERIAL

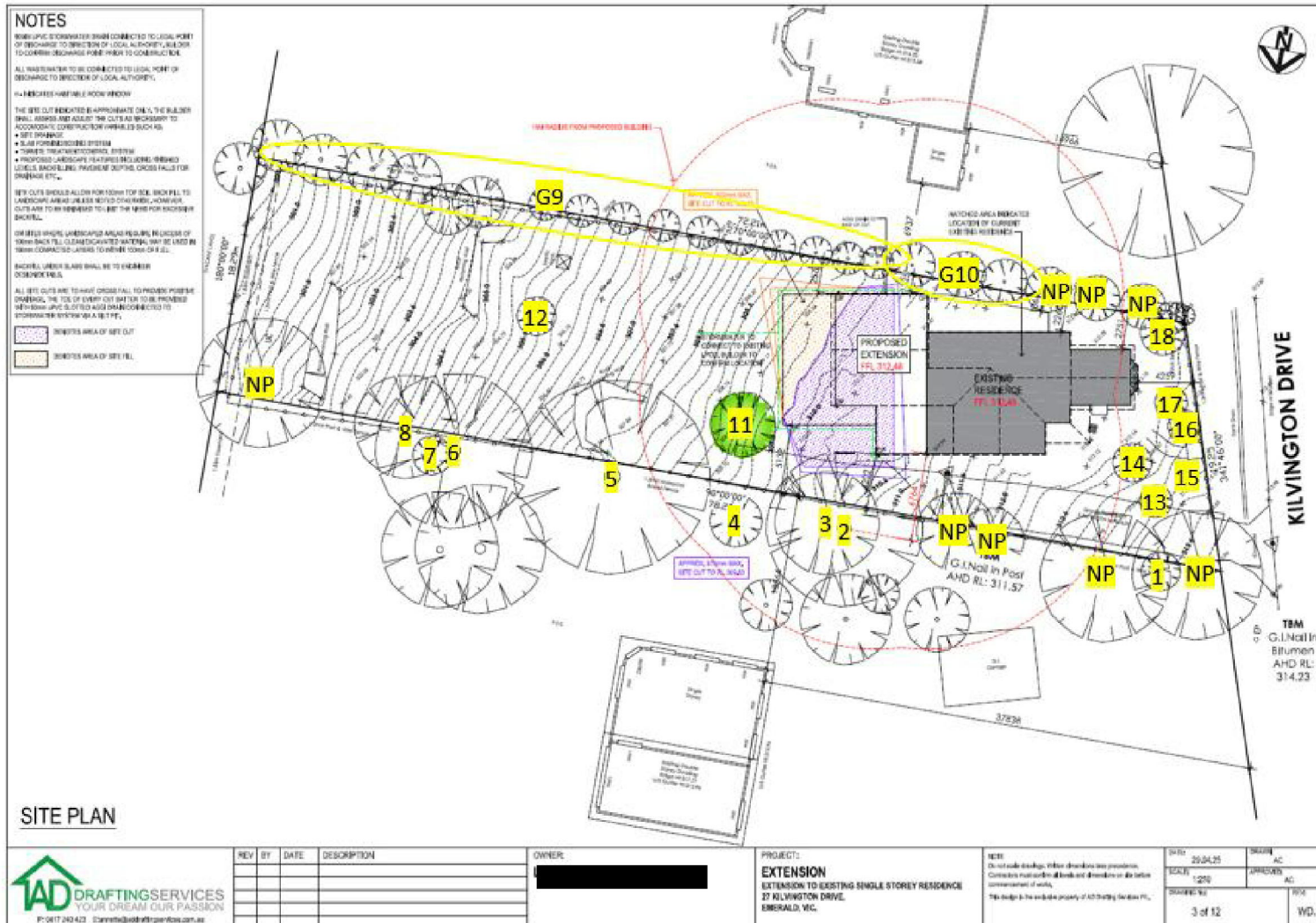
Planning Application: T260093
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SITE PLAN

 <p>P: 0417 240 423 E: annette@addraftingservices.com.au</p>	REV	BY	DATE	DESCRIPTION	OWNER:	PROJECT:	NOTE	DATE:	DRAWN:	
							EXTENSION EXTENSION TO EXISTING SINGLE STOREY RESIDENCE 27 KILVINGTON DRIVE, EMERALD, VIC.	Do not scale drawings. Written dimensions take precedence. Contractors must confirm all levels and dimensions on site before commencement of works. This design is the exclusive property of AD Drafting Services P/L.	11.02.25	AC
									SCALE: 1:250	APPROVED: AC
								DRAWING No:	REV:	
								3 of 12	WD.3	

SITE PLAN



NP = Not Present

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260093
 Date Prepared: 21 April 2026

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NOTES

SEWERAGE & WATER SUPPLY CONNECTED TO LOCAL PORT OF DISCHARGE TO INSURE OF LOCAL AUTHORITY, BUILDERS TO CONSIDER DISCHARGE POINT PRIOR TO CONSTRUCTION.

ALL WASTEWATER TO BE CONNECTED TO LOCAL PORT OF DISCHARGE TO INSURE OF LOCAL AUTHORITY.

PLUMBING WORK TO BE APPROVED.

THE SITE CUT INDICATED IS APPROXIMATE ONLY, THE BUILDER SHALL VERIFY THE EXISTING CUTS AND NECESSARY TO ACCOMMODATE CONSTRUCTION UNLESS OTHERWISE NOTED.

- SITE DRAINAGE
- RAIN FLOODING PROTECTION SYSTEM
- TANKS TREATMENT SYSTEM
- PROPOSED LANDSCAPE FEATURES INCLUDING TREES, BENCHES, BACKLINES, PAVEMENT OUTLETS, CROSS FALLS FOR DRAINAGE ETC.

NEW CUTS SHOULD ALLOW FOR 100MM TOP SOIL, BACK FILL TO UNDERPIN AREAS UNLESS NOTED OTHERWISE, CONCRETE CUTS ARE TO BE REINFORCED TO MEET THE NEED FOR BACKFILL BACKFILL.

FOR AREAS WHERE UNDESIRABLE AREAS INCLUDING RECESSES OF 100MM BACK FILL CLEAN DISCHARGED MATERIAL MAY BE USED IN THESE COMPACTED LAYERS TO AVOID FORMS OF A J.L.

BACKFILL UNDER SLABS SHALL BE TO ENHANCE COMPACTNESS.

ALL SITE CUTS ARE TO HAVE CROSS FALL TO PREVENT PROBLEMS DRAINING, THE TOP OF EXISTING CUTS ARE TO BE MAINTAINED WHERE POSSIBLE UNLESS OTHERWISE NOTED AND CONNECTED TO EXISTING DRAINAGE SYSTEMS.

BENEATH AREA OF SITE CUT
 BENEATH AREA OF SITE FILL

SITE PLAN



REV	BY	DATE	DESCRIPTION	OWNER	PROJECT	SCALE	DATE	DRAWN	CHECKED
					EXTENSION TO EXISTING SINGLE STOREY RESIDENCE 27 KILVINGTON DRIVE, EMERALD, VIC.	1:200	20/04/25		

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TREE DATA

Tree No	Botanical Name Common Name	Origin	DSH cm	DAB cm	NRZ Radius m	SRZ Radius m	Height m	Spread Dia. m	Health	Structure	ULE	Age class	Retention value
1	<i>Syzygium australe</i> Lilly Pilly	Native	15	18	2.0	1.6	3	2	Good	Poor	5-15yrs	Mature	Third party
2	<i>Photinia robusta</i> Photinia	Exotic	55	65	6.6	2.8	7	8	Good	Fair	5-15yrs	Mature	Third party
3	<i>Tristaniaopsis laurina</i> Kanooka	Native	40	50	4.8	2.5	8	6	Good	Fair	15-30yrs	Mature	Third party
4	<i>Leptospermum petersonii</i> Lemon-scented Tea-tree	Native	12	15	2.0	1.5	5	4	Good	Fair	5-15yrs	Mature	Third party
5	<i>Fraxinus excelsior</i> European Ash	Exotic	100	140	12.0	3.8	22	20	Good	Fair	15-30yrs	Mature	Third party
6	<i>Acacia melanoxylon</i> Blackwood	Vic Native	65	75	7.8	2.9	20	10	Good	Fair	15-30yrs	Mature	Third party
7	<i>Acer palmatum</i> Japanese Maple	Exotic	18	20	2.2	1.7	6	5	Good	Poor	5-15yrs	Mature	Third party
8	<i>Syzygium paniculatum</i> Lilly-Pilly	Native	13	15	2.0	1.5	7	3	Good	Fair	5-15yrs	Mature	Third party
9	<i>Buxus sempervirens</i> Common Box	Exotic	8	10	2.0	1.5	2	1	Good	Fair	5-15yrs	Reformed	Third party
10	<i>Buxus sempervirens</i> Common Box	Exotic	12	14	2.0	1.5	4	2	Good	Fair	5-15yrs	Mature	Third party
11	<i>Magnolia xsoulangiana</i> Saucer Magnolia	Exotic	26	26	3.1	1.9	5	7	Good	Fair	15-30yrs	Mature	Low
12	<i>Ulmus glabra</i> 'Camperdownii' Weeping Elm	Exotic	18	22	2.2	1.8	3	3	Good	Fair	15-30yrs	Mature	Low
13	<i>Camellia japonica</i> Camellia	Exotic	6	8	2.0	1.5	2	2	Good	Fair	5-15yrs	Mature	Low
14	<i>Prunus subhirtella</i> 'Pendula' Weeping Cherry	Exotic	25	25	3.0	1.8	2	4	Good	Fair	15-30yrs	Mature	Low

Tree No	Botanical Name Common Name	Origin	DSH cm	DAB cm	NRZ Radius m	SRZ Radius m	Height m	Spread Dia. m	Health	Structure	ULE	Age class	Retention value
15	<i>Acer palmatum</i> Japanese Maple	Exotic	10	12	2.0	1.5	4	3	Good	Fair	5-15yrs	Mature	Low
16	<i>Acer palmatum</i> Japanese Maple	Exotic	6	14	2.0	1.5	3	2	Good	Fair	5-15yrs	Mature	Low
17	<i>Rhododendron</i> sp. Rhododendron	Exotic	14	14	2.0	1.5	2	3	Good	Fair	5-15yrs	Mature	Low
18	<i>Prunus cerasifera</i> Cherry Plum	Exotic	10	12	2.0	1.5	4	2	Good	Fair	<5yrs	Mature	Low



ADVERTISED MATERIAL

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Date Prepared: 21 April 2026

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