

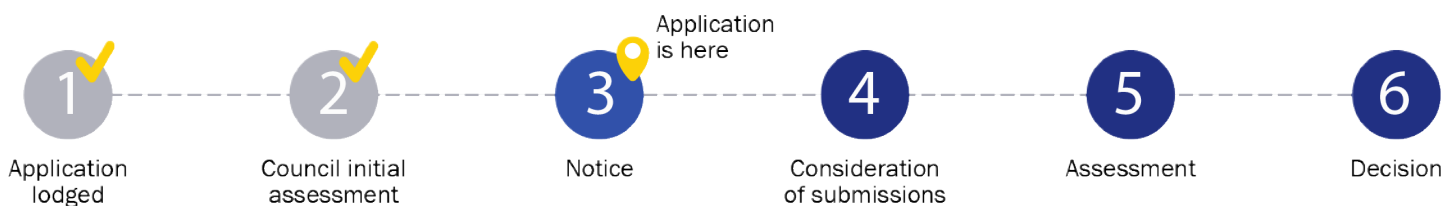


Notice of Application for a Planning Permit

The land affected by the application is located at:	L13 PS811821 V12291 F573 39 Blessing Rise, Pakenham VIC 3810	
The application is for a permit to:	Buildings and works for one (1) dwelling	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works	 ADVERTISED MATERIAL Planning Application: T260072 Date Prepared: 10 April 2026 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>
42.01-2	Remove, destroy or lop vegetation	
APPLICATION DETAILS		
The applicant for the permit is:	Rez Architects	
Application number:	T260072	
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		28 April 2026
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application Summary

Portal Reference A12639PW

Basic Information

Proposed Use Proposed double-storey dwelling with a basement
 Current Use Currently vacant land
 Cost of Works \$1,200,000
 Site Address 39 Blessing Rise Pakenham 3810


ADVERTISED MATERIAL
 Planning Application: T260072
 Date Prepared: 10 April 2026

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Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? **No such encumbrances are breached**

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant			
Owner			
Preferred Contact			

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 6 More than \$1,000,000 but not more than \$2,000,000	\$1,697.80	100%	\$1,697.80
	Total		\$1,697.80

Documents Uploaded

Date	Type	Filename
10-02-2026	A Copy of Title	39-blessing-rise-pakenham-3810-c35f5a92-2.pdf
10-02-2026	Site plans	ENDORSED PLANS - 39 BLESSING RISE PAKENHAM.pdf
10-02-2026	Additional Document	25198 - v1 18.08.2028 RFL.pdf



Civic Centre
 20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
 Purton Road, Pakenham, Victoria

Postal Address
 Cardinia Shire Council
 P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vc.gov.au

Monday to Friday 8.30am–
 5pm

Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	[REDACTED]
Submission Date	10 February 2026 - 04:29:PM

Declaration

By ticking this checkbox, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been named on the application.



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ADVERTISED MATERIAL

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Fax: 03 5941 3784

Application Summary

Portal Reference	D12667ZJ
Reference No	T260072



ADVERTISED MATERIAL

Planning Application: T260072
Date Prepared: 10 April 2026

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Basic Information

Cost of Works	\$1,200,000
Site Address	39 Blessing Rise Pakenham VIC 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	No such encumbrances are breached
<input type="checkbox"/> Note: During the application process you may be required to provide more information in relation to any encumbrances.	

Documents Uploaded

Date	Type	Filename
26-03-2026	Additional Document	bles0326to_AIA.pdf
26-03-2026	Additional Document	TOWN PLANNING AND WRITTEN ASSESSMENT_BLESSING RISE_REV #.pdf
26-03-2026	Additional Document	COMBINED 39 BLESSING RISE PAKENHAM.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	[Redacted]
Submission Date	26 March 2026 - 07:19:PM

Declaration

By ticking this checkbox, [Redacted] information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.

 **Civic Centre**
20 Siding Avenue, Officer, Victoria
Council's Operations Centre

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

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8.30am-5pm
Phone: 1300 787 624
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5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T260072 PA	
Address of the Land:	39 Blessing Rise Pakenham	 ADVERTISED MATERIAL Planning Application: T260072 Date Prepared: 10 April 2026 <small>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>

APPLICANT DETAILS

Name:	[REDACTED]	<small>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>
Organisation:	[REDACTED]	
Address:	14 Benedore Way Cranbourne North	
Phone:	0431 679 727	
Email:	info@rezarchitects.com.au	

AMENDMENT TYPE


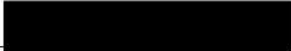

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input checked="" type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Two trees are proposed for removal.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.		 <p>ADVERTISED MATERIAL Planning Application: T260072 Date Prepared: 10 April 2026</p> <p><small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small></p>
Name:		
Signature:		
Date:	31/03/2026	

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12291 FOLIO 573

Security no : 124132185586T
Produced 16/02/2026 01:27 PM

LAND DESCRIPTION

Lot 13 on Plan of Subdivision 811821L.
PARENT TITLE Volume 11081 Folio 288
Created by instrument PS811821L 16/03/2021

REGISTERED PROPRIETOR

Estate Fee Simple

J [REDACTED] SPRINGFIELD CRESCENT HAMPTON PARK VIC 3976

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY342362A 26/08/2024
WESTPAC BANKING CORPORATION

COVENANT PS611885X 18/07/2008
VARIATION OF COVENANT AR973357H 01/03/2019

COVENANT PS811821L 16/03/2021

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 PLANNING AND ENVIRONMENT ACT 1987
X049709H 20/09/2000

AGREEMENT Section 173 Planning and Environment Act 1987
AU092536S 28/02/2021

DIAGRAM LOCATION

SEE PS811821L FOR FURTHER DETAILS AND BOUNDARIES


Cardina
ADVERTISED MATERIAL
Planning Application: T260072
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ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 39 BLESSING RISE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 16320Q WESTPAC BANKING CORPORATION

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 2 of 2

Effective from 26/08/2024

DOCUMENT END


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Document Identification	PS811821L
Number of Pages (excluding this cover sheet)	4
Document Assembled	16/02/2026 13:27

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PLAN OF SUBDIVISION	LV USE ONLY EDITION 1	PS811821L
---------------------	--------------------------	-----------

Location of Land
Parish: NAR-NAR GOON
Township: -----
Section: -----
Crown Allotment: 7 (PART)

Title References: Vol.11081 Fol.288

Last Plan Reference: LOT A on PS611885X
Postal Address: PAKENHAM ROAD,
 PAKENHAM 3810

MGA94 Co-ordinates: E 366 710 **Zone 55**
 (Of approx. centre of plan) N 5 787 050

Council Name: Cardinia Shire Council

Council Reference Number: S18-028
Planning Permit Reference: T130505-2
SPEAR Reference Number: S117616B

Certification
 This plan is certified under section 11 (7) of the Subdivision Act 1988
 Date of original certification under section 6. 06/06/2019

Statement of Compliance
 This is a statement of compliance issued under section 21 of the Subdivision Act 1988

Public Open Space
 A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has been satisfied

Digitally signed by: Sonia Higgins for Cardinia Shire Council on 05/03/2021

Vesting of Roads or Reserves

Identifier	Council/Body/Person
R1 RESERVE No.1 RESERVE No.2	CARDINIA SHIRE COUNCIL CARDINIA SHIRE COUNCIL AUSNET ELECTRICITY SERVICES PTY LTD

Notations

Depth Limitation: Does not apply

Notations

Staging This is not a staged subdivision.
 Planning Permit No. T130505

Survey:- This plan is based on survey.

To be completed where applicable
 This survey has been connected to permanent mark no(s).
 Nar-Nar Goon PM89, 295 & 670
 In proclaimed Survey Area No. ---

Cardinia
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Easement Information

Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour of
E-1	ELECTRICITY SUPPLY	2	PS611885X	LOT 1 ON PS611885X
E-2	SEWERAGE DRAINAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION CARDINIA SHIRE COUNCIL
E-3	SEWERAGE	2.50	THIS PLAN	SOUTH EAST WATER CORPORATION
E-4	POWERLINE	SEE DIAG.	THIS PLAN (S.88 ELECTRICITY INDUSTRY ACT 2000)	AUSNET ELECTRICITY SERVICES PTY LTD
E-5	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-6	DRAINAGE	SEE DIAG.	THIS PLAN	CARDINIA SHIRE COUNCIL

 HEAD & HUMPHREYS LAND CONSULTANTS Suite 3, 47 Railway Road P.O. Box 63, Blackburn 3130 Tel: 9875 8777 Fax: 9875 8778 e-mail: contact@hhsurvey.com.au ABN 80 006 516 199	REF 7678 7678-00-SUB-0111-LUV DWG 11 16-03-2021	ORIGINAL SHEET SIZE: A3 SHEET 1 OF 4 SHEETS
	Digitally signed by: Jason Ollerenshaw, Licensed Surveyor. Surveyor's Plan Version (11), 05/03/2021, SPEAR Ref: S117616B	

PLAN OF SUBDIVISION

LV USE ONLY
EDITION

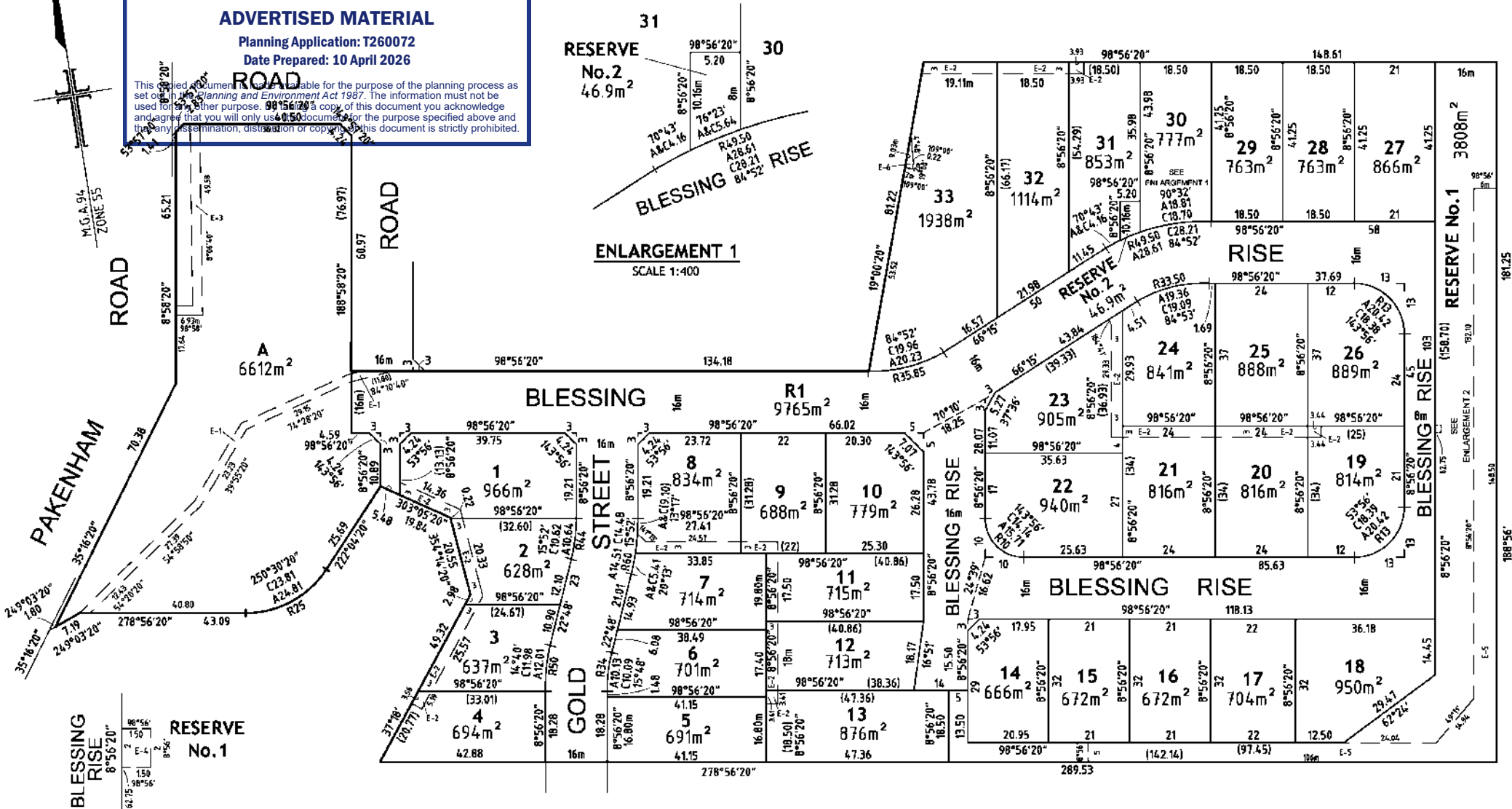
PS811821L



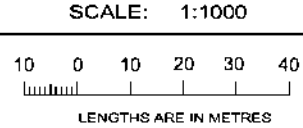
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LAND CONSULTANTS**
Suite 3, 47 Railway Road
P.O. Box 63, Blackburn 3130
Tel: 9875 8777 Fax: 9875 8778
e-mail: contact@hhsurvey.com.au
ABN 60 006 516 169



REF **7678**

7678-00-SUB-0111-LUV DWG 11
16-03-2021

Digitally signed by: Jason Ollershaw, Licensed Surveyor,
Surveyor's Plan Version (11),
05/03/2021, SPEAR Ref: S117616B

ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by:
Cardinia Shire Council,
05/03/2021,
SPEAR Ref: S117616B

PLAN OF SUBDIVISION

LV USE ONLY
EDITION

PS811821L

CREATION OF RESTRICTION

The following restrictions are to be created upon registration of this plan of subdivision.

The registered proprietor for the time being of the burdened land shall comply with the restrictions.

RESTRICTION A. (Building Controls)

Land to be benefited - Lots 1 to 33 (both inclusive) on this plan

Land to be burdened - Lots 1 to 33 (both inclusive) and Reserve No.1 on this plan.

Description of Restriction.

Except with the written consent of Cardinia Shire Council the registered proprietors or proprietor for the time being of any burdened lot on the Plan shall not at any time erect, construct, build or cause or permit to be erected, constructed or built :-

- a. any building or structure other than a building or structure in accordance with the Pakenham Rise Residential Design Guidelines.

Restriction A does not lapse.

RESTRICTION B. (Development Controls)

Land to be benefited - Lots 1 to 33 (both inclusive) on this plan.

Land to be burdened - Lots 1 to 3 (both inclusive), 9, 11, 12, 14 to 18 (both inclusive), 20, 21 and 27 to 33 (both inclusive) on this plan.

Description of Restriction.

Except with the written consent of Cardinia Shire Council the registered proprietors or proprietor for the time being of any burdened lot on the Plan shall not:-

- a. park or store vehicles, machinery, plant or equipment outside of the building envelopes shown on sheet 4 of this plan;
- b. construct a building or part of a building outside of the building envelopes shown on sheet 4 of this plan;

Restriction B does not lapse.

RESTRICTION C.

Land to be benefited - Lots 1 to 33 (both inclusive) on this plan.

Land to be burdened - Lots 14 to 18 (both inclusive) and 27 on this plan.

Description of Restriction.

Except with the written consent of Cardinia Shire Council the registered proprietors or proprietor for the time being of any burdened lot on the Plan shall not:-


- a. permit the felling, lopping or removal of any vegetation abutting the burdened land;

Restriction C does not lapse.



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**BUILDING ENVELOPES
DIAGRAM**
(SEE RESTRICTIONS A & B)

PLAN OF SUBDIVISION

LV USE ONLY
EDITION

PS811821L



ROAD

ROAD

ROAD

PAKENHAM

A


Cardinia
ADVERTISED MATERIAL
 Planning Application: T260072
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BLESSING

R1

RESERVE
No. 2

RISE

RESERVE No. 1

BLESSING RISE

BLESSING RISE

GOLD STREET

BLESSING RISE

LEGEND

BOUNDARY

SETBACK DISTANCE

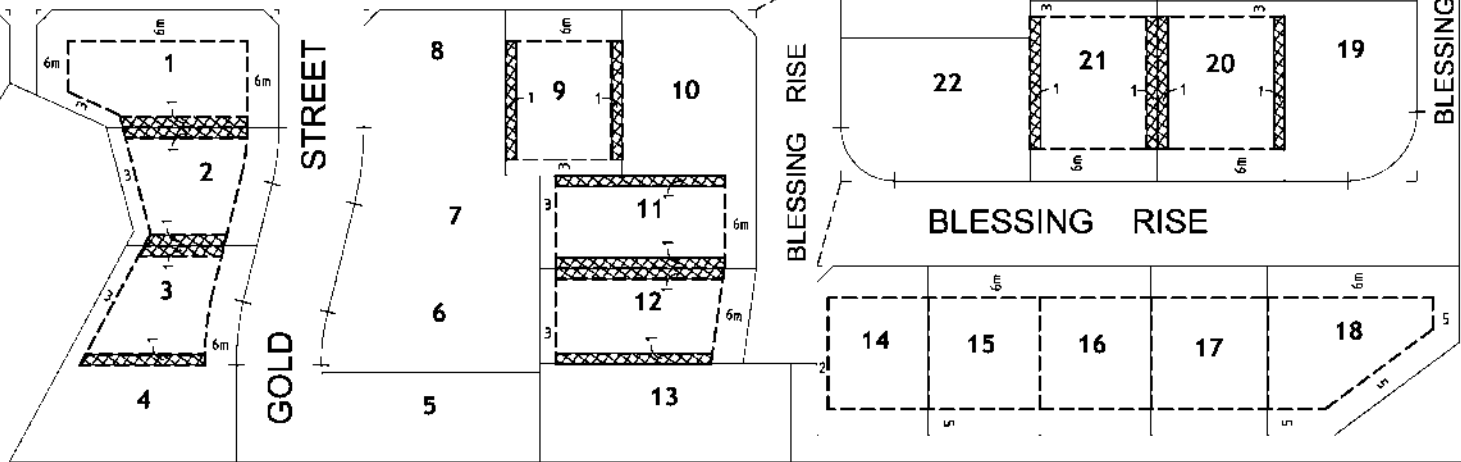
LOT NUMBER

27

BUILDING ENVELOPE BOUNDARY

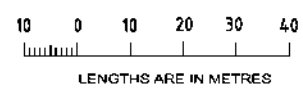
BUILDING ENVELOPE

BUILDING ENVELOPE - ONLY ONE OF THESE ZONES CAN BE UTILISED PER LOT IN RELATION TO THE LOCATION OF THE CROSSOVER PROVIDED FOR THAT LOT.



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LAND CONSULTANTS**
 Suite 3, 47 Railway Road
 P.O. Box 63, Blackburn 3130
 Tel: 9875 8777 Fax: 9875 8778
 e-mail: contact@hhsurvey.com.au
 ABN 60 006 516 169

SCALE: 1:1000



REF **7678**

7678-00-SUB-0111-LUV DWG 11
16-03-2021

Digitally signed by: Jason Ollerenshaw, Licensed Surveyor,
 Surveyor's Plan Version (11),
 05/03/2021, SPEAR Ref: S117616B

ORIGINAL SHEET
SIZE: A3

SHEET 4

Digitally signed by:
 Cardinia Shire Council,
 05/03/2021,
 SPEAR Ref: S117616B

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Cardinia

ADVERTISED MATERIAL

Planning Application: T260072
Date Prepared: 10 April 2026

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SUBDIVISION ACT 1988 PLAN OF SUBDIVISION	STAGE No.	LRS USE ONLY EDITION	PLAN NUMBER PS 611885X
--	-----------	--------------------------------	----------------------------------

LOCATION OF LAND

PARISH: NAR NAR GOON

TOWNSHIP: -----

SECTION: -----

CROWN ALLOTMENT: 7 (PART)

CROWN PORTION: -----

TITLE REFERENCES: VOL. 10561 FOL. 832

LAST PLAN REFERENCE: PS 441730A LOT 2

POSTAL ADDRESS: 180 PAKENHAM ROAD,
(at time of subdivision) PAKENHAM 3810

MGA CO-ORDINATES: E 366 710 ZONE: 55
(of approximate centre of land in plan) (D.C.M.B.) N 5 787 070

VESTING OF ROADS OR RESERVES	
IDENTIFIER	COUNCIL / BODY / PERSON
ROAD, R-1 RESERVE No. 1	CARDINIA SHIRE COUNCIL CARDINIA SHIRE COUNCIL

COUNCIL CERTIFICATION AND ENDORSEMENT

COUNCIL NAME : CARDINIA SHIRE COUNCIL REF : 507/153

- THIS PLAN IS CERTIFIED UNDER SECTION 6 OF THE SUBDIVISION ACT 1988.
- ~~THIS PLAN IS CERTIFIED UNDER SECTION 11(7) OF THE SUBDIVISION ACT 1988.~~
~~DATE OF THE ORIGINAL CERTIFICATION UNDER SECTION 6 - / /~~
- THIS IS A STATEMENT OF COMPLIANCE ISSUED UNDER SECTION 21 OF THE SUBDIVISION ACT 1988.

OPEN SPACE

(i) A REQUIREMENT FOR PUBLIC OPEN SPACE UNDER SECTION 18 OF THE SUBDIVISION ACT 1988 ~~HAS / HAS NOT BEEN MADE.~~

~~(ii) THE REQUIREMENT HAS BEEN SATISFIED.~~

~~(iii) THE REQUIREMENT IS TO BE SATISFIED IN STAGE~~

COUNCIL DELEGATE

~~COUNCIL SEAL~~

DATE 7.3.2008

RE-CERTIFIED UNDER SECTION 11(7) OF THE SUBDIVISION ACT 1988


COUNCIL DELEGATE

~~COUNCIL SEAL~~

DATE / /

NOTATIONS

DEPTH LIMITATION: DOES NOT APPLY



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STAGING THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No.

OTHER PURPOSE OF PLAN
CREATION OF RESTRICTION - SEE SHEET 3

THE LAND BEING SUBDIVIDED IS ENCLOSED WITHIN THICK CONTINUOUS LINES.

SURVEY THIS PLAN IS BASED ON SURVEY

THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No (s) . -----
IN PROCLAIMED SURVEY AREA No. -----

EASEMENT INFORMATION

LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)

EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED / IN FAVOUR OF
E-1	DRAINAGE	3	THIS PLAN	CARDINIA SHIRE COUNCIL
E-1	SEWERAGE	3	THIS PLAN	SOUTH EAST WATER LIMITED
E-2	ELECTRICITY SUPPLY	2	THIS PLAN	LOT 1 ON THIS PLAN

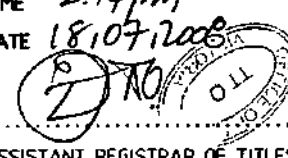
LRS USE ONLY

STATEMENT OF COMPLIANCE/
EXEMPTION STATEMENT

RECEIVED

DATE / /

LRS USE ONLY
PLAN REGISTERED
TIME 2:14pm
DATE 18/07/2008

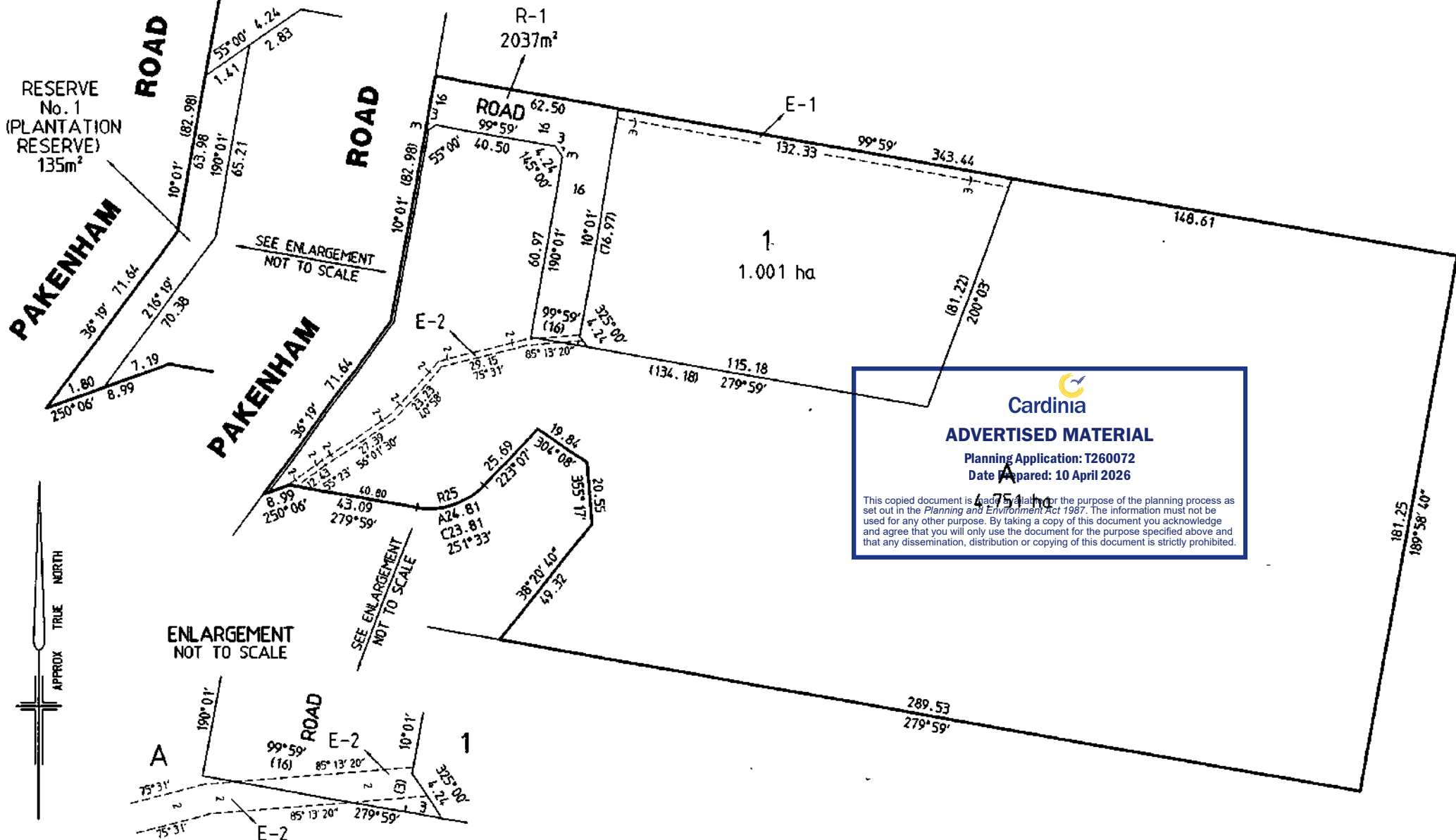


ASSISTANT REGISTRAR OF TITLES

DATE 7.3.2008

COUNCIL DELEGATE SIGNATURE

ENLARGEMENT
NOT TO SCALE

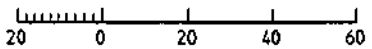



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 Reeds Consulting Pty Ltd
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 Melbourne 3000
 phone (03) 8660 3000 fax (03) 8660 3060
 e-mail survey@reedscon.com.au
 CIVIL ENGINEERS • LAND SURVEYORS • DEVELOPMENT CONSULTANTS

SCALE



LENGTHS ARE IN METRES

ORIGINAL SCALE 1:1250
 SHEET SIZE A3

LICENSED SURVEYOR (PRINT) **ALAN DAVID NORMAN**
 SIGNATURE _____ DATE / /
 REF: 20564/2LPS VERSION: E DATE: 14/01/08 2LPS2E.OGN

SHEET 2 OF 4 SHEETS

DATE / /
 COUNCIL DELEGATE SIGNATURE _____

SUBDIVISION ACT 1988

STAGE No.

PLAN NUMBER

PLAN OF SUBDIVISION

PS 611885X

CREATION OF RESTRICTION

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS TO BE CREATED

LAND TO BENEFIT: LOTS 1 AND A
LAND TO BE BURDENED: LOTS 1 AND A

DESCRIPTION OF RESTRICTION:

1. THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT MUST NOT BUILD OR ERECT OR PERMIT TO BE BUILT OR ERECTED OR REMAIN ON THE BURDENED LOT OR ANY PART OF IT ANY BUILDING OR STRUCTURE OUTSIDE OF THE BUILDING ENVELOPE INCORPORATED INTO THIS PLAN ON SHEET 4
2. THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT MUST NOT BUILD OR ERECT OR PERMIT TO BE BUILT OR ERECTED OR REMAIN ON THE BURDENED LOT OR ANY PART OF IT ANY BUILDING OR STRUCTURE RELATING TO EFFLUENT DISPOSAL OUTSIDE OF THE EFFLUENT DISPOSAL ENVELOPE INCORPORATED INTO THIS PLAN ON SHEET 4.
3. THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY LOT ON THIS PLAN SHALL NOT APPLY FOR AN OCCUPANCY PERMIT UNDER THE BUILDING ACT UNLESS A STATIC WATER SUPPLY AND ACCESS REQUIREMENTS HAS BEEN PROVIDED TO THE SATISFACTION OF THE COUNTRY FIRE AUTHORITY.
4. THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY LOT ON THIS PLAN SHALL NOT APPLY FOR AN OCCUPANCY PERMIT UNDER THE BUILDING ACT UNLESS ALL TREES THAT OVERHANG THE BUILDING ARE REMOVED.



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Reeds Consulting Pty Ltd 瑞斯諮詢
 Level 6 440 Elizabeth Street
 Melbourne 3000
 phone (03) 8660 3000 fax (03) 8660 3060
 e-mail survey@reedscon.com.au
Councils & Government

LICENSED SURVEYOR (PRINT) **ALAN DAVID NORMAN**

SIGNATURE DATE / /

REF: 20564/2LPS VERSION: E DATE: 14/01/08 2LPS3E.DGN

SHEET 3 OF 4 SHEETS

DATE / /

COUNCIL DELEGATE SIGNATURE

Imaged Document Cover Sheet

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Document Identification	AR973357H
Number of Pages (excluding this cover sheet)	3
Document Assembled	10/08/2021 11:20

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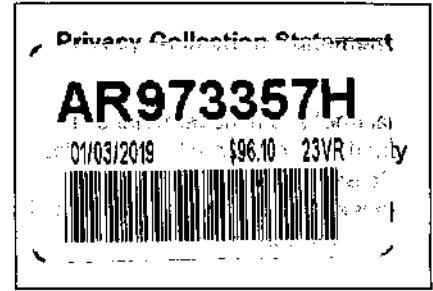
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Cardinia
ADVERTISED MATERIAL
Planning Application: T260072
Date Prepared: 10 April 2026

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**Restriction: creation, removal or variation
Section 23 Subdivision Act 1988**



Lodged by

Name: XIN LI
Phone: 0458 206 006
Address:
Reference: 17/1103
Customer code: 176772

The applicant applies to register a **VARIATION** restriction under section 23 of the Subdivision Act 1988.

Burdened land: (volume and folio or other land description as necessary)

VOLUME 11081 FOLIO 288

Council in which land is located: **CARDINIA SHIRE COUNCIL**

SPEAR ref: S117881H

Benefited land: (only complete if restriction is being created) (volume and folio or other land description as necessary)

Applicant: (full name and address, including postcode)

HORIZON PROPERTY INVESTMENT GROUP PTY LTD A.C.N 621 002 757 OF 49 ROSALIND CRESCENT, BLACKBURN 3130

Signing:

35271702A

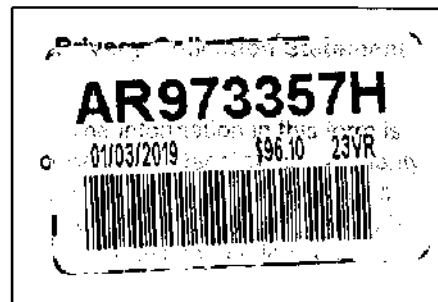
23RSA

Page 1 of 2

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Land Use Victoria contact details: www.delwp.vic.gov.au/property>Contact us

Restriction: creation, removal or variation
Section 23 Subdivision Act 1988



Certifications

1. The Certifier has taken reasonable steps to verify the identity of the applicant.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of **HORIZON PROPERTY INVESTMENT GROUP PTY LTD**

Signer Name **XIN LI**

Signer Organisation **XIN LI SOLICITORS**

Signer Role **AUSTRALIAN LEGAL PRACTITIONER**

Signature

Execution Date

01/03/19



35271702A

23RSA

Page 2 of 2

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Land Use Victoria contact details: www.delwp.vic.gov.au/property>Contact us

PLAN FOR VARIATION OF RESTRICTION

(Section 23 Subdivision Act 1988)

AR973357H

Location of Land

Parish: NAR NAR GOON
 Township: -----
 Section: -----
 Crown Allotment: 7 (PART)

Title References: Vol. 11081 Fol. 288

Last Plan Reference: LOT A ON PS611885X
 Postal Address: PAKENHAM ROAD
 PAKENHAM 3810

MGA94 Co-ordinates: E 366 710 Zone 55
 (Of approx. centre of plan) N 5 787 050

Council Name: Cardinia Shire Council

Council Reference Number: s18/033
 Planning Permit Reference: T130505-2
 SPEAR Reference Number: S117881H

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Statement of Compliance

This is a statement of compliance issued under section 21 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made

Digitally signed by: Simone Norbury for Cardinia Shire Council on 07/11/2018

Notations

Upon registration of this plan the following restriction is to be varied.

Land over which the restriction is to be varied:

C/T Vol. 11081 Fol. 288

Identity of restriction:

Restriction PS611885X, which reads:

Description of Restriction:

1. The registered proprietor or proprietors for the time being of any burdened lot must not build or erect or permit to be built or erected or remain on the burdened lot or any part of it any building or structure outside of the building envelope incorporated into this plan on sheet 4;
2. The registered proprietor or proprietors for the time being of any burdened lot must not build or erect or permit to be built or erected or remain on the burdened lot or any part of it any building or structure relating to effluent disposal outside of the effluent disposal envelope incorporated into this plan on sheet 4;
3. The registered proprietor or proprietors for the time being of any lot on this plan shall not apply for an occupancy permit under the Building Act unless a static water supply and access requirements has been provided to the satisfaction of the Country Fire Authority;
4. The registered proprietor or proprietors for the time being of any lot on this plan shall not apply for an occupancy permit under the Building Act unless all trees that overhang the building are removed.

Variation:

To vary the description of the Restriction to read:

Description of Restriction:

1. The registered proprietor or proprietors for the time being of any lot on this plan shall not apply for an occupancy permit under the Building Act unless a static water supply and access requirements has been provided to the satisfaction of the Country Fire Authority;

This variation is authorised by:

Planning Permit No. T130505-1 issued on 20th November 2014.


ADVERTISED MATERIAL
 Planning Application: T260072
 Date Prepared: 10 April 2026

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HEAD & HUMPHREYS
LAND CONSULTANTS
 Suite 3, 47 Railway Road
 P.O. Box 63 Blackburn 3130
 Tel: 9875 8777 Fax: 9875 8778
 e-mail: contact@hhsurvey.com.au

REF **7678**

7678 00 VAR 0101.DWG
 22-02-2018

01

ORIGINAL SHEET
 SIZE: A3

SHEET 1 OF 1 SHEETS

Digitally signed by: Jason Ollershaw, Licensed Surveyor,
 Surveyor's Plan Version (01),
 22/02/2018, SPEAR Ref: S117881H



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 30/11/2022 02:47:28 PM

Status	Registered	Dealing Number	AU092536S
Date and Time Lodged	28/02/2021 11:22:06 AM		

Lodger Details

Lodger Code	20747C
Name	HOLDING REDLICH
Address	
Lodger Box	
Phone	
Email	
Reference	JBM 19040373



APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

11081/288

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC
Postcode	3809



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	TESS KERRIDGE
Signer Organisation	PARTNERS OF HOLDING REDLICH
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	28 FEBRUARY 2021

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



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Number of Pages (excluding this cover sheet)	9
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Dated 26 February 2021

Agreement made pursuant to Section 173 of the Planning and Environment Act 1987

Cardinia Shire Council

and

Horizon Property Investment Group (ACN 621 002 757)

Subject Land: 180 Pakenham Road, Pakenham Victoria 3810



ADVERTISED MATERIAL

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This Agreement is dated

Parties

Council: Cardinia Shire Council of 20 Siding Avenue, Officer Victoria 3809

Owner: Horizon Property Investment Group (ACN 621 002 757) of 17 Bryson Street, Canterbury Victoria 3126

Introduction

- A** Council is the responsible authority for the administration and enforcement of the Scheme pursuant to the Act.
- B** The Owner is the registered proprietor of the Land.
- C** The Land is encumbered by mortgage number AS494994L in favour of the Mortgagee. The Mortgagee has consented to the Owner entering into this Agreement. A copy of this consent is attached at Annexure B.
- D** On 15 May 2019, Council issued the Permit, which allows the subdivision of land, removal of native vegetation, removal of an easement, creation of an easement, removal of restriction on title (building and waste envelope) and associated earthworks, generally in accordance with approved plans.
- E** Condition 6 of the Permit relevantly provides:
- 6. Section 173 Agreement**
- Prior to the Statement of Compliance being issued;
- a) the owner must enter into an agreement with the Responsible Authority made pursuant to section 173 of the Planning and Environment Act 1987, and make the application to the Registrar of Titles to have the agreement registered on the title to the land under Section 181 of the Act, which provides;
- i. that on Lot 27 to 33 a 10m fire buffer and Lot 18 and 27 a 4m buffer on the eastern boundary side is to be incorporated into each allotment and be managed and maintained to a minimum fuel conditions during the declared Fire Danger Period to the satisfaction of the CFA and the Responsible Authority. There are to be no buildings or structures including clothes lines, sheds, cubby houses or tree planting within the fire buffer as shown on the endorsed plans of this permit.
- ii. the keeping of cats is prohibited within any of the lots within the approved subdivision.
- The owner must pay the reasonable costs of the preparation, execution and registration of the section 173 agreement.
- F** This Agreement is made under Division 2 of Part 9 of the Act.
- G** This Agreement has been entered into in order to:
- (a) prohibit, restrict or regulate the use or development of the Land; and

- (b) achieve and advance the objectives of planning in Victoria or the objectives of the Scheme in relation to the Land.

It is agreed:

2. Definitions and interpretation

2.1 Definitions

In this Agreement, unless the context clearly indicates otherwise:

Act means the *Planning and Environment Act 1987*;

Agreement means this Agreement, including the recitals and any annexures to this Agreement;

CFA means the Country Fire Authority established under the *Country Fire Authority Act 1958* or any successor authority;

Council means the Cardinia Shire Council or any other municipal council which may, from time to time, be the responsible authority in relation to the Land pursuant to the Act;

Fire Buffer means the fire buffer zone required to be established and maintained on the Land, in accordance with clause 5 of this Agreement and as shown on the endorsed plan name known as Proposed Development Plan (or as amended);

Fire Danger Period has the same meaning as under the *Country Fire Authority Act 1958*;

Land means all the land contained in certificate of title volume 11081 folio 288 and more particularly described as Lot A on Plan of Subdivision 611885X;

Lot means a lot resulting from the subdivision of the Land allowed by the Permit and a reference to a lot number is a reference to the corresponding Lot, as shown on the Plan;

Minimum Fuel Conditions means the state of having insufficient fuel available to significantly increase the severity of a bushfire, including a maximum grass height of 100mm;

Mortgagee means National Australia Bank Ltd or the person registered or entitled, from time to time, to be registered by the Registrar of Titles as mortgagee of the Land or any part of it;

Owner means the person or persons registered or entitled to be registered as proprietor of an estate in fee simple of the Land and includes a mortgagee-in-possession;

Permit means Planning Permit No. T130505-3 issued on 20 November 2014 and as amended on 15 May 2019;

Plan means the plan prepared by SJE Consulting with the reference 200524 version 1 and as endorsed by the Council on 15 May 2019, or as amended from time to time with the consent of Council, but generally in accordance with the plan attached as Annexure A to this Agreement;

Register means the register maintained by the Registrar of Titles under the *Transfer of Land Act 1958*; and

Scheme means the Cardinia Planning Scheme or any other planning scheme which applies to the Land from time to time.



2.2 Interpretation

- (a) a reference to legislation or a legislative provision includes any statutory modification or substitution of that legislation or legislative provision and any subordinate legislation issued under that legislation or legislative provision;
- (b) a reference to a body or authority which ceases to exist is a reference to either a body or authority that the parties agree to substitute for the named body or authority or, failing agreement, to a body or authority having substantially the same objects as the named body or authority;
- (c) a requirement to do any thing includes a requirement to cause that thing to be done and a requirement not to do any thing includes a requirement to prevent that thing being done;
- (d) the singular includes the plural and vice-versa.

3. Commencement

This Agreement commences on the date it is made as set out above.

4. Termination of Agreement

4.1 Termination

- (a) This Agreement ends when the Owner has complied with its obligations under this Agreement.
- (b) This Agreement may be ended by agreement between the parties in accordance with the Act, or as otherwise provided for in this Agreement.

4.2 Cancellation of Agreement

As soon as reasonably practicable after this Agreement has ended wholly, in part, or as to the whole or part of the Land, Council must, at the cost of the Owner, notify the Registrar of Titles of such under section 183(1) of the Act to enable the Registrar to cancel or alter the recording of this Agreement on the Register as may be applicable.

5. Owner's Covenants

5.1 Fire Buffer

The Owner covenants and agrees that:

- (a) a 10m Fire Buffer on Lots 27 to 33 (inclusive) must be maintained on the northern boundary side of those Lots;
- (b) a 4m Fire Buffer on Lots 18 and 27 must be maintained on the eastern boundary side of those Lots;
- (c) the Fire Buffers required under clause 5.1(a) and (b) must be managed and maintained to Minimum Fuel Conditions during the declared Fire Danger Period to the satisfaction of the CFA and Council; and
- (d) no tree planting, buildings or structures, including clotheslines, sheds, and cubby houses, are permitted within the Fire Buffer.



5.2 Keeping of cats prohibited

The Owner covenants and agrees that cats must not be kept or allowed to be kept on the Land.

6. Successors in title

Until this Agreement is recorded in the Register in accordance with section 181 of the Act, the Owner must ensure that the Owner's successors in title give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement, including requiring the successors in title to execute a deed agreeing to be bound by the terms of this Agreement. Until that deed is executed, the Owner remains liable to perform all of the Owner's obligations contained in this Agreement.

7. Recording of agreement

The Owner must do all things necessary to give effect to this Agreement and to enable Council to record this Agreement on the folio of the Register which relates to the Land, including signing any further agreement, acknowledgment, or document.

8. Payment of Council's costs

- (a) The Owner agrees to, upon demand, pay to Council the costs and expenses of and incidental to the preparation, execution, recording and enforcement of this Agreement incurred by Council.
- (b) The Owner agrees to pay interest to Council in accordance with section 227A of the *Local Government Act 1989* on any amount payable under this Agreement that is not paid by the due date.

9. Covenants run with the Land

The Owner's obligations under this Agreement take effect as covenants which shall be annexed to and run at law and in equity with the Land and every part of it, and bind the Owner, its successors, assignees and transferees, and the registered proprietor for the time being of the whole or any part of the Land.

10. No fettering of Council's powers

- (a) This Agreement does not fetter or restrict Council's power or discretion in respect of any of Council's decision making powers, including but not limited to, to make decisions under the *Local Government Act 1989* and the Act, to make or impose requirements or conditions in connection with any use or development of the Land, the granting of any planning permit, the approval or certification of any plans of subdivision or consolidation relating to the Land, or the issue of a statement of compliance in connection with any such plans.
- (b) The Owner acknowledges that Council's entry into this Agreement does not place any obligations upon Council with respect to the grant of a permit for the subdivision or use and development of the Land.

Execution page

SIGNED, SEALED AND DELIVERED as a deed by the parties on the date set out at the commencement of this Agreement.

THE COMMON SEAL of the **CARDINIA SHIRE COUNCIL** was affixed on this 17 day of August 2020 in the presence of **DEBBIE TYSON**, being a delegated officer pursuant to Local Law No. 16 (2014) under a delegation dated 20 May 2019.



PI : 10147733 - 1
del: 6/5/2020



Manager Development and Compliance Services

Executed by **HORIZON PROPERTY INVESTMENT GROUP (ACN 621 002 757)** in accordance with section 127 of the *Corporations Act 2001*:



Name of Director



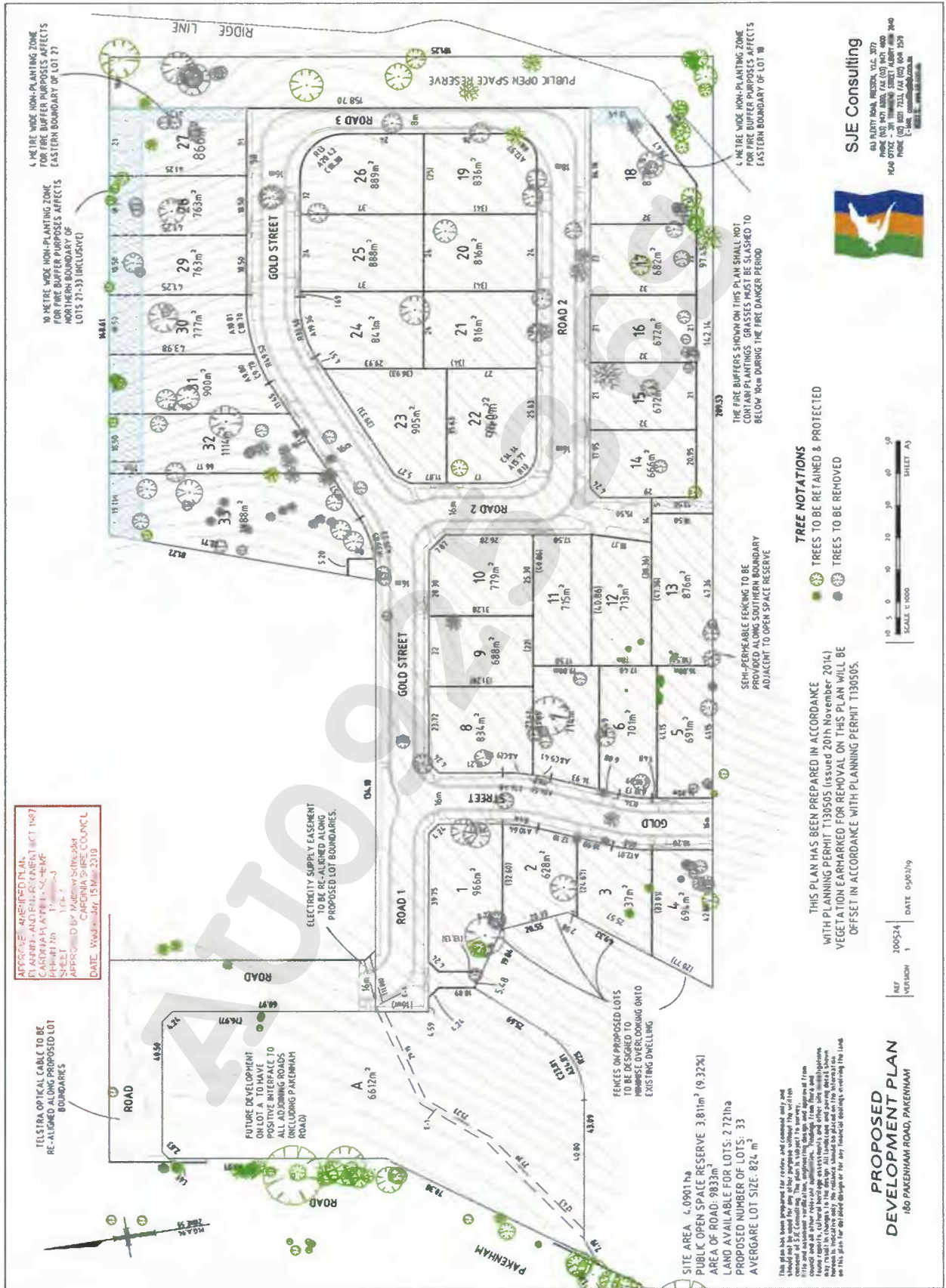

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260072
 Date Prepared: 10 April 2026

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Annexure A - Endorsed Plan



Annexure B - Mortgagee Consent

National Australia Bank Ltd, as Mortgagee under mortgage no. AS494994L which encumbers the Land, consents to the Owner entering into this Agreement.

.....
Signature

.....
Print Name

.....
Title

AU0925365


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Registrar of Titles
Land Titles Office
2 Lonsdale Street
MELBOURNE


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APPLICATION TO REGISTER AN AGREEMENT UNDER SECTION 173 OF THE PLANNING AND ENVIRONMENT ACT 1987

Certificate of Title Volume 11081 Folio 288

Registered Proprietor/s: Horizon Property Investment Group Pty Ltd

National Australia Bank Limited A.B.N. 12 004 044 937 as Mortgagee pursuant to Registered Mortgage number AS494994L hereby consents to the within Agreement.

Dated this _____ day of _____ 20____

EXECUTED by **NATIONAL AUSTRALIA BANK LIMITED** by being signed sealed and delivered in Victoria by its Attorney)

who holds the position of Level 3 Attorney under Power of Attorney dated 1/3/2007 (a certified copy of which is filed in Permanent Order Book No 277 Page No 025 Item 35) in the presence of:)

[Redacted signature area]

) Attorney

[Redacted signature area]

.....
Signature of Witness

[Redacted signature area]

AUTO 360

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H. C. O. R. E. A. M. S.

Planning and Environment Regulations 1998 No 8

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Form 13

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Section 181

APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE MAKING OF A
RECORDING OF AN AGREEMENT

Planning and Environment Act 1987

Lodged at the Land Titles Office by:

Name: Duffy & Simon Lawyers
Phone: (03) 5941 1622
Address: John Street, Pakenham
Ref: dd:GH 00.6.1555 **Customer Code:** 0756P

The Authority having made an agreement referred to in Section 181(1) of the **Planning and Environment Act 1987** requires a recording to be made in the Register for the land.

Land (*Insert Volume and Folio reference*) (*if part only, define the part*)

Certificate of Title Volume 8576 Folio 473

Authority (*name and address*)

Cardinia Shire Council, Municipal Offices, Henty Way, Pakenham 3810

Section and Act under which agreement made:

Section 173 of the Planning and Environment Act 1987

A copy of the Agreement is attached to this Application

Signature for the Authority: *PH*

Name of Officer: PHILIP WALTON

Date: 13th September 2000



DX049709H-1-1

11025/19/00

X049709H

20/09/2000 \$0 173



Cardinia
 ADVERTISED MATERIAL
 Planning Application: 1260072
 Date Prepared: 10 April 2026

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This Agreement is made on the 30th day of AUGUST, 2000

BETWEEN CARDINIA SHIRE COUNCIL of Henty Way, Pakenham in the State of Victoria ("the Council")

AND LORIS FRANCES COX of 162 Pakenham Road, Pakenham in the said State ("the Owner")

Recitals

- A. The Owner is the registered proprietor of 162 Pakenham Road, Pakenham ("the Land").
- B. The Council is the Responsible Authority pursuant to the Act for the Scheme.
- C. The Owner has obtained a Planning Permit from the Council to carry out a development of the land.
- D. As a condition of the Planning Permit, the Owner must enter into an agreement pursuant to Section 173 of the Act to be registered on the title which addresses the issues stated in the Planning Permit.

Operative provisions

1. Definitions

In this Agreement the terms and words set out in this clause shall have the following meanings unless otherwise indicated by the context:

- 1.1 "the Act" means the *Planning and Environment Act 1987*;
- 1.2 "the Agreement" or "this Agreement" means this agreement and any agreement executed by the parties expressed to be supplemental to this agreement;
- 1.3 "approved" means approved by Council;
- 1.4 "Approved Plan" means Plan of Subdivision No. 441730A which was approved on 21st July 2000, a copy of which is contained in Annexure "A" to this Agreement.

1664251000
T000009
9173 Ag.
162 PAK Rd
PAK.

X049709H

20/09/2000

\$0 173

-2-

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260072
 Date Prepared: 10 April 2026

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- 1.5 **"development"** includes subdivision;
- 1.6 **"the Land"** means the land known as Lot 3 LP 8840, 162 Pakenham Road, Pakenham which is more particularly described as Certificate of Title Volume 8576 Folio 473;
- 1.7 **"Lot"** or **"Lots"** means the lots on the Land as shown in the Approved Plan;
- 1.8 **"Owner"** means the person or persons entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Land or any part of it;
- 1.9 **"Planning Permit"** means Planning Permit No. T000009 issued by the Council on 15th March 2000. A copy of the Planning Permit is contained in Annexure B to this Agreement.
- 1.10 **"the Scheme"** means the Cardinia Planning Scheme.

2. Interpretation

All provisions of this Agreement are to be interpreted in the following manner unless otherwise indicated by the context:

- 2.1 Undefined terms or words shall have the meanings given in the Act or the Scheme.
- 2.2 The singular includes the plural and the plural includes the singular.
- 2.3 A reference to a gender includes a reference to each other gender.
- 2.4 A reference to a person includes a reference to a firm, corporation or other corporate body.
- 2.5 If a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.6 A reference to a "planning scheme or "the Scheme" shall include amendment, consolidation or replacement of such scheme and any document incorporated by reference into such scheme.
- 2.7 A reference to a statute shall include any statutes amending, consolidating or replacing same and any regulations made under such statutes.

X049709H

20/09/2000

\$0 173

-3-

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- 2.8 Where in this agreement the Council may exercise any power, duty or function, that power may be exercised on behalf of the Council by an authorised or delegated officer.
- 2.9 All headings are for ease of reference only and shall not be taken into account in the construction or interpretation of this Agreement.
- 2.10 The introductory clauses of this Agreement are and will be deemed to form part of this Agreement.

3. Agreement under Section 173 of the Act

The Council and the Owner agree that without limiting or restricting their respective powers to enter into this Agreement and in so far as it can be so treated, this Agreement is made pursuant to Section 173 of the Act.

4. Effect of Agreement

- 4.1 This Agreement shall be deemed to come into force and effect from the date of this Agreement.
- 4.2 The obligations of the Owner under this Agreement, being obligations to be performed by the Owner as conditions subject to which the Land may be used or developed for specified purposes and being intended to achieve or advance the objectives of the Scheme, will take effect as separate and several covenants which shall be annexed to and run at law and in equity with the Land to bind the Owner and each successor, assign or transferee of the Owner.

X049709H

20/09/2000

\$0 173

-4-

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260072



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5. Covenants of Owner

The Owner covenants and agrees that:

- (a) The Owner will allow access to Lot 1 on the Approved Plan from the existing driveway only until such time as access is available from the road proposed to be constructed to the north of the said Lot 1.
- (b) Within three (3) months of access being available to the north the existing driveway must be removed and the boundary between the said Lot 1 and the 'Tree Reserve No. 1' shown on the Approved Plan fenced to the satisfaction of the Responsible Authority.
- (c) The Owner must incur all costs associated in preparing and registering this Agreement on title.
- (d) This Agreement may be ended wholly or in part or as to any part of the land by the Council with the approval of the Minister for Planning or by agreement between the Council and all persons who are bound by any covenant in this Agreement;
- (e) **Notice**
 This Agreement will be brought to the attention of all prospective purchasers, mortgagees, transferees and assigns.
- (f) **Compliance**
 The Owner will carry out and comply with the requirements of all statutory authorities and comply with all statutes, regulations, local laws and planning controls in relation to the Land.
- (g) The Owner will take all necessary steps to comply with the obligations of each and every clause in this Agreement.
- (h) **Registration**
 The Owner will consent to the Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the folio of the Register which relates to the Land in accordance with Section 181 of the Act and do all things necessary to enable the Council to do so including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable the recording to be made in the Register under that section.

X049709H

20/09/2000

\$0 173

-5-

Cardinia
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 Planning Application: T260072
 Date Prepared: 10 April 2026

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(i) **Mortgage to be Bound**

The Owner will obtain the consent of any mortgagee to be bound by the covenants in this Agreement if the mortgagee becomes mortgagee in possession of the Land.

(j) **Council's Costs to be Paid**

The Owner will pay the Council's reasonable costs and expenses (including legal expenses) incidental to enforcement of this Agreement.

(k) **Indemnity**

The Owner will indemnify and keep indemnified the Council, its officers, employees, agents, workmen and contractors from and against all costs, expenses, losses or damages whatsoever which they or any of them may sustain incur or suffer to be or become liable for or in respect of any suit action proceeding judgment or claim brought by any person whatsoever arising from or referable to this Agreement or any non-compliance with this Agreement.

(l) **Non-Compliance**

If the Owner has not complied with this Agreement within 14 days after service of a notice by the Council specifying such non-compliance, the Owner covenants to allow the Council its officers, employees, contractors or agents to enter the Land and rectify such non-compliance.

Council Access

5.12 The Owner covenants to allow the Council and/or its officers, employees, contractors or agents (at any reasonable time) to enter the Land to assess compliance with this Agreement.

6. Notices

6.1 Service of Notice

A notice or other communication required or permitted to be served by a party on another party shall be in writing and may be served:

- (a) personally to the party; or

X049709H

20/09/2000 \$0 173

-6-


ADVERTISED MATERIAL
 Planning Application: T260072
 Date Prepared: 10 April 2021

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- (b) by sending it by pre-paid post, addressed to that party at the address for service specified in this document or subsequently notified to each party;
- (c) by facsimile to the person's number for service specified in this document or subsequently notified to each party.

6.2 Time of Service

A notice or other communication is deemed served:

- (a) if served personally, upon service;
- (b) if posted within Australia to an Australian address, two business days after posting and in any other case, seven business days after posting; or
- (c) if served by facsimile, at the time indicated on the transmission report produced by the sender's facsimile machine indicating that the facsimile was sent in its entirety to the addressee's facsimile;
- (d) if received after 6.00pm in the place of receipt or on a day which is not a business day, at 9.00am on the next business day.

7. GENERAL

7.1 Further Assurance

Each party must promptly execute and deliver all documents and take all other action necessary or desirable to effect, perfect or complete the transactions contemplated by this Agreement.

X049709H

20/09/2000 \$0 173

-7-

Cardinia
ADVERTISED MATERIAL
 Planning Application: T260072
 Date Prepared: 10 April 2026

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7.2 No Waiver

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by the Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of the Council in relation to the terms of this Agreement.

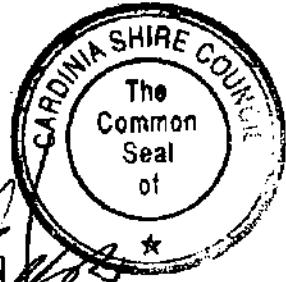
7.3 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it shall be severed and the other provisions of this Agreement shall remain operative.

7.4 Costs

The Owner will immediately pay to the Council, the Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution and registration of this Agreement which are and until paid remain a debt due to the Council by the Owner.

**THE COMMON SEAL of CARDINIA SHIRE)
COUNCIL** was affixed in the presence of:)



Mayor..... *C. S. Legge*
 Full name..... CAROLINE COLVIN LEGGE
 Usual address..... 16 HERONS AVENUE
BRICKNELL, VIC.

CEO..... *[Signature]*
 Full name..... DONALD S. WELSH
 Usual address..... 14 Railway Ave
Beaconsfield

**SIGNED SEALED AND DELIVERED by)
LORIS FRANCES COX in the presence of)**

L Cox

Witness..... *[Signature]*

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20/09/2000 \$0 173

Barcode
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Form 4.4

PLANNING PERMIT

Permit No. **T000009**

Planning Scheme: **Cardinia Planning Scheme**

Responsible Authority: **Cardinia Shire Council**

ADDRESS OF THE LAND:

Address: **162 PAKENHAM RD, PAKENHAM**
 Lot/LP Details: **Lot 1, LP 8840**

THE PERMIT ALLOWS:

The subdivision of the land into two (2) lots generally in accordance with the approved plans.

THE FOLLOWING CONDITIONS NO.1- 7 INCLUSIVE APPLY TO THIS PERMIT:

1. Prior to the certification of a plan of subdivision, three (3) copies of amended plans must be submitted to and approved by the responsible authority. The plans must be generally in accordance with the submitted plans but modified to show:
 - (a) A 5.0 metre by 5.0 metre splay at the northern boundary of Lot 1;
 - (b) The land between the splay required by Condition 1(a) and the southern property boundary as 'Tree Reserve' with a width of 5.0 metres;
 - (c) The 'Proposed Road Widening' across the frontage of Lot 2 deleted; and
 - (d) A three (3) metre wide drainage easement along the southern boundary of Lot 1 in favour of Lot 2;
 to the satisfaction of the responsible authority.
2. The layout of the subdivision, as shown on the approved plan, must not be altered or modified without the consent in writing of the responsible authority.
3. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage facilities, electricity, gas and telecommunications services to each lot shown on the approved plan in accordance with the authority's requirements and relevant legislation at the time.
4. All existing and proposed easements and sites for existing or required utility services and roads on the land must be set aside in the plan of subdivision submitted for certification in favour of the relevant authority for which the easement or site is to be created.
5. The plan of subdivision submitted for certification under the Subdivision Act 1988 must be referred to the relevant authority in accordance with Section 8 of that Act.

Date Issued: 15/3/00

Signature for the Responsible Authority: 

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20/09/2000 \$0 173



ADVERTISED VALUE
Planning Application: 720009
Date Prepared: 10 April 2026

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Form 4.4

PLANNING PERMIT

Permit No. **T000009**

Planning Scheme: **Cardinia Planning Scheme**

Responsible Authority: **Cardinia Shire Council**

ADDRESS OF THE LAND:

Address: **162 PAKENHAM RD, PAKENHAM**

Lot/LP Details: **Lot 3, LP 8840**

THE PERMIT ALLOWS:

The subdivision of the land into two (2) lots generally in accordance with the approved plans.

THE FOLLOWING CONDITIONS NO.1-7 INCLUSIVE APPLY TO THIS PERMIT:

6. Prior to a Statement of Compliance being issued:
 - (a) it must be demonstrated to the satisfaction of Council's Health Department that the septic system for the existing dwelling will be contained within the boundaries of Lot 1;
 - (b) the permit holder must enter into an agreement under Section 173 of the Planning and Environment Act 1987 to allow access to Lot 1 from the existing driveway only until such time as access is available from the road proposed to be constructed to the north. Within three (3) months of access being available to the north the existing driveway must be removed and the boundary between Lot 1 and the 'Tree Reserve' fenced to the satisfaction of the responsible authority. The permit holder must incur all costs associated in preparing and registering this agreement on title; and
 - (c) a cash contribution must be provided in lieu of the provision of an area or areas for public open space equivalent to eight (8) percent of the site value of Lot 1.
7. This permit will expire if:
 - (a) the subdivision is not commenced within two (2) years of the date of this permit; or
 - (b) the subdivision is not completed within five (5) years of the date of commencement.

The responsible authority may extend the periods referred to, if a request is made in writing before the permit expires or within three (3) months afterwards.

(Note: The starting of the subdivision is regarded by Section 68(3A) of the Planning and Environment Act 1987 as the certification of a plan, and completed is regarded as the registration of the plan).

Date Issued: 15/3/00

Signature for the Responsible Authority: 

PLAN OF SUBDIVISION	Stage No. /	LTO use only	Plan Number PS441730A
----------------------------	----------------	--------------	---------------------------------

Location of Land
 Parish: Nar Nar Goon
 Township: _____
 Section: _____
 Crown Allotment: 7 (Part)
 Crown Portion: _____

LTO base record: DCM8
 Title References C/T V.8576 F.473

Last Plan Reference: LP8840 (Lot 3)
 Postal Address: 162 Pakenham Road
 (AI line of subdivision) Pakenham 3810

AMG Co-ordinates E. 366 650
 101 approx. centre of plan N. 5 786 900 ZONE 55

Vesting of Roads or Reserves

Identifier	Council/Body/Person
Res No 1	Cardinia Shire Council

Council Certification and Endorsement

Planning Application: T260072
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Council Name: Cardinia Shire Council Ref: **500/089**

- This Plan is certified under Section 6 of the Subdivision Act 1988.
- This plan is certified under section 11(7) of the Subdivision Act 1988
 Date of original certification under section 6 ____/____/____
- This is a statement of compliance issued under section 21 of the Subdivision Act 1988.

OPEN SPACE

(i) A requirement for public open space under Section 10 Subdivision Act 1988 has / has not been made.

(ii) The requirement has been satisfied

(iii) The requirement is to be satisfied in Stage
 Council delegate
 Council seal
 Date / /

Re-certified under section 11(7) of the Subdivision Act 1988.

Council delegate
 Council seal
 Date / /

Notations


Depth Limitation: Does not apply

APPROVED PLAN

PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME

PERMIT No. T000009

SHEET 1 OF 2


SIGNED: 
 CARDINIA SHIRE

DATE: 31/3/00

Staging This is/is not a staged subdivision
 Planning permit No. T000009

Lot 2 is not the subject of this survey.

X049709H
 20/09/2000 \$0 173



Survey This plan is / ~~is not~~ based on survey

This survey has been connected to permanent marks nos(s).
 Proclaimed Survey Area no.

Easement Information

Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/in Favour Of
E-1	Drainage	3	This plan	Lot 2 on this plan and Cardinia Shire Council

LTO use only

Statement of compliance/
 Exemption Statement

Received

Date / /

LTO use only

PLAN REGISTERED
 TIME
 DATE / /

Assistant Registrar of Titles
 Sheet 1 of 2 Sheets


DATE / /

COUNCIL DELEGATE SIGNATURE

Original sheet size A3

LITTLE & BROSNAN Pty. Ltd.
 A.C.N. 006 434 968
 LAND SURVEYORS, PLANNERS
 & DEVELOPMENT CONSULTANTS
 189 JOHNSTON STREET, FITZROY, 3065.
 TELEPHONE: (03)9417-7311 FAX: (03)9417-1813

LICENSED SURVEYOR Damian Leo Slattery

SIGNATURE  DATE 11/17/00

REF. 3009-1 VERSION 11-7-00

3009-16.DWG

X049709H

20/09/2000

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Dated 30TH AUGUST 2000

Cardinia Shire Council
"the Council"

Loris Frances Cox
"the Owner"

Section 173 Agreement
Property - 162 Pakenham Road,
Pakenham

Duffy & Simon
Lawyers
23 John Street
Pakenham 3810

Tel (03) 59411622
Ref: dd;gh;00.6.1555

convey/vendor/coxll/sect173agree.doc

**LAND INFORMATION CERTIFICATE
SECTION 121 LOCAL GOVERNMENT ACT 2020
LOCAL GOVERNMENT (LAND INFORMATION)
REGULATIONS 2021**



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Landata Counter Services
DX 250639
Melbourne

CERTIFICATE NO: 72924
APPLICANT REFERENCE: 67146495-015-8
DATE: 1/12/2022

This certificate PROVIDES information regarding valuations, rates, charges, other moneys owing and any orders and notices made under the Local Government Act 2020, the Local Government Act 1989, the Local Government Act 1958 or under a local law or by law of the Council.

This certificate IS NOT REQUIRED to include information regarding planning, building, health, land fill, land slip, other flooding information or service easements. Information regarding these matters may be available from Council or the relevant Authority.
A fee may be charged for such information.

ASSESSMENT NO: 5000031051		VALUATIONS	
PROPERTY LOCATION: 39 Blessing Rise		SITE VALUE:	300000
Pakenham	3810	CAPITAL IMPROVED VALUE:	300000
TITLE DETAILS: L13 PS811821 V12291 F573		NET ANNUAL VALUE:	15000
		LEVEL OF VALUE DATE:	01/01/22
		OPERATIVE DATE:	01/07/22

PROPERTY RATES & CHARGES

Rates and charges for the financial year ending 30 June 2023

<u>RATES & CHARGES</u>	<u>LEVIED</u>	<u>BALANCE</u>
ARREARS BROUGHT FORWARD		\$0.00
RATES	\$1,555.50	\$1,166.73
INTEREST		\$0.00
MUNICIPAL CHARGE	\$0.00	\$0.00
FIRE SERVICES PROPERTY LEVY	\$132.90	\$99.67

GARBAGE	\$0.00	\$0.00
GREEN WASTE LEVY	\$0.00	\$0.00

SPECIAL RATES /SPECIAL CHARGES

SCHEME NAME	ESTIMATED AMOUNT	PRINCIPAL BALANCE	INTEREST BALANCE
		\$0.00	\$0.00
		TOTAL SCHEME BALANCE	\$0.00

OPEN SPACE CONTRIBUTION

TOTAL OUTSTANDING **\$1,266.40**



Billor code:	858944
Reference:	50000310511

Please note that a Community Infrastructure Levy for a dwelling must be paid to Council prior to the issue of a building permit.

**LAND INFORMATION CERTIFICATE
SECTION 121 LOCAL GOVERNMENT ACT 2020
LOCAL GOVERNMENT (LAND INFORMATION)
REGULATIONS 2021**

39 Blessing Rise
Pakenham
L13 PS811821 V12291 F573


Cardinia
ADVERTISED MATERIAL
Planning Application: T260072
Date Prepared: 10 April 2026

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NOTICES AND ORDERS

Other Notices or Orders on the land that have been served by Council under the Local Government Act 2020, the Local Government Act 1989, the Local Government Act 1958 or Local Law of the Council, which have a continuing application as at the date of this certificate if any

OPEN SPACE CONTRIBUTION

Any outstanding amount required to be paid for recreational purposes or any transfer of land required to Council for recreational purposes under Section 18 of the Subdivision of Land Act 1988 or the Local Government Act 1958:

FLOOD LEVEL

A flood level has not been designated under the Building Regulations 1994.
Advice on whether a flood level has been determined, which affects the property, should be sought from Melbourne Water.

POTENTIAL LIABILITIES

Notices and Orders issued as described above:

Other:

ADDITIONAL INFORMATION

In accordance with Section 175 of the Local Government Act a person who becomes the owner of rateable land must pay any rate or charge on the land which is due and payable at the time the person becomes the owner of the land.

I acknowledge having received the sum of \$27.80 being the fee for this certificate

Delegated Officer:

**CONFIRMATION OF ANY VARIATION TO THIS CERTIFICATE WILL ONLY BE GIVEN FOR 90 DAYS AFTER ISSUE DATE.
PAYMENTS MADE BY CHEQUE ARE SUBJECT TO CLEARANCE FROM THE BANK.**



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Planning Certificate



PROPERTY DETAILS

Property Address: 39 BLESSING RISE PAKENHAM VIC 3810
 Title Particulars: Vol 12291 Fol 573
 Vendor: LIAM JAMES ALARDS
 Purchaser: N/A

Certificate No: OR-ZUQDEWF45VSEM.
 Date: 30/11/2022
 Matter Ref: AlardsLSale
 Client: Megan Copas



MUNICIPALITY

CARDINIA



PLANNING SCHEME

CARDINIA PLANNING SCHEME



RESPONSIBLE AUTHORITY FOR ADMINISTERING AND ENFORCING THE SCHEME

CARDINIA SHIRE COUNCIL



ZONES

GENERAL RESIDENTIAL ZONE - SCHEDULE 1



ABUTTAL TO A TRANSPORT ZONE / PUBLIC ACQUISITION OVERLAY FOR A PROPOSED ROAD OR ROAD WIDENING

NOT APPLICABLE



APPLICABLE OVERLAYS

DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 1

ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 4

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Disclaimer: Information within this certificate has been obtained via the Landchecker Platform. Strategies, policies and provisions detailed in these sections of the Planning Scheme may affect the development and use of the land. Due diligence checks should be undertaken to understand other factors that may impact the use of the property.

 **PROPOSED PLANNING SCHEME AMENDMENTS**

NOT APPLICABLE


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 **ADDITIONAL INFORMATION**

STATE-WIDE PROVISIONS IF AN APARTMENT DEVELOPMENT - SEE PLANNING SCHEME CLAUSE 55.07 AND CLAUSE 58

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 **PLANNING ZONES MAP**



ZONING

- GRZ1 - GENERAL RESIDENTIAL ZONE - SCHEDULE 1
- PUZ1 - PUBLIC USE ZONE - SERVICE AND UTILITY
- TRZ2 - TRANSPORT ZONE 2 - PRINCIPAL ROAD NETWORK

This map extract is sourced from data maintained by the State of Victoria and is provided for information purposes only. No representation is made as to the accuracy of the content, and Dye & Durham Property Pty Ltd does not accept any liability to any person for the information provided.



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PLANNING PROPERTY REPORT



Environment,
Land, Water
and Planning

Designated Bushfire Prone Areas

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Display Application T250072
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This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA, the bushfire construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#).

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Information Management system <https://nvim.delwp.vic.gov.au/> and [Native vegetation \(environment.vic.gov.au\)](#) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](#)

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Read the full disclaimer at <https://www.delwp.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

ROADS PROPERTY CERTIFICATE

The search results are as follows:

[REDACTED]
250 Brown Road
OFFICER 3809

Client Reference: AlardsLSale

NO PROPOSALS. As at the 30th November 2022, VicRoads has no approved proposals requiring any part of the property described in your application. You are advised to check your local Council planning scheme regarding land use zoning of the property and surrounding area.

This certificate was prepared solely on the basis of the Applicant-supplied address described below, and electronically delivered by LANDATA®.

39 BLESSING RISE, PAKENHAM 3810
SHIRE OF CARDINIA

This certificate is issued in respect of a property identified above. VicRoads expressly disclaim liability for any loss or damage incurred by any person as a result of the Applicant incorrectly identifying the property concerned.

Date of issue: 30th November 2022

Telephone enquiries regarding content of certificate: 13 11 71



[Vicroads Certificate] # 67146495 - 67146495144324 'AlardsLSale'



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NOTATIONS:
 Where fencing encroaches onto the site no building should extend past the fencing unless there is written agreement from the neighbour who may have possessory rights over the land under survey. This plan of title re-establishment was completed on the noted date and is not examined in the Land Titles Office. No responsibility can therefore be accepted for any future difference in boundary definition which may result from re-surveys of adjoining lands or subsequent registration in the Land Titles Office of new plans.

TITLE DETAILS
 Lot 13 on PS811821L
 Area: 876m²

- LEGEND:**
- ▲ PERMANENT SURVEY MARK
 - ☆ TEMPORARY BENCH MARK
 - △ INSTRUMENT POINT
 - ▲ SURVEY MARK
 - PEG
 - TELECOM. PIT
 - ▣ GRATED PIT
 - JUNCTION PIT
 - SIDE ENTRY PIT
 - POWER POLE
 - * LIGHT POLE
 - ELEC PIT
 - † STOP VALVE
 - ⊗ FIRE HYDRANT / PLUG
 - ⊠ WATER METER
 - △ SIGN
 - ⊗ BREATHER / VENT
 - SEWERAGE PIT
 - ⊠ GAS METER
 - * STAY

- EXISTING SERVICES:**
- Water — W —
 - Gas — G —
 - Electricity — E —
 - Drainage — D —
 - Sewerage — S —
- BEWARE: Telecommunications services not searched or located.

DATUM FOR LEVELS:
 Australian Height Datum Based on NAR NAR GOON PM 783 with stated RL of 91.60 metres AHD

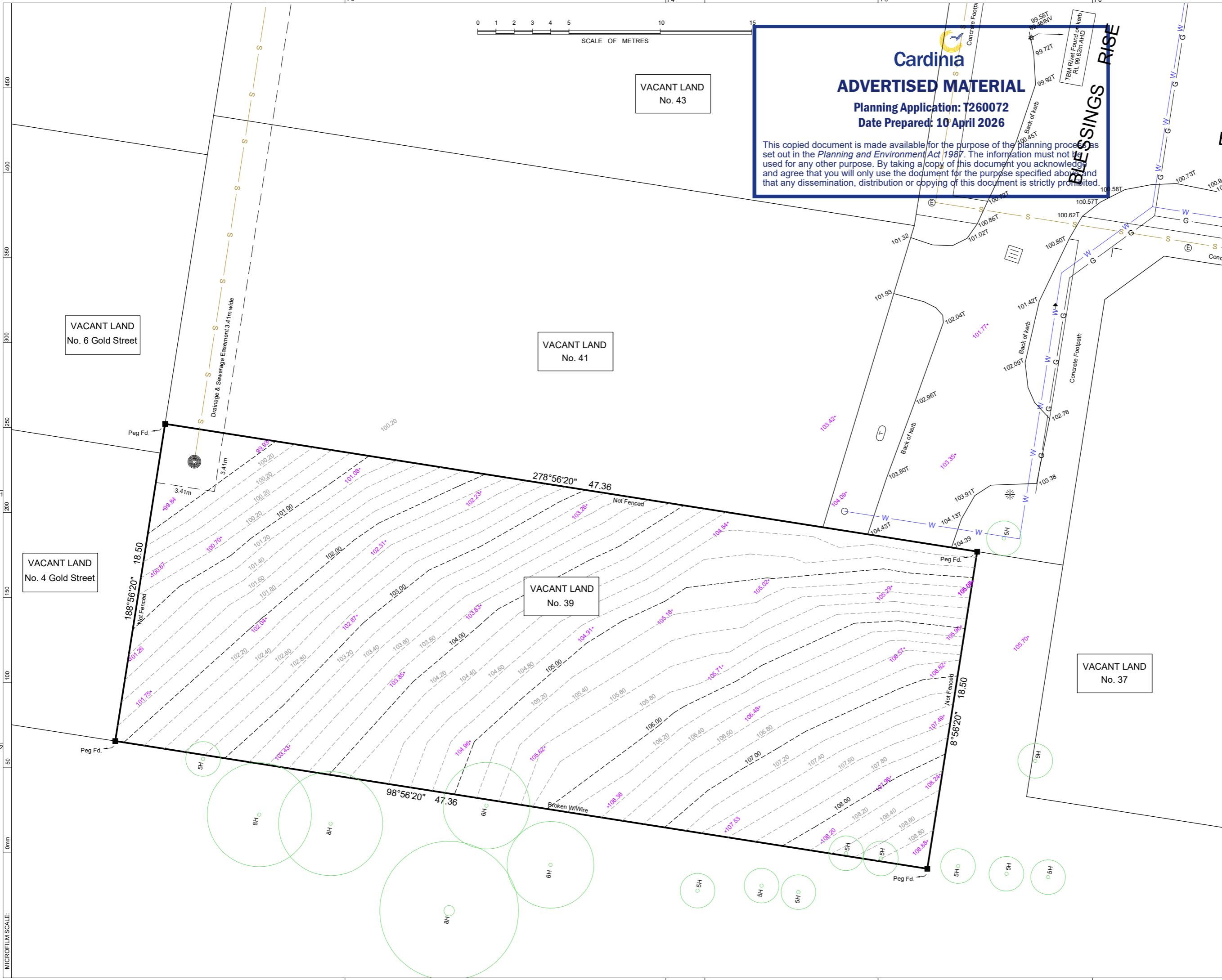
Contour Interval 0.2m

MUNICIPALITY
 CARDINIA SHIRE COUNCIL

#DISCLAIMER:
 The location of surface pits, valve covers, etc. shown hereon have been determined by this survey. The locations of underground services have been noted from existing records and as variations with records may exist complete accuracy cannot be guaranteed.

RE-ESTABLISHMENT, FEATURE & LEVEL SURVEY
 39 BLESSING RISE
 PAKENHAM 3810
 PARISH OF NAR NAR GOON
 CROWN ALLOTMENT 7 (PART)

DRAWN MG	CHECKED MG	
SURVEYOR MEDHAT GHOBRIAL		
MG LAND SURVEYORS LAND & ENGINEERING SURVEYING <small>NAPRE WARREN SOUTH 3805 Email: info@mglandsurveyors.com.au Phone: 0403 616 682 www.mglandsurveyors.com.au</small>		
REF. No. 25198	SURVEY DATE AUGUST 2025	SCALE 1:100 (@A1)
DRAWING No. 25198V1.DWG		No. OF SHEETS 1 OF 1



MICROFILM SCALE:



TOWN PLANNING ASSESSMENT REPORT & WRITTEN ASSESSMENT

ONE DOUBLE STOREY DWELLING WITH BASEMENT

39 BLESSING RISE PAKENHAM VIC 3810

MARCH 2026 – REVISION #

TABLE OF CONTENTS



1.0	Introduction	3
	<ul style="list-style-type: none">- Background- Property Details- Site Dimensions- Utilities- State Electorates	
2.0	The Subject Site and Surrounds	4
	<ul style="list-style-type: none">- Site and Surrounds- Aerial / Photographic view points- Surrounding Context- Contextual Summary	
3.0	Zoning	13
	<ul style="list-style-type: none">- Planning Overlays- Planning and Zone Controls	
4.0	The Proposal	15
	<ul style="list-style-type: none">- Development Summary- Artistic Impressions	
5.0	Conclusion	16
6.0	ResCode Written Assessment	
	<ul style="list-style-type: none">- Clause 42.01 Environmental Significance- Overlay Schedule 4- Clause 52.37 Canopy Trees	

17

1.0 INTRODUCTION

This report has been prepared on behalf of our client whom currently owns the abovementioned vacant block of land. The development will include one double storey dwelling with a basement level. The land is located in a prime location, in the heart of Pakenham, located within the Residential Growth Zone – Schedule 1. This site is affected by any significant overlays and zoning, as expressed in the Planning Property Report.

This planning submission describes the site and broader urban context in which it is located, the development proposal, the relevant planning controls and policies and provides an assessment of the planning merits of the proposal against these policies and controls.



Figure 1: Subject Site – 39 Blessing Rise - LOT 13 PS811821



2.0 SUBJECT SITE AND SURROUNDS



ADVERTISED MATERIAL

Planning Application: T260072
Date Prepared: 10 April 2024

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The subject site is located in the heart of Pakenham, in which the site is positioned to the south of Blessing Rise. Currently the land is vacant and spans upon an area of 876.00m². The site is heavily sloped, with a slope height of approximately 9.0m from lowest point to the highest. One existing crossover remains, accessed via Blessing Rise. The above-mentioned street accessway presents light vehicular traffic along with pedestrian access, as the region is subject to growth.



Figure 2: Subject Site – Property Planning Report (above)

Blessing Rise appears to travel in a circuit in which intersects with Gold Street, accessed via Solid Drive and Galway Rise leading to the main artillery road of Pakenham Road.

As this is a new estate, pocketed in Pakenham, in which most blocks are unoccupied as seen to the left.

Figure 3: Intersecting streets near subject site pictured left. (Aerial view).

2.0.1 SUBJECT SITE AND SURROUNDS



Figure 4: Subject Site – pictured above

Subject site is pictured above, vegetation is scarce on site, with at least two trees (approximately 5m in height –foliated) located to the southern orientation of the site, in which has been retained. No existing flora is present along the frontage of the property, along the boundary line. In addition, one smaller sapling is also present on site, to the western orientation of the site. Surrounding neighbouring trees are in abundance. All mentioned vegetation has been assessed by an Arborist.

The subject site is located in a newly developed estate in which only a few homes are developed nearby. Dwellings range between single and double storey dwellings. There are several sites within this context that suggests the land has been subdivided for the development of multiple properties.



2.0.2 SUBJECT SITE AND SURROUNDS


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Figure 5: Immediate right of subject site – 41 Blessing Rise



Figure 6: Immediate left of subject site – 37 Blessing Rise

2.0.3 SUBJECT SITE AND SURROUNDS


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Figure 7: Adjacent of subject site – 32 Blessing Rise

To the subject sites immediate left, right and adjacent all present open, vacant blocks of land, in which appear to be well maintained.



Figure 8: Further right of subject site. Property: 30 Blessing Rise

Figure 8 is expressing a newly developed single storey dwelling. Highlighting tiled hipped roofs and a smooth beige rendered façade (single colour palette). Simple openings and rear decking are present. This property presents a simple a front garden, with a timbered garage door and the property has its own concrete driveway and crossover.

2.0.4 SUBJECT SITE AND SURROUNDS



Figure 9: Further right of subject site. Property: 24 Blessing Rise

Continuing along Blessing Rise, property No. 24 Blessing Rise presents modern construction, highlighting a double storey home. It features smooth grey rendered finishes with accented white weatherboard cladding and a prominent flat pitched roof. A timbered garage door is highlighted with simple openings along with timbered steps leading to the main entry door. As this is a corner block the front garden is minimal. In addition, a concrete driveway and crossover are present.



Figure 10: Further right of subject site. Properties No. 29-35 Blessing Rise remain vacant. 151 Ahern Road Pakenham can be seen atop the hill beyond.

2.0.5 SUBJECT SITE AND SURROUNDS


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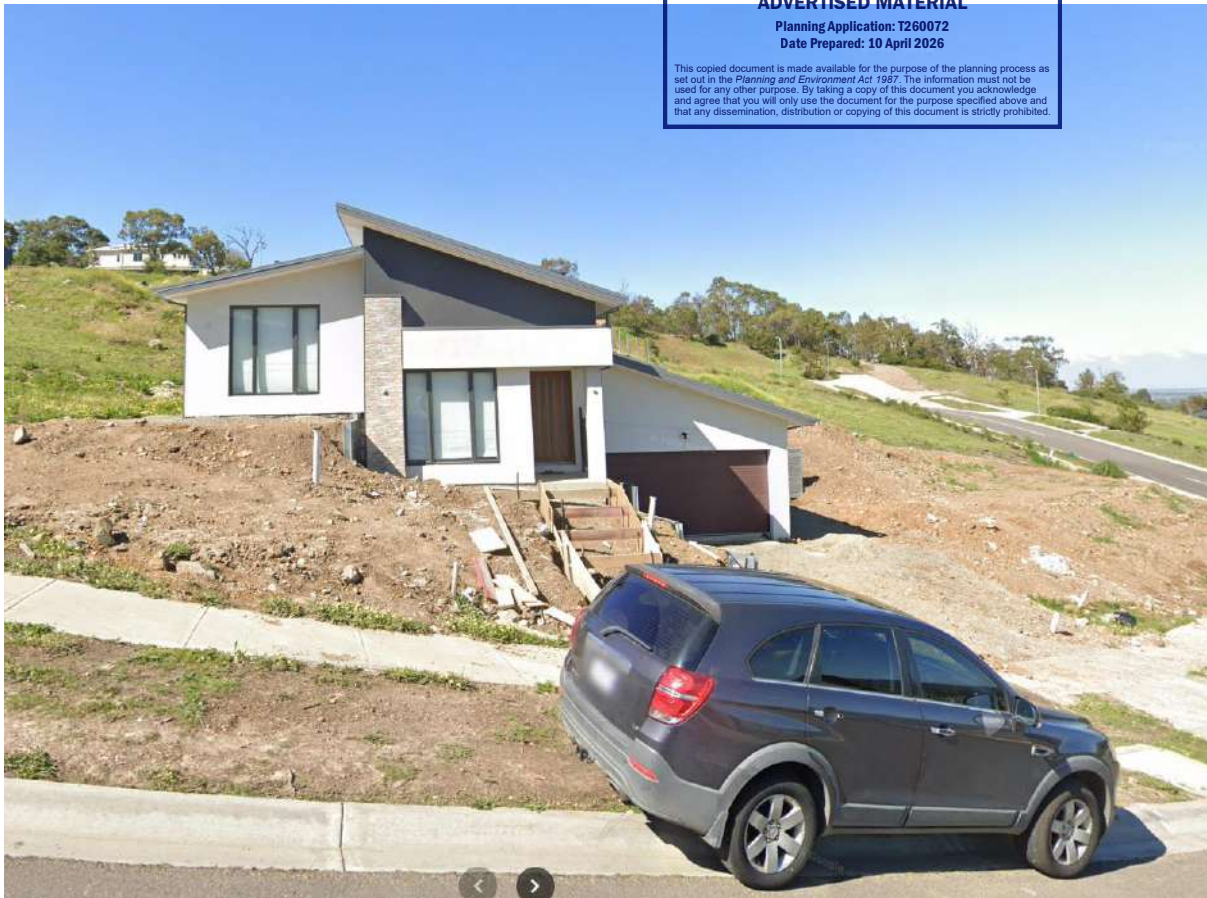


Figure 11: Further adjacent of subject site. Properties No. 18-20 Blessing Rise remain vacant. However, property No. 16 Blessing Rise has been occupied. Presents modern construction, single storey dwelling with a prominent flat roof. It also features a stone cladded front column, clean lines and timbered garage door.



Figure 12: Further adjacent of subject site. Properties No. 13-15 and 19-25 Blessing Rise remain vacant.

2.0.6 SUBJECT SITE AND SURROUNDS



Figure 13: Further adjacent of subject site. Properties No. 17 – occupied

Property No. 17 Blessing Rise has been occupied. Presents modern construction, single storey dwelling with a simple lightly coloured corrugated hipped roof. It also features light-coloured face brick, white Colorbond garage door and beige render. A simple, low maintenance front garden is present along with a concrete driveway and crossover.



Figure 14: Further adjacent of subject site. Properties No. 7 Blessing Rise – low positioned and gated property.

Property No. 7 Blessing Rise presents a single storey dwelling with beige weatherboard cladding as the main feature of the façade, a wrapped around timber deck and red Colorbond roofing.



Figure 15: Further adjacent right of subject site. Properties No. 8 & 6 Gold Street

Property No. 6 consists of a vacant block of land with significant site cuts. In addition, property No. 8 Gold Street is a newly double storey constructed home, with smooth rendered finishes and angled parapet.



Figure 16: Further adjacent right of subject site. Properties No. 3 & 5 Gold Street

Consist of single storey warm bricked facades with smooth rendered finishes and dark tiled hipped roofs. Both properties appear to have similar street presents with brick pillar and transparent gate frontages. Each property has their own concrete driveways and crossovers.

2.0.7 CONTEXTUAL SUMMARY

In summary the surrounding neighbourhood context is generally consistent and characterised by contemporary single and double storey dwellings. Blessing Rise itself is an emerging residential street, with new single lot dwellings.

In contrast, the broader surrounding area presents a more varied pattern, including larger rural-residential lots containing a single dwelling, as well as pockets of land undergoing subdivision for future residential development. This reflects the ongoing transition occurring throughout Pakenham as the area continues to urbanise.



3.0.0 ZONING

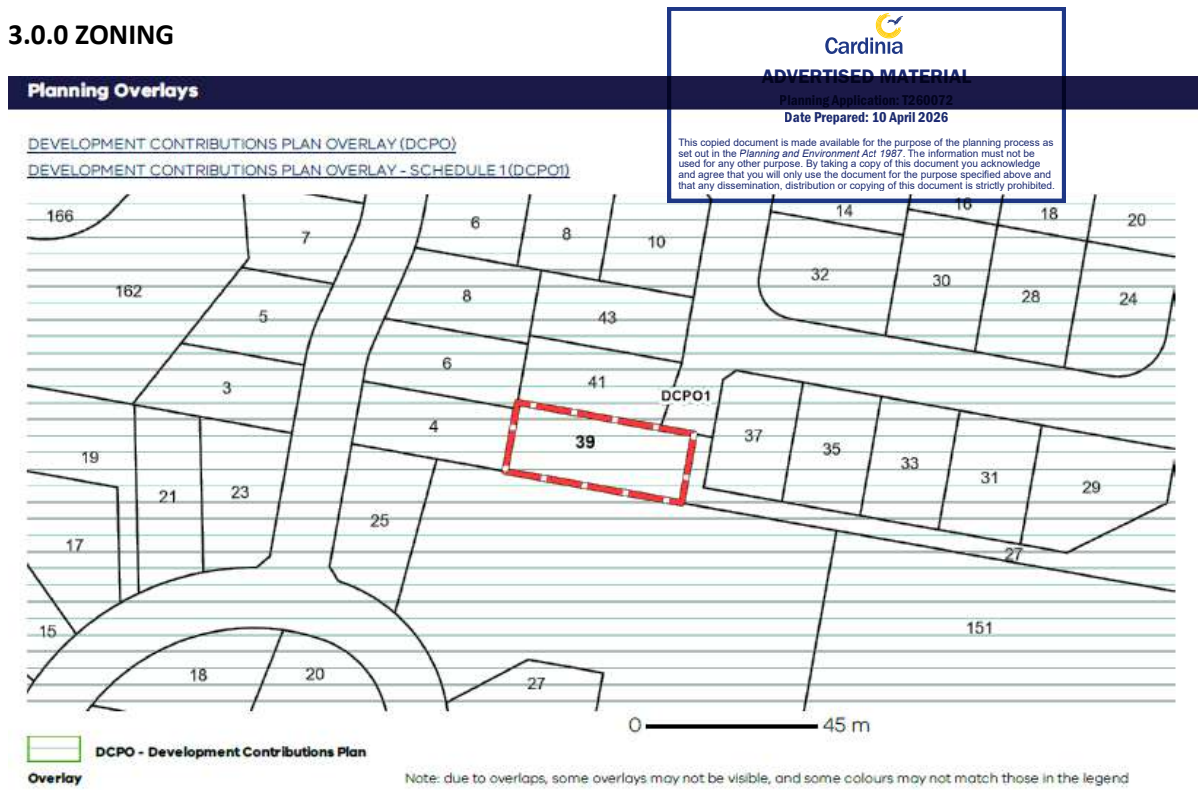


Figure 17: Subject Site – Property No. 39 Blessing Rise. Strong overlay – Development Contribution (DCPO) The subject site is affected by the Development Contributions Plan Overlay – Schedule 1 (DCPO1). The proposed development does not alter or intensify land use beyond typical residential expectations and does not introduce any additional infrastructure demand beyond that anticipated by the DCP.



Figure 18: Subject Site – Strong overlay – Environmental Significance Overlay (ESO) - Schedule 4 (ESO4)

Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.

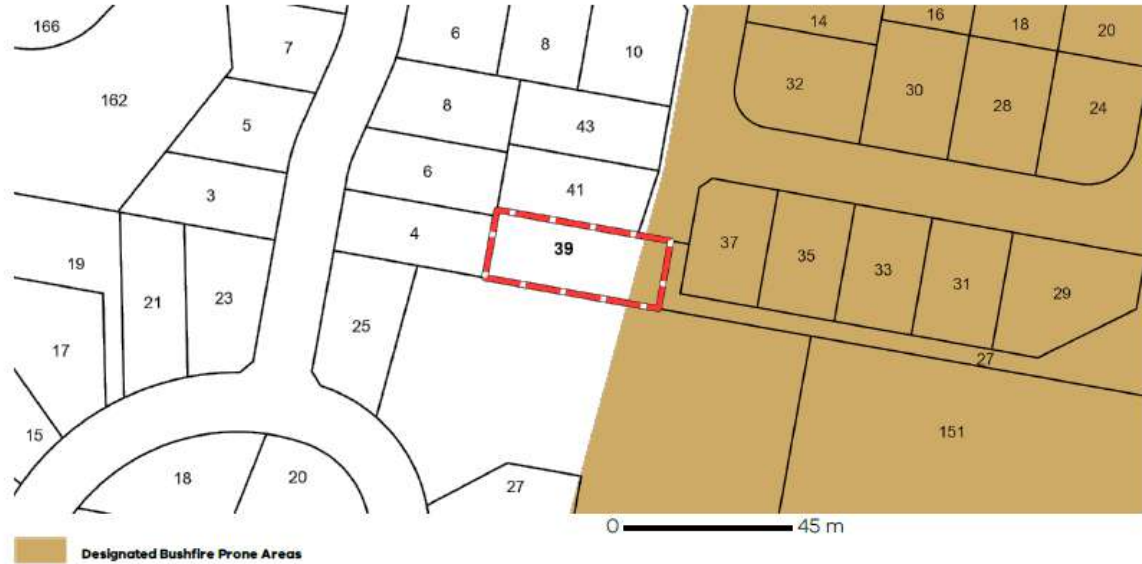


Figure 19: Subject Site – Property No. 39 Blessing Rise is partially in a bushfire prone area

The property is partially affected by a Designated Bushfire Prone Area (BPA).

*Where any part of the building footprint falls within the BPA, bushfire-resistant construction requirements will apply and will be addressed at the building permit stage in consultation with the Relevant Building Surveyor.

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4.0.0 THE PROPOSAL

The proposal seeks to develop one double storey dwelling with a basement upon the subject site. An existing crossover will be in use with the construction of a concrete driveway. The proposal responds appropriately to the natural topography of the site and demonstrates a comprehensive understanding of the surrounding context. Key design considerations including overlooking, privacy, overshadowing, and overall building height have been addressed to ensure a compliant and contextually sensitive outcome. The material palette has been carefully selected to provide a contemporary cohesive architectural response that integrates effectively with the emerging character of the estate.

The building height and finished floor levels have been rigorously assessed in relation to the existing site levels. Particular attention was given to the driveway gradient to ensure safe and practical vehicular access. Consequently, the dwelling has not been elevated further, as doing so would have resulted in an excessively steep driveway slope and an impractical access condition.

4.0.1 PROPOSAL BREAKDOWN:

Basement Level: The basement level will consist of a gaming area, storage facilities, a home theatre room along with a gym room. All of which lead out to the BBQ area, encompassed alfresco.

Ground Floor Level: The ground floor level is the heart of the home, in which it occupies the main double car garage, a home office with kitchenette and storage facilities. An open courtyard upon entry, spacious kitchens, living and dining areas as well as the family great room. All of which are offset by the elongated balcony.

First Floor Level: The first floor level will consist of a retreat area, storage facilities, a roof terrace and several master suit bedrooms.



Figure 20: Artist Impression –Street Perspective of Subject site. (Northern orientation)

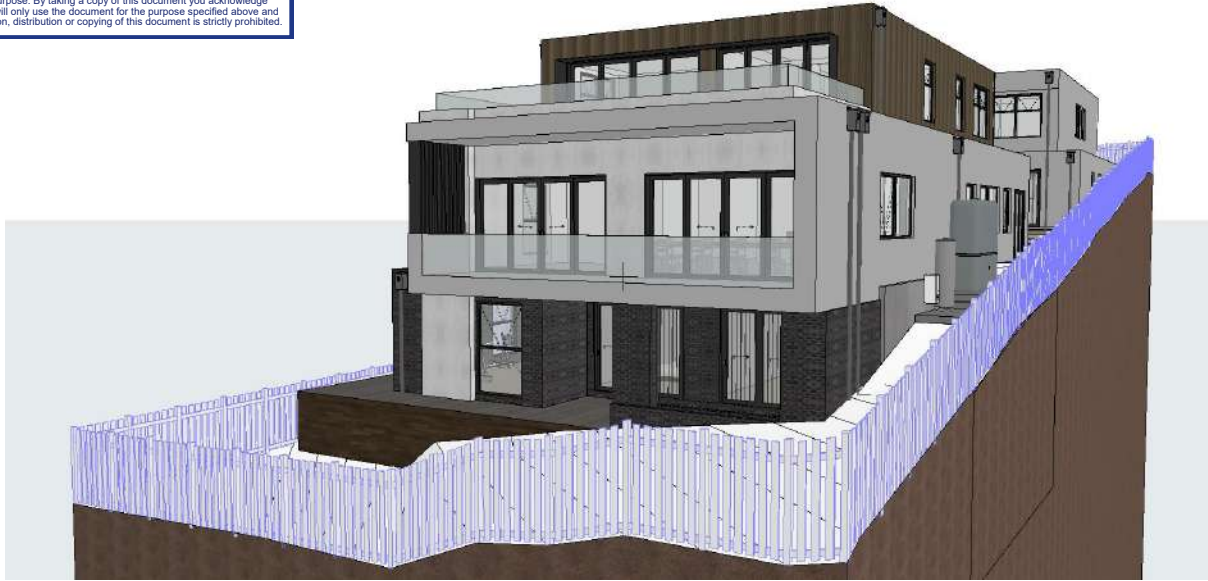


Figure 21: Artist Impression –Rear Perspective of Subject site. (South-West orientation)

5.0.0 CONCLUSION

The proposed dwelling will provide a high-quality home for a growing family within an emerging residential neighbourhood of Pakenham. The site is well located, with convenient access to established and planned community facilities, open space, transport connections and local services.

The design responds appropriately to the site and its context, meeting the expectations of the planning scheme and relevant residential development standards. The proposal maintains a respectful built form, manages overlooking and overshadowing in accordance with ResCode, and provides a functional layout that supports everyday living.

The development will not result in any unreasonable off-site amenity impacts. The dwelling is provided with compliant on-site car parking, and the anticipated traffic generation is minimal and well within the capacity of the surrounding road network.

For the reasons outlined in this submission, the proposal represents a well-considered and policy-aligned residential outcome. It is therefore submitted that the development is suitable for approval, subject to standard planning permit conditions.

6.0 WRITTEN ASSESSMENT

RESCODE

CLAUSES 42.01 - SCHEDULE 4

CLAUSE 52.37- CANOPY TREES

6.0.0 - Cardinia Planning Scheme - Relevant Controls: Clause 42.01 ESO, ESO4, Clause 52.37 Canopy Trees

Client: [REDACTED]

Address: 39 Blessing Rise Pakenham VIC 3810

Proposal: Development of double storey dwelling with basement.



ADVERTISED MATERIAL

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CLAUSE 42.01 - Environmental Significance Overlay

Clause 42.01 identifies land where development may be affected by environmental constraints and ensures development is compatible with identified environmental values. A permit is required to construct a building or carry out works unless exempted by the schedule.

Decision Guidelines

Before deciding on an application, in addition to the decision in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and Planning Policy Framework.*
- *The statement of environmental significance and the environmental objective contained in a schedule to this overlay.*
- *The need to remove, destroy or lop vegetation to create a defensible space to reduce the risk of bushfire to life and property.*
- *Any other matters specified in a schedule to this overlay*

Response to Clause 42.01 Decision Guidelines

The proposal is consistent with the Municipal Planning Strategy and Planning Policy Framework, which support high-quality residential development that responds appropriately to site conditions. The subject site exhibits a pronounced fall of approximately 9 metres, and the design provides a considered and well-managed response to this challenging topography. While the land is covered by ESO4, the lot is not identified as containing any environmentally sensitive landforms, remnant vegetation, or mapped habitat areas under the overlay.

Substantial site cuts are a common and necessary outcome across this part of Pakenham, with several nearby properties undertaking similar earthworks to establish safe and functional building platforms on steep terrain. Within this context, the proposed earthworks represent a controlled intervention that maintains slope stability. The dwelling form has been reviewed and endorsed through *The Horizon – Pakenham Rise Design Panel Guidelines*, ensuring a high standard of built-form integration within the broader neighbourhood character. Overall, the proposal represents a positive and orderly development outcome for the Pakenham growth area.

1.2 Statement of Environmental Significance and Environmental Objectives (ESO4)

ESO4 identifies the broader Pakenham North Ridge as an area of regional biodiversity significance, including pockets of remnant Grassy Forest, significant flora species (such as Cobra Greenhood Orchid and Green Scentbark), and landforms susceptible to erosion, salinity and fire risk. The schedule emphasises protection of the natural skyline, ridge form and habitat corridors across the wider landscape.

Response:

- The subject site does not contain remnant vegetation, Grassy Forest communities, significant flora species, or mapped habitat areas identified in ESO4.
- The site is not located on a protected ridge, natural skyline, or environmentally sensitive landform described in the schedule.
- The proposed earthworks are a necessary and carefully managed response to the steep topography of the lot and will be undertaken in a way that maintains slope stability and avoids off-site impacts.
- The development maintains the intended low-impact residential character of the area and does not diminish the environmental values ESO4 seeks to protect.

1.3 Need to Remove, Destroy or Lop Vegetation to Create Defendable Space

No vegetation removal is required to create defendable space. The site contains two trees located toward the rear (southern) portion of the lot, with all other visible vegetation located on neighbouring properties. The species, condition and significance of the on-site trees will be confirmed through a formal arborist assessment submitted as part of this planning application. Based on current site conditions, the proposal does not require vegetation removal for bushfire protection purposes and does not increase bushfire risk. Any bushfire-resistant construction requirements will be addressed at the building permit stage in consultation with the Relevant Building Surveyor.

1.4 Other Matters Specified in ESO4

ESO4 requires consideration of impacts on:

- Remnant vegetation and habitat
- Ridge form and natural skyline
- Erosion, drainage and fire risk
- Landscape character and visual prominence



Response:

- No remnant vegetation or habitat areas exist on the site.
- The dwelling is not located on a visually prominent ridgeline and does not alter the natural skyline.
- Earthworks are typical of residential construction and do not create erosion or salinity risk.
- The design is consistent with the emerging residential character of Blessing Rise and does not introduce visual intrusion into the landscape.
- Stormwater will be managed in accordance with council requirements, ensuring no adverse impacts on water quality or downstream environments.

Schedule 4 to Clause 42.01 – Pakenham North Ridge (ESO4)

2.1 Environmental Objectives

ESO4 seeks to:

- Protect and enhance the significant environmental and landscape values of the Pakenham North Ridge.
- Ensure siting and design do not adversely impact ridge landform, natural skyline, remnant vegetation, or habitat.
- Address environmental hazards including erosion, salinity and fire.
- Maintain and promote replanting of native vegetation and habitat corridors.

Response:

- The site is within a newly subdivided residential estate and does not contain remnant vegetation or habitat areas.
- The proposal does not impact ridge form, natural skyline, or visually prominent landforms.
- Earthworks are minimal and appropriate for residential construction.
- No native vegetation removal is proposed.
- The development maintains the intended low-impact residential character of the estate.



Clause 52.37 – Canopy Trees

Clause 52.37 aims to protect and enhance canopy tree cover and ensure development contributes to greener, cooler residential areas.

3.1 Canopy Tree Requirement

Table 1 of Clause 52.37 requires:

- 6 canopy trees for sites 701–1000 sqm
- A new canopy tree must reach:
 - ≥ 6 m height and
 - ≥ 4 m canopy diameter at maturity.

Response:

- The landscape plan will nominate six compliant canopy trees, meeting the definition of a new canopy tree.
- Deep soil areas will be provided in accordance with the minimum 12 m² requirement.
- No canopy trees are proposed for removal.
- Existing trees on site have been assessed by an arborist and retained where appropriate.

Decision Guidelines Response

- Proposed canopy trees are located to avoid conflicts with services, driveways, and built form.
- Species selection will be suited to local soil and climate conditions.
- Planting locations maintain solar access to windows and rooftop solar systems.
- The proposal contributes positively to long-term canopy cover in accordance with Clause 52.37.

Six indigenous canopy trees are proposed, comprising *Acacia melanoxylon* (Blackwood), *Allocasuarina littoralis* (Black She-oak) and *Eucalyptus radiata* (Narrow-leaf Peppermint), all selected from the Cardinia Indigenous Plant Guide. Each species meets the Clause 52.37 definition of a canopy tree and collectively supports the environmental objectives of ESO4. This balanced mix provides appropriate canopy cover, habitat value and long-term resilience while avoiding visual repetition and maintaining a cohesive landscape character.

SUMMARY

The proposal satisfies all relevant controls under Clause 42.01, ESO4 and Clause 52.37. The development avoids environmental impacts, does not require vegetation removal, and provides compliant canopy tree planting. The proposal represents a low-impact, environmentally responsive residential development suitable for approval.



ARBORICULTURAL IMPACT ASSESSMENT

SITE ADDRESS:

39 Blessing Rise, Pakenham, Vic. 3810

REPORT DATE:

23 March 2026

TREETEC REFERENCE:

bles0326to_AIA

PREPARED FOR:

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Cardinia
ADVERTISED MATERIAL
Planning Application: T260072
Date Prepared: 10 April 2026

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Document control			
Version	Issue Date	Author	Description
1	23/03/2026	Tom Oldmeadow	Initial report

Contents

1	Introduction.....	3
1.1	Purpose.....	3
1.2	Background.....	3
1.3	Scope.....	3
1.4	Method.....	3
1.5	Limitations.....	3
1.6	Documents viewed.....	4
1.7	Tree protection legislation.....	4
2	Findings.....	4
2.1	Site summary.....	4
2.2	Trees on adjoining land.....	5
2.3	Site plan – Vegetation plan.....	6
2.4	Site plan – Proposed development.....	7
2.5	Tree data.....	8
3	Discussion.....	9
3.1	Existing site conditions.....	9
3.2	Impacts to trees.....	9
3.3	Defining TPZs.....	10
3.4	Planning considerations.....	11
4	Conclusion.....	12
5	Recommendations.....	12
6	References.....	13
7	Appendix.....	13
7.1	Assumptions & Limitations.....	13
7.2	Glossary.....	14
7.3	Impacts to trees.....	18
7.4	Degrees of encroachment.....	19
7.5	Tree Protection Zones (TPZ).....	20
7.6	Pruning standards.....	21
7.7	Options for reducing impacts to trees.....	22
7.8	Photos.....	23



1 Introduction

1.1 Purpose

Treetec was engaged to undertake an arboricultural assessment on, and adjacent to, 39 Blessing Rise, Pakenham (the site).

This report, prepared in accordance with AS4970:2025 (*Protection of Trees on Development Sites*, Section 2.2.5), identifies and evaluates potential development impacts on the subject trees and summarises the findings.

1.2 Background

This report has been prepared in response to RFI point 5, issued by Cardinia Shire Council.

The proposed works involve the construction of a 3-storey residential dwelling, including the installation of all associated infrastructure. There is an existing concrete crossover from Blessing Rise on the eastern boundary that will be utilised for site access.

1.3 Scope

- Based on the current proposal, determine which trees may be impacted by the development (the subject trees), all trees on site and within 15m of the site boundary are to be considered.
- Provide details on the subject trees including their species, retention value, condition and dimensions
- Assess the impact the proposed development is likely to have on the subject trees.
- Provide a vegetation plan that details all trees and understory shrubs proposed to be removed.
- Comment on measures likely to be required to enable the protection of subject trees proposed to be retained.

1.4 Method

- Tom Oldmeadow undertook an arboricultural assessment on 19 March 2026
- All observations were taken at ground level, using stage 1 of the Visual Tree Assessment (VTA) method (Mattheck and Breloer 1994)
- Data collected has been categorised in line with definitions found in Appendix 7.2- Glossary.

1.5 Limitations

- Root assessment requiring excavation was not undertaken. Therefore, root condition has not been included unless above ground signs, such as soil heaving or cracking were observed
- Aerial examination (tree climbing) was not undertaken
- Tree height and canopy width were estimated.

For the full list of assumptions and limitations for this report please refer to Appendix 7.1.



1.6 Documents viewed

- Architectural Drawings | Revision: C | Dated: 05/02/2026 | Prepared by- Rez Architecture.
- Feature and level Survey | Ref No: 25198 | Dated: August 2025 | Prepared by: MG Land Surveyors.
- Landscape Plan | Dated: 04/08/2025 | Prepared by- Rez Architecture.
- Request for further information (RFI) | Issued by: Cardinia Shire Council | Reference: T260072 | Dated: 10 March 2026

1.7 Tree protection legislation

The site is covered by the Cardinia Planning Scheme and is zoned General Residential Zone – Schedule 1 (GRZ1).

Relevant planning overlays

Environmental Significance Overlay - Schedule 4 (ESO4)

Relevant planning provisions

Clause 52.37 – Canopy trees

Local law

The Cardinia Local Law no. 17 Law applies to the site.



2 Findings

2.1 Site summary

The 876 sqm site is a vacant block within a new housing estate. The block has a moderate slope with a north-westerly aspect and is unfenced. There is a concrete crossover from Blessing Rise that provides access to the site.

The tree population on site is limited to two juvenile *Eucalyptus radiata* located along the southern boundary. Other vegetation consists of several clumps and scattered individuals of *Acacia paradoxa* and *Westringia* sp.

The site is within the Highlands - Southern Fall bioregion and the Ecological Vegetation Class (EVC) has been mapped as Grassy Forest (128). A Large tree is a *Eucalyptus* spp. with a DBH of 70cm or more.



Plate 1 – Panoramic view of the subject site, illustrating current site conditions.

2.2 Trees on adjoining land

Tree number	Location
Tree 1, and group 3	Neighbouring property to the east
Trees 6 – 13 and group 14	Neighbouring property to the south

Trees 6 – 14 were all detailed as their Notional Root Zones (NRZ) either enter the subject site or are in proximity to the site. There are many other trees south of and within 15m of the subject site, however, all have NRZ's well clear of the subject site and are not expected to be impacted by works occurring within the site. The tree population within the adjacent bushland is primarily comprised of juvenile to semi—mature *Eucalyptus radiata* but also includes juvenile *Pittosporum undulatum*, *acacia paradoxa*, *cassinia arcuata* and an *acacia mearnsii*.



Plate 2 - Treed region south of the subject site.

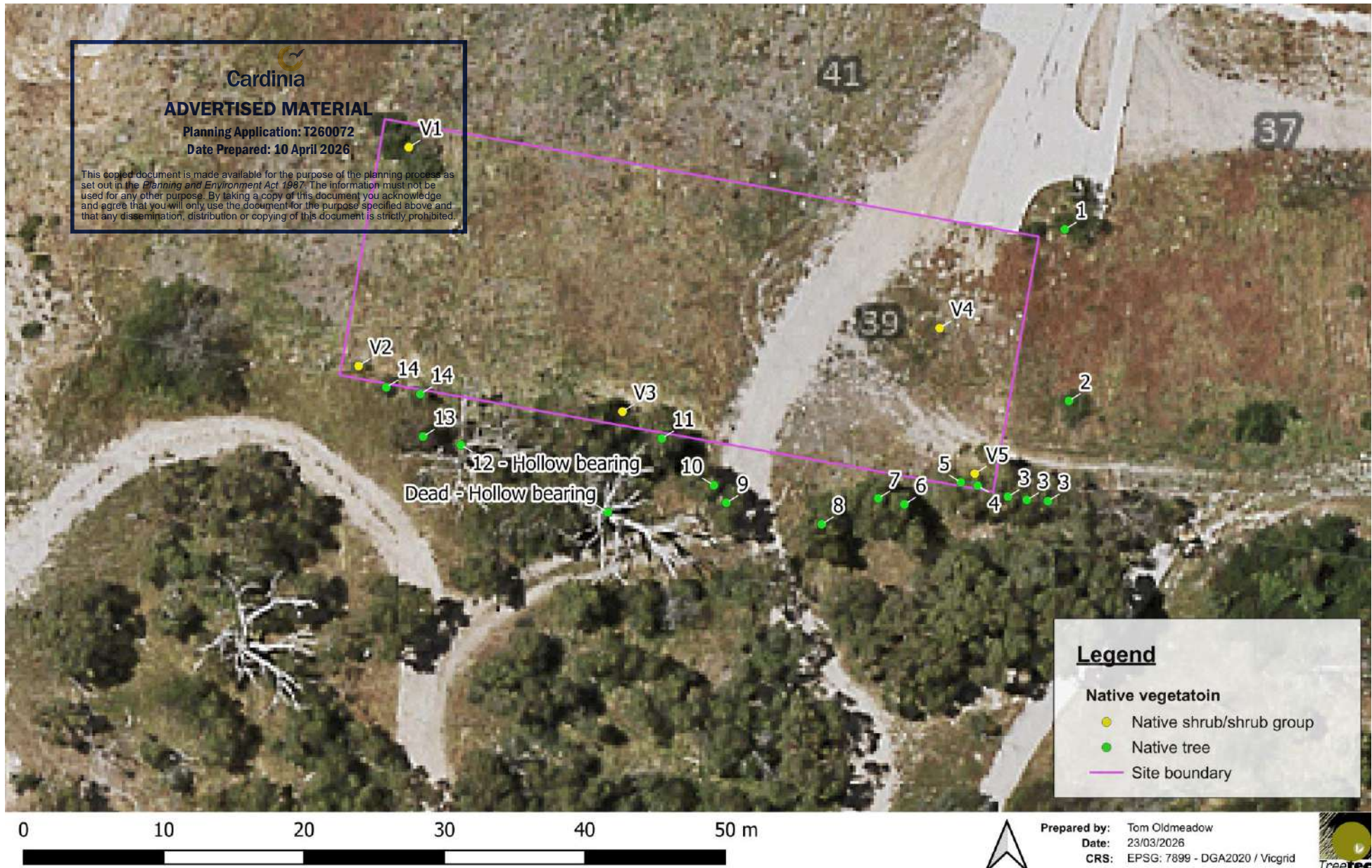

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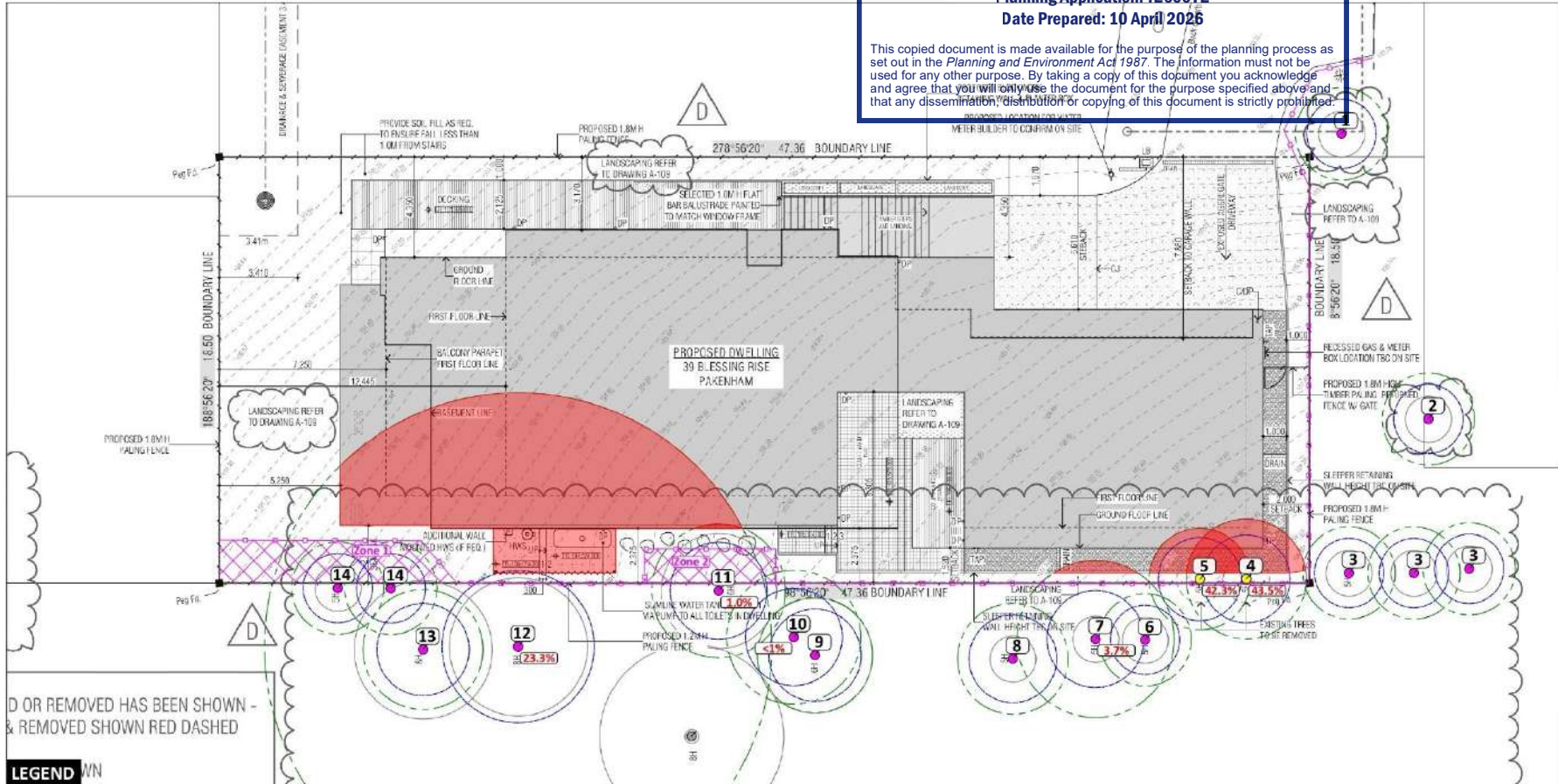
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2.3 Site plan – Vegetation plan



2.4 Site plan – Proposed development

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LEGEND /WN

Retention Value

- Offsite
- High
- Medium
- Low
- Dead

Other vegetation that has not been individually assessed is outside the scope of assessment. It is typically, Very low amenity value ornamental plantings, dead trees, environmental weed species, exempt from applicable overlay permit requirements, or, unlikely to be impacted by proposed works.

Notional Root Zone (NRZ)

Structural Root Zone (SRZ)

NRZ Encroachment

TPZ

TPZ fencing

TPZ

No Go Zone

SITE ADDRESS
39 Blessing Rise
Pakenham, Vic. 3810

Plans reviewed
Title: Architectural Drawings
Project title: 39 Blessing Rise Pakenham VIC 3810
Revision : C
Dated : 05/02/2026
Prepared by : Rez Architecture



Date:
23/03/2026

Scale:
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2.5 Tree data

Tree #	Species	Common name	Type	DSH (cm)	Height (m)	Spread (m)	Structure	Health	Age	Retention value	ULE (yrs)	TPZ (m)	SRZ (m)	Notes
1	<i>Acacia mearnsii</i>	Late Black Wattle	Indigenous	8	3	2	Poor	Poor	Juvenile	Offsite	<5	2.0	1.5	Small group of trees. Most are dead or in decline with infestations of borer and gall.
2	<i>Acacia mearnsii</i>	Late Black Wattle	Indigenous	10	3	2	Poor	Poor	Semi-mature	Offsite	<5	2.0	1.5	Infested with borer. Recent dieback of one stem.
3	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	14	3	2	Fair	Fair	Juvenile	Offsite	15 to 40	2.0	1.6	Three trees. Codominant stems with included bark union on southern tree.
4	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	22	4	3	Fair	Good	Semi-mature	Low	15 to 40	2.6	1.9	Included bark unions.
5	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	18	5	2	Poor	Good	Semi-mature	Low	5 to 15	2.2	1.8	Codominant stems from base with included bark union.
6	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	9	3	2	Fair	Good	Semi-mature	Offsite	5 to 15	2.0	1.5	Codominant stems from base.
7	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	28	5	3	Fair	Good	Semi-mature	Offsite	5 to 15	3.4	2.1	Codominant stems from base. Lower trunk wound with decay.
8	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	20	5	3	Fair	Good	Semi-mature	Offsite	5 to 15	2.4	1.9	Epicormic growth from base. Leaf scorching in crown. Compaction of root zone and visible root damage from vehicular traffic.
9	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	21	6	2	Fair	Good	Semi-mature	Offsite	15 to 40	2.5	2.0	Lower trunk wound.
10	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	24	5	2	Poor	Fair	Semi-mature	Offsite	5 to 15	2.9	2.1	Lower trunk wound with significant decay. Leaf scorching in crown. Not surveyed.
11	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	24	5	4	Fair	Good	Semi-mature	Offsite	15 to 40	2.9	2.1	Multiple stems from ground.
12	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	92	10	16	Poor	Poor	Senescent	Offsite	<5	11.0	3.3	Tree in advanced decline with live growth confined to one large branch. Significant decay throughout lower trunk. Hollow bearing tree. Large tree (EVC 128).
13	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	22	4	2	Good	Good	Semi-mature	Offsite	15 to 40	2.6	2.0	
14	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Indigenous	13	4	2	Good	Good	Juvenile	Offsite	>40	2.0	1.5	2 trees. Only 1 surveyed.



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3 Discussion

3.1 Existing site conditions

Vehicle traffic has been passing into the site east of Trees 9 and 10 and west of Tree 8. This has likely resulted in compaction to the root zones of these trees and there is visible evidence of root damage to Tree 8.

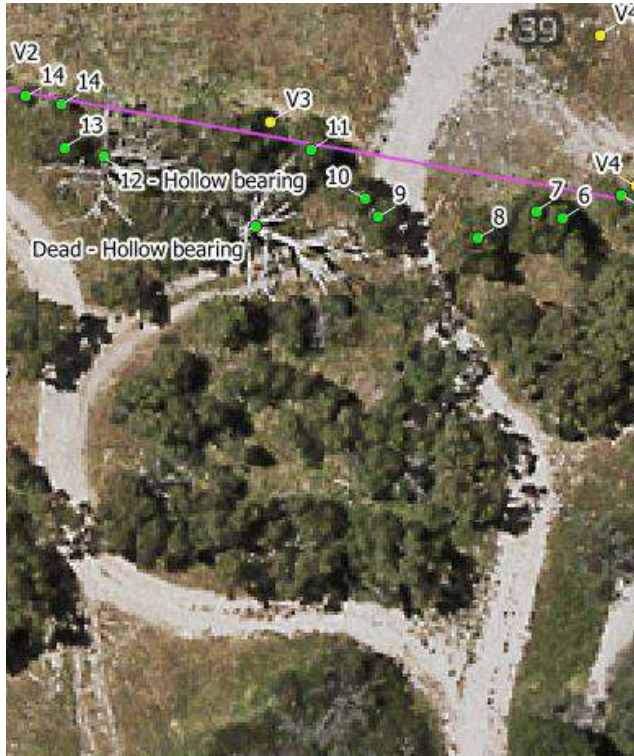


Plate 3 – Existing vehicle tracks visible from satellite imagery.



Plate 4 - Tree 8 displays visible root damage.

3.2 Impacts to trees

Works within a Notional Root Zone (NRZ) constitute encroachment and may damage trees, either directly (physical wounding) or indirectly (soil alteration). Impacts are assessed by the degree of encroachment (minor, moderate, or major) along with factors such as the type of proposed works, expected root loss, species tolerance, and tree condition.

Trees outside planned encroachment areas may also be affected by construction activities, including soil compaction from vehicles, movement of machinery, foot traffic, or mechanical damage to trunks and branches from material deliveries.

(see Appendix for further detail).



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Encroachments within NRZs

There are six trees with proposed works within calculated NRZs.

Tree #	Location	Species	DSH (cm)	NRZ (m)	SRZ (m)	Enc.	Impact assessment	Notes	DBH @ 1.3m (cm)	Circ. @ 1m (cm)
4	On site	<i>Eucalyptus radiata</i>	22	2.6	1.9	Major 43.5%	High	Site cut and retaining wall. Tree not expected to remain viable.	19	56
5	Offsite	<i>Eucalyptus radiata</i>	18	2.2	1.8	Major 42.3%	High	Site cut and retaining wall. Tree not expected to remain viable.	15	47
7	Offsite	<i>Eucalyptus radiata</i>	28	3.4	2.1	Minor 3.7%	Low	Site cut and retaining wall. Adverse impacts are unlikely.	24	78
10	Offsite	<i>Eucalyptus radiata</i>	24	2.9	2.1	Minor <1%	Low	Site cut and retaining wall. Adverse impacts are unlikely.	26	85
11	Offsite	<i>Eucalyptus radiata</i>	24	2.9	2.1	Minor 1.0%	Low	Building footprint.	21	69
12	Offsite	<i>Eucalyptus radiata</i>	92	11.0	3.3	Major 23.3%	Moderate	Site cut (building footprint) and on grade pad for water tank and hot water service. Tree is in a state of decline (senescent) proposed disturbances are unlikely to make a discernible difference to the very limited ULE of the Tree.	93	292

Trees 4 and 5 will both incur major encroachments from the proposed site cut and retaining wall. Works are expected to remove a large proportion of their root zones and as a result, neither tree is likely to remain viable.

Tree 12 will incur a major encroachment from the proposed site cut and building footprint. Although there is potential for root disturbance, the tree is already in an advanced state of decline (senescent), and any disturbance is unlikely to make a discernible difference to its already very limited ULE. The proposed works are outside the SRZ and are not expected to compromise the tree's stability, construction of the pad for the water tank above grade will minimise disturbance to this tree.

The tree is hollow-bearing and therefore has ecological value as habitat, which will continue as the tree declines and beyond its death. Minimising disturbance is therefore important to limit decay initiation and prolong its ecological function as habitat.

Underground services

Below ground service/utility locations are not shown or accurately detailed on site plans and an assessment of the impact of these works is limited at this stage.

Underground services will have the potential to impact trees if installed on the south side of the proposed retaining wall, or the dwelling footprint where there is no retaining wall.

Construction related activity

The neighbouring property to the south contains numerous trees and vegetation proximity to the site. Ensuring construction access is prevented from this side will be essential to protect this valuable ecosystem, which is protected by the Environmental Significance Overlay (ESO) that applies to the Pakenham Ridge.

3.3 Defining TPZs

Due to the location of the proposed site cut, the feasibility of establishing Tree Protection Zones on site is limited and can only practically be achieved for Tree group 14 and Tree 11, where a compensation area is available.



Zone	Trees	Notes
Zone 1	Tree group 14	NRZs within the subject site can be encompassed entirely.
Zone 2	Tree 11	Should encompass as much of the NRZ on site as possible and include a compensation area.
Boundary fencing	All neighbouring trees and vegetation to the south and east.	It is important that fencing is established on the boundary to prevent construction access from the south and thought the vegetation area.



3.4 Planning considerations

Clause 52.37 Canopy trees

There are no existing canopy trees on site that will contribute toward the required six canopy trees specified under this clause for sites between 701–1000 m².

ESO4

In addition to impacts noted to assessed native trees, the table below outlines potential impacts to understory native shrubs observed on site, see vegetation plan for locations and Appendix for photos.

ID	Notes	Impact assessment
V1	Group of <i>Westringia</i> sp. ~5m x 2m. Growing over the existing sewer riser.	Removal likely required to facilitate the sewer service connection.
V2	2x <i>Westringia</i> sp. shrubs.	Can be retained within a fenced TPZ for Tree group 14.
V3	Group of <i>Acacia paradoxa</i> and one <i>Cassinia arcuate</i> on the southern boundary. Group is ~9mx2m.	Removal likely required when site cut and retaining wall construction is undertaken.
V4	~8x scattered <i>Acacia parradoxa</i> .	Removal will be required to connect a driveway to the crossover.
V5	2x <i>Acacia parradoxa</i> on southern boundary.	Removal likely required when site cut and retaining wall construction is undertaken.

The location of the group V1 over the sewer riser will make retaining this entire group impossible, however, there is the potential that some could be retained with sensitive connection of the service.

The scattered group V4 are adjacent to the existing crossover and will need to be removed for a driveway to connect to this.

V3 is the largest group and it is expected that the majority will need to be removed to undertake the site cut but some within the group on closest to the boundary may be retainable.

The proposed 1.2m paling boundary fence has the potential to impact shrubs V2, V3 and V5 as well as Tree 4, 5, 11 and Tree group 14. Ensuring this is done sensitively will be essential to minimise disturbance and vegetation loss.

Avoid and minimise

The initial design for the retaining wall and associated site cut involved a major encroachment and excavation within the SRZ of Tree 11. The design has since been revised to reduce encroachment and remove excavation within the SRZ, thereby reducing the potential for structural root loss and reducing potential impacts to this tree.

Only two juvenile trees are currently present on the site. Although these are proposed to be removed to facilitate development, the proposal includes the planting of six new canopy trees, which will increase canopy cover and tree-related amenity at the site in the long term. Selection of indigenous species would further strengthen connectivity with the indigenous vegetation present on the adjoining property to the south and contribute positively to the local landscape character.

4 Conclusion

The arboricultural assessment undertaken at 39 Blessing Rise, Pakenham comprised fourteen trees and tree groups. Two small trees are growing just inside the southern boundary while all remaining trees are within the neighbouring property to the south and east of the subject site.

The proposed development will result in the removal of two juvenile trees and several scattered understory shrubs to facilitate the site cut, retaining wall, and building footprint. While Trees 4 and 5 are unlikely to remain viable due to significant root zone encroachment, design modifications have been undertaken to reduce impacts to Tree 11 by eliminating excavation within its Structural Root Zone (SRZ). Tree 12 is currently in an advanced senescent state and has a very limited useful life expectancy; therefore, potential root disturbance is unlikely to make a discernible difference to the limited ULE or compromise its stability.

Subject to the implementation of recommended tree protection measures and appropriate construction management, it is expected the remaining trees can be retained without significant long-term impacts. The proposed planting of six new canopy trees will increase canopy cover and improve tree-related amenity at the site over time.

5 Recommendations

Tree protection fencing – Erect fencing to protect neighbouring vegetation and establish No-go Zones on site (see site plan). Due to the slope of the site and challenge implementing traditional fencing panels, Para webbing held in place with star pickets is expected to provide a more practical means of delineating tree protection.

Boundary fence – This should be erected prior to the commencement of site cut and construction works, as it will provide clear delineation for tree protection along the boundary.

All post holes must be approved by the supervising arborist. Where post holes are required within NRZs, they must be excavated by hand and relocated where necessary to avoid damaging roots greater than 30 mm in diameter.

Arborist supervision – To prevent unnecessary damage and manage any roots encountered, engage a suitable experienced arborist to supervise the site cut on the southern boundary to a depth of 1m.

To avoid unnecessary disturbance and vegetation loss a suitable experienced arborist should be engaged to undertake all pruning and advise fencing contractor of suitable fence post locations.

Roots encountered – If roots <30 mm are encountered, they should be pruned using clean, sharp tools such as a hand saw or secateurs.

For roots >30 mm, or where multiple roots are encountered, a suitably experienced arborist should be consulted for guidance.

Underground services/utilities – Ensure underground installations are not routed between the retaining wall or dwelling footprint and the southern boundary. If installations must pass through this region, use low-impact methods such as:

- Horizontal boring at a depth greater than 700 mm.
- Hydro-excavation under arborist supervision, ensuring significant roots (as determined by the arborist) are retained and protected from damage.

Tank stand – Pad for tank and hot water unit should be constructed above grade to avoid unnecessary disturbance to the root zone of Tree 12.

6 References

Department of Transport and Planning. VicPlan, Accessed - March 26, Available at:
<https://mapshare.vic.gov.au/vicplan/>

Mattheck, C. and Breloer, H. (1994), *The Body Language of Trees: A Handbook for Failure Analysis*, London: HMSO.

Costermans, L. (1981), *Native Trees and Shrubs of South-Eastern Australia*, New Holland publishers (Australia) Pty Ltd, Sydney

Brooker, M.I.H. & Kleining, D.A., (2006), *Field Guide to Eucalypts*, 3rd ed., Vol. 1 – South-eastern Australia, Melbourne, Australia: Bloomings Books.

ProofSafe Tree Protection Zone encroachment calculator, available online at:
https://proofsafe.com.au/tpz_incursion_calculator.html

Standards Australia (2025), AS 4970:2025 *Protection of trees on development sites*

Standards Australia (2007), AS 4373-2007 *Pruning of amenity trees*

7 Appendix

7.1 Assumptions & Limitations

1. **Treetec** does not assume responsibility for legal matters, and assumes that legal descriptions, titles and ownerships are correct and good.
2. **Treetec** assumes that any property or project is not in violation of any applicable codes, ordinances, statutes or other government regulations.
3. **Treetec** takes all reasonable care to ensure all referenced material is accurate and quoted in correct context but does not take responsibility for information quoted or supplied.
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9. This report and any values expressed herein represent the opinion of **Treetec** and **Treetec's** fee is in no way contingent upon the reporting of a specified value, the occurrence of a subsequent event, nor upon any finding to be reported.
10. Site plans, diagrams, graphs and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.
11. Information in this report covers only those items that were examined in accordance with the Terms of Reference, and reflects the condition of those items that were examined at the time of the inspection.
12. Inspections are limited to visual examination of accessible components unless otherwise stated in the "Method of Inspection".
13. There is no warranty or guarantee, expressed or implied, that the problems or deficiencies of the plants or property in question may not arise in the future.
14. Due to the dynamic nature of trees and development there can be no guarantee that the Useful Life Expectancy (ULE) of the subject tree/s won't be adversely impacted.

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	<p>The age of the tree is represented as Juvenile, Semi-mature, Mature or Senescent.</p> <table border="1"> <tr> <td data-bbox="459 248 632 331">Juvenile:</td> <td data-bbox="632 248 1404 331">A young tree, given normal environmental conditions for that tree it will not yet flower or fruit.</td> </tr> <tr> <td data-bbox="459 331 632 414">Semi-mature:</td> <td data-bbox="632 331 1404 414">Able to reproduce but not yet nearly the size of a mature specimen in that location.</td> </tr> <tr> <td data-bbox="459 414 632 497">Mature:</td> <td data-bbox="632 414 1404 497">Has reached or nearly reached full size and spread for that species in the given location.</td> </tr> <tr> <td data-bbox="459 497 632 577">Senescent:</td> <td data-bbox="632 497 1404 577">Health and / or structure is being adversely impacted by the old age of the tree.</td> </tr> </table>	Juvenile:	A young tree, given normal environmental conditions for that tree it will not yet flower or fruit.	Semi-mature:	Able to reproduce but not yet nearly the size of a mature specimen in that location.	Mature:	Has reached or nearly reached full size and spread for that species in the given location.	Senescent:	Health and / or structure is being adversely impacted by the old age of the tree.						
Juvenile:	A young tree, given normal environmental conditions for that tree it will not yet flower or fruit.														
Semi-mature:	Able to reproduce but not yet nearly the size of a mature specimen in that location.														
Mature:	Has reached or nearly reached full size and spread for that species in the given location.														
Senescent:	Health and / or structure is being adversely impacted by the old age of the tree.														
<p>ARBORICULTURAL VALUES</p> <p>AMENITY VALUE</p> <p>RETENTION VALUE</p>	<p>Values assigned to a tree or group of trees to provide an overview of their significance with consideration to a range of factors (see below)</p> <p>Provides a summary of the general condition and also the overall significance contributed to the landscape (Visual appeal). Factors include; physical condition (health, structure, form), age, size, and species. Trees may possess one or more of the attributes listed.</p> <table border="1"> <tr> <td data-bbox="459 846 632 913">High:</td> <td data-bbox="632 846 1404 913">Large size, good health and structure, significant in relation to the local landscape, prominent location.</td> </tr> <tr> <td data-bbox="459 913 632 996">Medium:</td> <td data-bbox="632 913 1404 996">Moderate size, fair health and/or structure, somewhat significant in relation to the local landscape, prominent location.</td> </tr> <tr> <td data-bbox="459 996 632 1070">Low:</td> <td data-bbox="632 996 1404 1070">Small common species, poor health and structure, insignificant in relation to the local landscape, environmental weed.</td> </tr> </table> <p>A rating assigned to a tree or group of trees based on; Amenity Value, Useful Life Expectancy (ULE), suitability for the site, location, cultural or historical significance, legislative vegetation controls (such as Planning or Local Law). Age is a primary consideration as it is the determining factor when considering how long it would take to replace the amenity lost when trees are removed. For proposed development, the retention value may help shape decisions to ensure site amenity value is maximised. Tree removal may require a planning permit. Check with your local council prior to removing any vegetation.</p> <table border="1"> <tr> <td data-bbox="459 1384 632 1451">Offsite:</td> <td data-bbox="632 1384 1404 1451">Located outside of the subject site. Must be retained and protected regardless of other factors.</td> </tr> <tr> <td data-bbox="459 1451 632 1594">High:</td> <td data-bbox="632 1451 1404 1594">Worthy of retention and incorporation into any development proposal. Medium or High Amenity Value, 15>40 years or greater Useful Life Expectancy (ULE), rare or endangered/ ecologically valuable.</td> </tr> <tr> <td data-bbox="459 1594 632 1738">Medium:</td> <td data-bbox="632 1594 1404 1738">Should be considered for retention, if practicable. Low or Medium Amenity Value, 15-40 years or less ULE. May be minimal canopy cover in the local area (loss would be detrimental to the landscape).</td> </tr> <tr> <td data-bbox="459 1738 632 1848">Low:</td> <td data-bbox="632 1738 1404 1848">Low Amenity Value, 5-15 years or less ULE, may be problematic to retain. Retain if desired, otherwise consider removal.</td> </tr> </table>	High:	Large size, good health and structure, significant in relation to the local landscape, prominent location.	Medium:	Moderate size, fair health and/or structure, somewhat significant in relation to the local landscape, prominent location.	Low:	Small common species, poor health and structure, insignificant in relation to the local landscape, environmental weed.	Offsite:	Located outside of the subject site. Must be retained and protected regardless of other factors.	High:	Worthy of retention and incorporation into any development proposal. Medium or High Amenity Value, 15>40 years or greater Useful Life Expectancy (ULE), rare or endangered/ ecologically valuable.	Medium:	Should be considered for retention, if practicable. Low or Medium Amenity Value, 15-40 years or less ULE. May be minimal canopy cover in the local area (loss would be detrimental to the landscape).	Low:	Low Amenity Value, 5-15 years or less ULE, may be problematic to retain. Retain if desired, otherwise consider removal.
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Low:	Low Amenity Value, 5-15 years or less ULE, may be problematic to retain. Retain if desired, otherwise consider removal.														
<p>CABLING</p>	<p>In some circumstances where a defect has been identified it may be possible to use cabling to help retain the tree. Cabling methodology depends on the situation:</p> <p>Loose fitting to only assist a tree in windy conditions</p> <p>Tight fitting - holding stems or branches with permanent support. And/or</p> <p>To 'catch' a section of tree if it fails</p>														

	<p>Cabling can greatly reduce risk and help retain a tree for a long time however the cabling and tree needs to be inspected and maintained regularly.</p> <p>If the tree is of low amenity or the cabling will not add significantly to the ULE then we would recommend a higher risk tree be replaced rather than cabled.</p>
CANOPY SPREAD	Overall size of the canopy as looking from a plan view. Recorded at the widest point.
CODOMINANT STEMS	Two stems of approximately the same thickness and height originating from the same position in the tree.
COMMON NAME	A non-scientific name commonly used for that tree.
COMPETENT PERSON	Person who has acquired, through education, training, qualification, experience or a combination of these, the knowledge and skill enabling that person to perform the task required.
CROWN WIDTH	See 'Canopy spread'
DEAD (AS DEAD)	Cessation of all metabolic processes (or very soon to be)
DEADWOOD	Deceased above ground tree parts such as stems or branches. <i>Minor</i> deadwood – less than 40mm diameter <i>Major</i> deadwood – greater than 40mm diameter
DEVELOPMENT	The use of land including; the subdivision of land, erection or demolition of a building or works, the carrying out of a work, road works, the installation of utilities and services, and any other act, matter or thing as defined by the relevant legislation.
DIAMETER ABOVE ROOT BUTTRESS (DARB)	The diameter of the trunk measured above the root buttress. This measurement is used to calculate the structural root zone (see SRZ).
DIAMETER AT STANDARD HEIGHT (DSH)	The diameter of the trunk measured at or near 1.4m above ground level. Where there is more than 1 stem originating below 1.4m the measurement recorded is calculated as described in AS 4970:2025.
ENCROACHMENT	Works or change of use (temporary or permanent) proposed to occur within an identified NRZ either above or below ground, regardless of work method or construction type.
	Minor: Less than or equal to 10% of the calculated NRZ area, has had no recent encroachments and is outside of the SRZ.
	Moderate: Greater than 10% and less than or equal to 20% of the calculated NRZ area and is outside of the SRZ.
	Major: Greater than 20% of the NRZ area or inside the SRZ.
EPICORMIC GROWTH	New shoots forming from dormant buds within the bark on the trunk and/or branches.
FORM	Reference to the symmetry of the crown as observed from all angles and in accordance with the morphology of that species, and documented as Poor, Fair or Good.
HEALTH	A trees vigour as exhibited by the crown density, leaf colour, seasonal extension growth, presence of stress indicators, ability to withstand diseases and pests, and the degree of dieback. Where a deciduous tree is inspected without foliage and health is undetermined a '?' will be noted.
	Dead: Cessation or near cessation of all metabolic processes.
	Poor: Indicating symptoms of extreme stress such as minimal foliage, or extensively damaged leaves from pests and diseases. Death probable if condition of tree deteriorates.
	Fair: Some minor deadwood or terminal dieback indicating a stressed condition. Minor leaf damage from pests.


Cardinia
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 Date Prepared: 10 April 2026

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	Good:	Usual for that species given normal environmental conditions – full canopy with only minor deadwood, normal leaf size and extension growth, minimal pest, or disease damage.
HEIGHT	The distance in metres from the ground to the highest point in the crown, calculated in the vertical plane. This measurement unless otherwise specified is an estimation only.	
IMPACT ASSESSMENT	An assessment of adverse impact the proposed works are likely to have on a tree or tree group. May be short or long term; usually judged on the likely reduction in ULE directly attributable to the works. Impact usually relates to the level of TPZ encroachment, but also factors the type of impact. One or more factors may apply.	
	Low:	Proposed works are outside of the TPZ and impacts are likely to be nil. Or, minor damage may occur such as; smaller roots may be damaged or a small area of canopy pruned. Unlikely to significantly impact tree health, form, or ULE.
	Moderate:	Direct (physical wounding), or indirect (environmental impacts) are possible, root damage may occur, canopy pruning likely, and an occurrence will reduce the ULE.
	High:	Tree/s likely to be lost in the medium or short term, or adversely impacted so that tree health, and therefore, ULE are significantly reduced, or the tree will become unstable and/or present an unacceptable level of risk.
	Proposed to be removed:	Trees that are within the footprint of works and proposed to be removed by the client, or are not viable to retain due to the factors listed in the conclusions of this report. Trees proposed for removal are not always required to be removed.
INCLUDED BARK UNION	A union within a tree that has included bark (bark pressing on bark), these unions are usually poorly attached and more likely to fail as the included bark is equivalent to a split. Often characterized by an acute angle and sometimes forming ribs or flaring immediately below the union where the tree reacts to the weakness by placing secondary growth. Though these unions are weaker than a ‘good’ union, the risk of failure cannot be calculated and a poor union does not automatically justify the removal of the tree.	
NOTIONAL ROOT ZONE (NRZ)	Zone created by a radius of 12 times the DSH that is a primary trigger for arboricultural input on a development site.	
PRUNING	Systematic removal of branches of a plant whilst giving consideration to the trees natural defence systems.	
ROOTS	Below ground component of a tree’s structure and consist of three main parts.	
	Absorbing	Small, non-woody roots with hairs or mycorrhizal association and no bark, responsible for the uptake of most of the water and solutes used by the tree. These roots are generally less than 2 mm in diameter and frequently replaced.
	Structural	Large diameter woody roots close to the stem that provides stability and support to the tree, mostly found within the SRZ.
	Woody	Roots that have undergone lignification and secondary thickening.
STRUCTURAL ROOT ZONE (SRZ)	Theoretical area around the base of a tree required for the tree’s stability in the ground.	
STRUCTURE	Reference to the structural integrity of the tree with consideration of the crown, trunk and roots. Determined using the Visual Tree Assessment (VTA) method (Mattheck and Breloer 1994). The failure of small (<60mm calliper) live or dead limbs is normal and not considered here.	
	Very poor:	Clear indications that a significant failure is likely soon


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	Poor:	Obvious signs of structural weakness and a failure is likely, one might expect a significant failure event within the next 5 years, possibly tomorrow
	Fair:	Signs of weakness present though not obviously significant, likely to become worse over time
	Good:	No obvious signs of structural weakness
TREE	Long-lived, woody perennial plant with one or relatively few main, self-supporting, stems or trunks. Greater than (or usually greater than) 3m in height (or as defined by the responsible authority).	
TREE PROTECTION PLAN (TPP)	Scaled drawing that shows trees to be retained, the location of the TPZ(s), and tree protection devices specified.	
TREE PROTECTION ZONE (TPZ)	Specified zone above and below ground and at given offsets from the trunk set aside to protect a tree's roots and crown where these might be damaged by development.	
TREETEC REFERENCE	Unique identifier assigned to an individual report by Treetec	
TYPE	Status of the species as it relates to the location.	
	Indigenous:	Naturally occurring to the local area
	Victorian Native:	Naturally occurring within Victoria (classified as native vegetation within the Victorian Planning Provisions)
	Australian Native:	Naturally occurring within Australia
	Exotic:	Introduced species to Australia
UNION	The point where a branch or stem is attached to another branch or stem.	
USEFUL LIFE EXPECTANCY (ULE)	Useful Life Expectancy is an estimation of how many years a tree can reasonably be retained in the landscape provided growing conditions do not significantly worsen and any recommended works are completed. It takes into consideration factors such as risk, species, age, health and site conditions. Usually represented as either 0, <5, 5 - 15, 15 - 40, or >40.	
WORKS	Any physical activity in relation to the land that is specified by the relevant authority.	



7.3 Impacts to trees

Physical/Mechanical damage to trees

Physical damage, particularly to the trunk, creates entry points for pests and diseases such as fungal infections. This can cause long-term decay and may result in partial or complete tree failure.

Alteration of soil levels

Changing soil levels around trees affects roots, stability, and tree metabolism. This can reduce health, increase deadwood, cause thinning foliage, and decrease vigour. Impacts may take years to appear and are often irreversible.

Works within an NRZ

Activities such as site cut and fill, re-grading, underground service installation, building footings, or landscaping can damage tree roots.

- Work within an NRZ may be possible without significant impact, but the number and size of roots, tree species, and resilience must be assessed beforehand. Design and construction methods may require modification to minimise impacts.
- **Site cut and fill:** Locate works to minimise root disturbance to retained trees. For shallow cuts, consider adding fill to eliminate the cut. Raised grades should use coarser, more porous material than the underlying soil. Avoid batter cuts; vertical retaining walls are preferred to reduce disturbance.
- **Underground services:** Route outside NRZs where possible. If unavoidable, use non-destructive methods such as air or hydro-excavation, or bore under the NRZ at a depth of ≥ 700 mm. The project arborist should assess impacts, including bore pit locations.
- **Driveways and pathways:** Avoid encroachment into NRZs. If unavoidable:
 1. Do not scrape or excavate, as most small absorbing roots are in the upper 100 mm of soil.
 2. Use permeable materials laid on base/sub-base designed to allow water movement into the soil below.
- **Buildings within NRZs:** Foundations should be suspended on piers, leaving ground largely undisturbed. Supporting beams should be above ground or run radially from the trunk. No excavation is permitted within the Structural Root Zone (SRZ).

All works within NRZs must be approved by the responsible authority prior to commencement.



7.4 Degrees of encroachment

In accordance with AS 4970:2025 (*Protection of trees on development sites*) encroachment within a NRZ is defined as per below.

Minor encroachment

The proposed encroachment is considered minor if it is less than or equal to 10 % of the area of the NRZ, has not had recent NRZ encroachments and is outside of the SRZ.

Generally, it is unlikely that there will be a significant impact to tree health, longevity or structure. Tree protection should be implemented during site works. To avoid a net loss of soil area and volume, an area equivalent to the encroachment shall be incorporated into the TPZ, unless the project arborist otherwise demonstrates that the tree will remain viable.

Moderate encroachment

The proposed encroachment is considered moderate if it is greater than 10% and less than or equal to 20 % of the area of the NRZ and is outside of the SRZ.

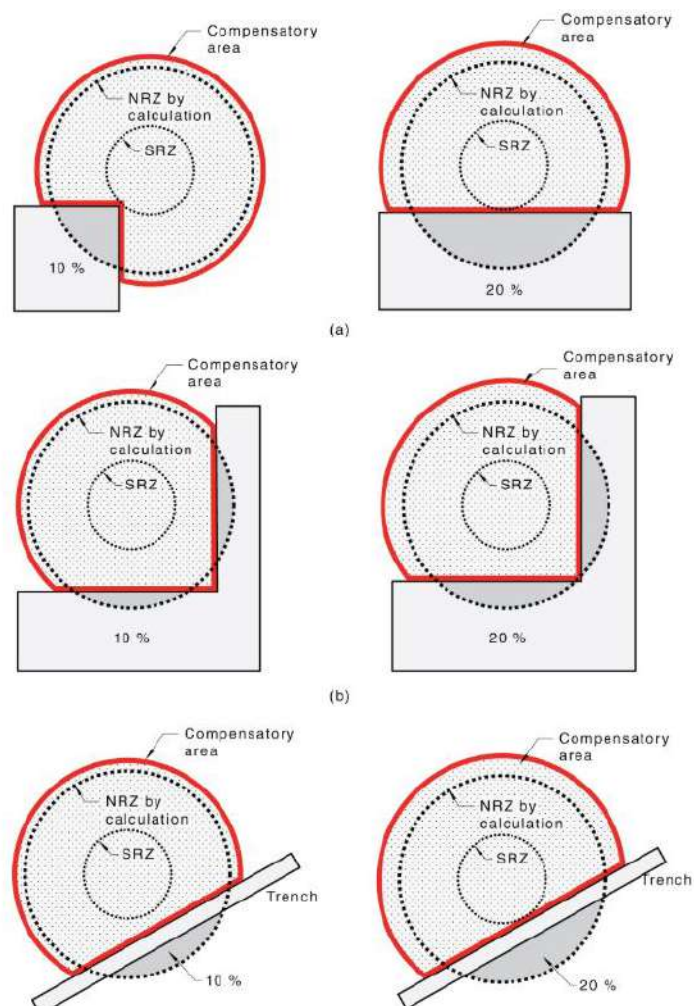
A project arborist shall be engaged to review the proposed impact and undertake any other necessary investigation to address the factors to demonstrate how the tree will remain viable. This may be through the implementation of suitable design measures and construction controls to mitigate impacts during the development process as part of a TPS and TPP. To avoid a net loss of soil area and volume, an area equivalent to the encroachment shall be incorporated into the TPZ, unless the project arborist otherwise demonstrates that the tree will remain viable.

Major encroachment

The proposed encroachment is considered major if it is greater than 20 % of the area of the NRZ or inside the SRZ.

The project arborist shall be engaged to explore alternative designs with the design team and/or demonstrate that the tree will remain viable.

For assessment of major encroachment a more detailed investigation is necessary. This can include research such as root investigation, soil analysis, historical records of the tree or site, relevant literature and examples of similar encroachments. A TPS and TPP should be prepared to support the retention of the tree. To avoid a net loss of soil area and volume, an area equivalent to the encroachment shall be incorporated into the TPZ, unless the project arborist otherwise demonstrates that the tree will remain viable.



Example of NRZ encroachments.

Source – AS 4970:2025 *Protection of trees on development sites*

7.5 Tree Protection Zones (TPZ)

The TPZ is a restricted area, typically delineated by protective fencing or existing structures such as walls or fences, and documented within the AIA, TPS, and TPP.

Establishment of a TPZ

The TPZ is the primary method for protecting trees on development sites and is usually delineated with tree protection fencing in accordance with AS 4970:2025 (*Protection of Trees on Development Sites*).

- Fencing is installed after permitted vegetation removal and pruning, but prior to site establishment.
- Unless otherwise approved by the relevant authority, fencing should remain in place until all construction activity is complete.

TPZ fencing

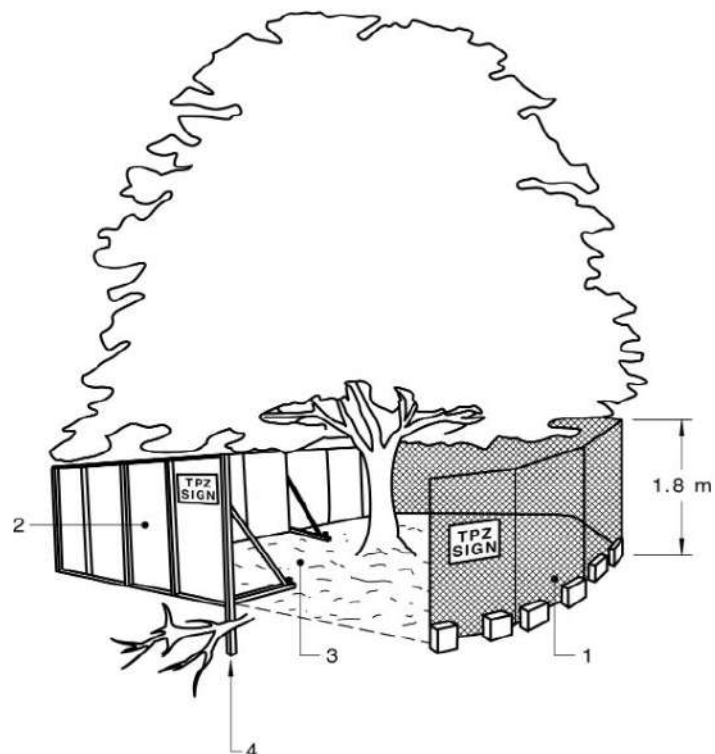
- Fencing must be highly visible and act as a physical barrier to construction activities.
- Fences should be clearly signed: “Tree Protection Zone – No Access”.
- Fencing must be sturdy and prevent access by vehicles, heavy equipment, workers, and the public.
- Where feasible, fencing should consist of chain wire mesh panels with concrete feet. Alternative protection measures may be used where chain mesh is impractical.

Restricted activities within a TPZ

A TPZ may surround a single tree, a group of trees, or a patch of vegetation. The following activities must **not** occur within a TPZ unless permitted by the Responsible Authority:

- Excavation, cultivation or disturbance of the soil, including scraping of the surface.
- Equipment and material storage.
- Preparation of chemicals, including preparation of cement products.
- Movement or parking of vehicles and plant.
- Dumping of waste.
- Spreading or stockpiling of fill.
- Refuelling.
- Washing down and cleaning of equipment or hard surfaces.
- Fires.
- Physical damage to the tree.

Activities specified in items (a) to (e) may be permitted with appropriate protection measures, as detailed in the TPS and TPP.



Example of TPZ fencing and signage

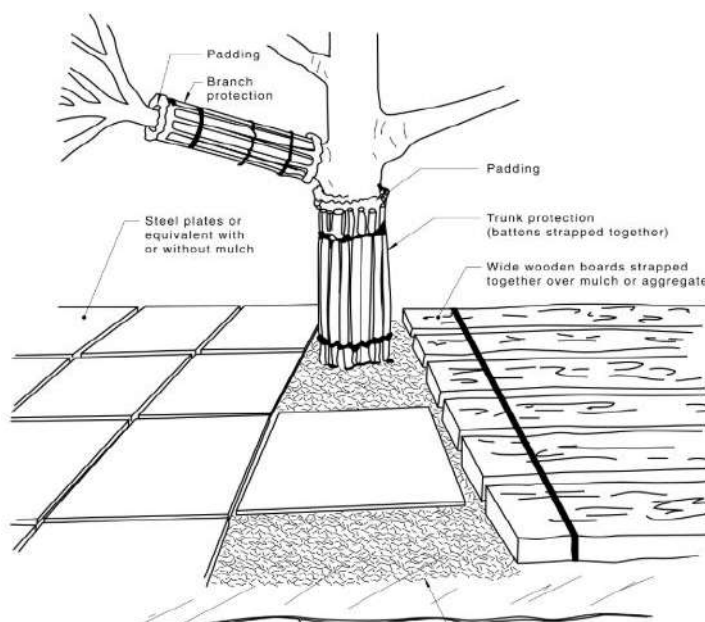
Source – AS 4970:2025 *Protection of trees on development sites*



Additional tree protection measures

If temporary access to the TPZ is required, protection of the trunk, branches, or ground may be necessary. Materials and placement should be specified by the project arborist.

- **Foot traffic:** Temporary access may be facilitated using heavy plywood sheets or similar; this is not a long-term solution.
- **Machinery access:** Ground protection should be installed to prevent root damage and soil compaction. Measures may include a permeable membrane (e.g., geotextile fabric) beneath mulch or crushed rock below rumble boards or HDPE track mats. These measures can also be applied to root zones beyond the TPZ.
- **Exposed roots:** Where roots are exposed during approved works, temporary protection should be installed to prevent drying. This may include multiple layers of jute mesh or hessian over the exposed roots and excavated soil profile, extending to the full root depth. Protection sheeting should be pegged in place and kept moist at all times.



Example of trunk and ground protection.

Source – AS 4970:2025 *Protection of trees on development sites*

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7.6 Pruning standards

- Pruning should be carried out in accordance with AS 4373:2007 (Pruning of Amenity Trees) by a competent contractor.
- Lopping, as defined by the Standard, is detrimental and can lead to decay and poorly attached epicormic shoots.
- Wherever possible, natural target pruning methods should be used when removing sections of trees.

7.7 Options for reducing impacts to trees

Designing all works outside the NRZ is the preferred method to ensure tree viability post-construction. The following options may mitigate tree damage and facilitate works within NRZs if approved by the Responsible Authority:

Non-destructive investigation

- Air or hydro-excavation can be used to explore the proposed encroached within an NRZ without damaging larger roots.
- These methods should be applied during design to locate roots and during construction to minimise impacts.



Non-destructive digging

Underground boring

- Horizontal boring can be used to install underground services without open trenching.
- Entry and exit pits should be outside the NRZ, and boring beneath the NRZ should be at a depth of approximately ≥ 700 mm to minimise impact.



Horizontal boring

Low impact footing design

- Screw piles or pier footings with beams above ground or cantilevered can support structures while minimising root disturbance.
- Footings must avoid larger roots (>30 mm diameter) and consider soil type and lost catchment area beneath raised structures.



Low impact footings: i.e. - screw piles

Bridging over the NRZ

- Raised structures, such as driveways or pathways on posts or screw piles with cross members, can span the NRZ.
- Footings should avoid larger roots (>30 mm), be engineered for expected loads, and transition to natural grade outside the NRZ where possible.



Bridging over a NRZ

Permeable, porous, and pervious surfaces

- These surfaces allow water infiltration while providing a hard surface.
- Excavation for a subbase layer can impact roots, reducing the benefit of permeable construction.
- Permeable paving is most effective when natural grade is undisturbed and no compacted gravel subbase is installed.
- Soil pH changes from bonding materials should be considered, as they can affect tree health and nutrient availability.

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7.8 Photos



Tree 1



Tree 2



Tree 3



Tree 4



Tree 5



Tree 6



Tree 7



Tree 8



Tree 9



Tree 10



Tree 11



Tree 12


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Tree 13



Tree 14


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Tree V1



Tree V2



Tree V3



Tree V4



Tree V4


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BLESSING RISE RESIDENCE

39 BLESSING RISE PAKENHAM VIC 3810



DWG	TITLE	SCALE
A-000	DRAWING REGISTER	N.T.S
A-100	PROPOSED SITE PLAN	1:200 @ A1
A-101	PROPOSED BASEMENT FLOOR PLAN	1:100 @ A1
A-102	PROPOSED GROUND FLOOR PLAN	1:100 @ A1
A-103	PROPOSED FIRST FLOOR PLAN	1:100 @ A1
A-109	PROPOSED LANDSCAPE PLAN	1:100 @ A1
A-110	LANDSCAPE SPECIFICATION	N.T.S
A-200	PROPOSED EAST & WEST ELEVATION	1:100 @ A1
A-201	PROPOSED NORTH & SOUTH ELEVATION	1:100 @ A1
A-300	SECTION AA & PERSPECTIVE	1:100 @ A1



Cardinia


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No.	DESCRIPTION	DATE	No.	DESCRIPTION	DATE
#	ISSUED TO CLIENT FOR REVIEW & APPROVAL	19/09/2025	B	ISSUED TO B.S & COUNCIL	15/12/2025
#	ISSUED TO CLIENT FOR REVIEW & APPROVAL	29/09/2025	C	ISSUED TO DEVELOPER	05/02/2026
#	ISSUED TO CLIENT & BUILDING SURVEYOR	08/10/2025	D	ISSUED TO COUNCIL	26/03/2026
A	ISSUED TO CLIENT FOR FINAL APPROVAL	18/10/2025			
A	ISSUED TO CLIENT FOR FINAL APPROVAL	20/10/2025			
A	ISSUED TO B.S & COUNCIL	28/11/2025			

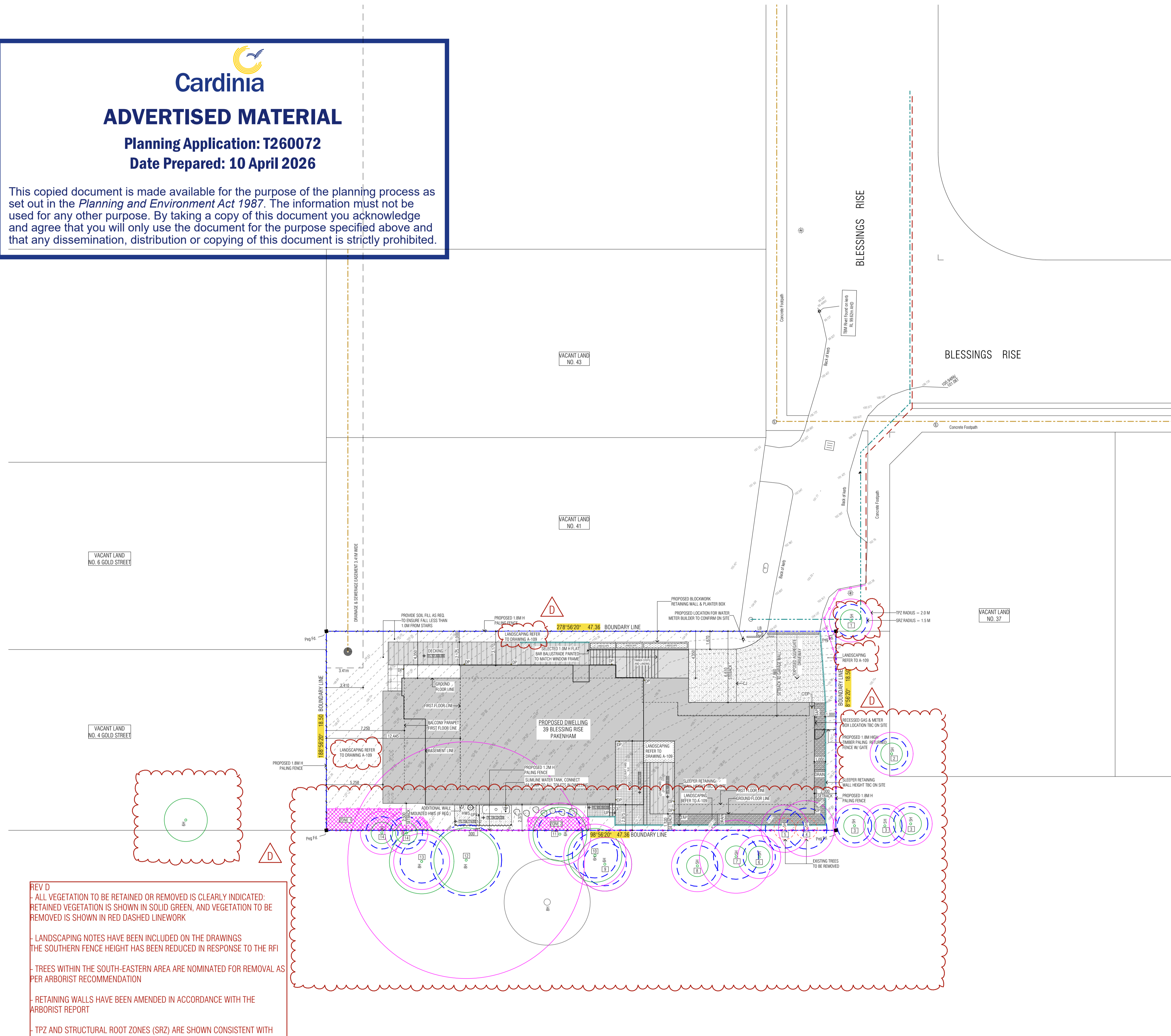
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 Planning Application: T260072
 Date Prepared: 10 April 2026

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REV D
 ALL VEGETATION TO BE RETAINED OR REMOVED IS CLEARLY INDICATED. RETAINED VEGETATION IS SHOWN IN SOLID GREEN, AND VEGETATION TO BE REMOVED IS SHOWN IN RED DASHED LINEWORK

- LANDSCAPING NOTES HAVE BEEN INCLUDED ON THE DRAWINGS
 THE SOUTHERN FENCE HEIGHT HAS BEEN REDUCED IN RESPONSE TO THE RFI

- TREES WITHIN THE SOUTH-EASTERN AREA ARE NOMINATED FOR REMOVAL AS PER ARBORIST RECOMMENDATION

- RETAINING WALLS HAVE BEEN AMENDED IN ACCORDANCE WITH THE ARBORIST REPORT

- TPZ AND STRUCTURAL ROOT ZONES (SRZ) ARE SHOWN CONSISTENT WITH THE ARBORIST DOCUMENTATION

GENERAL NOTES:

- REFER TO WALL TYPES FOR WALL FINISHES
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE SUPERINTENDENT BEFORE PROCEEDING WITH THE WORK. IF IN DOUBT, CONTRACTOR IS TO NOTIFY AND/OR SEEK ADVICE FROM THE SUPERINTENDENT.
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- ALL DOORS ARE 2340MM HIGH THROUGHOUT UNLESS INDICATED OTHERWISE.
- FILL AND GRADE GROUND AT DOORWAYS AFTER CONSTRUCTION, ENSURING THAT STEP DOWN FROM EXTERNAL DOORS DOES NOT EXCEED 190MM.
- SHOWER ENCLOSURES TO BE PROVIDED WITH 40MM SET DOWN TO FLOOR STRUCTURE TO ALLOW FOR TILED BASE (TYPICAL U.N.O) EXHAUST FANS. ALL MECHANICAL VENTILATION INCLUDING RANGEHOODS ARE TO EXTRACT 25 LT./SEC MIN DUCTED TO COLORBOND FLAT ROOF OR PITCHED COLORBOND ROOF SPACE OR EXTERNAL AIR COMPARTMENT DOORS TO BE UNDERCUT 10MM.

NOTES:
 UNLESS INDICATED ON THE DRAWINGS ALL HATCHED WINDOWS LABELLED 'O/F' TO BE FIXED OBSCURE WINDOWS (NOT FILM)
NO ADJOINING HABITABLE ROOM WINDOWS (HRW) WITHIN 3M

- LEGEND:**
- F FIXED GLASS AS SPECIFIED
 - A AWNING
 - O OBSCURE GLASS
 - C CLEAR GLASS
 - D DOOR
 - S SLIDING GLASS PANEL AS SPECIFIED
 - S/A SAFETY GLASS TO ALL BATHROOM GLAZING AS REQUIRED

ROOF NOTE:
 MANUFACTURER: STRATCO OR SIMILAR
 PROFILE TYPE: SUPERDECK
 MATERIAL: ZINCALUME

TERMITE TREATMENT:
 TERMITE TREATMENT - AS SPECIFIED. REFER TO SPECIFICATION PROVIDE CERTIFICATE IN ACCORDANCE WITH AS 3660-2014 STATING METHOD OF APPLICATION AND CERTIFICATE OF COMPLETION.

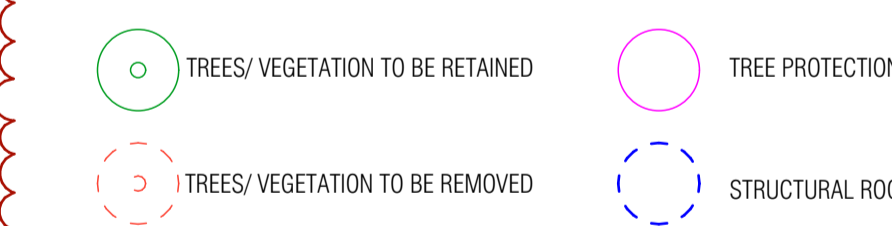
TERMITE CONTROL
 SUPPLY APPROVED TERMITE CONTROL BY NATURAL ETHICAL SUBSTANCES IN ACCORDANCE WITH SUPPLIER'S RECOMMENDATIONS. COMPLY WITH AS 3660 IMMEDIATELY PRIOR TO THE LAYING OF THE WATER PROOF MEMBRANE PREPARE THE WHOLE OF THE SLAB AREA WITH AN APPROVED ANTI-TERMITE SPRAYED TREATMENT.

SUCH TREATMENT SHALL BE UNDERTAKEN BY AN APPROVED PROPRIETARY FIRM EXPERT AND EXPERIENCED CONTRACTORS. PROVIDE A WRITTEN GUARANTEE IN FAVOUR OF THE PRINCIPAL THAT THE APPLICATION WILL PROVIDE PROTECTION AGAINST THE INFESTATION OF TERMITES FOR A MINIMUM PERIOD OF FIVE YEARS FROM THE DATE OF PRACTICAL COMPLETION IN ACCORDANCE WITH THE APPROPRIATE AUSTRALIAN STANDARD. THE CONTRACTOR SHALL FURNISH THE CERTIFICATE FOR THIS WORK TO THE SUPERINTENDENT OR WORKS OFFICER AT THE INSPECTION PRIOR TO POURING CONCRETE. CERTIFICATES SHALL BE ISSUED BY THE FIRM CARRYING OUT THE TREATMENT AND SHALL NOMINATE THE UNITS TREATED AND COVERED BY EACH CERTIFICATE.

GARDEN AREA CALCULATION

TOTAL SITE AREA	876.00M2
TOTAL GARDEN AREA	315.286 (35.99%)
EXCLUDED FROM GARDEN AREA CAL.	~ 36.00%

TREES AND VEGETATION LEGEND



TREE PROTECTION FENCING NOTE

PROVIDE TPZ FENCING USING PARA WEBBING ON STAR PICKETS (APPROX. 1.2 M HIGH) AS RECOMMENDED IN THE ARBORICULTURAL IMPACT ASSESSMENT (TREETEC, 23/03/2026). FENCING TO DELINEATE NO-GO ZONES FOR TREE 11 AND TREE GROUP 14 AND ALONG SOUTHERN AND EASTERN BOUNDARIES.

SCHEDULES:

EXISTING SERVICES	TITLE DETAILS
<ul style="list-style-type: none"> Water Gas Electricity Drainage Stormwater Easement Proposed Habitable Window Proposed Water Meter Letter Box Down Pipe Under Bench Wastewater Stoop Handover Head Stair Storage Access Hatch Laundry Linens Finished Floor Level Finished Ceiling Level Coor Top Roof Pitch Roof Structure Ground Window Tag Ground Door Tag Built In Recess Walk In Recess Walk In Linens Washing Machine Closet Hot Water System 	<ul style="list-style-type: none"> Level Trim Proposed Habitable Window Proposed Water Meter Letter Box Down Pipe Under Bench Wastewater Stoop Handover Head Stair Storage Access Hatch Laundry Linens Finished Floor Level Finished Ceiling Level Coor Top Roof Pitch Roof Structure Ground Window Tag Ground Door Tag Built In Recess Walk In Recess Walk In Linens Washing Machine Closet Hot Water System

CLAUSE 54 RESCUE

Address: 39 BLESSING RISE PAKENHAM

TRIPLE STOREY DWELLING	
SITE COVERAGE	
TOTAL SITE AREA	876.00m2
PORCH	10.05m2
GARAGE	42.27m2
GROUND FLOOR	333.80m2
ALFRESCO	50.00m2
BALCONIES	53.40m2
FIRST FLOOR	326.62m2
TOTAL COVERED AREA	489.52m2
SITE COVERAGE 60% MAX.	55.88%
PERMEABILITY - REG 77	
TOTAL IMPERVIOUS SURFACES	112.33m2
TOTAL PERVIOUS SURFACES	317.88m2
PERMEABILITY %	36.29%
GARDEN AREA	315.28m2

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A	ISSUED TO B.S & COUNCIL	28/11/2025			

PROJECT TITLE:
 39 BLESSING RISE
 PAKENHAM VIC 3810

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DRAWING TITLE: PROPOSED SITE PLAN

PROJECT DATE: 04/08/2025
SHEET NO: A-100
REV NO: D

DRAWN BY: EJ
CHECKED BY: MR
SCALE: @ 1:200

A1



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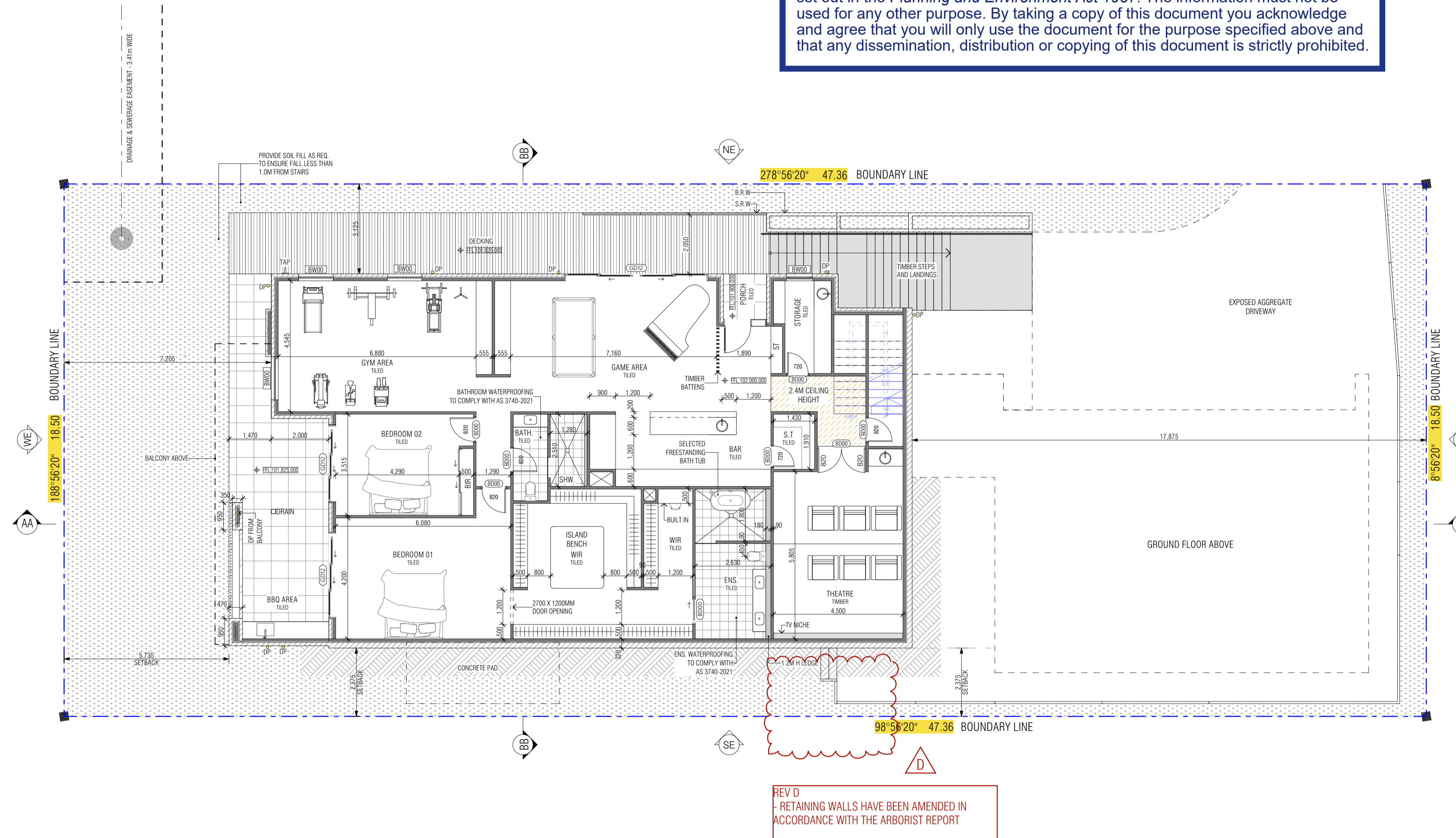
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EXTERNAL WORKS SCHEDULE:

- COLORBOND ROOFING FOR FIRST FLOOR ROOF AT 2 & 3° PITCH AS SHOWN ON PLANS WITH APPROVED FLASHING. ON BATTENS @ 330MM MAZ ON SELECTED TIMBER FRAMED ROOF TRUSSES BY MANUFACTURERS DETAIL AND SPECIFICATIONS. COVER TOP OF TRUSSES WITH REFLECTIVE FOIL LAMINATE THROUGHOUT AND COLORBOND GUTTERS, RAIN HEADS AND FASCIAS.
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- PROVIDE EXPANSION JOINTS TO BRICKWORK AS FOLLOW: 2 - 4M CENTERS FROM CORNERS AND MAXIMUM 5.0M CENTERS, AND/ OR AS IN ACCORDANCE WITH AS3700.

BALCONY AND PAVED STONE CLADDING SUBSTRATE & WATERPROOFING

MULTIPANEL SUBSTRATE - 30MM FOR BALCONY FLOOR & 16MM SUBSTRATE FOR WALLS TO BE INSTALLED AS PER MANUFACTURER'S SPECS AND DETAILS



REV D
- RETAINING WALLS HAVE BEEN AMENDED IN ACCORDANCE WITH THE ARBORIST REPORT

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PROJECT TITLE:
39 BLESSING RISE
PAKENHAM VIC 3810

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DRAWING TITLE: PROPOSED BASEMENT FLOOR PLAN		
PROJECT DATE: 04/08/2025	SHEET NO: A-101	REV NO: D
DRAWN BY: EJ		
CHECKED BY: MR	SCALE: @ 1:100	A1

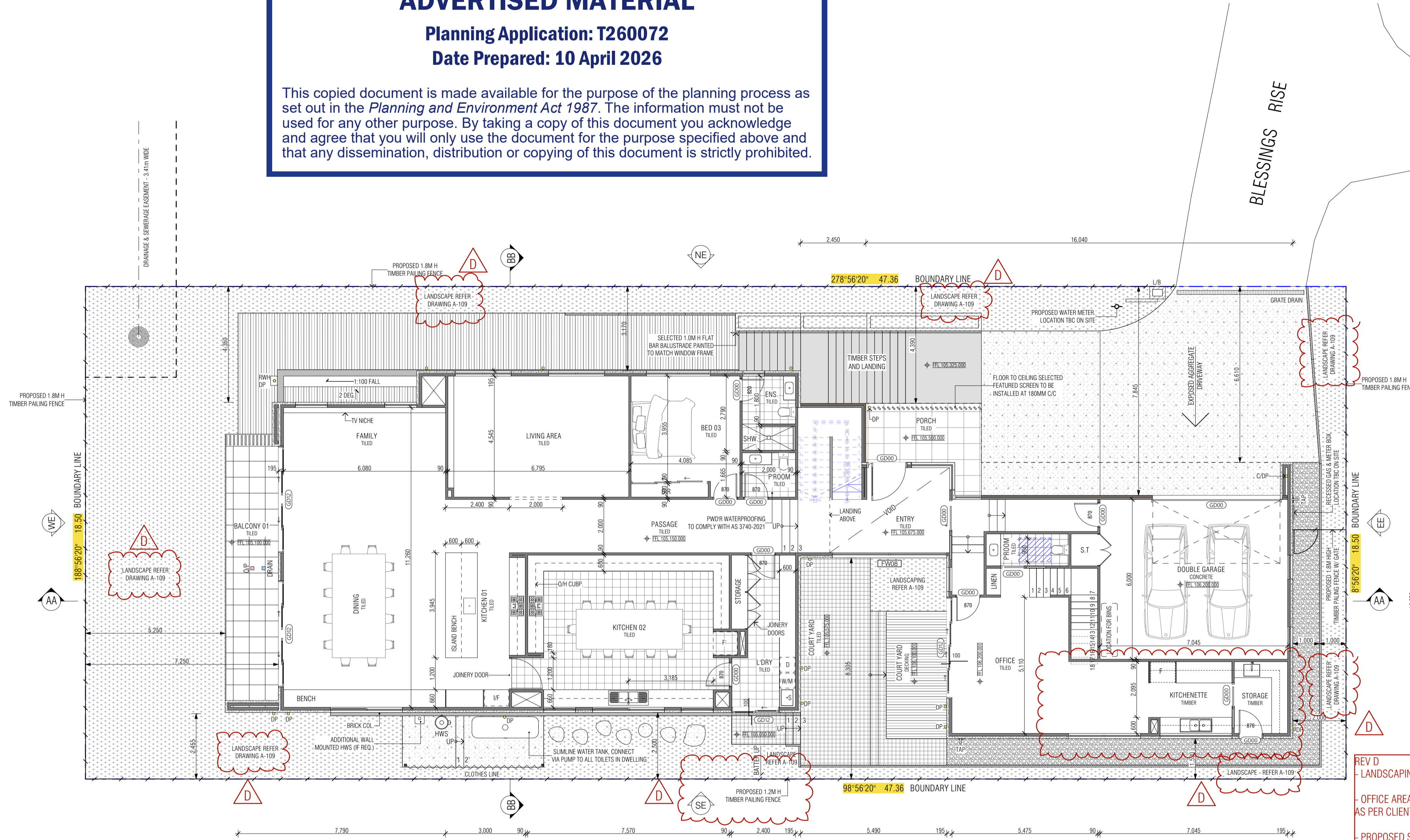


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REV D
 - LANDSCAPING NOTE ADDED
 - OFFICE AREA LAYOUT HAS BEEN AMENDED AS PER CLIENT REQUIREMENTS
 - PROPOSED SOUTHERN FENCE AMENDED IN HEIGHT
 - RETAINING WALL HAS BEEN AMENDED AS PER ARBORIST FEEDBACK

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DRAWING TITLE: PROPOSED GROUND FLOOR PLAN		
PROJECT DATE: 04/08/2025	SHEET NO: A-102	REV NO: D
DRAWN BY: EJ		
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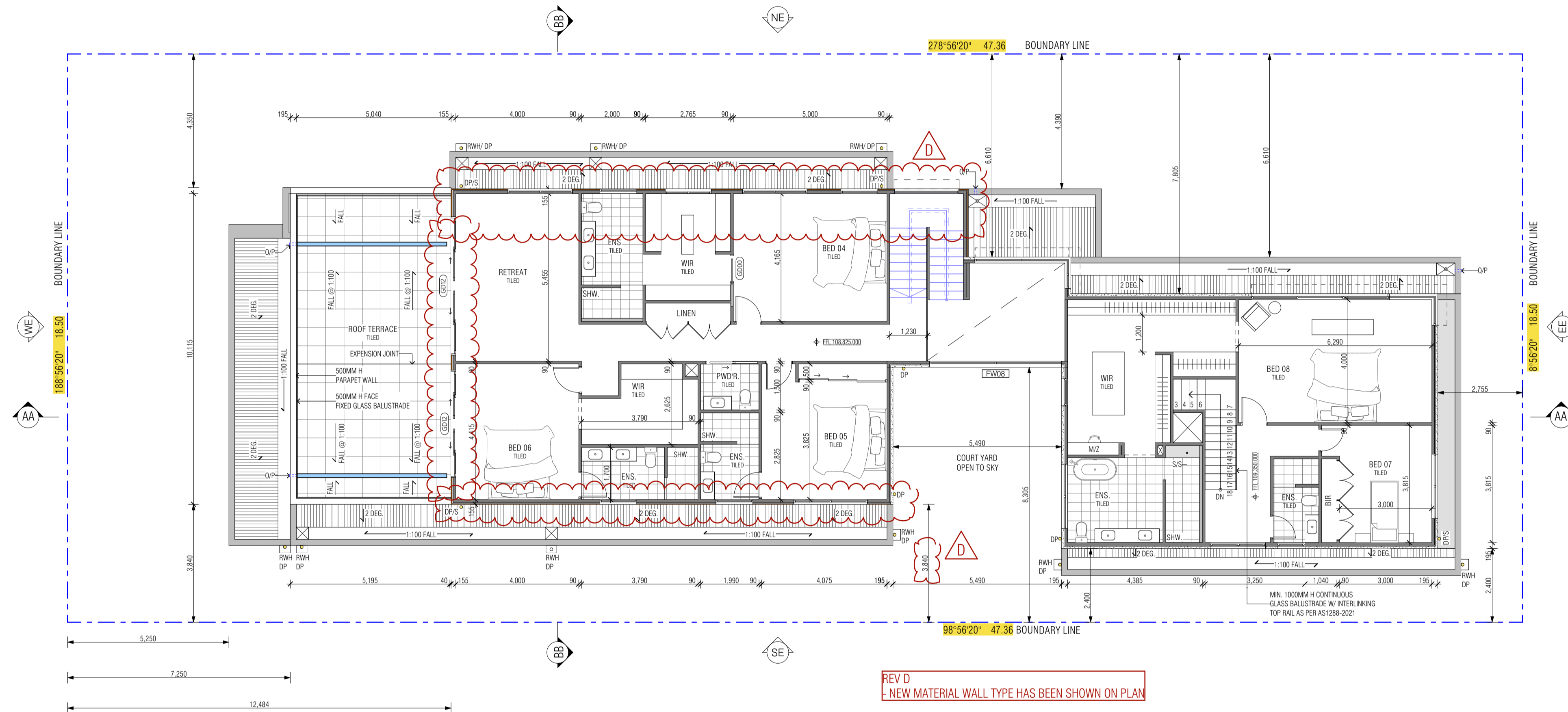
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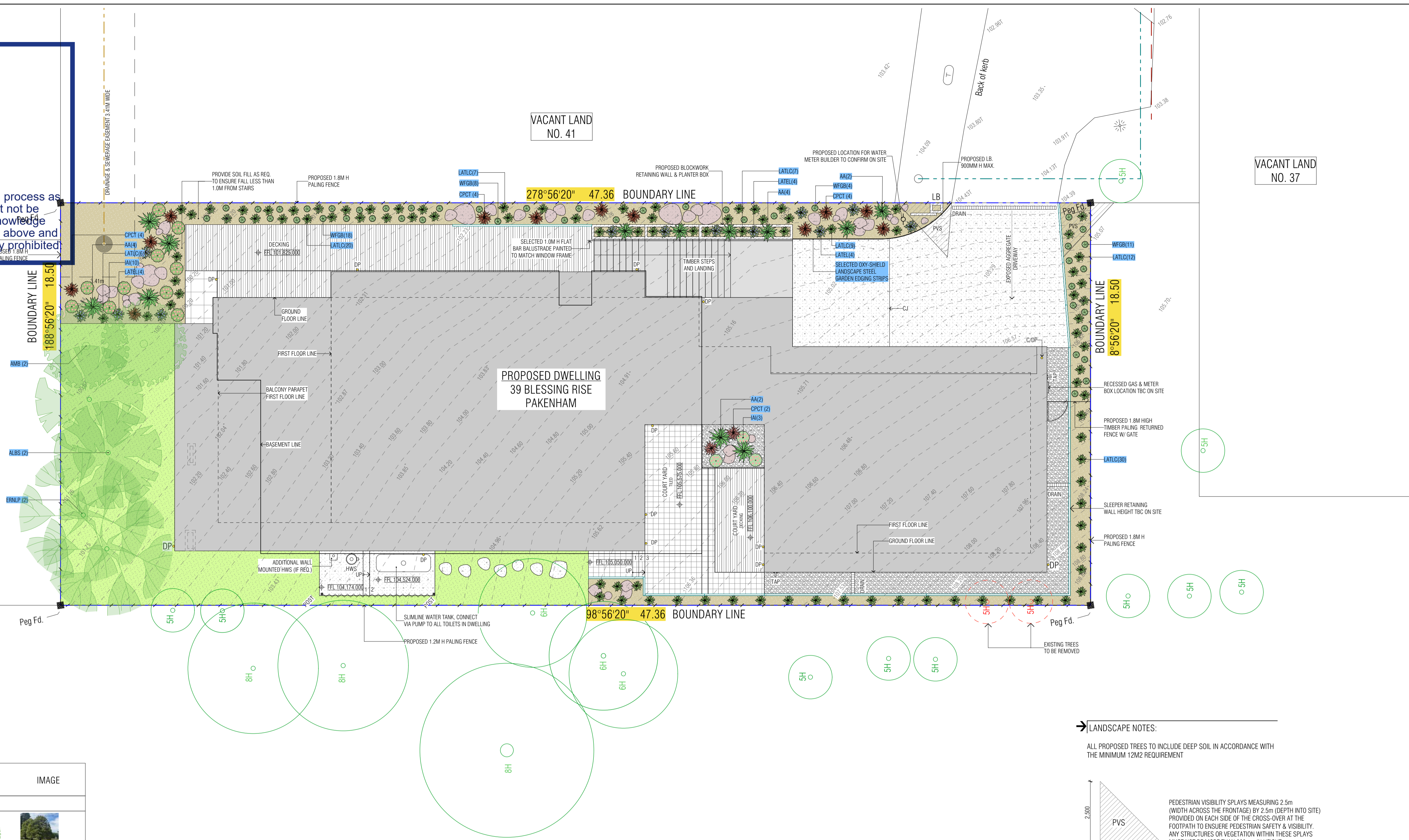
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NO. 6 GOLD STREET
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VACANT LAND NO. 4 GOLD STREET

VACANT LAND NO. 41

VACANT LAND NO. 37

CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HxW (m)	QTY.	SYMBOLIC	IMAGE
TREES							
AMB	ACACIA MELANOXYLON	BLACKWOOD	45M L MIN.	8-12 x 4-6	2		
ALBS	ALLOCASUARINA LITTORALIS	BLACK SHEOAK	45M L MIN.	6-10 x 4-5	2		
ERNLP	EUCALPTUS RADIATA	NARROW LEAF PEPPERMINT	45M L MIN.	8-12 x 4-6	2		
MEDIUM SHRUBS							
AA	AGAVE	AGAVE ATTENUATA	14CM POT 6" - 140MM	1.0 x 1.8	12		
CPCT	CORDYLINE POCAHONTAS	CABBAGE TREE	14CM POT 6" - 140MM	2.0 x 2.0	14		
IAI	INDIGFERA	AUSTRALIAN INDIGO	14CM POT 6" - 140MM	2.0 x 2.0	13		

CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HxW (m)	QTY.	SYMBOLIC	IMAGE
GROUND COVERS & LOW SHRUBS							
LTLLC	LOMANDRA TANIKA	LOMANDRA LONGIFOLIA CULTIVAR	14CM POT 6" - 140MM	0.4 x 0.4	91		
LATEL	LAVANDULA ANGUSTIFOLIA SSP	TRUE ENGLISH LAVENDER	14CM POT 6" - 140MM	0.60 x 0.80	12		
WFGB	WESTRINGIA FRUTICOSA	GREY BOX	14CM POT 6" - 140MM	0.30 x 0.45	44		
TOTAL LANDSCAPE QTY: 192							

ITEM	SYMBOLIC	IMAGE	ITEM	SYMBOLIC	IMAGE
PROPOSED LAWN			PROPOSED EXPOSED AGGREGATE CONCRETE DRIVEWAY		
PROPOSED COMPACTED TOPPINGS - GRANITIC SAND, LOOSE PEBBLES OR MULCH			PROPOSED PERMEABLE PAVER STEPPING STONES		
PROPOSED GRAVEL PATHWAY - LOOSE DECORATIVE PEBBLES (LAID ON NGL) NO CHANGE TO EXISTING GROUND LEVEL NO COMPACTED BASE			MALABAR ROCKS - SMALL		

LANDSCAPE NOTES:
ALL PROPOSED TREES TO INCLUDE DEEP SOIL IN ACCORDANCE WITH THE MINIMUM 12M2 REQUIREMENT

PEDESTRIAN VISIBILITY SPLAYS MEASURING 2.5m (WIDTH ACROSS THE FRONTAGE) BY 2.5m (DEPTH INTO SITE) PROVIDED ON EACH SIDE OF THE CROSS-OVER AT THE FOOTPATH TO ENSURE PEDESTRIAN SAFETY & VISIBILITY. ANY STRUCTURES OR VEGETATION WITHIN THESE SPLAYS MUST NOT BE MORE THAN 900mm IN HEIGHT.

GARDEN CALCULATION (Approximate)

TOTAL SITE AREA	876.00 ²
TOTAL GARDEN BED AREA	101.20m ²
TOTAL LAWN AREA	101.20m ²

- METER BOX
- RUBBISH BINS
- PANTRY
- ENTRY
- BROOM CUPBOARD
- CLOTHESLINE
- REFRIGERATOR
- LETTERBOX
- EXISTING TREE TO BE REMOVED
- W/T WATER TANK
- L'DRY LAUNDRY
- PWDR POWDER ROOM
- RWH RAIN WATER HEAD
- B/L BOLLARD LIGHT
- M/S MOTION SENSOR SECURITY LIGHT
- DP DOWNPIPE
- EXISTING TREE TO BE RETAINED

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No.	DESCRIPTION	DATE	No.	DESCRIPTION	DATE
#	ISSUED TO COUNCIL FOR APPROVAL	26/03/2026			

PROJECT TITLE:
39 BLESSING RISE
PAKENHAM VIC 3810

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DRAWING TITLE: PROPOSED LANDSCAPE PLAN

PROJECT DATE: 04/08/2025	SHEET NO: A-109	REV NO: #
DRAWN BY: EJ		
CHECKED BY: MR	SCALE: @ 1:100	A1

LANDSCAPE SPECIFICATION

1. Site Preparation

Crushed rock, concrete spillage and any other matters deleterious to plant growth (e.g. large rocks) shall be removed from the site of any planting beds and semi-advanced trees. all rubbish/vegetative spoil is to be removed from site. Imported topsoil is to be used throughout the site. All imported topsoil is to be free of weeds, rubble and other materials deleterious to plant growth and is to be of a medium texture (sandy loam) with a pH of 6.0-7.0. Imported top soil is to be laid over a prepared sub-base which has had any materials deleterious to plant growth (e.g. rubble and large rocks) removed. This soil is then to be spread to the appropriate depth and cultivated into the existing site soil to a minimum depth of 150mm.

2. Weed Control

All weeds shall be thoroughly removed. All vegetative material, including roots and rhizomes of non-woody perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stump ground. All vegetative material shall be appropriately disposed of off site in a manner which will not allow their re-establishment elsewhere. Any chemical controls are to be used in accordance with manufacturer's instructions and standard occupational health and safety procedures.

If any existing planting is to be retained then care must be taken to ensure these are not damaged during weed removal. This also implies that any herbicides used are suitable for use around the vegetation to be retained.

3. Grading for Garden Beds

Existing subgrade shall be excavated or filled to 175mm below finished grade in garden beds to allow for 75mm topsoil and 100mm mulch.

Any imported fill to be free of builders rubble, logs, weeds or any foreign material over 50mm diameter.

All fill material to be compacted in layers of 150mm to properly consolidate subgrade, avoiding ongoing settlement.

4. Lawn Areas

Subgrade to be cultivated to a depth of 100mm following application of Gypsum to clay soils at rate of 2kg/sq. metre. Soil to be spread to an even thickness of 50mm and will be:-

- Free from extraneous material greater than 25mm diameter.
- Free from perennial weeds and their roots, bulbs or rhizomes.
- Ph. to be 6.0-7.0.
- Texture to be light, friable sandy loam - not packing sand and/or its derivative.
- Free from silt or clay material
- Lawn areas to be edged with Formboss edging or similar approved as per manufacturers specification and sown with non - invasive grass species eg: Tall Fiescuse, in accordance with rates specified by grower.

5. Shrub Areas

Subgrade to be rotary hoed to a depth of 100mm. Gypsum added if clay present. Soil as per above description added to a depth of 75mm then covered with fine shredded pine mulch to a depth of 100mm.

6. Planting

Locally indigenous plants shall be supplied from seed provenance sourced within 5-15km of the site. Provenances closer to the site are preferred.

All plants to be healthy disease-free specimens. Over excavate all plant holes by at least twice pot volume.

Spread osmocote fertiliser to each plant hole at the following rates: Advanced trees 100gms/Ea., 300mm Ø pots 50gms/Ea., 150mm Ø pots 25 gms/Ea, and tubes 15gms/Ea. Stake and tie trees by one 2100x32x32 pointed H.W. stake and large shrubs with one 1800x25x25 pointed H.W.stake. All ties to be flexible rubber or canvas ties in figure 8" configuration. Immediately after planting water-in all plants and maintain regular follow -up watering during establishment period.

75 x 10 timber edge strips on two sides of the garden bed. Separate garden bed and grassed areas by 100X20 c.c.A treated pine plinth board pegged at 200mm CTS.

Mulch level to be maintained at 75mm. All Garden areas are to be mulched as required.

7. Mulching

Organic mulch is to be supplied to all garden beds and is to be of chipped or shredded vegetable material with 80% of particles in the size range 25 to 50mm in plan and 5 to 10mm in thickness. No particles are to exceed 75mm in plan. Mulch shall be free of deleterious and extraneous matter such as soil, weeds and sticks. Mulch is to be stockpiled and thoroughly weathered prior to delivery. This mulch shall be laid to a minimum depth of 50mm and is to be sloped towards plant stems and kept 100mm back from the stems of all plants to prevent collar rot

8. Irrigation

Irrigation is to be supplied to all garden beds from the grey water recycling tank, in the form of an automatic drip irrigation system. A rain shut off device is to be included in the system. Irrigation lines are to be placed below the mulch layer and the entire system is to meet manufacturer's specifications.

9. Tree Protection

The protection and preservation of the existing trees on a development site is to be ensured by the installation of tree protection fencing set at the edge of the tree protection zones. Tree Protection fencing is to be installed prior to the commencement of any site works including demolition, excavation, delivery of materials etc.

10. Maintenance Schedule

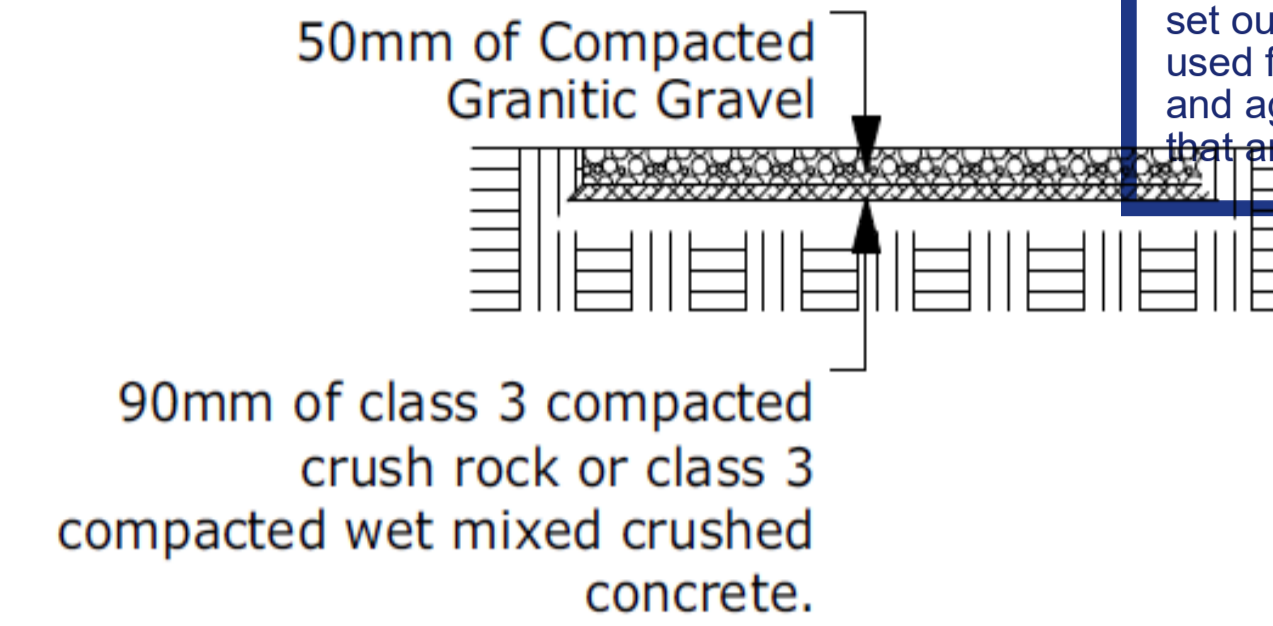
The following maintenance schedule shall apply to all landscaped areas for 24 months following Practical Completion. Work to be carried out by owner or body corporate:-

- Plants, including grass, to be regularly checked for pests and diseases and appropriate treatments applied where necessary
- Pruning to ensure good shape and remove dead limbs shall be undertaken at 3 month intervals
- Additional applications of Osmocote to be applied in accordance with manufacturers recommendations
- All plants to be regularly watered during summer months and periods of dryness
- Mowing to be carried out regularly, mower blade height to be set at 50mm above ground height
- Within maintenance period dead specimens are to be replaced with plants of equal size
- Both hand and chemical weed control to be used throughout maintenance period
- Mulch to be replenished on a regular basis
- Remove tree guards to ensure successful establishment on ongoing health of trees

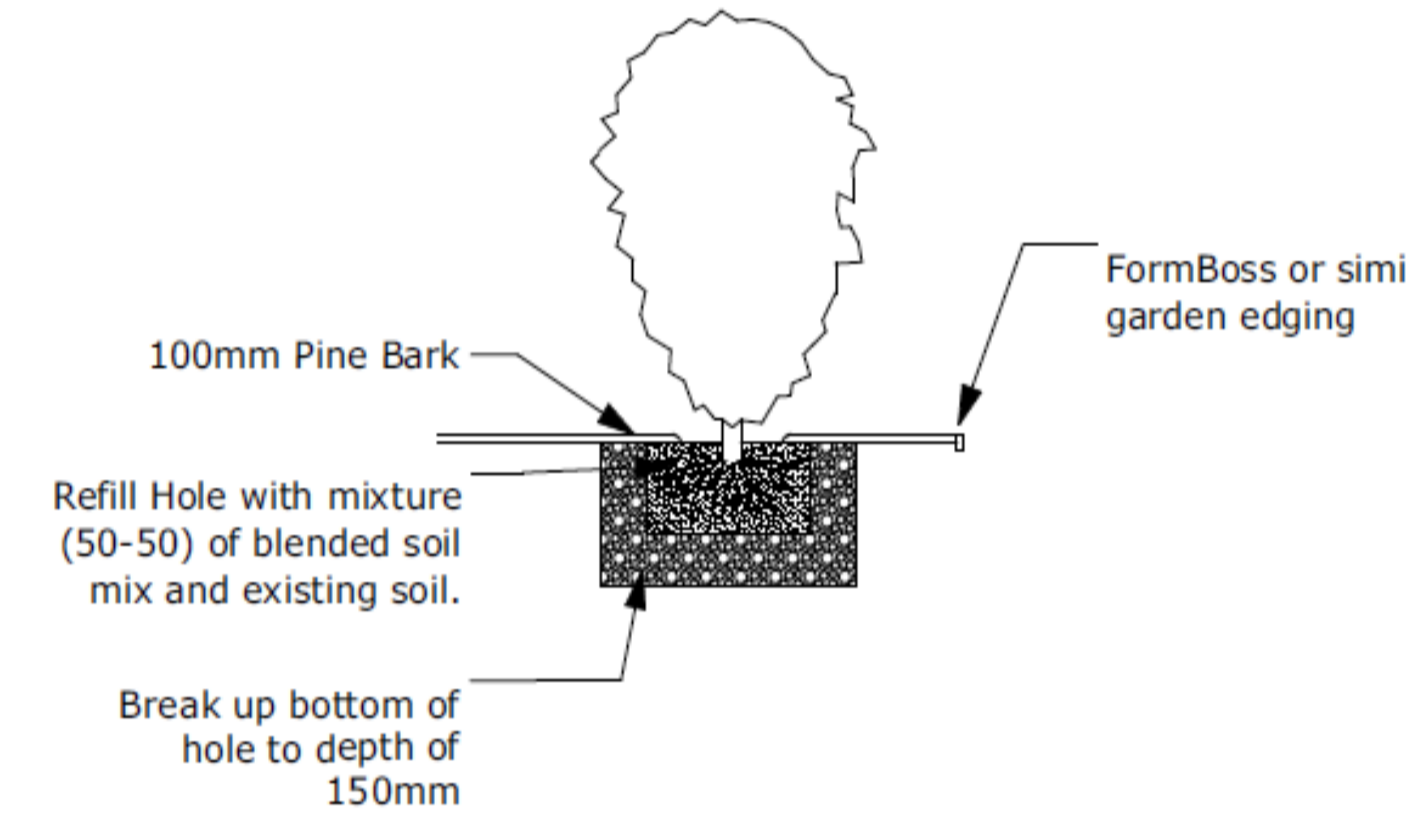


Cardinia
ADVERTISED MATERIAL
 Planning Application: T260072
 Date Prepared: 10 April 2026

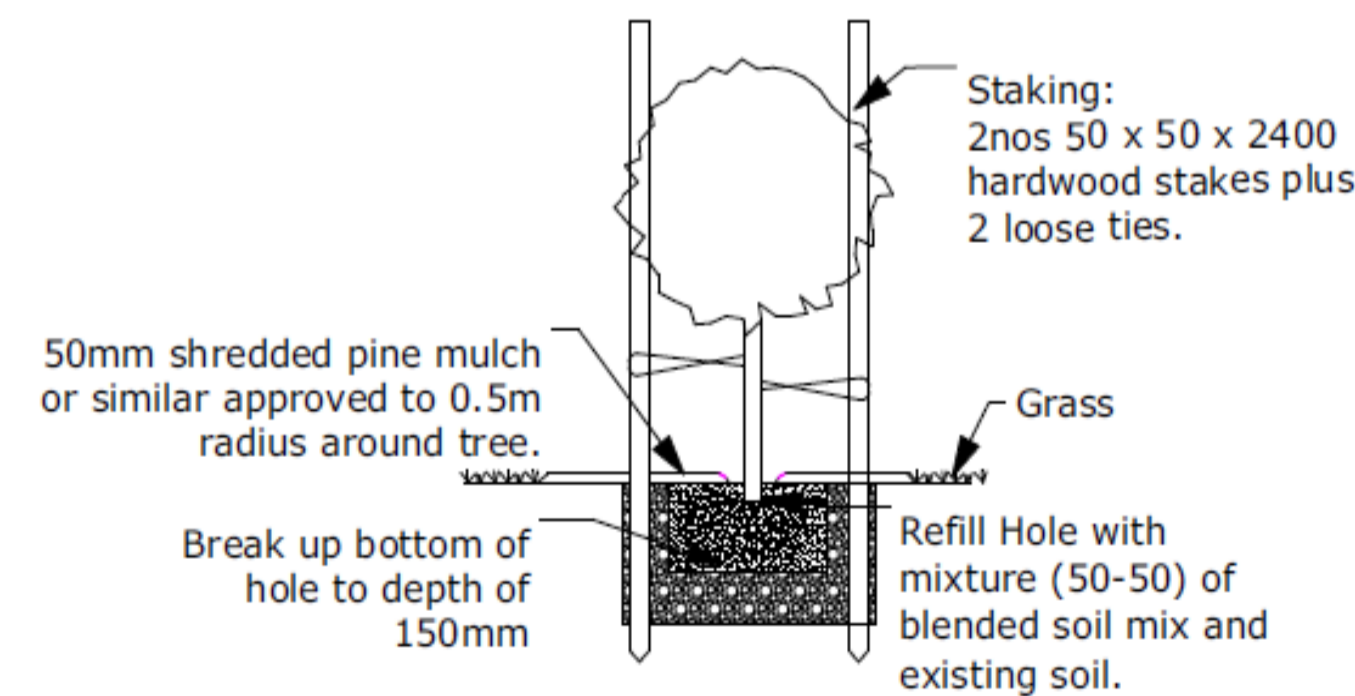
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Gravel Pathways




Shrubs & Ground Cover Planting in Ground Floor beds



Tree Planting in Grass

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No.	DESCRIPTION	DATE	No.	DESCRIPTION	DATE
#	ISSUED TO COUNCIL FOR APPROVAL	26/03/2026			

PROJECT TITLE:
 39 BLESSING RISE
 PAKENHAM VIC 3810

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DRAWING TITLE: LANDSCAPE SPECIFICATION		
PROJECT DATE: 04/08/2025	SHEET NO: A-110	REV NO: #
DRAWN BY: EJ		
CHECKED BY: MR	SCALE: N.T.S	A1

- GENERAL NOTES:
- UNLESS INDICATED ON THE DRAWINGS ALL HATCHED WINDOWS LABELLED 'GF' TO BE FIXED OBSCURE WINDOWS (NOT FILM)
- LEGEND:
- F FIXED GLASS AS SPECIFIED
 - A AWNING
 - O OBSCURE GLASS
 - C CLEAR GLASS
 - D DOOR
 - S SLIDING GLASS PANEL AS SPECIFIED
 - S/A SAFETY GLASS TO ALL BATHROOM GLAZING AS REQUIRED

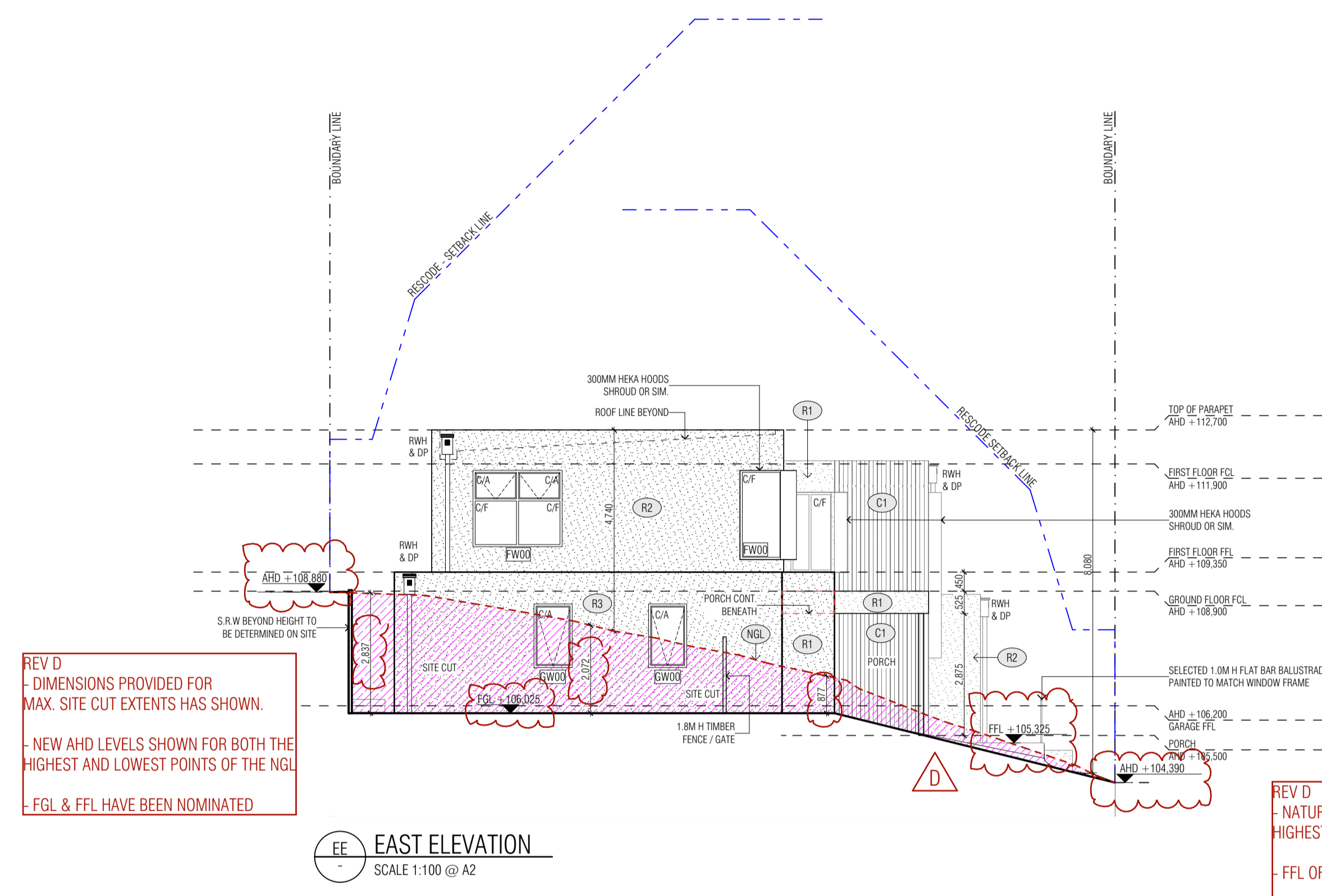
→ ROOF NOTE:

MANUFACTURER: STRATCO OR SIMILAR
PROFILE TYPE: SUPERDECK
MATERIAL: ZINCALUME

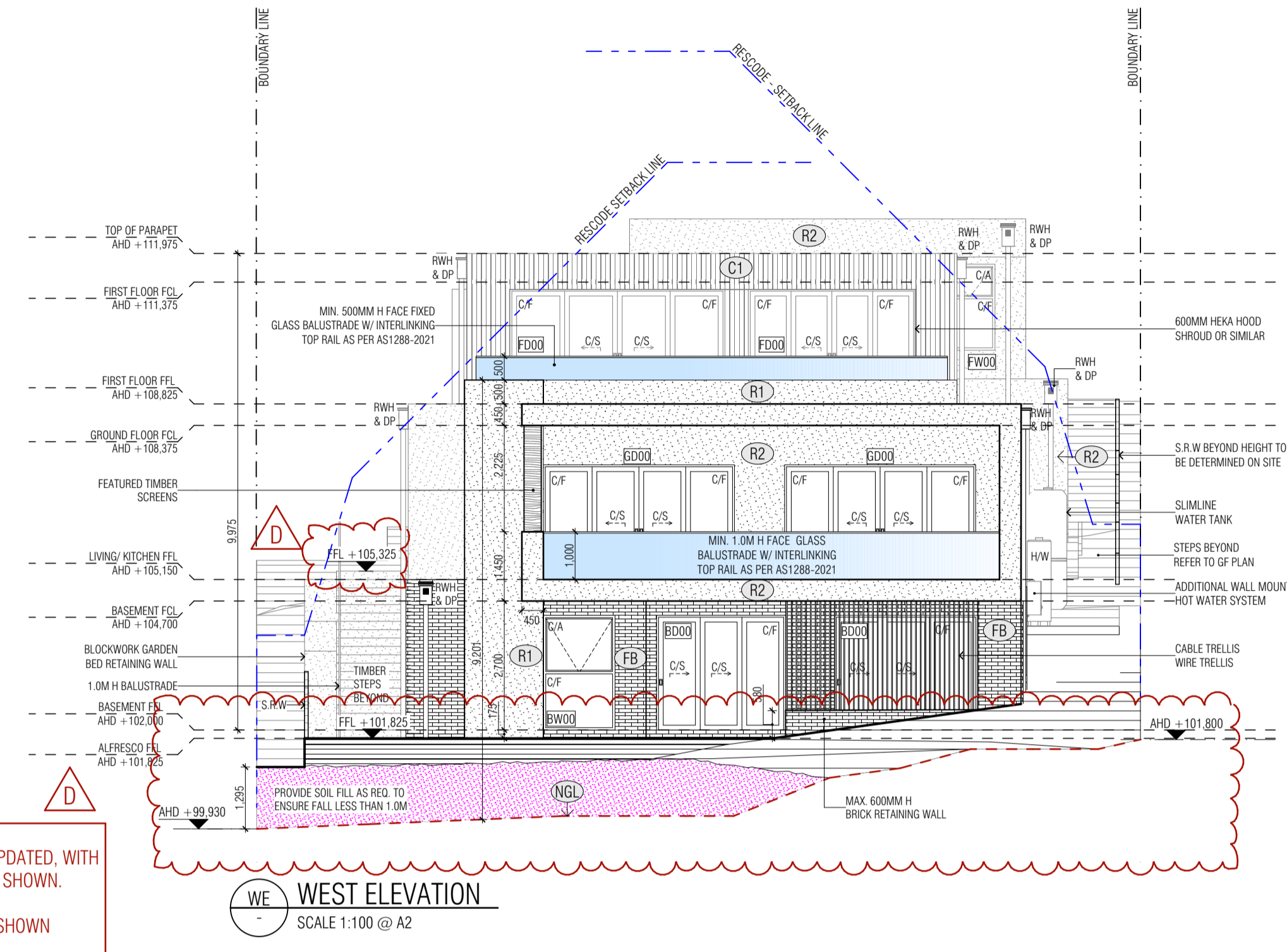
- GENERAL NOTES:
- REFER TO WALL TYPES FOR WALL FINISHES
 - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE SUPERINTENDENT BEFORE PROCEEDING WITH THE WORK. IF IN DOUBT, CONTRACTOR IS TO NOTIFY AND/OR SEEK ADVICE FROM THE SUPERINTENDENT.
 - DIMENSIONS AND SIZES OF ANY MEMBER AND WALLS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS. ALL SETOUT DIMENSIONS SHOWN SHALL BE CHECKED BY THE CONTRACTOR AT SITE BEFORE CONSTRUCTION COMMENCES.
 - UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METERS AND ALL DIMENSIONS ARE IN MILLIMETERS.
 - FLOOR TILES LAYOUT INDICATIVE ONLY.
 - ALL DOORS ARE 2340MM HIGH THROUGHOUT UNLESS INDICATED OTHERWISE.
 - FILL AND GRADE GROUND AT DOORWAYS AFTER CONSTRUCTION, ENSURING THAT STEP DOWN FROM EXTERNAL DOORS DOES NOT EXCEED 190MM.
 - SHOWER ENCLOSURES TO BE PROVIDED WITH 40MM SET DOWN TO FLOOR STRUCTURE TO ALLOW FOR TILED BASE (TYPICAL U.N.O) EXHAUST FANS, ALL MECHANICAL VENTILATION INCLUDING RANGEHOODS ARE TO EXTRACT 25 LT/SEC MIN DUCTED TO COLORBOND FLAT ROOF OR PITCHED COLORBOND ROOF SPACE OR EXTERNAL AIR COMPARTMENT DOORS TO BE UNDERCUT 10MM.

→ WEEP HOLE NOTE:

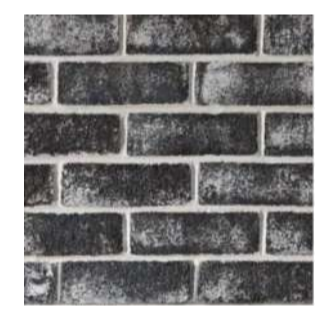
- PROVIDE CAVITY FLASHING AND WEEP HOLES ABOVE ALL LOWER STOREY WINDOWS AND DOORS



REV D
- NATURAL GROUND LEVEL (NGL) UPDATED, WITH HIGHEST AND LOWEST AHD LEVELS SHOWN.
- FFL OF DECKING AND STEPS ARE SHOWN
- MAX. FILL HAS SHOWN



→ MATERIAL SCHEDULE:



FB:
MANUFACTURER: AUSTRAL BRICKS
COLLECTION: STANDARD BRICK
COLOUR: 'SAN SELMO SMOKED WILD STORM' OR SIMILAR



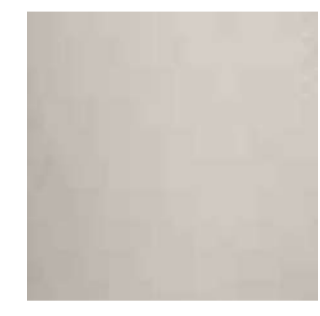
R1: CONCRETE FINISH ON 75MM HEBEL PANEL
MANUFACTURER: UNITEX OR SIM.
COLOUR / FINISH: 'UNITEX UNI-FINISH (GREY) OR SIMILAR



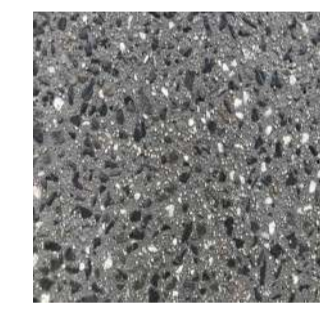
C1: PERMA COMPOSITES
CX CASTELLATED CLADDING STANDARD
COLOUR/FINISH: 'SPOTTED GUM' OR SIMILAR



A1: GREY ALUMINIUM
COLORBOND - WINDOW FRAMING AND GUTTERS
COLOUR: 'WOODLAND GREY' OR SIMILAR



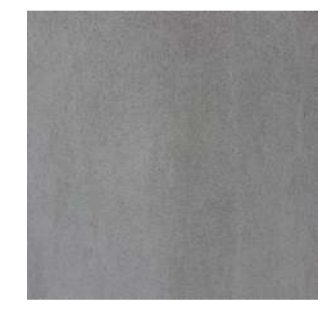
R2: RENDERED FINISH ON 75MM HEBEL PANEL
MANUFACTURER: UNITEX OR SIM.
COLOUR / FINISH: UNITEX 333 (FINE) 'LIGHT GREY' OR SIMILAR



EA: EXPOSED AGGREGATE CONCRETE DRIVEWAY VIC MIX
COLOUR / FINISH: 'BLIZZARD ICE 19 HALF BLACK'



Z1: SUPERDEK 0.42MM BMT TOPSIDE
MANUFACTURER: STRATCO
COLOUR: 'ARMOUR GREY'
SKU: SUP42TAG - NON REFLECTIVE / MATTE FINISH.
AS4020 COMPLIANT ROOF MATERIAL OR SIMILAR



R3: RENDERED FINISH ON 75MM HEBEL PANEL & BLOCKWORK
MANUFACTURER: UNITEX OR SIM.
COLOUR / FINISH: UNITEX 333 (FINE) 'LIBERTY GREY' OR SIMILAR



GD: SECTIONAL OVERHEAD GARAGE DOOR
COLOUR: CX CASTELLATED CLADDING STANDARD
COLOUR/FINISH: 'SPOTTED GUM' OR SIMILAR
(TO BE CLADDAS AS SHOWN ON ELEVATION (C1))

Cardinia
ADVERTISED MATERIAL
Planning Application: T260072
Date Prepared: 10 April 2026

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DRAWING TITLE: EAST AND WEST ELEVATIONS

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#	ISSUED TO CLIENT FOR REVIEW & APPROVAL	29/09/2025
#	ISSUED TO CLIENT & BUILDING SURVEYOR	08/10/2025
A	ISSUED TO CLIENT FOR FINAL APPROVAL	18/10/2025
A	ISSUED TO CLIENT FOR FINAL APPROVAL	20/10/2025
A	ISSUED TO B.S & COUNCIL	28/11/2025

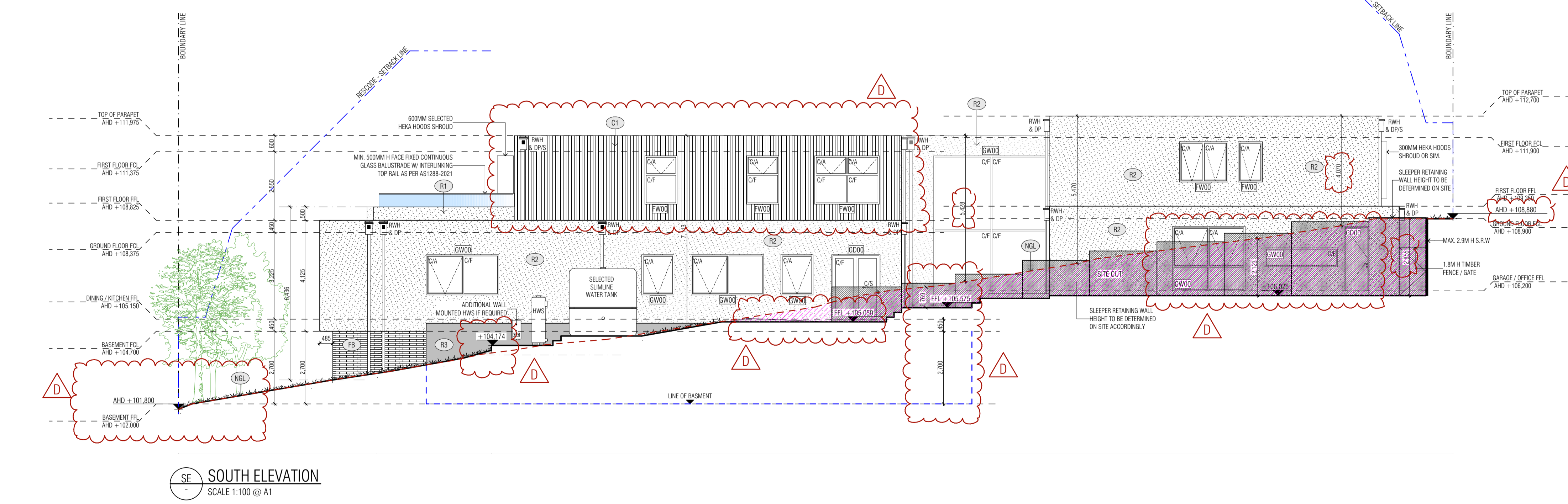
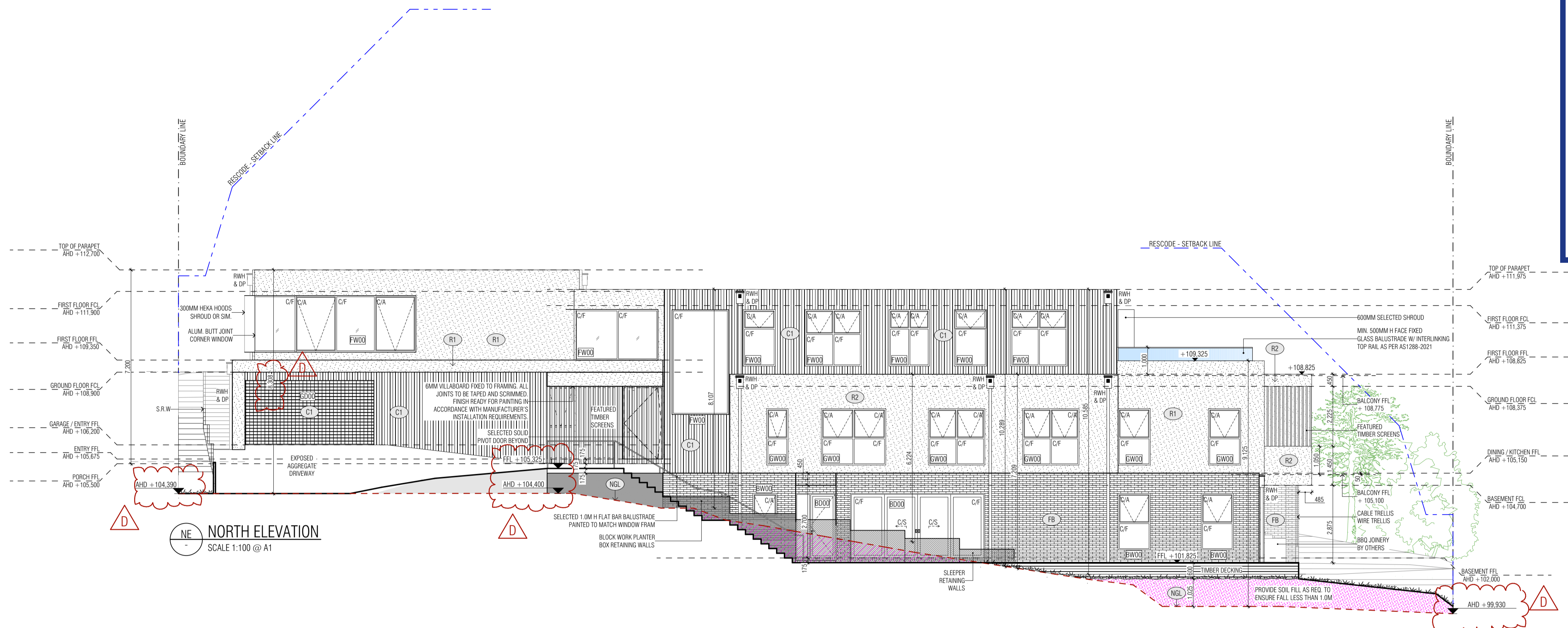
No.	DESCRIPTION	DATE
B	ISSUED TO B.S & COUNCIL	15/12/2025
C	ISSUED TO DEVELOPER	05/02/2026
D	ISSUED TO COUNCIL	26/03/2026

PROJECT TITLE:
39 BLESSING RISE
PAKENHAM VIC 3810

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PROJECT DATE: 04/08/2025	SHEET NO: A-200	REV NO: D
DRAWN BY: EJ	CHECKED BY: MR	SCALE: @ 1:100
A1		

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→ GENERAL NOTES:
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→ LEGEND:
F FIXED GLASS AS SPECIFIED
A AWNING
O OBSCURE GLASS
C CLEAR GLASS
D DOOR
S SLIDING GLASS PANEL AS SPECIFIED
S/A SAFETY GLASS TO ALL BATHROOM GLAZING AS REQUIRED

→ ROOF NOTE:
MANUFACTURER: STRATCO OR SIMILAR
PROFILE TYPE: SUPERDECK
MATERIAL: ZINCALUME

- GENERAL NOTES:
- REFER TO WALL TYPES FOR WALL FINISHES
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REV D
- NATURAL GROUND LEVEL (NGL) UPDATED, WITH HIGHEST AND LOWEST AHD LEVELS SHOWN.
- TREE LOCATIONS UPDATED TO MATCH THE LANDSCAPE PLAN.
- FFL OF LANDING AND PATHWAY AND STEPS ARE SHOWN
- NEW MATERIAL HAS BEEN PROPOSED C1
- MAX. HEIGHT OF SIT CUT HAS SHOWN
- NEW WINDOWS HAVE BEEN ADDED TO LIBRARY AREA AS PER THE NEW LAYOUT

→ WEEP HOLE NOTE:
- PROVIDE CAVITY FLASHING AND WEEP HOLES ABOVE ALL LOWER STOREY WINDOWS AND DOORS

FOR APPROVAL

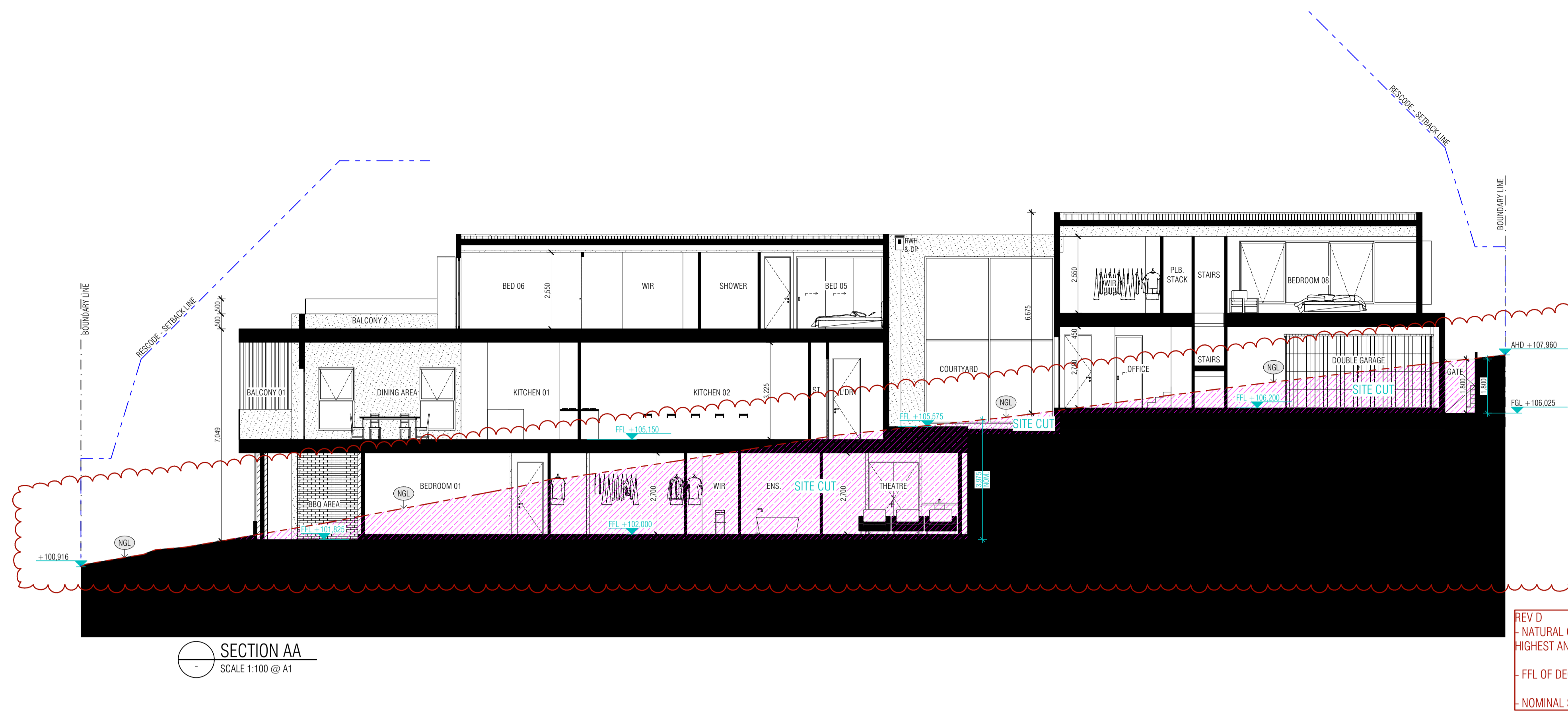
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#	ISSUED TO CLIENT & BUILDING SURVEYOR	08/10/2025	D	ISSUED TO COUNCIL	26/03/2026
A	ISSUED TO CLIENT FOR FINAL APPROVAL	18/10/2025			
A	ISSUED TO CLIENT FOR FINAL APPROVAL	20/10/2025			
A	ISSUED TO B.S & COUNCIL	28/11/2025			

PROJECT TITLE:
39 BLESSING RISE
PAKENHAM VIC 3810

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DRAWING TITLE: NORTH AND SOUTH ELEVATIONS		
PROJECT DATE: 04/08/2025	SHEET NO: A-201	REV NO: D
DRAWN BY: EJ	CHECKED BY: MR	SCALE: @ 1:100
		A1



SECTION AA
SCALE 1:100 @ A1

REV D
- NATURAL GROUND LEVEL (NGL) UPDATED, WITH HIGHEST AND LOWEST AHD LEVELS SHOWN.
- FFL OF DECKING AND STEPS ARE SHOWN
- NOMINAL SITE CUT HAS SHOWN

- GENERAL NOTE:**
UNLESS INDICATED ON THE DRAWINGS ALL HATCHED WINDOWS LABELLED 'O/P' TO BE FIXED OBSCURE WINDOWS (NOT FILM)
- LOWER ROOF NOTE:**
MANUFACTURER: STRATCO OR SIMILAR
PROFILE TYPE: SUPERDECK
MATERIAL: ZINCALUME
- IMPORTANT NOTES:**
- FOR ALL REINFORCED CONCRETE FOOTINGS AND FOUNDATION PLEASE REFER TO STRUCTURAL ENGINEER'S DRAWINGS.
 - REFER TO STRUCTURAL ENGINEER DRAWINGS AND COMPUTATION FOR ALL BEAMS, RAFTER, LINTELS AND BATTENS
 - ALL ROOF AND WALL INSULATION TO COMPLY WITH RELEVANT ENERGY RATING REPORTS
 - BUILDER TO ENSURE SPECIFIED INSULATION OVER GARAGE IS INSTALLED
 - STAIRS TREADS TO BE PROVIDED WITH MINIMUM SLIP RESISTANCE CLASSIFICATION OF P3 OR R10
 - EXTERNAL STAIRS REQUIRE A SLIP RESISTANCE OF P4 OR 11
 - INTERNAL STAIRS TO BE INSTALLED AS PER MANUFACTURER'S DETAILS AND COMPUTATION
- GENERAL NOTES:**
- REFER TO WALL TYPES FOR WALL FINISHES
 - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE SUPERINTENDENT BEFORE PROCEEDING WITH THE WORK. IF IN DOUBT, CONTRACTOR IS TO NOTIFY AND/OR SEEK ADVICE FROM THE SUPERINTENDENT.
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 - UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METERS AND ALL DIMENSIONS ARE IN MILLIMETERS.
 - REFER TO RCP DRAWINGS FOR BULK HEAD/DROP CEILING LOCATIONS.
 - ALL WALLS TO BE INSULATED AS SPECIFIED
 - UNLESS NOTED OTHERWISE BATTEN OUT ALL INTERNAL WALLS WHERE REQUIRED TO COVER STRUCTURAL STEEL WORK
 - FOR STAIRS INSTALLATION PLEASE REFER TO MANUFACTURE DETAILS AND COMPUTATION
 - FOR ALL REINFORCED CONCRETE FOOTINGS AND FOUNDATION PLEASE REFER TO STRUCTURAL ENGINEER'S DRAWINGS
 - REFER TO STRUCTURAL ENGINEER DRAWINGS AND COMPUTATION FOR ALL BEAMS, RAFTER, LINTELS AND BATTENS
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 - STAIRS TREADS TO BE PROVIDED WITH MINIMUM SLIP RESISTANCE CLASSIFICATION OF P3 OR R10
 - ANY EXTERNAL STAIRS REQUIRE A SLIP RESISTANCE OF P4 OR 11
 - ANY INTERNAL STAIRS TO BE INSTALLED AS PER MANUFACTURER'S DETAILS AND COMPUTATION



WEST PERSPECTIVE

Cardinia

ADVERTISED MATERIAL

Planning Application: T260072
Date Prepared: 10 April 2026

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SCHEDULE:

Figure 3.9.1.1
STAR RISER AND GOING DIMENSIONS (mm)

STAR TYPE	RISER (R)		GOING (G)		SLOPE RELATIONSHIP	
	MAX	MIN	MAX	MIN	MAX	MIN
STAIRS Other than Spiral	190	110	300	140	1:1	1:1
Spiral	200	140	370	210	1:1	1:1

125mm sphere must not pass through balustrade

- LEGEND:**
- F FIXED GLASS AS SPECIFIED
 - A AWNING
 - O OBSCURE GLASS
 - C CLEAR GLASS
 - D DOOR
 - S SLIDING GLASS PANEL AS SPECIFIED
 - S/A SAFETY GLASS TO ALL BATHROOM GLAZING AS REQUIRED

FOR APPROVAL

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No.	DESCRIPTION	DATE	No.	DESCRIPTION	DATE
#	ISSUED TO CLIENT FOR REVIEW & APPROVAL	19/09/2025	B	ISSUED TO B.S & COUNCIL	15/12/2025
#	ISSUED TO CLIENT FOR REVIEW & APPROVAL	29/09/2025	C	ISSUED TO DEVELOPER	05/02/2026
#	ISSUED TO CLIENT & BUILDING SURVEYOR	08/10/2025	D	ISSUED TO COUNCIL	26/03/2026
A	ISSUED TO CLIENT FOR FINAL APPROVAL	18/10/2025			
A	ISSUED TO CLIENT FOR FINAL APPROVAL	20/10/2025			
A	ISSUED TO B.S & COUNCIL	28/11/2025			

PROJECT TITLE:
39 BLESSING RISE
PAKENHAM VIC 3810

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DRAWING TITLE: SECTION AA & PERSPECTIVE		
PROJECT DATE: 04/08/2025	SHEET NO: A-300	REV NO: D
DRAWN BY: EJ		
CHECKED BY: MR	SCALE: AS SHOWN	A1