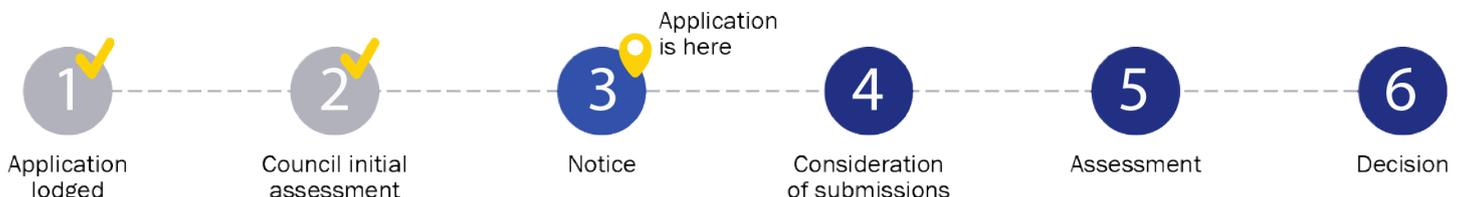


Notice of Application for a Planning Permit

The land affected by the application is located at:	L1 PS713408 V12034 F583 28 Breyleigh Drive, Pakenham VIC 3810	
The application is for a permit to:	Buildings and Works (Construction of a Dwelling), Fence and Vegetation Removal	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works	
42.01-2	Construct a fence	 ADVERTISED MATERIAL Planning Application: T250577 Date Prepared: 16 March 2026 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>
42.01-2	Remove, destroy or lop vegetation	
APPLICATION DETAILS		
The applicant for the permit is:	NAJM DESIGN & BUILD	
Application number:	T250577	
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		03 April 2026
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.





Planning Enquiries
 Phone: 1300 787 624
 Web: www.cardinia.vic.gov.au

Office Use Only

Application No.: _____ Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

i Click for further information.

The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 28	St. Name: BREYLEIGH DR.
Suburb/Locality: PAKENHAM.		Postcode:

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A Lot No.: **1** Lodged Plan Title Plan Plan of Subdivision No.: **713408R**

OR

B Crown Allotment No.: _____ Section No.: _____

Parish/Township Name: _____

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

i For what use, development or other matter do you require a permit? *

CONSTRUCTION OF NEW DOUBLE STOREY DWELLING.

⚠ Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Cost \$ **700,000** **⚠** You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within metropolitan Melbourne (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.

i Estimated cost of any development for which the permit is required *

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 Planning Application: T250577
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Existing Conditions i

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

VACANT LOT.

Provide a plan of the existing conditions. Photos are also helpful.

Title Information i

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.



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Applicant and Owner Details i

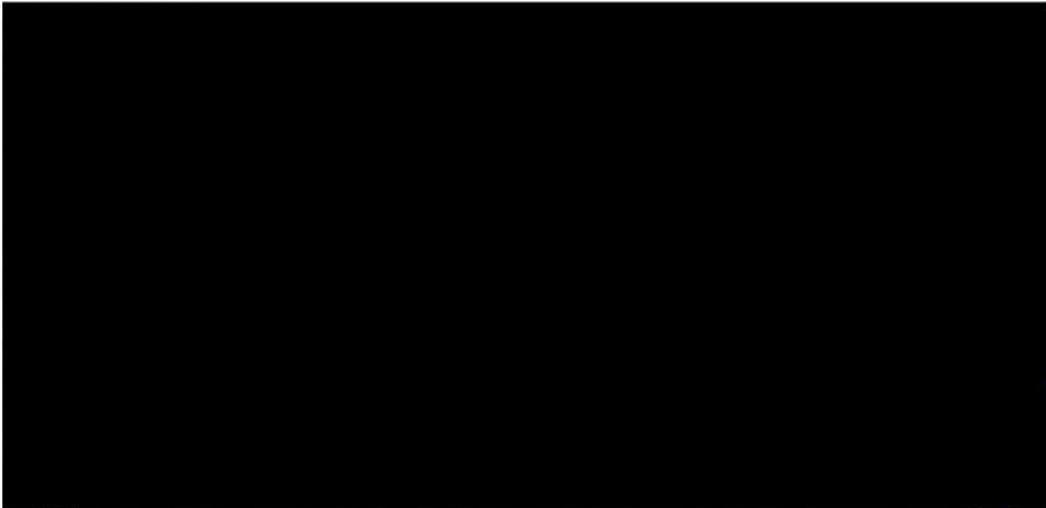
Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.



Name:

Title: First Name: Surname:

Organisation (if applicable):

Postal Address: If it is a P.O. Box, enter the details here:

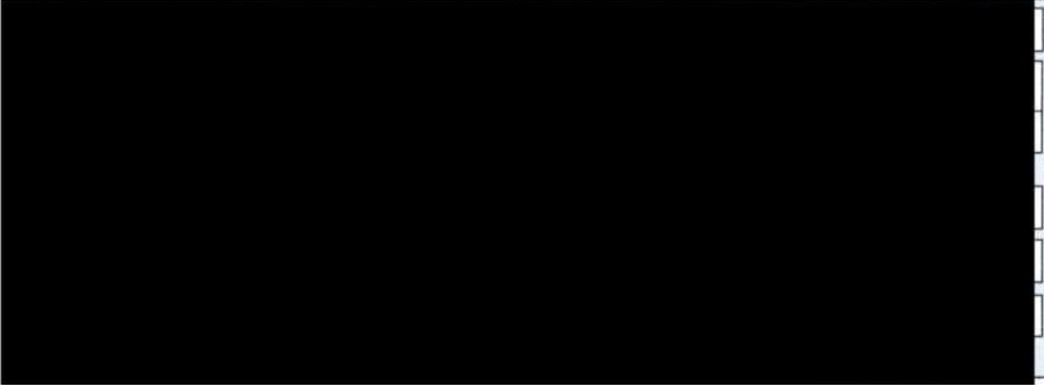
Unit No.: St. No.: St. Name:

Suburb/Locality: State: Postcode:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.





Declaration i

This form must be signed by the applicant *

⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.



Need help with the Application? i

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

No Yes

Date: day / month / year

Checklist i

Have you:

Filled in the form completely?

Paid or included the application fee? **⚠** Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

Provided all necessary supporting information and documents?

- A full, current copy of title information for each individual parcel of land forming the subject site.
- A plan of existing conditions.
- Plans showing the layout and details of the proposal.
- Any information requested by the planning scheme, requested by council or outlined in a council planning permit checklist.
- If relevant, a copy of a traffic impact assessment, noise assessment or other assessment (for example, traffic, noise, environmental impacts).
- If applicable, a copy of a levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used).

Completed the relevant council planning permit checklist?

Signed the declaration?

Cardinia
ADVERTISED MATERIAL
 Planning Application: T250577
 Date Prepared: 16 March 2026

Lodgement i

Lodge the completed and signed form, the fee and all documents with:

Cardinia Shire Council
 PO Box 7
 Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact information:
 Telephone: 1300 787 624
 Email: mail@cardinia.vic.gov.au
 DX: 81006

Deliver application in person, by post or by electronic lodgement.



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250577
Address of the Land:	28 Breyleigh Dr. Pakenham

APPLICANT DETAILS

Name:	[Redacted]
Organisation:	[Redacted]
Address:	[Redacted]
Phone:	[Redacted]
Email:	[Redacted]

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Drawings revised as per council FIR.	Cardinia ADVERTISED MATERIAL Planning Application: T250577 Date Prepared: 16 March 2026	
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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.

Name:	
Signature:	
Date:	

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.



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IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.



Request to amend a current planning permit application

Cardinia



ADVERTISED MATERIAL

Planning Application: T250577
Date Prepared: 16 March 2026

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This form is used to request an amendment to an application for a planning permit lodged with Council, but which has not yet been decided. This form can be used before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250577
Address of the Land:	28 Breyleigh Dr. Pakenham

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	NAJM Design and Build
Address:	[REDACTED]
Phone:	[REDACTED]
Email:	[REDACTED]

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Drawings revised as per council FIR.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.

Name: [Redacted]

Signature: [Redacted]

Date: [Redacted]

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.


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IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

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Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12034 FOLIO 583

Security no : 124131116765F
Produced 05/01/2026 04:51 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 713408R.
PARENT TITLE Volume 11455 Folio 776
Created by instrument PS713408R 21/11/2018


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Planning Application: T250577
Date Prepared: 16 March 2026

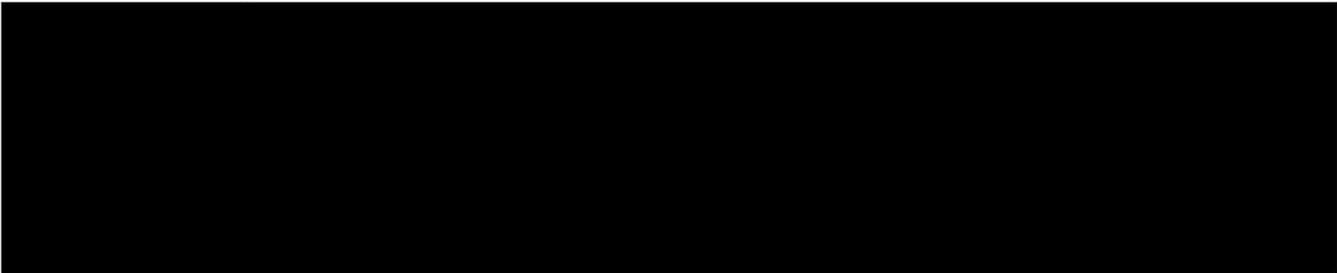
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REGISTERED PROPRIETOR



UNIT 42 23 ATLANTIC DRIVE PAKENHAM VIC 3810
AV255697C 21/01/2022

ENCUMBRANCES, CAVEATS AND NOTICES



AGREEMENT Section 173 Planning and Environment Act 1987
AK631869Y 03/10/2013

AGREEMENT Section 173 Planning and Environment Act 1987
AQ674002Y 29/01/2018

DIAGRAM LOCATION

SEE PS713408R FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 28 BREYLEIGH DRIVE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL



DOCUMENT END

Imaged Document Cover Sheet

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Document Type	Instrument
Document Identification	PS713408R
Number of Pages (excluding this cover sheet)	2
Document Assembled	05/01/2026 16:42

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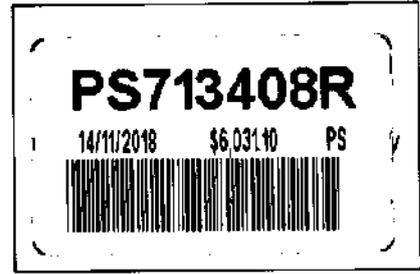
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**Subdivision or consolidation
Section 22 Subdivision Act 1988**



Lodged by

Name: PINNACLE CONVEYANCING PTY LTD
Phone: 03 97425845
Address: UNIT 8, 19 SYNNOT STREET, WERRIBEE VIC 3030
Reference: QARTABA HOMES PTY LTD
Customer code: 12688M

The applicant applies for registration of the plan.

Land: (volume and folio)

VOLUME 11455 FOLIO 776

Applicant: (full name and address, including postcode)

QARTABA HOMES PTY LTD ACN 147 630 948 OF UNIT 1, 78-82 BURWOOD ROAD BURWOOD NSW 2134

Plan no.: PS713408R **SPEAR no.:** (if applicable) S030505P **Stage no.:** (if applicable)

Council in which land is located: CARDINIA SHIRE COUNCIL

Signing:



35271702A

22SA

Page 1 of 2

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Land Use Victoria contact details: www.delwp.vic.gov.au/property>Contact us

**Subdivision or consolidation
Section 22 Subdivision Act 1988**



Certifications

- 1.The Certifier has taken reasonable steps to verify the identity of the applicant.
- 2.The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
- 3.The Certifier has retained the evidence supporting this Registry Instrument or Document.
- 4.The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of **QARTABA HOMES PTY LTD**

Signer Name [Redacted]

Signer Organisation **PINNACLE CONVEYANCING PTY LTD**

Signer Role [Redacted]

Signature [Redacted]

Execution Date **09/11/2018**


Cardinia
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35271702A

22SA

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Land Use Victoria contact details: www.delwp.vic.gov.au/property>Contact us

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Document Identification	PS713408R
Number of Pages (excluding this cover sheet)	12
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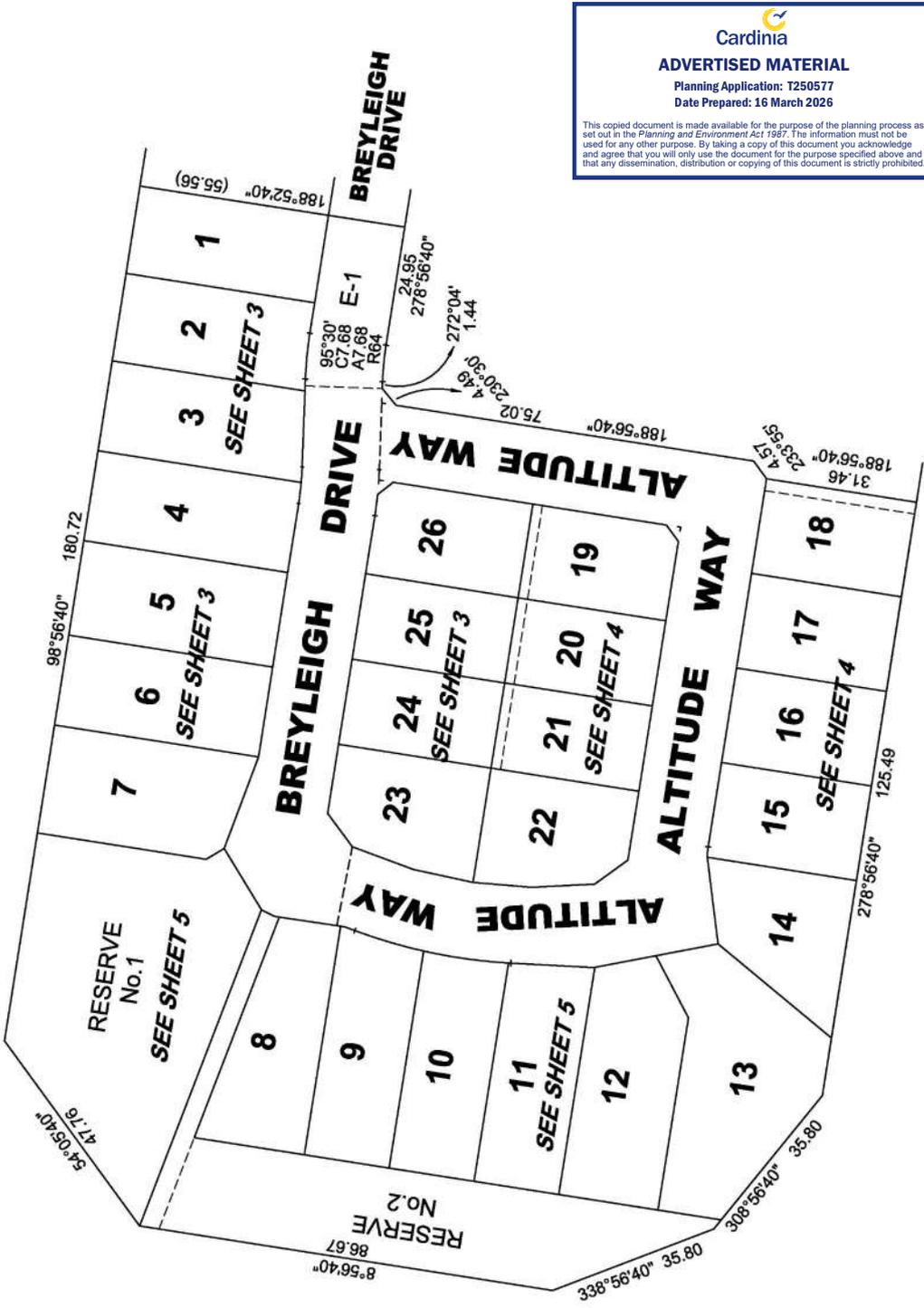
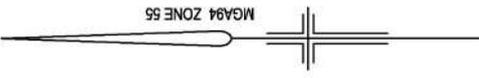
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SUBDIVISION ACT 1988			PLAN NUMBER PS 713408R	
PLAN OF SUBDIVISION			EDITION 1	
LOCATION OF LAND PARISH: NAR-NAR-GOON TOWNSHIP: SECTION: CROWN ALLOTMENT: CROWN PORTION: 7 (PART) TITLE REFERENCES: VOL. 11455 FOL. 776 LAST PLAN REFERENCE: PS 713406V LOT B POSTAL ADDRESS: BREYLEIGH DRIVE (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E 367 010 ZONE: 55 (of approximate centre of land in plan) N 5 787 022 GDA 94			COUNCIL NAME : CARDINIA SHIRE COUNCIL <div style="border: 1px solid black; padding: 5px; text-align: center;">  ADVERTISED MATERIAL Planning Application: T250577 Date Prepared: 16 March 2026 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small> </div>	
VESTING OF ROADS OR RESERVES				
IDENTIFIER			NUMBER OF LOTS IN THIS PLAN : 26	
	COUNCIL / BODY / PERSON		TOTAL AREA OF LAND IN THIS PLAN : 3.057 ha	
ROADS, R-1	CARDINIA SHIRE COUNCIL		DEPTH LIMITATION: DOES NOT APPLY	
RESERVE No.1	CARDINIA SHIRE COUNCIL			
RESERVE No.2	CARDINIA SHIRE COUNCIL			
NOTATIONS				
			OTHER PURPOSE OF THIS PLAN - CREATION OF RESTRICTION: SEE SHEETS 6 TO 8 (BOTH INCLUSIVE)	
EASEMENT INFORMATION				
LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)				THIS IS A SPEAR PLAN
				STAGING: THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. T1105002
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED /IN FAVOUR OF
E-1	WAY, DRAINAGE, SEWERAGE, SUPPLY OF GAS, WATER, ELECTRICITY, TELEPHONE AND DATA TRANSMISSION	SEE DIAG.	PS713406V	LOTS ON PS713406V
E-2	SUPPLY OF WATER - THROUGH UNDERGROUND PIPES	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-3	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-4	DRAINAGE	SEE DIAG.	THIS PLAN	CARDINIA SHIRE COUNCIL
REF: 22103/1PS VERSION: J DATE: 07/06/18 1PS-J.DGN		LICENSED SURVEYOR		ORIGINAL SHEET SIZE A3 SHEET 1 OF 11 SHEETS
 <small>Reeds Consulting Pty Ltd Lvl 6, 440 Elizabeth Street Melbourne Victoria 3000 p [03] 8660 3000 www.reedsconsulting.com.au survey@reedsconsulting.com.au</small>		PLAN REGISTERED TIME: 12:45pm DATE: 21/11/2018 T. LOCOCK		
		Signed [Redacted] Consulting Pty Ltd) Surveyor's Plan Version (J) SPEAR Ref: S030505P 21/06/2018/2018.		

Signed by Council: Cardinia Shire Council, Council Ref: S12/160, T110500, Original Certification: 19/10/2018, S.O.C.: 19/10/2018

PLAN NUMBER
PS 713408R



Cardinia
ADVERTISED MATERIAL
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REF: **22103/1PS J** VERSION: **J** DATE: 07/06/18
 1PS-J.DGN

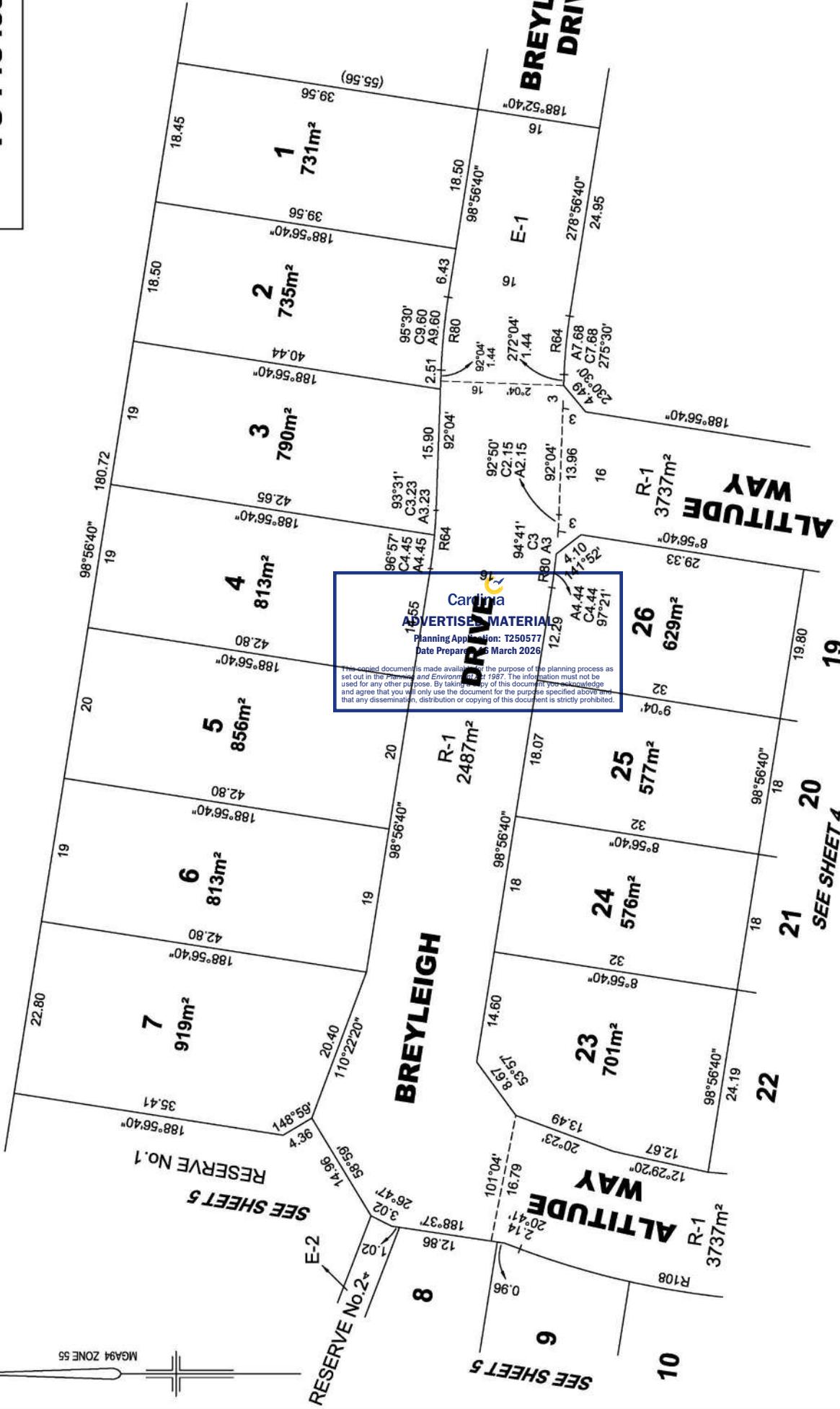
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 Melbourne Victoria 3000
 p (03) 8660 3000
 www.reedsconsulting.com.au
 info@reedsconsulting.com.au

SCALE 1:1000
 LENGTHS ARE IN METRES

LICENSED SURVEYOR

ORIGINAL SHEET SIZE A3
 SHEET 2

PLAN NUMBER
PS 713408R

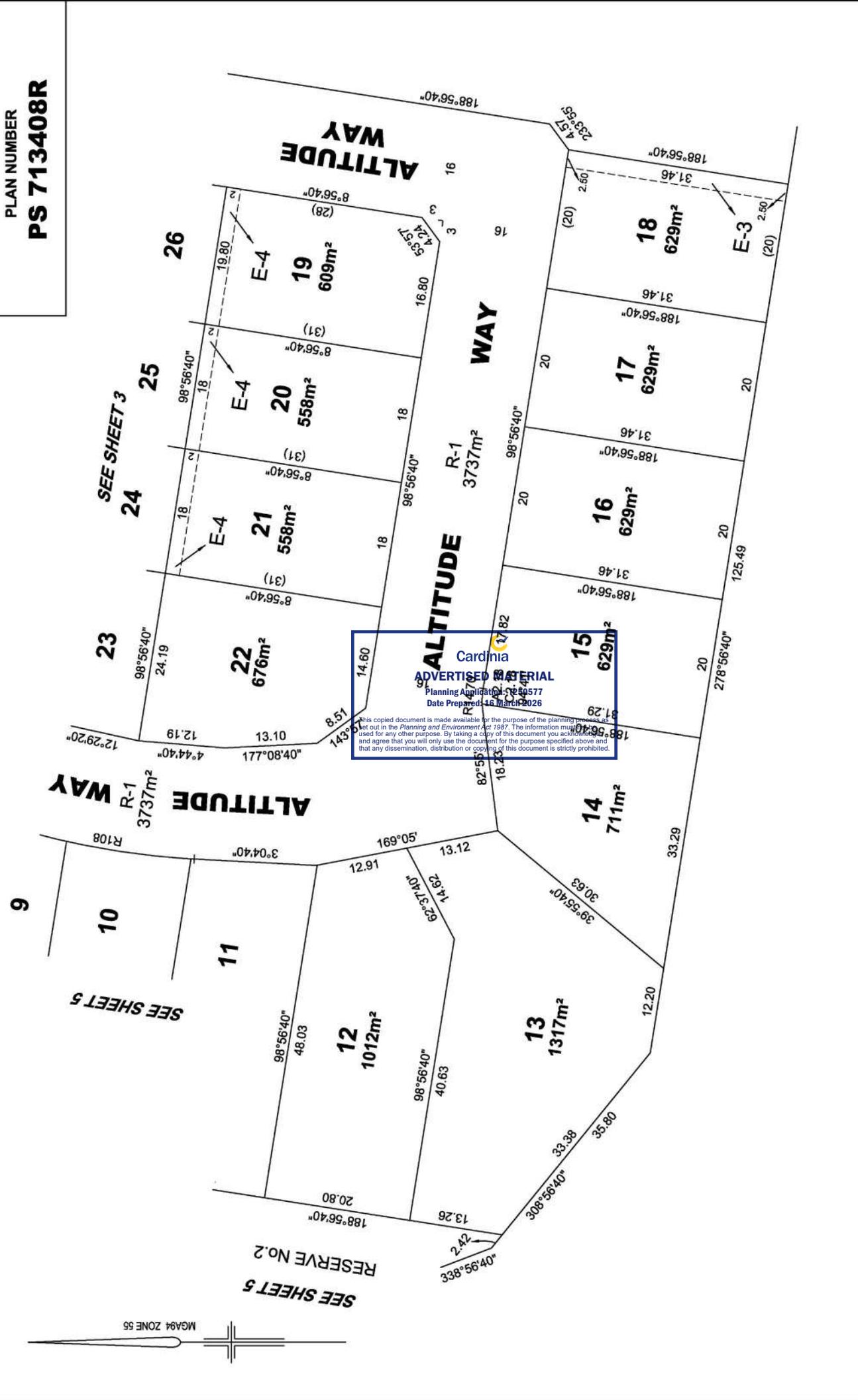


REF: **22103/1PS J** VERSION: **J** DATE: 07/06/18
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 SHEET 3

ORIGINAL SHEET SIZE A3

PLAN NUMBER
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 Planning Application: 19/040577

 Date Prepared: 16 March 2026

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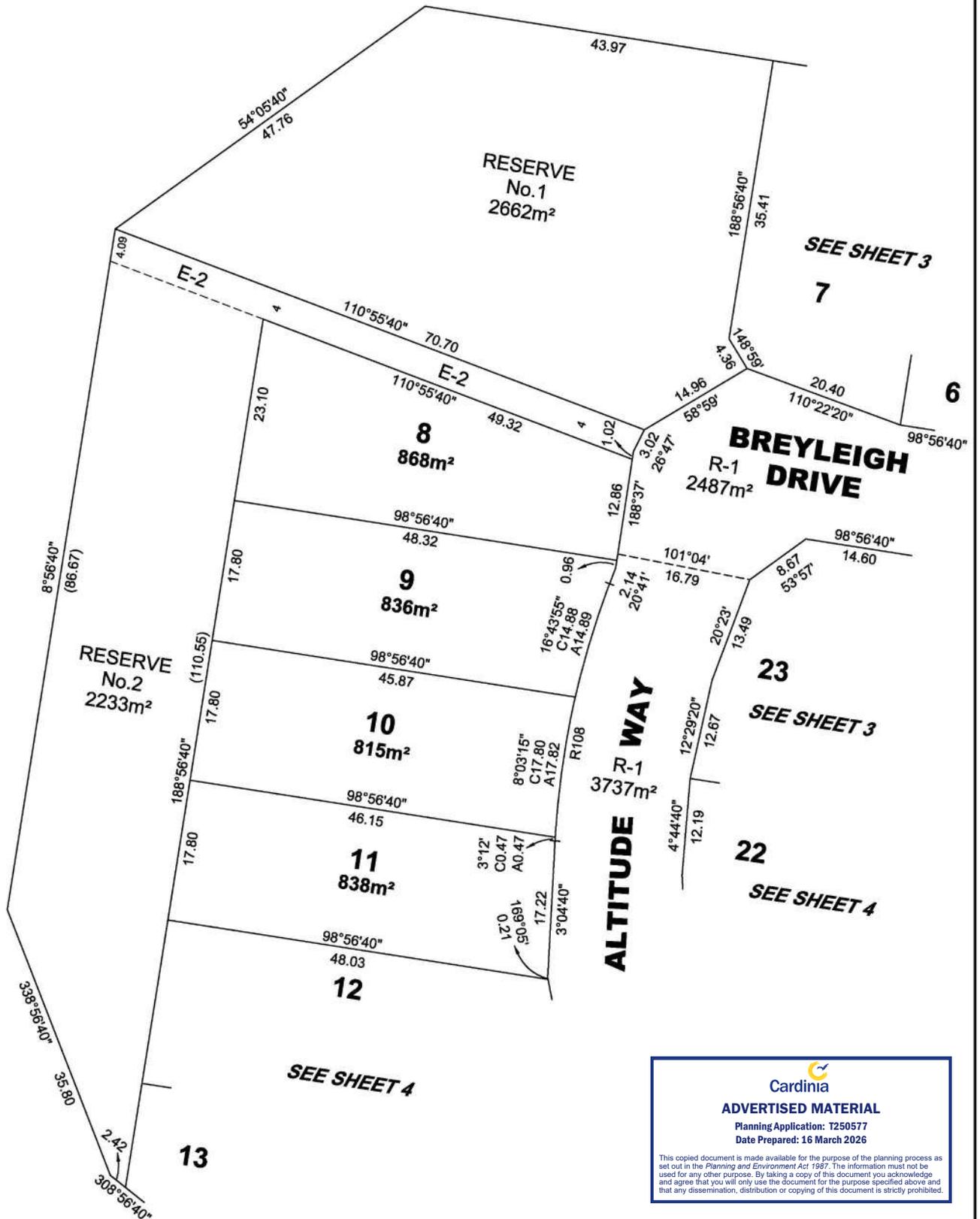
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SCALE 1:500

 LENGTHS ARE IN METRES
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ORIGINAL SHEET SIZE A3
 SHEET 4

PLAN NUMBER
PS 713408R

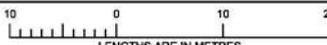



ADVERTISED MATERIAL
 Planning Application: T250577
 Date Prepared: 16 March 2026

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SCALE **1:500**



LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE **A3** SHEET **5**


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LICENSED SURVEYOR

..... [REDACTED]

**PLAN NUMBER
PS 713408R**

SUBDIVISION ACT 1988 CREATION OF RESTRICTION A

Upon registration of this plan the following restriction is to be created.

Table of Land Burdened and Land Benefited:

Burdened Lot No.	Benefited Lot No.	Burdened Lot No.	Benefited Lot No.	Burdened Lot No.	Benefited Lot No.
1	2	10	9, 11	19	20, 26
2	1, 3	11	10, 12	20	19, 21, 25
3	2, 4	12	11, 13	21	20, 22, 24
4	3, 5	13	12, 14	22	21, 23
5	4, 6	14	13, 15	23	22, 24
6	5, 7	15	14, 16	24	21, 23, 25
7	6	16	15, 17	25	20, 24, 26
8	9	17	16, 18	26	19, 25
9	8, 10	18	17		

For the Purpose of this Restriction:

- (a) **"building envelope"** means the building envelope for a lot as shown in the Building Envelope Plan attached to this Restriction.
- (b) **"front boundary"** means:
 - (i) in the case of any lot where only one boundary of that lot abuts a road, the boundary which abuts the road; and
 - (ii) in the case of any lot, where more than one boundary abuts a road, the shortest of the boundaries which abuts the road and where there is a splayed corner on a lot, that part of the boundary which is created by the splay (i.e. the corner splay) shall be disregarded.

ADVERTISED MATERIAL
 Planning Application: T250577
 Date Prepared: 16 March 2026

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All distances are to be measured at right angles.

Description of Restriction:

Unless given the consent of the Responsible Authority, the registered proprietor or proprietors for the time being of any lot on this plan to which the following restrictions apply shall not:

- 1 Construct or cause or permit to be constructed on any burdened lot:
 - 1.1 any building or dwelling outside the building envelope for the lot apart from the specific encroachments allowed outside the building envelope pursuant to the Building Regulations.
- 2 Build or cause to be built or allow to be built a garage within 5.5 metres of the front boundary.

This restriction shall expire 25 years after the date of the registration of this plan.

Building regulations apply to all matter which are not addressed in this restriction.

**PLAN NUMBER
PS 713408R**

SUBDIVISION ACT 1988 CREATION OF RESTRICTION B

Upon registration of this plan the following restriction is to be created.

Table of Land Burdened and Land Benefited:

Burdened Lot No.	Benefited Lot No.	Burdened Lot No.	Benefited Lot No.	Burdened Lot No.	Benefited Lot No.
1	2	10	9, 11	19	20, 26
2	1, 3	11	10, 12	20	19, 21, 25
3	2, 4	12	11, 13	21	20, 22, 24
4	3, 5	13	12, 14	22	21, 23
5	4, 6	14	13, 15	23	22, 24
6	5, 7	15	14, 16	24	21, 23, 25
7	6	16	15, 17	25	20, 24, 26
8	9	17	16, 18	26	19, 25
9	8, 10	18	17		

For the Purpose of this Restriction:

- (a) **"building envelope"** means the building envelope for a lot as shown in the Building Envelope Plan attached to this Restriction.


ADVERTISED MATERIAL
 Planning Application: T250577
 Date Prepared: 16 March 2026
- (i) in the case of any lot where only one boundary of that lot abuts a road, the boundary which abuts the road; and
- (ii) in the case of any lot, where more than one boundary abuts a road, the shortest of the boundaries which abuts the road and where there is a splayed corner on a lot, that part of the boundary which is created by the splay (i.e. the corner splay) shall be disregarded.
- (c) All distances are to be measured at right angles.
- (d) **"facade"** means any front wall of a dwelling, excluding verandahs, porches, balconies, decks, landings or steps.

Description of Restriction:

the registered proprietor or proprietors for the time being of a burdened lot to which this restriction applies shall not, unless given the consent of the Responsible Authority:

- 1 Construct or allow to be constructed any more than one dwelling per lot.
- 2 Construct or cause or permit to be constructed on any lot on this plan:-
 - (i) Any building other than one dwelling house with the usual garage and outbuildings such dwelling house having a minimum floor area (excluding any verandah, carport or garage) of 200 square meters.
 - (ii) Any building other than one dwelling house with the usual garage and outbuildings that does not intergrate with the natural slope of the site.
 - (iii) Any building, dwelling, structure, garage or outbuilding of a height greater than 7.5m at any measured point from the relevant finished surface level.
 - (iv) Any building, dwelling, structure, garage or outbuilding until such time as a planning permit is obtained for the development of said building, dwelling, structure, garage or outbuilding as required under clause 42.01-2 of the Cardinia Planning Scheme.

SEE SHEET 8 FOR CONTINUATION OF RESTRICTION

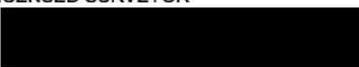
**PLAN NUMBER
PS 713408R**

RESTRICTION B (cont)

- (v) Any building, dwelling, structure, garage or outbuilding unless it meets Section 2.0 (Environment objective to be achieved) and Section 4.0 (Decision Guidelines) of Schedule 4 to the Environment Significance Overlay of the Cardinia Planning Scheme.
 - (vi) Any facade (including garage and carport) of which less than seventy percent (70%) of the external walls (excluding windows) is constructed of brick, brick veneer, stone, masonry, masonry veneer, render or texture coated boards.
 - (vii) Any dwelling constructed on a corner allotment which does not wrap around the secondary frontage for a minimum of 4.0 metres.
 - (viii) Any dwelling with less than one habitable room window at each level, forward of the side boundary fence, presented to each frontage.
 - (ix) Any dwelling with a roof of other than masonry, concrete or terracotta tiles or coloured non-reflective roofing material.
 - (x) Any dwelling having external plumbing (stormwater drainage downpipes excepted) which shall be visible from an adjoining street or reserve.
 - (xi) Any relocatable, transportable or kit homes and dwellings.
 - (xii) Dwellings with exposed stumps or support rails (excluding verandah or pergola posts).
 - (xiii) Ancillary items (including but not limited to clothes lines, rainwater tanks, hot water services, heating and cooling plants, clothes lines, bins, storage areas, or parts thereof to be visible from the street.
 - (xiv) Any external satellite dishes or any external antennas visible from the street.
- 3 After the commencement of construction, cease work on the dwelling for a period of more than three months.
 - 4 Obtain a Certificate of Occupancy later than 12 months after the commencement of construction of the dwelling.
 - 5 Erect or cause to be erected:
 - (i) Any fence along the Front Boundary;
 - (ii) Any side fencing between properties that terminates less than 2m from the front of the dwelling.
 - (iii) Any fence on either side boundary or the rear boundary of any burdened lot except an unstained or unpainted fence of timber pailings with a timber cap of which no fence posts and railings are visible from the public realm.
 - (iv) Any fence greater than 1.95 metres in height.
 - (v) For corner lots and lots adjacent to parks and reserves:
 - (a) Any fence closer than 4m from the front of the dwelling
 - (b) Any fence up to 1.95m in height that exceeds 50% of the lot length from the rear boundary and the remaining fence must not exceed 1m in height and must not be less than 40% transparent.
 - (vi) Any fencing constructed on top of a retaining wall visible from the public realm greater than 2.9m in combined height.
 - 6 Construct or cause to be constructed a retaining wall visible from the public realm greater than 1.2m in height.
 - 7 Build or cause to be built or allow to be built or allow to remain a garage:
 - (i) Which contains a garage door or doors which are less than 3.0m wide;
 - (ii) Which has an opening that exceeds 25% of the area of the front facade of any dwelling greater than a single storey;
 - (iii) Which has a setback less than 0.5m behind the dwelling facade.
 - 8 Allow landscaping to the front street view to remain or be left incomplete for a period of more than six months after the date of the Occupancy Permit for the dwelling.
 - 9 Permit the letter box and street numbering to remain uninstalled before occupation of the dwelling.
 - 10 Allow less than 1 canopy tree to be planted within the front setbacks within 3 months of obtaining a Occupancy Permit for the dwelling.
 - 11 Construct or allow to be constructed on the Lot, a dwelling which is not equipped with the provision for connection to the fibre optic infrastructure when available.

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Date Prepared: 16 March 2026
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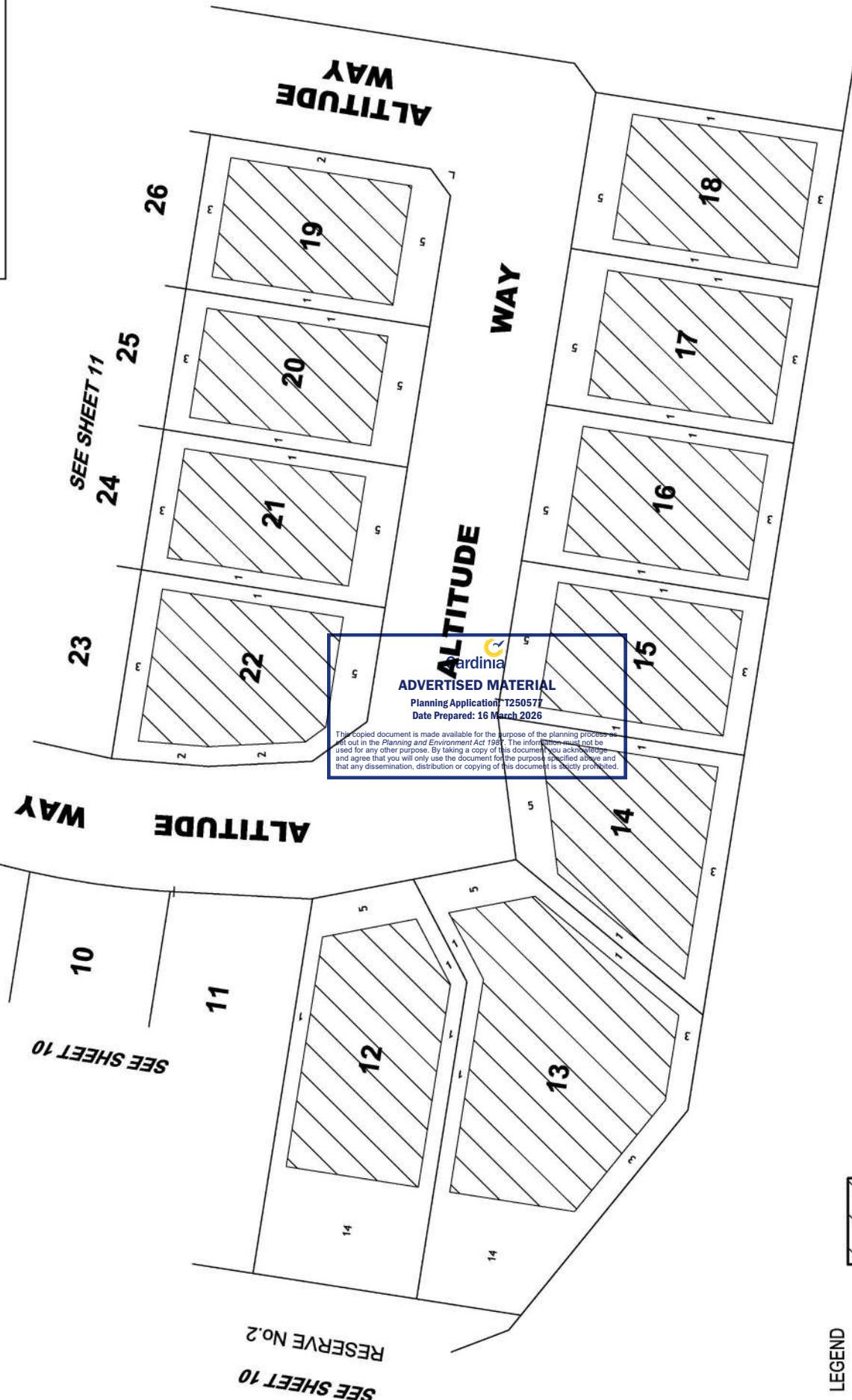
This restriction shall expire fifteen (15) years after the date of registration of this plan.

REF: 22103/1PS	VERSION: J	DATE: 07/06/18 1PS-J.DGN	ORIGINAL SHEET SIZE A3	SHEET 8
		REEDS Consulting Pty Ltd Lvl 4, 440 Elizabeth Street Melbourne Victoria 3000 p (03) 8660 3000 www.reedsconsulting.com.au survey@reedsconsulting.com.au	LICENSED SURVEYOR 	

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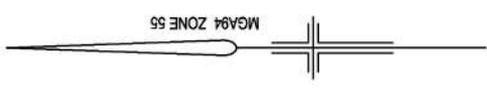
9 BUILDING ENVELOPE PLAN

PLAN NUMBER
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 Planning Application T250577
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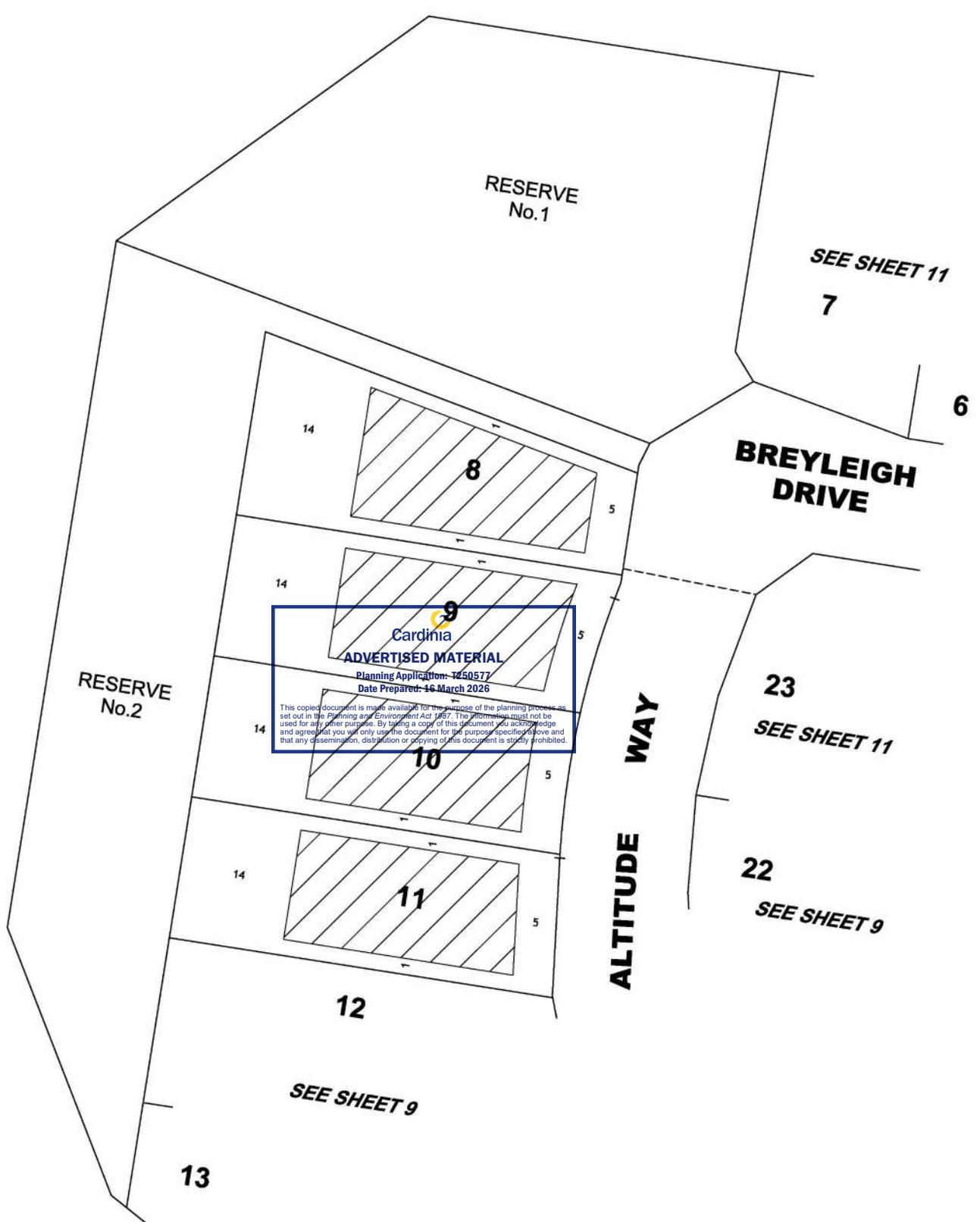
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SHEET 9

BUILDING ENVELOPE PLAN

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LEGEND
 BUILDING ENVELOPE



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SIZE A3

SHEET 10



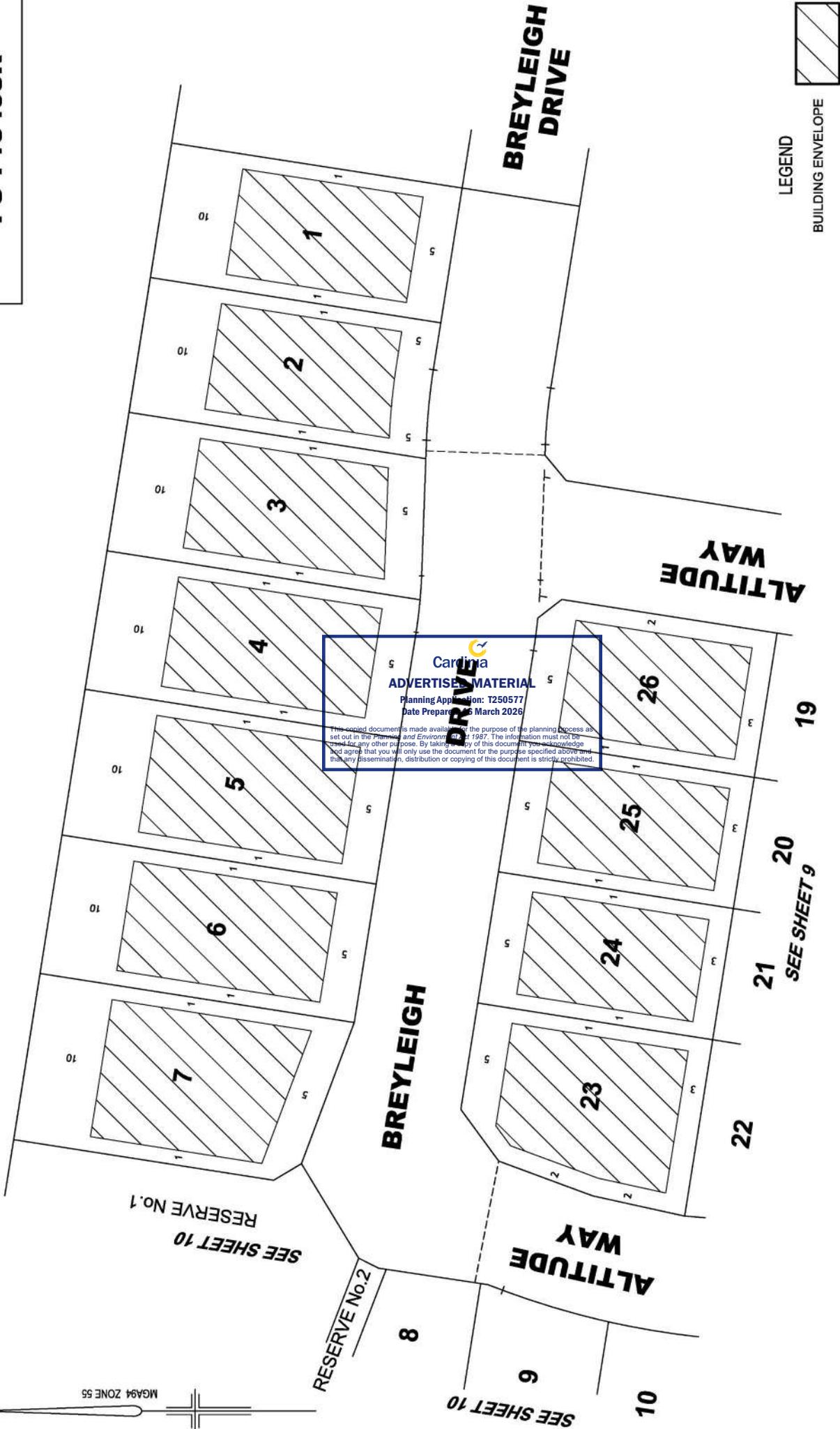
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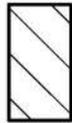


PLAN NUMBER
PS 713408R

BUILDING ENVELOPE PLAN




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LEGEND
BUILDING ENVELOPE

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NOT TO SCALE	LICENSED SURVEYOR [REDACTED]	ORIGINAL SHEET SIZE A3	SHEET 11

Plan of Subdivision PS713408R Concurrent Certification and Statement of Compliance (Form 3)

SUBDIVISION (PROCEDURES) REGULATIONS 2011

SPEAR Reference Number: S030505P
Plan Number: PS713408R
Responsible Authority Name: Cardinia Shire Council
Responsible Authority Reference Number 1: S12/160
Responsible Authority Reference Number 2: T110500
Surveyor's Plan Version: ↓

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Statement of Compliance

This is a statement of compliance issued under section 21 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

has been made and the requirement has been satisfied at Certification

Digitally signed by Council Delegate: 
Organisation: Cardinia Shire Council
Date: 19/10/2018



ADVERTISED MATERIAL

Planning Application: T250577
Date Prepared: 16 March 2026

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Number of Pages (excluding this cover sheet)	12
Document Assembled	05/01/2026 16:42

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AK631869Y

03/10/2013 \$113 173



FORM 18 Section 181

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE
MAKING OF A RECORDING OF AN AGREEMENT**

Planning and Environment Act 1987

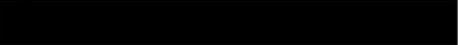
Lodged by:

Name: Aughtersons Solicitors

Phone: (03) 9845 8200

Address: 267 Maroondah Highway Ringwood 3134

Ref: Mr Jacobs:rs:130530



The Authority having made an agreement referred to in section 181(1) of the Planning and Environment Act 1987 requires a recording to be made in the Register for the land.

Land: Certificate of Title Volume 9968 Folio 183

Authority: *Cardinia Shire Council of Henty Way Pakenham 3810*

Cardinia
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 Planning Application: T250577
 Date Prepared: 16 March 2026

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Section and Act under which agreement made:

S 173 of Planning and Environment Act 1987



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03/10/2013 \$113 173


PLANNING AND ENVIRONMENT ACT 1987

SECTION 173 AGREEMENT

between

CARDINIA SHIRE COUNCIL

and

JAMNICANT PTY LTD (ACN 068 704 647)

in relation to

155 AHERN ROAD, PAKENHAM 3810


Cardinia

ADVERTISED MATERIAL

Planning Application: T250577
Date Prepared: 16 March 2026

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THIS AGREEMENT is made the date set out at Item 1 of the Schedule ("Date of Agreement")

BETWEEN

1. **CARDINIA SHIRE COUNCIL** of Henty Way, Pakenham, Victoria (herein called "the Responsible Authority") and
2. **THE LANDOWNER**, details of whom are set out at Item 2 of the Schedule (hereinafter called "the Owner").

WHEREAS

- A. The Owner is the owner and is registered as the proprietor of an estate in fee simple in the land, details of which are set out at Item 3 of the Schedule (hereinafter called "the Subject Land").
- B. The Responsible Authority is responsible for the administration and enforcement of the **Cardinia Planning Scheme** (hereinafter called "the Planning Scheme") pursuant to the provisions of the Planning and Environment Act 1987 (hereinafter called "the Act").
- C. The Responsible Authority has issued a Permit No. T110500a for the subdivision of the subject Land into twenty seven lots and the removal of vegetation in two stages in accordance with approved Plans ("the Permit").
- D. Condition 54 of the Permit requires the Owner to enter into an on-title Agreement to the satisfaction of the Responsible Authority which provides for a native vegetation offset in accordance with the endorsed offset plan of the Permit.
- E. The Responsible Authority and the Owner have agreed that, without restricting or limiting their respective powers to enter into this Agreement, and insofar as it can be so treated, this Agreement is an agreement entered into pursuant to Section 173 of the Act.

Cardinia
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F. The Responsible Authority and the Owner have entered into this Agreement in order to achieve or advance the objectives of planning in Victoria or the objectives of the Planning Scheme.

AK631869Y



IT IS AGREED AS FOLLOWS:

Definitions

1. In this Agreement unless inconsistent with the context or subject matter:

1.1 "Act" means the Planning and Environment Act 1987;

1.2 "Agreement" means this Agreement and any agreement executed by the parties varying or expressed to be supplemental to this Agreement.

1.3 "Subject land" means the land described in Item 3 of the Schedule;


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 Planning Application: T250577
 Date Prepared: 16 March 2026

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1.4 "Owner" means the owner for the time being of the land and the person or persons entitled from time to time to be registered by the Register of Titles as the proprietor of an estate in fee simple in the land or any part thereof, and includes a Mortgagee in possession;

1.5 "Permit" means the building and or planning permit referred to in Recital C, including any plans endorsed under such permits;

1.6 "Planning Scheme" means the Cardinia Planning Scheme and any successor instrument or other planning scheme which applies to the Subject Land.

1.7 "Responsible Authority" means Cardinia Shire Council or its successor as the authority responsible for administering and enforcing the Planning Scheme and includes its agents, officers, employees, servants, workers and contractors; and

- 1.8 "Tribunal" means the Victorian Civil and Administrative Tribunal OR any successor tribunal, court, institution or body.
- 1.9 "Termination Date" means the date upon which this Agreement shall end in accordance with Section 177 of the Act namely the date upon which the Responsible Authority notifies the Owner in writing that the Responsible Authority considers that the Owner has fully complied its obligations in this Agreement.

Interpretation

2. In this Agreement unless inconsistent with the context or subject matter:

- 2.1 The singular includes the plural and the plural includes the singular;
- 2.2 A reference to a gender includes a reference to each other gender;
- 2.3 A reference to a person includes a reference to a firm, corporation, association or other entity and their successors in law;
- 2.4 If a party consists of more than one person this Agreement binds them jointly and each of them severally;
- 2.5 A reference to a statute includes any statute amending, consolidating or replacing that statute and includes any subordinate instruments made under that statute;
- 2.6 The Recitals to this Agreement are and will be deemed to form part of this Agreement including any terms defined within the Recitals.

Cardinia
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Agreement Under Section 173 of the Act

3. The Responsible Authority and the Owner agree that without limiting or restricting their respective powers to enter into this Agreement and insofar as it can be so treated, this Agreement is made pursuant to Section 173 of the Act.

Specific Obligations of the Owner

- 4. The Owner covenants with the Responsible Authority to implement native vegetation offset works in accordance with the endorsed offset plan of the Permit

AK631869Y

Further Obligations of the Owner

03/10/2013 \$113 173


- 5. The Owner further covenants that:

- 5.1 The Owner will not sell, transfer, dispose of, assign, mortgage or otherwise part with possession of the Subject Land or any part of it without first disclosing to its successors the existence and nature of this Agreement.

- 5.2 The Owner will do all that is necessary to enable the Responsible Authority to make an application to the Registrar of Titles to make a recording of this Agreement on the Certificate of Title to the Subject Land in accordance with Section 181 of the Act, including the signing of any further agreement, acknowledgement or other document.


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- 5.3 The Owner shall immediately on demand pay the reasonable legal costs and fees incurred and incidental to the preparation and execution of this Agreement and the registration hereof pursuant to Section 181 of the Act, together with all costs of enforcing this Agreement if deemed necessary by the Responsible Authority.

- 5.4 That until such time as this Agreement is registered on the title to the Subject Land, the Owner shall ensure that successors in title will give effect to this Agreement, and do all acts and sign all documents which will require those successors to give effect to this Agreement, including executing a deed agreeing to be bound by the terms of this Agreement.

- 5.5 The Owner agrees to indemnify and keep indemnified the Responsible Authority from and against all costs, expenses, losses or damages that it may sustain, incur, suffer or be or become liable for or in respect of any suit, action, proceeding, judgment or claim brought by any

person arising from or referable to this Agreement and/or any non-compliance with this Agreement.

5.6 The Owner agrees to allow the Responsible Authority to enter the Subject Land at any reasonable time to assess compliance with this Agreement.

Owner's Warranties and Acknowledgements

6. The Owner warrants that:

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03/10/2013 \$113 173



6.1 It is the registered proprietor of the Subject Land;

6.2 There are no mortgages, liens, charges or other encumbrances affecting the Subject Land which are not disclosed in the usual searches;

6.3 If the Subject Land is affected by a mortgage granted to the Mortgagee, details of whom are set out at Item 6 of the Schedule ("the Mortgagee") the Mortgagee of the Subject Land consents to the Owner entering into this Agreement and the Agreement being registered on the title to the Subject Land.

Cardfile

ADVERTISED MATERIAL

Planning Application 15/057

Date Prepared: 16 March 2026

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6.4 The Owner has obtained all necessary authorities and consents to bind all other persons who have any interest either legal or equitable in the Land.

7. The Owner acknowledges that any obligations imposed on the Owner under this Agreement take effect as separate and several covenants which are annexed to the Subject Land and run at law and in equity with the land and every part thereof and bind the Owner, its successors, assigns and transferees, and the registered proprietor for the time being of the whole or any part of the Subject Land.

Further assurance

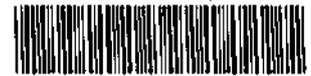
8. The parties to this Agreement must do or cause to be done all things that are reasonably necessary to give effect to this Agreement.

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Default

9. If the Owner defaults or fails to perform any of its obligations under this Agreement the Responsible Authority may, without prejudice to any other remedies, rectify and remedy such default and the cost of doing so shall be borne by the Owner.

No waiver

10. Any time or other indulgence granted by the Responsible Authority to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by the Responsible Authority against the Owner will not in any way amount to a waiver of any of the rights or remedies of the Responsible Authority in relation to the terms of this Agreement.

No Fettering of Powers of Responsible Authority

11. The Owner expressly acknowledges and agrees that nothing in this Agreement nor the performance by the Owner of any of its obligations under this Agreement does or will restrain, limit or otherwise fetter the exercise by the Responsible Authority of the powers, duties and discretions that the Responsible Authority has or may have (as planning authority, responsible authority or otherwise) under the Act or under the Planning Scheme to consider, approve, amend or to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification relating to any use or development, or in relation to the commencement or initiation or any enforcement action or proceeding whatsoever.

Cardinalia

ADVERTISED MATERIAL

Planning Application: 1250517

Date Prepared: 16 March 2026

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Entire Agreement

12. This Agreement constitutes the entire agreement between the parties in connection with its subject matter and supersedes all previous Agreements or understandings between the parties in connection with its subject matter.

Severability

13. If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it shall be severed and the other provisions of this Agreement shall remain operative and be of full force and effect.

Disputes

14. If there is a dispute between the parties concerning the interpretation or implementation of this Agreement, that dispute must be referred to the Tribunal for resolution to the extent permitted by the Act.
15. If there is a dispute concerning any matter which is not referable to the Tribunal under the Act, that dispute must be referred for arbitration by an Arbitrator agreed upon in writing by the parties, or, in the absence of such agreement the Chair of the Victorian Chapter of the Institute of Arbitrators Australia or his or her nominee, for arbitration.
16. The parties shall each be entitled to legal representation for the purposes of any proceedings or arbitration referred to clause 14 and 15 of this Agreement unless the Tribunal or arbitrator otherwise directs, and each party must bear its own costs.

Commencement of Agreement

17. Unless otherwise provided in this Agreement, this Agreement shall commence on the date of this Agreement.

Termination of Agreement

- 18.1 This Agreement terminates when the Owner has complied with all of its obligations under this Agreement.
- 18.2 When the Agreement has terminated the Responsible Authority will upon the Owner's written request and at the Owners expense apply to the Registrar of Titles under Section 183(i) of the Act to cancel the recording of this Agreement.

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SCHEDULE

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Item 1 Date of Agreement

30 September 2013

Item 2 The Owner

Name: JAMNICANT PTY LTD (ACN 068 704 647)

Address: 444-454 Belgrave-Hallam Road, Narre Warren North

Item 3 The Subject Land

Address: 155 AHERN ROAD, PAKENHAM 3810

Title details: Volume 9563 Folio 183

Plan details: Lot 2 on Plan of Subdivision 145843

Item 4 The Mortgagee



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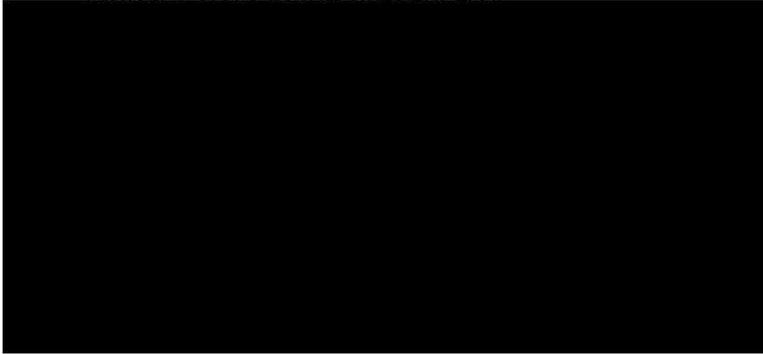
Planning Application: T250577

Date Prepared: 16 March 2026

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EXECUTED by the parties on the date set out at Item 1 of the Schedule

SIGNED by and on behalf and with the)
authority of the **CARDINIA SHIRE COUNCIL**)
by **[REDACTED]** n Manager of Development)
Services in the exercise of power conferred
by an Instrument of Delegation dated 24th
January 2011 in the presence of:

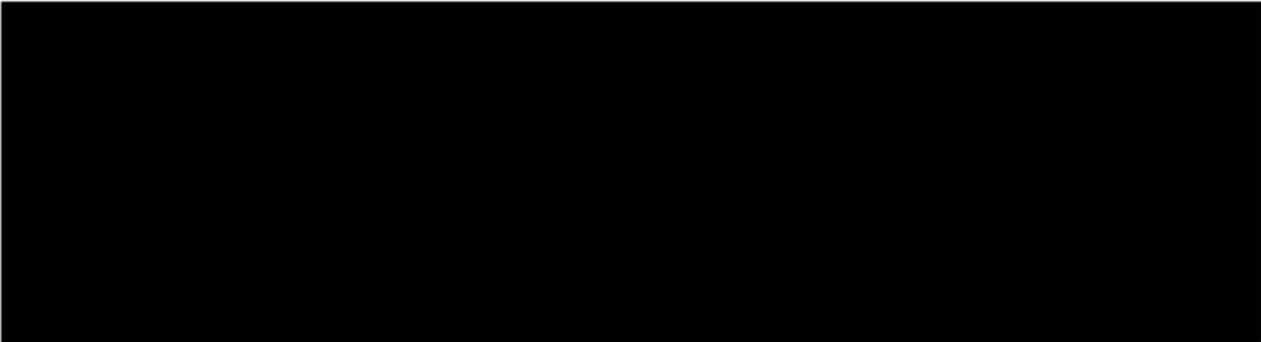


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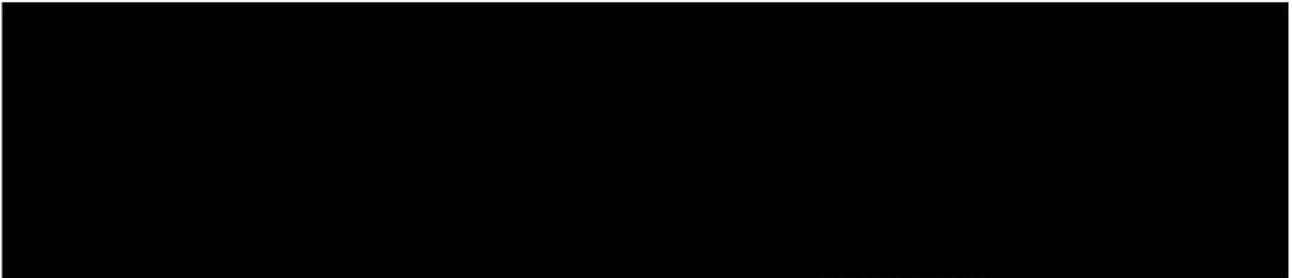


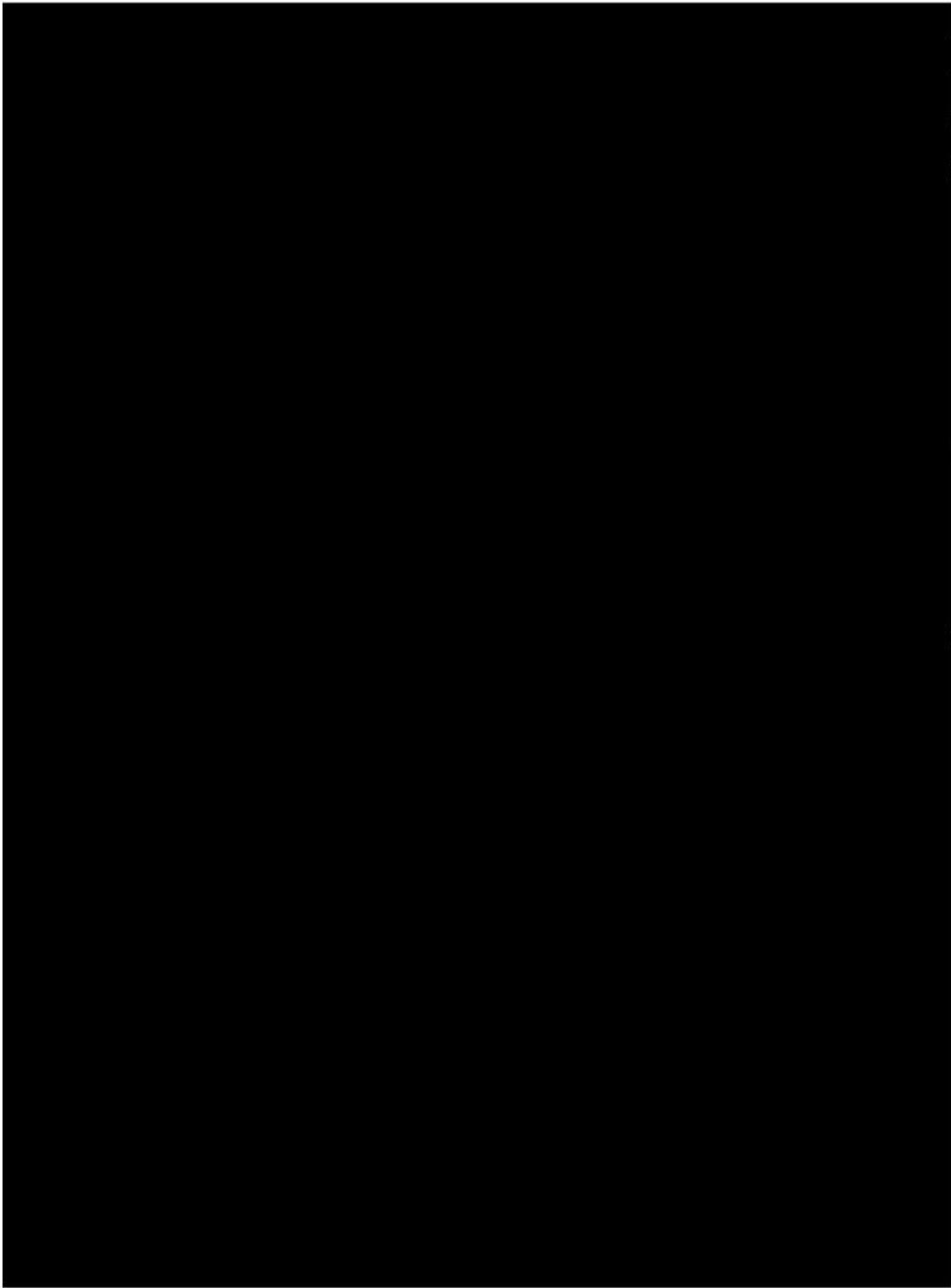
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EXECUTED by JAMNICANT PTY LTD)
(ACN 068 704 647) by being signed by the)
person who is authorized to sign for the)
Company)



Mortgagee's Consent





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FORM 21

Schedule 1 of the *Planning and Environment Regulations 2015*

APPLICATION BY A RESPONSIBLE AUTHORITY
FOR THE RECORDING OF AN AGREEMENT


Cardinia
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Planning Application: T250577
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Section 181

Planning and Environment Act 1987



Lodged by:

Name: BEST HOOPER

Phone: 9670 8951

Address: Level 9, 451 Little Bourke Street, Melbourne

Ref: TB:PN:171039

Customer Code: 0485 U

The Responsible Authority, having made an Agreement referred to in Section 181(1) of the *Planning and Environment Act 1987*, requires a recording to be made in the Register for the land.

Land: Certificate of Title Volume 11455 Folio 776

Responsible Authority: Cardinia Shire Council

Section and Act under which Agreement made:

Section 173 *Planning and Environment Act 1987*

A copy of the Agreement is attached to this Application.





Cardinia Shire Council

Council


Cardinia
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Planning Application: T250577
Date Prepared: 16 March 2026

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- and -

Qartaba Homes Pty Ltd

the Owner

**Agreement under Section 173 of the Planning and
Environment Act 1987**

Subject Land: **155 Ahern Road, Pakenham Vic 3810**

BEST HOOPER
Lawyers
Level 9, 451 Little Bourke Street
MELBOURNE

Ref: TB:PN:171039
Tel: 9670 8951
Fax: 9670 2954



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PLANNING AND ENVIRONMENT ACT 1987
SECTION 173 AGREEMENT

THIS AGREEMENT is made the 17 day of January 2018

BETWEEN:

Cardinia Shire Council
of 20 Siding Avenue, Officer Vic 3809


Cardinia
ADVERTISED MATERIAL
Planning Application: T250577
Date Prepared: 16 March 2026

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("the Council")

- and -

Qartaba Homes Pty Ltd
of 149 Riverstone Road, Riverstone NSW 2765

("the Owner")

INTRODUCTION

- A. The Council is the Responsible Authority for the Planning Scheme under the Act.
- B. The Owner is or is entitled to be registered as the proprietor of the Subject Land.
- C. On 4 June 2012, the Council granted Planning Permit No. T110500-2 allowing subdivision of land for twenty-seven (27) lots and the removal of vegetation, generally in accordance with the approved plan/s including condition 5 which provides:

"Before the Statement of Compliance is issued, the owner must enter into an agreement with the Responsible Authority made pursuant to Section 173 of the Planning and Environment Act 1987, and make the Application to the Registrar of Titles to have the Agreement registered on the title to the land under Section 181 of the Act, which provides:

- a) *That on Lot 1 to 7 a 10 metre fire buffer is to be incorporated into each allotment and be managed and maintained to a minimum fuel conditions during the declared fire danger period to the satisfaction of the CFA and the Responsible Authority. There are to be no buildings or structures including clotheslines, sheds, cubbyhouses or tree planting within the fire buffer as shown on the endorsed plans of this Permit.*

The owner must pay the reasonable costs of the preparation, execution and registration of the Section 173 Agreement."

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D.



in favour of the mortgagee. The mortgagee has consented to the owner entering into this Agreement with respect to the Subject Land.

E. The parties enter into this Agreement:

- (a) To give effect to the requirements of the Permit; and
- (b) To achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

IT IS AGREED:

1. DEFINITIONS

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

- 1.1 **“the Act”** means the *Planning and Environment Act 1987* (Vic).
- 1.2 **“this Agreement”** means this agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.
- 1.3 **“Caveat”** means a notice recorded on the folio of the register for a parcel of Torrens title land to protect an interest that affects that title but is either not registered or not registrable.
- 1.4 **“Caveator”** means a person or persons who have lodged a caveat on the land.
- 1.5 **“CFA”** means the County Fire Authority.
- 1.6 **“Council”** means the Cardinia Shire Council as the Responsible Authority for the Planning Scheme and any subsequent person or body which is the Responsible Authority for the Planning Scheme.
- 1.7 **“Endorsed Plans”** means the plans endorsed under the Planning Permit and as amended from time to time.
- 1.8 **“Fire Buffer”** means an area where no buildings or structures as defined under Section 3 of the Act are allowed and includes clotheslines, sheds, cubby houses or tree planting as shown in the Endorsed Plans as part of the Permit.
- 1.9 **“Fire danger period”** means the period when the CFA declares it to be a fire danger period and this can be as early as October in some municipalities and as late as May.
- 1.10 **“Lot”** has the same meaning as in the *Subdivision Act 1988* (Vic).
- 1.11 **“Mortgagee”** means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as Mortgagee of the Subject Land or any part of it.


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- 1.12 **“Owner”** means the person or person registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Subject Land or any part of it and includes a Mortgagee-in-possession.
- 1.13 **“party” or “parties”** means the Owner and Council under this Agreement as appropriate.
- 1.14 **“Permit”** means Planning Permit No. T110500-2 issued for the development of the Subject Land for a twenty-seven lot subdivision and the removal of vegetation generally in accordance with the approved plan/s, and as amended from time to time.
- 1.15 **“Planning Scheme”** means the Cardinia Planning Scheme and any other planning scheme which applies to the Subject Land.
- 1.16 **“Subject Land”** means the land situated at 155 Ahern Road, Pakenham being the land comprised in Certificate of Title Volume 11455 Folio 776 and any reference to the Subject Land in this Agreement will include a reference to any lot created by the subdivision of the Subject Land or any part of it.

2. INTERPRETATION

In this Agreement unless the context admits otherwise:

- 2.1 The singular includes the plural and vice versa.
- 2.2 A reference to a gender includes a reference to each other gender.
- 2.3 A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4 If a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5 A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.6 The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
- 2.7 A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the same meaning as defined in the Act.
- 2.8 The obligations of the Owner under this Agreement, will take effect as separate and severally covenants which are annexed to and run at law and equity with the Subject Land PROVIDED THAT if the Subject Land is subdivided, this Agreement must be read and applied so that each subsequent owner of a lot is only responsible for those covenants and obligations which relate to that owner's lot.

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3. SPECIFIC OBLIGATIONS OF THE OWNER

Unless otherwise agreed in writing by the Council, the owner covenants and agrees that:

- 3.1 It will at all times on Lots 1 to 7 shown on the Endorsed Plans, irrespective of whether a building is located on any such Lot or not, include a Fire Buffer of no less than 10 metres in depth as measured from the rear boundary and as shown on the Endorsed Plans;
- 3.2 No buildings, structures or tree planting is permitted in the Fire Buffer area as shown on the Endorsed Plans; and
- 3.3 The management and maintenance of the Fire Buffer during a declared fire danger period must be to the satisfaction of the CFA and Council.

3.4 Council's Costs to be Paid

the Owner must pay to the Council, the Council's reasonable costs and expenses (including legal expenses on a party/party basis) of and incidental to the preparation, drafting, review, finalisation, engrossment, execution and registration of this Agreement and until those costs are paid they will remain a debt of the Owner to the Council.

4. ACKNOWLEDGMENT AND COVENANTS OF COUNCIL

- 4.1 The Council acknowledges that the Owner's covenants in this Agreement satisfy Condition 5 of the Permit.
- 4.2 The Council covenants that it will forthwith apply to register this Agreement pursuant to Section 181 of the Act.

5. FURTHER OBLIGATIONS OF THE OWNER

The Owner further covenants and agrees that:

5.1 Notice of Registration

the Owner will bring this Agreement to the attention of all prospective purchasers, mortgagees, transferees and assigns;

5.2 Further actions

5.2.1 the Owner will do all things necessary, including signing any further agreements, undertakings, covenants and consents, approvals or other documents necessary for the purpose of ensuring that the Owner carries out the Owner's covenants under this Agreement and to enable the Council to enforce the performance by the Owner of such covenants and undertakings;

5.2.2 the Owner will consent to the Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with Section 181 of the Act and do all things necessary to enable the Council to do so including signing any further agreement,

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173



acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable the recording to be made in the Register under that Section;

6. AGREEMENT UNDER SECTION 173 OF THE ACT

The Council and the Owner agree that without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to Section 173 of the Act, however if this Agreement is held not to be valid as an agreement made pursuant to Section 173 of the Act or is unenforceable under the Act it remains a contract between the parties and is enforceable as a contract against the Owner or the Council, as the case may be.

7. OWNERS WARRANTIES

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

8. SUCCESSORS IN TITLE

Without limiting the operation or effect which this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- 8.1 give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- 8.2 execute a deed agreeing to be bound by the terms of this Agreement.

9. GENERAL MATTERS**9.1 Notices**

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 9.1.1 by delivering it personally to that party;
- 9.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time;
- 9.1.3 by sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post; or
- 9.1.4 by sending it by email provided that the receiving party has consented to receipt of notices by email and has provided an email address for that purpose.

9.2 A notice or other communication is deemed served:

- 9.2.1 if delivered, on the next following business day;

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- 9.2.2 if posted, on the expiration of between two to six business days after the date of posting;
- 9.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested retransmission before the end of that business day; or
- 9.2.4 if sent by email, at the time of receipt in accordance with the *Electronic Transactions (Victoria) Act 2000*.

9.3 No Waiver

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgement or order obtained by the Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of the Council in relation to the terms of this Agreement.

9.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

9.5 No Fettering of the Council's Powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

10. COMMENCEMENT OF AGREEMENT

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

11. ENDING OF AGREEMENT

This Agreement may be ended by agreement between Council and the Owner.



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EXECUTED by the parties on the date set out in clause 1.1 of this Instrument.

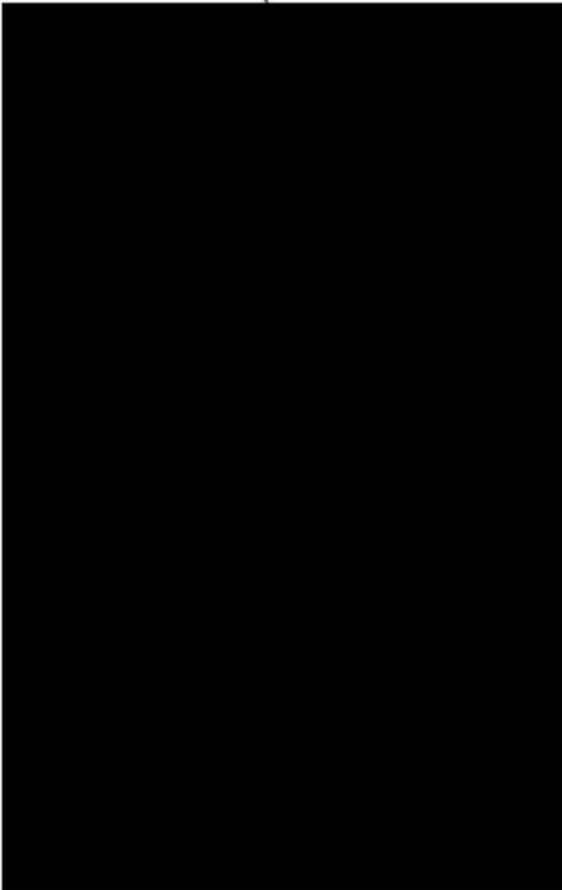
Signed by and on behalf, and with the authority of the **Cardinia Shire Council** by the Manager of Development and Compliance Services, in the exercise of power conferred by an Instrument of Delegation dated 21 August 2017, in the presence of:



Name of Witness (please print)

EXECUTED by **Qartaba Homes Pty Ltd** (ABN 30147630948) in accordance with section 127(1) of the *Corporations Act* 2001 by being signed by authorised persons:

)
)
)
)



Director

Full Name

Usual Address

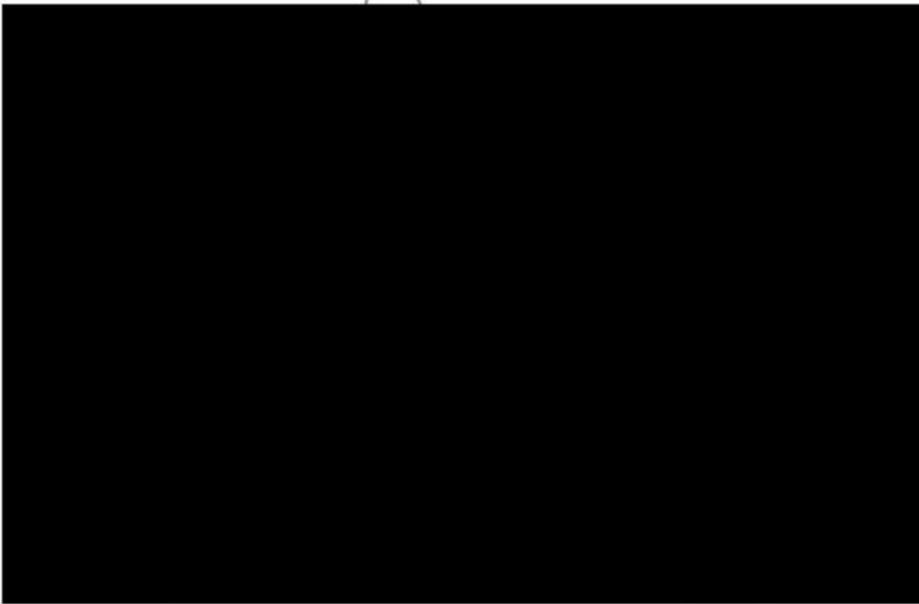
Director

Full Name

Usual Address

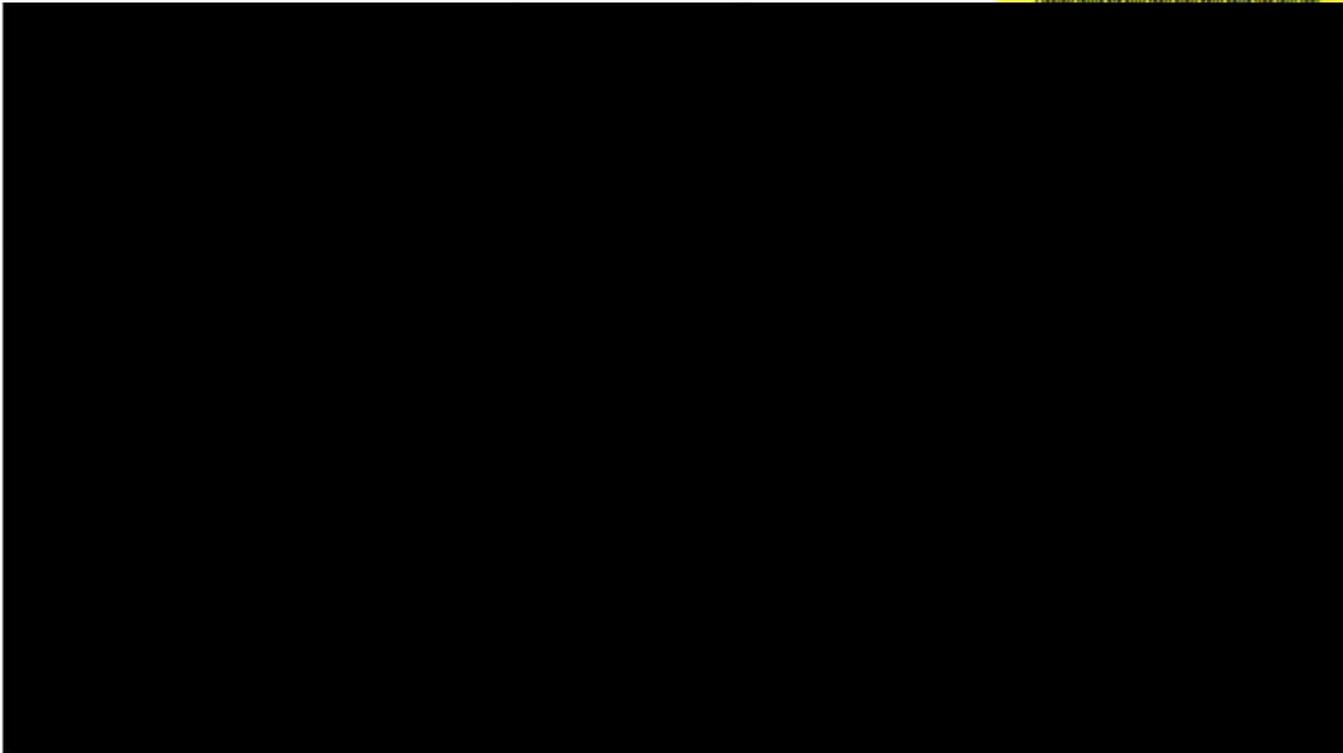
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PLANNING REPORT CONSTRUCTION OF DOUBLE STOREY DWELLINGS

28 BREYLEIGH DR. PAKENHAM

Date : 2/11/2025 Project

No: 2025 RES 28 BREYLEIGH



SITE DESCRIPTION

The subject site is located on north-Breyleigh Dr. The lot is a regular rectangular shape. The site has a frontage of 18.5m, and 39.56m side boundaries. and a total area of 731.86 m².

The land is in area zone General Residential Zone- schedule 1 (GRZ1). Its covered by Development contribution plan overlay and environmental significance overlay.

The area is also located within the Bushfire Prone Area,

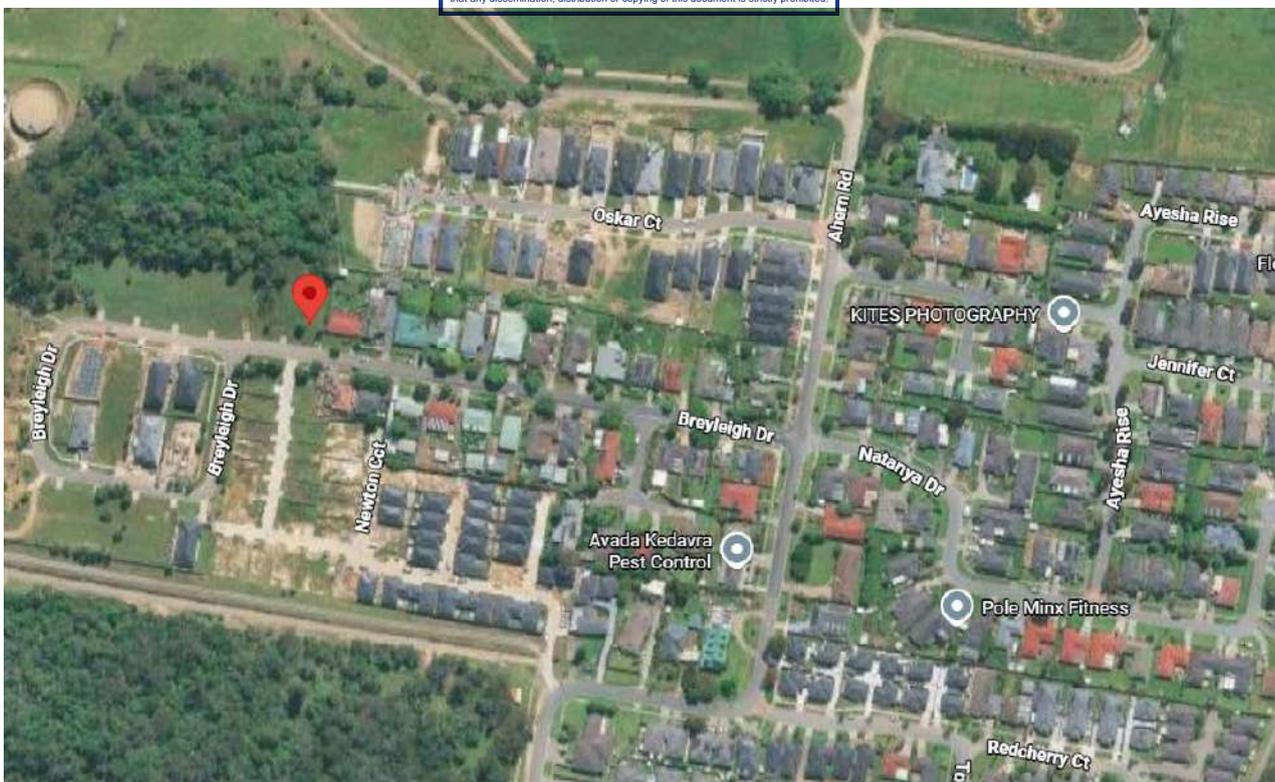
The site is currently vacant lot.

SURROUNDING AREA

The subject site is located in an established residential area. The area has been undergoing change with a number of recent developments. Many of the lots in proximity to the site have been developed with single dwellings included.

Original housing stock includes single dwellings and unit developments both single and double storey. Newer developments in the area have incorporated double storey built form. Brick, weatherboard and render are common building material. Front boundaries display fencing in a variety of heights, styles and materials. Front gardens contain varied levels of planting.

Cardinia
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Planning Application: T250577
Date Prepared: 16 March 2026
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PROPOSAL

It is proposed to construct a split-level double storey dwelling on the site.

Dwelling

The ground floor includes one (1) bedroom, living room and open plan kitchen/meals/family. There are also a butler's pantry and laundry and powder room. The first floor includes three (3) additional bedrooms, bathrooms and ensuites for bedrooms 1 and a sitting area with balcony to front.

The dwelling is provided with a double garage accessed from a existing crossover. Secluded private open space is provided to the rear of dwelling and East as well as generous front gardens around the dwelling.

The subject site has restricted building envelope area, Proposed building designed to be within building envelope set back and comply with all setback from boundary, to ensure no part of construction to encroach building envelope areas.

And also the subject site is located within a bush fire prone area under Victorian Building Regulations 2018. This requires residential development to be protected from the effects of bushfire. There for the proposed dwelling to be constructed from brick, Hebel panel rendered cladding with cement tile roofing.

All external materials and cladding will be noncombustible products to comply with bush fire attack level.

Proposed dwelling complies with all restriction registered on the title.

The maximum height building is 7.2m.

Bush fire assessments and report attached.





**BENNETT
TREE
CONSULTING**

**Professional Arboricultural Consultants
PO BOX 355, Gembrook 3783
Phone: 0400 022 818**

ARBORICULTURAL ASSESSMENT



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REF: 26.0122

**28 Breyleigh Drive,
Pakenham, VIC 3810**

22 January 2026



Prepared for:

[Redacted]
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Prepared by:

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1. Introduction

██████████s requested an arborist report to be prepared to evaluate and assess several trees located on or adjacent to the subject site that might be impacted upon by the proposed development. Najm Design & Build is proposing to develop the land for a residential dwelling.

2. Site Details

The land is a residential allotment with an area of approximately 730.79m², is generally rectangular in shape and has a major slope from its north to south. The site is currently a vacant block of land. The site contains a mixture of native trees and shrubs in varies conditions of health.

The land is in a General Residential Zone – Schedule 1 and subject to an Environmental Significance Overlay – Schedule 4 and an Development Contributions Plan - Schedule 1.

3. Report Objectives

This report has been prepared for the client in relation to a forthcoming construction on the subject site. It aims to:

- Identify and assess trees on the subject site and adjoining properties that are within close proximity to the proposed works.
- Determine what impact the proposed design will have on assessed trees using the guidelines provided by AS 4970 -2025 Protection of trees on development sites.
- Provide recommendations based on AS 4970-2025 Protection of trees on development sites.

The report will include:

- Botanical Names
- Diameter at Standard Height at 1.4 metres (DSH)
- Health, structure and form of each tree
- Notional Root Zone (NRZ) measurements
- Structural Root Zone (SRZ) measurements
- Impact assessment
- Retention value
- Amenity value
- Recommendations for tree protection zones
- Photographs of each tree

A total of 8 trees have been assessed in the preparation of this report.

- 8 located on the subject site



4. Methodology

A site inspection was conducted on 18 January 2026. The trees were assessed from the ground, and observations using standard methods of visual assessment criteria were incorporated. No probing, coring or testing of woody tissue occurred. No non-invasive root investigations were carried out.

Tree health was determined by:

Canopy density, extension growth, foliage size applicable to the species, colour, the presence of pest and disease and termite activity; the amount of deadwood, dieback throughout the crown, small branch twig dieback and the presence of epicormics.

Tree structure was assessed by:

Visual evidence of structural faults, potential points of failure, evidence of past poor pruning practices, physical and or storm damage.

The heights of the trees were estimated and the crown spread values or drawings are indicative of crown size only, not shape or form, trunk diameters were measured at breast height (DBH). The stem diameters above the root buttress (DAB) were determined using a measuring tape in accordance with **AS 4970 –2025 Protection of trees on development sites**.

Limitations

Where access to a tree was not possible or practical (generally the case for trees on adjoining property) height, width, and DSH, DAB were estimated

5. Report Preparation Documents

The following documents were viewed in preparation of this report:

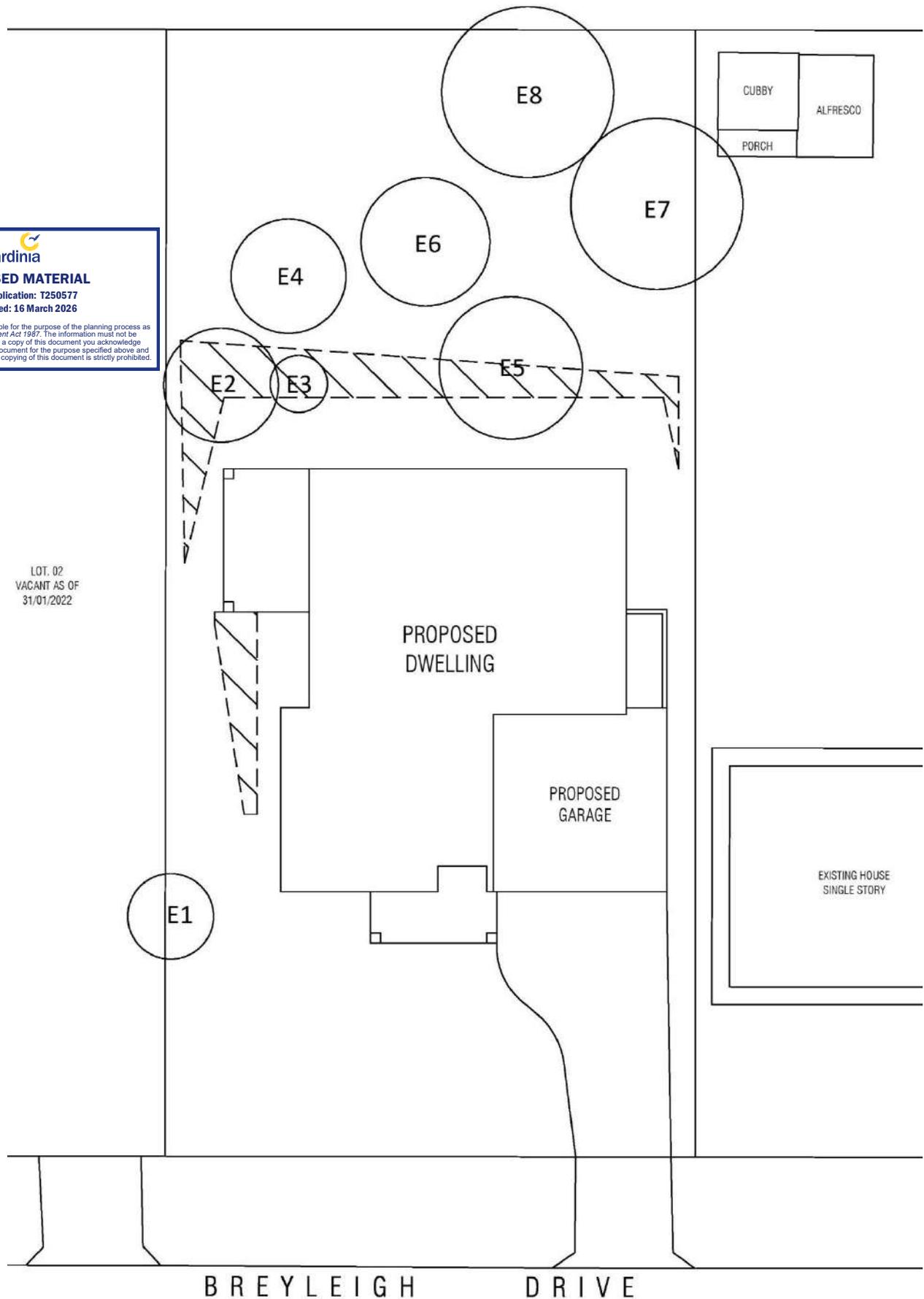
- Section 54 Request for Further Information, Cardinia Shire Council, Ref: T250577, dated 8/1/26
- Proposed Development Plans, (Najm Design & Build, Job No. 2025.ND.HN004, dated June 2025)
- Property Planning Report (VicPlan, dated 22/1/26).



6. Site Map



6.1 Site Map – Dwelling Location



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LOT, 02
 VACANT AS OF
 31/01/2022



7. Discussion

The proposed site cut envelope will occur within the trees E2 *Acacia decurrens*, E3 *Eucalyptus obliqua* and E5 *Acacia decurrens*.

The site cuts are outside all other assessed trees Notional Root Zone and as such the remaining trees will not be impacted by the proposed development.

Ecological value

At the time of the inspection there were no visible signs of hollows suitable as habitat for indigenous fauna. Hollow formation is dependent on a tree's history, its species and location. Generally, small hollows with narrow entrances suitable for small animals such as the eastern pygmy-possum (*Cercartetus nanus*), take about 100 years to form. Hollows of a medium size and suitable for animals such as parrots will take around 200 years to form, and the larger and deeper hollows occupied by larger animals can take a lot longer. (Mackowski 1984; Menkorst 1984; and Scotts 1991).

8. Specific Recommendations

- 1) Tree Protection Barriers to be erected prior to any construction beginning on the subject site on all trees located on the site or trees located in neighbouring where the NRZ encroaches onto the subject site. Refer to 10. Tree Protection Zone Fencing, for further guidelines.
- 2) All tree works to be performed to the AS 4373-2007 Pruning of amenity trees.
- 3) For this development to proceed with the proposed building plan then the following trees will need to be removed; E2, E3 and E5.



9. Tree Data

Tree Number: E1

Botanical Name: Eucalyptus obliqua
Common Name: Messmate Stringybark
Tree Type: Indigenous
Height: 5 metres
Width: 3 metres
DSH cm: 4
DAB: 5
Age: Juvenile
Health: Good
Structure: Good
Form: Good
SRZ Radius (m): 1.50
NRZ Radius (m): 2.00
ULE: > 20 years
Retention Value: Medium
Amenity Value: Very Low



Tree Number: E2

Botanical Name: Acacia decurrens
Common Name: Early Black-wattle
Tree Type: Indigenous
Height: 7 metres
Width: 4 metres
DSH cm: 15
DAB: 17
Age: Early-mature
Health: Good
Structure: Fair
Form: Fair
SRZ Radius (m): 1.57
NRZ Radius (m): 2.00
ULE: 10 – 20 years
Retention Value: Medium
Amenity Value: Medium



Tree Number: E3

Botanical Name: Eucalyptus obliqua
Common Name: Messmate Stringybark
Tree Type: Indigenous
Height: 6 metres
Width: < 2 metres
DSH cm: 10
DAB: 12
Age: Early-Mature
Health: Fair
Structure: Poor
Form: Fair
SRZ Radius (m): 1.50
NRZ Radius (m): 2.00
ULE: < 5 years
Retention Value: Nil
Amenity Value: Low



Tree Number: E4

Botanical Name: Acacia decurrens
Common Name: Early Black-wattle
Tree Type: Indigenous
Height: 6 metres
Width: 3 metres
DSH cm: 11
DAB: 12
Age: Semi-Mature
Health: Good
Structure: Good
Form: Good
SRZ Radius (m): 1.50
NRZ Radius (m): 2.00
ULE: 10 – 20 years
Retention Value: Low
Amenity Value: Medium



Tree Number: E5

Botanical Name: Acacia decurrens
Common Name: Early Black-wattle
Tree Type: Indigenous
Height: 6 metres
Width: 4 metres
DSH cm: 15
DAB: 17
Age: Semi-Mature
Health: Good
Structure: Good
Form: Good
SRZ Radius (m): 1.57
NRZ Radius (m): 2.00
ULE: 10 – 20 years
Retention Value: Medium
Amenity Value: Medium



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Tree Number: E6

Botanical Name: Acacia decurrens
Common Name: Early Black-wattle
Tree Type: Indigenous
Height: 6 metres
Width: 4 metres
DSH cm: 12
DAB: 15
Age: Semi-Mature
Health: Good
Structure: Fair
Form: Fair
SRZ Radius (m): 1.50
NRZ Radius (m): 2.00
ULE: 10 – 20 years
Retention Value: Medium
Amenity Value: Medium



Tree Number: E7

Botanical Name: Acacia decurrens
Common Name: Early Black-wattle
Tree Type: Indigenous
Height: 7 metres
Width: 6 metres
DSH cm: 28
DAB: 30
Age: Mature
Health: Good
Structure: Fair
Form: Fair
SRZ Radius (m): 2.00
NRZ Radius (m): 3.36
ULE: 10 – 20 years
Retention Value: Medium
Amenity Value: Medium


Tree Number: E8

Botanical Name: Eucalyptus spp.
Common Name: Gum Tree
Tree Type: Australian native
Height: 8 metres
Width: 6 metres
DSH cm: 45
DAB: 50
Age: Mature
Health: Very Poor
Structure: Fair
Form: Fair
SRZ Radius (m): 2.47
NRZ Radius (m): 5.40
ULE: 0 years
Retention Value: Nil
Amenity Value: Very Low


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10. Tree protection Zone Fencing



The Tree Protection Zone is a restricted zone usually delineated by protective fences (or using an existing structure such as a fence or wall) or other physical protection methods. The management of the TPZ shall commence prior to site establishment and continue until completion of the works.

Before any additional TPZ encroachment occurs, the encroachment shall be reviewed and confirmed to be acceptable to the project arborist and, if required, the relevant authority. Some works and activities within the TPZ may require the consent of the relevant authority.

Tree removal and pruning approved by the relevant authority should be carried out before the installation of tree protection measures.

Activities generally excluded from the TPZ

These include but are not limited to the following:

- (a) Excavation, cultivation or disturbance of the soil, including scraping of the surface.
- (b) Equipment and material storage.
- (c) Preparation of chemicals, including preparation of cement products.
- (d) Movement or parking of vehicles and plant.
- (e) Dumping of waste.
- (f) Spreading or stockpiling of fill.
- (g) Refuelling.
- (h) Washing down and cleaning of equipment or hard surfaces.
- (i) Fires.
- (j) Physical damage to the tree.

Activities specified in items (a) to (e) may be permitted with appropriate protection measures, as detailed in the TPS and TPP.



Protective fences

Fences should be erected before any machinery or materials are brought onto the site and before the commencement of works, including demolition, or in accordance with the TPS and as shown on the TPP. Once erected, protective fencing shall not be removed or altered without approval by the project arborist except in accordance with the TPS.

The fence should restrict access to the enclosed portion of the TPZ. Semi-permanent fences or options that make it difficult to move the fence should be considered where appropriate. AS 4687.2 specifies applicable requirements where temporary fence panels are used. Where semi-permanent fences are used, the posts should be driven into the soil 600 mm (1 000 mm in sand), and top rails should be used as required.

Existing perimeter fences and other structures may be used as part of the protective fence if suitable.



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1.1 Explanation of Terms

Tree Type

Indigenous	Occurs naturally in the area or region of the subject site
Victorian native	Occurs naturally within some part of the State of Victoria but is not indigenous
Australian native	Occurs naturally within Australia but is not a Victorian native or indigenous
Exotic	Occurs outside of Australia, can be evergreen or deciduous
Conifer	Classified as a gymnosperm
Palm	Woody monocotyledon

Age Class

Relates to the physiological stage of the tree's life cycle.

Juvenile	Sapling tree and/or recently planted. Approximately 5 or less years in location.
Semi-Mature	Tree in active growth phase of life cycle and not yet of an expected maximum physical size for location. A tree that has reached First Adult Form i.e. displays adult characteristics.
Early-mature	Tree established, generally growing vigorously. > 50% of attainable age/size.
Mature	The period of a plant's life cycle between maturity and death with a gradual deterioration in health occurs, significant decay generally present.

Health

Categorizes the health and growth potential of a tree.

Good	A tree that presents with a full, dense canopy, with no signs of pest or disease and strong vigour
Fair	A tree which may show signs of reduced vigour with some small diameter deadwood. It may have some pest or disease damage that is not causing a significant impact to the tree
Poor	A tree which may be in decline with little to no annual growth. Pests and disease may be widespread throughout the tree and/or dieback present, sparse canopy
Very Poor	A tree in significant decline showing no annual growth. Large sections of die-back are present and is very unlikely to recover
Dead	A tree with no signs of life and a completely dead canopy

Structure

Good	A tree with structure that is typical of its species with no defects such as decay, included bark, cracks, splits, tears outs. Generally, with a single defined trunk with secondary limbs presenting with good attachments
Fair	A tree with minor defects in its canopy but is generally free of any significant structural issues. Pruning may be required to fix minor defects. Its canopy will mostly be symmetrical and typical of its species.
Poor	A tree presenting with 1 or more defects such as included bark, codominant stems, poor attachments and may also have an atypical or asymmetrical canopy. The defects may be able to be rectified with pruning
Very Poor	A tree with significant defects related to its primary stem or secondary scaffold limbs that cannot be rectified with pruning or other measures. This removal of this tree may be required in the short term.
Hazardous	A tree with major defects that is likely to fail and should be removed as soon as possible



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Form

Good	A tree with a typical canopy shape for its species
Fair	A tree with a canopy presenting with signs of an altered shape such as a minor canopy bias, previous pruning or phototropic growth habit
Poor	A tree with a significantly atypical or altered shape

Useful Life Expectancy (ULE)

0 years	A dead, dying or dangerous tree with significant defects, poor health or requires removal in the short term
< 5 years	A poor example of the species that is in decline or will likely die or requires removal within 5 years
5 – 10 years	A tree in fair condition that contributes to the amenity of the landscape in which it is growing, can be retained with a tolerable level of management.
10 – 20 years	A tree in fair-good condition that contributes to the amenity of the landscape in which it is growing and can be retained with an appropriate level of management
> 20 years	A healthy tree in good condition that will contribute to the amenity of the landscape in which it is growing for at least another 20 years with an appropriate level of management

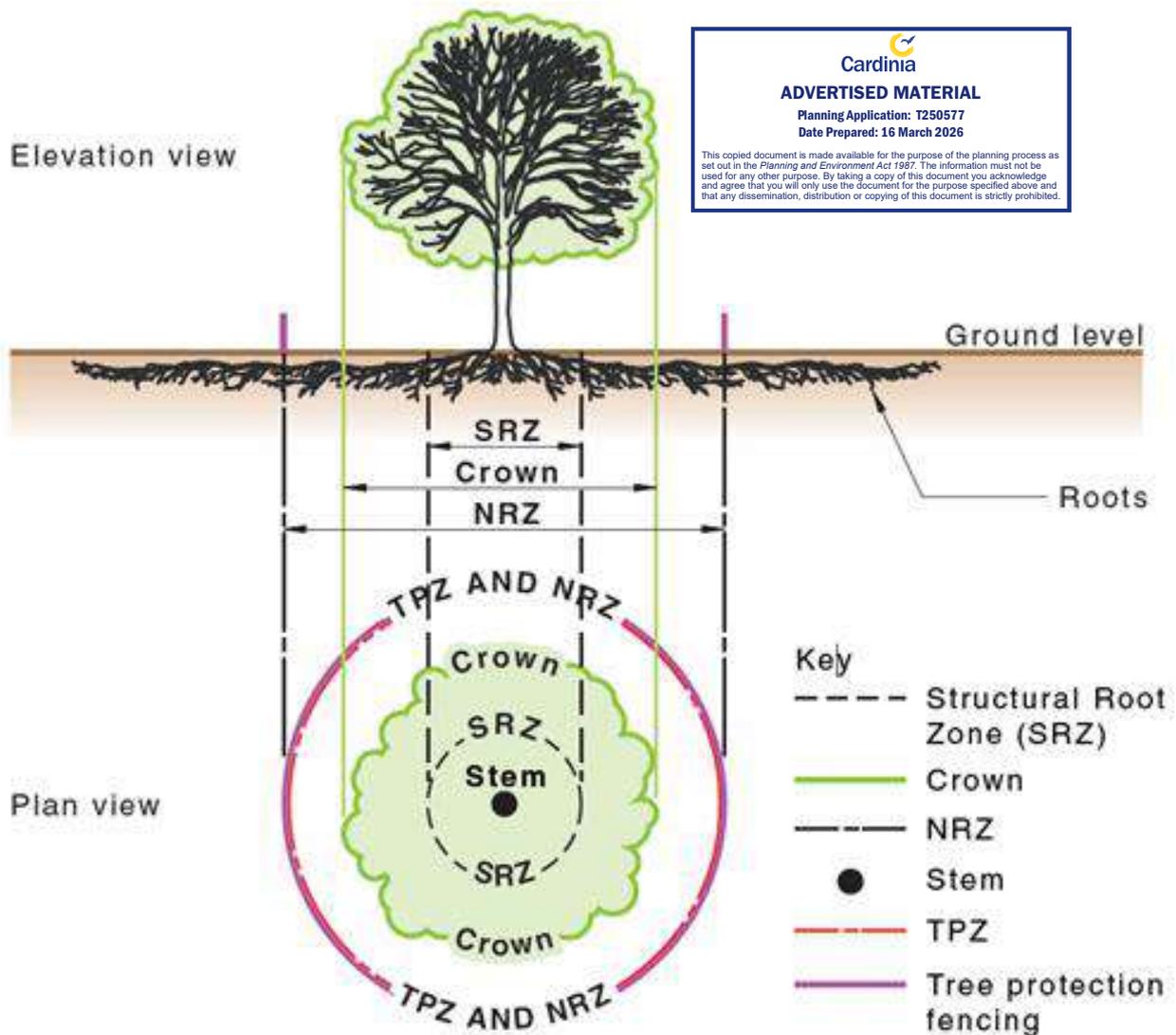
Retention Value

High	A mature tree that contributes positively to a site due to its botanical, historical or local significance in combination with good physiological characteristics such as health, form, structure and future development. Significant efforts should be made to retain this tree and it should be considered for retention within a proposed development
Medium	A semi-mature to mature tree which exhibits fair or good characteristics of health, structure or form and/or may provide some amenity value to the surrounding area or habitat value. Should be considered for retention if possible within a development design proposal and may be modified to allow for construction (eg: canopy pruning, root pruning etc)
Low	A tree that provides minimal contribution to the surrounding landscape and/or may be in poor or declining health. This tree may have a poor structure, poor form, be a noxious/poisonous or listed weed species or a combination of these characteristics. It may be in an inappropriate location. This tree is not worthy of being a constraint to a development design proposal
Nil	A tree with no landscape significance and its retention is inappropriate. The removal of this tree would be of benefit to the landscape

Amenity Value

Very Low	Tree makes little or no amenity value to the site or surrounding areas. In some cases the tree might be detrimental to the areas amenity value (e.g. unsightly, risk of weed spread)
Low	Tree makes some contribution of amenity value to the site but makes no contribution to the amenity value of surrounding areas. The removal of the tree may result in little loss of amenity. Juvenile trees, including street trees are generally included in this category. However, they may have the potential to supply increased amenity in the future
Medium	The tree makes a moderate contribution to the amenity of the site and/or may contribute to the amenity of the surrounding area
High	The tree makes a significant contribution to the amenity value of the site, or the tree makes a moderate contribution to the amenity value of the larger landscape





Structural Root Zone (SRZ)

The area around the base of a tree required for stability in the ground. Woody root growth and soil cohesion in this area are necessary to hold the tree upright. The SRZ is normally circular with the trunk at its centre and is expressed by its radius in metres. This zone considers a tree's structural stability only and not the root zone required to maintain vigour and long-term viability.

Notional Root Zone (NRZ)

A zone enclosed by a radius of 12 times DSH that is a primary trigger for arboricultural input on a development site

TPZ - Tree Protection Zone (TPZ)

A specified zone above and below ground and at given offsets from the trunk set aside to protect a tree's roots and crown where these might be damaged by development.



12. Assumptions and limiting conditions

- 1 The client acknowledges that by their nature trees are subject to a number of variables including the natural elements and disease, as well as variability in structural integrity. These variables cannot always be reliably foreseen or their effects predicted. Consequently, the client accepts and agrees that no liability can or shall be attributed to Bennett Tree Consulting for any loss or damage caused of whatsoever nature, whether directly or consequently resulting from the observations or recommendations contained in this Report or for any failure or omission on the part of Bennett Tree Consulting.
- 2 This Report has been prepared by Bennett Tree Consulting for the client for the purposes outlined by the client. It shall not be used by the client for any other purpose. It shall not be copied or made available by the client to any third party except in relation to the purpose for which it has been prepared.
- 3 The client acknowledges and agrees that Bennett Tree Consulting can, by these terms, rely upon and accept as correct any information given by or on behalf of the client to Bennett Tree Consulting without the need for Bennett Tree Consulting to verify or check that information.
- 4 The client further acknowledges and agrees that Bennett Tree Consulting can, by these terms, assume that the property and any activity proposed to be undertaken by the client or any third party in relation to it or the subject matter of the Report is not and will not be in violation of any applicable laws, by-laws, or regulations and all matters of title and ownership of any property relevant to the Report are in order and that Bennett Tree Consulting is not required to verify or check any such information.
- 5 Unless otherwise expressly stated in this Report:
 - i. this Report is based upon the condition of any items referred to in it at the time they were inspected
 - ii. inspections are limited to visual examination of accessible components without dissection, excavation or probing.
 - iii. there is no representation, warranty or guarantee, expressed or implied that defects, problems or deficiencies may not arise in the future in relation to the plants or property in question.
- 6 Sketches, diagrams, graphs and photographs used in this Report are intended only as visual aids, are not to be assumed to be to scale and should not be constructed as engineering or architectural reports or surveys.
- 7 Loss or alteration of any part of this Report shall invalidate the entire Report.
- 8 The client agrees and undertakes that it will not, and it will use its best endeavours to ensure that no third party shall require Bennett Tree Consulting to give testimony or to attend any court, tribunal or hearing in relation to this Report or the subject matter of it, without first entering into an agreement with Bennett Tree Consulting pursuant to which the client will pay the professional charges of Bennett Tree Consulting, as determined by it in its sole discretion, in relation to the giving of any testimony or any such attendance.
- 9 This Report and any values expressed herein are based upon and represent the professional opinion of Bennett Tree Consulting and the fee paid by the client for the Report is in no way contingent upon the reporting of a specified value, the occurrence of a subsequent event, nor upon any finding to be reported.
- 10 The client acknowledges that the fee charged by Bennett Tree Consulting for this Report has been based on acceptance and observance of these terms and conditions by the client. The client hereby agrees that it will indemnify Bennett Tree Consulting against any costs, expenses or liability incurred by Bennett Tree Consulting as a result of any breach of any of these terms and conditions by the client.

GENERAL NOTES

ALL MATERIALS & WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AND CURRENT AUSTRALIAN STANDARDS AS AMMENDED.

A.S.1288 - 2021 GLASS IN BUILDING - SELECTION AND INSTALLATION DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING

- A.S. 1562 - 2018 PART 1 METAL
- A.S. 1562 - 1999 PART 2 CORRUGATED FIBRE - REINFORCED
- A.S. 1562 - 2006 PART 3 PLASTICS
- A.S. 1684 - 2021 RESIDENTIAL TIMBER FRAMED CONSTRUCTION
- A.S. 1860 - 2006 INSTALLATION OF PARTICLE BOARD FLOORING
- A.S. 2049 - 2002 ROOF TILES
- A.S. 2050 - 2002 INSTALLATION OF ROOF TILES
- A.S. 2870 - 2011 (PT 1) RESIDENTIAL SLABS AND FOOTING
- A.S. 2904 - 1995 DAMP - PROOF COURSED AND FLASHING
- A.S. 3500 - 2003 NATIONAL PLUMBING AND DRAINAGE CODE
 - PART 3.2 STORM WATER DRAINAGE - ACCEPTABLE SOLUTIONS
- A.S. 3600 - 2018 CONCRETE STRUCTURES
- A.S. 3660 - 2014 TERMITE MANAGEMENT
- A.S. 3700 - 2018 MASONRY IN BUILDINGS
- A.S. 3740 - 2021 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDING
- A.S. 3786 - 2023 SMOKE ALARMS
- A.S. 4100 - 2020 STEEL STRUCTURES

- THESE DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWING/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

- REFER ENGINEERING DRAWING FOR STRUCTURAL DETAILS, SIZE AND BEAM LAYOUTS.

- ALL DIMENSION ARE TO BE CONFIRMED ON SITE BE OWNER AND BUILDER PRIOR COMMENCEMENT OF CONSTRUCTION.

- WATERPROOFING OF WET AREAS BEING BATHROOMS, SHOWERS, SHOWER ROOM, LAUNDRY, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH A.S. 3740 - 2021 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

- SMOKE ALARMS TO BE INSTALLED WITHIN 1500mm OF BEDROOMS.

- NO PORTION OF GARAGE TO ENCROACH PROPERTY BOUNDARY LINE.

- DOWN PIPES TO BE DETERMINED ON SITE BY PLUMBER AT Max.12000mm Ctrs.

- SITE LEVEL TO BE VERIFIED PRIOR TO EXCAVATION WORKS.

- SWD TO BE VERIFY ON SITE.

- ALL STORM WATER TO BE TAKEN TO LEGAL PONT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.

- WHERE THE BUILDING (EXCLUDED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK.

- ALL DESIGN INFORMATION SUPPLIED BY OTHERS, NAJEEM DESIGN DISCLAIM ANY BREACH OF COPYRIGHT THAT MAY HAVE BEEN INFRINGED.

- THESE PLAN HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLINT OF NAJEEM DESIGN FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USED OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

- EXCAVATIONS TO BE MINIMUM OF 600mm AWAY FROM TITLE BOUNDARY AND A MINIMUM OF 1000mm AWAY FROM RESIDENCE IF ENCROACHED A RETAINING WALL MAY BE NECESSARY.

- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATION AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORK. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

- THE BUILDER AND SUBCONTRACTORS SHALL ENSURE THAT ALL STORM WATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FORM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:

- (I) ALL ROOMS - WITHIN 500mm VERTICAL OF FLOOR LEVEL
- (II) BATHROOMS - WITHIN 1500mm VERTICAL FROM BATH BASE - WITHIN 500mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES
- (III) LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR LEVEL AND/OR WITHIN 300mm HORIZONTAL FROM ALL DOORS
- (IV) DOORWAY - WITHIN 300mm HORIZONTAL FROM ALL DOORS
- (V) ENSUITE - AS FOR (II) TO A GRADE SAFETY GLASS AS PER B C A 2019

- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSION

- SITE CLASSIFICATION CLASS" "AS PER SOIL TEST

- 90mm DIA. CLASS 6 UPVC STORM WATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000mm C/C AND AT EACH CHANGE OF DIRECTION.

- THE COVER TO UNDERGROUND STORM WATER DRAINS SHALL BE NOT LESS THAN:

- * 100mm UNDER SOIL
- * 50mm UNDER PAVED OR CONCRETE AREAS
- * 100mm UNDER UN - REINFORCED CONCRETE OR PAVED

- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:

- * RISER (R) 190mm MAXIMUM AND 115mm MINIMUM
- * GOING (G) 355mm MAXIMUM AND 240mm MINIMUM
- * 2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM
- * 125mm MAXIMUM GAP TO OPEN TREADS

- ALL TREADS, LANDING AND THE LIKE TO HAVE NON SLIP FINISH OR SUITABLE NON - SKID STRIP NEAR EDGE OF NOSING.

- PROVIDE BALUSTRADE WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BALUSTRADES (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:

- * 1000mm MIN. ABOVE FINISHED SURFACE LEVEL OF BALUSTRADES, LANDINGS TO THE LIKE, AND
- * 865mm MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
- * VERTICAL WITH A 125mm MAXIMUM GAP BETWEEN, AND
- * ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEED 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND OTHER/OR TREADS.

PROPOSED RESIDENCE at 28 BREYLEIGH DRIVE, PAKENHAM, VIC 3810 (LOT-01)



ADVERTISED MATERIAL

Planning Application: T250577
Date Prepared: 16 March 2026

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DRAWING SCHEDULE

A.000	COVER PAGE
A.101	PROPOSED SITE PLAN
A.201	PROPOSED LOWER FLOOR PLAN
A.201	PROPOSED UPPER FLOOR PLAN
A.301	PROPOSED ELEVATIONS
A.302	PROPOSED ELEVATIONS
A.401	PROPOSED ROOF PLAN
A.501	PROPOSED ELECTRICAL PLANS
A.601	PROPOSED DOOR & WINDOW SCHEDULE
A.701	PROPOSED SECTION-A
A.702	PROPOSED BALCONY DETAILS
A.703	PROPOSED DETAILS
A.704	PROPOSED DETAILS
A.705	PROPOSED DETAILS

All dimensions should be confirmed on site prior to commencement of set-out or construction.

Structural Certification is required in full.

All construction must adhere to relevant Australian standards and the BCA.

Do not scale from drawings.

Exact location of all above and underground services to be determined on site.

If Engineer is not notified in writing by client or contractor prior to set-out or construction, any costs incurred is the responsibility of the client or contractor.

For all structural members - footings, load-bearing walls, please refer to structural engineer's prepared structural documents.

All drawings are indicative.

PROJECT DETAILS

PROPOSED RESIDENCE

28 BREYLEIGH DRIVE, PAKENHAM,

VIC 3810 (LOT-01)

CLIENT DETAILS

DRAWING TITLE

COVER PAGE

DRAWN

ND

CHECKED

HN

DRAWING NUMBER

A.000

DRAWING SCALE

0.000

SHEET SIZE

A3

REVISION

1

PROJECT STAGE

BUILDING PERMIT

DATE

JUNE 2025

PROJECT NUMBER

2025.ND.HN004

NORTH

01

BUILDING PERMIT

NO

04

03

02

01

NO



NAJM
DESIGN
& BUILD

DESIGN
PERMIT
PREPARE

SITE INFORMATION

PROPOSED RESIDENCE	
GROUND FLOOR AREA	140.27 m ²
GROUND FLOOR RESIDENCE	140.27 m ²
GARAGE	37.95 m ²
PORCH	9.45 m ²
ALFRESCO	15.09 m ²
TOTAL GROUND FLOOR AREA	202.76 m ²
FIRST FLOOR AREA	
FIRST FLOOR RESIDENCE	111.19 m ²
BALCONY	8.58 m ²
TOTAL FIRST FLOOR AREA	119.77 m ²
SITE AREA	
SITE AREA	730.79 m ²
SITE COVERAGE	27.75 %

NOTES

- REFER ENG'S DRAINAGE FOR DETAILS.
- BUILDER TO VERIFY ALL LEVELS AND LEGAL POINT OF DISCHARGE STORM WATER DETAILS:
- 100mm PIPE TO BE USED WITH MINIMUM GRADE 1 IN 100.
- PIPE BEDDING SHALL BE 50mm COMPACTED GRAVEL, CRUSHED ROCK, SCREENING OR SAND.
- ALL PIPE TO SATISFY A.S CODES.
- STORM WATER PIPES OR INSPECTION OPENING (1.0S) ARE REQD AT EACH CHANGE OF DIRECTION OF GRADE.
- PIPES TO BE CLEAR OF EASEMENT AND BUILDING.
- PIPES UNDER PAVED AREAS SHALL NOT BE LESS THAN 300mm COVER.
- DRAINAGE SYSTEM TO BE COUNCIL APPROVED LEGAL POINT OF DISCHARGE.
- WITH EXTENSION OF THOSE PIPES MENTIONED ALL OTHER PIPES TO REMAIN AS EXISTING.
- ALL AGI DRAIN TO BE CONNECTED INTO EXISTING SWD SYSTEM VIA PIT. TO COUNCIL APPROVAL.

CONSTRUCTION

- DWELLING WILL HAVE A MINIMUM BUSHFIRE ATTACK LEVEL OF BAL - 29 THAT THE BUILDING WILL BE DESIGNED AND CONSTRUCTED TO IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.
- OUTBUILDING ARE TO BE GREATER THAN 10m FROM DWELLING AND EXEMPT FROM BAL REQUIREMENTS WITHIN THE BUILDING CODE OF AUSTRALIA.

NOTES

- DEPARTMENT OF TRANSPORT AND PLANNING CONDITIONS.
- THE CROSSOVER AND DRIVEWAY ARE TO BE CONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AND AT NO COST TO THE HEAD, TRANSPORT FOR VICTORIA.
 - THE DRIVEWAY, CROSSOVER AND ASSOCIATED WORKS MUST BE PROVIDED AND AVAILABLE FOR USE AND BE:
 - FORMED TO SUCH LEVELS AND DRAINED SO THAT THEY CAN BE USED IN ACCORDANCE WITH THE ENDORSED PLANS.
 - TREATED WITH AN ALL-WEATHER SEAL OR SOME OTHER DURABLE SURFACE.
 - DRIVEWAY MUST BE MAINTAINED IN A FIT AND PROPER STATE SO AS NOT TO COMPROMISE THE ABILITY OF VEHICLES TO ENTER AND EXIT THE SITE IN A SAFE MANNER OR COMPROMISE OPERATIONAL EFFICIENCY OF THE ROAD OR PUBLIC SAFETY.

NOTES

- THE WATER SUPPLY MUST MEET THE FOLLOWING REQUIREMENTS:
- 10,000 L STATIC SUPPLY.
 - BE STORED IN AN ABOVE GROUND WATER TANK CONSTRUCTED OF CONCRETE OR METAL.
 - ALL FIXED ABOVE-GROUND WATER PIPES AND FITTING REQUIRED FOR FIREFIGHTING PURPOSED MUST BE MADE OF CORROSIVE RESISTANT METAL.
 - INCLUDE A SEPARATE OUTLET FOR OCCUPANT USE.
 - PROVIDE CFA FITTING AND ACCESS:
 - INCORPORATE A BALL OR GATE VALVE (BRITISH STANDARD PIPE (BSP) 65mm) AND COUPLING (64mm CFA 3 THREAD PER INCH MALE FITTING)
 - ANY PIPEWORK AND FITTING MUST BE MINIMUM OF 65mm (EXCLUDING THE CFA COUPLING).
 - THE OUTLET/S OF THE WATER TANK MUST BE WITHIN 4m OF THE ACCESSWAY AND BE UNOBSTRUCTED.
 - BE LOCATED WITHIN 60mm OF THE OUTER EDGE OF THE APPROVED BUILDING.
 - BE READILY IDENTIFIABLE FROM THE BUILDING OR APPROPRIATE IDENTIFICATION SIGNAGE TO THE SATISFACTION OF CFA MUST BE PROVIDED.

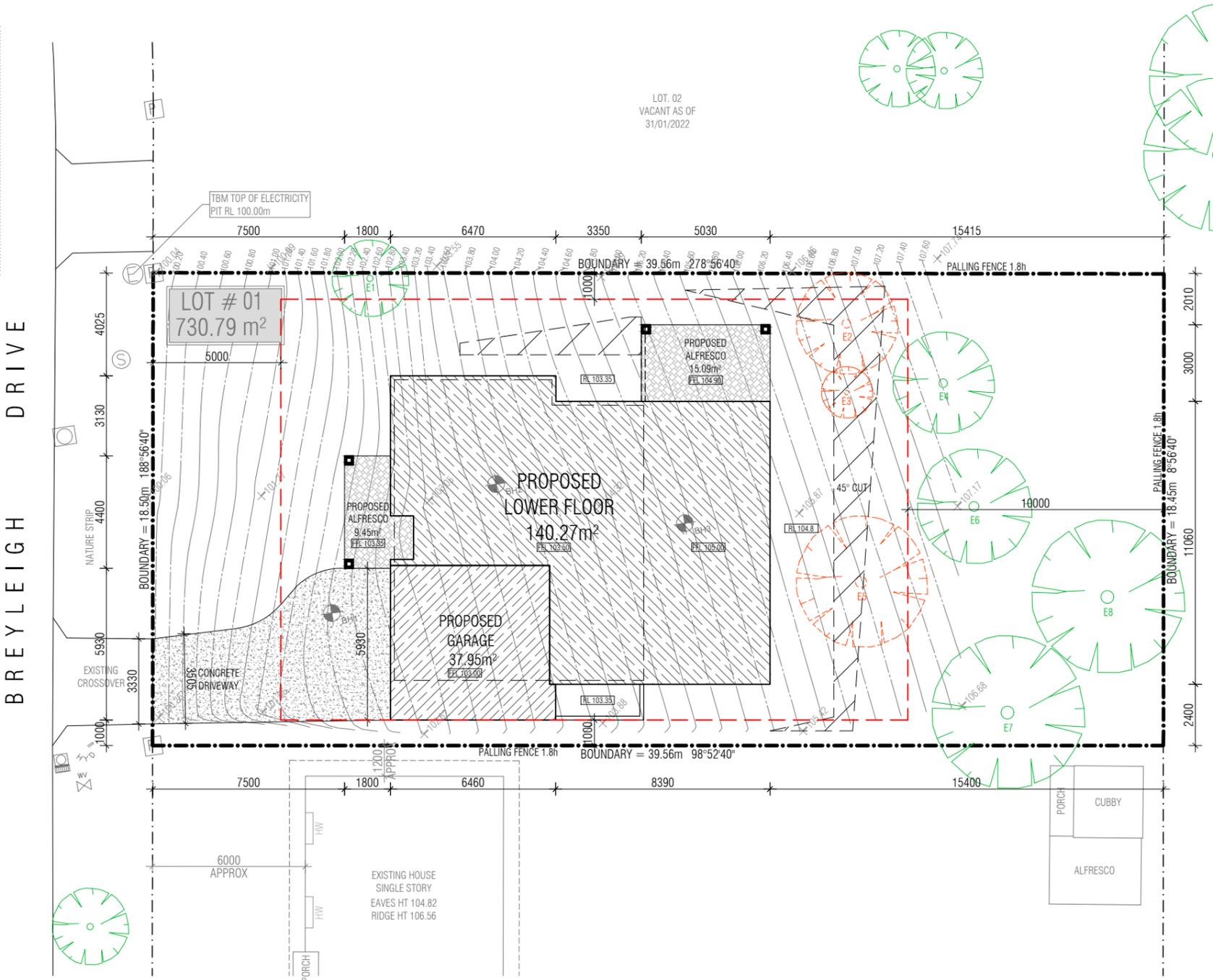
NOTES

- DEFENDABLE SPACE MANAGEMENT STANDARDS TABLE 6 TO CLAUSE 53.02-5 REQUIRES THAT DEFENDABLE SPACE IS PROVIDED AND IS MANAGED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- GRASS MUST BE SHORT CROPPED MAINTAINED DURING THE DECLARED FIRE DANGER PERIOD.
 - ALL LEAVES AND VEGETATION DEBRIS MUST BE REMOVED AT REGULAR INTERVALS DURING THE DECLARED FIRE DANGER PERIOD.
 - WITHIN 10 METERS OF A BUILDING, FLAMMABLE OBJECTS MUST NOT BE LOCATED CLOSE TO THE VULNERABLE PARTS OF THE BUILDING.
 - PLANTS GREATER THAN 10 CENTIMETERS IN HEIGHT MUST NOT BE PLACED WITHIN 3m OF A WINDOW OR GLASS FEATURE OF THE BUILDING.
 - SHRUB MUST BE LOCATED UNDER THE CANOPY OF TREES.
 - INDIVIDUAL AND CLUMPS OF SHRUBS MUST NOT EXCEED 5 SQ.METERS IN AREA AND MUST BE SEPARATES BY AT LEAST 5 METERS.
 - TREES MUST NOT OVERHANG OR TOUCH ANY ELEMENTS OF BUILDING.
 - THE CANOPY OF TREES MUST BE SEPARATED BY AT LEAST 5 METERS.
 - THERE MUST BE A CLEARANCE OF AT LEAST 2 METERS BETWEEN THE LOWEST TREE BRANCHES AND GROUND LEVEL.

Bushfire Management Statement: 341 Ringwood-Burandyke Road, Narandah

Table 1: Summary of Approved Alternative Measures to Clause 53.02

Approved/Alternative Measure	Relevant to proposal?	Met by proposal?	Further comments
AM 1.1	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
AM 1.2	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
AM 1.3	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
AM 2.1	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Can be met despite the higher risk landscape due to the infrastructure present.
AM 2.2	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Can be met through the sited position directly adjacent to a main road.
AM 2.3	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Can be met via a higher BAL rating to address a building fire and the single box design which should address ember attack.
AM 3.1	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Can be met with BAL-29 construction standards and 50m of defendable space (or to the property boundary, whichever is lesser).
AM 3.2	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	AM 3.1 applies.
AM 3.3	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
AM 3.4	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		No Alternative Measures are needed due to AM 3.1 being fully addressed.
AM 3.5	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
AM 3.6	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
AM 4.1	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Can be met via a 10,000L static water supply with CFA access and fittings.
AM 4.2	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		AM 4.1 applies.
AM 5.1	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
AM 5.2	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
AM 5.3	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Application does not include a substitute.
AM 5.4	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
AM 5.5	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		



BAL 29 Compliance Notes

- General Note (Cover Sheet or Site Plan)**
Bushfire Attack Level (BAL): This development is subject to BAL 29 under AS 3959-2018. All construction shall comply with AS 3959-2018, BAL 29 requirements. Refer to BAL assessment report [insert reference/report number].
- Key Annotations (Plans, Elevations, Sections)**
 - External cladding to be non-combustible and BAL 29 compliant as per AS 3959-2018.
 - Windows to be toughened safety glass with metal screens – BAL 29 compliant.
 - Roof sarking to be ember-resistant as required by AS 3959-2018.
 - Vents and weep holes protected by corrosion-resistant metal mesh ≤ 2 mm aperture – BAL 29.
- Materials & Window/Door Schedule Notes**

Element	Specification
External Walls	Fibre cement or metal cladding – BAL 29 compliant, non-combustible
Windows	Toughened glazing, metal-framed, fully screened with metal mesh ≤ 2 mm
Doors	Non-combustible or solid core timber, weather seals, screen doors (BAL 29 compliant)
Roof	Colorbond roof sheeting with fire-retardant sarking (Class 1 reflective foil)
Eaves	Non-combustible lining; sealed with ember-proof detailing
- Specification Sheet Note**
All construction is to comply with AS 3959-2018 for BAL 29, including:
 - Non-combustible cladding and roofing materials
 - Ember-proof venting and sealing of subfloors, eaves, and gaps
 - BAL-rated glazing, doors, and external attachments
 Refer to detailed BAL specification and material selections for full compliance.

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ADVERTISED MATERIAL

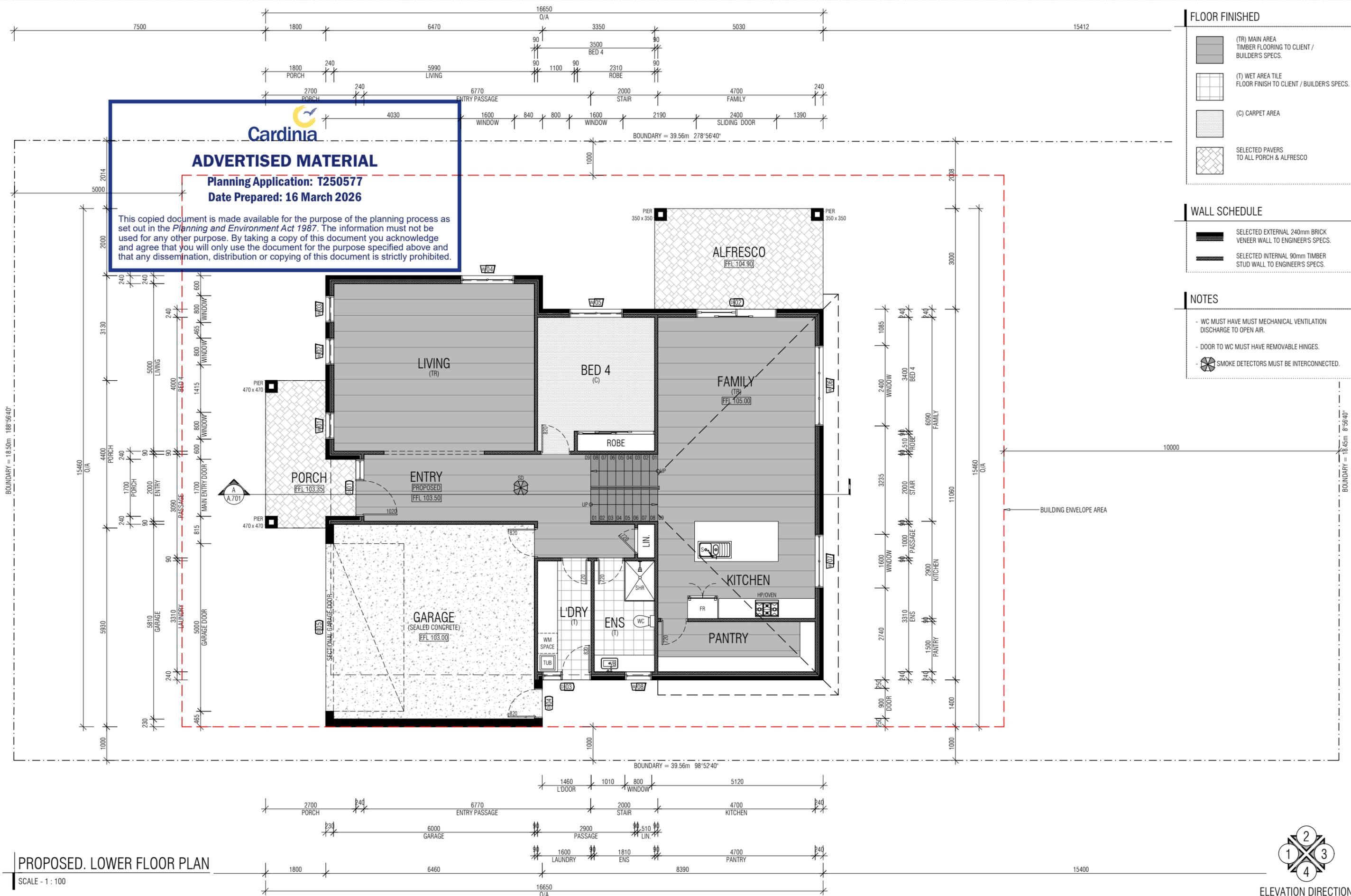
Planning Application: T250577
Date Prepared: 16 March 2026

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PROPOSED. SITE PLAN

SCALE - 1 : 200

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FLOOR FINISHED

- (TR) MAIN AREA
TIMBER FLOORING TO CLIENT /
BUILDERS SPECS.
- (T) WET AREA TILE
FLOOR FINISH TO CLIENT / BUILDERS SPECS.
- (C) CARPET AREA
- SELECTED PAVERS
TO ALL PORCH & ALFRESCO

WALL SCHEDULE

- SELECTED EXTERNAL 240mm BRICK
VENEER WALL TO ENGINEER'S SPECS.
- SELECTED INTERNAL 90mm TIMBER
STUD WALL TO ENGINEER'S SPECS.

NOTES

- WC MUST HAVE MUST MECHANICAL VENTILATION
DISCHARGE TO OPEN AIR.
- DOOR TO WC MUST HAVE REMOVABLE HINGES.
- SMOKE DETECTORS MUST BE INTERCONNECTED.

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ADVERTISED MATERIAL

Planning Application: T250577
Date Prepared: 16 March 2026

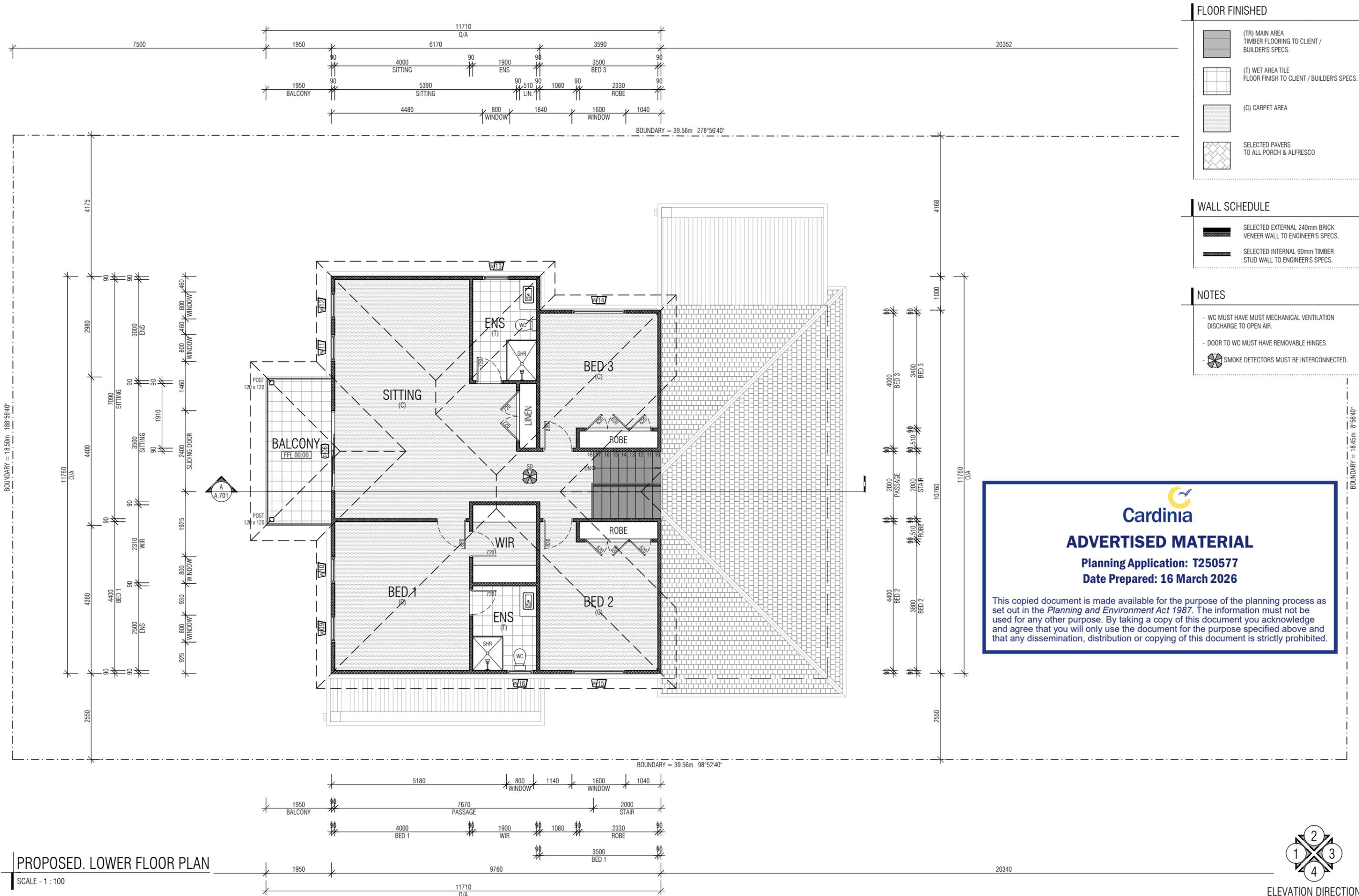
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PROPOSED. LOWER FLOOR PLAN

SCALE - 1 : 100



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	NAJIM DESIGN & BUILD 28 BREYLEIGH DRIVE, PAKENHAM, VIC 3810	NAJIM DESIGN & BUILD 28 BREYLEIGH DRIVE, PAKENHAM, VIC 3810										



FLOOR FINISHED

- (TR) MAIN AREA
TIMBER FLOORING TO CLIENT /
BUILDERS SPECS.
- (T) WET AREA TILE
FLOOR FINISH TO CLIENT / BUILDERS SPECS.
- (C) CARPET AREA
- SELECTED PAVERS
TO ALL PORCH & ALFRESCO

WALL SCHEDULE

- SELECTED EXTERNAL 240mm BRICK
VENEER WALL TO ENGINEER'S SPECS.
- SELECTED INTERNAL 90mm TIMBER
STUD WALL TO ENGINEER'S SPECS.

NOTES

- WC MUST HAVE MUST MECHANICAL VENTILATION
DISCHARGE TO OPEN AIR.
- DOOR TO WC MUST HAVE REMOVABLE HINGES.
- SMOKE DETECTORS MUST BE INTERCONNECTED.

Cardinia

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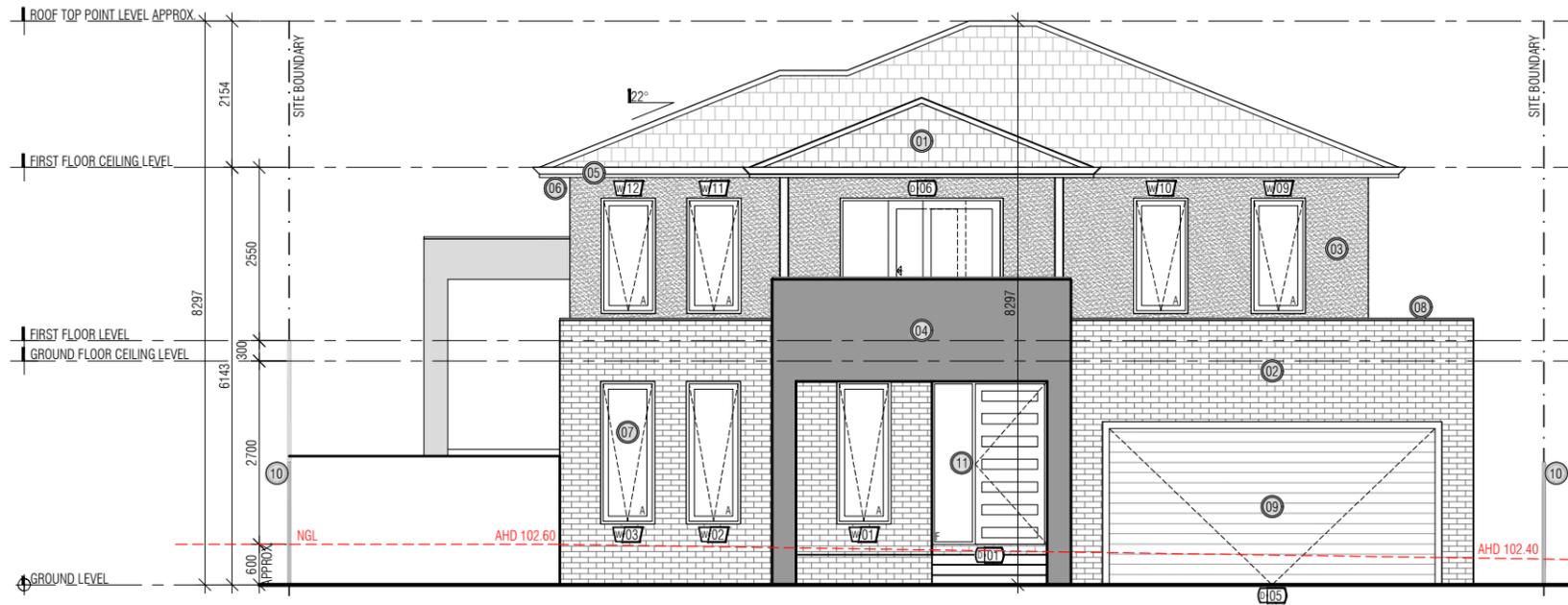
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PROPOSED. LOWER FLOOR PLAN
SCALE - 1 : 100



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REV	AMENDMENT DETAILS	BY	DATE																												
<p>NAJIM DESIGN & BUILD</p> <p>NAJIM DESIGN & BUILD</p>																															



PROPOSED. ELEVATION 1 (SOUTH)

SCALE - 1 : 100

FINISHED MATERIAL

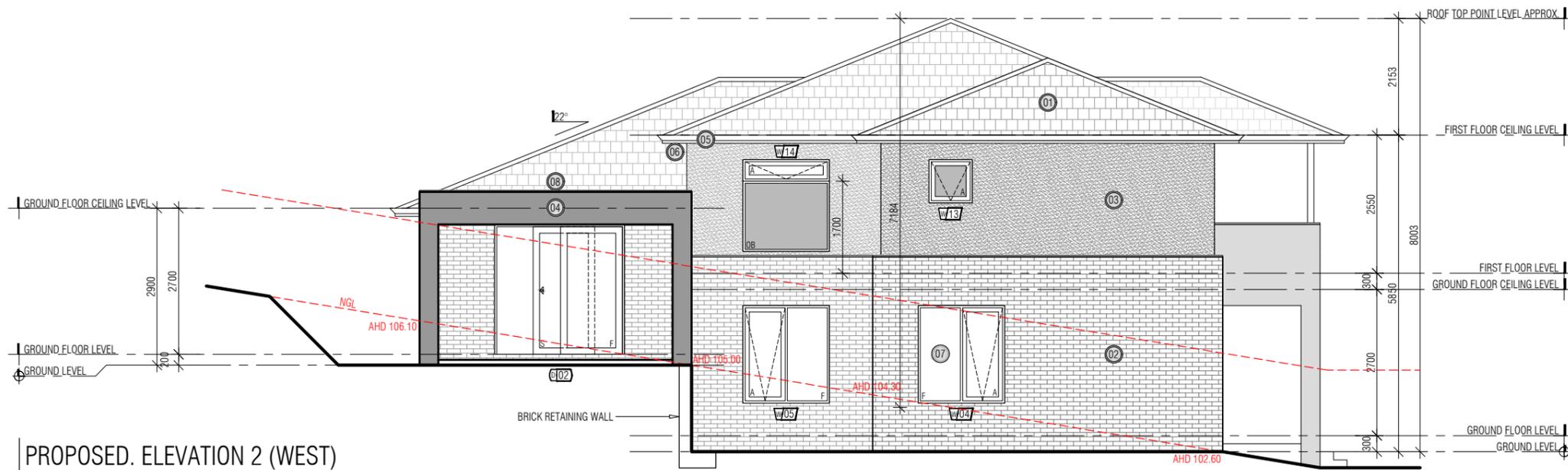
- 01 CEMENT ROOF TILES 22° PITCH
BORAL CLASSIC TILES "CHARCOAL COLOR"
- 02 FACE BRICK WORKS
AUSTRAL BRICK "ELEMENT ZINC"
- 03 75mm FOAM CLADDING RENDER FINISH
USE APPROVED SYSTEM
- 04 FEATURE RENDER FINISH
- 05 COLORBOND FASCIA & GUTTERS (WOODLAND GREY)
- 06 CEMENT SHEET EAVES 450w
- 07 ALUMINIUM WINDOWS
(COLORBOND WOODLAND GREY)
- 08 BRICK PARAPET WITH CAPPING
COLORBOND WOODLAND GREY
- 09 COLORBOND SECTIONAL GARAGE DOOR
(WOODLAND GREY)
- 10 PALLING FENCE 1800mm HIGH
- 11 FRONT DOOR (HUME NEWINGTON XN1- ROSE WOOD)
- 03 CONSTRUCTION JOINTS

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Planning Application: T250577
Date Prepared: 16 March 2026

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PROPOSED. ELEVATION 2 (WEST)

SCALE - 1 : 100

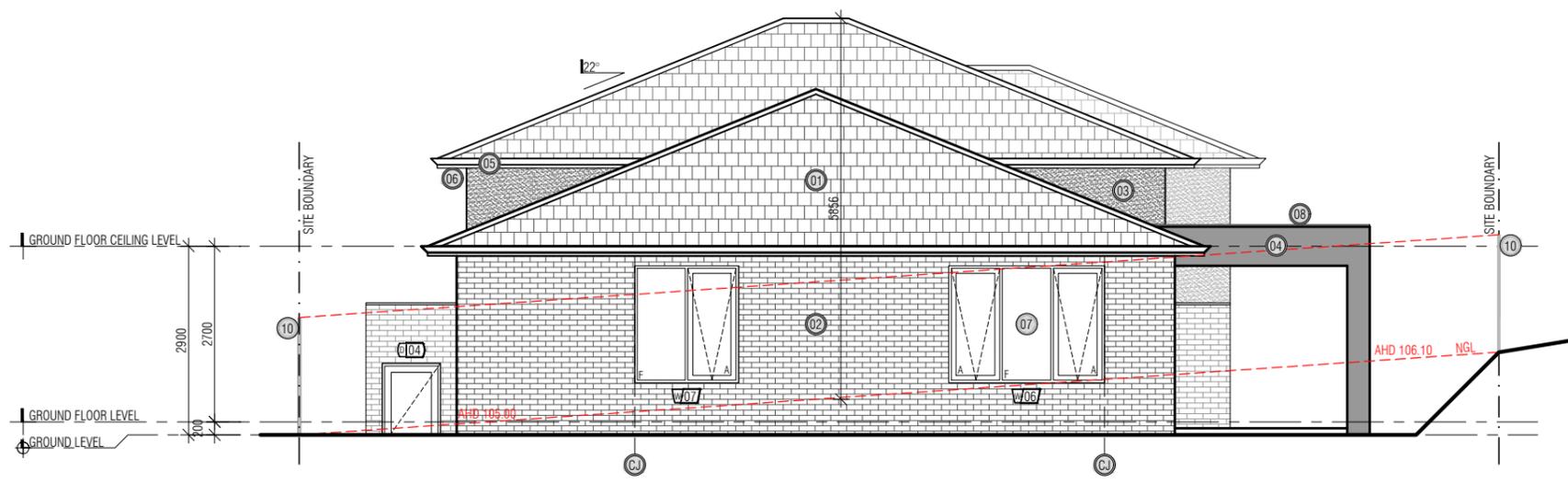
NAJAM & BUILD
 ARCHITECTS
 1/111 BARKER STREET, PAKENHAM VIC 3810
 PH: 03 5241 1111

PROJECT DETAILS		CLIENT DETAILS		DRAWING TITLE		DRAWING NUMBER	
PROJECT NO.	28 03 2026	CLIENT NAME	HURON	DRAWING TITLE	PROPOSED. ELEVATIONS (1 & 2)	DRAWING NO.	A.301
PROJECT NAME	PROPOSED RESIDENCE	CLIENT REF.		DRAWING DATE	JUNE 2025	CHECKED BY	HN
PROJECT ADDRESS	28 BREYLEIGH DRIVE, PAKENHAM, VIC 3810 (LOT-01)	CLIENT CONTACT		DRAWING SHEET	A3	DRAWING NUMBER	A.301
PROJECT DATE	16 MARCH 2026	CLIENT PHONE		DRAWING REVISION	1	DRAWING REVISION	1
PROJECT STATUS	BUILDING PERMIT	CLIENT EMAIL		DRAWING SCALE	1:100	DRAWING SCALE	1:100
PROJECT REF.	T250577	CLIENT REF.		DRAWING SHEET SIZE	A3	DRAWING SHEET SIZE	A3
PROJECT REF.	2025.ND.HND04	CLIENT REF.		DRAWING REVISION	1	DRAWING REVISION	1



FINISHED MATERIAL

- 01 CEMENT ROOF TILES 22° PITCH
BORAL CLASSIC TILES "CHARCOAL COLOR"
- 02 FACE BRICK WORKS
AUSTRAL BRICK "ELEMENT ZINC"
- 03 75mm FOAM CLADDING RENDER FINISH
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COLORBOND WOOD LAND GREY
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(WOODLAND GREY)
- 10 PALLING FENCE 1800mm HIGH
- 11 FRONT DOOR (HUME NEWINGTON XV1- ROSE WOOD)
- CJ CONSTRUCTION JOINTS



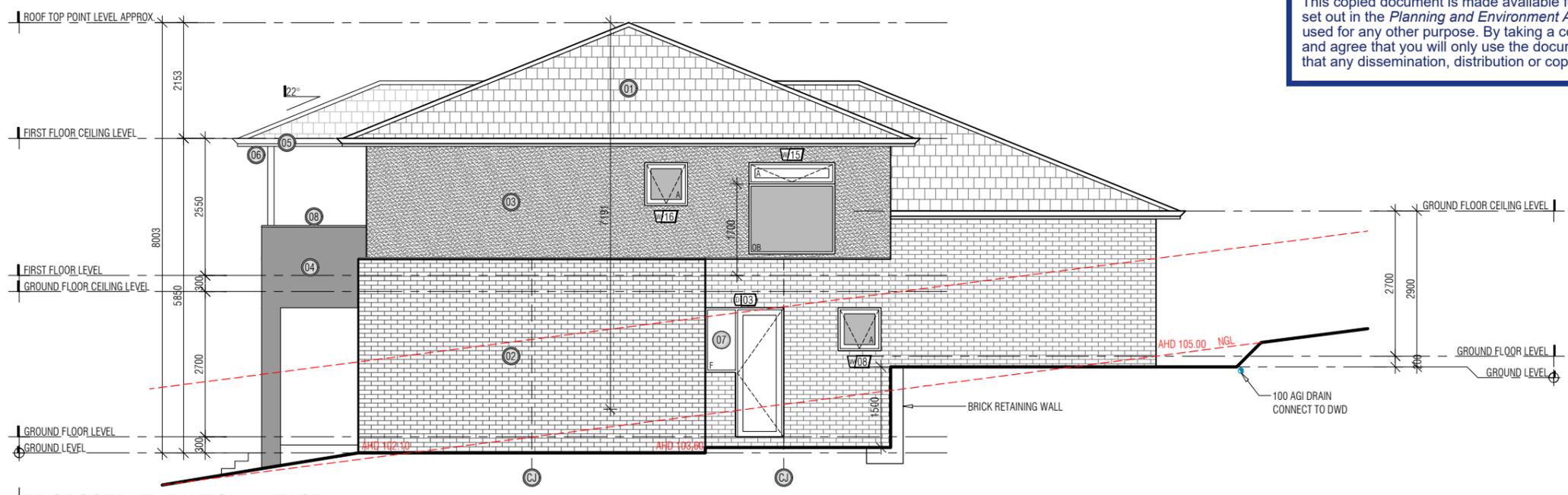
PROPOSED. ELEVATION 3 (NORTH)
SCALE - 1 : 100



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Date Prepared: 16 March 2026

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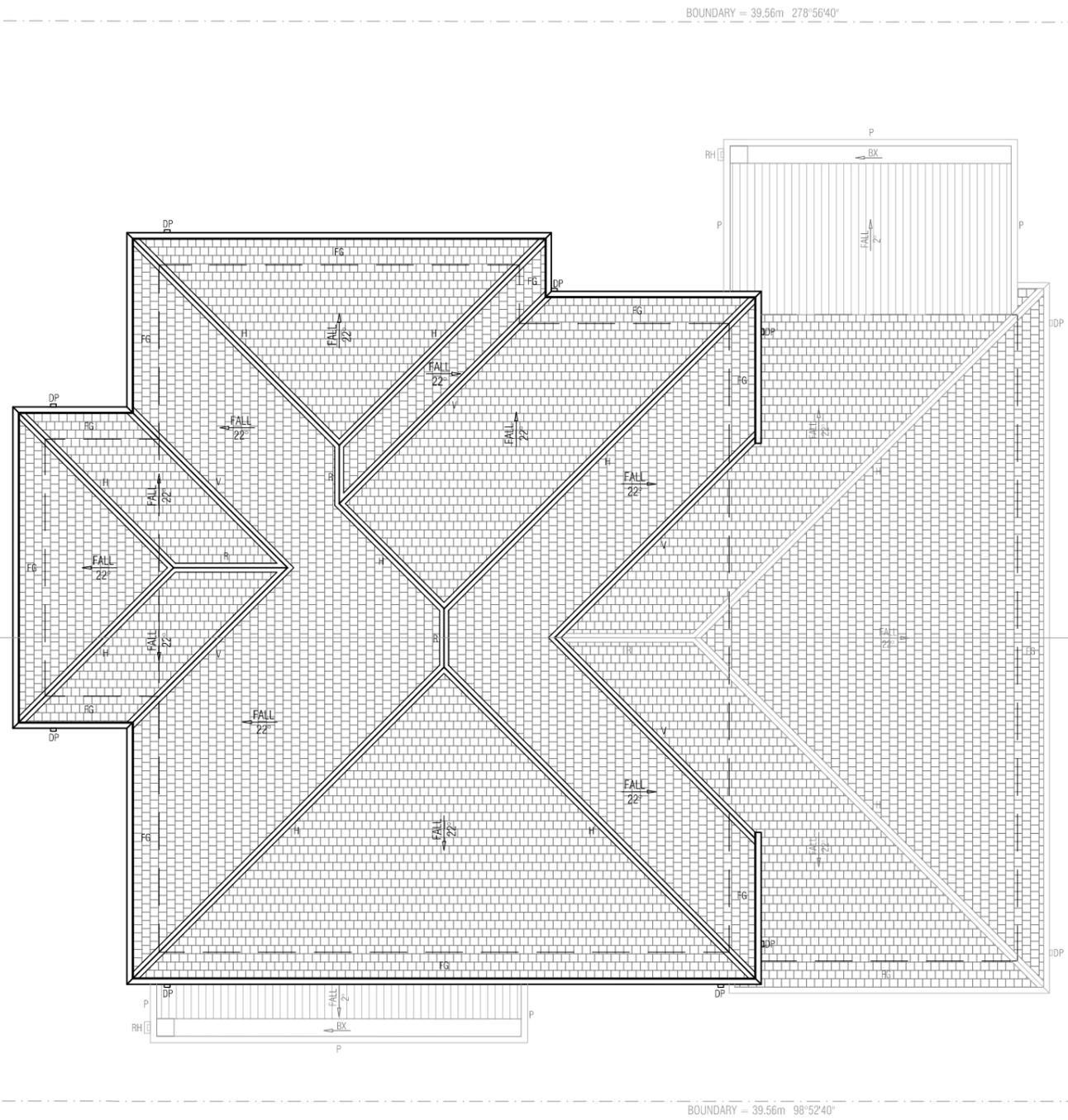


PROPOSED. ELEVATION 4 (EAST)
SCALE - 1 : 100

PROJECT DETAILS	PROJECT STAGE	BUILDING PERMIT	DATE	PROJECT NUMBER
PROPOSED RESIDENCE 28 BREYLEIGH DRIVE, PAKENHAM, VIC 3810 (LOT-01)	BUILDING PERMIT	BUILDING PERMIT	JUNE 2025	2025.ND.HND004
CLIENT DETAILS	DRAWING SCALE	SHEET SIZE	REVISION	
	1:100	A2	1	
DRAWING TITLE	DRAWN	CHECKED	DRAWING NUMBER	
PROPOSED ELEVATIONS (1 & 2)	ND	HN	A.302	

LEGEND

	CEMENT TILED ROOF 22° PITCH
	COLORBOND FASCIA & GUTTERS
	COLORBOND DOWN PIPES (100 x 50)
	RIDGE
	HIP
	VALLEY
	COLORBOND METAL DECK ROOF 2° FALL
	COLORBOND BOX GUTTER (300 x 100)
	COLORBOND RAIN HEADS
	PARAPET WITH COLORBOARD CAPPING





Cardinia

ADVERTISED MATERIAL

Planning Application: T250577

Date Prepared: 16 March 2026

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PROPOSED. ROOF PLAN

SCALE - 1 : 100



ELEVATION DIRECTION

All dimensions should be confirmed on site prior to commencement of set-out or construction.
 Structural Certification is required in full.
 All construction must adhere to relevant Australian standards and the BCA.
 Do not scale from drawings.
 Exact location of all above and underground services to be determined on site.
 If Engineer is not notified in writing by client or contractor prior to set-out or construction, any costs incurred is the responsibility of the client or contractor.
 For all structural members - footings, load-bearing walls, please refer to structural engineer's prepared structural documents.
 All drawings are indicative.

PROJECT DETAILS	CLIENT DETAILS
PROPOSED RESIDENCE 28 BREYLEIGH DRIVE, PAKENHAM, VIC 3810 (LOT-01)	

DRAWING TITLE
PROPOSED. ROOF PLAN

DRAWN	DRAWING SCALE
ND	1:100
CHECKED	SHEET SIZE
HN	A3
DRAWING NUMBER	REVISION
A.401	1

PROJECT STAGE	DRAWING SCALE
BUILDING PERMIT	1:100
DATE	SHEET SIZE
JUNE 2025	A3
PROJECT NUMBER	REVISION
2025.ND.HN004	1

NO.	DESCRIPTION	DATE
01	BUILDING PERMIT	28.01.2025
02	BUILDING PERMIT	07.01.2025
03	BUILDING PERMIT	28.10.2025
04	BUILDING PERMIT	12.09.2025
05	BUILDING PERMIT	15.08.2025
REV	AMENDMENT DETAILS	BY DATE

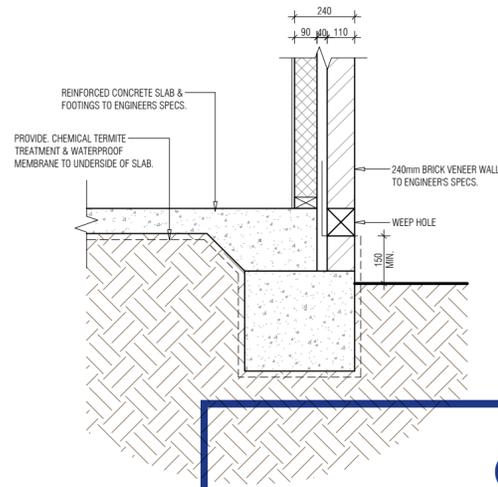


NAJM DESIGN & BUILD

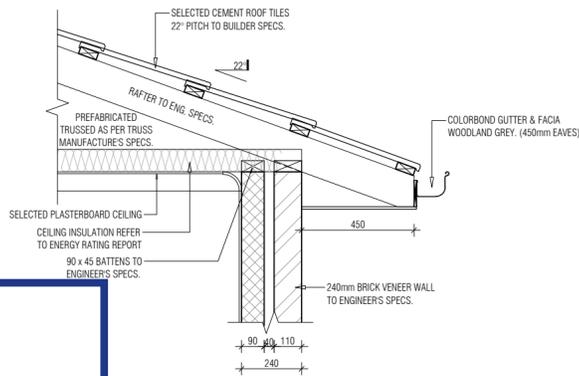
SALES AND SERVICE
 0438 461 000
 10/100 COLLEGE STREET
 MELBOURNE VIC 3000

NOTES

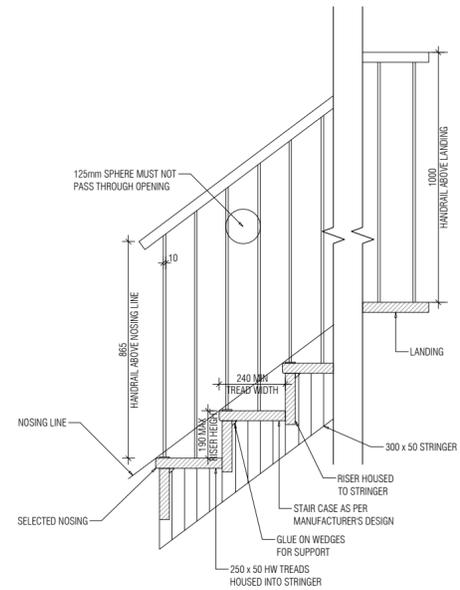
- ALL UPPER CLADDING TO BE 100 ORANGE BOARD RMAX APPROVED CLADDING SYSTEM RENDERED FINISH.
- 19mm YELLOW TONGUE FLOORING.
- TIMBER STAIRS TREADS 250
- RISERS MIN. 175 & MAX. 190.
- NON SLIP FINISHES TO BE PROVIDED TO ALL STEPS & LANDING.
- CONTINUOUS HAND RAIL ALONG STAIRS.
- GLASS BALUSTRADE MUST HAVE INTER LOCKING HAND RAILS.
- REFER ENG'S DRAWINGS FOR ALL STRUCTURAL DETAILS.
- REFER ENERGY RATING FOR INSULATIONS DETAILS.
- 90 x 45 MAPIO STUD 450 c/c TO LOAD BEARING WALLS.
- 90 x 35 MAPIO STUDS 600 c/c TO NON LOAD BEARING WALLS.
- 90 x 35 MAPIO NOGGINGS.
- 90 x 45 MAPIO TOP & BOTTOM PLATE.
- 2/90 x 45 MAPIO STUDS TO SIDE OF OPENING GREATER THAN 1200.
- 90 x 45 MAPIO JAMS STUDS.
- 10mm PLASTER BOARDS TO WALL CEILING'S 450 EAVES.
- ALL HEBLE WALLS TO BE RENDERED FINISHED.
- FLASHING TO ALL ROOF & WALLS JUNCTIONS.
- ALL PARAPET TO HAVE COLORBOND CAPPING.



PROPOSED DETAIL A
SCALE - 1 : 20



PROPOSED DETAIL B
SCALE - 1 : 20



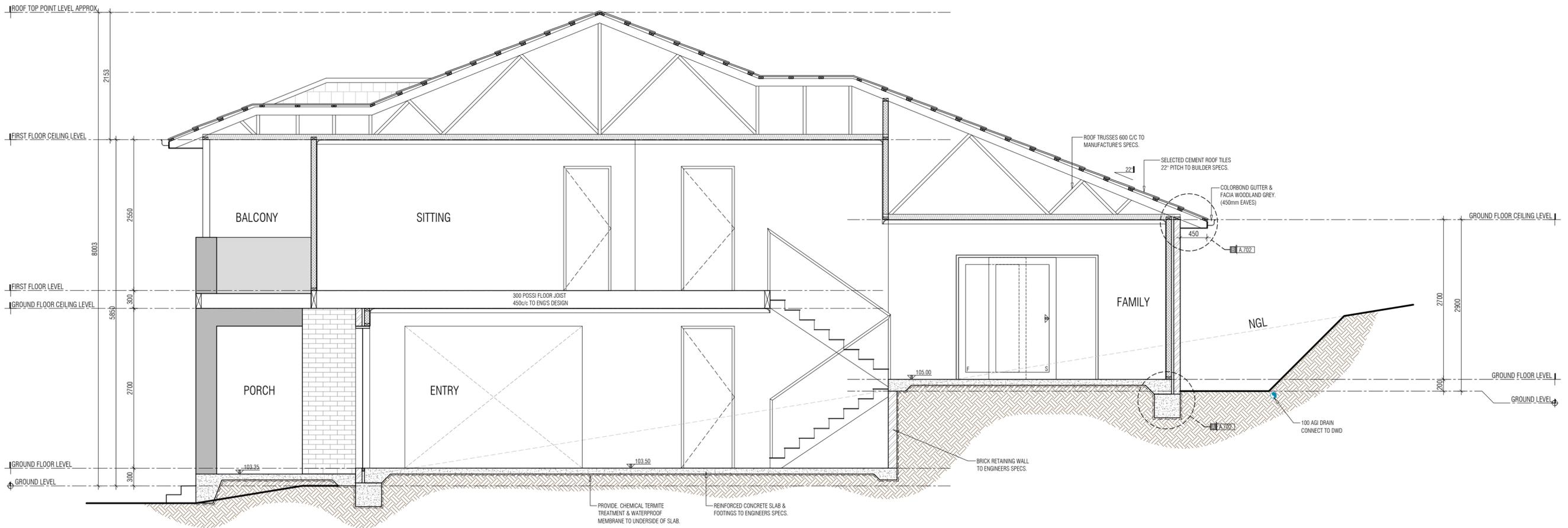
PROPOSED STAIR DETAIL
SCALE - 1 : 20



ADVERTISED MATERIAL

Planning Application: T250577
Date Prepared: 16 March 2026

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PROPOSED SECTION A
SCALE - 1 : 50

PROJECT STAGE: BUILDING PERMIT
DATE: JUNE 2025
PROJECT NUMBER: 2025-ND-HV004

DRAWING SCALE: AS SHOWN
SHEET SIZE: A2
DRAWING NUMBER: A.701

DRAWING TITLE: PROPOSED SECTION-A AND DETAILS

PROJECT DETAILS: PROPOSED RESIDENCE
28 BREYLEIGH DRIVE, PAKENHAM, VIC 3810 (LOT 01)

All dimensions should be confirmed on site prior to commencement of set out or construction.
Structural Certificate is required in Vic.
Do not scale from drawings.
Exact location of all above and underground services to be determined on site.
For all structural members - floorings, load-bearing walls, please refer to structural engineer's prepared structural documents.
All drawings are indicative.



ADVERTISED MATERIAL

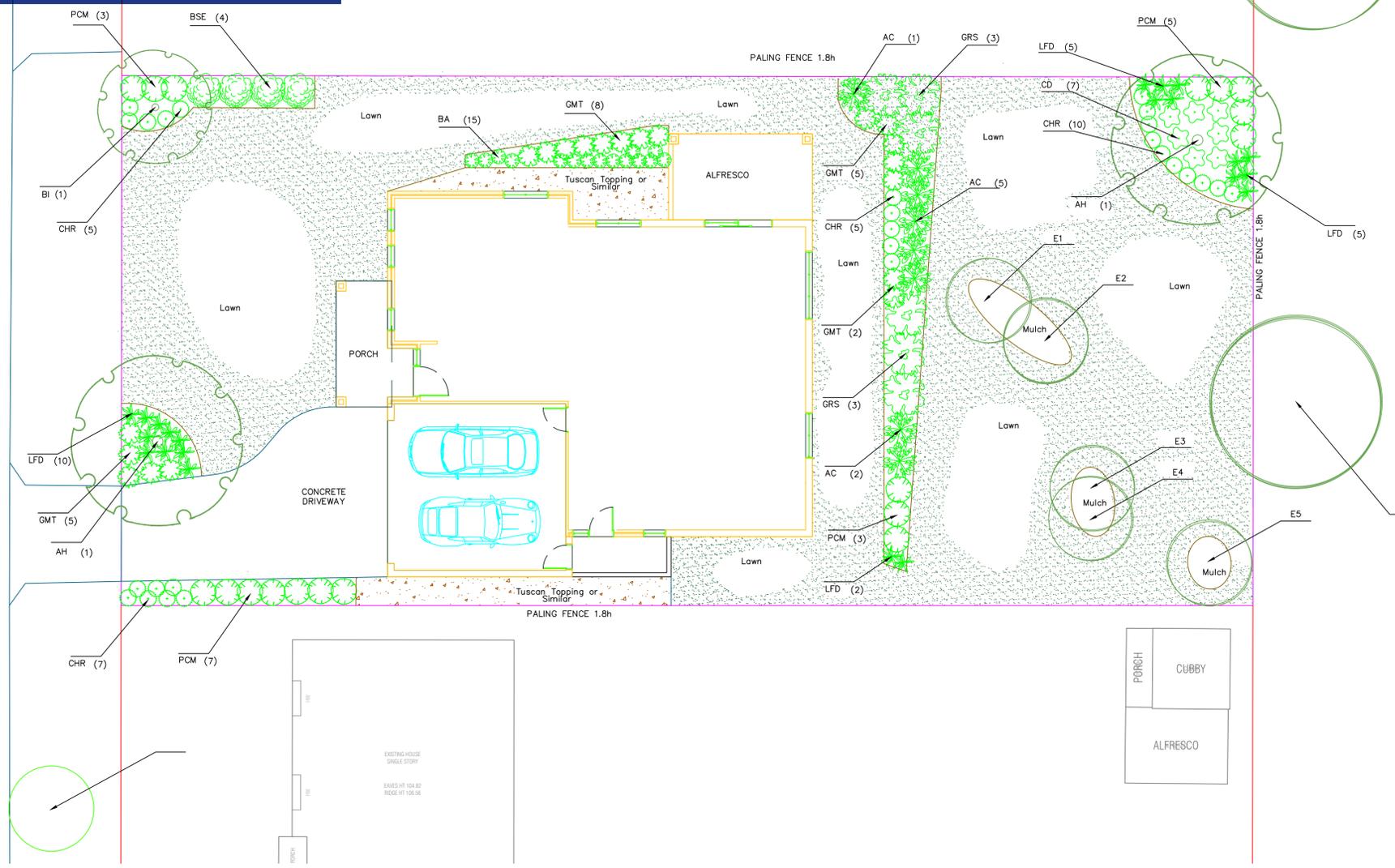
Planning Application: T250577
Date Prepared: 16 March 2026

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LOT 02 VACANT AS OF
31/01/2022

VACANT AS OF
31/01/2022

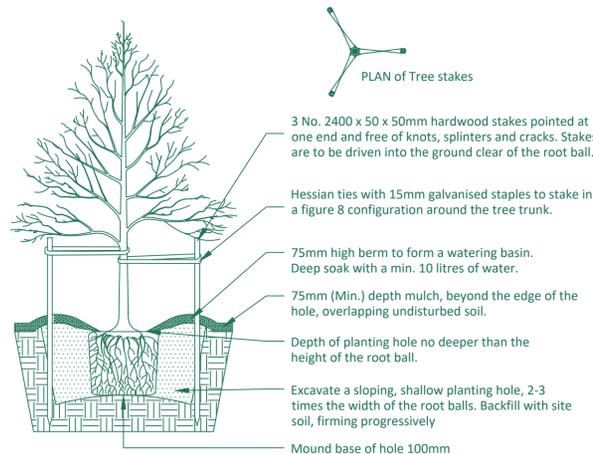
B R E Y L E I G H
D R I V E



PREPARING A GARDEN BED FROM A BUILDING SITE

- CLEANING**
Clean the site of debris and weeds. If soil is contaminated by paint or concrete wash - which shall be avoided - it must be dug out and removed. If in a tree protection zone (TPZ) - more reason to prevent - it shall be hand excavated to avoid cutting roots. The topsoil shall be replaced with site soil or imported topsoil that complies with AS 4419 - 2003
- GRADING AND DRAINAGE**
- In areas with existing topsoil that will be paved the topsoil can be excavated (unless in TPZs) and stockpiled - to be later used on garden beds.
 - Grade the area into garden beds (slightly higher) and lawn or gravel areas. Garden beds shall be edged with sustainably sourced materials eg treated pine.
 - Check the drainage of the area by running a sprinkler for 5 - 10 minutes (check water restrictions) and look where the water flows, noting any water tracks or ponding in areas. Adjust grading accordingly. Garden beds, paths and lawn or gravel areas shall all drain towards a drainage grate, pit or raingarden.
 - Drainage issues may be addressed by the creation of a swale, which can be covered with rock pieces or a sump pit filled with crushed rock wrapped in porous geotextile and covered with lawn or stones.
- IMPROVING SOILS**
- Existing garden beds can be prepared with added organic material such as well rotted manures or materials from plant and animal sources sold as soil improvers or compost and prepared to AS 4454 - 2003. These can just be top dressed (placed over the top of the soil) and then covered with mulch. If there is no existing topsoil left then imported topsoil that complies with AS 4419 - 2003 shall be used with organic mulch on top.
 - Hard clay sub soils can be fractured or ripped to break them up without destroying their structure. This can be done in small areas with vertical action by a garden fork or spade and subsequent placement of organic matter into the vertical spaces. This shall be top dressed with organic material and then mulch added over the top.
 - Soil excavation shall not be carried out in Tree Protection Zones.
 - Clay soils shall never be cultivated in any way when they are wet.
 - Use of plastic weed mats, solid or woven are inappropriate as they deprive soil of oxygen.

TREE PLANTING GUIDE



EXISTING PLANT MATERIAL

CODE	BOTANICAL NAME	COMMON NAME	DESCRIPTION
E1	<i>Acacia melanoxylon</i>	Black Wattle	Retain
E2	<i>Acacia melanoxylon</i>	Black Wattle	Retain
E3	<i>Acacia melanoxylon</i>	Black Wattle	Retain
E4	<i>Acacia melanoxylon</i>	Black Wattle	Retain
E5	<i>Acacia melanoxylon</i>	Black Wattle	Retain
E6	<i>Eucalyptus sp.</i>	Gum	Retain (N)
E7	<i>Acacia melanoxylon</i>	Black Wattle	Retain (N)

(N) = Neighbour's Tree (S) = Street Tree (W) = Weed Species

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	QTY	MATURE H x W	POT SIZE
TREES					
AH	<i>Angaphora hispida</i>	Dwarf Apple	2	8m x 6m	45cm
BI	<i>Banksia integrifolia</i>	Coast Banksia	1	10m x 4m	45cm
SHRUBS					
AC	<i>Acacia cognata</i> 'Mini Cog'	Mini Cog	8	.75m x 1.5m	20cm pot
BSE	<i>Banksia 'Sentinel'</i>	Sentinel	4	3m x 1m	20cm pot
GRS	<i>Grevillea</i> 'Superb'	Superb Grevillea	6	1.5m x 1.5m	20cm pot
PCM	<i>Prostanthera 'Cool Mint'</i>	Cool Mint	20	5m x 4m	20cm pot
GROUND COVERS & LOW SHRUBS					
BA	<i>Brachycome multifida</i>	Cut-Leaf Daisy	15	.3m x .75m	14 cm pot
CHR	<i>Chrysocephalum apiculatum</i>	Yellow Buttons	27	.5m x .7m	14 cm pot
CD	<i>Correa 'Dusky Bells'</i>	Dusky Bell Correa	7	.45m x 1.2m	14 cm pot
GMT	<i>Grevillea 'Mt Tambaritha'</i>	Woolly Grevillea	20	.15m x .8m	14 cm pot
TUSSOCKS / GRASSES / EVERGREEN PERENNIALS					
LFD	<i>Lomandra 'Fine and Dandy'</i>	Fine and Dandy	22	0.8m x 0.8m	14cm pot

TREE PROTECTION GUIDELINES

- The TPZ is an area isolated from construction disturbance - which includes excavation, compacted fill and machine trenching - so that the tree remains viable. Any root excavation within the TPZ shall be avoided and this is to be done during the design and planning stage.
- A protection barrier shall be set up around the trees to be retained. The fencing material is to be constructed of a galvanised steel mesh type of material. Fence height 2.1 metres. Concrete filled blow moulded fence feet are to be used as a base support so no protrusion into the soil will take place.
 - If temporary access is required through the TPZ, the area shall be covered by sheets of heavy plywood and reinstated immediately afterwards.
 - Any underground service installations shall be bored within the TPZ.
 - No fuel, oil dumps, chemicals, materials, equipment, vehicles or temporary buildings shall be allowed in the Tree Protection Zone. Nothing whatsoever shall be attached to any tree including wires, nails, screws or other devices.
 - Supplementary watering shall be provided to all trees throughout any dry or windy periods during and after the construction process.
 - Any pruning required must be carried out by a trained and competent Arborist to comply with Australian Standard AS 4373 -1996 Pruning of Amenity Trees.
 - Activities to be restricted within the TPZ and other notes are outlined in the Australian Standard AS 4970 - 2009 Protection of Trees on Development Sites

MAINTENANCE NOTES

- WATERING**
Plants shall be watered immediately after planting, then weekly for the first month, then fortnightly for the first 3 months. Watering is unnecessary if there has been enough recent rain. Additional watering is required on days over 30°C or high wind days. Drought tolerant species are selected but all plants will look better if given fortnightly irrigation over hot dry periods.
- WEEDING**
Removal of weeds by hand and/or by a glyphosate preparation once a month or as required. Take care to avoid spray drift and follow manufacturers' instructions.
- PRUNING**
Shrubs and young trees shall be pruned at 3 months, 6 months and then yearly for: dead, diseased, misshaped or crossed branches and general shaping. Young trees shall be pruned of competing stems to ensure a single main trunk. Stakes shall be removed after one year. Once established, trees shall be checked by a qualified Arborist for form and safety every 5 years.
- PEST AND DISEASE CONTROL**
Check plants for damage once a month and use relevant sprays to manufacturers specifications.
- FERTILISERS**
A general organic low phosphorous fertiliser shall be placed under mulch or incorporated into the soil with a vertical spade cut once every 6 months.
- LAWNS**
Mowing every 3 to 6 weeks, depending on time of year, rainfall and growth to 50mm height. Pest, weed control and fertilising with a liquid preparation once every 6 months.
- GENERAL**
Remove rubbish and replace dead plants with the same species. Maintain mulch levels
- EDGING**
All garden bed areas must be edged using brick, timber (renewable resource), High Density Poly Ethylene garden edging steel or aluminum.
- MULCH**
All garden beds must be mulched to a depth of 75mm - 100mm. Use a coarse grade organic mulch with a sustainably sourced material with an average particle size of 10mm.
- WEEDS**
All environmental weeds must be removed from the site prior to planting.

PROJECT TITLE

28 Breyleigh Drive
PAKENHAM

DRAWING TITLE
LANDSCAPE PLAN

PERMIT NO.
T250577

SCALE
1:100 - Paper A1

DATE
17 Nov 2025

CLIENT
NAJM DESIGN & BUILD SHEET 1 OF 1



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Design by: Susan Bennett