

Notice of an Application for an Amendment to a Planning Permit



The land affected by the application is located at:	L22 LP57185 V8392 F626 16 Lenne Street, Beaconsfield Upper VIC 3808
The application is to:	S72 Amendment to Planning Permit T220178 (Buildings and Works associated with the Construction of a Replacement Dwelling) to amend Endorsed Plans, Conditions and Preamble

APPLICATION DETAILS

The applicant for the amendment to the permit is:	
Application number:	T220178 - 1
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.	

HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	06 March 2026
WHAT ARE MY OPTIONS? Any person who may be affected by the proposed amendment to permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none">be made to the Responsible Authority in writing;include the reasons for the objection; andstate how the objector would be affected. The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



ADVERTISED MATERIAL

Planning Application: T220178-1

Date Prepared: 19 February 2026

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ePlanning

Application Summary

Portal Reference	D4254750
Reference No.	T220178-1

Basic Information

Cost of Works	4665,000
Site Address	16 Lenne Street Beaconsfield Upper VIC 3808

Documents Uploaded

Date	Type	Filename
06-12-2025	Additional Document	16 Lenne Street, Beaconsfield Upper VIC 3808 - AIA.pdf
06-12-2025	Additional Document	external materials spreadsheet.pdf
06-12-2025	Additional Document	LANDATA Copy of plan/Copy of subdivision.pdf
06-12-2025	Additional Document	LANDATA Copy of Title.pdf
06-12-2025	Additional Document	REV a TP 16 Lenne Street, Beaconsfield Upper, Vic 3808.pdf



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Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

Lodged By

Site User:

Submission Date:

06 December 2025 - 09:23:PM

Declaration

By ticking this checkbox, I declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre
(Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810
Email: mail@cardinia.vic.gov.au

Monday to Friday
8.30am-4.30pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



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5pm
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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 08392 FOLIO 626

Security no : 124128962713R
Produced 14/10/2025 01:25 PM**LAND DESCRIPTION**

Lot 22 on Plan of Subdivision 057185.
PARENT TITLE Volume 08390 Folio 123
Created by instrument B515419 01/02/1963

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP057185 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AZ329287D (E)	DISCHARGE OF MORTGAGE	Registered	30/06/2025
AZ329288B (E)	TRANSFER	Registered	30/06/2025
AZ329289Y (E)	MORTGAGE	Registered	30/06/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 16 LENNE STREET BEACONSFIELD UPPER VIC 3808

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END



Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	LP057185
Number of Pages (excluding this cover sheet)	1
Document Assembled	24/11/2025 21:19

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PLAN OF SUBDIVISION
PART OF CROWN ALLOTMENT II SECTION D
PARISH OF GEMBROOK

COUNTY OF MORNINGTON

VOL.7343 FOL.446

Measurements are in Feet & Inches

Conversion Factor

FEET x 0.3048 = METRES

COLOUR CODE

E-1 = EASE

APPROPRIATIONS
THE LAND COLOURED BLUE
IS APPROPRIATED OR SET
APART TO EASEMENTS OF
DRAINAGE AND SEWERAGE
AND IS 8 FEET WIDE

LIST OF MODIFICATIONS

APPROVAL DATE 5/12/04

LAND	MODIFICATION	DEALING NO.	DATE	A.R.T.	EDN. NO.
LOT 21	REMOVAL OF EASEMENT	WHITE ARMS 1980	6/6/91	W	1
		88E-15			

GOVERNMENT

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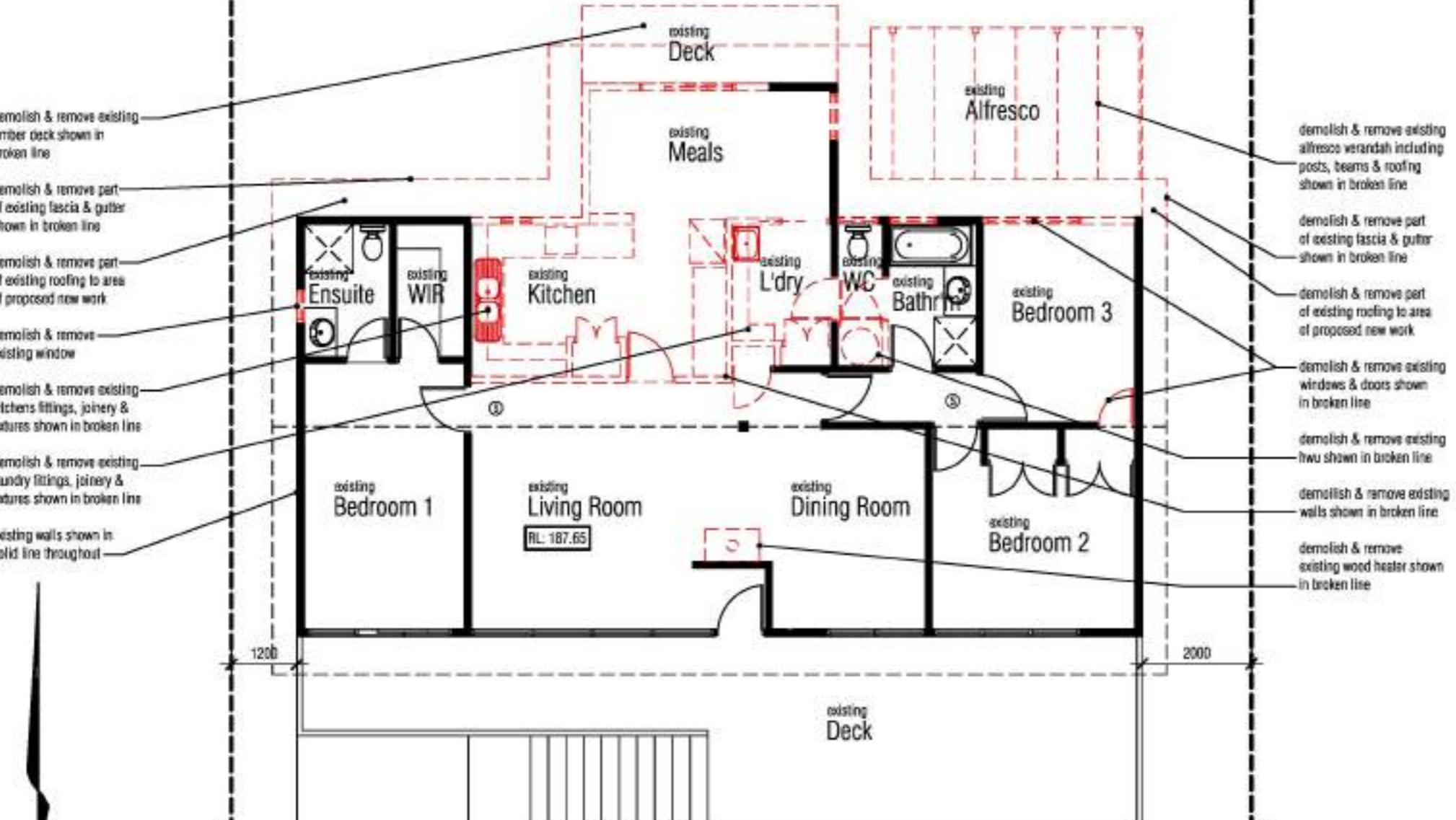
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27

Town Planning Drawings for Town Planning Approval

TOW 1



APPROVED
TRUE NORTH

Existing Conditions/Demolition Floor Plan

scale 1:100

Floor plan - 130.42m² - 14.03 squ
carport - 21.66m² - 2.33 squ
alfresco - 19.39m² - 2.08 squ
deck - 55.02m² - 5.92 squ

ADVERTISED MATERIAL

Planning Application: T220178-1
Date Prepared: 19 February 2026

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description date rev

note : demolish & remove all existing structures shown in broken line
ensure all roof loads are propped or supported on new walls and/or beams prior to removal of existing structure
walls shown in solid line denote existing walls to be retained
investigate existing roof structure on site & build in new structural components as required by AS 1684.2/2005 to support existing roof structure
provide smoke detectors to existing residence in full accordance with AS 3700, NCC 2022 & local council requirements
note : all existing measurements are approximate & to be verified & check measured on site prior to construction

notes
do not scale drawings
connector must verify all dimensions on site before
commencing any work or preparing any shop drawings
which must be approved by the architect before manufacture
any extra installing in work shown on this drawing
must be claimed and approved before proceeding

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abn 57 101 189 406

11 Bragg Road, Beaconsfield
Victoria 3807
mobile 0419 500 638
email capcompl@bigpond.net.au

proposed alterations & additions to existing dwelling at

16 Lenne Street, Beaconsfield Upper, Vic. 3808

for [REDACTED]

Existing Conditions/Demolition Floor Plan

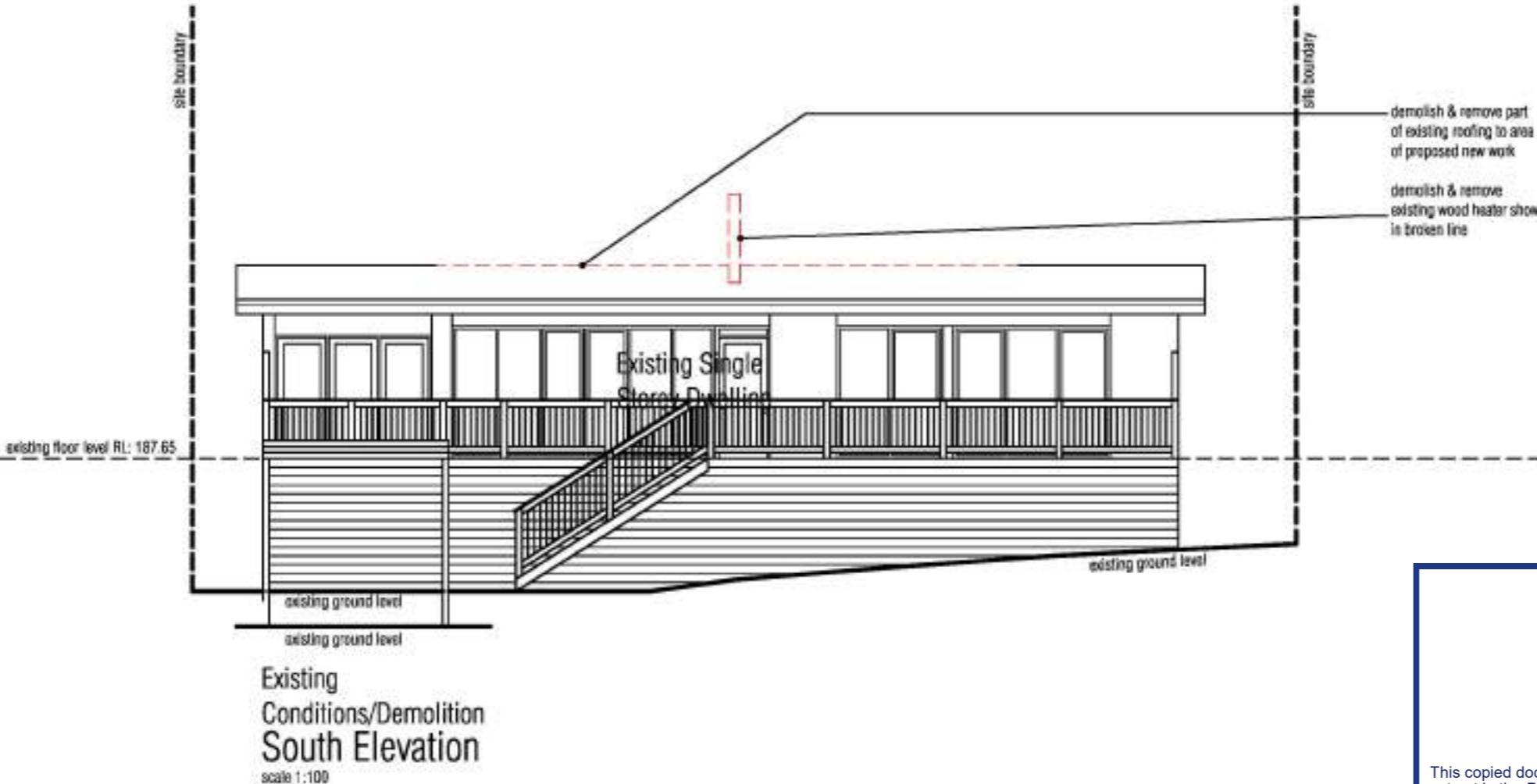
drawn [] pc scale 1:100 date Oct 2025 drawing no 1p22 project no jd2521

Town Planning Drawings for Town Planning Approval

REV 1

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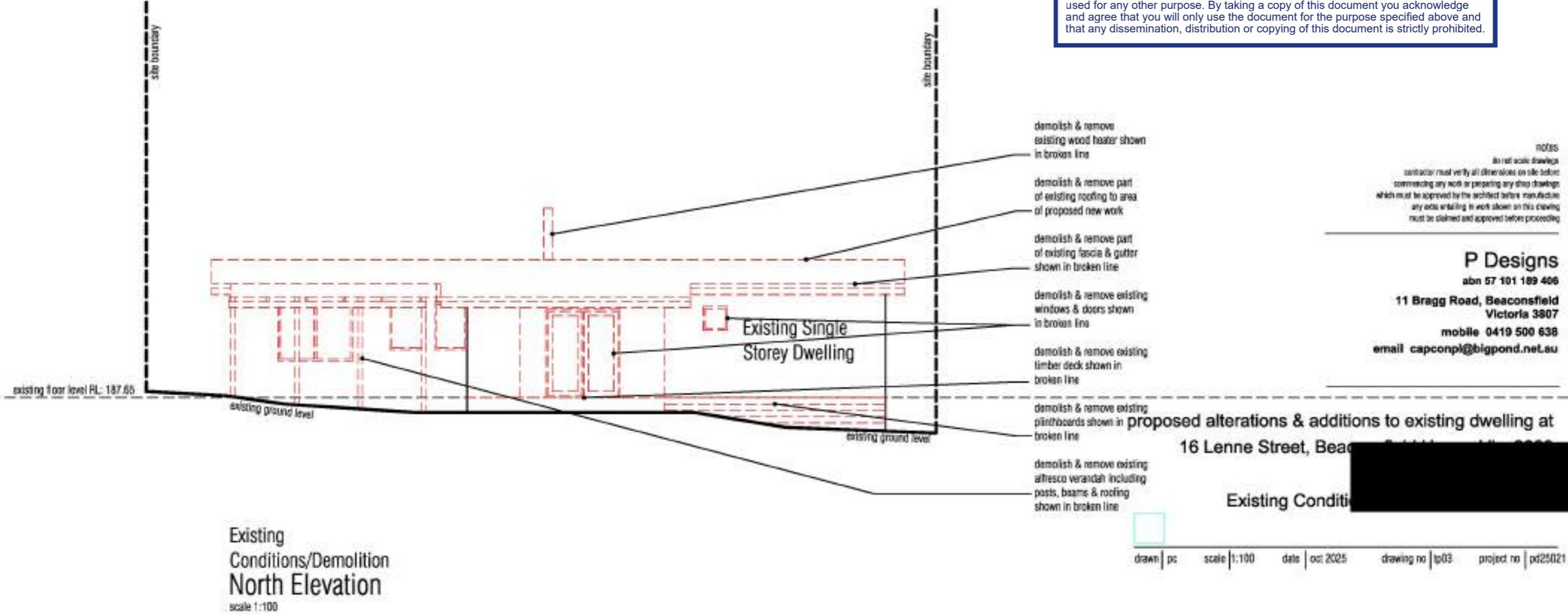
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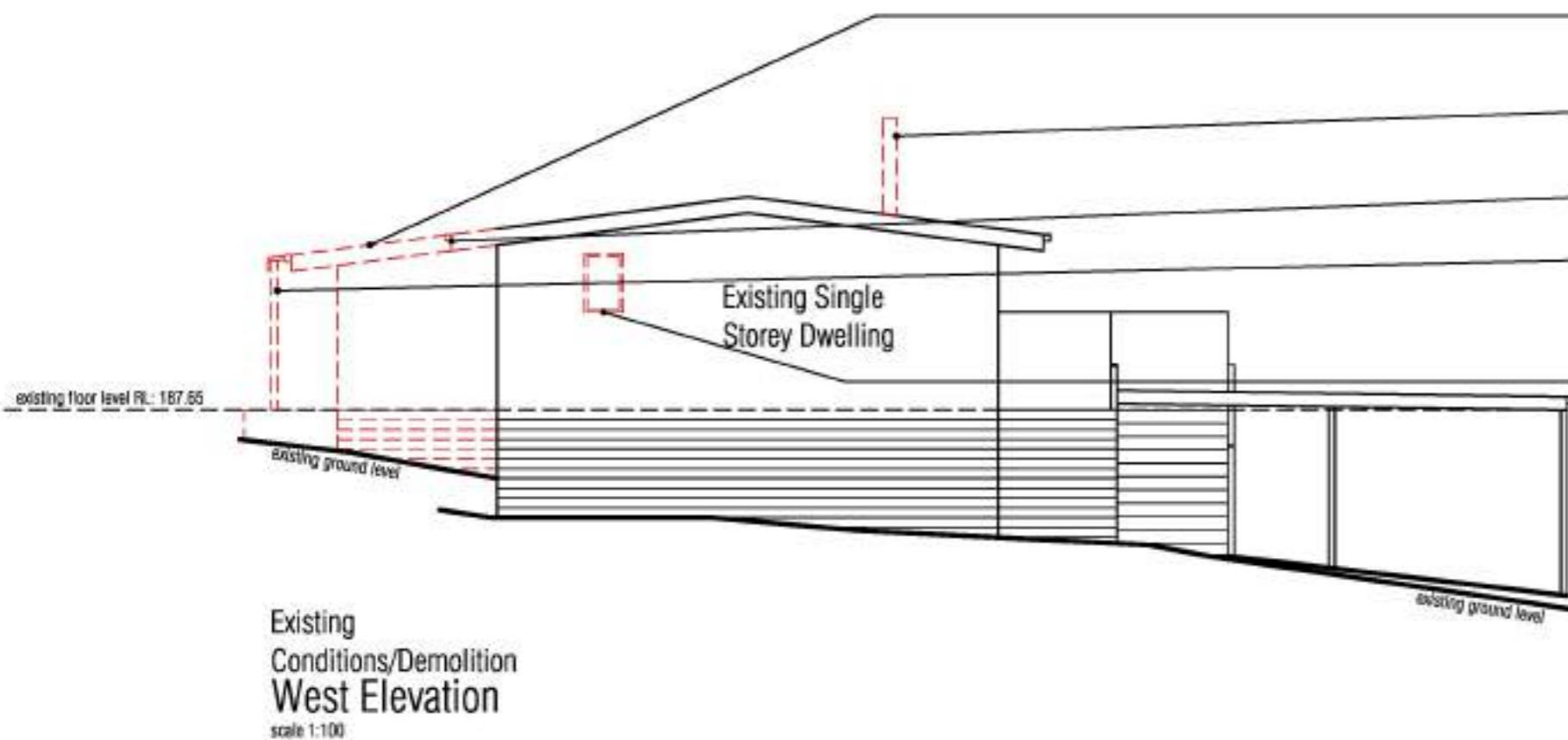
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Town Planning Drawings for Town Planning Approval

REV



Existing
Conditions/Demolition
West Elevation
scale 1:100

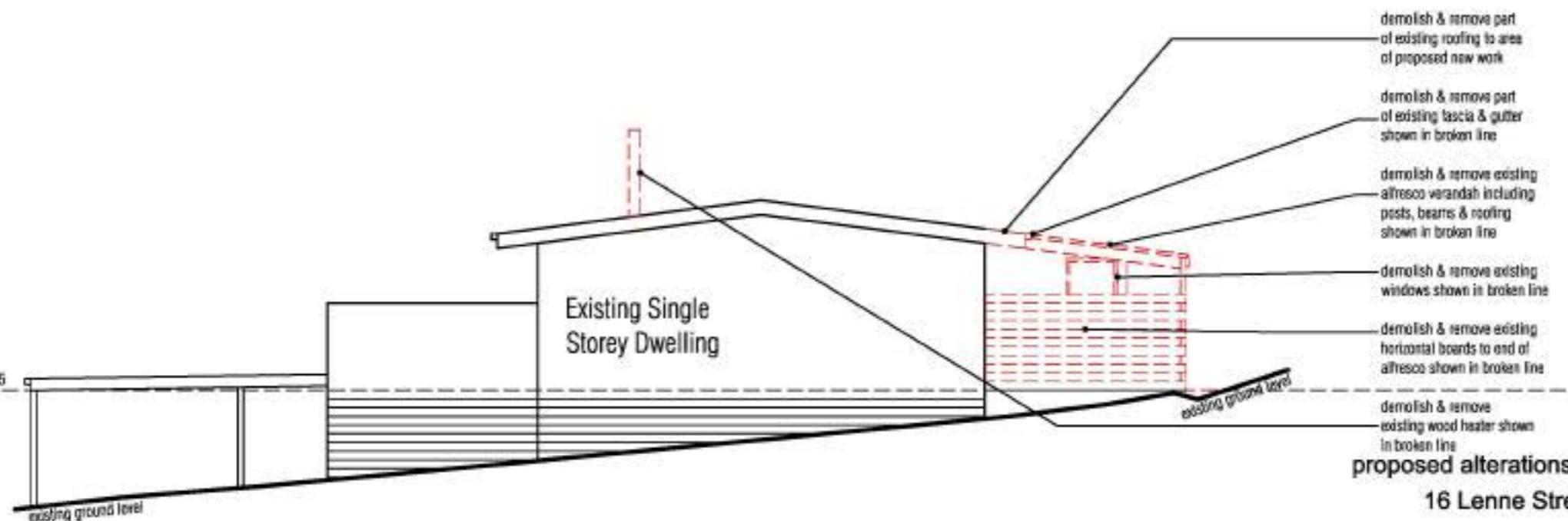
- demolish & remove part of existing roofing to area of proposed new work
- demolish & remove existing wood heater shown in broken line
- demolish & remove part of existing fascia & gutter shown in broken line
- demolish & remove existing al fresco verandah including posts, beams & roofing shown in broken line
- demolish & remove existing window shown in broken line



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Existing
Conditions/Demolition
East Elevation
scale 1:100

- demolish & remove part of existing roofing to area of proposed new work
- demolish & remove part of existing fascia & gutter shown in broken line
- demolish & remove existing al fresco verandah including posts, beams & roofing shown in broken line
- demolish & remove existing windows shown in broken line
- demolish & remove existing horizontal boards to end of al fresco shown in broken line
- demolish & remove existing wood heater shown in broken line

NOTES
do not scale drawings
contractor must verify all dimensions on site before
commencing any work or preparing any shop drawings
which must be approved by the architect before manufacture
any area entailing in work shown on this drawing
must be claimed and approved before proceeding

P Designs

abn 57 101 189 406

11 Bragg Road, Beaconsfield
Victoria 3807

mobile 0419 500 638

email capconpl@bigpond.net.au

proposed alterations & additions to existing dwelling at
16 Lenne Street, Beaconsfield Upper, Vic. 3808

Existing Conditions/Demolition Elevations

drawn | ps | scale | 1:100 | date | oct 2025 | drawing no | tp04 | project no | pd25021

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description	date	rev

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STONEY CREEK ROAD

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description date rev

rev

A

Proposed Site Area Analysis

Site Area = 1144m²

Area Schedule	
Name	Area
Proposed dwelling	156.98m ²
Proposed steps	12.28m ²
Existing porches	42.9m ²
Existing decks	55.02m ²
Existing sheds	41.36m ²
Total Proposed Gross Floor Area	308.55m²
Existing permeable area incl. paths, grass, etc.	835.45m ²
% Existing site coverage (308.55m ²)	26.97%
% Existing permeable area (835.45m ²)	73.02%
Saturated Private Open Space	238.56m²

FINN'S SECRET

TBM spike
RL 180.12m AHD

NOTES
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Contractor must verify all dimensions on site before
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abon 57 101 183 406

11 Braag Road, Beaconsfield

Victoria 3807

mobile 0419 500 638

email: capcompig@ponto.net.au

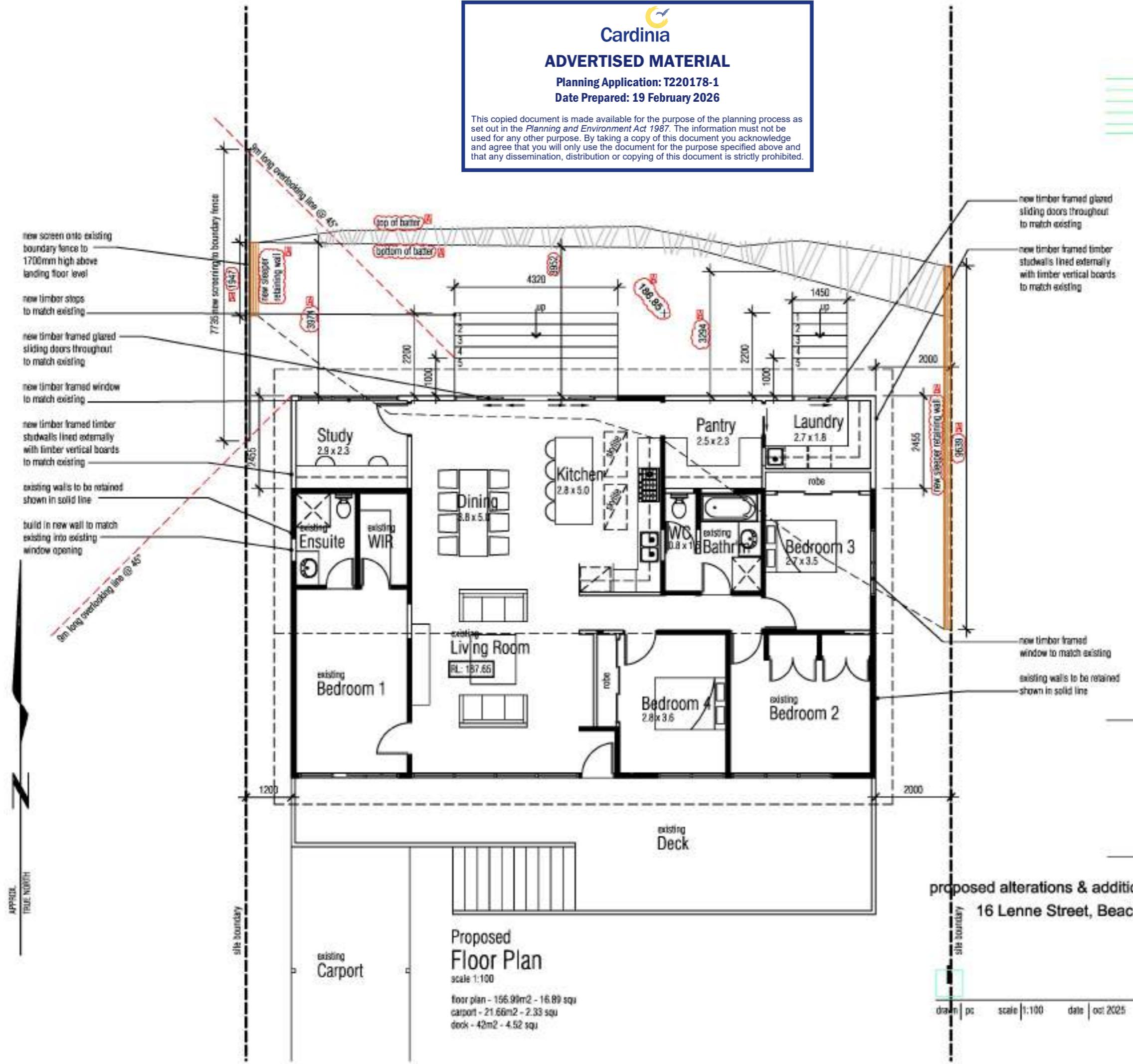
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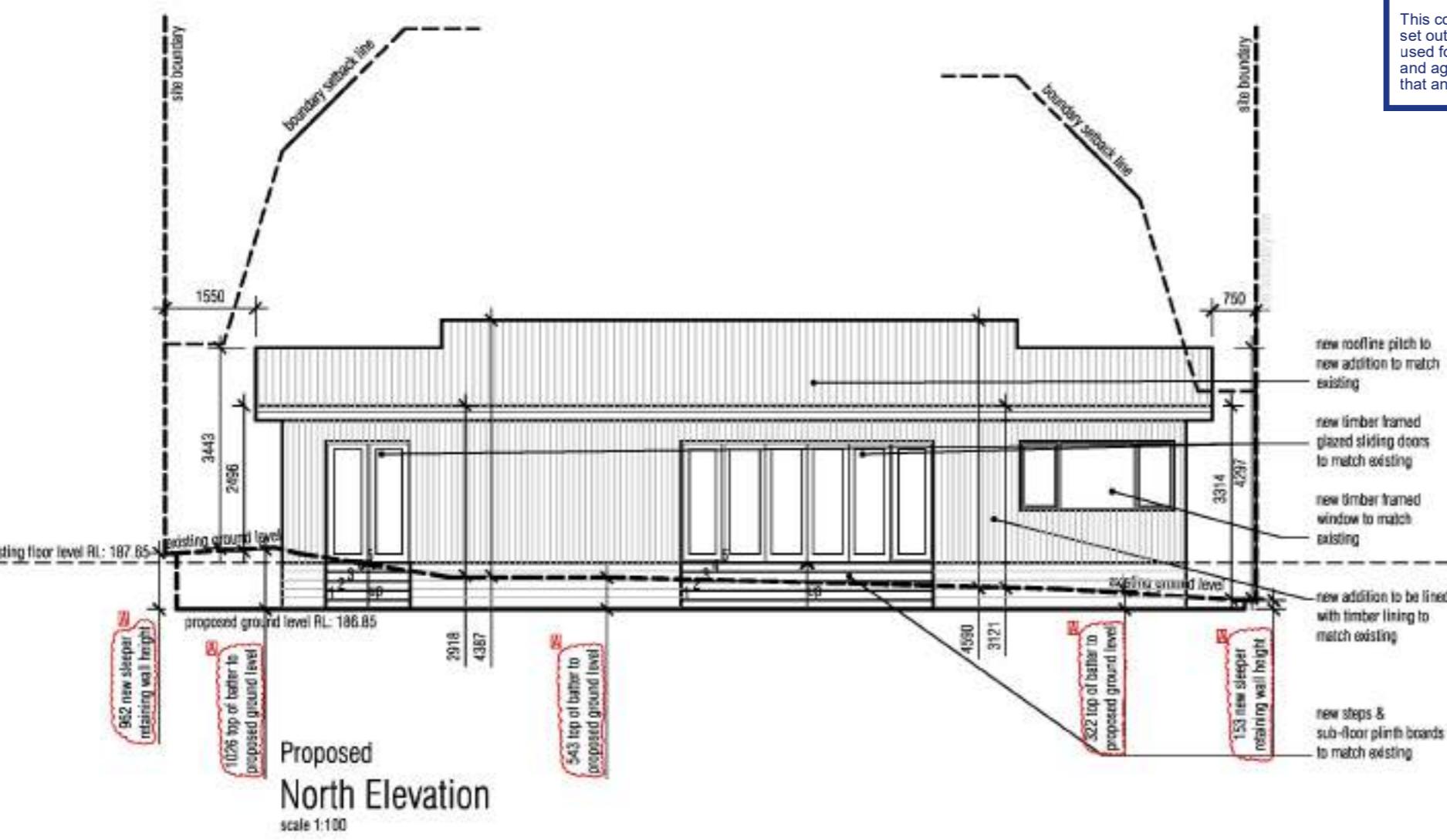
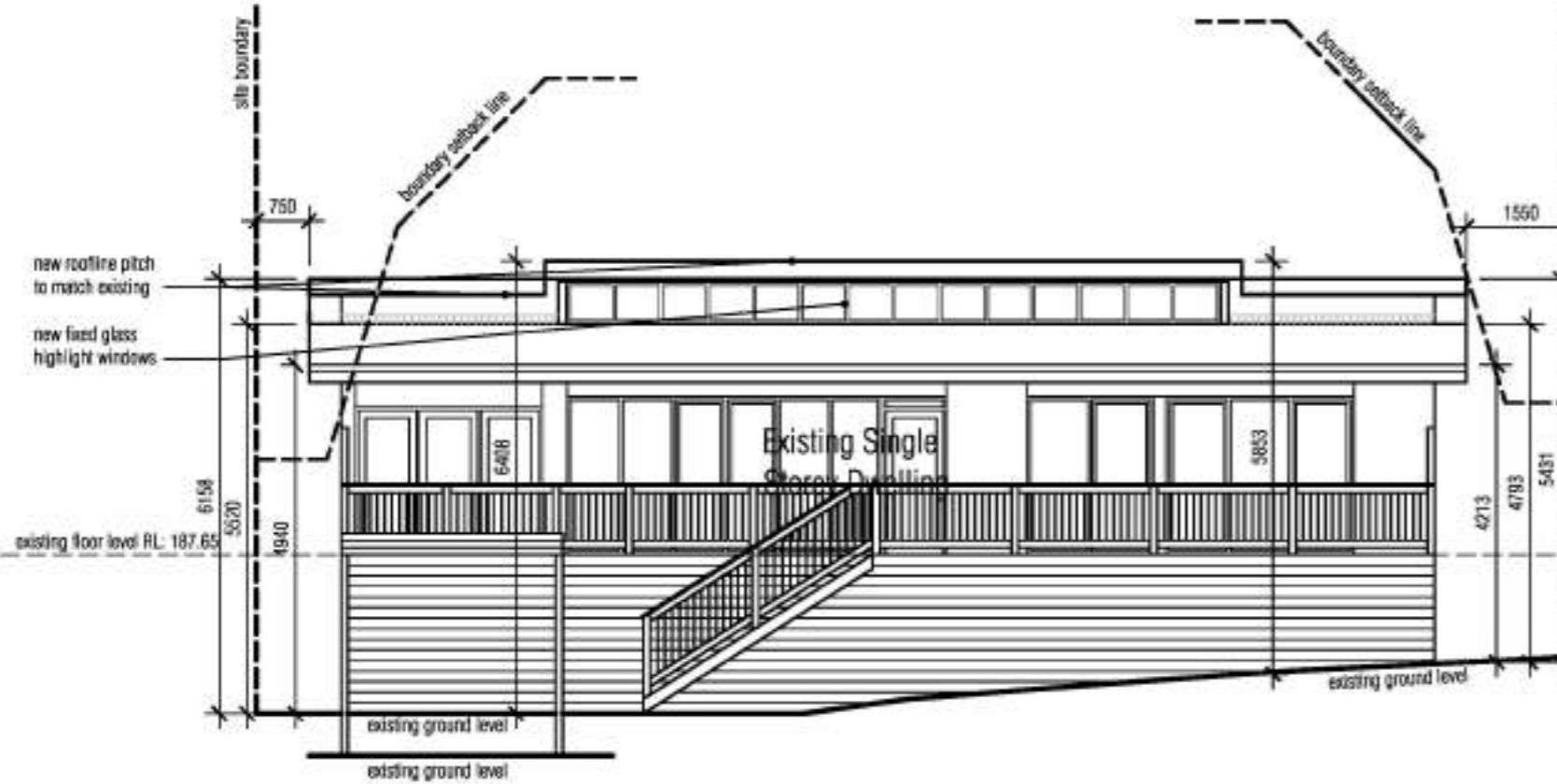
Proposed Site Plan

Proposed
Site Plan
scale 1:250

Proposed
Site P
scale 1:250

drawn | pc | scale | 1:250 | date | oct 2025 | drawing no | 1001 | project no | pd2502





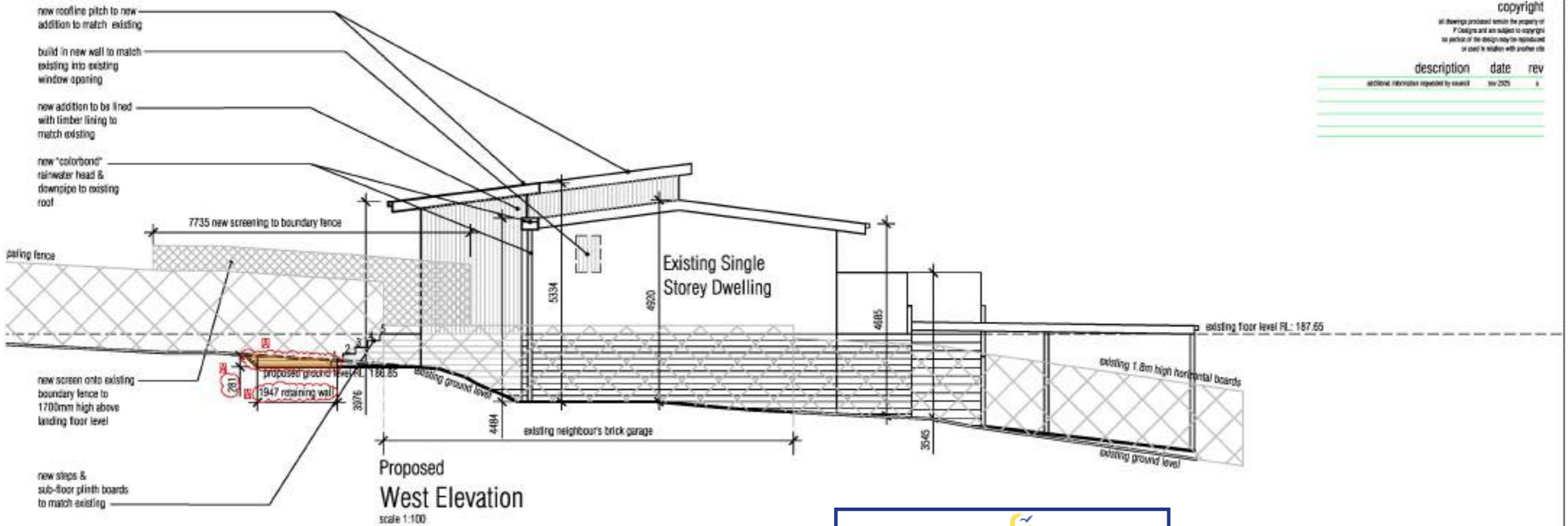
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additional information requested by council
oct 2025



Cardinia

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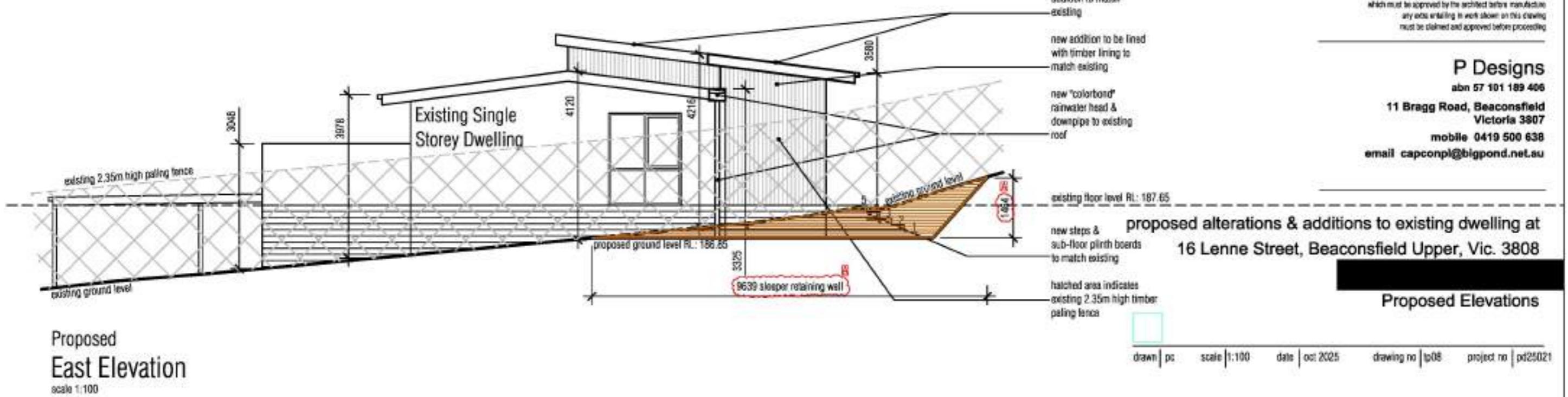
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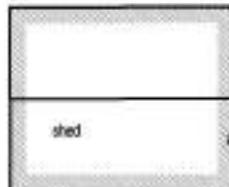
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POS

No 9

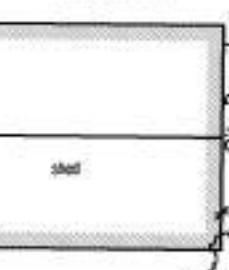
Grant Court
single storey
brick house
with pitched
tilted roof
approx. 25.5m
from site boundary



POS

No 11

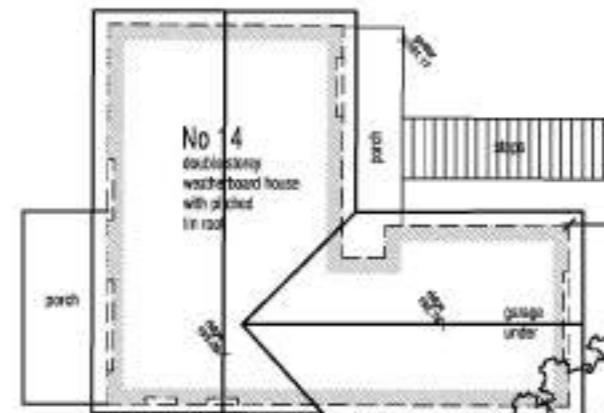
Grant Court
double storey
brick house
with pitched
tilted roof
approx. 22m
from site boundary



POS

No 13

Grant Court
single storey
rendered brick house
with pitched
tilted roof
approx. 20m
from site boundary



POS



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description date rev

Town Planning Drawings for Town Planning Approval

10

Proposed
Noon Shadow Diagram September 22nd
scale 1:250

drawn | pc | scale | 1:250 | date | oct 2025 | drawing no | bp10 | project no | pd25021

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Town Planning Drawings for Town Planning Approval

POS

No 9
Grant Court
single story
brick house
with pitched
tiled roof
approx. 26.5m
from site boundary

shed

POS

No 11
Grant Court
double storey
brick house
with pitched
tiled roof
approx. 22m
from site boundary

200

195

No 13
Grant Court
single storey
rendered brick house
with pitched
tilled roof
approx. 20m
from site boundary

Proposed
3pm Shadow Diagram September 22nd
scale 1:250

TBM spike
RL 180.12m AHD

P Designs

ISBN 57 101 183 406

11 Bragg Road, Beaconsfield

Victoria 3307
Phone 8418-522-622

Mobile 0419 500 930
email: casperol@bigpond.net.au

— 10 —

~~proposed alterations & additions to existing dwelling at
16 Lenne Street, Beaconsfield Upper, Vic. 3808~~

am Shadow Diagram September 22nd

drawn | ps | scale | 1:250 | date | oct 2025 | drawing no | 101 | project no | pd25021

Schedule - external material			
description	manufacturer	model	image
OUTDOOR CLADDING - verticle panelling James Hardie Oblique painted in dulux natural white	James Hardie	alternating 200mm and 300mm	
WINDOWS & DOORFRAMES - Powder coated colourbond in dover white or similar	Stegbar or similar		
GUTTERS, FACIA & DOWNPipes - Pressed metal colourbond in dover white or similar	Stratco or similar		
ROOF - extension of existing material and colourway surfmist colourbond	Stratco or similar		



STAIRS - from laundry door and off existing back decking spotted gum wood	South East Timber	
---	-------------------	---





ARBORICULTURAL IMPACT ASSESSMENT

REPORT COMMISSIONED BY:

Property owner

DATE OF ASSESSMENT:

Monday, December 01, 2025

SUBJECT SITE:

16 Lenne Street, Beaconsfield Upper Vic 3808

DATE OF REPORT:

Friday, December 05, 2025

REPORT PREPARED BY:

Consulting Arborist
Diploma of Arboriculture (AQF 5)

VERSION 1

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ARBORICULTURAL CONSULTING SERVICES

ABN

PHONE

EMAIL

WEBSITE

13 601 685 223

0401 442 604

info@tmcreports.com.au

www.tmcreports.com.au

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Cardinia

ADVERTISED MATERIAL

Planning Application: T20178-1

Date Prepared: 19 February 2026

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1 Assignment

1.1 Author / Consulting Arborist

Name

Consulting Arborist

Diploma of Arboriculture
(AQF 5)

Company

TMC Reports

Phone

0401 442 604

Email

████████@tmcreports.com.au



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1.2 Client

Name

Property owner

Site Address

16 Lenne Street,
Beaconsfield Upper Vic 3808

Intended Audience

- The property/tree owner(s)
- The development project manager and associated construction staff
- Council Planning Department

1.3 Brief

The purpose of this report is to provide an independent arboricultural assessment of prominent trees that are located within the subject site and within five metres of the site boundary lines.

Detail has been requested in relation to the following instructions:

- To assess the overall condition and retention value of the subject trees.
- To determine the Notional Root Zones (NRZ), Tree Protection Zones (TPZ) and Structural Root Zones (SRZ) of the subject trees.
- To determine whether the subject trees are expected to remain viable following the proposed development.
- To propose recommendations that are expected to ensure that the subject trees would remain viable post construction.

1.4 Summary

- One tree (Tree 3) is of moderate retention value.
- Eighteen trees (Trees 1, 2 & 4 – 19) are of low retention value.
- Nine trees (Trees 20 – 28) are neighbouring trees.
- Seven trees (Trees 1, 3, 5, 23, 25, 26 & 28) are protected under VPO2.
- Two trees (Trees 1 & 5) are protected under Clause 52.37.
- Less invasive construction measures recommended for fencing, landscaping and drains & services, if applicable (8.3).
- Recommended tree protection measures (8.4).

2 Data collection

2.1 Site visit

○ [REDACTED] of TMC Reports, visited the site for an arboricultural assessment on Monday the 1st of December 2025 at 2:30pm.

2.2 Method of data collection

- The subject trees were assessed from observations made as viewed from ground level.
- Access to neighbouring properties was not permitted. Assessment was therefore limited only to parts of the trees that were visible from within the subject site.
- A digital camera was used at ground level to obtain photographs within this report.
- The spreads of the trees were estimated.
- The heights of the trees were measured by using a Nikon Forestry Pro 2 Laser Range Finder.
- A circumference tape measure was used to determine the trunk dimensions of Trees 1 – 19, except where stated.
- Trunk dimensions of the neighbouring trees (Trees 20 - 28) were estimated due to restricted access.
- Encroachment percentages have been calculated via ArborCAD.

2.2.1 Documents viewed

- Proposed plans (11/2025)
- Cardinia Shire Council Planning Scheme
- Australian Standard AS4970 – 2025 'Protection of Trees on Development Sites'
- Australian Standard AS4373 – 2007 'Pruning of Amenity Trees'



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3 Site description

- The subject site is located in a Neighbourhood Residential Zone – Schedule 1 (NRZ1) within the Cardinia Shire Council.
- The subject site is located in a Vegetation Protection Overlay – Schedule 2 (VPO2) within the Cardinia Shire Council.
- The subject site is subject to planning controls associated with Clause 52.37 ‘Canopy Trees’.
- The subject site is located within a Bushfire Prone Area (BPA) within the Cardinia Shire Council.
- An existing residential dwelling is located within the subject site.
- The terrain of the site appeared to be declining moderately to the south.
- The subject trees are all located within the subject site, the front nature strip, and adjoining properties (14 & 18 Lenne Street and 9 Grant Court).
- No additional prominent vegetation (greater than 3m in height) was observed within five metres of the site boundary lines.



4 Tree data

Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread N-S E-W	DSH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	NRZ Radius	SRZ Radius	Permit Required	Comments
1	<i>Syzygium smithii</i> Lilly Pilly	Semi Mature	Native NSW QLD	7.8 m	N-S 3.5 m E-W 4.0 m	0.19 m 0.13 m 0.12 m (0.25 m) 0.44 m 0.60 m 0.41 m (1.45 m) 0.35 m	Fair/ good	Fair/ good	10-20 years	Moderate	Moderate	3.1 m	2.1 m	Clause 52.37 VPO2	Group of 4 screen trees. Southernmost tree in group meets Clause 52.37 canopy tree requirements only. Multi-stemmed. Dimensions taken from southernmost tree. Power-line pruned.
2	<i>Ligustrum lucidum</i> Broad-leaf privet	Mature	Exotic	8.6 m	N-S 5.0 m E-W 6.5 m	0.19 m 0.18 m 0.22 m 0.08 m (0.35 m) 0.75 m 0.72 m 0.75 m (2.23 m) 0.46 m	Fair	Fair	10-20 years	Cardinia ADVERTISED MATERIAL Planning Application: T220178-1 Date Prepared: 19 February 2026 LOW	Low	4.2 m	2.4 m	Exempt weed	Partly suppressed by adjacent tree. Multiple stems from ground level. Widely recognised weed species. Epicormic growth. Minor vine on stem.
3	<i>Ulmus minor</i> Elm	Mature	Exotic	13.6 m	N-S 9.0 m E-W 9.0 m	0.36 m 1.16 m 0.45 m	Fair/ good	Fair/ good	20+ years	Moderate	Moderate	4.3 m	2.4 m	VPO2	Existing driveway within NRZ. Minor deadwood within canopy.
4	<i>Pittosporum tenuifolium</i> Kohuhu	Semi Mature	Exotic	8.5 m	N-S 2.5 m E-W 2.5 m	0.14 m 0.09 m 0.09 m 0.08 m 0.08 m (0.22 m) 0.47 m 0.47 m 0.28 m (1.22 m) 0.18 m	Fair/ good	Fair	10-20 years	Moderate	Low	2.6 m	1.6 m	Exempt 52.12	Approximately 15 individual managed screen trees. Dimensions taken from larger tree in group. 10 trees to north of group less than 1.0m from fence. Existing gravel driveway and carport within NRZ. Multi-stemmed.

Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread N-S E-W	DSH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	NRZ Radius	SRZ Radius	Permit Required	Comments
5	<i>Radermachera sinica</i> China doll tree	Mature	Exotic	8.6 m	N-S 4.5 m	0.21 m 0.22 m (0.30 m)	Fair	Fair/ poor	10-20 years	Low	Low	3.6 m	2.1 m	Clause 52.37 VPO2	Lopsided canopy bias. Decay in stems. Exposed surface roots.
						0.72 m 0.66 m (1.38 m)									
6	<i>Ligustrum lucidum</i> Broad-leaf privet	Mature	Exotic	9.4 m	N-S 8.5 m	0.31 m 0.29 m 0.24 m (0.48 m)	Fair/ good	Fair	10-20 years	Moderate	Low	5.9 m	2.7 m	Exempt weed	Widely recognised weed species. Multiple stems from approximately 0.4m above ground level.
						1.01 m 0.85 m 0.72 m (2.58 m)									
7	<i>Ligustrum lucidum</i> Broad-leaf privet	Mature	Exotic	8.8 m	N-S 9.0 m	0.33 m	Fair/ good	Fair	10-20 years	Moderate	Low	4.0 m	2.3 m	Exempt weed	Existing gravel driveway and shed platform fill within NRZ. Widely recognised weed species. Surface roots observed.
						1.10 m									
8	<i>Syzygium smithii</i> Lilly Pilly	Semi Mature	Native NSW QLD	7.0 m	N-S 3.5 m	0.18 m 0.10 m 0.10 m (0.22 m)	Fair/ good	Fair	10-20 years	Moderate	Low	2.7 m	1.8 m	Exempt 52.12	16 individual screen trees. Multi stemmed. Dimensions averaged for group. DSH and basal taken from largest tree in group. Less than 1.0m from fence.
						0.60 m 0.31 m 0.35 m (1.26 m)									
9	<i>Camellia japonica</i> Camellia	Mature	Exotic	6.0 m	N-S 3.0 m	0.11 m 0.09 m 0.09 m 0.08 m (0.18 m)	Fair/ good	Fair	10-20 years	Low	Low	2.2 m	1.7 m	Exempt 52.12	Low site significance ornamental. Existing g shed within NRZ. Less than 1.0m from fence.
						0.38 m 0.28 m 0.28 m (0.94 m)									
						E-W 2.5 m									

Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread N-S E-W	DSH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	NRZ Radius	SRZ Radius	Permit Required	Comments
10	<i>Syzygium smithii</i>	Semi Mature	Native NSW QLD	4.0 m	N-S 1.5 m	N/A	Fair/ good	Fair	10-20 years	Low	Low	2.0 m	1.5 m	Exempt 52.12	Group comprising of 10 screen trees. Multi-stemmed. Less than 1.0m from fence. Dimensions averaged for group. Trees located within elevated garden bed. NRZ and SRZ estimated.
	Lilly Pilly				E-W 1.5 m										
11	<i>Magnolia grandiflora</i>	Semi Mature	Exotic	4.0 m	N-S 2.0 m	0.10 m 0.08 m (0.12 m) 0.38 m	Fair/ good	Fair/ good	10-20 years	Low	Low	2.0 m	1.5 m	Exempt 52.12	Group of 4 ornamentals. Less than 10m from dwelling. Dimensions from larger tree in group.
	Southern magnolia				E-W 2.0 m										
12	<i>Cyanea australis</i>	Mature	Native NSW QLD TAS VIC	5.5 m	N-S 3.0 m	0.29 m 0.82 m	Fair/ good	Fair/ good	10-20 years	Low	Low	2.0 m	N/A	Exempt 52.12	NRZ adjusted in accordance with section 3.2 of AS4970-2025. SRZ not required in accordance with section 3.4 of AS4970-2025. Two ferns in group. Less than 10m from existing dwelling.
	Rough tree fern				E-W 3.0 m										
13	<i>Prunus domestica</i>	Mature	Exotic	7.4 m	N-S 10.0 m	0.35 m 0.31 m (0.46 m) 1.01 m 0.88 m (1.88 m)	Fair/ good	Fair/ good	10-20 years	Low	Low	2.0 m	N/A	Exempt 52.12	Moderate decay in trunk. Previous failures. Less than 1.0m from fence and less than 10m from dwelling.
	Plum				E-W 8.0 m										
14	<i>Pittosporum undulatum</i>	Mature	Native NSW QLD VIC	11.2 m	N-S 10.0 m	0.46 m 1.54 m	Fair/ good	Fair	20+ years	Moderate	Low	5.5 m	2.9 m	Exempt 52.12	Environmental weed species. Less than 1.0m from fence.
	Sweet Pittosporum				E-W 12.0 m										
15	<i>Citrus x limon</i>	Semi Mature	Exotic	4.5 m	N-S 3.0 m	0.09 m 0.08 m 0.05 m (0.13 m) 0.41 m	Fair	Fair	10-20 years	Low	Low	2.0 m	1.7 m	Exempt 52.12	Low site significance fruit tree. Less than 10m from dwelling.
	Lemon				E-W 3.0 m										
16	<i>Pittosporum tenuifolium</i>	Semi Mature	Exotic	3.0 m	N-S 2.5 m	N/A	Fair	Fair	10-20 years	Low	Low	2.2 m	1.8 m	Exempt 52.12	Represents 9 lopped and smaller screen trees in a group. Multi stemmed. Less than 1.0m from fence. Dimensions averaged for group. NRZ and SRZ estimated.
	Kohuhu				E-W 2.5 m										

Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread N-S E-W	DSH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	NRZ Radius	SRZ Radius	Permit Required	Comments
17	<i>Pittosporum tenuifolium</i>	Semi Mature	Exotic	8.2 m	N-S 2.5 m	N/A	Fair/ good	Fair	10-20 years	Low	Low	2.2 m	1.8 m	Exempt 52.12	Represents 5 screen trees in group. Dimensions an estimated average for group. NRZ and SRZ estimated. Less than 1.0m from fence.
	Kohuhu				E-W 2.5 m										
18	<i>Camellia japonica</i>	Mature	Exotic	4.8 m	N-S 3.5 m	0.14 m 0.09 m (0.16 m)	Fair/ good	Fair/ good	10-20 years	Low	Low	2.0 m	1.8 m	Exempt 52.12	Represents two trees in group. Less than 1.0m from fence. One tree measures less than 4.5m from rear boundary. Dimensions taken from norther tree in group.
	Camellia				E-W 3.5 m										
19	<i>Camellia japonica</i>	Mature	Exotic	4.8 m	N-S 4.0 m	0.16 m 0.09 m (0.18 m)	Fair/ good	Fair/ good	10-20 years	Low	Low	2.2 m	1.8 m	Exempt 52.12	Low site significance ornamental. Less than 1.0m from fence and less than 10m from dwelling.
	Camellia				E-W 4.0 m										
20	<i>Ligustrum lucidum</i>	Mature	Exotic	7.4 m	N-S 3.0 m	0.16 m 0.11 m 0.11 m 0.12 m (0.25 m)	Fair/ good	Fair	10-20 years	Low	Neighbouring Tree	3.0 m	2.3 m	Exempt 52.12	Neighbouring tree located within the northern adjoining property (11 Grant Court). Multi-stemmed at ground level. Weed species. Less than 1.0m from fence.
	Broad-leaf privet				E-W 6.0 m										
21	<i>Lagunaria patersonii</i>	Semi Mature	Native LH- Island N- Island	10.4 m	N-S 6.0 m	0.24 m 0.82 m	Fair/ good	Fair	10-20 years	Low	Neighbouring Tree	2.9 m	2.0 m	Exempt 52.12	Neighbouring tree located within the northern adjoining property (11 Grant Court). Suppressed phototropic habit. Less than 1.0m from fence.
	Norfolk Island hibiscus				E-W 6.0 m										
22	<i>Cyanthea australis</i>	Mature	Native NSW QLD TAS VIC	4.0 m	N-S 3.0 m	0.28 m 0.88 m	Fair/ good	Fair/ good	10-20 years	Low	Neighbouring Tree	2.0 m	N/A	Exempt 52.12	Neighbouring tree located within the western adjoining property (18 Lenne Street). NRZ adjusted in accordance with section 3.2 of AS4970-2025. SRZ not required in accordance with section 3.4 of AS4970-2025. Less than 10m from neighbours dwelling.
	Rough tree fern				E-W 3.0 m										

Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread N-S E-W	DSH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	NRZ Radius	SRZ Radius	Permit Required	Comments
23	Acacia melanoxylon	Mature	Native NSW QLD SA TAS VIC	12.4 m	N-S 10.0 m	0.55 m	Fair/ good	Fair	20+ years	Moderate	Neighbouring Tree	6.6 m	2.8 m	VPO2	Neighbouring tree located within the western adjoining property (18 Lenne Street). Existing driveway within NRZ.
	Blackwood					1.82 m									
24	Pittosporum undulatum	Semi Mature	Native NSW QLD VIC	6.4 m	N-S 7.0 m	0.15 m 0.10 m 0.09 m 0.09 m (0.22 m)	Fair/ good	Fair/ poor	10-20 years	Low	Neighbouring Tree	2.6 m	2.3 m	Exempt 52.12	Neighbouring tree located within the western adjoining property (18 Lenne Street). Multi-stemmed at ground level. Environmental weed species. Existing gravel driveway within NRZ.
	Sweet Pittosporum					0.47 m 0.31 m 0.31 m 0.28 m (1.37 m)									
25	Pittosporum eugenioides 'Variegatum'	Mature	Exotic	9.0 m	N-S 9.0 m	0.24 m 0.13 m 0.20 m (0.33 m)	Fair/ good	Fair/ good	10-20 years	Moderate	Neighbouring Tree	4.1 m	2.3 m	VPO2	Neighbouring tree located within the western adjoining property (18 Lenne Street).
	Lemonwood					0.79 m 0.79 m (1.57 m)									
26	Cordyline australis	Semi Mature	Exotic	6.8 m	N-S 3.0 m E-W 3.0 m	N/A	Fair	Fair	10-20 years	Low	Neighbouring Tree	2.0 m	N/A	VPO2	Neighbouring tree located within the western adjoining property (18 Lenne Street). NRZ adjusted in accordance with section 3.2 of AS4970-2025. SRZ not required in accordance with section 3.4 of AS4970-2025. Multi-stemmed at ground level.
	Cabbage tree														
27	Acacia melanoxylon	Mature	Native NSW QLD SA TAS VIC	14.6 m	N-S 10.5 m	0.60 m	Fair/ good	Fair/ good	20+ years	Moderate	Neighbouring Tree	7.2 m	2.8 m	Exempt 52.12	Neighbouring tree located within the eastern adjoining property (14 Lenne Street). Less than 1.0m from boundary fence.
	Blackwood					2.04 m									

Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread N-S E-W	DSH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	NRZ Radius	SRZ Radius	Permit Required	Comments
28	<i>Eucalyptus globulus</i> subsp. <i>globulus</i>	Mature	Native NSW TAS VIC	23.8 m	N-S 18.0 m	1.10 m	Fair/good	Fair	20+ years	High	Neighbouring Tree	13.2 m	3.8 m	VPO2	Neighbouring tree located within the eastern adjoining property (14 Lenne Street). Decay in stem.
	Southern blue gum				E-W 18.0 m	1.40 m									

*Tree Protection Zones (10.1) are identical to the Notional Root Zones (NRZ) unless stated otherwise.

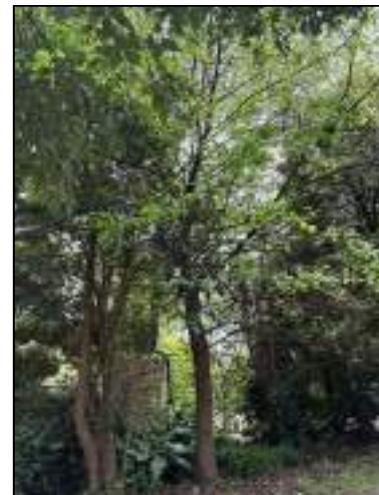
4.1 Photographic evidence



Tree 1



Tree 2



Tree 3



Tree 4



Tree 5





Tree 6



Tree 7



Tree 8
Carolina

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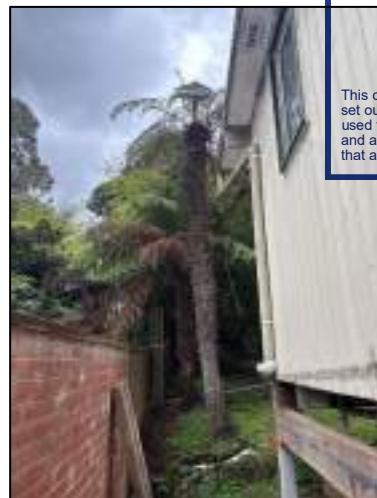
Tree 9



Tree 10



Tree 11



Tree 12



Tree 13



Tree 14



Tree 15



Tree 16



Tree 17



Tree 18
Carolina

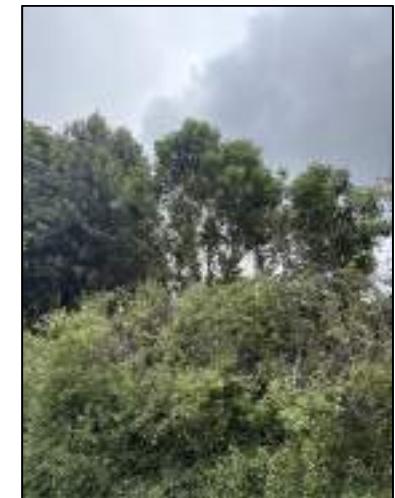
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Tree 19



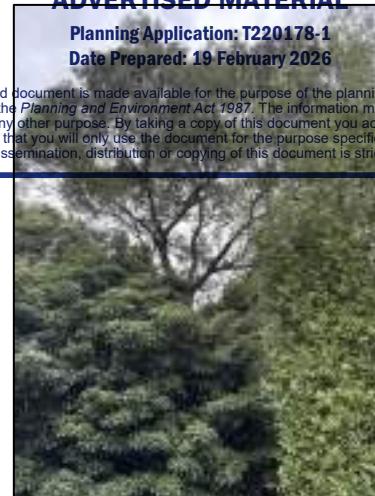
Tree 20



Tree 21



Tree 22



Tree 23



Tree 24



Tree 25



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Tree 26



Tree 27



Tree 28



Subject site as viewed from Lenne Street



Existing driveway and western boundary



Front yard as viewed to the west



Front yard as viewed to the east



Rear yard as viewed to the west

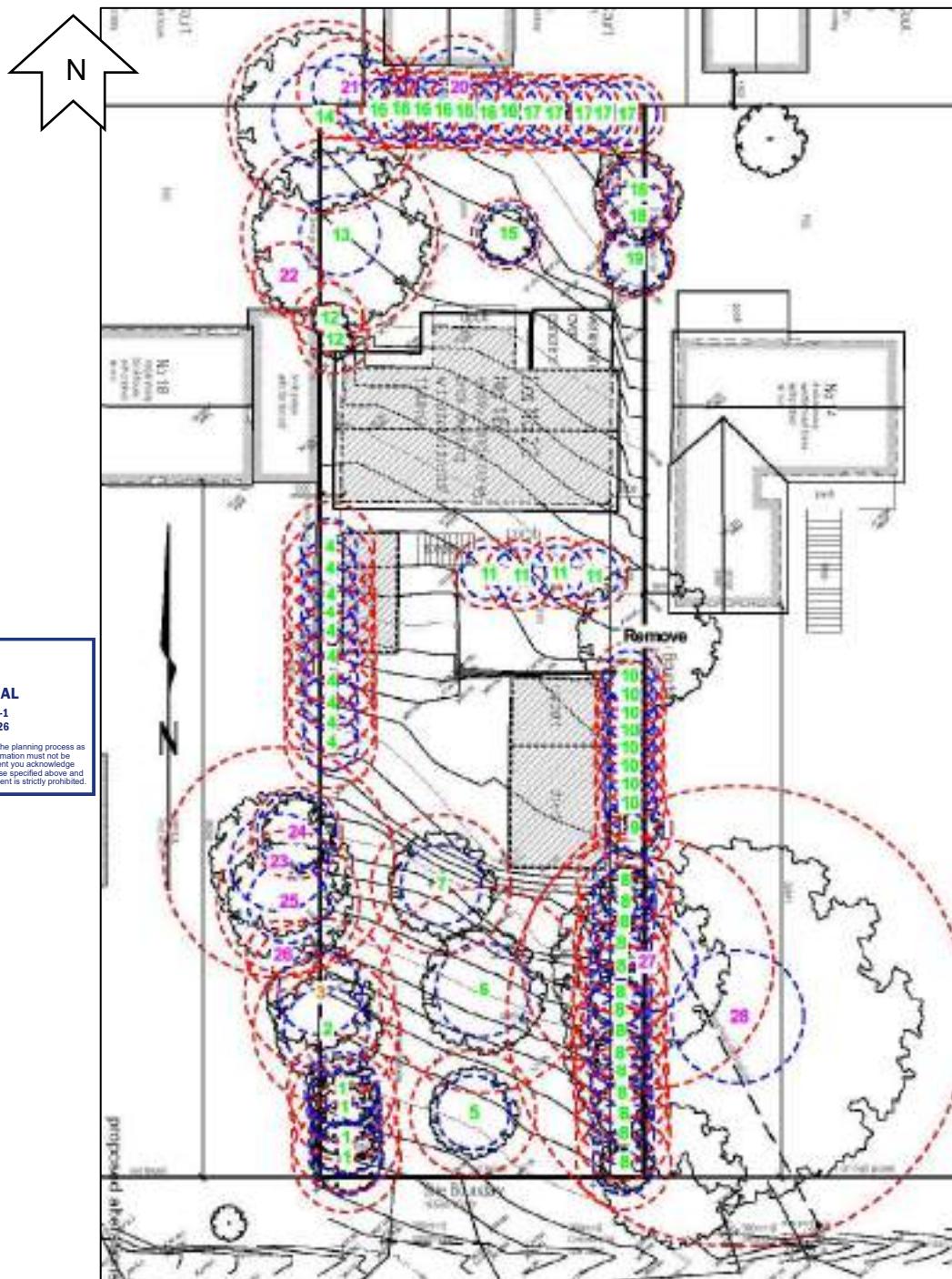


Rear yard as viewed to the east

5 Site maps

5.1 Existing conditions

The following map indicates the tree locations in relation to the existing conditions:

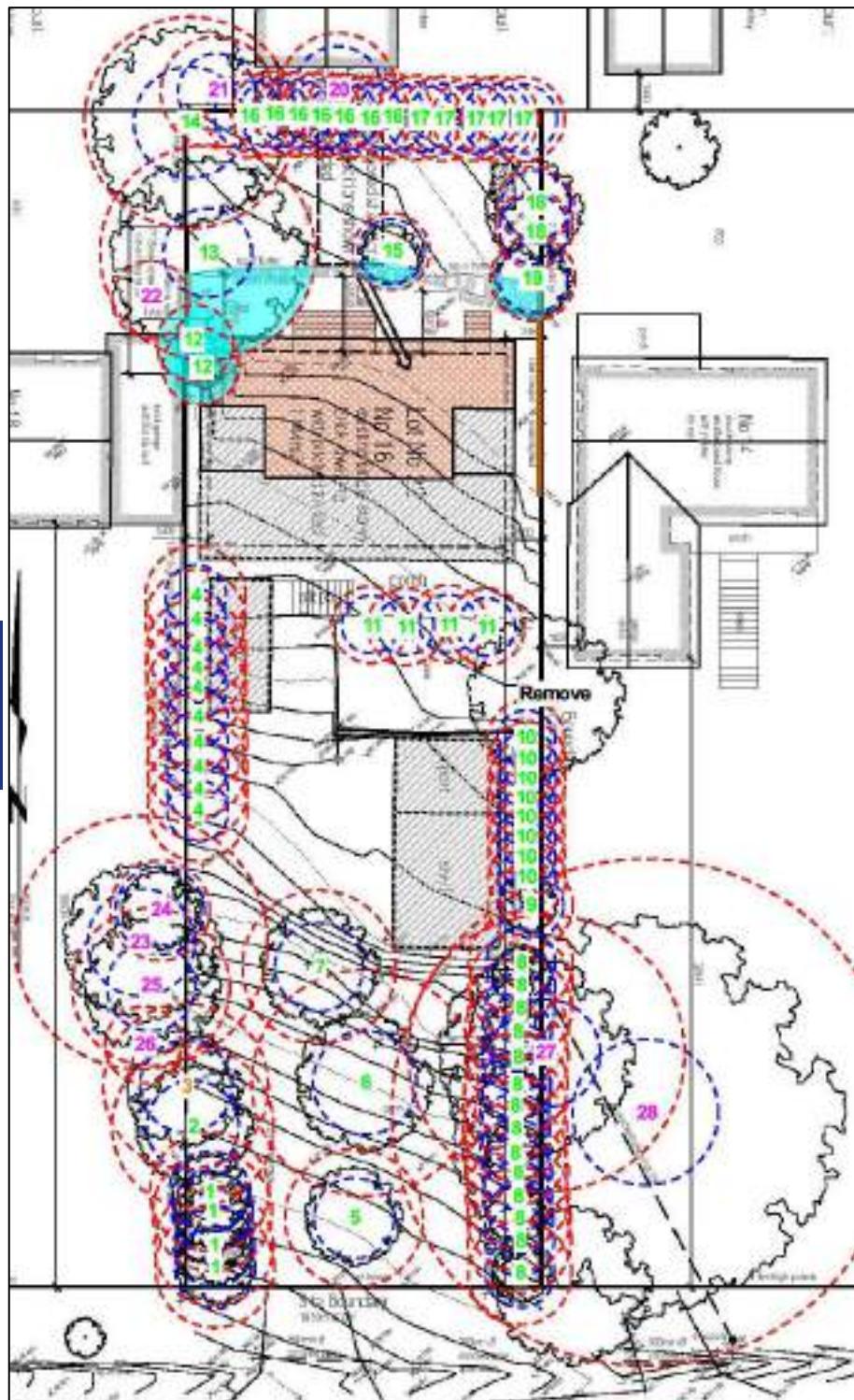


LEGEND

#	LOW RETENTION VALUE	#	COUNCIL OWNED TREE		NOTIONAL ROOT ZONE
#	MODERATE RETENTION VALUE	#	NEIGHBOURING TREE		STRUCTURAL ROOT ZONE
#	HIGH RETENTION VALUE				

5.2 Proposed plan

The following map indicates the tree locations in relation to the proposed plans:



LEGEND

#	LOW RETENTION VALUE	#	COUNCIL OWNED TREE		NOTIONAL ROOT ZONE
#	MODERATE RETENTION VALUE	#	NEIGHBOURING TREE		STRUCTURAL ROOT ZONE
#	HIGH RETENTION VALUE				
	MINOR ENCROACHMENT		MODERATE ENCROACHMENT		MAJOR ENCROACHMENT

6 Discussion

6.1 Minor encroachment

A proposed encroachment is considered to be 'minor' if works (structures, surfaces, site cuts, underground services, fill etc.) are proposed to encroach into the NRZ by 10% or less and is outside the SRZ.

Generally, trees are likely to tolerate minor encroachments. However, tolerance can vary depending on several factors such as tree age, species, health, existing conditions etc. (refer to section 10.9 for more details).

6.2 Moderate encroachment

A proposed encroachment is considered to be 'moderate' if it is greater than 10% and less than or equal to 20% of the area of the NRZ and is outside of the SRZ.

It is possible that a tree could tolerate a moderate encroachment. However, tolerance can vary depending on several factors such as tree age, species, health, existing conditions etc. (refer to section 10.9 for more details).

In some situations less invasive construction measures such as permeable paving, less invasive footings or arborist supervision may be required.

6.3 Major encroachment

A proposed encroachment is considered to be 'major' if it is greater than 20% of the area of the NRZ or inside the SRZ.

Generally, trees are less likely to tolerate major encroachments. However, tolerance can vary depending on several factors such as tree age, species, health, existing conditions etc. (refer to section 10.9 for more details).

In some situations less invasive construction measures or a non-destructive root investigation (10.8) may be required to assess the tree's root system and determine if the tree is expected to tolerate the loss of roots that may need to be pruned in order to accommodate the proposed design.



7 Conclusion

7.1 Tree retention value

7.1.1 Low retention value

The following trees are considered to be of low retention value as they are relatively small specimens, weed species or are insignificant to the landscape:

- Tree 1
- Tree 2
- Tree 4
- Tree 5
- Tree 6
- Tree 7
- Tree 8
- Tree 9
- Tree 10
- Tree 11
- Tree 12
- Tree 13
- Tree 14
- Tree 15
- Tree 16
- Tree 17
- Tree 18
- Tree 19

7.1.2 Neighbouring trees

The following trees do not belong to the property owner:

- Tree 20
- Tree 21
- Tree 22
- Tree 23
- Tree 24
- Tree 25
- Tree 26
- Tree 27
- Tree 28

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7.2 Permit requirements

7.2.1 Victorian Planning Provisions – Clause 52.37

A permit is required to remove, destroy or lop a canopy tree located within a Mixed Use Zone, Township Zone, Residential Growth Zone, General Residential Zone, Neighbourhood Residential Zone, and Housing Choice and Transport Zone. This does not apply to Low Density Residential Zone.

A canopy tree means a tree that has:

- a height of more than 5 metres above ground level; and
- a trunk circumference of more than 0.5 metres, measured at 1.4 metres above ground level; and
- a canopy diameter of at least 4 metres.

A permit is required to remove, destroy or lop a canopy tree anywhere on the lot where:

- The land is vacant.
- The land is vacant, and a new single dwelling is proposed (and only a building permit is required).

A permit is required to remove, destroy or lop a canopy tree within 6 metres of the narrowest street frontage and 4.5 metres of the rear boundary where:

- The land contains an existing dwelling where no development is proposed.
- The land contains an existing dwelling and is proposed to be extended.
- The land is vacant, and a planning permit application is being assessed for one or more dwellings.
- The land contains an existing dwelling(s) and a planning permit application is being assessed for a one or more dwellings.

This does not apply:

- If the table of exemptions in clause 52.37-8 specifically states that a permit is not required.
- To the removal, destruction or lopping of a canopy tree (other than a boundary canopy tree) identified for assessment in an application to which clause 54, 55, 57 or 58 applies and the tree is not removed, destroyed or lopped until the permit is issued.
- To the removal, destruction or lopping of a canopy tree (other than a boundary canopy tree) if the site is developed with an existing dwelling.

Refer to section 11 for further information on Clause 52.37.

7.2.2 Vegetation Protection Overlay – Schedule 2 (VPO2)

A permit is required to remove, destroy or lop any vegetation.

This does not apply if:

- It is an exemption listed at Clause 52.12 (Bushfire Protection: Exemptions).
- The vegetation is a tree overhanging the roof of a building used for Accommodation. This exemption only allows the removal, destruction or lopping of that part of the tree which is overhanging the building and which is necessary for fire protection.
- The vegetation is dead as a result of natural circumstances or as a result of the spread of noxious weeds and which have been assessed as being suitable for removal by an authorised officer of the responsible authority. This exemption does not apply to standing dead trees with a trunk diameter of 40 centimetres or more at a height of 1.3 metres above ground level.
- It is the minimum extent necessary to maintain utility services for the transmission of water, sewage, gas, electricity, electronic communications or the like, provided that the removal, destruction or lopping is undertaken in consultation with the responsible authority.
- It is necessary for maintenance by the Cardinia Shire Council of works including any road, drain, essential service or public facility.



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- The vegetation is seedlings or regrowth less than 5 years old, the land has previously been lawfully cleared and the land is being maintained for cultivation or pasture.
- It is the removal of any vegetation from an existing dam wall where the vegetation may impact on the structural stability of the dam wall.
- It is within 6 metres of an existing dwelling a lot less than 0.4 hectares. It is necessary for works associated with the normal operation of the Puffing Billy Tourist Railway as defined in the Schedule to the Public Use Zone under this planning scheme.
- The vegetation is required to be pruned or lopped (but not removed or destroyed) as part of normal domestic or horticultural practice for the species.
- The vegetation is an environmental weed contained in the table below; that is not listed under the Schedule to Clause 43.01 (Heritage Overlay) and there is no condition listed in the table:

Botanical name	Common name	Condition
<i>Acacia baileyana</i>	Cootamundra Wattle	
<i>Acacia decurrens</i>	Early Black Wattle	
<i>Acacia elata</i>	Cedar Wattle	
<i>Acacia floribunda</i>	White Sallow Wattle	
<i>Acacia longifolia</i>	Coast/Sallow Wattle	
<i>Acacia saligna</i>	Golden Wreath Wattle	
<i>Acacia sophorae</i>	Coastal Wattle	
<i>Acer spp.</i>	Maple	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Agapanthus praecox orientalis</i>	African Lily	
<i>Allium triquetrum</i>	Angled Onion	
<i>Astromeria aurea</i>	Peruvian Lily	
<i>Amaryllis belladonna</i>	Belladonna Lily	
<i>Anredera cordifolia</i>	Madeira vine	
<i>Anthoxanthum odoratum</i>	Sweet Vernal Grass	
<i>Arbutus unedo</i>	Strawberry Tree	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Arctotheca calendula</i>	Cape Weed	
<i>Asparagus asparagooides</i>	Bridal Creeper	
<i>Asparagus scandens</i>	Asparagus Fern	
<i>Berberis darwinii</i>	Darwin's Berberry	
<i>Briza minor</i>	Shivery Grass	
<i>Briza maxima</i>	Quaking Grass	

Botanical name	Common name	Condition
<i>Buddleja variabilis</i>	Butterfly Bush	
<i>Calostoma spicata</i>	Spiny Moon	
<i>Casuarina spp.</i>	Casuarina	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Casuarina elegans</i>	Red Casuarina	
<i>Chamomilla recutita</i>	Tree Lucerne	
<i>Chrysanthemoides monilifera</i>	Chrysanthemoides	
<i>Chrysanthemum maximum</i>	Shasta Daisy	
<i>Cirsium vulgare</i>	Spear Thistle	
<i>Coriulum maculatum</i>	Hemlock	
<i>Cosmeculcus spp.</i>	Bindweeds	
<i>Corylus heterophylla</i>	Tall Pleasant	
<i>Coprosma repens</i>	Minor Bush	
<i>Coprosma repens</i>	Tuapoto	
<i>Coprosma robusta</i>	Karamea	
<i>Corokia ovalifolia</i>	Evergreen Dogwood	
<i>Costularia setosa</i>	Pampas Grass	
<i>Corymbia maculata</i>	Seated Gum	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Cotoneaster spp.</i>	Cotoneaster	
<i>Cratagulus mollis</i>	Hawthorn	
<i>Crocosmia x crocosmiiflora</i>	Montbretia	
<i>Cytisus palustris</i>	Tree Lucerne	
<i>Cytisus scoparius</i>	English Broom	
<i>Cynodon dactylon</i>	Couch grass	

Botanical name	Common name	Condition	Botanical name	Common name	Condition
<i>Cyperus eragrostis</i>	Delta Flat Sedge		<i>Ilex aquifolium</i>	Holly	
<i>Delairea odora</i>	Deodar		<i>Ipomoea indica</i>	Morning Glory	
<i>Dioscorea elephantipes</i>	Common Dragon (Dolichot)		<i>Lathyrus sativus</i>	Sweet Pea	
<i>Dodonaea viscosa</i>	Silky Hop Bush		<i>Leycesteria formosa</i>	Himalayan Honeysuckle	
<i>Ecballium elaterium</i>	Peterson's Curse		<i>Ligustrum lucidum</i>	Broad-Leaved Privet	
<i>Ehrharta erecta</i>	Raini Veldt Grass		<i>Ligustrum vulgare</i>	Privet	
<i>Ehrharta longiflora</i>	Annual Veldt grass		<i>Lonicera japonica</i>	Japanese Honeysuckle	
<i>Erica arborea</i>	Berry-flower Heath		<i>Malus spp</i>	Apple	
<i>Erica arborea</i>	Spanish Heath		<i>Melaleuca armillaris</i>	Giant Honey Myrtle	
<i>Eurycoma longifolia</i>	Euryza		<i>Melaleuca hypericifolia</i>	Honey Myrtle	
<i>Foeniculum vulgare</i>	Fennel		<i>Mycetaria apiculata</i>	Common Folget-me-not	
<i>Fraxinus angustifolia</i>	Narrow-leaved Ash		<i>Myrsiphyllum scandens</i>	Asparagus Fern	
<i>Fraxinus ornata</i>	Marm Ash		<i>Myrsiphyllum asparagoides</i>	Bridal Creeper	
<i>Fraxinus orientalis</i>	Caucasian Ash		<i>Myrsiphyllum asparagoides</i>	Simsia	
<i>Gallium aparine</i>	Cleavers		<i>Oenothera stricta</i>	Common Evening Primrose	
<i>Genista scorpius</i>	Flax Leaf Broom		<i>Opraea acutifolia</i>	Pinkly Pear	
<i>Genista monspessulana</i>	Cape/Montpellier Broom		<i>Osma red-caparia</i>	Goursat	
<i>Hakea salicifolia</i>	Willow Hakea		<i>Pentstemon australis</i>	Common Puslane	
<i>Hakea salicifolia</i>	Sweet Hakea		<i>Panaxia loyensis</i>	Cape Ixodia	
<i>Hedera helix</i>	English Ivy		<i>Passiflora spp. aff. quadrangularis</i>	Barbosa Passionfruit	
<i>Holcus lanatus</i>	Yorkshire Fog		<i>Pentaglottis sempervirens</i>	Alkante	
<i>Hypericum androsaemum</i>	Tuscan		<i>Phalaris aquatica</i>	Tonnoerba Canary Grass	
<i>Hypericum perforatum</i>	St.John's Wort		<i>Pennisetum clandestinum</i>	Kikuyu	
<i>Hypericum tetrapterum</i>	St. Peter's Wort		<i>Phytolacca octandra</i>	Intweed	



Botanical name	Common name	Condition	Botanical name	Common name	Condition
<i>Pinus radiata</i>	Monterey Pine	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres	<i>Salix spp.</i>	Weeping Willow	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Pithecellobium gracilifolium</i>	Karo		<i>Salpichroa organifolia</i>	Pampas Lily of the Valley	
<i>Pithecellobium uncinatum</i>	Sweet Pittosporum		<i>Senecio lautus</i>	Ragwort	
<i>Pitygota myrtifolia</i>	Myrtle Leaf Milk-vetch		<i>See Cape Wattle</i>	False Wattle	
<i>Populus tremuloides</i>	American Aspen		<i>Solanum luteum</i>	Apple of Sodom	
<i>Prunus cerasifera</i>	Cherry Plum	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres	<i>Solanum laxiflorum</i>	Tree Tobacco	
<i>Prunus laurocerasus</i>	Cherry Laurel		<i>Solanum nigrum</i>	Black Nightshade	
<i>Prunus lusitanica</i>	Portugal Laurel		<i>Solanum pseudocapsicum</i>	Madame Winter Cherry	
<i>Prunus spp.</i>	Plum	Spec. not included: <i>Prunus cerasifera</i> (Cherry Plum)	<i>Soliva heterophylla</i>	Blue-bell Creeper	
<i>Pithecellobium jucunda</i>	Bukela (Pinata SoutPika)		<i>Spania anglica</i>	Common Cat-grass	
<i>Pyracantha spp.</i>	Rosehips		<i>Trachelospermum jasminoides</i>	Wandering Jew/Tred	
<i>Quercus spp.</i>	Oak	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres	<i>Tragopogon majus</i>	Hasturtium	
<i>Ranunculus repens</i>	Creeping Buttercup		<i>Carex europaea</i>	Care	
<i>Rhamnus alaternus</i>	Bitter Buckthorn		<i>Verbascum thapsus</i>	Great Mullein	
<i>Ricinus communis</i>	Castor Oil Plant		<i>Vitis vinifera</i>	Lauostinus	
<i>Robinia pseudoacacia</i>	Black Locust		<i>Vitis vinifera</i>	Blue Peacock	
<i>Romulea rosea var. austrohis</i>	Onion Grass		<i>Viola odorata</i>	Fragrant Violet	
<i>Rosa rubiginosa</i>	Sweet Briar		<i>Viola riviniana</i>	Wood Violet	
<i>Rubus fruticosus spp. agg.</i>	Blackberry		<i>Watsonia borbonica</i>	Rasy Watsonia	
<i>Salix babylonica</i>	Weeping willow	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres	<i>Watsonia meriana</i> var. <i>subtiliflora</i>	Bulb Watsonia	
			<i>Zantedeschia aethiopica</i>	White Arum Lily	



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7.2.3 Victoria Planning Provisions - Clause 52.12 (Bushfire Protection Exemptions)

This site is subject to VPS Clause 52.12 exemptions, which state the following:

7.2.3.1 *Exemption to create defendable space around buildings used for accommodation*

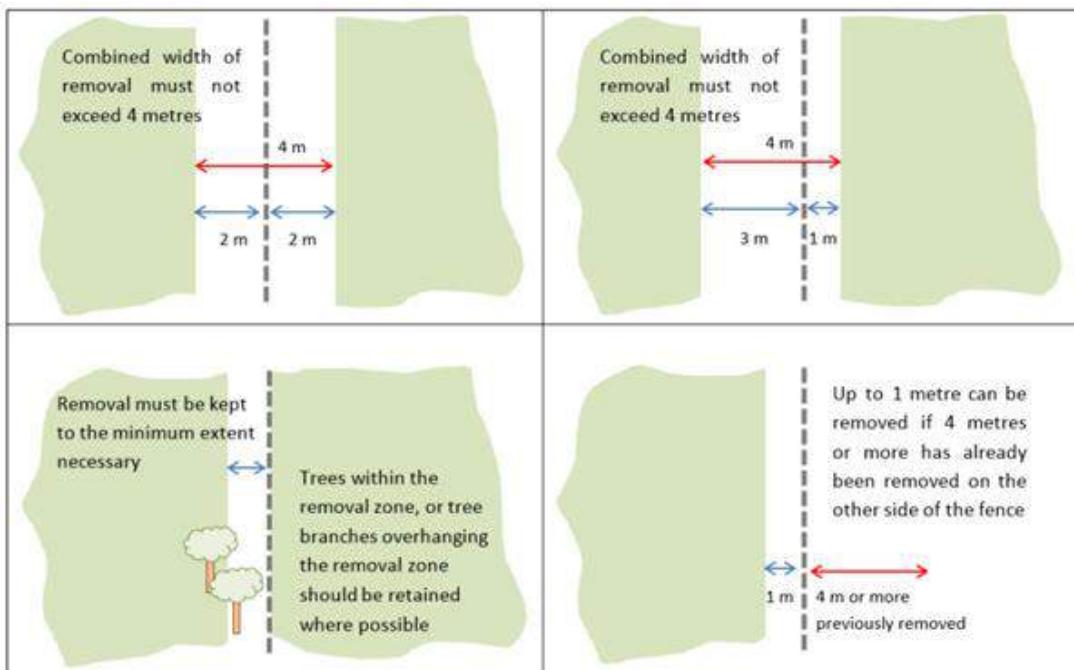
Any requirement of a planning permit, including any condition, which has the effect of prohibiting the removal, destruction or lopping of vegetation, or any requirement of this planning scheme to obtain a planning permit, or any provision of this planning scheme that prohibits the removal, destruction or lopping of vegetation or requires the removal, destruction or lopping of vegetation to be carried out in a particular manner, does not apply to any of the following:

- The removal, destruction or lopping of any vegetation within 10 metres of an existing building used for accommodation if all of the following requirements are met:
 - The building must be located in an area that is designated as a Bushfire Prone Area under the Building Act 1993.
 - The building must have been:
 - constructed before 10 September 2009; or
 - approved by a permit issued under this scheme before 10 September 2009; or
 - approved by a building permit issued under the Building Act 1993 before 10 September 2009; or
 - constructed to replace a dwelling or dependent persons unit that was damaged or destroyed by a bushfire that occurred between 1 January 2009 and 31 March 2009.

7.2.3.2 *Exemption for vegetation removal along a fence line*

Any requirement of a planning permit, including any condition, which has the effect of prohibiting the removal, destruction or lopping of vegetation, or any requirement of this planning scheme to obtain a planning permit, or any provision of this planning scheme that prohibits the removal, destruction or lopping of vegetation or requires the removal, destruction or lopping of vegetation to be carried out in a particular manner, does not apply to the removal, destruction or lopping of any vegetation along a boundary fence between properties in different ownership if all of the following requirements are met:

- The fence must be located in an area that is designated as a bushfire prone area under the Building Act 1993.
- The fence must have been constructed before 10 September 2009.
- The clearing alongside both sides of the fence when combined must not exceed 4 metres in width, except where land has already been cleared 4 metres or more a long one side of the fence, then up to 1 metre can be cleared along the other side of the fence (refer to below image).



1. Exemption to create defendable space for a dwelling under Clause 44.06 of this planning scheme

Any requirement of a planning permit, including any condition, which has the effect of prohibiting the removal, destruction or lopping of vegetation, or any requirement of this planning scheme to obtain a planning permit, or any provision of this planning scheme that prohibits the removal, destruction or lopping of vegetation or requires the removal, destruction or lopping of vegetation to be carried out in a particular manner, does not apply to the removal, destruction or lopping of vegetation to enable the construction of a dwelling, or the alteration or extension of an existing dwelling, and create its defendable space if all of the following requirements are met:

- Land is in the Bushfire Management Overlay.
- Land is in the General Residential Zone, Residential Growth Zone, Neighbourhood Residential Zone, Urban Growth Zone, Low Density Residential Zone, Township Zone, Rural Living Zone, Farming Zone or Rural Activity Zone.
- The removal, destruction or lopping of vegetation:
- Does not exceed the distance specified in Table 1 to Clause 53.02-3 of this planning scheme, based on the bushfire attack level determined by a relevant building surveyor in deciding an application for a building permit under the Building Act 1993 for a dwelling or alteration or extension to the dwelling; or
- Is required to be undertaken by a condition in a planning permit issued after 31 July 2014 under Clause 44.06 of this scheme for a dwelling or an alteration or extension to the dwelling.



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7.2.4 Trees subject to permit requirements

A permit is required to remove, destroy or lop the following trees under VPO2:

- Tree 1
- Tree 3
- Tree 5
- Tree 23
- Tree 25
- Tree 26
- Tree 28

The following trees are exempt from VPO2 permit requirements as they are listed weed species:

- Tree 2
- Tree 6
- Tree 7
- Tree 13
- Tree 14
- Tree 15
- Tree 20
- Tree 24

A permit is required to remove, destroy or lop the following trees under Clause 52.37 'Canopy Trees':

- Tree 1
- Tree 5

7.2.4.1 Trees potentially subject to bushfire protection exemptions

The following trees appear to be located within 10m of the existing dwelling or within 1.0m of the existing boundary fencing and may therefore be exempt from permit requirements (*provided that conditions in section 7.1.3.1 and 7.1.3.2 are met*):

- Tree 4
- Tree 8
- Tree 9
- Tree 10
- Tree 11
- Tree 12
- Tree 13
- Tree 14
- Tree 15
- Tree 16
- Tree 17
- Tree 18
- Tree 19
- Tree 20
- Tree 21
- Tree 22
- Tree 27

Notes:

- *Conditions in section 7.1.3.1 should be confirmed before the removal, destruction or lopping of any of the above-mentioned trees.*
- *Clause 52.37 (Table of exemptions 52.37-8) states additional permit exemptions for bushfire protection are provided at clause 52.12.*

Notes:

- *Conditions in section 7.1.3.2 should be confirmed before the removal, destruction or lopping of any of the above-mentioned trees.*



7.3 Impact assessment

The following table represents the encroachments of the proposed development:

Tree No.	Encroachment	NRZ encroachment	SRZ encroachment	Encroachment category	Proposed retention
1	N/A	0%	0%	N/A	Retain
2	N/A	0%	0%	N/A	Retain
3	N/A	0%	0%	N/A	Retain
4	N/A	0%	0%	N/A	Retain
5	N/A	0%	0%	N/A	Retain
6	N/A	0%	0%	N/A	Retain
7	N/A	0%	0%	N/A	Retain
8	N/A	0%	0%	N/A	Retain
9	N/A	0%	0%	N/A	Retain
10	N/A	0%	0%	N/A	Retain
11	N/A	0%	0%	N/A	Retain
12	Site cut/retaining wall & dwelling	Entire tree	Entire tree	Major	Remove
13	Site cut/retaining wall/batter & dwelling	26.6%	23.0%	Major	Remove
14	N/A	0%	0%	N/A	Retain
15	Site cut	29.5%	27.0%	Major	Remove
16	N/A	0%	0%	N/A	Retain
17	N/A	0%	0%	N/A	Retain
18	N/A	0%	0%	N/A	Retain
19	Site cut/retaining wall & batter	31.8%	32.6%	Major	Remove
20	N/A	0%	0%	N/A	Retain
21	N/A	0%	0%	N/A	Retain
22	N/A	0%	0%	N/A	Retain
23	N/A	0%	0%	N/A	Retain
24	N/A	0%	0%	N/A	Retain
25	N/A	0%	0%	N/A	Retain
26	N/A	0%	0%	N/A	Retain
27	N/A	0%	0%	N/A	Retain
28	N/A	0%	0%	N/A	Retain

Note: encroachment calculations are based on the proposed footprint. Further clarification of the impact on roots beyond the proposed footprint can be found below where relevant



7.3.1 No encroachment

Development is not proposed to encroach into the NRZ or SRZ of the following trees:

<input type="radio"/> Tree 1	<input type="radio"/> Tree 7	<input type="radio"/> Tree 16	<input type="radio"/> Tree 23
<input type="radio"/> Tree 2	<input type="radio"/> Tree 8	<input type="radio"/> Tree 17	<input type="radio"/> Tree 24
<input type="radio"/> Tree 3	<input type="radio"/> Tree 9	<input type="radio"/> Tree 18	<input type="radio"/> Tree 25
<input type="radio"/> Tree 4	<input type="radio"/> Tree 10	<input type="radio"/> Tree 20	<input type="radio"/> Tree 26
<input type="radio"/> Tree 5	<input type="radio"/> Tree 11	<input type="radio"/> Tree 21	<input type="radio"/> Tree 27
<input type="radio"/> Tree 6	<input type="radio"/> Tree 14	<input type="radio"/> Tree 22	<input type="radio"/> Tree 28

The proposed development is not expected to compromise the long-term viability of the above-mentioned trees.

Less invasive construction measures or development redesign are therefore not required to ensure that these trees would remain viable post construction.

7.3.2 Major encroachment

The proposed development is considered to be a major encroachment according to section 3.3.6 of the Australian Standard AS4970 – 2025 'Protection of Trees on Development Sites' of the following trees:

<input type="radio"/> Tree 12	<input type="radio"/> Tree 13	<input type="radio"/> Tree 15	<input type="radio"/> Tree 19
-------------------------------	-------------------------------	-------------------------------	-------------------------------

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Tree 12	
Encroachment	<input type="radio"/> This tree group is located within the proposed footprint of the site cut/retaining wall & dwelling. <input type="radio"/> The proposed development requires the removal of this tree group.
Retention value	<input type="radio"/> This tree group is of low retention value.
Proposed retention	<input type="radio"/> This tree group is proposed to be removed. <input type="radio"/> Less invasive construction measures or development redesign is therefore not required.
Permits	<input type="radio"/> This tree group is exempt from permit requirements in accordance with Clause 52.12.

Tree 13	
Encroachment	<input type="radio"/> The proposed footprint of the site cut/retaining wall/batter and dwelling results in an encroachment into the NRZ by 26.6% and 23.0% into the SRZ. <input type="radio"/> This is considered to be a major encroachment (6.3). <input type="radio"/> The construction of the proposed development has the potential to compromise the tree's long-term viability.

Retention value	<ul style="list-style-type: none"> ○ This tree is of low retention value.
Proposed retention	<ul style="list-style-type: none"> ○ This tree is proposed to be removed. ○ Less invasive construction measures or development redesign is therefore not required.
Permits	<ul style="list-style-type: none"> ○ This tree is exempt from permit requirements in accordance with Clause 52.12 and is a weed species within VPO2.

Tree 15	
Encroachment	<ul style="list-style-type: none"> ○ The proposed footprint of the site cut results in an encroachment into the NRZ by 29.5% and 27.0% into the SRZ. ○ This is considered to be a major encroachment (6.3). ○ The construction of the proposed development has the potential to compromise the tree's long-term viability.
Retention value	<ul style="list-style-type: none"> ○ This tree is of low retention value.
Proposed retention	<ul style="list-style-type: none"> ○ This tree is proposed to be removed. ○ Less invasive construction measures or development redesign is therefore not required.
Permits	<ul style="list-style-type: none"> ○ This tree is exempt from permit requirements in accordance with Clause 52.12.

Tree 19	
Encroachment	<ul style="list-style-type: none"> ○ The proposed footprint of the site cut results in an encroachment into the NRZ by 31.8% and 32.6% into the SRZ. ○ This is considered to be a major encroachment (6.3). ○ The construction of the proposed development has the potential to compromise the tree's long-term viability.
Retention value	<ul style="list-style-type: none"> ○ This tree is of low retention value.
Proposed retention	<ul style="list-style-type: none"> ○ This tree is proposed to be removed. ○ Less invasive construction measures or development redesign is therefore not required.
Permits	<ul style="list-style-type: none"> ○ This tree is exempt from permit requirements in accordance with Clause 52.12.



8 Recommendations

8.1 Tree retention

The following trees of low retention value are proposed to be retained:

- Tree 1
- Tree 2
- Tree 4
- Tree 5
- Tree 6
- Tree 7
- Tree 8
- Tree 9
- Tree 10
- Tree 11
- Tree 14
- Tree 16
- Tree 17
- Tree 18

The following tree of moderate retention value is proposed to be retained:

- Tree 3

The following neighbouring trees are proposed to be retained:

- Tree 20
- Tree 21
- Tree 22
- Tree 23
- Tree 24
- Tree 25
- Tree 26
- Tree 27
- Tree 28

The following is recommended in order to ensure that trees that are proposed to be retained would remain viable post construction:

- Comply with less invasive construction measures (8.3)
- Comply with tree protection measures (8.4)

8.1.1 Permit requirements for trees that are proposed to be retained

A permit is required to remove destroy or lop the following trees that are proposed to be retained under Clause 52.37:

- Tree 1
- Tree 5

A permit is required to remove destroy or lop the following trees that are proposed to be retained under VPO2:

- Tree 1
- Tree 3
- Tree 5
- Tree 23
- Tree 25
- Tree 26
- Tree 28



8.2 Tree removal

The following trees of low retention value are proposed to be removed:

- Tree 12
- Tree 13
- Tree 15
- Tree 19



In the event of tree removal, the following is recommended:

- Tree removal should be undertaken prior to construction commencing or during demolition.

8.2.1 Permit requirements for trees that are proposed to be removed

Trees that are proposed to be removed are exempt from permit requirements in accordance with Clause 52.12.

8.3 Less invasive construction measures

Less invasive construction measures or development redesign are not required to ensure that trees which are proposed to be retained (8.1) would remain viable post construction.

8.3.1 Fencing

In the event that a fence is proposed within the NRZ of a tree that is proposed to be retained (8.1), the following should be undertaken:

- Construct fence via a post footing system, with the plinth above grade.
- Excavation for posts should be undertaken by hand within the NRZ.
- Excavation for posts within the NRZ should be supervised by a suitably qualified arborist (AQF Level 5).
- Final post locations should be adaptable so that they are set away from the SRZ and any roots greater than 40mm in diameter.

8.3.2 Landscape works

- Excavation within the NRZ should be undertaken by hand.
- Significant roots (roots with a girth of greater than 40mm in diameter) should not be damaged or pruned.
- Hard surfaces should be constructed above grade and constructed via a permeable material of a pH neutral composition within the NRZ.

8.3.3 Underground services

- All services should be located outside the NRZ/TPZ and SRZ wherever possible.
- If underground services are required to be installed within the SRZ or will result in a total combined encroachment from all proposed works (e.g. buildings, site cuts, driveway, services, etc.) that is greater than 10% into the NRZ/TPZ, a suitably qualified arborist (AQF Level 5) should be engaged to determine if installation should be carried out using non-destructive methods.
- Acceptable non-destructive methods include directional drilling greater than 0.6m in depth, hydro excavation, hand excavation, or other techniques as specified by a suitably qualified arborist (AQF Level 5).

Note: encroachment calculations must consider additional encroachments e.g. site cuts, retaining walls, building footprint.

8.4 Tree protection measures

8.4.1 Pruning

- Pruning of trees that are proposed to be retained (8.1) is not required for clearance purposes and should therefore not be undertaken.
- In the event of unforeseen event that pruning is required the following should be undertaken:
 - Only the minimum amount necessary for clearance in order to complete construction should be removed.
 - Pruning should be undertaken by a suitably qualified Arborist (minimum AQF level 3).
 - The pruning should be undertaken in accordance with the Australian Pruning Standard AS 4373 – 2007.
 - Pruning should be undertaken prior to machinery being brought onto site.



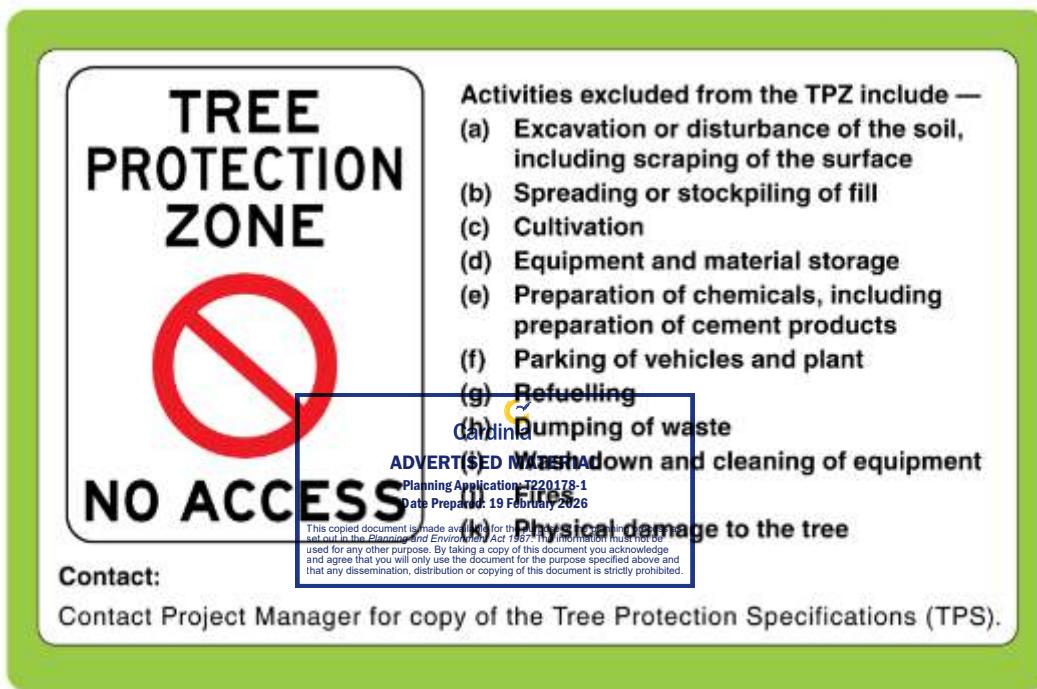
8.4.2 Tree protection fencing

- Tree protection fencing (TPF) should be installed for Trees 1 – 3, 5 – 7, 14, 16 – 18, 23 & 25.
- TPF should be installed as close to the NRZ/TPZ boundary as practically possible provided that it does not encroach onto the road, footpath, crossover or proposed works.
- TPF should be erected before any machinery or materials are brought onto the site and before the commencement of works, including demolition,

- Once erected, protective fencing shall not be removed or altered without approval by the project arborist except in accordance with the Tree Protection Specifications (TPS).
- TPF should restrict access to the enclosed portion of the TPZ

8.4.3 Tree protection signage

- A TPZ sign provides clear and readily accessible information to indicate that a TPZ has been established.
- The sign should be minimum A3 size.



8.4.4 Ground protection

- Ground protection is not expected to be required.

8.4.5 Site storage

- A designated storage area where building materials, chemicals etc. can be stored should be located outside the TPZ of retained trees.

8.4.6 Prohibitions within the TPZ

The following activities are prohibited within the TPZ:

- Excavation, cultivation or disturbance of the soil, including scraping of the surface.
- Equipment and material storage.
- Preparation of chemicals, including preparation of cement products.

- Movement or parking of vehicles and plant.
- Dumping of waste.
- Spreading or stockpiling of fill.
- Refuelling.
- Washing down and cleaning of equipment or hard surfaces.
- Fires.
- Physical damage to the tree.



9 Limitation of liability

TMC Reports and their employees are tree specialists who use their qualifications, education, knowledge, training, diagnostic tools and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of this assessment and report.

Trees are living organisms that fail in ways the arboriculture industry does not fully understand. Conditions are often hidden within trees and below ground. Unless otherwise stated, observations have been made from ground level and limited to accessible components without dissection, excavation or probing. There is no guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments cannot be guaranteed.

Treatment, pruning and removal of trees may involve considerations beyond the scope of this report, such as property boundaries and ownership, disputes between neighbours, sight lines, landlord-tenant matters, and related incidents. Such issues cannot be taken into account unless complete and accurate information is given prior to or at the time of site inspection.

Information contained in this report covers those items that were examined and reflect the condition of those items at the time of inspection. There is no warranty or guarantee expressed or implied that the problems or deficiencies of the trees or property in question may not arise in the future. Trees can be managed, but they cannot be controlled. To live or work near a tree involves a degree of risk. The only way to eliminate all risks involved with a tree is to eliminate the tree.

All written reports must be read in their entirety, at no time shall part of the written assessment be referred to unless taken in full context of the whole written report.



10 Definition of terms

10.1 Terms within the tree data table

Category	Description
NRZ	<p>The Notional Root Zone (NRZ) is defined in Clause 1.3.11 of AS 4970:2025 as: <i>"a zone enclosed by a radius of 12 times DSH that is a primary trigger for arboricultural input on a development site."</i></p> <ul style="list-style-type: none"> • The radius of the NRZ is calculated by multiplying the tree's diameter at standard height (DSH) by 12. • The DSH is measured at 1.4m above ground level. The minimum NRZ radius shall not be less than 2m, and the maximum shall not exceed 15m.
SRZ	<p>The Structural Root Zone (SRZ) is defined in Clause 1.3.17 of AS 4970:2025 as: <i>"theoretical area around the base of a tree required for the tree's stability in the ground."</i></p> <p>The SRZ radius is determined using the following formula:</p> <ul style="list-style-type: none"> • SRZ radius = $(D \times 50)^{0.42} \times 0.64$ • Where D = trunk diameter (in metres), measured above the root buttress flare. <p>The SRZ only accounts for structural stability, not the full extent of the root zone needed for long-term health and viability</p> <ul style="list-style-type: none"> • The SRZ calculation does not apply to palms, cycads, tree ferns and the like. • The minimum SRZ radius shall not be less than 1.5m
TPZ	<p>The Tree Protection Zone (TPZ) is defined in Clause 1.3.19 of AS 4970:2025 as: <i>"specified zone above and below ground and at given offsets from the trunk set aside to protect a tree's roots and crown where these might be damaged by development."</i></p> <ul style="list-style-type: none"> • The NRZ is the starting point for determining the TPZ. • The TPZ should be determined using various considerations in relation to the tree and proposed encroachments.
DSH:	<p>Diameter at Standard Height (DSH) (1.4m from ground level). The DSH measurement is what is used to calculate the Notional Root Zone (NRZ).</p>
DAB:	<p>The Diameter Above Buttress is the diameter of the trunk measured immediately above the root buttress flare. The DAM measurement is what is used to calculate the Structural Root Zone (SRZ).</p> <p> Cardinia ADVERTISED MATERIAL Planning Application: 3220178-1 Date Prepared: 19 February 2020</p> <p>This copied document is made available for the purposes of the planning process as set out in the Planning and Environment Act 1987. This information must not be used for any other purpose. By taking a copy of this document you acknowledge and accept you only have the document for the purposes set out above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>
CA1 / CA1.5:	<p>Circumference of trunk at either 1m or 1.5m from ground level Combined circumference is the sum of individual stem circumferences.</p>

10.2 Tree health

Category	Description
Good:	The tree is demonstrating good or exceptional growth for the species. The tree is exhibiting a full canopy of foliage and may have only minor pest or disease problems. Foliage colour, size and density is typical of a healthy specimen of that species.
Fair:	The tree is in reasonable condition and growing well for the species. The tree may exhibit an adequate canopy of foliage. There may be some dead wood in the crown, some grazing by insect or animals may be evident, and/or foliage colour, size or density may be atypical for a healthy specimen of that species.
Poor:	The tree is not growing to its full capacity. Extension growth of the laterals may be minimal. The canopy may be thinning or sparse. Large amounts of dead wood may be evident throughout the crown, as well as significant pest and disease problems. Other symptoms of stress indicating tree decline may be present.
Very poor:	The tree appears to be in a state of decline, and the canopy may be very thin and sparse. A significant volume of dead wood may be present in the canopy, or pest and disease problems may be causing a severe decline in tree health.
Dead:	The tree is no longer alive.

10.3 Structure

Category	Description
Good:	The tree has a well-defined and balanced crown. Branch unions appear to be strong, with no defects evident in the trunks or the branches. Major limbs are well defined. The tree would be considered a good example for the species. Probability of significant failure is highly unlikely.
Fair:	The tree has some minor problems in the structure of the crown. The crown may be slightly out of balance at some branch unions or branches may be exhibiting minor structural faults. If the tree has a single trunk, this may be on a slight lean, or be exhibiting minor defects. Probability of significant failure is low.
Poor:	The tree may have a poorly structured crown, the crown may be unbalanced, or exhibit large gaps. Major limbs may not be well defined; branches may be rubbing or crossing over. Branch unions may be poor or faulty at the point of attachment. The tree may have suffered major root damage. Probability of significant failure is moderate.
Very poor:	The tree has a poorly structured crown. The crown is unbalanced or exhibits large gaps. Major limbs are not well defined. Branch unions may be poor or faulty at the point of attachment. A section of the tree has failed or is in imminent danger of failure. Active failure may be present, or failure is probably in the immediate future.
Failed:	A significant section of the tree or the whole tree has failed.

10.4 Useful life expectancy (ULE)

Category	Description
Unsafe:	The tree is considered dangerous in the location and should be addressed as a priority..
0 years:	The tree no longer provides any amenity value.
Less than 5 years:	The tree under normal circumstances and without extra stress should be safe and have value of maximum of 5 years. The tree will need to be replaced in the short term. Replacement plants should be established as soon as possible if there is efficient space, or consideration should be given to the removal of the tree to facilitate replanting.
5 to 10 years:	The tree under normal circumstances and without extra stress should be safe and have value of maximum of 10 years. Trees in this category may require regular inspections and maintenance particularly if they are large specimens. Replacement plants should be established in the short term if there is sufficient space, or consideration should be given to the removal of the tree to facilitate replanting.
10 to 20 years:	The tree under normal circumstances and without extra stress should be safe and of value of up to 20 years. During this period, regular inspections and maintenance will be required.
20 + years:	The tree under normal circumstances and without extra stress should be safe and of value of more than 20 years. During this period, regular inspections and maintenance will be required.



10.5 Tree retention value

Category	Description
High:	The tree may be significant in the landscape, offer shade and other amenities such as screening. The tree may assist with erosion control, offer a windbreak or perform a vital function in the location (e.g. habitat, shade, flowers or fruit). The tree is free from structural defects and is vigorous. Consider the retention of the tree and designing the development to accommodate the tree.
Moderate:	The tree may offer some screening in the landscape or serve a particular function in the location and have minor structural defects. The tree may be entering the mature stage of its life cycle. The tree may be retained if it does not hamper the design intent.
Low:	The tree offers very little in the way of screening or amenity and may have significant structural defects. The tree may also be mature and entering the senescent stage of its life cycle. The tree may be removed if necessary.
Neighbouring tree:	The tree is located within an adjoining private property/land. The tree is to be protected unless written consent from the tree owner(s) and/or responsible authority is obtained. Consider the retention of the tree unless written consent is obtained from the tree owner and/or responsible authority.
Council owned tree:	The tree is located within Council owned land. The tree is to be protected unless written consent from the responsible authority is obtained. Consider the retention of the tree unless written consent is obtained from the tree owner and/or responsible authority.

10.6 Age

Category	Description
Young:	Juvenile or recently planted approximately 1-7 years.
Semi Mature:	An established tree but one which has not reached its potential ultimate height and has significant growth potential. Tree is actively growing.
Mature:	Tree has reached expected size in its growing conditions.
Senescent:	Tree is over mature and has started to decline.
Dead:	The tree is no longer alive.

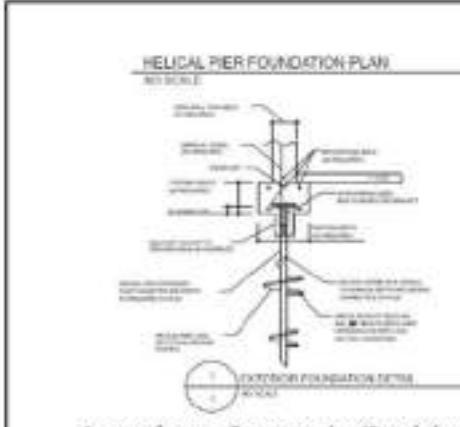
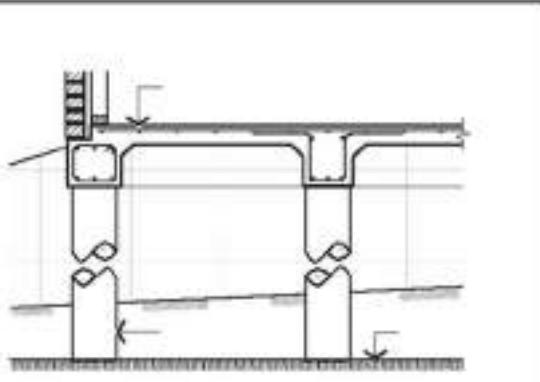
10.7 Amenity value

Category	Description
Very Low:	Tree makes little or no amenity value to the site or surrounding areas. In some cases, the tree might be detrimental to the area's amenity value (e.g. unsightly, risk of weed spread).
Low:	Tree makes some contribution of amenity value to the site but makes no contribution to the amenity value of surrounding areas. The removal of the tree may result in little loss of amenity. Juvenile trees, including street trees are generally included in this category. However, they may have the potential to supply increased amenity in the future.
Moderate:	The tree makes a moderate contribution to the amenity of the site and/or contributes to the amenity of the surrounding area.
High:	The tree makes a significant contribution to the amenity value of the site, or the tree makes a moderate contribution to the amenity value of the larger landscape.

10.8 Root investigation

Description
<p>Where it is proposed that development is considered to be a major encroachment, a non-destructive root exploratory investigation may be required within the alignment of the proposed encroachment.</p> <p>By undertaking a non-destructive root exploratory investigation, the extent of roots within that particular area may be determined. If a negligible amount of roots are required to be removed or damaged in order to construct the proposed development, the tree may remain viable. If a significant amount of roots are proposed to be removed or damaged in order to construct the proposed development, the tree may not remain viable.</p> <p>Obstructions (paving, vegetation, structures) within the alignment of proposed encroachments may be required to be removed prior to the non-destructive root exploratory investigation occurring.</p> <p>The non-destructive root exploratory investigation report should:</p> <ul style="list-style-type: none">○ Be undertaken by a suitably qualified Arborist (AQF Level 5 Arboriculture).○ Detail the total distance of each excavation line.○ Detail the closest distance from the trunk centre to the excavation line.○ The size (diameter) and number of roots discovered and the depth of roots (where relevant).○ Include photographs of the subject tree(s) trenches and roots.○ Include a discussion of the findings of the root investigation and the impact of the proposed works on the long-term health/ structural stability of the tree(s).

10.9 Less invasive footings

Description
<p>Clause 3.3.4 (H) of the Australian Standard 'Protection of Trees on Development Sites' states that "tree sensitive construction measures such as pier and beam, suspended slabs cantilevered building sections, screw pile and contiguous piling can minimise the impact of encroachment".</p> <ul style="list-style-type: none">○ Footing design which allows the structure to bridge over the top of a tree's root has been described by Harris et al (2004) and Roberts et al (2006). Pier and beam and screw piles (figures below) are two methods of achieving this outcome. This must be designed by an appropriately qualified engineer. It is recommended the project arborist be onsite to supervise the installation of footings within the TPZ/NRZ and SRZ. <div style="display: flex; justify-content: space-around;"><div style="text-align: center;"><p>Image of screw pile construction (Google images).</p></div><div style="text-align: center;"><p>An example of pier and beam construction (Google images).</p></div></div>



10.10 Considerations for encroachments

Consideration	Description
Tree species	<p>Different tree species vary significantly in their ability to tolerate root pruning. The same extent of root loss may have minimal impact on one species while causing severe decline or instability in another. As such, species tolerance is a critical factor when assessing the potential impact of a proposed encroachment.</p> <p>A consulting arborist must consider the biological characteristics and root sensitivity of the tree species when determining whether the tree is likely to tolerate root disturbance. Some species exhibit greater resilience to root loss due to their growth habits, rooting patterns, or adaptive capacity, while others may be highly susceptible to even minor disturbances.</p> <p>Therefore, species tolerance should be a key component of any encroachment assessment, especially in situations involving root pruning or excavation within the NRZ.</p>
Tree health	<p>A tree's health is a critical factor in its ability to tolerate root loss. Healthy trees have greater energy reserves, primarily produced through photosynthesis, which fuels vital functions such as wound compartmentalisation, root regeneration, and stress response. Trees with a full, vigorous canopy are typically more efficient at photosynthesis, enabling them to recover more effectively from pruning or disturbance. In contrast, trees in poor health or with a sparse canopy may lack the photosynthetic capacity to generate the energy needed for recovery, making them more susceptible to decline following root loss. Therefore, overall tree health and canopy condition are important considerations when assessing the potential impacts of encroachment within the NRZ.</p>
Tree age	<p>Young trees typically have a smaller, more concentrated, and vigorous root system, which allows them to respond more effectively to disturbance. Their high growth rates and metabolic activity mean they are generally more resilient to root pruning and can regenerate lost roots more quickly than mature trees. In addition, younger trees often have greater photosynthetic capacity relative to their size, enabling them to allocate more energy toward recovery and new growth.</p> <p>In contrast, mature trees usually have a much larger and more structurally complex root system that supports a greater canopy mass. The loss of structural or fine roots in older trees can significantly affect their stability and function. Furthermore, mature trees tend to have reduced growth rates and slower physiological responses, making recovery from root damage less efficient.</p> <p>As a result, tree age and developmental stage are important factors for a consulting arborist to consider when evaluating a tree's capacity to tolerate root disturbance associated with a proposed encroachment.</p>
Lean of tree	<p>The lean of a tree can provide valuable insights into the distribution of its root system. Structural roots typically develop more extensively on the side opposite the direction of the lean—known as the tension side—to provide mechanical support and resist gravitational forces.</p> <p>The tension side plays a critical role in tree stability and is expected to have a higher concentration of anchoring roots. Therefore, when assessing proposed encroachments within the NRZ (Notional Root Zone), particular attention should be given to the tension side, as disturbances in this area may have a greater impact on the tree's structural integrity.</p>
Soil characteristics	<p>Soil type plays a critical role in determining root architecture and has direct implications for assessing encroachments. In coarse-textured soils, such as sandy soils, tree roots typically grow deeper and develop larger diameters due to lower compaction, better aeration, and improved drainage. As a result, a greater proportion of the root system is often located at depth rather than near the surface.</p> <p>This deeper rooting habit means that surface-level or shallow encroachments—such as driveways, paths, or trenching less than 200 mm deep—are less likely to intersect major structural roots in sandy soils compared to clay soils. Consequently, trees growing in sandy conditions may be more likely to tolerate shallow encroachments within the NRZ or TPZ, provided deeper roots remain undisturbed.</p> <p>However, a site-specific assessment by a suitably qualified arborist is essential, as root depth and distribution can still vary based on other factors such as species, age, water availability, and past site disturbance.</p>
Existing retaining wall	<p>Depending on the soil type, tree roots can extend to depths of approximately 600–800 mm below ground level. In well-drained soils such as sand, roots may grow deeper, while in compacted or poorly drained soils like clay, root growth is typically shallower and more lateral.</p> <p>Retaining walls can influence root distribution by acting as physical barriers. If a retaining wall is located near a tree, particularly within the TPZ or NRZ, it may have already restricted root development beyond its base—especially if the wall is deep or constructed with impermeable materials such as concrete. In such cases, root growth is often concentrated on the near side of the wall, and there may be significantly fewer or no structural roots extending beyond it.</p>
Existing soil level difference	<p>Tree roots generally grow in the path of least resistance, favouring areas with adequate oxygen, moisture, and loose, uncompacted soil. When there is a change in soil level—such as a raised or lowered area, or a sharp transition created by a retaining wall or excavation—root growth into the adjacent zone may be restricted.</p> <p>This is particularly true if the difference in soil level results in increased compaction, reduced aeration, or a physical barrier. For example, if a tree is growing on a higher plane, roots may be less likely to extend into a lower, excavated area due to the added resistance and potential moisture accumulation. Conversely, roots may not grow upward into a raised area if the fill is heavily compacted or lacks adequate conditions for root development.</p> <p>Therefore, changes in soil level can significantly influence root distribution, and should be considered when assessing potential impacts of encroachment or planning construction near trees.</p>

Consideration	Description
Existing vegetation	Existing vegetation in close proximity to a tree can create competition for essential resources such as water, nutrients, and space within the soil profile. Dense or well-established vegetation, particularly other trees or large shrubs, may create a zone of intense competition that can deter root growth from neighbouring trees into that area. As a result, a tree's root system may be less developed in areas where strong competition exists, especially if the surrounding vegetation has already established dominance over the available soil resources. This can influence root distribution patterns and should be considered when assessing the likely presence or absence of roots in a particular area.
Hard encroachment	A hard encroachment involves works that typically require deep excavation or substantial soil modification such as strip footings, site cuts and retaining walls greater than 200mm in depth, basements etc.
Soft encroachment	A soft encroachment refers to less invasive works that have a lesser impact on tree roots and soil conditions. Such as driveways, paving, fill, site cuts or retaining walls less than 200mm in depth etc.
Hard and soft encroachment comparison	Trees are generally able to tolerate a higher percentage of soft encroachment compared to hard encroachments due to the reduced likelihood of root damage and soil disruption. When determining if a tree is expected to tolerate a moderate or major encroachment, suitably qualified arborist (AQF Level 5) will not only consider the encroachment percentage, but also consider if type of encroachment (i.e. hard or soft) and its potential to impact a trees root system.
Compensatory area	In the event of an encroachment into the NRZ, a compensatory area may be considered within the TPZ. If a suitable portion of the TPZ remains available for root growth and is accessible to the tree, it can help offset the encroachment and increase the likelihood of the tree's ongoing health and structural stability.



10.11 Clause 52.37 considerations

Clause 52.37 is a state-wide Planning Provision, effective as of the 15th of September 2025. The following table provides further clarification of terms and conditions within Clause 52.37:

Clause 52.37 considerations	
Clause 52.37 and Local Law	<p>Clause 52.37 does not override or limit the operation of other relevant planning provisions such as overlays or bushfire requirements.</p> <p>Clause 52.37 may override a local law regarding tree removal only when it duplicates the considerations of the local law. The local law may continue to operate for any matters that are beyond the scope of Clause 52.37.</p>
Affected planning zones	<p>Clause 52.37 applies to residential land located within any of the following planning zones:</p> <ul style="list-style-type: none"> ▪ Mixed Used Zone (MUT) ▪ Township Zone (TZ) ▪ Residential Growth Zone (RGZ) ▪ General Residential Zone (GRZ) ▪ Neighbourhood Residential Zone (NRZ) ▪ Housing Choice and Transport Zone (HCTZ)
Definitions	<p>Canopy Trees</p> <p>The clause defines 'Canopy Trees' as trees which meet all of the following triggers:</p> <ul style="list-style-type: none"> ○ The tree has a height greater than 5m ○ The tree has a trunk circumference of more than 0.5m, measured at 1.4m above ground level ○ The tree has a canopy diameter of at least 4m <p>Boundary Canopy Trees</p> <p>Clause 52.37 separately defines 'Boundary Canopy Trees' as Canopy Trees (as defined above) where:</p> <ul style="list-style-type: none"> ○ any part of the trunk is located within 6m of the narrowest street frontage of a lot, or ○ any part of the trunk is located within 4.5m of the rear boundary of a lot.
Transitional provisions	<p>The requirements of clause 52.37 do not apply to:</p> <ul style="list-style-type: none"> ○ The removal, destruction or lopping of a canopy tree associated with the construction of a building or the construction or carrying out of works in accordance with a building permit that was issued either: <ul style="list-style-type: none"> – before the approval date of Amendment VC289; or – within 12 months after the approval date of Amendment VC289 and either: ○ a relevant building surveyor (within the meaning of the Building Act 1993) was appointed to issue the building permit before the approval date of Amendment VC289; or ○ a relevant building surveyor (within the meaning of the Building Act 1993) is satisfied, and certifies in writing, that substantial progress was made on the design proposal before the approval date of Amendment VC289. ○ The removal, destruction or lopping of a canopy tree associated with the construction of a building or the construction or carrying out of works in accordance with a permit granted before the approval date of Amendment VC289. ○ The removal, destruction or lopping of a canopy tree associated with the construction of a building or the construction or carrying out of works in accordance with a permit if the application for that permit was made before the approval date of Amendment VC289. ○ The removal, destruction or lopping of a canopy tree in accordance with a permit granted under another provision of this planning scheme before the approval date of Amendment VC289. ○ The removal, destruction or lopping of a canopy tree on land in a Development Plan Overlay if a development plan was prepared to the satisfaction of the responsible authority under clause 43.04 before the approval date of Amendment VC289 and a permit is not required to remove, destroy or lop the tree under another provision of this planning scheme. ○ The removal, destruction or lopping of a canopy tree on land included in an Incorporated Plan Overlay before the approval date of Amendment VC289 and a permit is not required to remove, destroy or lop the tree under another provision of this planning scheme.


Cardinia
ADVERTISED MATERIAL
 Planning Application: T220178-1
 Date Prepared: 19 February 2026

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Clause 52.37 examples

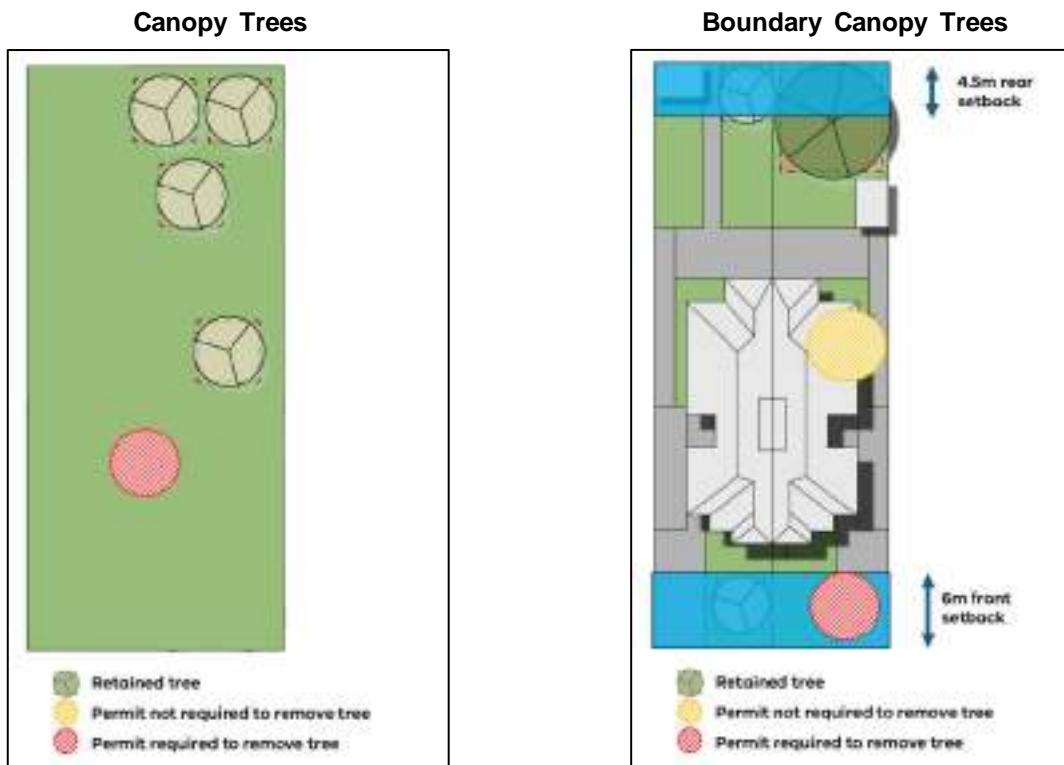


Figure 1: *Canopy Trees* are protected anywhere on a vacant lot (unless subject to a planning permit application).

Figure 2: *Boundary Canopy Trees* are protected within the front and rear boundaries of developed lots, or a vacant lot subject to planning permit application.

State-listed noxious weeds

The following woody plants are declared noxious weeds within the State of Victoria and are therefore exempt from protection under Clause 52.37:

Scientific name	Common name
<i>Acacia nilotica</i>	Prickly acacia
<i>Ailanthus altissima</i>	Tree of heaven
<i>Cestrum parqui</i>	Chilean cestrum
<i>Crataegus monogyna</i>	Hawthorn
<i>Genista linifolia</i>	Flax-leaved broom
<i>Genista monspessulana</i>	Cape broom
<i>Lycium ferocissimum</i>	African boxthorn
<i>Mimosa pigra</i>	Mimosa
<i>Opuntia</i> spp. (some exceptions)	Opuntioid cacti
<i>Salix</i> (some exceptions)	Willow
<i>Tamarix aphylla</i>	Athel pine



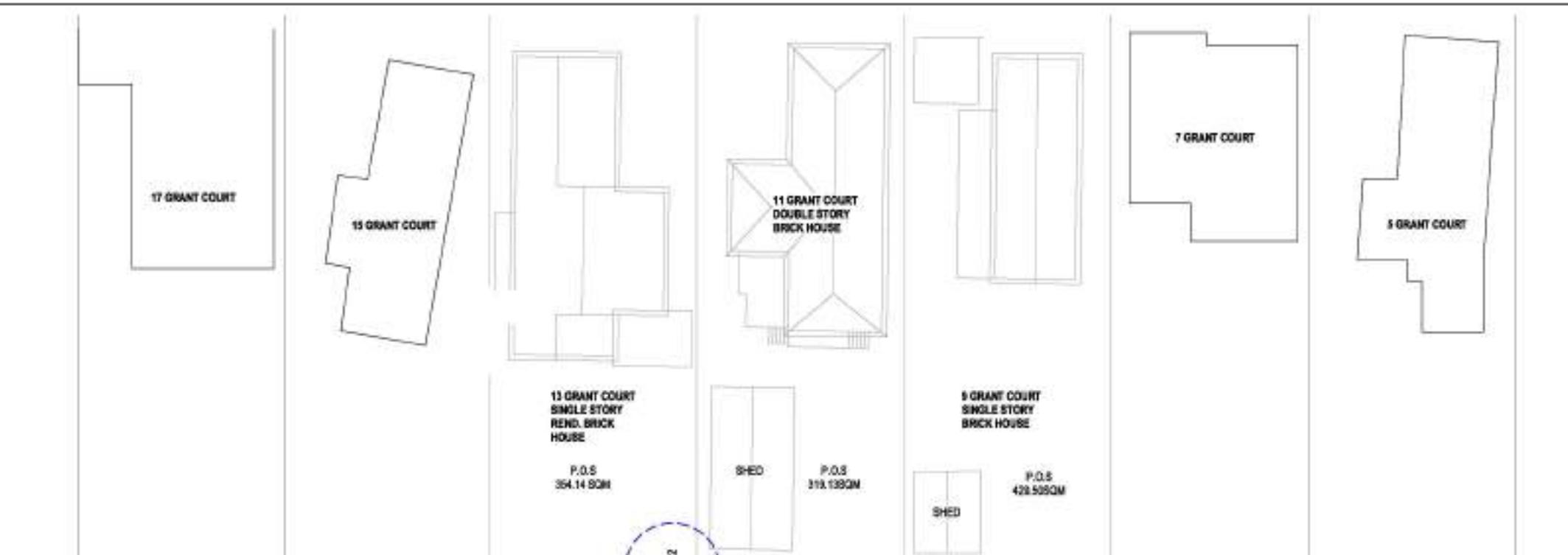
Table of exemptions (Clause 52.37)

The following table identifies exemptions to Clause 52.37:

The requirement to obtain a permit does not apply to:	
Dead canopy tree	A canopy tree that is dead.
Emergency works	A canopy tree that is to be removed, destroyed or lopped: <ul style="list-style-type: none"> in an emergency by, or on behalf of, a public authority or municipal council to create an emergency access or to enable emergency works; or where it presents an immediate risk of personal injury or damage to property. Only that part of the canopy tree that presents the immediate risk may be removed, destroyed or lopped under this exemption.
Extractive industry	A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary to enable the carrying out of extractive industry in accordance with a work plan approved under the <i>Mineral Resources (Sustainable Development) Act 1990</i> and authorised by a work authority granted under that Act.
Fire protection	A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary to carry out the following fire protection activities: <ul style="list-style-type: none"> fire fighting; planned burning; making or maintenance of a fuel break or fire fighting access track (or any combination thereof) that does not exceed a combined width of 6 metres; the making of a strategic fuel break up to 40 metres wide by, or on behalf of, a public authority in accordance with a strategic fuel break plan approved by the Secretary to the Department of Energy, Environment and Climate Action (as constituted under Part 2 of the Conservation, Forests and Lands Act 1987); in accordance with a fire prevention notice issued under either: <ul style="list-style-type: none"> section 87 of the Fire Rescue Victoria Act 1958; section 65 of the Forests Act 1958; or section 41 of the Country Fire Authority Act 1958; or keeping a canopy tree clear of, or minimising risk of bushfire ignition from, an electric line in accordance with a code of practice prepared under Part 8 of the Electricity Safety Act 1998; minimising the risk to life and property from bushfire on a roadside of a public road managed by the relevant responsible road authority, and carried out by, or on behalf of that authority, in accordance with the written agreement of the Secretary to the Department of Energy, Environment and Climate Action (as constituted under Part 2 of the Conservation, Forests and Lands Act 1987). In this exemption, roadside, public road and responsible road authority have the same meanings as in section 3 of the Road Management Act 2004. <p>Note: Additional permit exemptions for bushfire protection are provided at Clause 52.12.</p>
Geothermal energy exploration and extraction	A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary in accordance with an operation plan approved under the <i>Geothermal Energy Resources Act 2005</i> .
Greenhouse gas sequestration and exploration	A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary in accordance with an operation plan approved under the <i>Greenhouse Gas Geological Sequestration Act 2008</i> .
Land management and directions notice	A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary to comply with a land management notice or directions notice served under the <i>Catchment and Land Protection Act 1994</i> .
Land use conditions	A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary to comply with a land use condition served under the <i>Catchment and Land Protection Act 1994</i> .
Lopping and pruning for maintenance	Lopping or pruning a canopy tree, for maintenance only, provided no more than 1/3 of the foliage of the tree is lopped or pruned.

The requirement to obtain a permit does not apply to:	
	<p>This exemption does not apply to:</p> <ul style="list-style-type: none"> the pruning or lopping of the trunk of a canopy tree; pruning or lopping that would reduce the height of the tree to less than 5 metres or the canopy diameter of the tree to less than 4 metres.
Mineral exploration and extraction	<p>A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary by the holder of an exploration, mining, prospecting, or retention licence issued under the Mineral Resources (Sustainable Development) Act 1990:</p> <ul style="list-style-type: none"> that is low impact exploration within the meaning of Schedule 4A of the Mineral Resources (Sustainable Development) Act 1990; or in accordance with a work plan approved under Part 3 of the Mineral Resources (Sustainable Development) Act 1990. <p>Note: Schedule 4A of the Mineral Resources (Sustainable Development) Act 1990 specifies limits on the extent of a native tree that may be removed as part of low impact exploration.</p>
Noxious and environmental weeds	<p>A canopy tree that is identified as a noxious weed in:</p> <ul style="list-style-type: none"> a declaration under section 58 or section 58A of the <i>Catchment and Land Protection Act 1994</i>. This exemption does not apply to Australian Dodder (<i>Cuscuta australis</i>); or a planning scheme.
Public land manager	<p>A canopy tree that is to be removed, destroyed or lopped by or on behalf of a public land manager.</p>
Railways	<p>A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary to maintain the safe and efficient function of an existing railway, or railway access road, in accordance with the written agreement of the Secretary to the Department of Energy, Environment and Climate Action (as constituted under Part 2 of the <i>Conservation, Forests and Lands Act 1987</i>).</p>
Road safety	<p>A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary by or on behalf of a public authority or municipal council to maintain the safe and efficient function of an existing public road with the written agreement of the Secretary to the Department of Energy, Environment and Climate Action (as constituted under Part 2 of the <i>Conservation, Forests and Lands Act 1987</i>).</p>
Traditional owners	<p>A canopy tree that is to be removed, destroyed or lopped by a person acting under, and in accordance with:</p> <ul style="list-style-type: none"> a natural resources agreement under Part 6 of the Traditional Owner Settlement Act 2010; or an authorisation order made under sections 82 or 84 of the <i>Traditional Owner Settlement Act 2010</i> as those sections were in force immediately before the commencement of section 24 of the <i>Traditional Owners Settlement Amendment Act in 2016 (1 May 2017)</i>.
Tram stops	<p>A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary by or on behalf of the Head, Transport for Victoria to construct a tram stop, including a tram stop shelter.</p>
Transport land	<p>A canopy tree that is to be removed, destroyed or lopped to the minimum extent necessary by or on behalf of the Head, Transport for Victoria on land in a Transport Zone, or in a Public Acquisition Overlay if the Head, Transport for Victoria is the acquiring authority, to construct or maintain transport system infrastructure, in accordance with the written agreement of the Secretary to the Department of Energy, Environment and Climate Action (as constituted under Part 2 of the <i>Conservation, Forests and Lands Act 1987</i>).</p>





1. ADJACENT SITE: 12 LENNE STREET



2. ADJACENT SITE: 14 LENNE STREET



3. SUBJECT SITE: 16 LENNE STREET



4. ADJACENT SITE: 20 LENNE STREET



5. ADJACENT SITE: 22 LENNE STREET

Previously Approved

Cardinia
ADVERTISED MATERIAL

Planning Application: T220178-1
Date Prepared: 19 February 2026

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TREE 9 HAS BEEN REMOVED
SINCE ARBORIST REPORT
WAS RECEIVED

APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME

Permit No.: T220178 PC1
Sheet: 1 of 10
Approved by: Sam Andrews
CARDINIA SHIRE COUNCIL
Date: Monday, 1 May 2023

Neighbourhood Site Description TP101 3

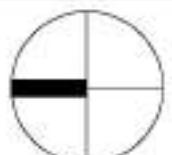
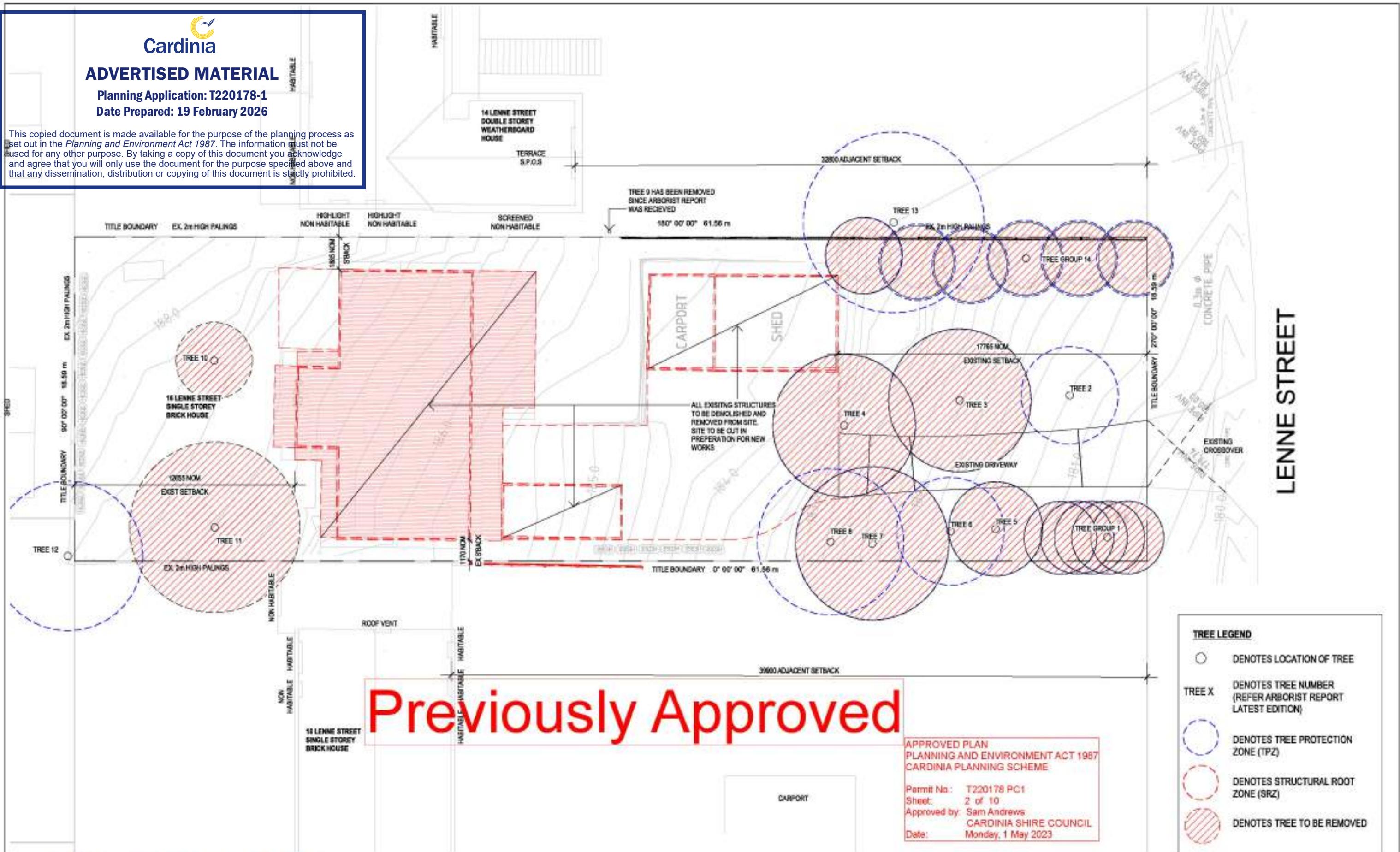




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SITE AREA	SIZE
NON HABITABLE	1144.4m ² (123.18sq)
PERVIOUS AREA	708.48m ² (78.26sq)
IMPERVIOUS AREA	674.8m ² (72.63sq)
PROPOSED AREA	469.6m ² (50.54sq)
PROPOSED AREA	208.7m ² (22.46sq)
PROPOSED AREA	139.8m ² (15.04sq)
PROPOSED AREA	46.23m ² (4.97sq)
PROPOSED AREA	67.42m ² (7.21sq)
TOTAL PROPOSED AREA	451.75m² (49.7sq)

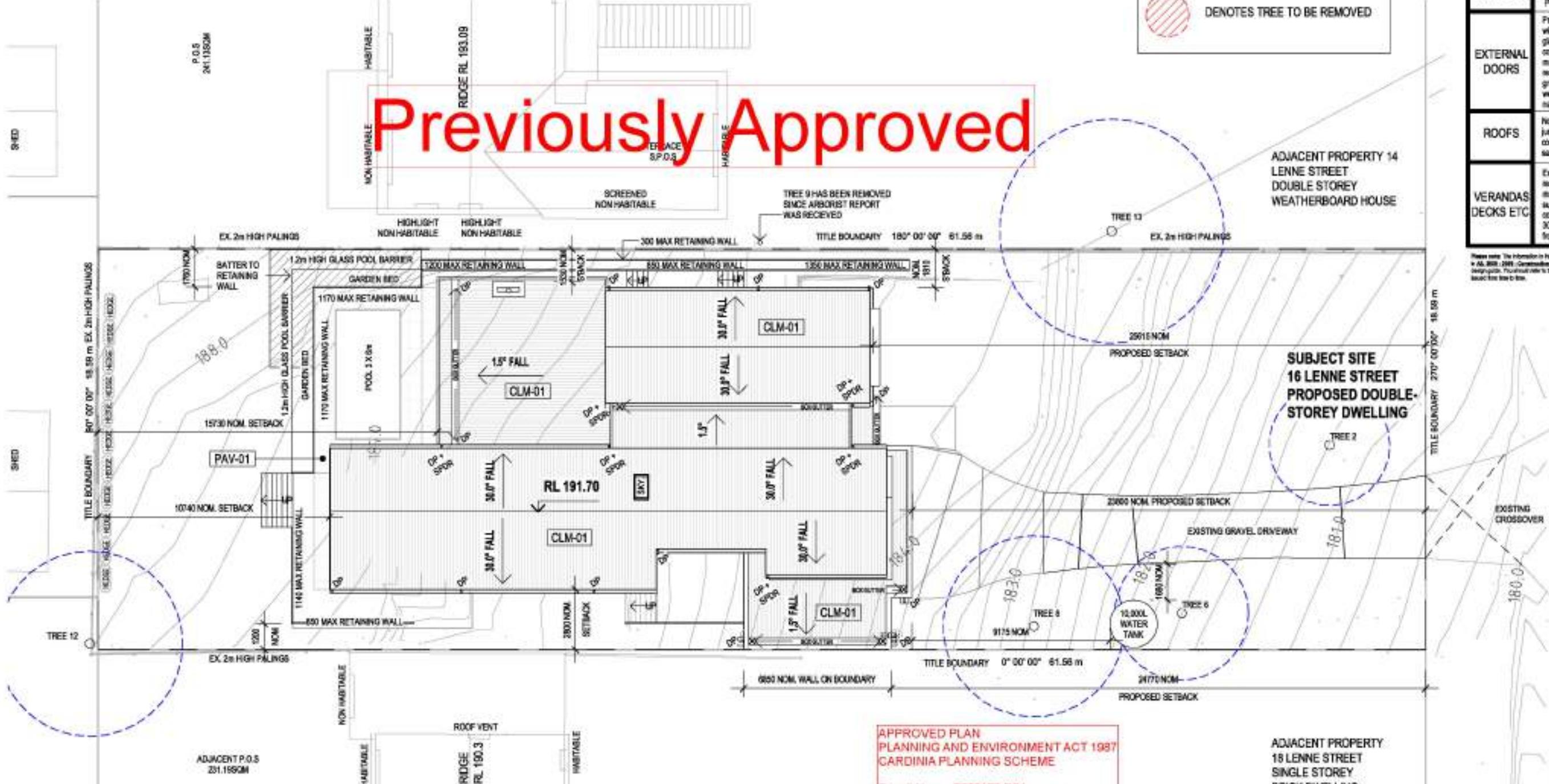
CODE	DESCRIPTION
AND-01	WINDOWS & DOORS: Powdercoated DULUX Colorbond 'MONUMENT' or similar
BRW-01	BRICKWORK/POH - MANHATTAN INDUSTRIAL CHIC BRICK - 'TRIBECA' or similar
CLJ-01	HORIZONTAL CLADDING: SCION - 'STRA-325' or similar Cladding - Painted DULUX Colorbond 'Monument' or similar
CLM-01	METAL CLADDING: COLORBOND - 'STANDING SEAM' or similar cladding - Powdercoated DULUX Colorbond 'Monument' or similar
CLT-02	TIMBER CLADDING - VERTICAL - SPOTTED GUM BATTENS - '30 X 38mm' or similar (clear state finish)
CP-01	DOWNPipe: Pressed Metal - DULUX Colorbond 'MONUMENT' or similar
PAW-01	PAVING: Stone - sandstone or similar
PDT-01	GARAGE DOOR: Powdercoated DULUX Colorbond 'Monument' or similar
REV-01	GUTTER: Pressed Metal - DULUX Colorbond 'MONUMENT' or similar
RFA-01	FASDA: Pressed Metal - DULUX Colorbond 'MONUMENT' or similar
RWH-01	Roof - Rain water head
SL-01	Steel to match Colorbond 'MONUMENT' or similar

TREE LEGEND	
○	DENOTES LOCATION OF TREE
TREE X	DENOTES TREE NUMBER (REFER ARBORIST REPORT LATEST EDITION)
○	DENOTES TREE PROTECTION ZONE (TPZ)
○	DENOTES STRUCTURAL ROOT ZONE (SRZ)
○	DENOTES TREE TO BE REMOVED

SUMMARY OF CONSTRUCTION REQUIREMENTS ASSOCIATED WITH THE RELEVANT BAL RATING	
	BAL - 12.5
SUBFLOOR SUPPORTS	No special construction requirements
FLOORS	No special construction requirements
EXTERNAL WALLS	External walls - Planks less than 400 mm above ground or decks etc to be of non-combustible material, 6 mm fibre cement board or bushfire resistant timber
EXTERNAL WINDOWS	4mm Glass A safety glass or glass blocks within 400 mm of ground, deck etc. Operable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resistant timber
EXTERNAL DOORS	Protected by bushfire shutter, or screened with steel, bronze or aluminium mesh or glazed with 5 mm toughened glass, non-combustible or 30 mm solid timber for 400 mm above threshold, metal or bushfire resistant timber framed for 400 mm above ground, decking, etc. Light fitting with weather strips at base, door frame can be naturally fire resistant (high density) timber
ROOFS	Non-combustible covering. Roof/wall junction sealed. Openings fitted with non-combustible ember guards. Roof to be fully sealed
VERANDAS, DECKS ETC	Enclosed sub-floor space - no special requirement for materials except within 400 mm of ground. No special requirements for supports or framing. Decking to be non-combustible or bushfire resistant within 300 mm horizontally and 400 mm vertically from a glazed element

Please note: The information in this table is a summary of the construction requirements set out in AS/NZS 3085:2009 - Construction of Dwelling in Bushfire Prone Areas and is not intended as a description. You must refer to the detailed fire construction details and drawings included with this plan.

Previously Approved



LENNE STREET



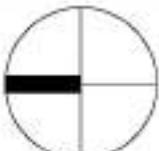
DRAKE
DESIGN

NEW DWELLING

16 LENNE STREET, BEACONSFIELD UPPER, VICTORIA

Job No:21113
Proposed Site Plan TP201 3

Date: OCT 2022 Scale: 1:200 Drawn by: CAE
Rev No. 3 Description RFI.2
Data 26.10.2022



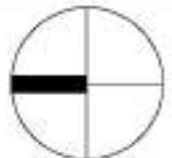


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Planning Application: T220178-1

Date Prepared: 19 February 2026

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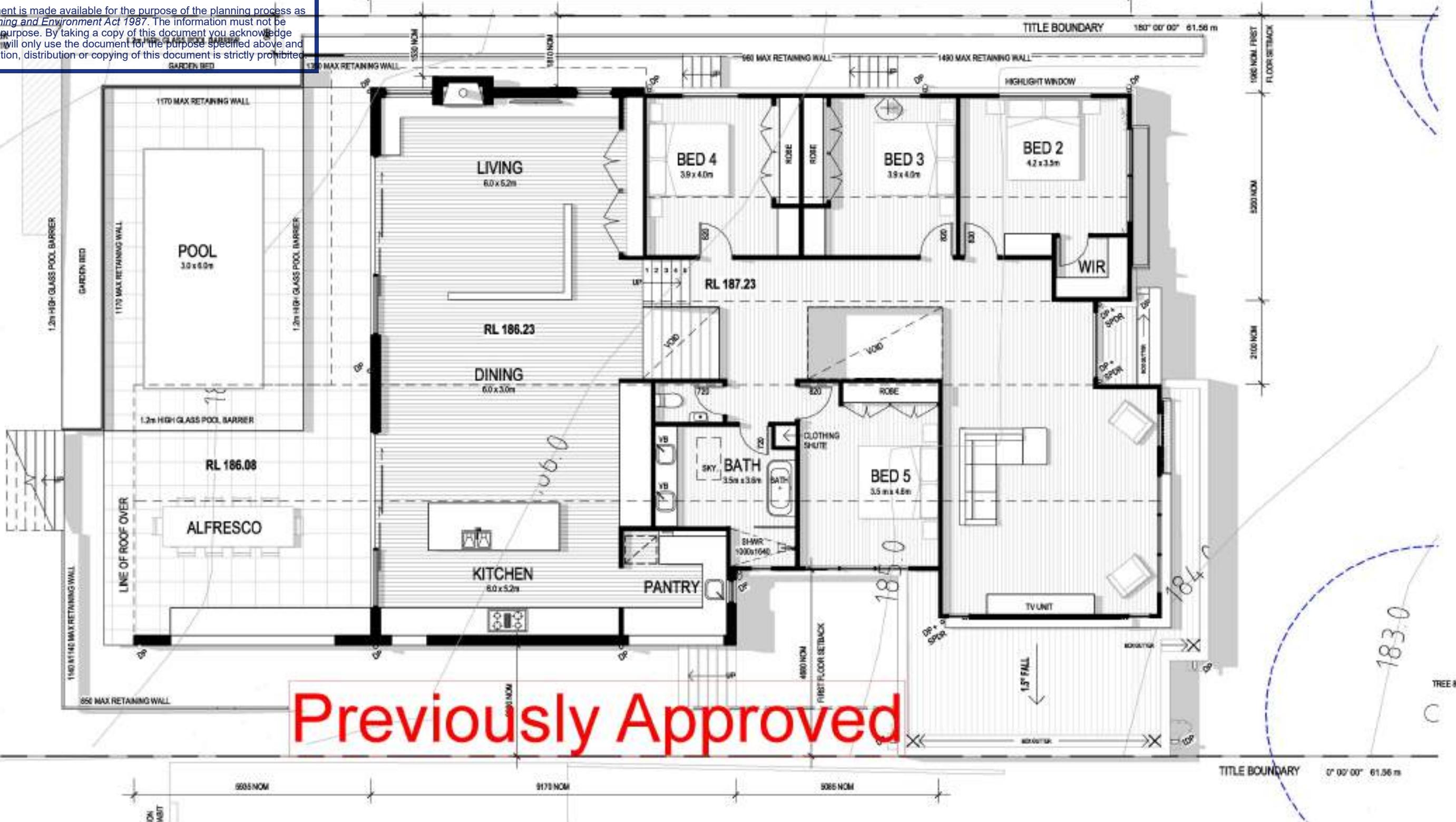
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**APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME**

Permit No.: T22017B PC1
Sheet: 5 of 10
Approved by: Sam Andrews
Date: Monday, 1 May 2023
CARDINIA SHIRE COUNCIL



Previously Approved



DRAKE
DESIGN

3D CAD Design Services
Sukie D. Lewis F. 0402 9888 9233
21 Balaclava Road, Balaclava VIC 3207
sukie@3dcaadesign.com.au
www.3dcaadesign.com.au

NEW DWELLING

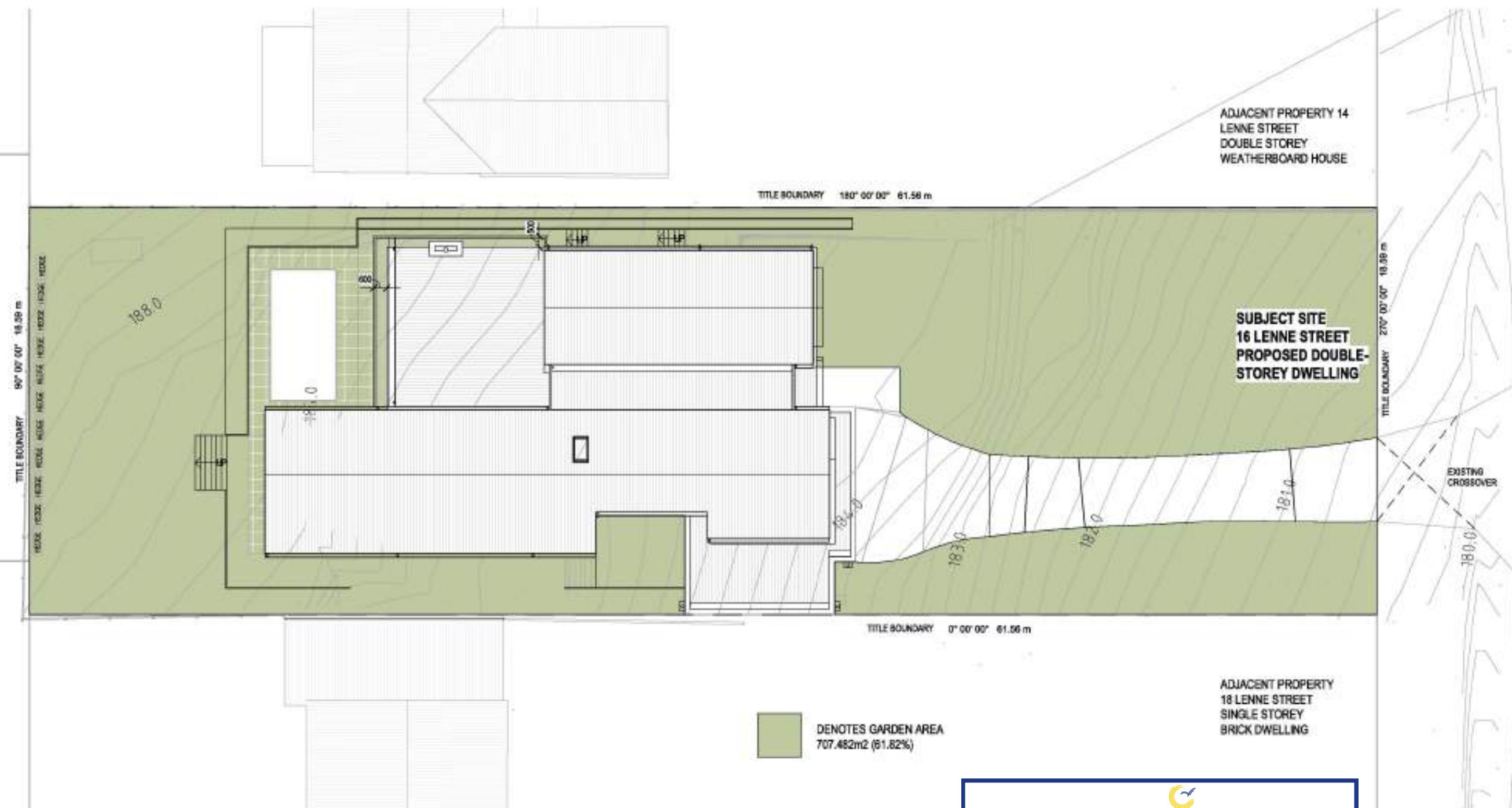
16 LENNE STREET, BEACONSFIELD UPPER, VICTORIA

Proposed First Floor Plan

Job No:21113

TP203 a

LENNE STREET



Previously Approved



NEW DWELLING

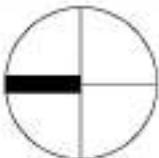
16 LENNE STREET, BEACONSFIELD UPPER, VICTORIA

Date: OCT 2022 Scale: 1:200 Drawn by: DMG

Rev No. 3 Description RFI.2 Date 26.10.2022

Job No: 21113

Proposed Garden Area Plan TP204 3



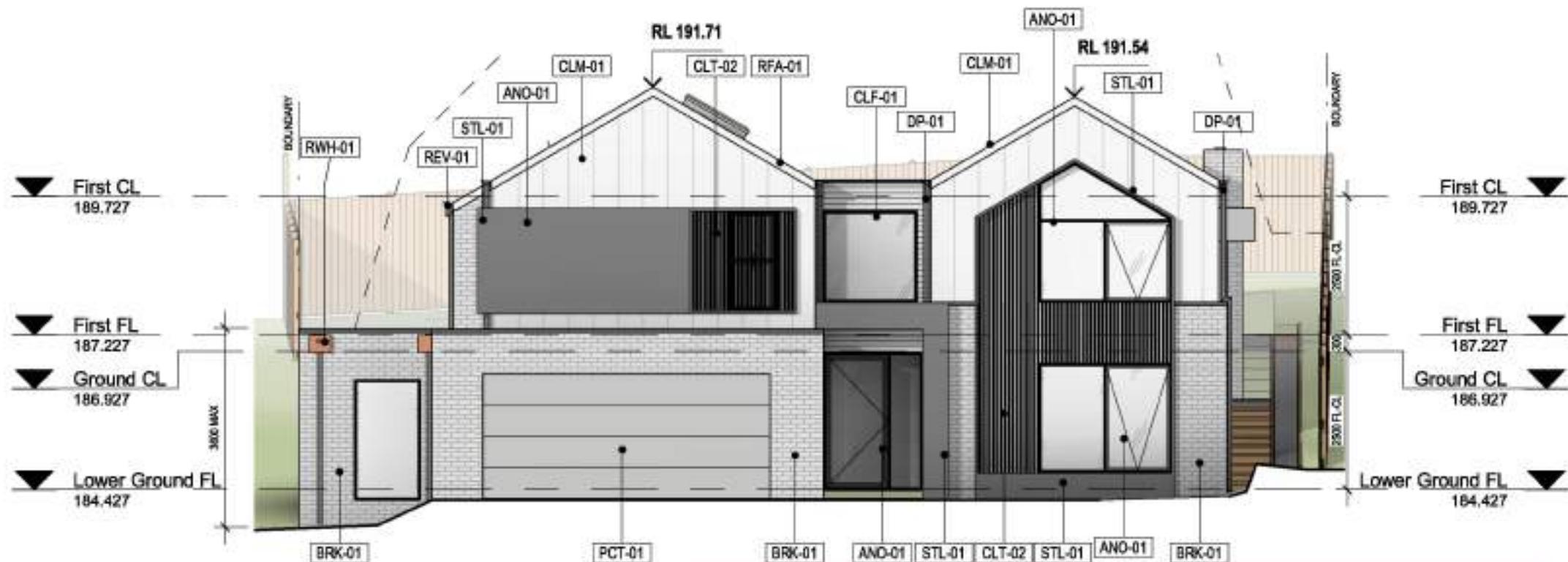

Cardinia

ADVERTISED MATERIAL

Planning Application: T220178-1

Date Prepared: 19 February 2026

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1 Proposed South Elevation

SCALE 1:100

Previously Approved

LEGEND		ENERGY EFFICIENCY NOTES
FG	FIXED GLAZING	DRAWINGS TO BE READ IN CONJUNCTION WITH ANY RELEVANT ENERGY RATING REPORT
OS	OPENABLE SASH	
AS	AWNING SASH	
DH	DOUBLE HUNG	
OB	OBSCURE GLAZING	
SL	SLIDING	
L	OPENABLE LOUVRES	
ALL WINDOWS TO BE POWDERCOATED		
ALUMINIUM FRAMING UNLESS OTHERWISE NOTED.		
GENERAL NOTES		
ALL GROUND LINES & LEVELS ARE TO BE VERIFIED ON SITE BY BUILDER.		
400mm CLEARANCE TO UNDERSIDE OF BEARER IN ACCORDANCE WITH AS-3660.1 TERMITE MANAGEMENT.		
EAVES TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL WHERE WITHIN 900mm OF THE BOUNDARY		
- GROUND FLOOR R2.25 ADDED THERMAL INSULATION		
- WALLS R2.8 ADDED THERMAL INSULATION PLUS SISALATION		
- CEILING MINIMUM R5.1 ADDED THERMAL INSULATION PLUS SARKING		
- DOOR SEALS BRUSH SEALS TO UTILITY ROOM DOORS, SILL SEALS TO EXTERNAL HINGED DOORS.		
- DRAFT EXCLUSION WEATHER SEAL WITH TAPED HORIZONTAL AND VERTICAL JOINTS, SEALED GAPS AROUND WINDOWS AND EXTERNAL DOORS.		
- EXHAUST FANS DRAFT PREVENTION		

NOTE
WINDOW CONFIGURATION AND DIMENSIONS TO BE CONFIRMED BETWEEN CLIENT AND THE MANUFACTURER PRIOR TO THE COMMENCEMENT OF WORKS.



2 Proposed East Elevation

SCALE 1:100

APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
Permit No.: T220178-PC1
Sheet: 7 of 10
Approved by: Sam Andrews
CARDINIA SHIRE COUNCIL
Date: Monday, 1 May 2023

CODE	DESCRIPTION
ANO-01	WINDOWS & DOORS: Powdercoated DULUX Colorbond 'MONUMENT' or similar
BRK-01	BRICKWORK-PGH - 'MANHATTAN INDUSTRIAL CHIC BRICK - TRIBeca' or similar
CLF-01	HORIZONTAL CLADDING: SCION - 'STRA 320' or similar Cladding - Painted DULUX Colorbond 'Monument' or similar
CLM-01	METAL CLADDING: COLORBOND - 'STANDING SEAM' or similar cladding - Powdercoated DULUX Colorbond 'MONUMENT' or similar
CLT-02	TIMBER CLADDING - VERTICAL - SPOTTED GUM BATTENS - '30 X 50mm' or similar (clear stain finish)
DP-01	DOWPIPE: Pressed Metal - DULUX Colorbond 'MONUMENT' or similar
PAV-01	PAVING: Stone - sandstone or similar
PCT-01	GARAGE DOOR: Powdercoated DULUX Colorbond 'Monument' or similar
RWH-01	OUTTER: Pressed Metal - DULUX Colorbond 'MONUMENT' or similar
RFA-01	FASCIA: Pressed Metal - DULUX Colorbond 'MONUMENT' or similar
RWH-01	Roof - Rain water head
SLV-01	Soil & Waste: Colorbond 'MONUMENT' or similar



DRAKE
DESIGN

13 White Design Pty Ltd
Suite 8, Level 1
21 Beaconsfield Street
Beaconsfield VIC 3007
AUSTRALIA
+61 3 9445 9100 | +61 3 9445 9101 | +61 3 9445 9102
info@white-design.com.au | www.white-design.com.au

NEW DWELLING

16 LENNE STREET, BEACONSFIELD

UPPER VICTORIA



ADVERTISED MATERIAL

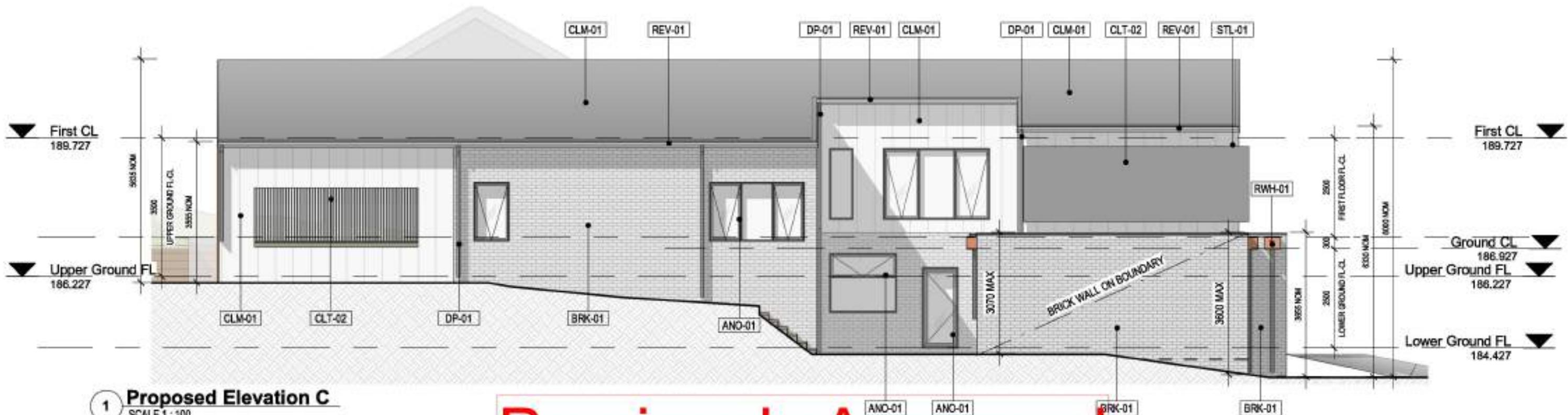
Planning Application: T220178-1

Date Prepared: 19 February 2026

Rev No. 3

Job No: 21113
Proposed Elevations TP501 3
Date: OCT 2022 Scale: As Indicated Drawn by: CAE
Description RFI.2 Date 26.10.2022

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1 Proposed Elevation C
SCALE 1:100

Previously Approved



2 Proposed Elevation D
SCALE 1:100



ADVERTISED MATERIAL

Planning Application: T220178-1
Date Prepared: 19 February 2026

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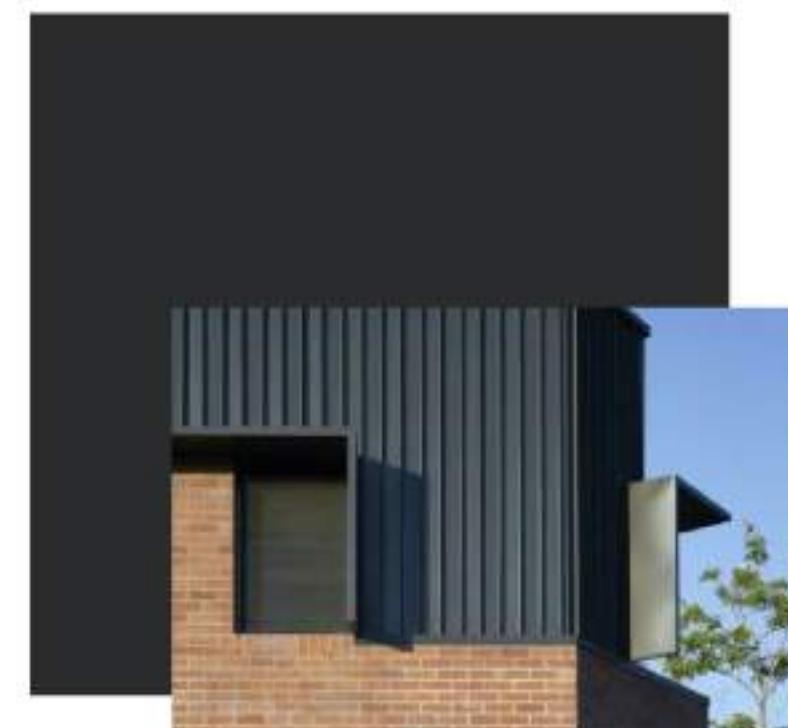
APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
Permit No.: T220178 PC1
Sheet: 8 of 10
Approved by: Sam Andrews
CARDINIA SHIRE COUNCIL
Date: Monday, 1 May 2023

MATERIALS LEGEND

CODE	DESCRIPTION
ANO-01	WINDOWS & DOORS: Powdercoated DULUX Colorbond 'MONUMENT' or similar
BRK-01	BRICKWORK/PBS - 'MANHATTAN INDUSTRIAL CHIC BRICK' - TRIBECA or similar
CL-01	HORIZONTAL CLADDING: SCION - STRA 325 or similar Cladding - Painted DULUX Colorbond 'MONUMENT' or similar
CLM-01	METAL CLADDING: COLORBOND - 'STANDING SEAM' or similar cladding - Powdercoated DULUX Colorbond 'MONUMENT' or similar
CLT-02	TIMBER CLADDING - VERTICAL - SPOTTED GUM BATTENS - 30 X 30mm or similar (clear stain finish)
DP-01	DOWNPipe: Pressed Metal - DULUX Colorbond 'MONUMENT' or similar
PAV-01	PAVING: Stone - sandstone or similar
PCT-01	GARAGE DOOR: Powdercoated DULUX Colorbond 'MONUMENT' or similar
REV-01	GUTTER: Pressed Metal - DULUX Colorbond 'MONUMENT' or similar
RFA-01	FASCIA: Pressed Metal - DULUX Colorbond 'MONUMENT' or similar
RWH-01	Roof - Rain water head
STL-01	Steel to match Colorbond 'MONUMENT' or similar



BRK-01 BRICK

CLM-01 STANDING SEAM MONUMENT CLADDING
MONUMENT PROFILES, RFA-01 FLASHINGS & FASCIA, GUTTER & DP-01 DOWNPipes

ANO-01 POWDERCOATED ALUMINIUM WINDOWS TO MATCH MONUMENT CLADDING



CLT-02 TIMBER BATTENS

STL-01 STEEL WINDOW SHROUD & PLANTER BOXES'
TO MATCH MONUMENT

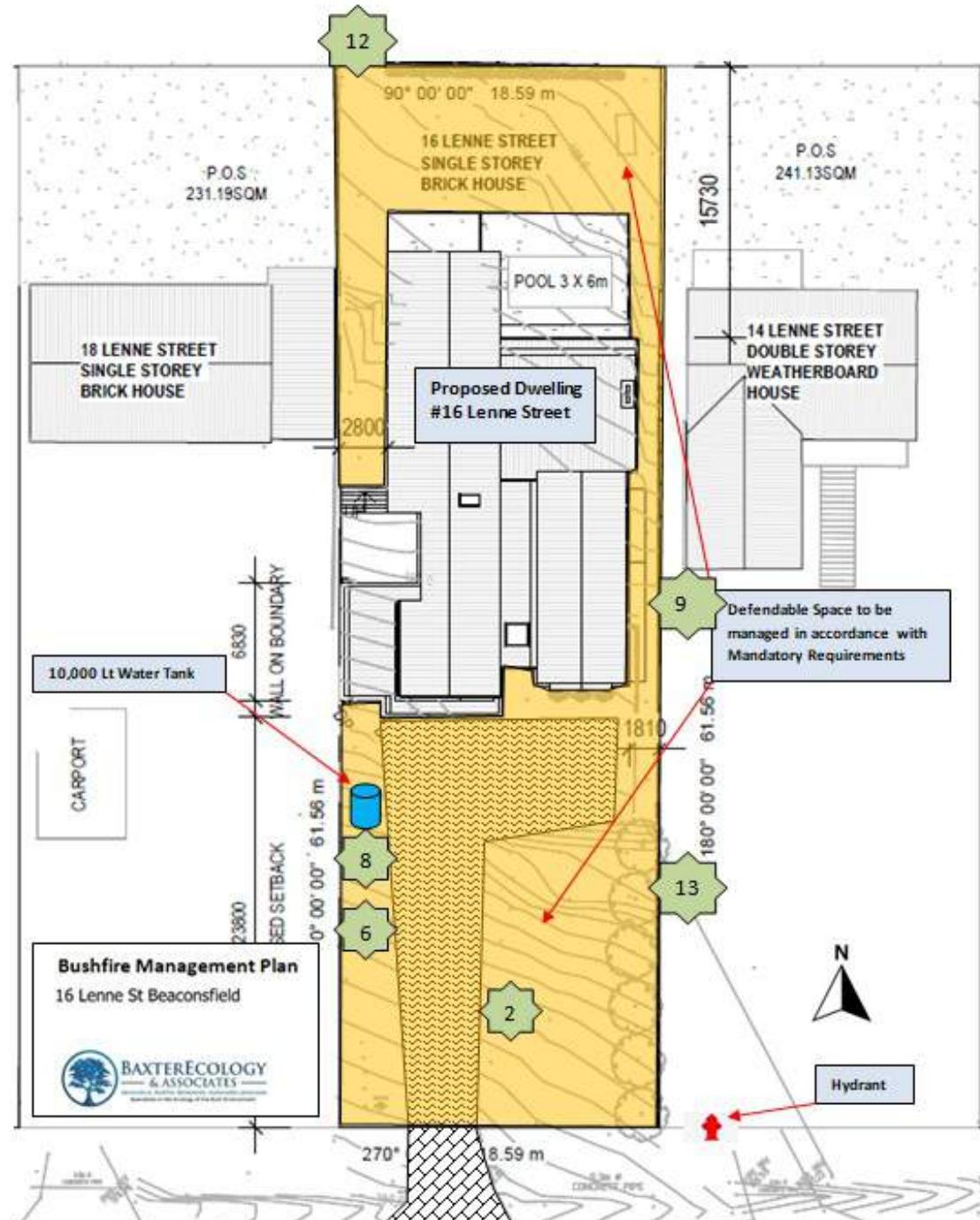
CLF-01 SCYON STRIA 325mm CLADDING IN MONUMENT



PAV-01 SELECTED STONE PAVING OR SIMILAR

Bushfire Management Plan - 16 Lenne St Beaconsfield Upper

Bushfire Protection Measures



Previously Approved

Mandatory Condition

The Bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defensible space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

Bushfire Management Plan

DATE: 28/02/2023

Version 4

ADVERTISED MATERIAL

Planning Application: T220178-1

Date Prepared: 19 February 2026



BAXTER ECOLOGY
Agricultural
Specialists

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a) Defendable Space

Defendable space is provided for a distance of 30 metres around the dwelling or to the property boundary whichever is the lesser and managed in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10cm in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 2 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

b) Construction Standard

Building designed and constructed to a minimum Bushfire Attack Level of BAL -12.5

c) Water Supply

Show a minimum of 10,000 litres of effective water supply for fire fighting purposes including:

- The location of the CFA outlet, the occupier's outlet and the pipeline between the tank and the CHA outlet, and
- The material of manufacture and nominal diameter of all piping and fittings.
 - a) 80mm PVC (Class 12) or Copper (Class A) OR 90mm HDPE (PN12.5)
- The Waster supply must be installed so that it meets the following requirements:
 - The static water supply must be stored in an above ground tank constructed of concrete or metal.
 - The static water supply must be provided with an outlet for the CFA (CFA outlet) that includes a 64mm CFA 3 thread per inch male coupling.
 - The static water supply must also include an outlet which incorporates a ball or gate valve separate to the CFA outlet for use by the owner/occupier of the land.
 - The CFA outlet must be:
 - a) Easily accessible by a firefighter in the event of a bushfire,
 - b) Clear of all vegetation for a distance of 1.5metres,
 - c) Setback from flammable objects (including timber fences and timber retaining walls) for a minimum distance of 1.5metres,
 - d) Orientated horizontally.
 - The internal diameter for the fitting connecting the tank to the pipeline must be equivalent to or greater than the internal diameter of the pipeline between the tank and the fire authority outlet.
 - The centreline of the CFA outlet must be:
 - a) A minimum of 300mm and maximum 600mm in height above the finished ground level, and located below the level of the outlet on the tank.
 - The riser for the CFA outlet must be supported by a galvanised steel post at least 50mm X 50mm or equivalent which is concreted in the ground to a depth of at least 450mm.
 - A 65mm British Standard Pipe (BSP) ball or gate valve must be provided at the CFA outlet to control the flow of water to the CFA coupling. Any other valves between the CFA outlet and the tank must be locked in the open position.
 - The CFA outlet must be easily identifiable from the entrance to the property or signage must be provided that meets the following requirements:
 - a) Has an arrow pointing to the location of the fire authority outlet,
 - b) Has dimensions of not less than 310mm high and 400mm long,
 - c) Is red in colour, with a blue reflective marker attached, and
 - d) Is labelled with a 'W' that is not less than 15cm high and 3cm thick.
 - The CFA outlet must include a fade-resistant or engraved sign that:
 - a) Is fixed to the post supporting the fire authority outlet riser,
 - b) Has a minimum height of at least 1.5m from the ground surface level, and
 - c) Includes the words "FIRE WATER TANK OUTLET" in lettering that is a minimum of 50mm in height and white on a red background.
 - A blue reflective disc at least at least 50mm in diameter must be attached to the post holding the sign. The blue reflective disk must be located immediately below the sign.
 - All below-ground water pipes must be installed to provide at least the following cover below the finished surface:
 - a) 300mm for pipes subject to vehicle traffic,
 - b) 75mm for pipes under dwellings or concrete slabs, and
 - c) 225mm for all other locations.

d) Access

Access Required:

YES - The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for a least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4% (8.1 degrees) with a maximum grade of no more than 1 in 5 (20%) (11.3 degrees) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5% (7.1 degrees) entry and exit angle.

Length of access is greater than 100 metres: NO

- A turning circle with a minimum radius of eight metres, or
- A driveway encircling the building, or
- The provision of other vehicle turning heads - such as a T or Y Head - which meet the specification of Austroad Design for an 8.8m Service Vehicle

Length of driveway is greater than 200 metres: NO

- Passing bays are required at least every 200 metres that are a minimum 20metres long and a minimum trafficable width of 6 metres

APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
Permit No. T220178 FOI
Sheet 10 of 10
Approved by Sam Andrews
CARDINIA SHIRE COUNCIL
Date Monday, 1 May 2023