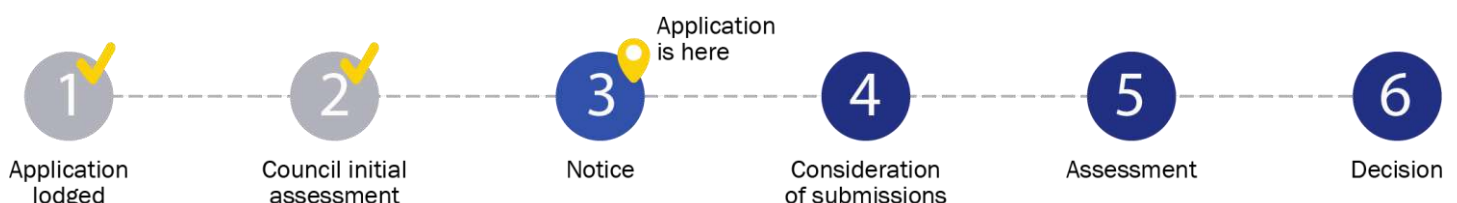


Notice of Application for a Planning Permit

The land affected by the application is located at:	L1 PS708951 V11369 F539 13A Sharnet Circuit, Pakenham VIC 3810 L2 PS PS708951 V11369 F540 13B Sharne Circuit, Pakenham VIC 3810	
The application is for a permit to:	Use of the land for a Place of Assembly and installation of Internally Illuminated Signage Business Identification Signage	
A permit is required under the following clauses of the planning scheme:		
33.01-1	Use of the land for a Place of Assembly	
52.05-2	Construct or put up for display Internally Illuminated Business Identification Signage	
APPLICATION DETAILS		
The applicant for the permit is:	Connect Town Planning	
Application number:	T250161	
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		27 February 2026
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application Summary

Portal Reference A12524K5

Basic Information

Proposed Use Use of the land for a Place of Assembly

Current Use Existing warehouse buildings and associated car parking area - currently vacant use

Site Address 13B Sharnet Circuit Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.



ADVERTISED MATERIAL

Planning Application: T250161

Date Prepared: 09 February 2026

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Contacts

Regulation Fee Condition

		Amount	Modifier	Payable
9 - Class 1	Change of use only	\$1,453.40	100%	\$1,453.40
		Total		\$1,453.40



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm

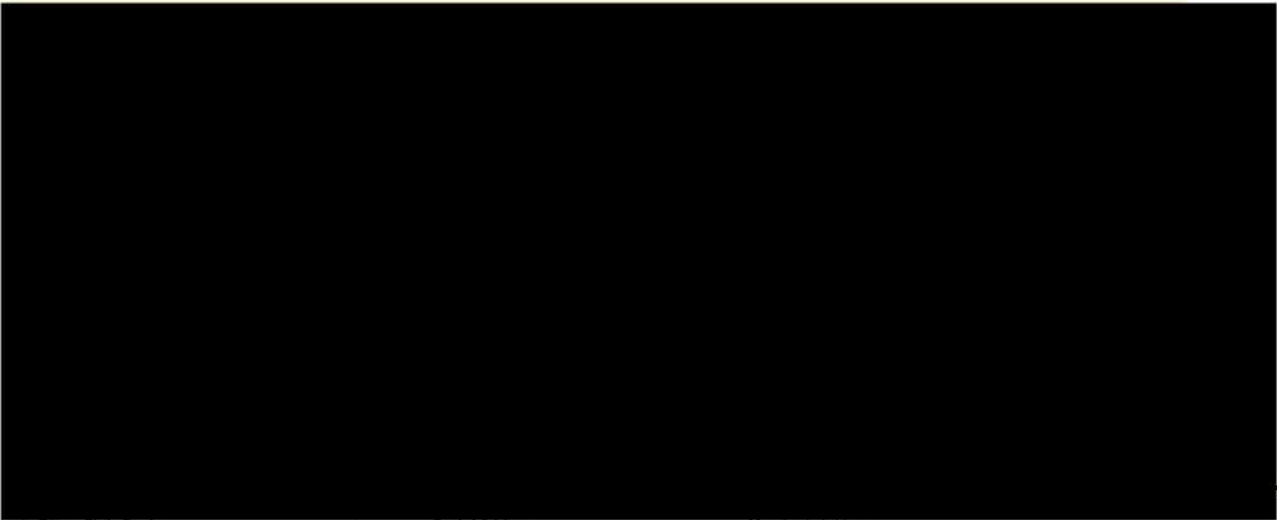
Phone: 1300 787 624

After Hours: 1300 787 624

Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
19-03-2025	A Copy of Title	00762096730012025031822330001.pdf
19-03-2025	A Copy of Title	00762096730042025031822330001.pdf
19-03-2025	A Copy of Title	00762096730132025031822330001.pdf
19-03-2025	A Copy of Title	00762096730142025031909330001.pdf
19-03-2025	Site plans	250318_13B Sharnet Circuit Pakenham_TP SUBMISSION.pdf
19-03-2025	Written Explanation	13B Sharnet Circuit Pakenham - Place of Assembly.pdf
19-03-2025	Additional Document	25MET0081R01 TIA.pdf
19-03-2025	Existing floor plan	LAND SURVEY.pdf
19-03-2025	Additional Document	13B Sharnet Circuit Pakenham -Cover Letter.pdf





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Date Prepared: 09 February 2026

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Revision Summary

Portal Reference	R32564YR
Reference No	T250161

Basic Information

Proposed Use	Use of the land for a Place of Assembly
Current Use	Existing warehouse buildings and associated car parking area - currently vacant use
Cost of Works	\$0
Revised Cost of Works	\$0
Revisions	Land Address Changed
Proposed Changes	Include 13A Sharnet Circuit Pakenham has part of the application
Site Address	13A Sharnet Circuit Pakenham 3810



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Planning Application: T250161
Date Prepared: 09 February 2026

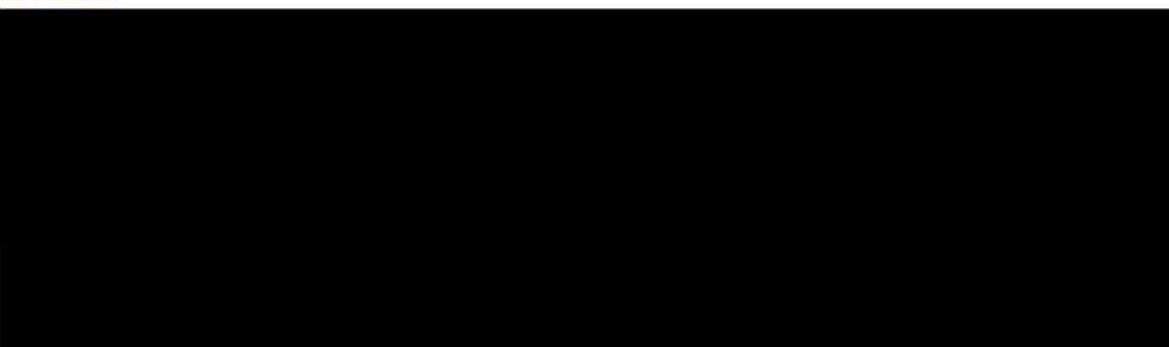
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Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? **No such encumbrances are breached**

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts



12 - As advertising has not occurred there is no charge for this revision.

Total

\$0.00



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm

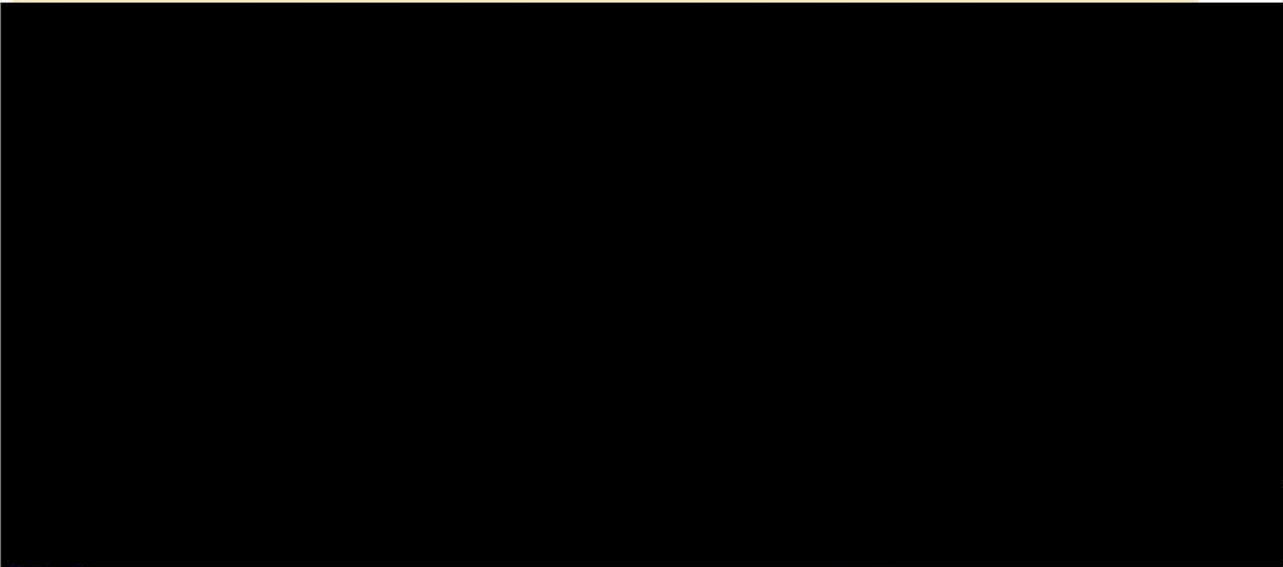
Phone: 1300 787 624

After Hours: 1300 787 624

Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
11-07-2025	Additional Document	T250161PSA 13 Sharnet Circuit Pakenham_Response to RFI.pdf
11-07-2025	Additional Document	250528_13B Sharnet Circuit Pakenham_TP RFI.pdf
11-07-2025	Additional Document	250520_Patron Management Plan.pdf
11-07-2025	Additional Document	250520_Traffic Report.pdf
11-07-2025	Additional Document	250605_Waste Management Report.pdf
11-07-2025	Additional Document	250704_Acoustic Report.pdf
11-07-2025	Additional Document	00774058600012025071104570001.pdf
11-07-2025	Additional Document	00774058600042025071104570001.pdf
11-07-2025	Additional Document	00774058600132025071104570001.pdf
11-07-2025	Additional Document	00774058600142025071114570001.pdf
11-07-2025	Additional Document	Sharnet Circuit TP Report_July 2025.pdf
11-07-2025	Additional Document	SUTM event List 2025.xlsx



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(Depot)
Purton Road, Pakenham, Victoria

Email: mail@cardinia.vic.gov.au

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Fax: 03 5941 3784



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 2

VOLUME 11369 FOLIO 539

Security no : 124126148056C
Produced 11/07/2025 02:57 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 708951X.
PARENT TITLE Volume 11241 Folio 262
Created by instrument PS708951X 14/08/2012

REGISTERED PROPRIETOR



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ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AU476986U 21/06/2021
WESTPAC BANKING CORPORATION

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AE502340V 25/07/2006

DIAGRAM LOCATION

SEE PS708951X FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 13A SHARNET CIRCUIT PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 16977H ST GEORGE BANK
Effective from 21/06/2021

OWNERS CORPORATIONS

The land in this folio is affected by
OWNERS CORPORATION 1 PLAN NO. PS708951X

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 2 of 2

DOCUMENT END


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AE502340V

25/07/2006 \$94.60

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Application by
Responsible Authority,
Relevant Authority,
Referral Authority or Council
for the making of a recording of an
agreement
Section 181(1) Planning and Environment Act 1987

Cardinia

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Planning Application: T250161

Date Prepared: 09 February 2026

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Lodged by:

Name:

Phone:

8686 6000

Address:

RACV Tower, 485 Bourke Street, Melbourne

Ref:

2589508

Customer Code:

1724X

The authority or council having made an agreement requires a recording to be made in the Register for the land.

Land:

Certificate of Title Volume 10488 Folio 759

Authority or council:

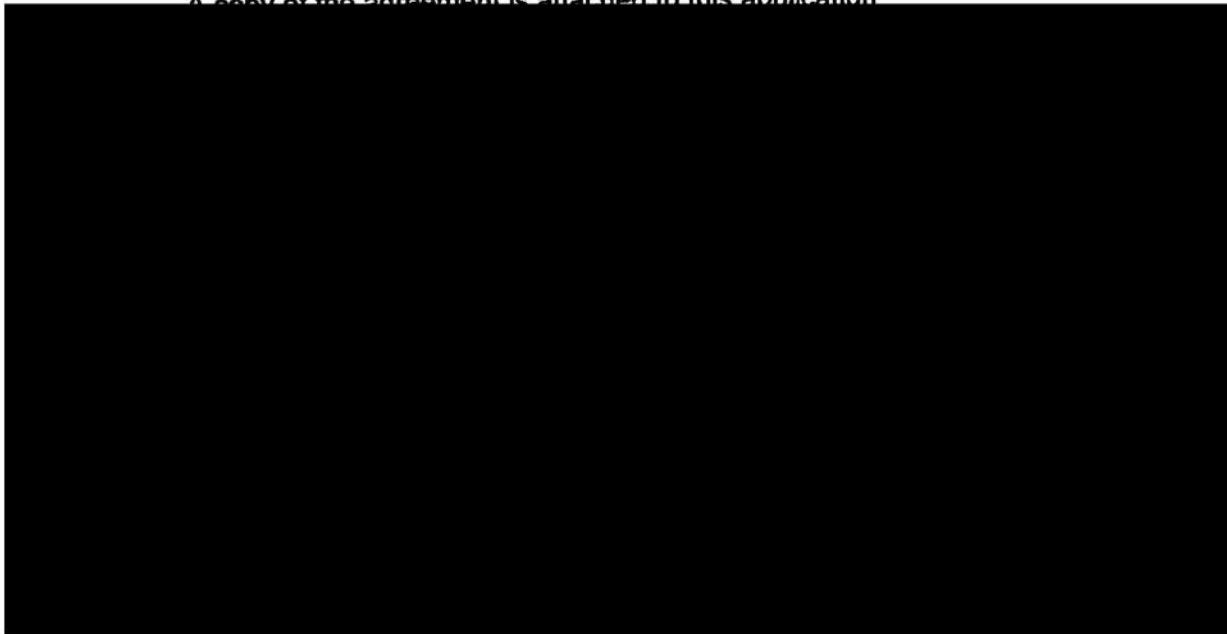
Melbourne Water Corporation of 100 Wellington Parade, East Melbourne

Section and Act under which agreement made:

Section 173 Planning & Environment Act 1987

50ff1
DU
25.7.06

A copy of the agreement is attached to this application



25.7.06



ADVERTISED MATERIAL

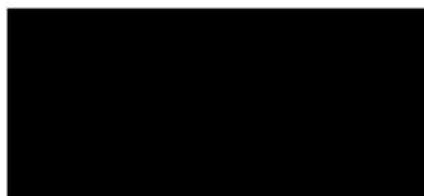
Planning Application: T250161

Date Prepared: 09 February 2026

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CARDINIA SHIRE COUNCIL

- and -



**MELBOURNE WATER CORPORATION
(ABN 81 945 386 953)**

SECTION 173 AGREEMENT

**RIGBY COOKE
Lawyers
Level 13
469 LaTrobe Street
MELBOURNE VIC 3000
DX 191 Melbourne**

**Tel: (03) 9321 7888
Fax: (03) 9321 7900
Ref: MDM:CMF:20060369**

AE502340V

25/07/2006 \$94.60 173



Section 173 Agreement (Sharnet)

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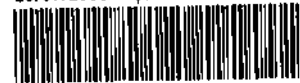
Planning Application: T250161

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Section 173 Agreement (Sharnet)

THIS AGREEMENT is made the 21 day of July 2006
pursuant to Section 173 of the *Planning and Environment Act 1987* (the "Act")

PARTIES:

CARDINIA SHIRE COUNCIL
of Henty Way, Pakenham, 3810

(the "Responsible Authority")

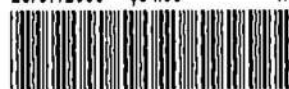
MELBOURNE WATER CORPORATION
(ABN 81 945 386 953)
of 100 Wellington Parade, East Melbourne, Victoria, 3002
(**"Melbourne Water"**)


Cardinia
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Planning Application: T250161
Date Prepared: 09 February 2026

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RECITALS:

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- A. The Responsible Authority is responsible for the administration and enforcement of the Cardinia Planning Scheme pursuant to the provisions of the Act.
 - B. The Owner is the registered proprietor of an estate in fee simple of the land described in Certificate of Title Volume 10488 Folio 759 being Lot 2 on Plan of Subdivision 425783T known as Bald Hill Road, Pakenham (the "Land").
 - C. On 11 May 2005, the Roads Corporation sent a Notice of Intention to Acquire part of the Land to the former owner of the Land, Harold James Bate of Hildesheim, Riverend Road, Bangholme, Victoria, pursuant to sections 6 and 8(1) of the LAC Act ("Notice of Intention to Acquire").
 - D. On 16 May 2005, the Roads Corporation applied for endorsement of the Notice of Intention to Acquire pursuant to an application made under Section 106(e) of the *Transfer of Land Act* 1958 in dealing number AD619779F.
 - E. Pursuant to a Notice of Acquisition under section 21 of the LAC Act published in the Victorian Government Gazette on 30 June 2005, the Roads Corporation acquired 2.801 hectares of the

Cardinia
ADVERTISED MATERIAL
 Planning Application: T250161
 Date Prepared: 09 February 2026

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land described in Recital B being more particularly described in that Notice of Acquisition as Parcels 510 and 527 on Survey Plan 20699B.

- F.** Melbourne Water is a referral authority under the Cardinia Planning Scheme.
- G.** The land described in Recital B is subject to a mortgage (registration number AE108766G) in favour of the National Australia Bank Ltd (the "Mortgagee"). The Mortgagee has consented to the Owner entering into this Agreement.
- H.** On 8 December 2003 (as subsequently amended on 5 May 2006), the Responsible Authority issued Planning Permit No. T030269C to develop the land described in Recital B together with proposed lot B on plan of subdivision PS511184 for the purpose of a twenty five (25) lot subdivision with the balance remaining as two (2) super staged lots (the "Planning Permit").
- I.** Condition 26 of the Planning Permit provides as follows:

All new lots are to be filled to a minimum of 600^{mm} above the 100 year ARI flood level associated with the Pakenham and Deep Creek floodplains; or

The lots may be filled to a minimum of 300^{mm} above the applicable flood level, provided the developer enters into a Section 173 Agreement to ensure that finished floor levels of any future dwellings are constructed to a minimum of 600^{mm} above the applicable flood level. This Agreement is to be funded and facilitated by the developer. This includes any legal costs incurred by Melbourne Water as a result of the agreement.
- J.** The parties enter into this Agreement:-
 - (a) to give effect to the arrangement made between the Owner, the Responsible Authority and Melbourne Water in relation to Condition 26 of the Planning Permit;
 - (b) to provide a means of compliance with the Planning Permit;
 - (c) to achieve or advance the objectives of planning in Victoria and the objectives of the Cardinia Planning Scheme in respect to the Land; and
 - (d) amongst other things to formalise an understanding reached between the parties regarding the use and development of the Land.

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IT IS AGREED AND COVENANTED

1 DEFINITIONS

In this Agreement, the words and expressions set out in this clause have the following meanings unless the context admits otherwise:



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Planning Application: T250161
Date Prepared: 09 February 2026

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"Act" means the *Planning and Environment Act 1987 (Vic) (as amended)*.

"Agreement" means this agreement and any agreement executed by the parties expressed to be supplemental to this agreement or any agreement which is a variation of or replacement for this agreement.

"GST Act" means the *A New Tax System (Goods and Services Tax) Act 1999 (Cth) (as amended)*.

"LAC Act" means the *Land Acquisition and Compensation Act 1986 (Vic) (as amended)*.

"Land" means the land described in Recital B excluding the VicRoads Land.

"Melbourne Water" includes any successor in law;

"Minimum Fill Works" means the placing of fill on all new lots on the Land to a minimum of 300^{mm} above the 100 year ARI flood level associated with the Pakenham and Deep Creek floodplains as designated by Melbourne Water.

"Mortgagee" means the person described in Recital G.

"Owner" means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Land or any part of it and includes a Mortgagee in possession.

"Plan of Subdivision" means Plan of Subdivision No. PS511194.

"Planning Permit" means the Planning Permit described in Recital H including the plans endorsed under it.

"Planning Scheme" means the Cardinia Planning Scheme and any successor instrument or other planning scheme which applies to the Land.

"Responsible Authority" means Cardinia Shire Council or its successor as the authority responsible for administering and enforcing the Planning Scheme.

"Tribunal" means the Victorian Civil and Administrative Tribunal.

"Works" the construction of the finished floor levels to the minimum level described in clause 3.1(a).

"VicRoads Land" means the land described in Recital E.

2 INTERPRETATION

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In this Agreement, unless the context indicates otherwise:

2.1 A reference to this Agreement includes any variation or replacement of it.

2.2 The singular includes the plural and the plural includes the singular.

Section 173 Agreement (Shamel) 26.05.05

- 2.3** A reference to a gender includes a reference to each other gender.
- 2.4** A reference to a person includes a reference to a firm, corporation or other corporate body and their successors in law.
- 2.5** If a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.6** A reference to a statute includes any subordinate instruments made under that statute.
- 2.7** A reference to a statute includes any statutes amending, consolidating or replacing that statute.
- 2.8** All headings are for ease of reference only and shall not be taken into account in the construction or interpretation of this Agreement.
- 2.9** The recitals to this Agreement are and will be deemed to form part of this Agreement including any terms defined within the Recitals.
- 2.10** A reference to the Responsible Authority includes its agents, officers, employees, servants, workers and contractors.
- 2.11** A reference to the Owner (if the Owner holds the Land in a trust capacity) includes the beneficiaries of the trust in relation to which it holds that Land. Where such a trust relationship exists, the Owner in executing this Agreement does so intending to assume not only personal liability but also to bind the trust for which it acts as trustee.
- 2.12** A reference to Melbourne Water includes its agents, officers, employees, servants, workers and contractors.
- 2.13** The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Land provided that if the Land is subdivided, this Agreement must be read and applied so that each subsequent owner of a lot is only responsible for those covenants and obligations which relate to that owner's lot.

3 SPECIFIC OBLIGATIONS OF THE OWNER

- 3.1** Where the Owner has undertaken the Minimum Fill Works in a stage of the subdivision on the Land,

the Owner agrees that:

- (a) the finished floor levels of any future dwelling in that stage of the subdivision on the Land will be constructed to a minimum of 600^{mm} above the 100 year ARI flood level associated with the Pakenham and Deep Creek flood plains as designated by Melbourne Water; and
- (b) prior to the issuing of a Statement of Compliance for that stage of the subdivision, a



certified survey plan must be submitted to Melbourne Water showing (reduced to the Australian Height Datum) the lots on the Land that have been filled in accordance with the Minimum Fill Works; and

- (c) prior to the occupancy of any future dwelling in that stage of the subdivision on the Land, a certified survey plan must be submitted to Melbourne Water showing (reduced to the Australian Height Datum) that the finished floor levels are in accordance with clause 3.1(a); and
- (d) after the completion of the development of a lot in that stage of the subdivision on the Land, the finished floor level heights of all dwellings on that lot may not be altered without the further written consent of the Responsible Authority and Melbourne Water.

4 FURTHER OBLIGATIONS OF THE OWNER

4.1 Notice and Registration

The Owner must bring this Agreement to the attention of all prospective mortgagees, transferees, Lessee(s) (if any) and assigns.

4.2 Mortgagee to be Bound

The Owner covenants to obtain the consent of any mortgagee to be bound by the covenants in this Agreement if the mortgagee becomes Mortgagee in possession of the Land.

4.3 Registration of Agreement

The Owner must do all things necessary to enable the Responsible Authority and/or Melbourne Water to make an application to the Registrar of Titles to make a recording of this Agreement on the Certificate of Title to the Land in accordance with Section 181 of the Act including the signing of any further agreement, acknowledgment or other document.

4.4 Responsible Authority's and Melbourne Water's Costs to be Paid

The Owner must pay immediately on demand the reasonable legal costs of the Responsible Authority and Melbourne Water of and incidental to the preparation, execution and registration of this Agreement. These costs are and remain a charge on the Land until paid.

4.5 Indemnity

The Owner agrees to indemnify and keep indemnified the Responsible Authority and Melbourne Water from and against all costs, expenses, losses or damages that it may sustain, incur, suffer or be or become liable for or in respect of any suit, action, proceeding, judgment or claim brought by any person arising from or referable to any non-compliance with this Agreement.

4.6 Responsible Authority and Melbourne Water Access

Section 173 Agreement (Shamet) 26.05.09





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Planning Application: T250161
Date Prepared: 09 February 2026

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The Owner agrees to allow the Responsible Authority and Melbourne Water to enter the Land at any reasonable time to assess compliance with this Agreement following two (2) days written notice to the Owner.



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Planning Application: T250161

Date Prepared: 09 February 2026

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5 FURTHER ASSURANCE

- 5.1 The parties to this Agreement must do or cause to be done all things that are reasonably necessary to give effect to this Agreement.

6 AGREEMENT UNDER SECTION 173 OF THE ACT

- 6.1 The parties acknowledge and agree that this Agreement is made pursuant to Section 173 of the Act.

7 AGREEMENT RUNS WITH THE LAND

- 7.1 The parties acknowledge and agree that the obligations in this Agreement take effect as covenants annexed to the Land that run at law and in equity with Land and bind the Owner.

8 OWNER'S WARRANTIES

- 8.1 Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land.

9 PLANNING OBJECTIVES

- 9.1 The parties acknowledge that the provisions of this Agreement are intended to achieve or advance the Objectives of Planning in Victoria and the objectives of the Planning Scheme.

10 SUCCESSORS IN TITLE

- 10.1 Without limiting the operation or effect which this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Land, successors in title must be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and

Section 173 Agreement (Sharnet) 28.05.08

AE502340V

25/07/2006 \$94.60 173



(b) execute a deed agreeing to be bound by the terms of this Agreement.

11 GOODS AND SERVICES TAX

11.1 Definitions and Expressions

Expressions used in this Agreement that are defined in the GST Act have the same meaning as given to them in the GST Act, unless expressed to the contrary.

11.2 Liability to pay any GST

Except where express provision is made to the contrary, and subject to this clause, any consideration that may be provided under this Agreement is exclusive of any GST. If a Party makes a taxable supply in connection with this Agreement for a consideration which represents its value, then the recipient of the taxable supply must also pay, at the same time and in the same manner as the value is otherwise payable, the amount of any GST payable in respect of the Taxable Supply.

11.3 Costs

To the extent that one party is required to reimburse another Party for costs incurred by the other party, those costs do not include any amount in respect of GST for which the other party is entitled to claim an input tax credit.

11.4 Tax Invoice

A party's right to payment of GST is subject to a Tax Invoice being delivered to the recipient of the taxable supply.

12 GENERAL MATTERS

12.1 Service of Notice

A notice or other communication required or permitted to be served by a party on another party shall be in writing and may be served:

- (a) by delivering it personally; or
- (b) by sending it by pre paid post at the address set out in this Agreement, or any address notified to the Australian Securities and Investment Commission under the *Corporations Act 2001* and Regulations or the address subsequently notified to each party from time to time; or
- (c) by sending it by facsimile provided that a communication sent by facsimile shall be confirmed in writing by hand delivery or pre paid post.

Section 173 Agreement (Shamet) 26.05.06



12.2 Time of Service

A notice or other communication is deemed served:

- (a) if delivered personally on the same business day subject to Clause 12.2(d);
- (b) if posted within Australia to an Australian address, two (2) business days after the date of posting and in any other case, seven (7) business days after the date of posting;
- (c) if sent by facsimile, on the same business day;
- (d) if received after 6.00pm in the place of receipt or on a day which is not a business day, at 9.00am on the next business day.

12.3 No Waiver

Any time or other indulgence granted by the Responsible Authority or Melbourne Water to the Owner or any variation of the terms and conditions of this Agreement or any judgement or order obtained by the Responsible Authority or Melbourne Water against the Owner will not in any way amount to a waiver of any of the rights or remedies of the Responsible Authority or Melbourne Water in relation to the terms of this Agreement.

12.4 Jurisdiction

For the purposes of this Agreement, the parties acknowledge that they are subject to the jurisdiction of the Act and the Victorian courts or tribunals for the enforcement of this Agreement.

12.5 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it shall be severed and the other provisions of this Agreement shall remain operative.

12.6 Disputes

- (a) If there is a dispute between the parties concerning the interpretation or implementation of this Agreement, that dispute must be referred to the Tribunal for resolution to the extent permitted by the Act.
- (b) If there is a dispute concerning any matter which is not referable to the Tribunal under the Act, that dispute must be referred for arbitration by an Arbitrator agreed upon in writing by the Parties or, in the absence of such agreement the Chairman of the Victorian Chapter of the Institute of Arbitrators, Australia or his nominee, for arbitration.
- (c) Where provision is made in this Agreement that any matter be done to the satisfaction of the Responsible Authority and/or Melbourne Water or any of their officers and a dispute arises in relation to such provision, the dispute must be referred to the Tribunal in

AE502340V

Section 173 Agreement (Sharnet) 26.05.06

25/07/2006 \$94.60 173



accordance with Section 149(1)(b) of the Act.

- (d) The Parties must be entitled to legal representation for the purposes of any arbitration or referral and , unless the Arbitrator, Chairman, nominee or the Tribunal otherwise directs, each Party must bear its own costs.

12.7 No Fettering of Responsible Authority's Powers

The parties acknowledge and agree that this Agreement does not fetter or restrict the power or discretion of the Responsible Authority to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

13 COMMENCEMENT OF AGREEMENT

- 13.1** This Agreement commences from the date of its execution by the parties.

14 AMENDMENT

- 14.1** Subject to the consent of the Minister responsible for administering the Act, the parties may agree in writing to amend this Agreement.



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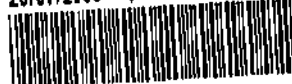
Planning Application: T250161

Date Prepared: 09 February 2026

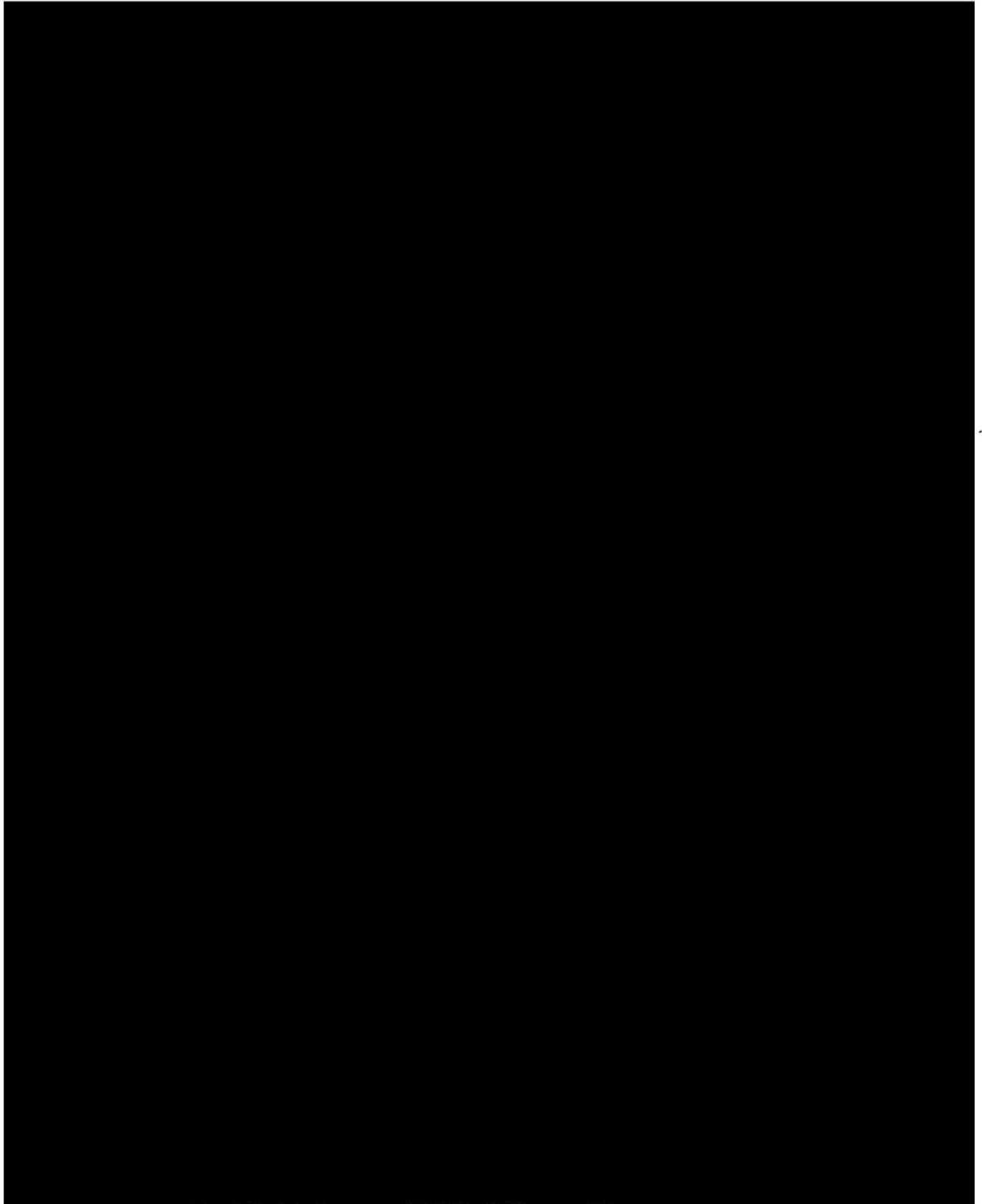
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SIGNATURES



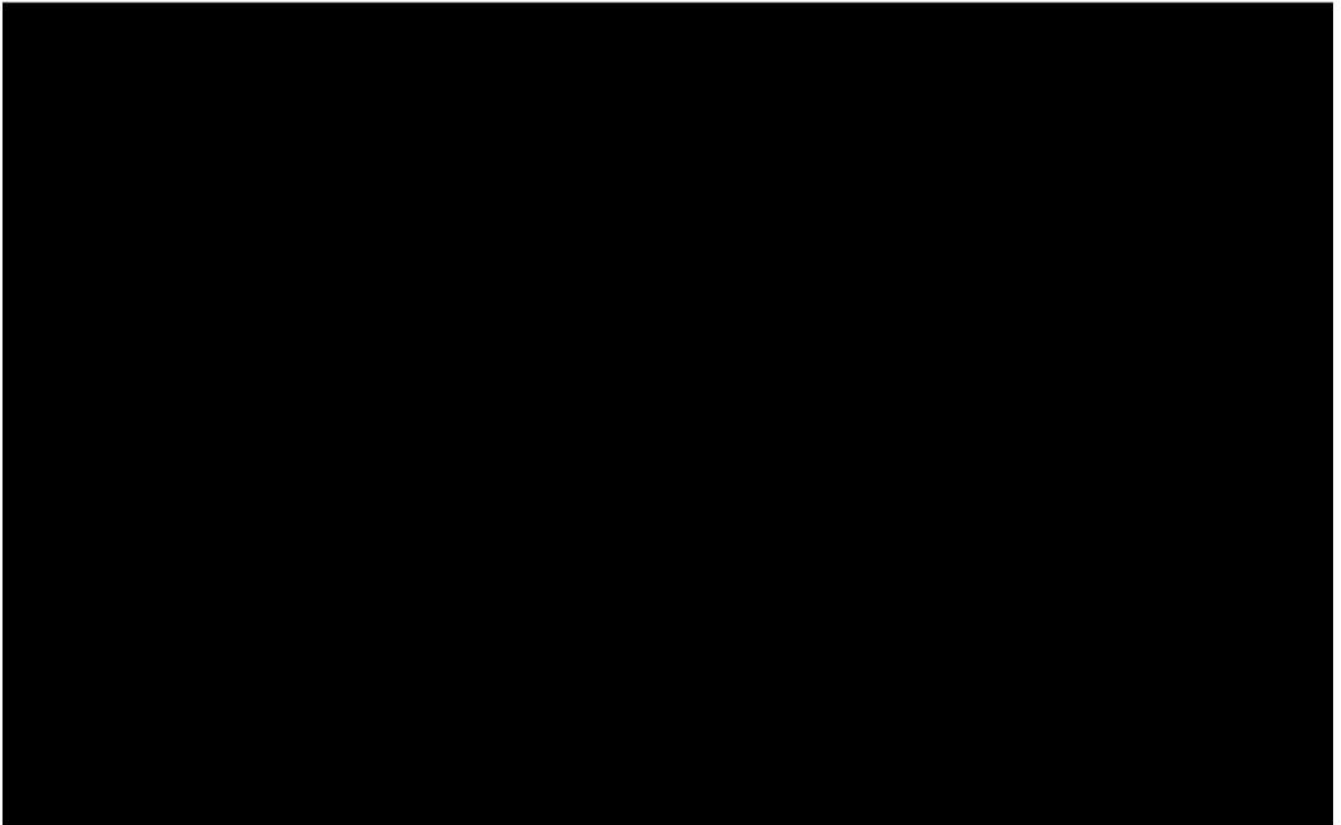
25/07/2006 \$94.60 173



MORTGAGEE'S CONSENT

The National Bank of Australia as Mortgagee of registered Mortgage No. AE108766G consents to the Owner entering into this Agreement and in the event that the Mortgagee becomes Mortgagee in possession, agrees to be bound by the covenants and conditions of this Agreement.

EXECUTED BY MORTGAGEE:



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Section 173 Agreement (Shamet) 26.05.09

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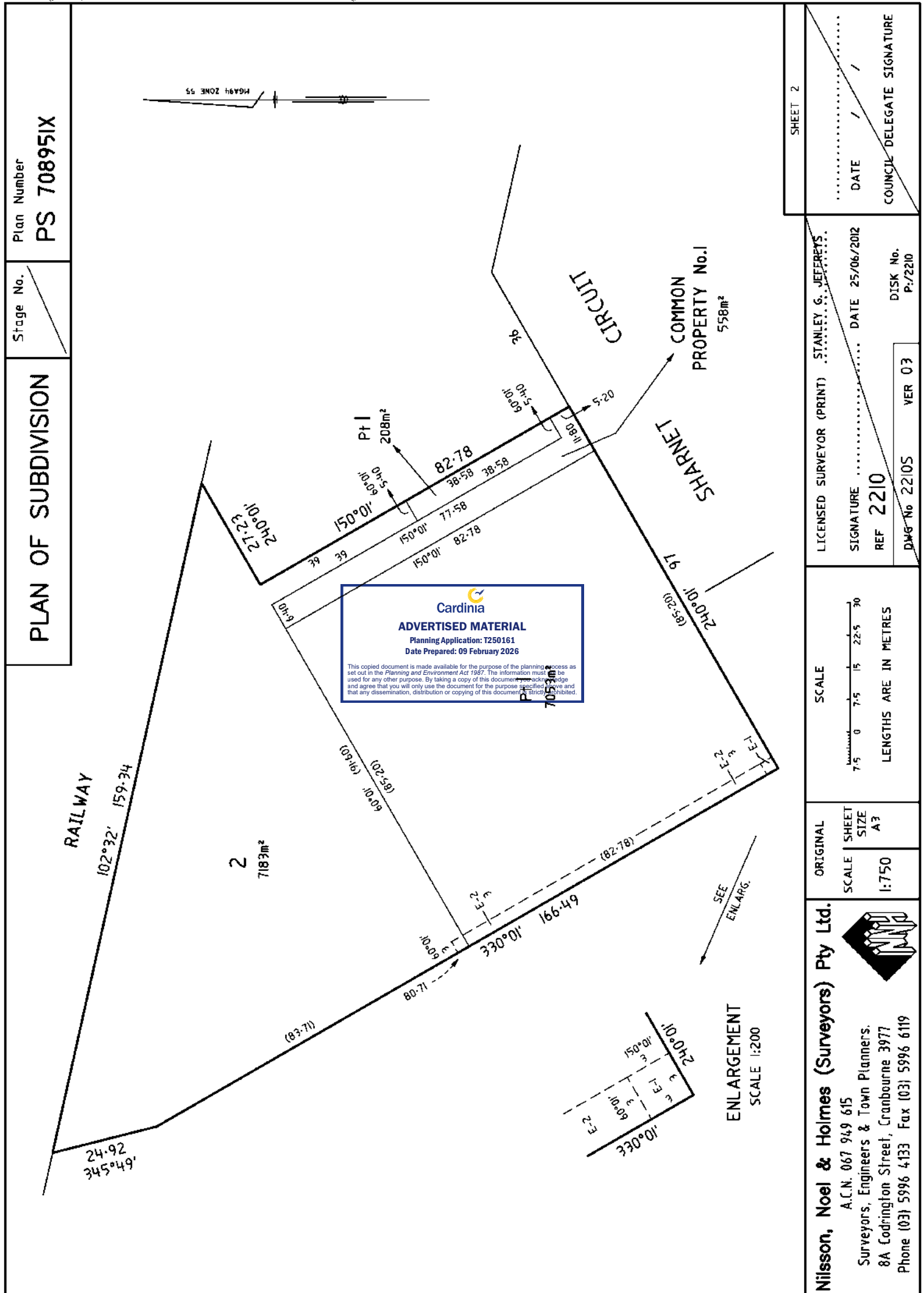
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PLAN OF SUBDIVISION		STAGE No. <hr/>	LRS use only EDITION 1	Plan Number PS 708951X
Location of Land Parish: NAR NAR GOON Township: - Section: - Crown Allotment: 35A (PART) & 36B (PART) Crown Portion: - LRS Base Record: DCMB Title Reference: VOL 11241 FOL 262 Last Plan Reference: LOT 1 ON PS 632866J Postal Address: 13 SHARNET CIRCUIT, (at time of subdivision) PAKENHAM 3810 MGA Co-ordinates E 368 885 Zone 55 (of approx. centre of land in plan) N 5 783 725		Council Certification and Endorsement Council Name: CARDINIA SHIRE COUNCIL Ref: 1. This plan is certified under section 6 of the Subdivision Act 1988. 2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 / / 3. This is a statement of compliance issued under section 21 of Subdivision Act 1988. <u>OPEN SPACE</u> (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage..... Council Delegate Council Seal Date / / Re-certified under section 11(7) of the Subdivision Act 1988. Council Delegate Council Seal Date / /		
Vesting of roads and/or Reserves				
Identifier	Council/Body/Person			
NIL	NIL			
 ADVERTISED MATERIAL Planning Application: T250161 Date Prepared: 09 February 2026 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>		Notations Staging: This is not a staged subdivision Planning Permit No. Depth Limitation: DOES NOT APPLY THIS IS A SPEAR PLAN. OWNERS CORPORATION NOTATION LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS. FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES. Survey: This plan is based on survey. This survey has been connected to permanent marks no(s) In proclaimed Survey Area No. 71		
Easement Information				
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL LAND IN THIS PLAN.				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE	3	PS 544795V	CARDINIA SHIRE COUNCIL
E-1	SEWERAGE	3	PS 544795V	SOUTH EAST WATER LIMITED
E-2	DRAINAGE & SEWERAGE	3	THIS PLAN	LOT 2 ON THIS PLAN
LRS use only Statement of Compliance/ Exemption Statement RECEIVED <input checked="" type="checkbox"/> DATE: 7 / 8 / 2012 LRS use only PLAN REGISTERED TIME: 6.31pm DATE: 14 / 8 / 2012 HEATH RICHARDS Assistant Registrar of Titles Sheet 1 of 2 sheets				
Nilsson, Noel & Holmes (Surveyors) Pty Ltd. A.C.N. 067 949 615 Surveyors, Engineers & Town Planners 8A Codrington Street, Cranbourne 3977 Phone (03) 5996 4133 Fax (03) 5996 6119			LICENSED SURVEYOR (PRINT) STANLEY G. JEFFREYS SIGNATURE DIGITALLY SIGNED DATE 25/06/2012 REF 2210 DWG No. 22105 VER 03 DISK No. P:/2210	
DATE / / COUNCIL DELEGATE SIGNATURE Original sheet size A3				



Plan of Subdivision PS708951X Certification by Council (Form 5)

SUBDIVISION (PROCEDURES) REGULATIONS 2000

SPEAR Reference Number: S021790J

Plan Number: PS708951X

Responsible Authority Name: Cardinia Shire Council

Responsible Authority Reference Number 1: S12/037

Surveyor's Plan Version: 03

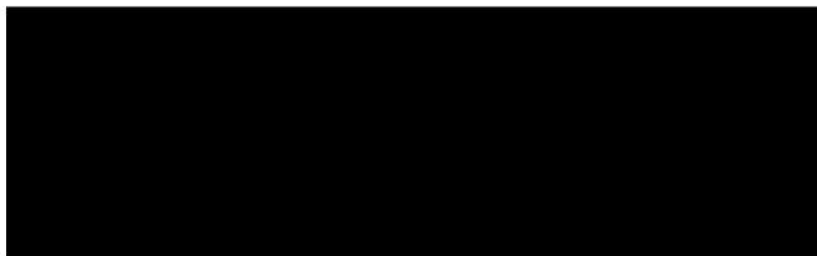
Certification

☒ This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

☐ Has not been made



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Department of Environment, Land, Water & Planning

Owners Corporation Search Report

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OWNERS CORPORATION 1
PLAN NO. PS708951X

The land in PS708951X is affected by 1 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Property 1, Lots 1, 2.

Limitations on Owners Corporation:

Unlimited

Postal Address for Services of Notices:

13 SHARNET CIRCUIT PAKENHAM VIC 3810

OC015311Y 14/08/2012



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Planning Application: T250161
Date Prepared: 09 February 2026

Owners Corporation Manager:

NIL

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Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

NIL

Additional Owners Corporation Information:

OC015311Y 14/08/2012

Notations:

NIL

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 1	0	0
Lot 1	100	100
Lot 2	100	100
Total	200.00	200.00

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.



Department of Environment, Land, Water & Planning

Owners Corporation Search Report

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OWNERS CORPORATION 1
PLAN NO. PS708951X

Statement End.



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 2

VOLUME 11369 FOLIO 540

Security no : 124122944555S
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LAND DESCRIPTION

Lot 2 on Plan of Subdivision 708951X.
PARENT TITLE Volume 11241 Folio 262
Created by instrument PS708951X 14/08/2012

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AU476986U 21/06/2021
WESTPAC BANKING CORPORATION

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below

AGREEMENT Section 173 Planning and Environment Act 1987
AE502340V 25/07/2006

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Planning Application: T250161

State Prepared: 09 February 2026

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DIAGRAM LOCATION

SEE PS708951X FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 13B SHARNET CIRCUIT PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 16977H ST GEORGE BANK
Effective from 21/06/2021

OWNERS CORPORATIONS

The land in this folio is affected by
OWNERS CORPORATION 1 PLAN NO. PS708951X

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 2 of 2

DOCUMENT END


Cardinia
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173



Application by
Responsible Authority,
Relevant Authority,
Referral Authority or Council
for the making of a recording of an
agreement
Section 181(1) Planning and Environment Act 1987

Lodged by:

Name: Deacons
Phone: 8686 6000
Address: RACV Tower, 485 Bourke Street, Melbourne
Ref: 2589508
Customer Code: 1724X

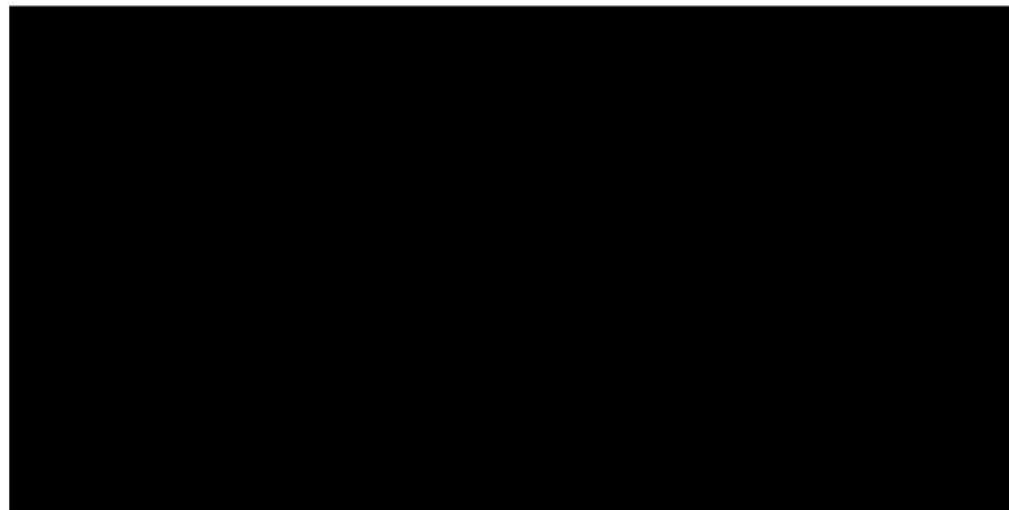
The authority or council having made an agreement requires a recording to be made in the Register for the land.

Land: Certificate of Title Volume 10488 Folio 759

Authority or council: Melbourne Water Corporation of 100 Wellington Parade, East Melbourne

Section and Act under which agreement made: Section 173 Planning & Environment Act 1987

SOFF
DU
23.7.06



Cardinia

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23.2.06



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CARDINIA SHIRE COUNCIL

- and -

**SHARNET PTY LTD
(ACN 098 144 953)**

- and -

**MELBOURNE WATER CORPORATION
(ABN 81 945 386 953)**

SECTION 173 AGREEMENT

**RIGBY COOKE
Lawyers
Level 13
469 LaTrobe Street
MELBOURNE VIC 3000
DX 191 Melbourne**

**Tel: (03) 9321 7888
Fax: (03) 9321 7900
Ref: MDM:CMF:20060369**

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Section 173 Agreement (Sharnet)

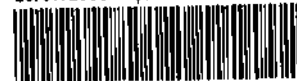
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Section 173 Agreement (Sharnet)

THIS AGREEMENT is made the 21 day of July 2006
pursuant to Section 173 of the *Planning and Environment Act 1987* (the "Act")

PARTIES:

CARDINIA SHIRE COUNCIL
of Henty Way, Pakenham, 3810

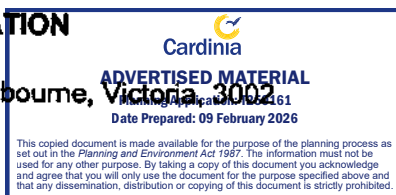
(the "Responsible Authority")

AND

SHARNET PTY LTD
(ACN 098 144 953)
of 'Virginia Park', 14 North Drive, 236 East Boundary Road, East Bentleigh, Victoria, 3165
(the "Owner")

AND

MELBOURNE WATER CORPORATION
(ABN 81 945 386 953)
of 100 Wellington Parade, East Melbourne, Victoria, 3002
(**"Melbourne Water"**)



AE502340V



RECITALS:

- A.** The Responsible Authority is responsible for the administration and enforcement of the Cardinia Planning Scheme pursuant to the provisions of the Act.
- B.** The Owner is the registered proprietor of an estate in fee simple of the land described in Certificate of Title Volume 10488 Folio 759 being Lot 2 on Plan of Subdivision 425783T known as Bald Hill Road, Pakenham (the "Land").
- C.** On 11 May 2005, the Roads Corporation sent a Notice of Intention to Acquire part of the Land to the former owner of the Land, Harold James Bate of Hildesheim, Riverend Road, Bangholme, Victoria, pursuant to sections 6 and 8(1) of the LAC Act ("Notice of Intention to Acquire").
- D.** On 16 May 2005, the Roads Corporation applied for endorsement of the Notice of Intention to Acquire pursuant to an application made under Section 106(e) of the *Transfer of Land Act* 1958 in dealing number AD619779F.
- E.** Pursuant to a Notice of Acquisition under section 21 of the LAC Act published in the Victorian Government Gazette on 30 June 2005, the Roads Corporation acquired 2.801 hectares of the

Section 173 Agreement (Sharnet) 26.05.06

land described in Recital B being more particularly described in that Notice of Acquisition as Parcels 510 and 527 on Survey Plan 20699B.

- F. Melbourne Water is a referral authority under the Cardinia Planning Scheme.
- G. The land described in Recital B is subject to a mortgage (registration number AE108766G) in favour of the National Australia Bank Ltd (the "Mortgagee"). The Mortgagee has consented to the Owner entering into this Agreement.
- H. On 8 December 2003 (as subsequently amended on 5 May 2006), the Responsible Authority issued Planning Permit No. T030269C to develop the land described in Recital B together with proposed lot B on plan of subdivision PS511184 for the purpose of a twenty five (25) lot subdivision with the balance remaining as two (2) super staged lots (the "Planning Permit").
- I. Condition 26 of the Planning Permit provides as follows:

All new lots are to be filled to a minimum of 600^{mm} above the 100 year ARI flood level associated with the Pakenham and Deep Creek floodplains; or

The lots may be filled to a minimum of 300^{mm} above the applicable flood level, provided the developer enters into a Section 173 Agreement to ensure that finished floor levels of any future dwellings are constructed to a minimum of 600^{mm} above the applicable flood level. This Agreement is to be funded and facilitated by the developer. This includes any legal costs incurred by Melbourne Water as a result of the agreement.

- J. The parties enter into this Agreement:
- (a) to give effect to the arrangement made between the Owner, the Responsible Authority and Melbourne Water in relation to Condition 26 of the Planning Permit;
 - (b) to provide a means of compliance with the Planning Permit;
 - (c) to achieve or advance the objectives of planning in Victoria and the objectives of the Cardinia Planning Scheme in respect to the Land; and
 - (d) amongst other things to formalise an understanding reached between the parties regarding the use and development of the Land.

IT IS AGREED AND COVENANTED

1 DEFINITIONS

In this Agreement, the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

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"Act" means the *Planning and Environment Act 1987 (Vic)* (as amended).

"Agreement" means this agreement and any agreement executed by the parties expressed to be supplemental to this agreement or any agreement which is a variation of or replacement for this agreement.

"GST Act" means the *A New Tax System (Goods and Services Tax) Act 1999 (Cth)* (as amended).

"LAC Act" means the *Land Acquisition and Compensation Act 1986 (Vic)* (as amended)

"Land" means the land described in Recital B excluding the VicRoads Land.

"Melbourne Water" includes any successor in law;

"Minimum Fill Works" means the placing of fill on all new lots on the Land to a minimum of 300^{mm} above the 100 year ARI flood level associated with the Pakenham and Deep Creek floodplains as designated by Melbourne Water.

"Mortgagee" means the person described in Recital G.

"Owner" means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Land or any part of it and includes a Mortgagee in possession.

"Plan of Subdivision" means Plan of Subdivision No. PSC 11194.

"Planning Permit" means the Planning Permit described in Recital H including the plans endorsed under it.

"Planning Scheme" means the Cardinia Planning Scheme and any successor instrument or other planning scheme which applies to the Land.

"Responsible Authority" means Cardinia Shire Council or its successor as the authority responsible for administering and enforcing the Planning Scheme.

"Tribunal" means the Victorian Civil and Administrative Tribunal.

"Works" the construction of the finished floor levels to the minimum level described in clause 3.1(a).

"VicRoads Land" means the land described in Recital E.

2 INTERPRETATION

In this Agreement, unless the context indicates otherwise:

2.1 A reference to this Agreement includes any variation or replacement of it.

2.2 The singular includes the plural and the plural includes the singular.

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- 2.3 A reference to a gender includes a reference to each other gender.
- 2.4 A reference to a person includes a reference to a firm, corporation or other corporate body and their successors in law.
- 2.5 If a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.6 A reference to a statute includes any subordinate instruments made under that statute.
- 2.7 A reference to a statute includes any statutes amending, consolidating or replacing that statute.
- 2.8 All headings are for ease of reference only and shall not be taken into account in the construction or interpretation of this Agreement.
- 2.9 The recitals to this Agreement are and will be deemed to form part of this Agreement including any terms defined within the Recitals.
- 2.10 A reference to the Responsible Authority includes its agents, officers, employees, servants, workers and contractors.
- 2.11 A reference to the Owner (if the Owner holds the Land in a trust capacity) includes the beneficiaries of the trust in relation to which it holds that Land. Where such a trust relationship exists, the Owner in executing this Agreement does so intending to assume not only personal liability but also to bind the trust for which it acts as trustee.
- 2.12 A reference to Melbourne Water includes its agents, officers, employees, servants, workers and contractors.
- 2.13 The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Land provided that if the Land is subdivided, this Agreement must be read and applied so that each subsequent owner of a lot is only responsible for those covenants and obligations which relate to that owner's lot.

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3 SPECIFIC OBLIGATIONS OF THE OWNER

- 3.1 Where the Owner has undertaken the Minimum Fill Works in a stage of the subdivision on the Land,

the Owner agrees that:

- (a) the finished floor levels of any future dwelling in that stage of the subdivision on the Land will be constructed to a minimum of 600^{mm} above the 100 year ARI flood level associated with the Pakenham and Deep Creek flood plains as designated by Melbourne Water; and
- (b) prior to the issuing of a Statement of Compliance for that stage of the subdivision, a

Section 173 Agreement (Shamat) 26.05.06



certified survey plan must be submitted to Melbourne Water showing (reduced to the Australian Height Datum) the lots on the Land that have been filled in accordance with the Minimum Fill Works; and

- (c) prior to the occupancy of any future dwelling in that stage of the subdivision on the Land, a certified survey plan must be submitted to Melbourne Water showing (reduced to the Australian Height Datum) that the finished floor levels are in accordance with clause 3.1(a); and
- (d) after the completion of the development of a lot in that stage of the subdivision on the Land, the finished floor level heights of all dwellings on that lot may not be altered without the further written consent of the Responsible Authority and Melbourne Water.

4 FURTHER OBLIGATIONS OF THE OWNER

4.1 Notice and Registration

The Owner must bring this Agreement to the attention of all prospective mortgagees, transferees, Lessee(s) (if any) and assigns.

4.2 Mortgagee to be Bound

The Owner covenants to obtain the consent of any mortgagee to be bound by the covenants in this Agreement if the mortgagee becomes Mortgagee in possession of the Land.



4.3 Registration of Agreement

The Owner must do all things necessary to enable the Responsible Authority and/or Melbourne Water to make an application to the Registrar of Titles to make a recording of this Agreement on the Certificate of Title to the Land in accordance with Section 181 of the Act including the signing of any further agreement, acknowledgment or other document.

4.4 Responsible Authority's and Melbourne Water's Costs to be Paid

The Owner must pay immediately on demand the reasonable legal costs of the Responsible Authority and Melbourne Water of and incidental to the preparation, execution and registration of this Agreement. These costs are and remain a charge on the Land until paid.

4.5 Indemnity

The Owner agrees to indemnify and keep indemnified the Responsible Authority and Melbourne Water from and against all costs, expenses, losses or damages that it may sustain, incur, suffer or be or become liable for or in respect of any suit, action, proceeding, judgment or claim brought by any person arising from or referable to any non-compliance with this Agreement.

4.6 Responsible Authority and Melbourne Water Access

Section 173 Agreement (Shamet) 26.05.09



The Owner agrees to allow the Responsible Authority and Melbourne Water to enter the Land at any reasonable time to assess compliance with this Agreement following two (2) days written notice to the Owner.

5 FURTHER ASSURANCE

- 5.1 The parties to this Agreement must do or cause to be done all things that are reasonably necessary to give effect to this Agreement.

6 AGREEMENT UNDER SECTION 173 OF THE ACT

- 6.1 The parties acknowledge and agree that this Agreement is made pursuant to Section 173 of the Act.

7 AGREEMENT RUNS WITH THE LAND

- 7.1 The parties acknowledge and agree that the obligations in this Agreement take effect as covenants annexed to the Land that run at law and in equity with Land and bind the Owner.

8 OWNER'S WARRANTIES

- 8.1 Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land.

9 PLANNING OBJECTIVES

- 9.1 The parties acknowledge that the provisions of this Agreement are intended to achieve or advance the Objectives of Planning in Victoria and the objectives of the Planning Scheme.

10 SUCCESSORS IN TITLE

- 10.1 Without limiting the operation or effect which this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Land, successors in title must be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and



Section 173 Agreement (Sharnet) 28.05.08



- (b) execute a deed agreeing to be bound by the terms of this Agreement.

11 GOODS AND SERVICES TAX

11.1 Definitions and Expressions

Expressions used in this Agreement that are defined in the GST Act have the same meaning as given to them in the GST Act, unless expressed to the contrary.

11.2 Liability to pay any GST

Except where express provision is made to the contrary, and subject to this clause, any consideration that may be provided under this Agreement is exclusive of any GST. If a Party makes a taxable supply in connection with this Agreement for a consideration which represents its value, then the recipient of the taxable supply must also pay, at the same time and in the same manner as the value is otherwise payable, the amount of any GST payable in respect of the Taxable Supply.

11.3 Costs

To the extent that one party is required to reimburse another Party for costs incurred by the other party, those costs do not include any amount in respect of GST for which the other party is entitled to claim an input tax credit.

11.4 Tax Invoice

A party's right to payment of GST is subject to a Tax Invoice being delivered to the recipient of the taxable supply.

12 GENERAL MATTERS

12.1 Service of Notice

A notice or other communication required or permitted to be served by a party on another party shall be in writing and may be served:

- (a) by delivering it personally; or
- (b) by sending it by pre paid post at the address set out in this Agreement, or any address notified to the Australian Securities and Investment Commission under the *Corporations Act 2001* and Regulations or the address subsequently notified to each party from time to time; or
- (c) by sending it by facsimile provided that a communication sent by facsimile shall be confirmed in writing by hand delivery or pre paid post.

Section 173 Agreement (Shamet) 26.05.06



12.2 Time of Service

A notice or other communication is deemed served:

- (a) if delivered personally on the same business day subject to Clause 12.2(d);
- (b) if posted within Australia to an Australian address, two (2) business days after the date of posting and in any other case, seven (7) business days after the date of posting;
- (c) if sent by facsimile, on the same business day;
- (d) if received after 6.00pm in the place of receipt or on a day which is not a business day, at 9.00am on the next business day.

12.3 No Waiver

Any time or other indulgence granted by the Responsible Authority or Melbourne Water to the Owner or any variation of the terms and conditions of this Agreement or any judgement or order obtained by the Responsible Authority or Melbourne Water against the Owner will not in any way amount to a waiver of any of the rights or remedies of the Responsible Authority or Melbourne Water in relation to the terms of this Agreement.

12.4 Jurisdiction

For the purposes of this Agreement, the parties acknowledge that they are subject to the jurisdiction of the Act and the Victorian courts or tribunals for the enforcement of this Agreement.



12.5 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it shall be severed and the other provisions of this Agreement shall remain operative.

12.6 Disputes

- (a) If there is a dispute between the parties concerning the interpretation or implementation of this Agreement, that dispute must be referred to the Tribunal for resolution to the extent permitted by the Act.
- (b) If there is a dispute concerning any matter which is not referable to the Tribunal under the Act, that dispute must be referred for arbitration by an Arbitrator agreed upon in writing by the Parties or, in the absence of such agreement the Chairman of the Victorian Chapter of the Institute of Arbitrators, Australia or his nominee, for arbitration.
- (c) Where provision is made in this Agreement that any matter be done to the satisfaction of the Responsible Authority and/or Melbourne Water or any of their officers and a dispute arises in relation to such provision, the dispute must be referred to the Tribunal in

AE502340V

Section 173 Agreement (Sharnet) 26.05.06



accordance with Section 149(1)(b) of the Act.

- (d) The Parties must be entitled to legal representation for the purposes of any arbitration or referral and , unless the Arbitrator, Chairman, nominee or the Tribunal otherwise directs, each Party must bear its own costs.

12.7 No Fettering of Responsible Authority's Powers

The parties acknowledge and agree that this Agreement does not fetter or restrict the power or discretion of the Responsible Authority to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

13 COMMENCEMENT OF AGREEMENT

- 13.1** This Agreement commences from the date of its execution by the parties.

14 AMENDMENT

- 14.1** Subject to the consent of the Minister responsible for administering the Act, the parties may agree in writing to amend this Agreement.



ADVERTISED MATERIAL

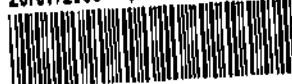
Planning Application: T250161

Date Prepared: 09 February 2026

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25/07/2006 \$94.60 173



SIGNATURES

EXECUTED as a Deed



MORTGAGEE'S CONSENT

The National Bank of Australia as Mortgagee of registered Mortgage No. AE108766G consents to the Owner entering into this Agreement and in the event that the Mortgagee becomes Mortgagee in possession, agrees to be bound by the covenants and conditions of this Agreement.

EXECUTED BY MORTGAGEE



ADVERTISED MATERIAL

Planning Application: T250161

Date Prepared: 09 February 2026

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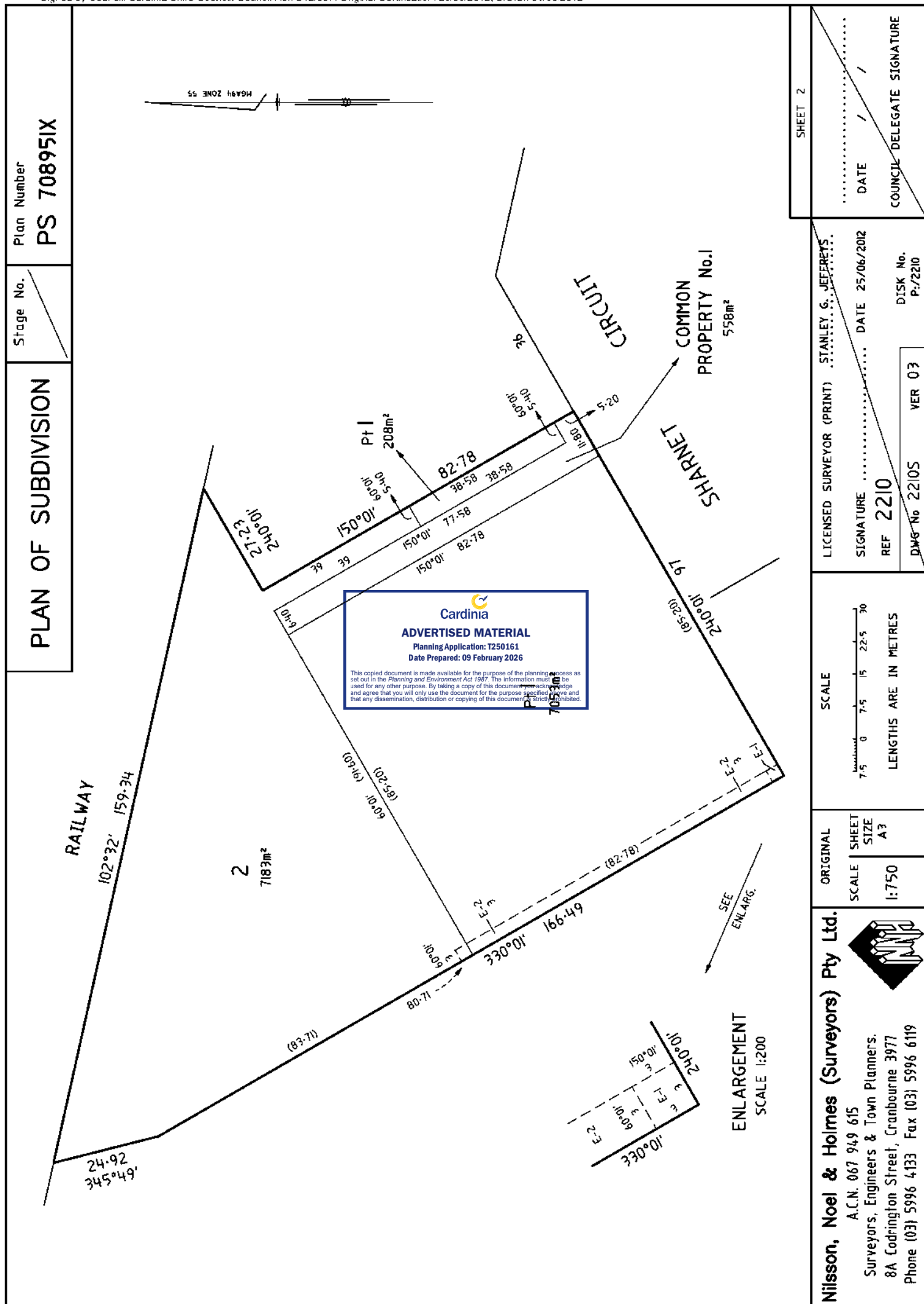
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PLAN OF SUBDIVISION		STAGE No. <hr/>	LRS use only EDITION 1	Plan Number PS 708951X
Location of Land Parish: NAR NAR GOON Township: - Section: - Crown Allotment: 35A (PART) & 36B (PART) Crown Portion: - LRS Base Record: DCMB Title Reference: VOL 11241 FOL 262 Last Plan Reference: LOT 1 ON PS 632866J Postal Address: 13 SHARNET CIRCUIT, (at time of subdivision) PAKENHAM 3810 MGA Co-ordinates E 368 885 Zone 55 (of approx. centre of land N 5 783 725 in plan)		Council Certification and Endorsement Council Name: CARDINIA SHIRE COUNCIL Ref: 1. This plan is certified under section 6 of the Subdivision Act 1988. 2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 / / 3. This is a statement of compliance issued under section 21 of Subdivision Act 1988. <u>OPEN SPACE</u> (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage..... Council Delegate Council Seal Date / / Re-certified under section 11(7) of the Subdivision Act 1988. Council Delegate Council Seal Date / /		
Vesting of roads and/or Reserves		Notations		
Identifier	Council/Body/Person	Staging: This is not a staged subdivision Planning Permit No. Depth Limitation: DOES NOT APPLY THIS IS A SPEAR PLAN. <div style="text-align: center;"> OWNERS CORPORATION NOTATION LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS. FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES. </div> Survey: This plan is based on survey. This survey has been connected to permanent marks no(s) In proclaimed Survey Area No. 71		
NIL		<div style="border: 1px solid black; padding: 10px; margin: 10px auto; width: 250px;">  ADVERTISED MATERIAL Planning Application: T250161 Date Prepared: 09 February 2026 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small> </div>		
NIL				
Easement Information				LRS use only
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				Statement of Compliance/ Exemption Statement
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL LAND IN THIS PLAN.				RECEIVED <input checked="" type="checkbox"/>
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE	3	PS 544795V	CARDINIA SHIRE COUNCIL
E-1	SEWERAGE	3	PS 544795V	SOUTH EAST WATER LIMITED
E-2	DRAINAGE & SEWERAGE	3	THIS PLAN	LOT 2 ON THIS PLAN
				DATE: 7 / 8 / 2012
				LRS use only
				PLAN REGISTERED
				TIME: 6.31pm
				DATE: 14 / 8 / 2012
				HEATH RICHARDS Assistant Registrar of Titles
				Sheet 1 of 2 sheets
Nilsson, Noel & Holmes (Surveyors) Pty Ltd. A.C.N. 067 949 615 Surveyors, Engineers & Town Planners 8A Codrington Street, Cranbourne 3977 Phone (03) 5996 4133 Fax (03) 5996 6119		LICENSED SURVEYOR (PRINT) STANLEY G. JEFFREYS SIGNATURE DIGITALLY SIGNED DATE 25/06/2012 REF 2210 DWG No. 22105 VER 03		DISK No. P./2210 DATE / / COUNCIL DELEGATE SIGNATURE Original sheet size A3



Plan of Subdivision PS708951X Certification by Council (Form 5)

SUBDIVISION (PROCEDURES) REGULATIONS 2000

SPEAR Reference Number: S021790J

Plan Number: PS708951X

Responsible Authority Name: Cardinia Shire Council

Responsible Authority Reference Number 1: S12/037

Surveyor's Plan Version: 03

Certification

☒ This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

on Act 1988



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Planning Application: T250161

Date Prepared: 09 February 2026

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Department of Environment, Land, Water & Planning

Owners Corporation Search Report

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Produced: 19/03/2025 09:33:15 AM

OWNERS CORPORATION 1
PLAN NO. PS708951X

The land in PS708951X is affected by 1 Owners Corporation(s)

Land Affected by Owners Corporation:

Common Property 1, Lots 1, 2.

Limitations on Owners Corporation:

Unlimited

Postal Address for Services of Notices:

13 SHARNET CIRCUIT PAKENHAM VIC 3810

OC015311Y 14/08/2012



ADVERTISED MATERIAL

Planning Application: T250161
Date Prepared: 09 February 2026

Owners Corporation Manager:

NIL

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Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

NIL

Additional Owners Corporation Information:

OC015311Y 14/08/2012

Notations:

NIL

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 1	0	0
Lot 1	100	100
Lot 2	100	100
Total	200.00	200.00

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.



Department of Environment, Land, Water & Planning

Owners Corporation Search Report

Produced: 19/03/2025 09:33:15 AM

OWNERS CORPORATION 1
PLAN NO. PS708951X

Statement End.



ADVERTISED MATERIAL

Planning Application: T250161

Date Prepared: 09 February 2026

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11 December 2025



Address: 13B SHARNET CIRCUIT PAKENHAM
Council Ref: T250161 PA
Re: Response to RFI letter

Connect Town Planning continues to act for the permit applicant in respect to the property at 13B Sharnet Circuit Pakenham and the application for planning permit T250161 PA.

In response to Council's request for further information dated 8 August 2025 and following our recent meeting at Council officers on the 7 October 2025, we are pleased to attach the following amended and updated reports and documents:

- Updated architectural plans, prepared by VAASTU Design Pty Ltd
- Updated traffic impact assessment including swept path diagrams, prepared by Colliers.
- Updated town planning report, prepared by Connect Town Planning.

In respect to the specific matters requested in the further information letter, we provide the following responses:

1. Application Fee

Payment has been made to the outstanding amount of \$651.40.

2. Town Planning Report

- a) The town planning report has been updated to include additional information as requested regarding the proposed uses of the land including the proposed nature of the uses, the expected number of patrons and hours of operation for each component. Turning to each of the items required:

- i) *Details of the function centre, hall, library, place of worship and restricted place of assembly (hours, frequency, number of employees and patrons to each use identified).*

Function Centre/Community Hall

The proposed function centre/community is proposed to be used as a multi-purpose community space designed to host a variety of events, including cultural festivals, celebrations, community gatherings, educational seminars, and youth programs.

The typical hours of operation are Friday through to Sunday, from 9:00 a.m. to 10:00 p.m., with occasional weekday evening events. On average, the space will host 1–2 events per week, with a potential for higher frequency during seasonal cultural festivals.

Each event is expected to have 150–200 patrons, with 4–6 staff or volunteers on hand to manage operations. All events will be held indoors, and amplified sound will be used only within the building and will conclude by 10.00pm.

Community Library / Reading Room

The purpose of the proposed library is to provide a dedicated, quiet space for community members to access resources on Indian history, culture, and spirituality. In addition on to serving as a repository for literature, the space will function on as a study area for students and a venue for quiet community activities such as book clubs, tutoring sessions, and small-scale workshops.

The library will operate with regular hours to ensure consistent community access.

The proposed hours are Monday through Friday from 10:00 a.m. to 8:00 p.m. and on Saturdays from 10:00 a.m. to 2:00 p.m. It is anticipated that the library will be used by a steady flow of small groups, with an estimated 10 to 20 patrons present at any given me.

A staff of 1–2 employees or volunteers will be on site during all opening hours to supervise the space.

Place of Worship / Prayer Room

The place of worship is provided with a main worship area and hall area.

The meditation and prayer hall is designed as a peaceful and respectful space for prayer, meditation, and quiet reflection, as well as small religious gatherings for the Indian community.

The hall's hours are specific to these purposes:

- on festival days, it will be open from 6:00 a.m. to 10:00 a.m. for morning prayers, meditation, and yoga, and again from 6:00 p.m. to 9:00 p.m. for evening prayers and festival gatherings.
- On weekends, it will be open for evening prayer sessions from 6:00 p.m. to 9:00 p.m.

The hall will be used for occasional festival events and weekend gatherings, ensuring its schedule does not conflict with events in the main function hall.

Attendance is expected to be between 100 and 200 people for typical gatherings, with a higher capacity of 200 to 350 people during major festivals.

A team of 6 to 8 volunteers will be present to manage these events. All ac vi es will be conducted in a manner that maintains a quiet and respectful atmosphere. Any use of amplified sound will be confined to the inside of the hall.

Restricted Place of Assembly (Cultural Classes / Meetings)

The dedicated classrooms will be used for structured educational and cultural programs. These spaces are designed to accommodate a variety of activities, including language classes, music and dance lessons, and community meetings.

The rooms will operate during specific hours to support these activities including weekdays from 5:00 p.m. to 9:00 p.m. and weekends from 9:00 a.m. to 1:00 p.m.

It is estimated that there will be approximately 1–2 classes or meetings per week, with each session accommodating between 20 and 30 participants. Each class or mee ng will be overseen by 2–3 instructors or coordinators.

The table below summaries the proposed uses, expected patrons numbers, staffing numbers, frequency and hours of operation. We note that the community centre and place of worship will not operate at the same time.



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Use	Expected Patron Numbers	Est. Staff	Frequency	Hours of Operation	
Function Centre /Community Hall*	150-200	4-6	1-2 per week on average	Friday-Sunday	9.00am-10.00pm
			Higher frequency during cultural festivals	Some weekday events during festivals	
Community Library	10-20	1-2	Weekly	Monday – Friday	10.00am-8.00pm
				Saturday	10.00am-2.00pm
Place of Worship / Prayer Room*	100-200 typically	6-8	Weekly	Weekends	6.00pm-9.00pm
	200-750 festivals		During festivals	Festival Days	6.00am-10.00am 6.00pm-9.00pm
Restricted Place of Assembly	20-30	2-3	1-2 per week	Weekdays	5.00pm-9.00pm
				Weekends	9.00am-1.00pm

* - the Function Centre/Community Hall will not operate at the same time as there is a major festival on in the place of worship.

ii) Function Space

As noted above, the function space is intended to be used as a multi-purpose venue within the Indian Cultural and Community Centre. It will provide a space for cultural celebrations, educational seminars, and community gatherings, while ensuring operations are carefully managed to minimise any impact on the surrounding area.

It is anticipated that the function space will operate with a maximum occupancy 150-250 patrons, as determined by fire safety and building regulations.

Typical events range from 300-400 patrons, with larger community festivals (if any) planned and capped per council approvals. Maximum number of patrons will up to a maximum of 750 patrons.

In respect to room/hall hire:

- Function room is the primary hireable space and as a multi-purpose facility, functions will occasionally operate concurrently with other services. This will be managed through careful scheduling and clear separation of spaces. The hall is a self-contained space. When a private function is in progress, access to this area will be restricted to function guests only.
- Other ancillary rooms (e.g., meeting rooms, library room, or classrooms) may be hired for small-scale workshops or meetings, subject to management approval.
- Worship/prayer areas are not for general hire and remain reserved for religious and cultural purposes only.
- The Library and Place of Worship will remain open to community members during any function, as they are located in a separate wing of the building with their own access points and are designed to be quiet zones. Access to these areas will not be affected by events in the Main Hall.

- Educational Classes may occur in the classrooms on weekday evenings while the Function Hall is being set up for an event. These classes conclude at a time that allows for smooth transition and does not overlap with peak event times.

The rooms will be available for hire by the general public, including both members of the centres organisation and non-members. This inclusive approach aligns with the mission of the centre to serve the broader community and promote cultural exchange. The facility is available for cultural, educational, and community-oriented functions. All hirers must comply with the venue's Code of Conduct and council regulations regarding noise, safety, and public amenity.

In respect to the frequency of room hire, rooms will be able to be booked on an as-needed basis with no more than 1-2 events per week.

Events are likely to be scheduled primarily on weekends or evenings; hours of operation will remain 9.00am to 10:00 pm with no overnight or late-night activities.

Bookings are managed by the centre's administration to avoid overlap of large events and ensure compliance with safety and parking requirements.

iii) Catering

The Catering and Prasad Service is intended solely as an ancillary facility supporting on-site cultural and religious events held within the Indian Cultural and Community Centre. It provides food offerings (prasad) and catering for attendees in a controlled, non-commercial capacity.

There will be no off-site operation for pick up or otherwise to the general public.

The kitchen will be available for people to self cater also such as heating up food.

Prasad is typically distributed in small portions during religious gatherings. Catering for events aligns with previously outlined function hall usage.

The catering and prasad service is an ancillary activity designed to support cultural and religious programs on site. It will not function as an independent food business and will have minimal impact on traffic or amenity beyond what has already been described for the events.

iv) Location of services

All religious ceremonies, cultural events, and community functions will be held entirely indoors within the designated function hall, prayer rooms, and other enclosed spaces of the centre. The facility has been intentionally designed to contain all primary activities inside, which helps to ensure effective noise control, weather protection, safety, and overall amenity management.

b) Aarti Timings

The centre's primary religious ceremonies include daily Aarti (prayer) services. These are short, structured rituals conducted indoors, with minimal noise impact.

Proposed Aarti Timings:

- Morning: Weekends / Indian Festival-cultural Days between 6:30 AM – 7:00 AM (approx. 20 30 minutes).
- Evening: o Weekends / Indian Festival-cultural Days between 6:30 PM – 7:30 PM (approx. 30–45 minutes).
- Special Festival Days (e.g., Diwali, Navratri), additional Aarti sessions may occur which will remain within the overall approved hours and scheduled carefully to manage attendance and amenity

The Prayer facility will open 30 minutes prior to Aarti and close shortly after the completion of the evening Aarti.

No Aarti or religious services will occur late at night; all ceremonies will be indoors.

c) Car Parking Plan

We confirm the following in respect to the on-site car parking areas:

- The onsite car parking is dedicated solely for the use of visitors, staff, and volunteers attending events and services at the Indian Cultural and Community Centre.
- No unrelated offsite activities or third-party businesses will be permitted to use the car park.
- The parking facility is not intended for public parking or shared commercial use.
- The car park will be managed and monitored by the centre's staff/volunteers during events to ensure safety, efficient use of spaces, and compliance with council requirements.
- The vacant area on site (outside the building footprint) is primarily landscaped or reserved car park and will not be used for permanent commercial or retail stalls, nor for unrelated activities.
- Occasional, temporary use during large cultural or religious events may occur including:
 - overflow car parking under controlled supervision;
 - community booths during major annual festivals.

Any such occasional use would be limited in frequency and managed to avoid adverse impacts on neighbours (e.g., noise, traffic).

3. *Car Parking Plan and Swept Paths*

- A turn around area is provided at the northern end of the accessway, in lieu of car space 72. This will be line marked on site to confirm its use as a turn around area only.
- A swept path diagram is shown demonstrating that vehicles are able to utilise this turn around bay in accordance with the standards.



4. *Floor Plan*

The floor plan has been updated to clearly label and show the proposed uses for each room of the building relative to the proposed uses identified in the town planning report and this cover letter.

5. *Food Preparation Areas*

We confirm that all food preparation areas are limited to and located within the nominated kitchen area. The kitchen/servery area will be entirely indoors and located within the main building footprint. Fixtures associated with food preparation on will be permanent and compliant with all relevant health and building regulations.

In respect to the preliminary comments included in Council's letter, we provide the following responses as relevant where not already responded to above:

Land Use Definition

We confirm that during our recent meeting Council indicated it was in agreement regarding the broader land use definition of the site as a Place of Assembly. We consider it would be appropriate that in any permit that issues the preamble can read... 'use of the land for a Place of Assembly (function centre, place of worship and restricted place of assembly)'.

Event Space for Hire/Catering/Hours of Operation- website

We refer to the information provided in the accompanying town planning report and this cover letter in respect to the proposed room hire details. We confirm that the information available on the website is outdated and should not be used in consideration of this application. The material provided in the application including hours of operation, availability of rooms etc will be enforceable under conditions on any permit issuing.

Pedestrian Access

In respect to the suggestion to provide dedicated pedestrian paths internally to the site, we note that the car parking area is an existing condition and was designed and constructed in accordance with the previous planning permit.

Our client is willing to include line parking within the car parking area as a pedestrian link/path and this can be undertaken by way of condition on the permit.

We note that an underpass under the railway line has been recently completed and pedestrian access to the train station is readily available without the need for further upgrade works.



Outdoor Activities

We confirm that the proposal does not include any formal outdoor activities to be carried out on the land. Any references made in the PMA to outdoor activities is meant to relate to the transition of patrons arriving and leaving the facility and not any intended outdoor use.

Portable PA System

In accordance with the Council's suggestion, a fixed internal PA system will be used only. The fixed system will include pre-set volume limits, indoor speakers only and directional placement to minimise noise transmission outside of the building.

Acoustic Report

We note that there was an error in the previous RFI cover letter and there are no requirements identified in the acoustic report relating to acoustic fencing.

Melbourne Industrial and Commercial Land Use Plan

We note our previous response to the Melbourne Industrial and Commercial Land Use Plan (the **Plan**) and that the site sits within the broader Southern Region and more specifically the Officer-Pakenham State Significant Industrial Precinct (SSIP).

We continue to note that there is a total 641.5ha of zoned industrial land in the Officer-Pakenham SSIP, there is 323.8ha (50%) which is vacant. There is then a further 938ha of future unzoned industrial land which will be brought to the market in the future under various PSP's. This represents a doubling of total industrial land to be available and an almost 300% increase in the vacant industrial land supply.

The subject site represents approximately 0.11% of the total available industrial land supply which is vacant and future unzoned within this SSIP.

We also note the subject site has been vacant for an extended period suggesting that there was previously not a significant demand for the site to be used for warehousing or industrial purposes.

Furthermore, there are no major works proposed which would fundamentally change the nature of the building, meaning that in the future if the proposed use was to cease, the building can easily be made good for use for industrial or warehousing purposes.

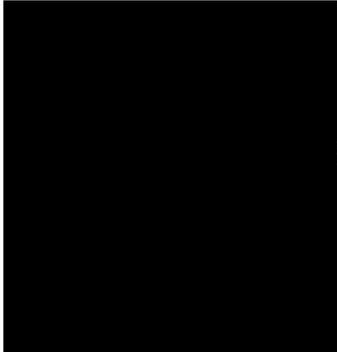
We trust that the attached information and above responses have addressed all items in Council's RFI and the application can proceed for determination.

Please contact the undersigned on 0400 829 235 or by email at phillipr@connectplanning.com.au if you have any questions regarding this correspondence.

Yours sincerely,



11 July 2025



Address: 13B SHARNET CIRCUIT PAKENHAM
Council Ref: T250161 PA
Re: Response to RFI letter

Connect Town Planning continues to act for the permit applicant in respect to the property at 13B Sharnet Circuit Pakenham and the application for planning permit T250161 PA.

In response to Council's request for further information dated 16 April 2025, we are pleased to attach the following amended and updated reports and documents:

- Section 57 Form to amend the application to include 13A Sharnet Circuit Pakenham and display of signage in the application.
- Updated architectural plans, prepared by VAASTU Design Pty Ltd
- Traffic Report, prepared by Colliers.
- Waste Management Plan, prepared by Colliers International Engineering & Design (TTMC) Pty.
- Acoustic Assessment Report, undertaken by Acoustic Control Pty Ltd.
- SUTM Event Schedule.
- Patron Management Plan, prepared by Colliers International Engineering & Design (TTMC) Pty.
- Updated town planning report, prepared by Connect Town Planning.

We note that the revised material includes the use of car parking spaces on land at 13A Sharnet Circuit and accordingly a completed amendment to a permit application under section 50 of the Act is attached. The application now also includes the display of business identification signage and the relevant supporting documents and reports have been updated to reflect this.

In respect to the specific matters requested in the further information letter, we provide the following responses:

1. Amended Town Planning Report

The town planning report has been updated to address the items raised in Council's letter including:

- a) Correction to land use references.

- b) Further assessment of the proposal against the relevant provisions of the Cardinia Planning Scheme including Clause 13 and 17.
- c) A description of the proposed land use under Clause 73.03.
- d) Further details of the proposed activities on the land.
- e) Details of frequency of events.
- f) Further details of the proposed uses on the site.

2. *Acoustic Report*

An acoustic assessment has been prepared by Acoustic Control Pty Ltd which has assessed the anticipated acoustic impacts of the proposed development and uses on the adjoining sensitive uses.

Street) and has included ambient noise monitoring including from nearby noise sources being Station Street and the adjoining rail line.

The report has recommended the following measures be incorporated into the design and which are now shown on the architectural plans:

- 1.8m high acoustic barrier along the northern boundary of the subject site adjacent to 44 Station Street Officer at ground level.
- A 1m high acoustic barrier along the first floor northern edge of the car park which will wrap around to the east as show in Figure 8 of the acoustic report.
- Appropriate screening of the proposed roof top plant and equipment area.

The report summarises that subject to the above mentioned measures, noise generated by the proposed use and development will comply with the relevant noise criteria including Clause 13.05-1S, E Environmental Protection Regulation 2021, May 2021 and Environmental Protection Authority Victoria Noise Limit and Assessment Protocol for the Control of Noise from Commercial, Industrial and Trade Premises and Entertainment Venues Publication 1826.4, July 2021 (EPAPub1826.4).

3. *Waste Management Plan (WMP)*

An WMMP has been prepared by Colliers which responds to the various requirements of the Council's letter.

4. *Patron Management Plan (PMP)*

A PMP has been prepared by Colliers which sets out the proposed management of patrons visiting the site under the proposed use.

5. *Car Parking Plan*

An acoustic assessment has been prepared by Acoustic Control Pty Ltd which has assessed the anticipated acoustic impacts of the proposed development and uses on the adjoining sensitive uses.

6. *Swept Path Analysis*

An acoustic assessment has been prepared by Acoustic Control Pty Ltd which has assessed the anticipated acoustic impacts of the proposed development and uses on the adjoining sensitive uses.

7. *Signage*

All proposed signage is now shown on the submitted architectural drawings and referenced in the town planning report, including assessment against relevant policy and Clause 52.05.

In respect to the preliminary comments included in Council's letter, we provide the following responses as relevant where not already responded to above:

Land Use Definition

The proposed land use is best defined as a Place of Assembly under Clause 73.03 (Land Use Terms) of the Cardinia Planning Scheme noting that the definition includes:

Land where people congregate for religious, spiritual or cultural activities, entertainment, or meetings.

The Place of Assembly land use includes function centre, hall, library, place of worship and restricted place of assembly.

The proposed land uses for the site cover a range of services and activities which include educational, spiritual and social gatherings. As such, the broader land use Place of Assembly term is considered to best suit and fit the range of land uses proposed to operate from the premises.

Previous Events

We note that a previous event was held on the property by the applicant in April of this year and confirm that we have advised our client that no further events are to be held until such time as a planning permit is issued for the use of the land.

Melbourne Industrial and Commercial Land Use Plan

We note Council's reference to the Melbourne Industrial and Commercial Land Use Plan (the Plan) and that the site sits within the broader Southern Region and more specifically the Officer-Pakenham State Significant Industrial Precinct (SSIP).

The Plan includes the following table (Table 2) which shows zoned industrial land supply, occupied and vacant with the Officer-Pakenham SSIP highlighted.

Table 2: Zoned industrial land supply, occupied and vacant

Region / SSIP	Occupied (ha)	Vacant (ha)	Total (ha)
Inner Metro Region	459.4	28.0	487.4
Western Region	5,819.2	2,818.4	8,637.6
Western SSIP	4,356.3	1,810.5	6,166.8
Northern Region	3,718.6	1,241.2	4,959.8
Northern SSIP	2,400.7	978.2	3,378.9
Eastern Region	2,435.0	135.1	2,570.2
Southern Region	7,270.3	2,337.5	9,607.8
Southern SSIP	2,454.4	502.6	2,957.0
Officer-Pakenham SSIP	317.7	323.8	641.5
Hastings SSIP	814.1	578.1	1,392.2
Inner South East Region	140.7	2.3	143.0
Total	19,843.2	6,562.5	26,405.8

Table 3 of the Plan includes the following information regarding the available industrial land supply, vacant and future unzoned industrial land, with the Officer-Pakenham SSIP highlighted.



Region / SSIP	Zoned vacant (ha)	Future unzoned(ha)	Total(ha)
Inner Metro Region	28.0	0.0	28.0
Western Region	2,818.4	2,881.3	5,699.7
Western SSIP	1,810.5	1,033.8	2,844.3
Northern Region	1,241.2	2,866.9	4,108.1
Northern SSIP	978.2	2,393.7	3,371.9
Eastern Region	135.1	0.0	135.1
Southern Region	2,337.5	1,183.5	3,521.0
Southern SSIP	502.6	0.0	502.6
Officer-Pakenham SSIP	323.8	938.3	1,262.1
Hastings SSIP	578.1	0.0	578.1
Inner South East Region	2.3	0.0	2.3
Total	6,562.5	6,931.7	13,494.2

In summary, the Plan identifies that of the total 641.5ha of zoned industrial land in the Officer-Pakenham SSIP, there is 323.8ha (50%) which is vacant. There is then a further 938ha of future unzoned industrial land which will be brought to the market in the future under various PSP's. This represents a doubling of total industrial land to be available and an almost 300% increase in the vacant industrial land supply.

The subject site represents approximately 0.11% of the total available industrial land supply which is vacant and future unzoned within this SSIP.

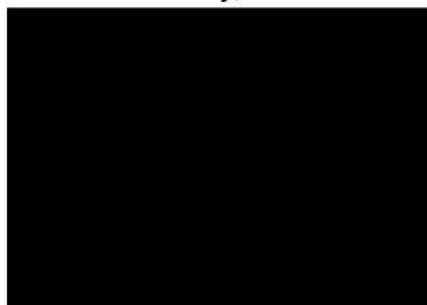
It can hardly be said that the use of this site for a purpose other than industrial will have a noticeable impact on the overall objectives of the Plan or will make a 'dent' in the supply of zone or unzoned industrial land supply.

Other factors to consider is that the subject site is zoned Industrial 1, not Industrial 2 which is a higher order industrial zone with purposes to protect it from non-industrial use, the site is located at the periphery of the industrial zoned land and close to residential properties and an existing train station, making it more suitable for non-industrial land use.

We trust that the attached information and above responses have addressed all items in Council's RFI and the application can proceed for determination.

Please contact the undersigned on 0400 829 235 or by email at phillipr@connectplanning.com.au if you have any questions regarding this correspondence.

Yours sincerely,





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Planning Application: T250161
Date Prepared: 09 February 2026

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13A & 13B SHARNET CIRCUIT PAKENHAM

Town Planning Report



December 2025


Cardinia

ADVERTISED MATERIAL

Planning Application: T250161

Date Prepared: 09 February 2026

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1. Introduction

The proposal seeks planning approval for the use of the land for a place of assembly on land at 13B Sharnet Circuit Pakenham. The application is made on behalf of the Shree Umiya Temple Melbourne who wish to use the site for cultural and religious services.

This report provides:

- A description of the site and surrounding area.
- A description of the proposal.
- An outline of the relevant statutory planning framework.
- An urban context analysis and design response.
- An assessment of the proposal against the relevant provisions of the Casey Planning Scheme.

This report should be read in conjunction with:

- Survey plan, prepared by Sowden Surveys.
- Current Certificate of Title.
- Application form.
- Architectural drawings prepared by VAASTU Design.
- Traffic Assessment, undertaken by Colliers International Engineering & Design (TTMC) Pty Limited.
- Waste Management Plan, prepared by Colliers International Engineering & Design (TTMC) Pty.
- Acoustic Assessment Report, undertaken by Acoustic Control Pty Ltd.
- SUTM Event Schedule, prepared by the applicant.
- Patron Management Plan, prepared by Colliers International Engineering & Design (TTMC) Pty.



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Item	Application Specifics
Address	13A and 13B Sharnet Circuit Pakenham
Existing Use and Development	Existing warehouse building with associated car parking spaces.
Site Area	14,994sqm.
Proposed Use and Development	Use of the land of the land for a place of assembly and display internally illuminated business identification signage.
Existing Zone	Industrial 1 Zone (INZ1)
Overlay(s)	N/A
Planning Policy Framework	11.01 Settlement 13.05-1S – Noise Management 13.07-1S - Land Use Capability 17.03-1S- Industrial Land Supply 17.03-2S – Sustainable industry 17.03-3S – Significant Industrial Land 21.01 – Snapshot of Cardinia Shire 21.01-4 –Strategic Vision 21.03– Settlement and Housing 21.04 -1 – Employment 21.04-4 – Industry 22.09 – Signs
Particular Provisions	52.06 – Car Parking
Application Triggers	Pursuant to Clause 33.01-1 a planning permit is required to use the land for the purposes of a Place of Assembly. Pursuant to Clause 52.05 a permit is required to display internally illuminated business identification signage.
Restrictive Covenants & Easements	Agreement AR502340V
Title	Lot 2 on PS708951X

Table 1: Planning Summary

2. Site Description

The subject site is located on the north-western corner of Sharnet Circuit, approximately 205m from the intersection with Bate Close.

The site is located in an established industrial area which has been developed for a range of industrial and warehouse buildings.

The site comprises a large single level industrial warehouse building with mezzanine office and amenities. The building has a site area of approximately 3,381sqm.

There are at grade car parking spaces provided around the perimeter of the building including 79 cart parking spaces along the site's northern and eastern boundary and a further 151 spaces provided within 13A Sharnet Circuit.

The building is currently vacant.



Figure 1: Aerial image of the subject site and surrounds

Vehicular access to the site is provided from a crossover and driveway at the southern corner of the site. The land at 13A Sharnet Court is currently vacant. There are 14 car parking spaces provided along the car parking bays on the eastern side of the driveway.





Figure 2: Internal layout of the existing building



Figure 3: Subject site – view of vehicle entry from Sharent Circuit



Figure 4: View of existing building and car parking area

The adjoining buildings at 11 Sharnet Circuit and 15 Sharnet Circuit are developed with large warehouse buildings.

The site abuts the Pakenham railway line to the north boundary with East Pakenham Train Station immediately to the north-east of the site.

There is an Agreement on title (AE502340V) which was created to give effect to matters in Planning Permit T030269C relating to the 25 lot subdivision of land. The agreement sets out obligations relating to the constructed finished floor level of buildings. The proposal does not breach the agreement.



3. The Proposal

The proposal involves the use of the land the site for a place of assembly for the Shree Umiya Temple Melbourne.

Shree Umiya Temple Melbourne is a well-established cultural, educational, social welfare, and religious organization serving the Indian-Australian community for over 3 years. Their primary goal is to preserve and promote Indian cultural values, provide spiritual guidance, and support the holistic well-being of their members. The centre will cater to a diverse community comprising youth, middle-aged individuals, and seniors.

The temple's key objectives include:

- Foster religious awareness and spiritual well-being for all members.
- Promote good citizenship and ethical values in society.
- Offer support and care for seniors and aging individuals.
- Encourage education, mentorship, and personal development for the younger generation.
- Enhance community engagement and cultural integration within Victoria and Australia.

The long-term vision is to establish a modern, multi-purpose Cultural and Religious Centre, catering to spiritual, educational, social, and well-being needs. The new facility will serve as a central hub for:

- Religious functions, prayers, and cultural festivities
- Yoga, meditation, and well-being activities
- Community events, weddings, and social gatherings
- Educational programs and community support services



The proposed land use is best defined as a **Place of Assembly** under Clause 73.03 (Land Use Terms) of the Cardinia Planning Scheme noting that the definition includes:

Land where people congregate for religious, spiritual or cultural activities, entertainment, or meetings.

The Place of Assembly land use includes function centre, hall, library, place of worship and restricted place of assembly.

The proposed land uses for the site cover a range of services and activities which include educational, spiritual and social gatherings. As such, the broader land use Place of Assembly term is considered to best suit and fit the range of land uses proposed to operate from the premises.

The following table set out the proposed primary components of the uses and expected regular services and functions.

Use	Expected Patron Numbers	Est. Staff	Frequency	Hours of Operation	
Function Centre /Community Hall*	150-200	4-6	1-2 per week on average	Friday-Sunday	9.00am-10.00pm
			Higher frequency during cultural festivals	Some weekday events during festivals	
Community Library	10-20	1-2	Weekly	Monday – Friday	10.00am-8.00pm
				Saturday	10.00am-2.00pm
Place of Worship / Prayer Room*	100-200 typically	6-8	Weekly	Weekends	6.00pm-9.00pm
	200-750 festivals		During festivals	Festival Days	6.00am-10.00am 6.00pm-9.00pm
Restricted Place of Assembly	20-30	2-3	1-2 per week	Weekdays	5.00pm-9.00pm
				Weekends	9.00am-1.00pm

*- the Function Centre/Community Hall will not operate at the same time as there is a major festival on in the place of worship.

During key festivals, it is proposed that up to 750 patrons are accommodated within the building.

A more detailed breakdown of the proposed special events is provided below which includes key festival and celebration events for 2025 and which reflects a typical calendar year.

Month	Date	Name of Event	Est Patrons
January	Tuesday, 14 January 2025	Makar Sankranti	450
January	Sunday, 26 January 2025	Republic Day / Australia Day	500
February	Sunday, 2 February 2025	Vasant panchami	350
February	Wednesday, 26 February 2025	Mahashivratri	500
March	Thursday, 13 March 2025	Holika Dahan	300
March	Sunday, 30 March 2025	Chaitri Navratri Start	400
April	Sunday, 6 April 2025	Ram Navmi	550
April	Saturday, 12 April 2025	Hanuman Jayanti	300
April	Friday, 25 April 2025	Anzac Day	300
July	Thursday, 10 July 2025	Guru Purnima	250
August	Saturday, 16 August 2025	Janmashtami	300
August	Wednesday, 27 August 2025	Ganesh Chaturthi	350
September	Monday, 22 September 2025	Navratri Begin	700

October	Thursday, 2 October 2025	Dusserha	750
October	Tuesday, 21 October 2025	Diwali	750
October	Wednesday, 22 October 2025	Vikram Samvat New Year	650
November	Monday, 3 November 2025	Tulsi Vivah	600

Table 1: Proposed scheduled special events

Proposed Uses

A summary of the proposed land uses is provided below:

Function Centre/Community Hall

The proposed function centre/community is proposed to be used as a multi-purpose community space designed to host a variety of events, including cultural festivals, celebrations, community gatherings, educational seminars, and youth programs.

The typical hours of operation are Friday through to Sunday, from 9:00 a.m. to 10:00 p.m., with occasional weekday evening events. On average, the space will host 1–2 events per week, with a potential for higher frequency during seasonal cultural festivals.

Each event is expected to have 150–200 patrons, with 4–6 staff or volunteers on hand to manage operations. All events will be held indoors, and amplified sound will be used only within the building and will conclude by 10.00pm.

Community Library / Reading Room

The purpose of the proposed library is to provide a dedicated, quiet space for community members to access resources on Indian history, culture, and spirituality. In addition to serving as a repository for literature, the space will function on as a study area for students and a venue for quiet community activities such as book clubs, tutoring sessions, and small-scale workshops.

The library will operate with regular hours to ensure consistent community access.

The proposed hours are Monday through Friday from 10:00 a.m. to 8:00 p.m. and on Saturdays from 10:00 a.m. to 2:00 p.m. It is anticipated that the library will be used by a steady flow of small groups, with an estimated 10 to 20 patrons present at any given time.

A staff of 1–2 employees or volunteers will be on site during all opening hours to supervise the space.

Place of Worship / Prayer Room

The place of worship is provided with a main worship area and hall area.

The meditation and prayer hall is designed as a peaceful and respectful space for prayer, meditation, and quiet reflection, as well as small religious gatherings for the Indian community.

The hall's hours are specific to these purposes:

- on festival days, it will be open from 6:00 a.m. to 10:00 a.m. for morning prayers, meditation, and yoga, and again from 6:00 p.m. to 9:00 p.m. for evening prayers and festival gatherings.
- On weekends, it will be open for evening prayer sessions from 6:00 p.m. to 9:00 p.m.

The hall will be used for occasional festival events and weekend gatherings, ensuring its schedule does not conflict with events in the main function hall.

Attendance is expected to be between 100 and 200 people for typical gatherings, with a higher capacity of 200 to 350 people during major festivals.

A team of 6 to 8 volunteers will be present to manage these events. All activities will be conducted in a manner that maintains a quiet and respectful atmosphere. Any use of amplified sound will be confined to the inside of the hall.

Restricted Place of Assembly (Cultural Classes / Meetings)

The dedicated classrooms will be used for structured educational and cultural programs. These spaces are designed to accommodate a variety of activities, including language classes, music and dance lessons, and community meetings.

The rooms will operate during specific hours to support these activities including weekdays from 5:00 p.m. to 9:00 p.m. and weekends from 9:00 a.m. to 1:00 p.m.

It is estimated that there will be approximately 1–2 classes or meetings per week, with each session accommodating between 20 and 30 participants. Each class or meeting will be overseen by 2–3 instructors or coordinators.

The table below summarizes the proposed uses, expected patrons numbers, staffing numbers, frequency and hours of operation. We note that the community centre and place of worship will not operate at the same time.

The centre's primary religious ceremonies include daily Aarti (prayer) services are short, structured rituals conducted indoors, with minimal noise impact.

Proposed Aarti Timings:

- Morning: Weekends / Indian Festival-cultural Days between 6:30 AM – 7:00 AM (approx. 20–30 minutes).
- Evening: Weekends / Indian Festival-cultural Days between 6:30 PM – 7:30 PM (approx. 30–45 minutes).
- Special Festival Days (e.g., Diwali, Navratri), additional Aarti sessions may occur which will remain within the overall approved hours and scheduled carefully to manage attendance and amenity

The Prayer facility will open 30 minutes prior to Aarti and close shortly after the completion of the evening Aarti.

No Aarti or religious services will occur late at night and all ceremonies will be indoors.

Room Hire

In respect to room/hall hire:

- The function room is the primary hireable space and as a multi-purpose facility, functions will occasionally operate concurrently with other services. This will be managed through careful scheduling and clear separation of spaces. The hall is a self-contained space. When a private function is in progress, access to this area will be restricted to function guests only.
- Other ancillary rooms (e.g., meeting rooms, library room, or classrooms) may be hired for small-scale workshops or meetings, subject to management approval.

- Worship/prayer areas are not for general hire and remain reserved for religious and cultural purposes only.
- The Library and Place of Worship will remain open to community members during any function, as they are located in a separate wing of the building with their own access points and are designed to be quiet zones. Access to these areas will not be affected by events in the Main Hall.
- Educational Classes may occur in the classrooms on weekday evenings while the Function Hall is being set up for an event. These classes conclude at a time that allows for smooth transition and does not overlap with peak event times.

The rooms will be available for hire by the general public, including both members of the centres organisation and non-members. This inclusive approach aligns with the mission of the centre to serve the broader community and promote cultural exchange. The facility is available for cultural, educational, and community-oriented functions. All hirers must comply with the venue's Code of Conduct and council regulations regarding noise, safety, and public amenity.

In respect to the frequency of room hire, rooms will be able to be booked on an as-needed basis with no more than 1-2 events per week.

Catering

The Catering and Prasad Service is intended solely as an ancillary facility supporting on-site cultural and religious events held within the Indian Cultural and Community Centre. It provides food offerings (prasad) and catering for attendees in a controlled, non-commercial capacity.

There will be no off-site operation for pick up or otherwise to the general public.

The kitchen will be available for people to self cater also such as heating up food.

Prasad is typically distributed in small portions during religious gatherings. Catering for events aligns with previously outlined function hall usage.

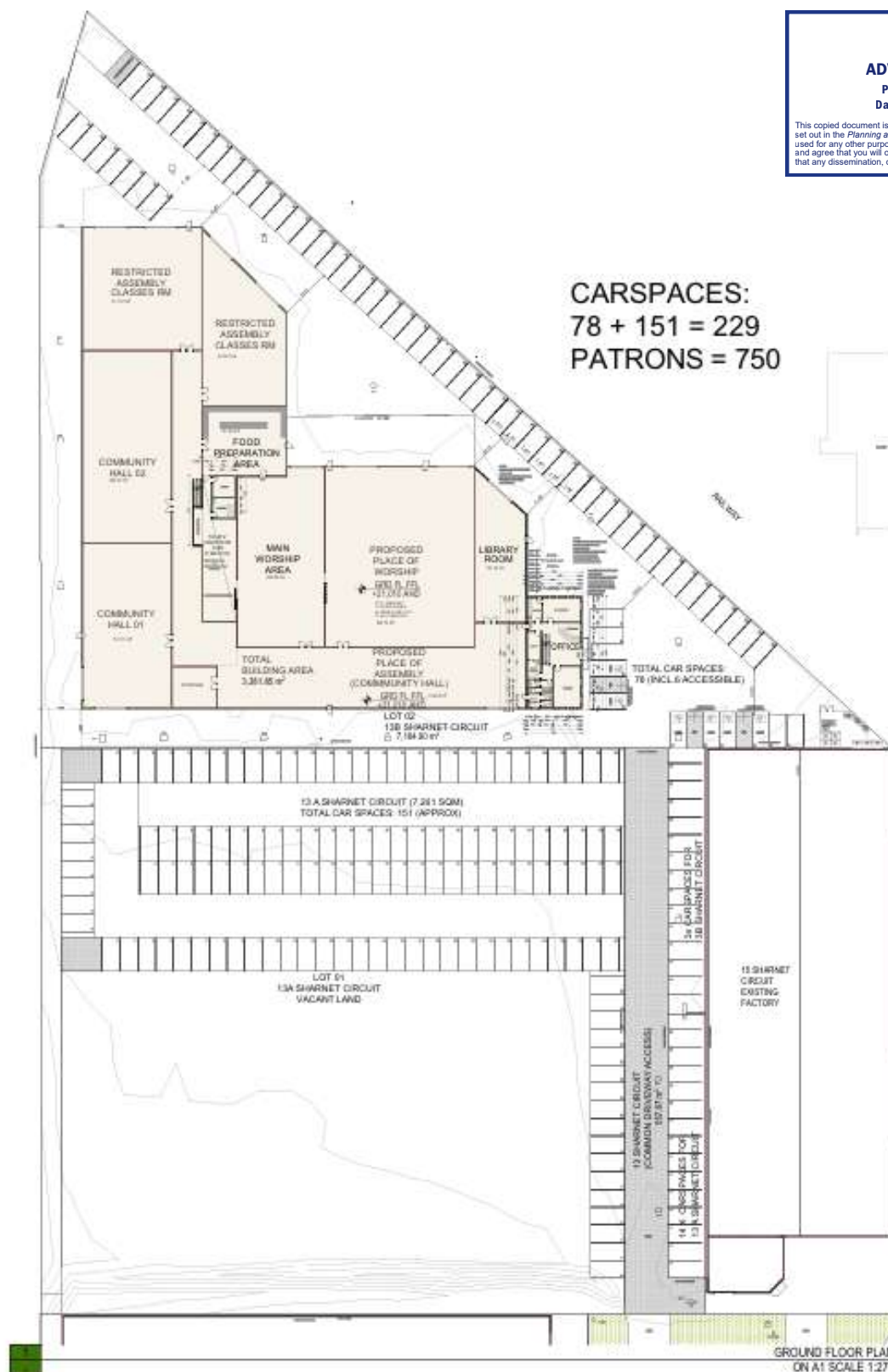
The catering and prasad service is an ancillary activity designed to support cultural and religious programs on site. It will not function as an independent food business and will have minimal impact on traffic or amenity beyond what has already been described for the events.

All religious ceremonies, cultural events, and community functions will be held entirely indoors within the designated function hall, prayer rooms, and other enclosed spaces of the centre. The facility has been intentionally designed to contain all primary activities inside, which helps to ensure effective noise control, weather protection, safety, and overall amenity management.

A total of 229 on-site car parking spaces across both properties is allocated for the use as depicted in the accompanying plans.

There are no building works proposed to the external structure of the building to facilitate the proposed uses.





Cardinia
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Date Prepared: 09 February 2026

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Figure 5 Proposed floor plan

There are no external buildings and works proposed to accommodate the proposed uses with the existing building structures and car parking areas to be utilised. Internal works will be undertaken to create the relevant rooms suitable for the proposed land uses.

The use will have access to the 230 on-site car parking spaces which are allocated within the title area for the site.

A bicycle storage area is provided to the north of the building adjacent to the office/admin area.

A bin storage area is provided to the north-eastern corner of the site.

The proposal includes the installation of two signs on the east elevation of the building.

Sign 01 is to be located above the existing roller door and will include details of the temple (Business Identification). The sign will have an area of 4.8m x 1.8m (8.64sqm) and is to be backlit.

Sign 02 is located above the entry doors and will have an area of 2.4 x 0.8m (1.92sqm) and will be backlit displaying the temple details (business identification).



Figure 6 Proposed east elevation showing signage

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4. Permit Triggers

The following permit triggers are applicable to the proposal.

4.1 Zoning

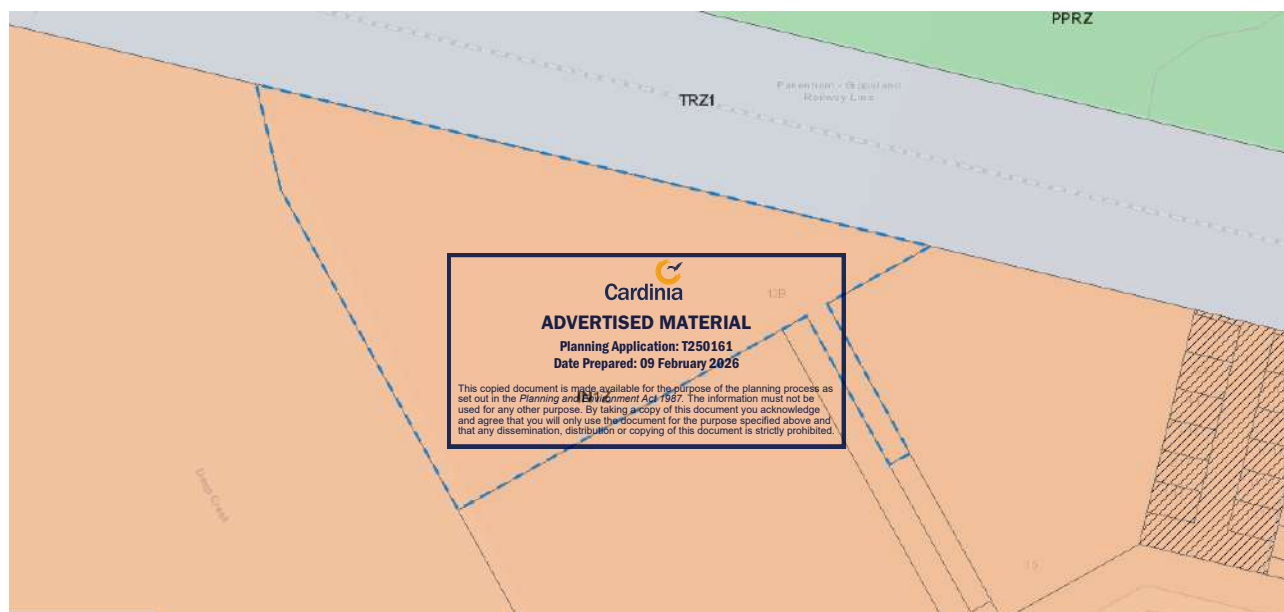


Figure 7: Zoning Map - IN1Z

The subject site is located within the **Industrial 1 Zone (IN1Z)**.

The following permit considerations apply:

- Pursuant to Clause 33.01-1 a permit is required for the use of the land for place of assembly.

The purpose of the Industrial 1 Zone includes:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for manufacturing industry, the storage and distribution of goods and associated uses in a manner which does not affect the safety and amenity of local communities.

There are no external buildings and works proposed so therefore there are no triggers under Clause 33.01-4.

A Place of Assembly is defined in the Planning Scheme as:

Land where people congregate for religious, spiritual or cultural activities, entertainment, or meetings.

4.2 Overlays

The site is partially affected by the **Floodway Overlay (FO)** which affects the north-western corner of the site as per Figure 7 below. This part of the site is developed with hard stand areas associated with car parking and the overlay also affects part of the existing warehouse building.



Figure 8: Overlay Map – Floodway Overlay

There are no planning permit triggers for the use of the land in the FO, and as there are no buildings and works proposed there are no referral requirements or triggers under the Floodway Overlay.

4.3 Particular Provisions

Clause 52.05 Signs

Under the Industrial 1 zone, the zone is in Category 2 under Clause 52.05.

A permit is required for all signage given the area of business identification signage exceeds 8sqm and the area of internally illuminated signage exceeds 1.5sqm.

Car Parking (Clause 52.06)

Pursuant to Clause 52.06, a new use must not commence until the required number of car parking spaces are provided on site.

Clause 52.06 requires:

- Place of Assembly - 0.3 spaces per patron permitted

The proposed land uses will include a maximum of 750 patrons associated with the place of assembly during special events and festivals and 200 patrons during regular services. Based on the maximum number of patrons, there is a requirement to provide 225 on-site car parking spaces.

The application includes the provision of 229 on-site car parking spaces and therefore the proposal satisfies the statutory car parking requirements of Clause 52.06.

The proposal will utilise existing designated car parking spaces which have been designed and constructed in accordance with Clause 52.06-9 under the previous permit.



5. Planning Assessment

5.1 Planning Policy Framework

The following clauses of the Planning Policy Framework contained within the Cardinia Planning Scheme are applicable to the application.

Clause 11.01 Settlement

This clause seeks to promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements. Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure

Clause 11.02-1S Supply of Urban Land

Seeks to ensure that there is a supply of land available for residential, commercial, retail, industrial, institutional and other community uses.

Clause 13.03-1S Floodplain Management includes strategies to:

- Identify land affected by flooding, including land inundated by the 1 in 100 year flood event (1 per cent Annual Exceedance Probability) or as determined by the floodplain management authority in planning schemes.
- Avoid intensifying the impact of flooding through inappropriately located use and development.
- Plan for the cumulative impacts of use and development on flood behaviour.
- Locate emergency and community facilities (including hospitals, ambulance stations, police stations, fire stations, residential aged care facilities, communication facilities, transport facilities, community shelters, child care centres and schools) outside the 1 in 100 year (1 per cent Annual Exceedance Probability) floodplain and, where possible, at levels above the height of the probable maximum flood.

Clause 13.05-1S Noise Management

This clause includes an objective to assist the management of noise effects on sensitive land uses.

Strategy includes:

- Ensure that development is not prejudiced and community amenity and human health is not adversely impacted by noise emissions.
- Minimise the impact on human health from noise exposure to occupants of sensitive land uses (residential use, child care centre, school, education centre, residential aged care centre or hospital) near the transport system and other noise emission sources through suitable building siting and design (including orientation and internal layout), urban design and land use separation techniques as appropriate to the land use functions and character of the area.

Clause 13.07-1S Land Use Compatibility

This clause includes an objective to protect community amenity, human health and safety while facilitating appropriate commercial, industrial, infrastructure or other uses with potential adverse off-site impacts.

Strategy includes:



- Ensure that use or development of land is compatible with adjoining and nearby land uses
- Avoid locating incompatible uses in areas that may be impacted by adverse off-site impacts from commercial, industrial and other uses.
- Avoid or otherwise minimise adverse off-site impacts from commercial, industrial and other uses through land use separation, siting, building design and operational measures.
- Protect commercial, industrial and other employment generating uses from encroachment by use or development that would compromise the ability of those uses to function safely and effectively.

Clause 17.03-1S Industrial Land Supply

This clause includes an objective to ensure availability of land for industry.

Strategy includes:

- Provide an adequate supply of industrial land in appropriate locations including sufficient stocks of large sites for strategic investment.
- Identify land for industrial development in urban growth areas where:
 - Good access for employees, freight and road transport is available.
 - Appropriate buffer areas can be provided between the proposed industrial land and nearby sensitive land uses.
- Protect and carefully plan existing industrial areas to, where possible, facilitate further industrial development.
- Preserve locally significant industrial land for industrial or employment generating uses, unless long-term demand for these uses can be demonstrably met elsewhere.
- Avoid non-industrial land uses that will prejudice the availability of land in identified industrial areas for future industrial use.

Clause 17.03-2S Sustainable Industry

This clause includes an objective to facilitate the sustainable operation of industry

Strategy includes:

- Ensure that industrial activities requiring substantial threshold distances are located in the core of industrial areas.
- Encourage activities with minimal threshold requirements to locate towards the perimeter of the industrial area.
- Minimise inter-industry conflict and encourage like industries to locate within the same area.
- Protect industrial activity in industrial zones from the encroachment of commercial, residential and other sensitive uses that would adversely affect industry viability.
- Encourage industrial uses that meet appropriate standards of safety and amenity to locate within activity centres.
- Support the retention of small-scale industries servicing established urban areas through appropriate zoning.
- Provide adequate separation and buffer areas between sensitive uses and offensive or dangerous industries and quarries to ensure that residents are not affected by adverse environmental effects, nuisance or exposure to hazards.
- Encourage manufacturing and storage industries that generate significant volumes of freight to locate close to air, rail and road freight terminals.



Clause 17.03-3S Significant Industrial Land

This clause includes an objective to protect significant industrial land.

Strategy includes:

- Protect state significant industrial precincts from incompatible land uses to allow for future growth. State significant industrial precincts include but are not limited to:
 - Southern Industrial Precinct - Dandenong South.
 - Northern Industrial Precinct - Campbellfield, Somerton and Thomastown.
 - Western Industrial Precinct - Laverton North and Derrimut.
 - Officer / Pakenham Industrial Precinct.
 - Port of Hastings Industrial Precinct.
- Ensure sufficient availability of strategically located land for major industrial development, particularly for industries and storage facilities that require significant threshold distances from sensitive or incompatible uses.
- Protect heavy industrial areas from inappropriate development and maintain adequate buffer distances from sensitive or incompatible uses.

Clause 21.01 Snapshot of Cardinia Shire

is located on the south east fringe of Melbourne and is one of eight 'interface Councils' which form the perimeter of metropolitan Melbourne, providing a transition between urban and rural areas. The municipality has an area of approximately 1,280 square kilometres, comprising a variety of landforms and landscapes.

The majority of the Cardinia Shire's population is located within the urban areas of Beaconsfield, Officer and Pakenham. These areas are within the Casey-Cardinia South-east Growth Corridor, and will accommodate the majority of future residential and commercial growth. The remainder of the population is located within Cardinia's townships and rural residential areas.

The population within the Cardinia growth area is expected to grow 82% from a current population of around 109,000 people (2018) to approximately 198,000 people in 2041.

The future Officer-Pakenham Industrial Precinct, located south of the Princes Freeway, has been identified by *Plan Melbourne 2050* as a State-significant Industrial Precinct. When developed, this 2,500 hectare employment corridor will be a major provider of employment and business opportunities for Melbourne's south-east region.

Key influences include:

- Urban growth including urban pressures on the rural hinterland and management of green wedge areas.
- The quality and character of existing rural townships.
- Infrastructure to meet the needs of the existing and future community.
- Environmentally significant areas.
- Areas of significant landscape value.
- The protection and sustainable use of agricultural land.

- The local economy including employment opportunities.

Clause 21.01-4 Strategic Vision

This clause notes that Cardinia Shire Council's corporate plan *Creating the Future, Cardinia Council Plan 2018 - 2023* describes the following vision for the municipality:

"Cardinia Shire will be developed in a planned manner to enable present and future generations to live healthy and productive lives and to enjoy the richness of the diverse and distinctive characteristics of the Shire"

Council is committed to fostering the sustained wellbeing of the community and environment in the Cardinia Shire. In doing this, it seeks to balance the competing needs of the environment, economic development and the community by

- Developing a strong economic base.
- Recognising and protecting the diverse and significant environmental and cultural heritage values in the municipality.
- Providing opportunities to create and maintain a cohesive, safe and robust community.
- Enhancing the experience of people who live, work and visit the municipality.

Clause 21.01-5 Strategic Framework Plan notes that its purpose is to provide an overview of land use in the Cardinia Shire and to identify locations where specific land use outcomes will be supported and promoted.

The subject site is located in an existing employment area identified in the Cardinia Shire Strategic Framework Plan at Clause 21.01-5.



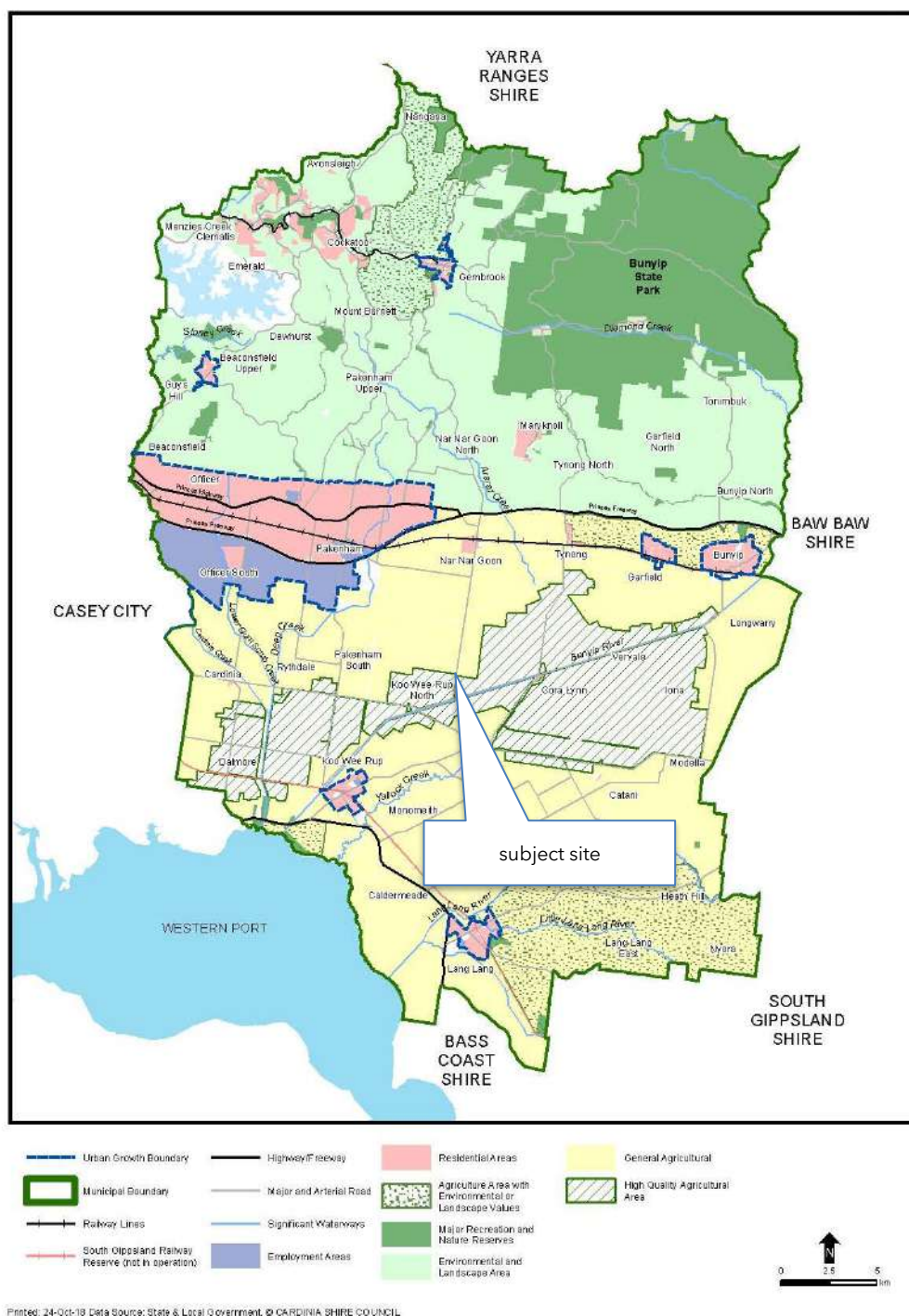


Figure 9: Cardinia Shire Strategic Framework Plan

Clause 21.04-1 Employment

This clause notes that economic development is critical to the overall well-being of the municipality, both in terms of providing employment opportunities for residents and in attracting commercial investment.

The *Casey-Cardinia Growth Area Framework Plan, 2006* identifies a large employment corridor of approximately 2,500 hectares to the south of the Princes Freeway (Pakenham Bypass) in Pakenham and Officer South as well as activity centres to assist in providing opportunities for local employment for the growing resident population in the area. *Plan Melbourne 2050* further identifies the employment corridor as the 'Officer-



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Date Prepared: 09 February 2026

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Pakenham State-significant Industrial Precinct' that will be a major provider of employment and business opportunities for residents of Cardinia Shire and Melbourne's south-east region.

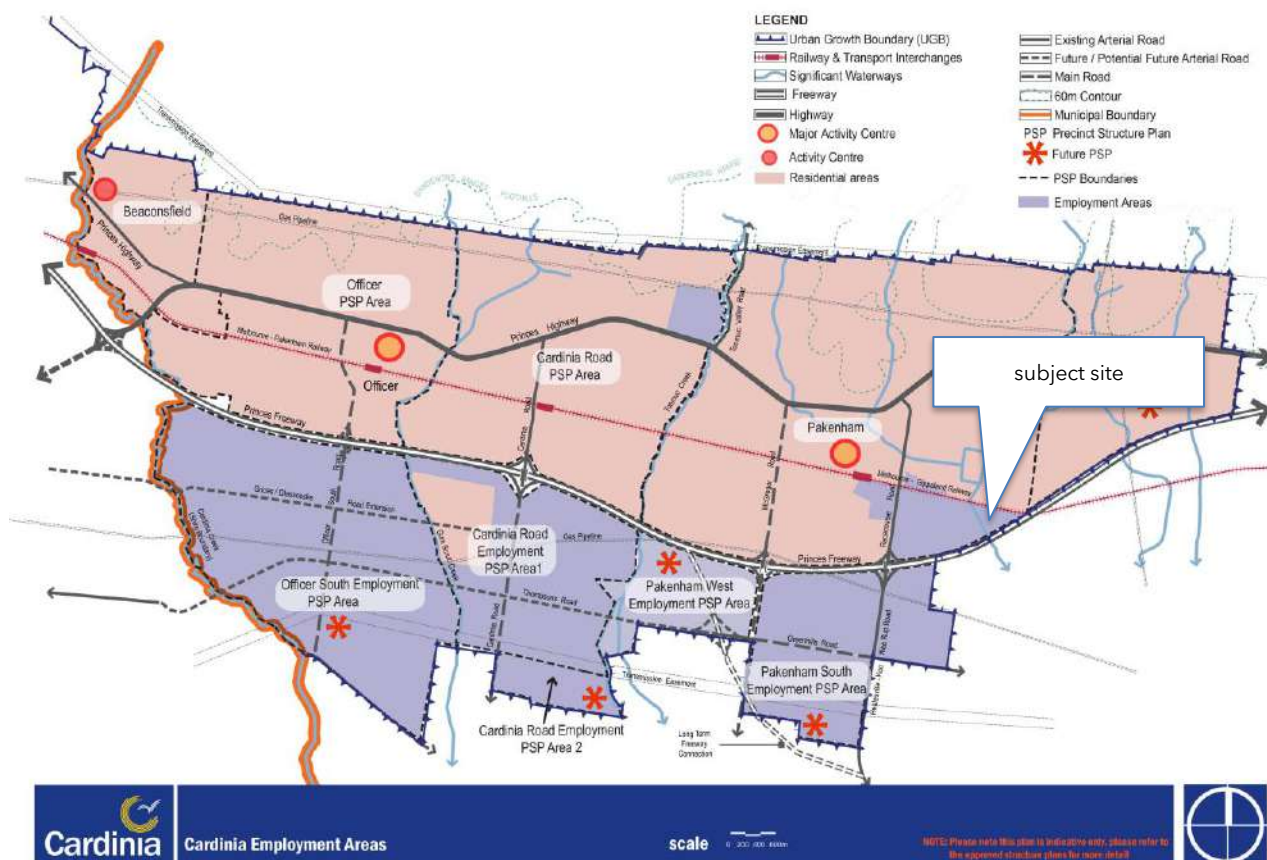


Figure 10: Employment Areas Plan in Clause 21.04-1.

Clause 21.04-4 Industry

This clause notes that the main industrial area within the municipality is established within Pakenham with smaller industrial precincts also located in Emerald, Maryknoll, Beaconsfield, Officer, Bunyip, Koo Wee Rup and Lang Lang. A number of existing industries add value to the process of agricultural production.

In the Casey-Cardinia Growth Area, 2,500 additional hectares have been set aside for employment uses, including industry and commerce. South East Industrial Business Park (located at the intersection of Bald Hill Road and Koo Wee Rup Road, Pakenham), will provide 167 hectares of industrial land to support more jobs to be created near Pakenham.

Key issues include:

- Enhancing the appearance and functionality of existing industrial areas and the design of future industrial development to create an attractive, functional and safe business environment.
- Providing for investment and development both for local businesses and larger industries.
- Facilitating the development of the Pakenham and Cardinia Road Employment Precincts.
- Facilitating linkages between industry and agricultural uses particularly in terms of transport networks.
- Locating future industry to ensure appropriate access from the transportation network.
- Recognising that future industry development will be increasingly linked to a range of knowledge-based services.

- Recognising the need for innovation, diversification and resilience to improve and develop employment opportunities and a strong employment base within the municipality.
- Recognising the importance of emerging technology and new types of employment into the future.

The objective is to develop manufacturing and service industries that provide services to local residents and businesses, support local employment and reflect a high standard of urban design.

Relevant strategies associated with use include:

- Provide for limited retailing (restricted retail and trade supplies) in industrial areas along arterial roads provided the retailing activities do not conflict with nearby activity centres.
- Provide for office and research and development in association with industrial activities in appropriate locations.
- Encourage the establishment of industries which add value to local agricultural produce.
- Consider the establishment of rural industries in green wedges if they are directly related, or contribute, to agricultural production.
- Encourage the establishment of service industries in townships to meet the needs of local residents and to provide for local employment.

Response to the Planning Policy Framework

The proposal responds to the objectives, strategies and character outcomes sought under **clauses 11, 15** and meets the objectives and strategies of **Clauses 21.01 and 21.04**. The site is located within an established industrial area adjacent to a train station and with convenience and direct access to an arterial road.

The proposal will provide new community meeting and religious activity and services and reflect the needs of the local community.

In respect to the to the local planning policy framework:

- The proposed use of the existing buildings and site for non-industrial purposes is supportable, noting that this industrial precinct already has a number of recreational and community based uses, the amount of land that is to be used is marginal in the context of the overall supply of Industrially zoned land in the immediate area and in consideration of the future 2,500 hectares of land that is zoned for industrial and employment purposes in the Cardinia Growth Areas.
- The use of this small parcel of land for community based uses will not undermine or devalue the existing industrial land supply.
- Existing nearby land uses within the industrial zoned land include precast concrete manufacturers, cabinetry, dog kennels, gymnasium, engineering fabrication, indoor recreation, automotive sales and repairs and warehousing. It is therefore not expected that the proposed use of the land for a place of assembly will either have a direct amenity impact on existing uses on adjoining or nearby land, nor will there be unreasonable reverse amenity impacts which would impact the ability of the site to accommodate the proposed land uses.

In respect to **noise** considerations, including at **Clauses 13.05-1S**, the application is supported by an acoustic report prepared by a suitably qualified acoustic consultant.

The acoustic report has included background noise surveys to establish the current background noise levels to be tested against with the proposed land use. The report has assessed the proposed use, including music noise against the relevant standards and regulations. Please refer to Section 5.4 for further assessment of noise considerations.

In respect to **Clauses 17.03-1, 17.02S and 17.03S**, it is noted that the site is located in an established industrial area and in the nominated Officer-Pakenham SSIP.

The site itself is a vacant land use that was originally developed for warehousing purposes, rather than heavy industrial land use. The combined site area of the properties is 1.5ha and the land sits at the perimeter of the Industrial Zone abutting public park and recreation zone and residentially zoned and used properties to the north.

The broader Officer-Pakenham industrial precinct includes land to the south and south-west.

The Melbourne Industrial and Commercial Land Use Plan (the Plan) includes the following table (Table 2) which shows zoned industrial land supply, occupied and vacant with the Officer-Pakenham SSIP highlighted.

Table 2: Zoned industrial land supply, occupied and vacant

Region / SSIP	Occupied (ha)	Vacant (ha)	Total (ha)
Inner Metro Region	459.4	28.0	487.4
Western Region	5,819.2	2,818.4	8,637.6
Western SSIP	4,356.3	1,810.5	6,166.8
Northern Region	3,718.6	1,241.2	4,959.8
Northern SSIP	2,400.7	978.2	3,378.9
Eastern Region	2,435.0	135.1	2,570.2
Southern Region	7,270.3	2,337.5	9,607.8
Southern SSIP	2,454.4	502.6	2,957.0
Officer-Pakenham SSIP	317.7	323.8	641.5
Hastings SSIP	814.1	578.1	1,392.2
Inner South East Region	140.7	2.3	143.0
Total	19,843.2	6,562.5	26,405.8

Table 3 of the Plan includes the following information regarding the available industrial land supply, vacant and future unzoned industrial land, with the Officer-Pakenham SSIP highlighted.

Region / SSIP	Zoned vacant (ha)	Future unzoned(ha)	Total(ha)
Inner Metro Region	28.0	0.0	28.0
Western Region	2,818.4	2,881.3	5,699.7
Western SSIP	1,810.5	1,033.8	2,844.3
Northern Region	1,241.2	2,866.9	4,108.1
Northern SSIP	978.2	2,393.7	3,371.9
Eastern Region	135.1	0.0	135.1
Southern Region	2,337.5	1,183.5	3,521.0
Southern SSIP	502.6	0.0	502.6
Officer-Pakenham SSIP	323.8	938.3	1,262.1
Hastings SSIP	578.1	0.0	578.1
Inner South East Region	2.3	0.0	2.3
Total	6,562.5	6,931.7	13,494.2

In summary, the Plan identifies that of the total 641.5ha of zoned industrial land in the Officer-Pakenham SSIP, there is 323.8ha (50%) which is vacant. There is then a further 938ha of future unzoned industrial

land which will be brought to the market in the future under various PSP's. This represents a doubling of total industrial land to be available and an almost 300% increase in the vacant industrial land supply.

The subject site represents approximately 0.11% of the total available industrial land supply which is vacant and future unzoned within this SSIP.

It can hardly be said that the use of this site for a purpose other than industrial will have a noticeable impact on the overall objectives of the Plan or will make a 'dent' in the supply of zone or unzoned industrial land supply.

Other factors to consider is that the subject site is zoned Industrial 1, not Industrial 2 which is a higher order industrial zone with purposes to protect it from non-industrial use, the site is located at the periphery of the industrial zoned land and close to residential properties and an existing train station, making it more suitable for non-industrial land use.

It must also be acknowledged that the site has been vacant for many years, demonstrating that there is not a strong demand for the property to be used for warehousing or industrial purposes.

Overall, the proposal is considered to appropriately respond to the Cardinia planning scheme and is an appropriate use outcome on this site.

5.2 Response to Zone

The purpose of the Industrial 1 Zone includes:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for manufacturing industry, the storage and distribution of goods and associated uses in a manner which does not affect the safety and amenity of local communities.*

Decision guidelines when considering applications for use include:

- The Municipal Planning Strategy and the Planning Policy Framework.
- The effect that the use may have on nearby existing or proposed residential areas or other uses which are sensitive to industrial off-site effects, having regard to any comments or directions of the referral authorities.
- The effect that nearby industries may have on the proposed use.
- The drainage of the land.
- The availability of and connection to services.
- The effect of traffic to be generated on roads.
- The interim use of those parts of the land not required for the proposed use.

Response to the Industrial 1 Zone

The proposed use of land use for a place of assembly is considered to be appropriate in respect to the purpose of the general residential zone which includes the ability to consider such application which serve the local community and in appropriate locations.

- The use of the land for a place of assembly are permitted in the Industrial 1 Zone.
- The proposed land uses do comprise a commercial activity that will generate employment in a location identified for employment generated businesses.
- The proposed uses will also not prejudice the ability for the site to accommodate or perform key industrial or warehouses roles in the future if the place assembly are ceased. The proposal converts existing warehouse buildings, in a manner whereby the proposed use can be easily reversed.
- Existing nearby land uses within the industrial zoned land include precast concrete manufacturers, cabinetry, dog kennels, gymnasium, engineering fabrication, indoor recreation, automotive sales and repairs and warehousing. It is therefore not expected that the proposed use of the land for a place of

assembly will either have a direct amenity impact on existing uses on adjoining or nearby land, nor will there be unreasonable reverse amenity impacts which would impact the ability of the site to accommodate the proposed land uses.

- The proposed use of the land for a place of assembly will not have an unreasonable impact on existing or proposed residential areas noting that the closest residential zoned and used land is located approximately 190m to the north-west for the properties in Pinehill Drive. The residential properties are separated from the subject site by Pakenham East Train Station and rail line and there is no direct interface between the industrial area and the residential areas.



- The proposed use will occur within the existing warehouse buildings and there will be limited to no impacts associated with people using the land for the proposed purposes on nearby properties.
- The proposed hours of operation are reasonable with peak usage only occurring during key holy days and festivities.
- The nature of the faith is that no alcohol will be served which reduces the likelihood of negative behaviour.
- No new works or hard stand areas are proposed and therefore there will be no increase in stormwater drainage for the site noting that the buildings are relatively new and already connected to legal points of discharge.
- All traffic generated by the use will utilise existing industrial standard roads which have a direct access point to Princes Highway. A traffic impact assessment has been prepared by Colliers International Engineering & Design Pty Ltd which has assessed the proposed traffic generation from the uses and impacts on the surrounding road network. Importantly, there will be no vehicles utilising residential streets to access the site or for car parking given the substantial on-site provision.

In summary, the proposed use of the existing building and land for a place of assembly, will not unreasonably impact existing businesses and land uses in the immediate area, will not unreasonably burden the existing road network and are considered appropriate land uses in this context.

5.3 Car Parking Considerations

The application meets the car parking requirements of Clause 52.06 in respect to the provision of on-site car parking spaces. The application is supported by a detailed traffic impact assessment prepared by Colliers. A Patron Management Plan has also been prepared to accompany the permit application which will deal with the management of patrons during events.

Response to the Clause 52.06

The Colliers report provides an assessment of the proposed car parking provision noting that there is an expected demand for a maximum of 225 car parking spaces associated with the proposed uses at the upper maximum during festivals. while the site accommodated at total of 229 spaces. It must also be noted that the proposed demand is only during key periods and during celebrations and festivals.

The report has also assessed the anticipated traffic generation from the proposed use and has included assessments of the proposed access arrangements.

Refer to the attached Traffic Impact Assessment by Colliers for details.

5.4 Noise & Amenity Considerations

The application is supported by an acoustic report which has assessed the proposed land use and potential for impacts to nearby sensitive land uses including. We refer to the attached acoustic report by Acoustic Control for details. In summary, the report notes:

- For regular services, there will not be a requirement for any special noise control requirements. This includes for religious functions, prayers, yoga, meditation and well being activities and educational programs and community support services. The existing warehouse building is expected to provide for the required noise attenuation.
- For special events, which will include larger groups up to 750 people and use of a PA system the following recommendations have been noted:
 - Hours of operation are to be limited to 9.00am to 11.00pm Monday to Friday.
 - Saturday the hours are to be limited to 10.00am to 11.00pm.
 - Sunday 10.00am to 10.00pm (or amplified music to stop by 10.00pm).
 - The PA system is to be set up in nominated positions in the building.
 - A noise limit is to be applied to the PA system to 92 dB(A) Leq.
 - The northern roller doors are to be closed during events.

The report concludes that noise emissions from the subject site are required to comply with the GED and Environment Protection Regulations 2021. This regulation requires noise emission levels to comply with limits determined in accordance with Noise Protocol (part 1 and part 2). The applicable noise limits for this site shall be the limits set out tables 5.2.1.1 and 5.2.2.2 of the report, to be achieved at the nearest residential property to the north east.

Subject to these conditions, which are typical and enforceable by way of conditions on a permit, the proposal is not expected to have unreasonable impacts on the amenity of nearby sensitive land uses through noise.

In terms of other amenity considerations, the subject site is well separated from nearby residential properties with a major train line also providing a physical separation to the nearby residential zoned land.

The proposal will not generate other off-site amenity impacts such as dust or lighting.

6.5 Signage

Considerations for signage are found at Clause 52.05 and at local level under Clause 22.09

22.09 includes the following strategies and policies (as relevant):

Ensure signs in industrial and restricted retail areas do not appear as a dominant feature of a building or its surroundings.

- Limiting business identification signage on buildings to signs that:
 - Are located on walls, awning fascias, verandahs fascias or parapets.
 - Are located at the front and sides of buildings.
 - Are consistent in size and form, where there is more than one sign.
 - Front a Road Zone 1 for freestanding premises in industrial areas.
 - Are no greater than 30% of the combined (street facing) or 50% of a wall or parapet above an awning or verandah.
- Comprise a maximum signage area of 10 square metres or a maximum area of 20 square metres where the frontage is greater than 40 metres wide and is set back by 10 metres or more from a road.
- Avoiding sign types that have an adverse effect on the visual amenity of the area including above verandah/awning (or roof), sky, bunting, animated, electronic and reflective signs.
- Providing for no more than one pole sign or freestanding panel sign of no greater than 7 metres in height for:
 - An industrial area where multiple tenants exist on a site.
 - An industrial building or restricted retail premises (or complex) that is freestanding.
 - A grouping of restricted retail premises (such as in a homemaker centre).
- Incorporating pole or freestanding panel signs into a landscaped area

Response to the Clause 22.09 and 52.05.

The proposed signage is considered appropriate with regard to the provisions listed above as:

- The site is located within an identified industrial precinct.
- The proposed signage is largely integrated into the design of the building and carefully placed to avoid visual clutter.
- The signage will not have a negative or adverse impact on nearby structures, buildings or land uses.
- The scale, size and form of the proposed signage is proportionate to the site and the proposed host buildings and the sites location in an estimated industrial precinct.
- The subject site is located within an emerging area which does not have an established advertising signage character.
- The illuminated signage is located facing away from any nearby residential properties.
- The proposed signage will not obscure or compromise important views from the public realm.
- The proposed signage will not impede views to existing signs.
- There are no unsightly built form or other elements associated with the advertising signage proposed, which requires screening.
- Appropriate provision has been made for directional signage inside the site.

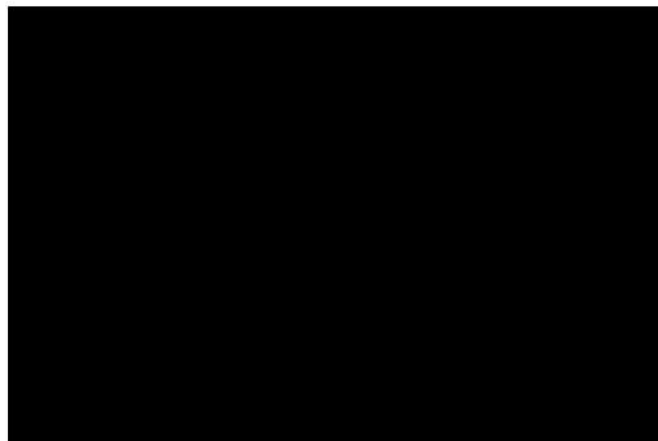
6. Conclusion

Overall, the proposal is consistent with relevant provisions in the Planning Policy Framework of the Cardinia Planning Scheme and warrants approval.

- The site is located in the IN1Z which allows for considerations of complimentary non-industrial and community land uses.
- The proposed use of the land will not unreasonably impact existing businesses in the adjoining industrial precinct, nor will it directly impact the amenity of nearby residential properties.
- The site is well located to support the proposed community based land uses without impacting the overall supply of existing or planned industrially zoned land.
- The location of the site in an industrial estate and in the corner of the precinct ensures that there will be no unreasonable impacts on adjoining properties.
- No external buildings and works are proposed ensuring that there are limited impacts on the character of the area.
- The application is supported by an acoustic report and assessment which confirms that the proposal is able to meet the relevant requirements and regulations relating to noise emissions.
- The proposal will not result in any airborne or dust emissions.
- The use of the site for non-industrial land use will not negatively impact the overall supply of industrial land in the Officer-Pakenham industrial precinct or the broader industrial land supply.
- The application has been supported by a traffic impact assessment detailing the proposed car parking provision and design.
- The application is also supported by a waste management plan and patron management plan relating to operational requirements for the proposal.

It follows that the application is well considered and a permit should issue.





SUTM Event List

Month	Date	Name of Event	People Attending
January	Tuesday, 14 January 2025	Makar Sankranti	450
January	Sunday, 26 January 2025	Republic Day / Australia Day	500
February	Sunday, 2 February 2025	Vasant panchami	350
February	Wednesday, 26 February 2025	Mahashivratri	500
March	Thursday, 13 March 2025	Holika Dahan	300
March	Sunday, 30 March 2025	Chaitri Navratri Start	400
April	Sunday, 6 April 2025	Ram Navmi	550
April	Saturday, 12 April 2025	Hanuman Jayanti	300
April	Friday, 25 April 2025	Anzac Day	300
July	Thursday, 10 July 2025	Guru Purnima	250
August	Saturday, 16 August 2025	Janmashtami	300
August	Wednesday, 27 August 2025	Ganesh Chaturthi	350
September	Monday, 22 September 2025	Navratri Begin	700
October	Thursday, 2 October 2025	Dusserha	750
October	Tuesday, 21 October 2025	Diwali	750
October	Wednesday, 22 October 2025	Vikram Samvat New Year	650
November	Monday, 3 November 2025	Tulsi Vivah	600


Cardinia
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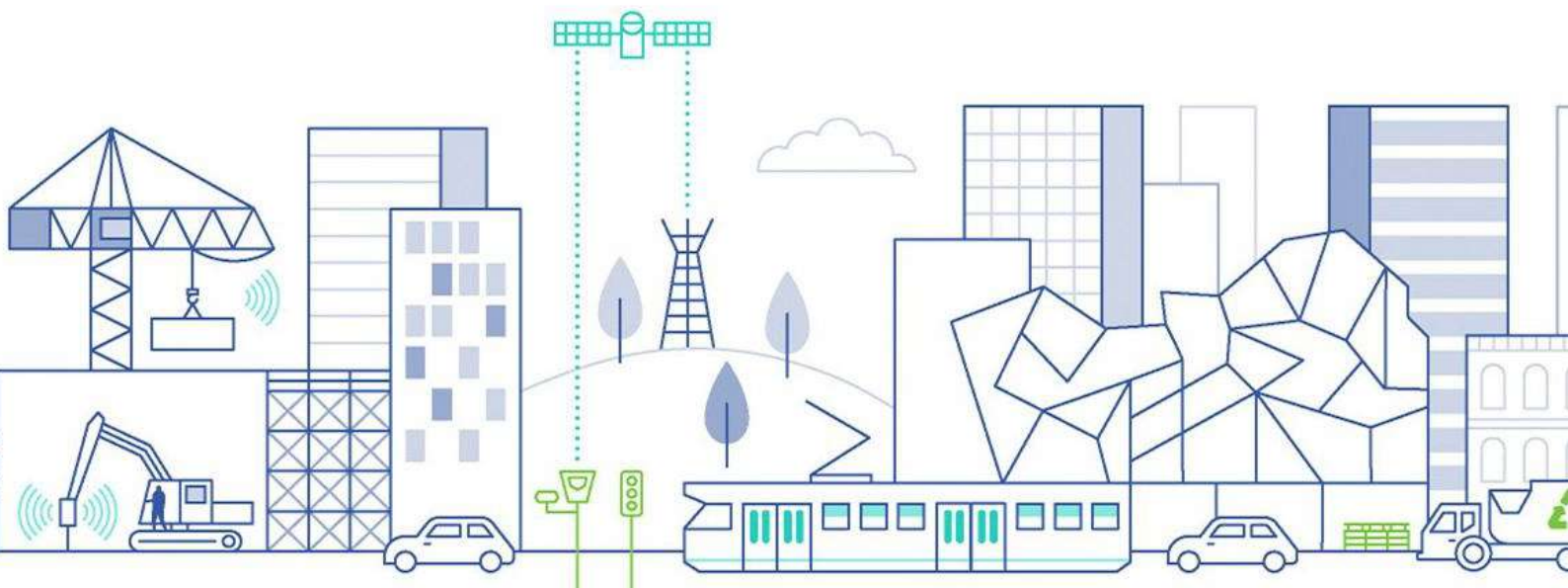


Traffic Engineering

Proposed Place of Assembly
13B Sharnet Circuit, Pakenham
Patron Management Plan (PMP)


Cardinia
ADVERTISED MATERIAL
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1 Introduction and Scope

Colliers International Engineering & Design (TTMC) Pty Ltd has been engaged to prepare a Patron Management Plan (PMP) for the proposed place of assembly at 13B Sharnet Circuit, Pakenham.

Cardinia City Council issued a Request for Further Information (RFI) letter (Application No. T250161 PA) dated 16 April 2025 which states the following:

4. A patron management plan for regular and special events detailing how the activity is to be managed, extending to traffic, noise, and defined activity areas beyond the subject land.

This Patron Management Plan (PMP) outlines the strategies and operational measures in place to manage patron activity associated with both regular services and special events at Shree Umiya Temple. The plan addresses patron safety management, parking and traffic management, noise control, and the use of defined activity areas within and beyond the subject land. The primary goal is to ensure safety, amenity, and minimal impact on the surrounding neighbourhood.



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Record

No.	Author	Reviewed/Approved	Description	Date
1.	M. Srea	D. Hancox	PMP: Original Issue	20/05/2025

2 The Proposal

2.1 Development Summary

The table below presents a summary of the proposed development, outlining the associated inventory and intended uses.

Table 1: Development Summary

Item	Inventory
Place of Assembly	3,381.85 sqm Max. 100 Patrons (Normal Services) Max. 750 patrons (Special Events)
Car Parking Spaces	230 no. (including 6 accessible parking spaces)
Bicycle Parking Spaces	6 no.

2.2 Background to Proposed Place of Assembly

Shree Umiya Temple Melbourne is a well-established cultural, educational, social welfare, and religious organisation dedicated to serving the Indian-Australian community. Their mission is to preserve and promote Indian cultural values, provide spiritual guidance and support the overall well-being of members. They cater to a diverse community, including youth, middle-aged individuals and seniors, some of whom are in their 90s.



Main objectives include:

- Foster religious awareness and spiritual well-being among all members.
- Promote good citizenship and ethical values within society.
- Provide support and care for seniors and aging individuals.
- Encourage education, mentorship, and personal development for the younger generation.
- Strengthen community engagement and cultural integration across Victoria and Australia.

2.3 Hours of Operation and Patron Numbers

The hours of operation for the proposal are summarised in the following table.

Table 5: Hours of Operation.

Land Use	Service Type	Operation Days	Hoursof Operation	Max. Number of Patrons
Place of Assembly	Normal Services	Monday - Friday	9:00am to 11:00pm	Up to 100 patrons
		Saturday and Sunday	10:00am to 11:00pm	
	Special Events	Saturday and Sunday	10:00am to 11:00pm	Up to 750 patrons

3 Patron Management Plan

3.1 Traffic and Parking Management

Regular Services

For regular services, the number of patrons and the duration of visits are generally spread throughout the day, which helps to minimise traffic congestion and parking pressure. The majority of attendees arrive by private vehicle, while seniors are often dropped off by family or transported through community services. The available on-site parking is sufficient to meet the demand generated by regular activities. Traffic during these periods is low-impact and easily accommodated within the site's parking provisions.

Special Events

During special events, typically held on weekends, the place of assembly accommodates significantly higher patron numbers. To manage this increase, a range of operational measures are implemented to ensure safety and minimise disruption. These include pre-event communications providing attendees with clear parking instructions and suggested arrival windows. Volunteers are positioned on-site to assist with traffic flow, guide patrons to available spaces, and maintain orderly movement throughout the premises.

The site offers 230 on-site parking spaces, which are sufficient to meet peak demand during special events when managed efficiently. Seniors and mobility-impaired patrons are given parking priority. Traffic controllers and temporary directional signage are also used to ensure smooth vehicle entry and exit throughout the event period.

3.2 Noise Management

Noise is carefully managed to ensure minimal disruption to surrounding properties. All amplified sound is restricted to internal spaces, with doors and windows kept closed during high-attendance events. Activities conclude by 11:00 PM, and post-event clean-up is conducted in a quiet and respectful manner. Staff conduct periodic checks to monitor noise levels during special events, and the use of public address systems is kept to a minimum and used only for safety or coordination purposes.

3.3 Defined Activity Areas

Defined activity areas are clearly maintained within the boundaries of the site. Religious services, cultural programs, and educational sessions are held indoors. Outdoor areas are used primarily for informal gatherings or food service and are supervised during larger events. Patrons are not permitted to loiter outside the property, and volunteer patrols are used to guide attendees to parking areas or encourage dispersal after events. Pre-event messaging also reminds attendees to respect the amenity of neighbouring properties and to avoid gatherings outside the subject land.

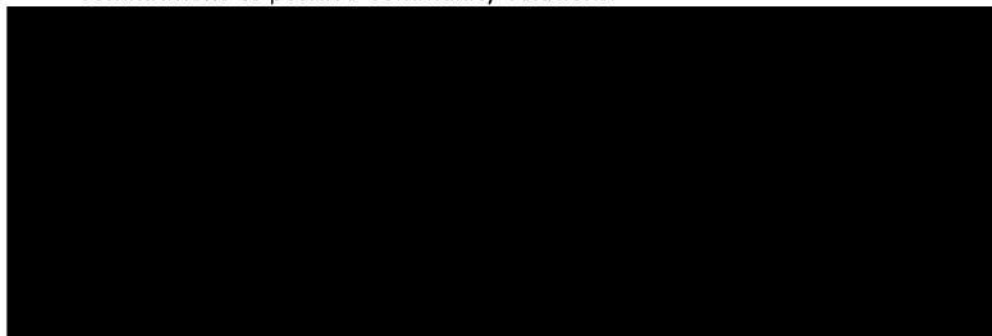
3.4 Patron Safety Management

To support the safety and well-being of patrons, the place of assembly engages trained stewards to assist with wayfinding and crowd control during events. Security personnel are present at major functions, and designated first aid stations with trained staff are available on-site. Emergency procedures are clearly outlined, and evacuation plans are signposted and communicated prior to event commencement.

3.5 Communication and Feedback

Council and the surrounding community will be kept informed of upcoming special events through a letterbox drop to nearby residents, issued at least seven days in advance. Event details will also be published online via social media and displayed on-site.

In addition, the place of assembly provides a dedicated contact number for local residents to raise any concerns during events. The operators are committed to maintaining open communication with neighbours and will respond promptly to feedback. Post-event input is encouraged, and any issues that arise will be addressed in consultation with the community and relevant authorities, reflecting the Temple's ongoing commitment to positive community relations.





ADVERTISED MATERIAL

Planning Application: T250161

Date Prepared: 09 February 2026

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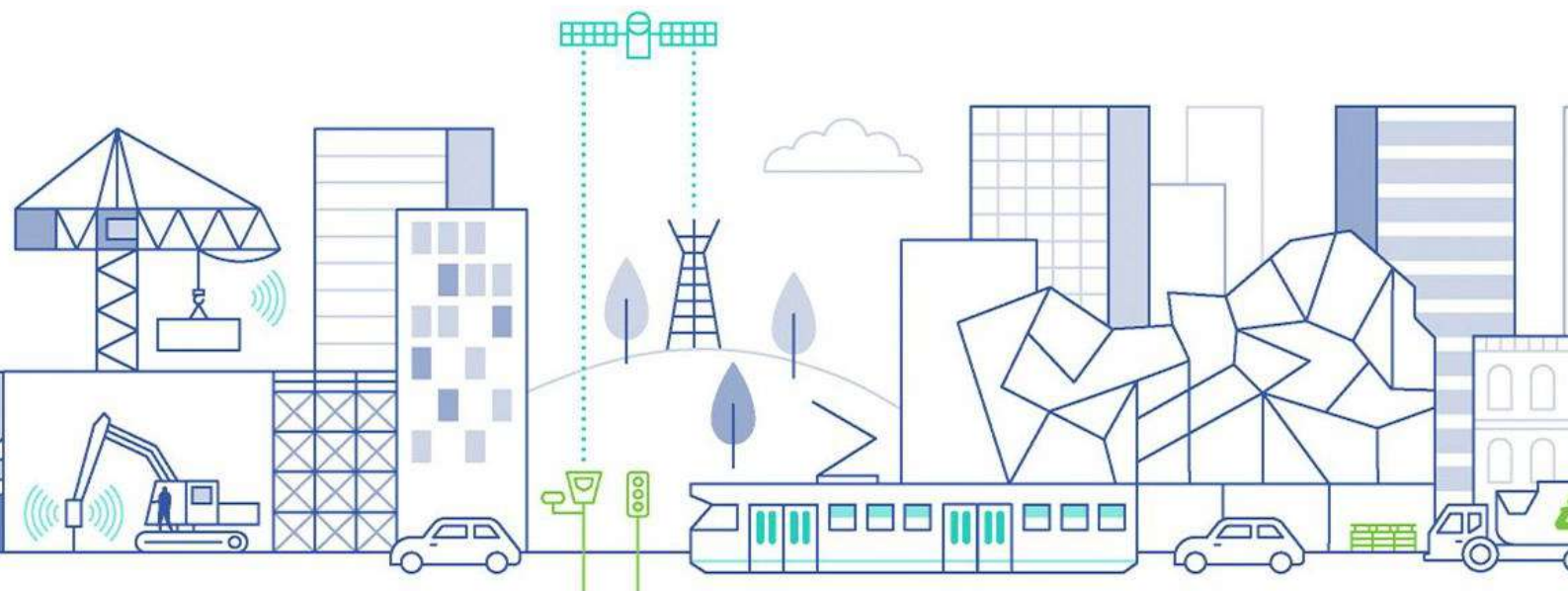


Traffic Engineering

Proposed Change of Use (Warehouse to Place of Assembly)

13B Sharnet Circuit, Pakenham

Traffic Impact Assessment



1 Introduction

Colliers International Engineering & Design (TTMC) Pty Limited has been requested by the Applicant to provide a traffic impact assessment (TIA) report for the proposed change of use at 13B Sharnet Circuit, Pakenham.

The following report addresses the traffic and parking implications of the proposal, including:

- The adequacy of the car parking provision.
- The likely traffic and parking impacts on the existing road network.
- The suitability of the site access and car parking layout.

Colliers concludes the proposal warrants provision of the sought Planning Permit from a traffic engineering perspective.



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Record

No.	Author	Reviewed/Approved	Description	Date
1.	M. Srea	D. Hancox	CPDA: Original Issue	13/03/2025
2.	M.Srea	D.Hancox	Update report as per Council's RFI	20/05/2025
3.	M.Srea	D.Hancox	Update report as per Council's RFI	05/09/2025

2 Existing Conditions

2.1 The Site

The site at 13B Sharnet Circuit has approximately 7,187 square metres of land area and is located at the rear adjacent to neighbouring lot (13A Sharnet Circuit). Figure 1 shows the location of the site and the surrounding road network.



Figure 1: Site Locality Plan. Source: Melways Online

The site is located within an Industrial 1 Zone (IN1Z) as designated under the Cardinia Planning Scheme.

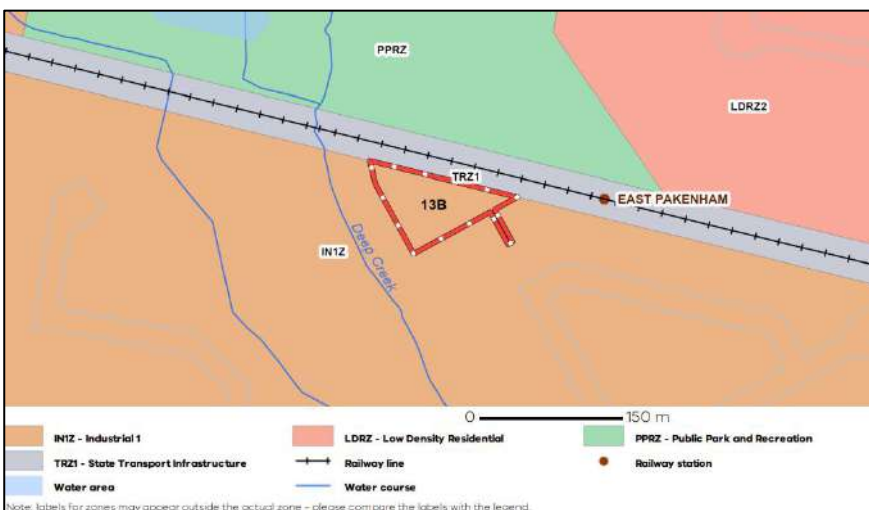


Figure 2: Planning Zone of Site. Source: VicPlan



The following figure shows an aerial image of the existing site conditions.



Figure 3: Existing Site Conditions. Source: NearMap Aerial Images



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2.2 Road Network

Sharnet Circuit is a local road under the management of Cardinia City Council. It features a single, two lane, two-way carriageway that is approximately 11.8 metres wide. The road reserve includes a footpath on one side and accommodates unrestricted kerbside parking on both sides of the carriageway. Figures 4 and 5 show the road configuration Sharnet Circuit along the site frontage.



Figure 4: Sharnet Circuit Facing South-East. Source: Google Maps



Figure 5: Sharnet Circuit Facing North-East. Source: Google Maps

2.3 Public Transport Network

The following table shows the public transport services nearest to the site.

Table 1: Nearby Public Transport

Mode	Route	Stop / Station	Distance to Stop / Station
Train	Pakenham Line	East Pakenham Train Station	170m

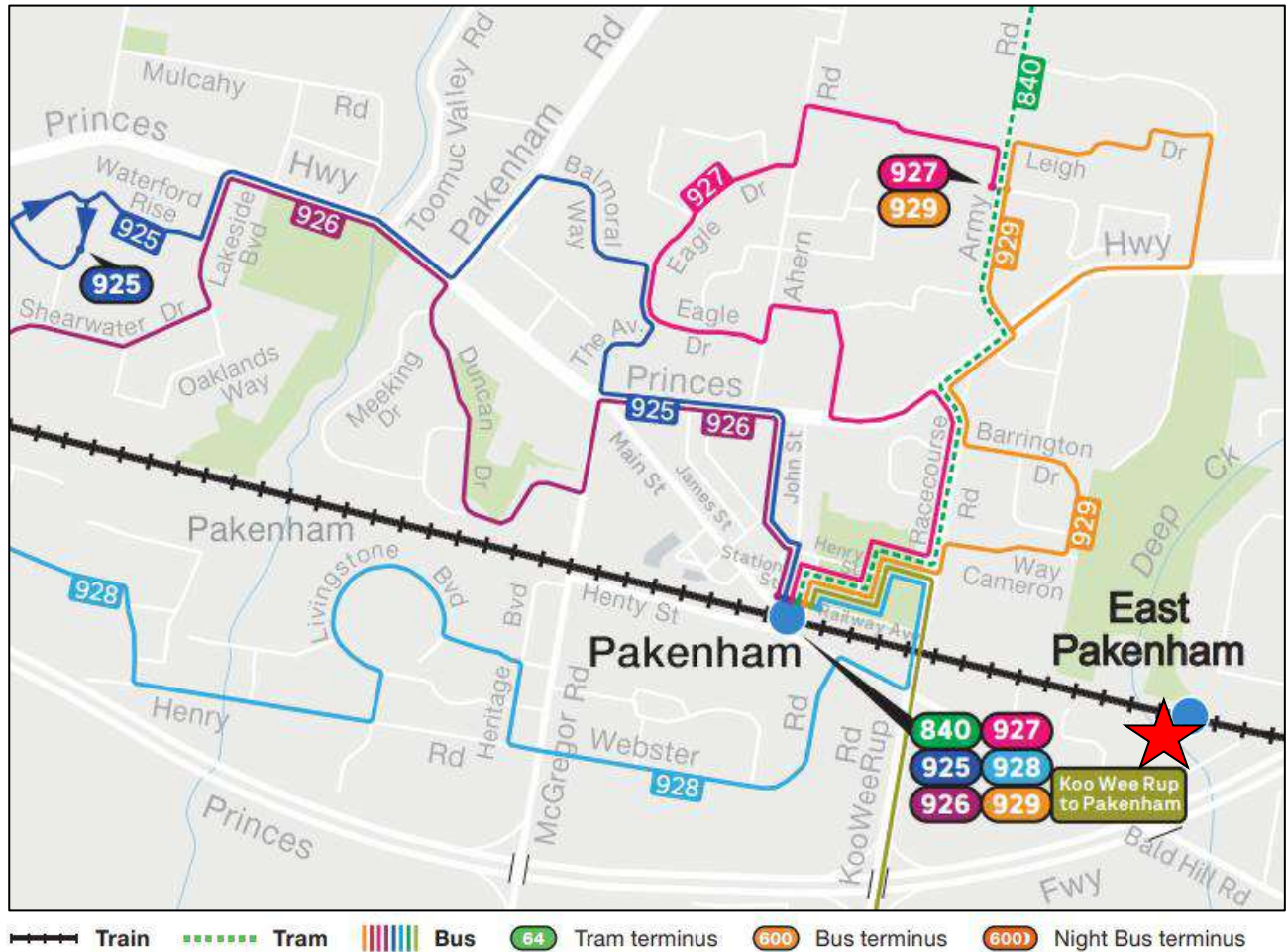


Figure 6: Public Transport Map. Source: Public Transport Victoria

2.4 On-Street Parking Availability

Colliers has obtained parking data using NearMap to determine the existing parking demand. The surveyed parking area is within a 400 metres radius of the site as shown in Figure 7.

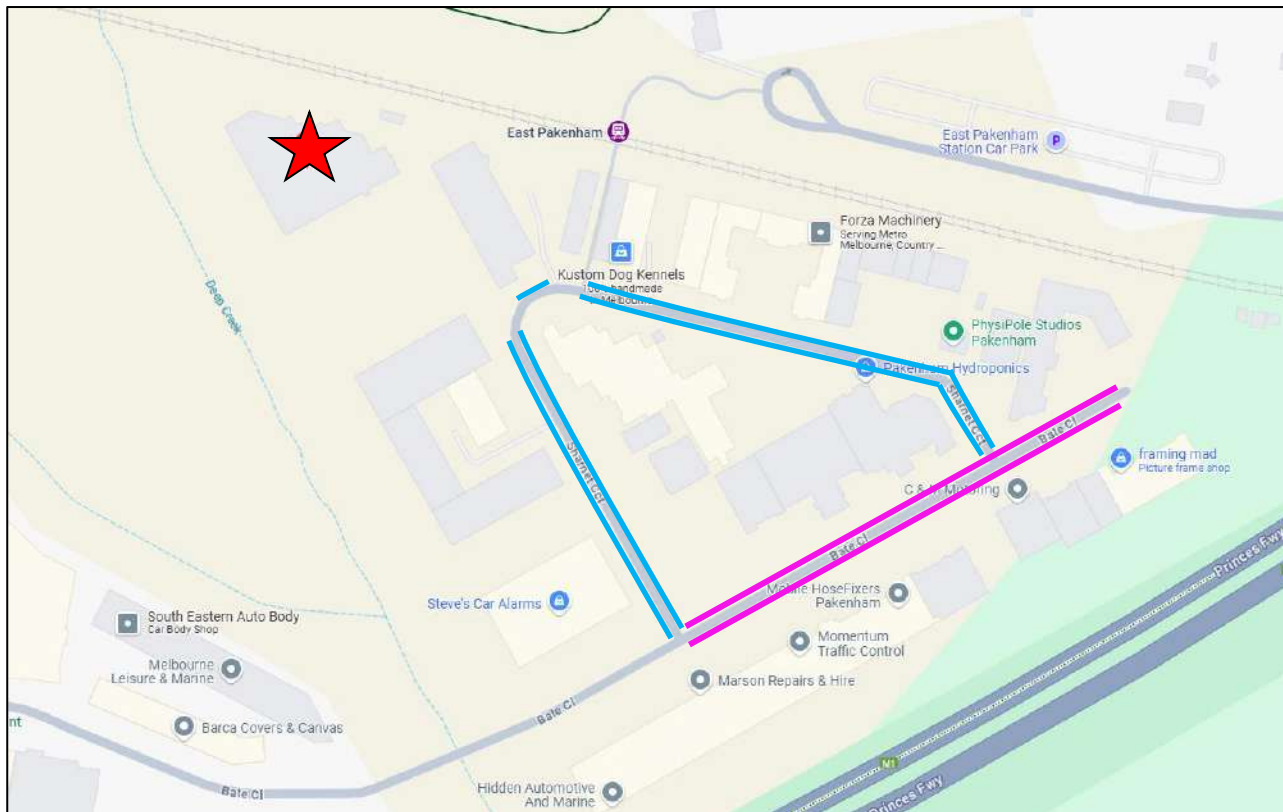


Figure 7: Surveyed Parking Area

The following table summarises the results of the parking surveys.

Table 2: Colliers Parking Surveys

Parking Location	Capacity	Parking Occupancy						
		Sun. 2/2/25 9am	Mon. 30/12/24 11:30am	Sun. 15/12/24 11am	Sun. 13/10/24 10:30am	Thurs. 1/8/24 1:30pm	Mon. 13/5/24 12:30pm	Fri. 29/3/24 10:30am
Sharnet Circuit*	90	0	29	28	0	45	45	9
Bate Close*	67	7	6	14	6	18	25	8
Total	157	7	35	42	6	63	70	17
Parking Space Available		150	122	115	151	94	87	140
Parking Space Occupancy		4.5 %	22.3 %	26.8 %	3.8 %	40.1 %	44.6 %	10.8 %

*Unrestricted Parking

The description of driver demand for on-street car parking is generally based on parking occupancy percentages, as presented in the following table.

Table 1: Parking Occupancy and Conditions Description

Parking Space Occupancy	Description of Parking Demand and Parking Conditions
≥ 90%	Very high level of parking demand with the car park appearing “full” and visitors/patrons needing to circulate to find any unoccupied spaces. Delays occur and some frustration results in the unavailability of parking.
80% – 89%	High level of parking demand. Difficulty finding parking, motorists may circulate around searching for unoccupied spaces. Visitors/patrons are unlikely to find spaces near their destination and may become annoyed with the lack of convenient parking.
70% – 79%	Moderate / high level of parking demand. Customers/patrons should generally find spaces with ease. Visitors/patrons may be able to find spaces near their destination. However, some annoyance at a perceived lack of parking may be experienced from time to time.
50% – 69%	Moderate level of parking demand. Generally, parking conditions are considered satisfactory. Generally easy to find spaces when and where they are required.
< 50%	Low level of parking demand. Visitors/patrons have a high probability of finding a space near their destination. Generally, parking would not be considered an issue by customers.

There were typically 87-150 spaces vacant out of 157 spaces within the surveyed area, demonstrating that there is adequate on-street parking available within proximity of the site.



3 The Proposal

3.1 Development Summary

The applicant seeks approval for a change of use from a 'Warehouse' to a 'Place of Assembly' with an ancillary office space. The table below provides a summary of the current approval and the proposed development.

Table 4: Development Summary

Current Approval		Proposal	
Warehouse	3,381.85 sqm	Place of Assembly	3,381.85 sqm Max. 200 Patrons (Normal Services) Max. 750 patrons (Special Events)
Car Parking Spaces	24 no.	Car Parking Spaces	229 no. (including 6 accessible parking spaces)
Bicycle Parking Spaces	0 no.	Bicycle Parking Spaces	6 no.

A copy of the development plan is attached in Appendix A.

The Applicant has advised Colliers that they are the registered owner of both Lot 13A (adjoining Lot) and Lot 13B, located at Sharnet Circuit. Hence, additional car parking spaces have been allocated on Lot 13A to support the development.

3.2 Background to Proposed Place of Assembly

Shree Umiya Temple Melbourne is a well-established cultural, educational, social welfare, and religious organisation dedicated to serving the Indian-Australian community. Their mission is to preserve and promote Indian cultural values, provide spiritual guidance, and support the overall well-being of members. They cater to a diverse community, including youth, middle-aged individuals, and seniors, some of whom are in their 90s.

Main objectives include:

- Foster religious awareness and spiritual well-being among all members.
- Promote good citizenship and ethical values within society.
- Provide support and care for seniors and aging individuals.
- Encourage education, mentorship, and personal development for the younger generation.
- Strengthen community engagement and cultural integration across Victoria and Australia.



3.3 Hours of Operation and Patron Numbers

The hours of operation for the proposal are summarised in the following table.

Table 5: Hours of Operation.

Land Use	Service Type	Hours of Operation	Max. Number of Patrons
Place of Assembly	Normal Services	6:00pm to 9:00pm	Up to 200 patrons
	Special Events	6:00am to 10:00am	Up to 750 patrons
		6:00pm to 9:00pm	



4 Car Parking Requirements, Demands and Impacts

4.1 Clause 52.06-5 Car Parking Requirements

The following table outlines the car parking requirements for the proposed application as set out in Clause 52.06-5 of the Planning Scheme.

Table 6: Clause 52.06-5 Car Parking Requirements

Land Use	Car Parking Rate Required	Inventory	Parking Required	Car Parking Provision
Place of Assembly	0.3 spaces to each patron permitted.	Max. 750 patrons	225 no.	229 no.
Total			225 no.	229 no.

The proposal has provision for 229 on-site car parking spaces which satisfies the minimum parking requirements against Clause 52.06-5 of the Planning Scheme.



5 Traffic Generation and Impacts

5.1 Anticipated Traffic Generated by the Proposal

The RTA publication “Guide to Traffic Generating Developments” (October 2002) and its subsequent supplements do not specify traffic generation rates for a Place of Worship or similar land uses. As a result, the anticipated traffic generation has been determined using a first-principles assessment, based on the proposed maximum occupancy of 200 patrons during normal services and 750 patrons during special events.

Clause 52.06 of the Planning Scheme prescribes a car parking requirement of 0.3 spaces per patron, which includes staff arrivals. Given that patrons are expected to remain on-site for more than an hour, the proposal is projected to generate approximately 60 vehicle movements per hour during normal services and 225 vehicle movements per hour during special events.

5.2 Impacts of Additional Traffic Generated by the Proposal

The anticipated traffic generated by the place of assembly during weekdays is unlikely to coincide with the existing AM and PM peak periods, as the majority of services and events will be scheduled during off-peak hours. These off-peak hours, typically outside of the morning and evening peak periods, will ensure that the additional traffic does not create significant congestion or delays. Additionally, the traffic dispersal patterns, along with staggered arrival and departure times of patrons, will help to mitigate any potential disruptions to the flow of traffic. This planned approach ensures that the impact on surrounding roads remains minimal.

It is also important to note that special events, which may occasionally increase traffic, are typically scheduled on weekends or during non-business hours, when many of the surrounding commercial establishments are closed and traffic volumes on the adjacent road network are much lower than on a typical weekday.

The traffic impacts of the proposal are appropriate from a traffic engineering perspective and can be accommodated suitably within the adjacent road network.



6 Car Parking Area and Access Design

6.1 Site Access

Vehicle access to the on-site parking spaces is via the shared driveway connecting to an existing 6.0 metres wide vehicle crossover on Sharnet Circuit.

6.2 Car Parking Layout

The proposal includes 229 on-site parking spaces (including 6 disabled spaces) in the form of 90-degree spaces.

The standard parking spaces measure 2.6 metres in width by 4.9 metres in length and are accessible via a minimum 6.4 metres wide aisle. Additionally, six parking spaces are 2.8 metres wide by 4.9 metres long, with access provided via a minimum 5.8 metres wide aisle.

The car park dimensions, and aisle width satisfy Clause 52.06-9 Design Standards 2 – Car Parking.

The swept path diagrams attached in Appendix B confirm the ‘B85’ vehicle from AS2890.1:2004 successfully enters and exits the critical car parking spaces in typically a single manoeuvre whilst entering and exiting the site in a forward direction.

The car parking layout is appropriate from a traffic engineering perspective.




6.3 Response to Clause 52.06-9 Design Standards

Clause 52.06-9 of the Planning Scheme outlines design criteria for car parking, accessways and gradients. The following table provides a response to each of the relevant design criteria.

Table 7: Clause 52.06-9 Design Standards

Clause 52.06-9 design criteria	Colliers Response
Design Standard 1 - Accessways	
Be at least 3 metres wide.	Satisfied.
Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide.	Satisfied.
Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre.	Not applicable.
Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheelbase of 2.8 metres.	Satisfied.
If the accessway serves 4 or more car spaces or connects to a road in a Transport Zone, the accessway must be designed so that cars can exit the site in a forward direction.	Satisfied.

The image shows the Cardina logo, which consists of the word "Cardina" in a serif font with a stylized "C" icon to its right. Below the logo, the text "ADVERTISED MATERIAL" is written in a large, bold, sans-serif font. Underneath that, the text "Planning Application: T250161" and "Date Prepared: 09 February 2026" are displayed in a bold, sans-serif font. At the bottom, a disclaimer in a smaller font states: "This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purposes. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited."

Clause 52.06-9 design criteria	Colliers Response													
Where parking spaces are provided in tandem (one space behind the other) an additional 500 mm in length must be provided between each space.	Not applicable.													
Where two or more car parking spaces are provided for a dwelling, at least one space must be under cover.	Not applicable.													
Disabled car parking spaces must be designed in accordance with Australian Standard AS2890.6-2009 (disabled) and the Building Code of Australia. Disabled car parking spaces may encroach into an accessway width specified in Table 2 by 500mm.	Not applicable.													
Design Standard 3 – Gradients														
Accessway grades must not be steeper than 1:10 (10 per cent) within 5 metres of the frontage to ensure safety for pedestrians and vehicles. The design must have regard to the wheelbase of the vehicle being designed for; pedestrian and vehicular traffic volumes; the nature of the car park; and the slope and configuration of the vehicle crossover at the site frontage. This does not apply to accessways serving three dwellings or less.	Satisfied.													
Ramps must have the maximum grades as outlined in Table below and be designed for vehicles travelling in a forward direction. <table><tr><th>Type</th><th>Length Ramp</th><th>Max Grade</th></tr><tr><td rowspan="2">Public</td><td><20m</td><td>1:5</td></tr><tr><td>>20m</td><td>1:6</td></tr><tr><td rowspan="2">Private</td><td><20m</td><td>1:4</td></tr><tr><td>>20m</td><td>1:5</td></tr></table>	Type	Length Ramp	Max Grade	Public	<20m	1:5	>20m	1:6	Private	<20m	1:4	>20m	1:5	Satisfied. <div><div><p>ADVERTISED MATERIAL Planning Application: T250161 Date Prepared: 09 February 2026</p><p><small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small></p></div></div>
Type	Length Ramp	Max Grade												
Public	<20m	1:5												
	>20m	1:6												
Private	<20m	1:4												
	>20m	1:5												
Where the difference in grade between two sections of ramp or floor is greater than 1:8 (12.5%) for a summit grade change, or greater than 1:6.7 (15%) for a sag grade change, the ramp must include a transition section of at least 2 meters to prevent vehicles scraping or bottoming. Plans must include an assessment of grade changes of greater than 1:5.6 (18%) or less than 3 metres apart for clearances, to the satisfaction of the Responsible Authority.	Satisfied.													

The proposed accessways, car parking spaces and gradients are designed appropriately based on the relevant design criteria outlined in Clause 52.06-9 of the Planning Scheme.

7 Bicycle Facilities

Clause 52.34 of the Planning Scheme outlines the bicycle parking provision requirements for land uses and is summarised for the proposed development in the following table.

Table 8: Bicycle Parking Requirements

Use	Inventory	User	Planning Scheme Requirement	Min. Bicycle Parking Required	Bicycle Parking Provision
Place of Assembly	3,381.85 sqm	Staff	1 to each 1,500 sqm of net floor area	2 no.	6 no.
		Visitor	2 + 1 to each 1,500 sqm of net floor area	4 no.	
Total				6 no.	6 no.

The Applicant has provision for 6 bicycle parking spaces which satisfies the minimum requirements from Clause 52.34 of the Planning Scheme.



8 Summary and Conclusion

The Applicant is proposing a change of use from a 'Warehouse' to a 'Place of Assembly' at 13B Sharnet Circuit, Pakenham. The development is summarised from a traffic engineering context as follows.

- The Applicant has provision for 229 parking spaces which satisfies the parking requirements set out in Clause 52.06-5 of the Planning Scheme.
- The level of additional traffic can be accommodated within the adjacent road network.
- The swept path diagrams confirm the 'B85' vehicle successfully enters and exits the critical parking spaces in a single manoeuvre whilst entering and exiting the site in a forward direction.
- The accessways, car parking spaces and gradients have been designed appropriately based on Clause 52.06-9 of the Planning Scheme.
- The Applicant satisfies the minimum bicycle parking requirements from Clause 52.34 of the Planning Scheme.

The development is considered appropriate from a traffic engineering perspective. There are no traffic engineering grounds which should warrant refusal of the sought Planning Permit.

Colliers International Engineering & Design (TTMC) Pty Limited



Michael Srea
Project Consultant - Transport

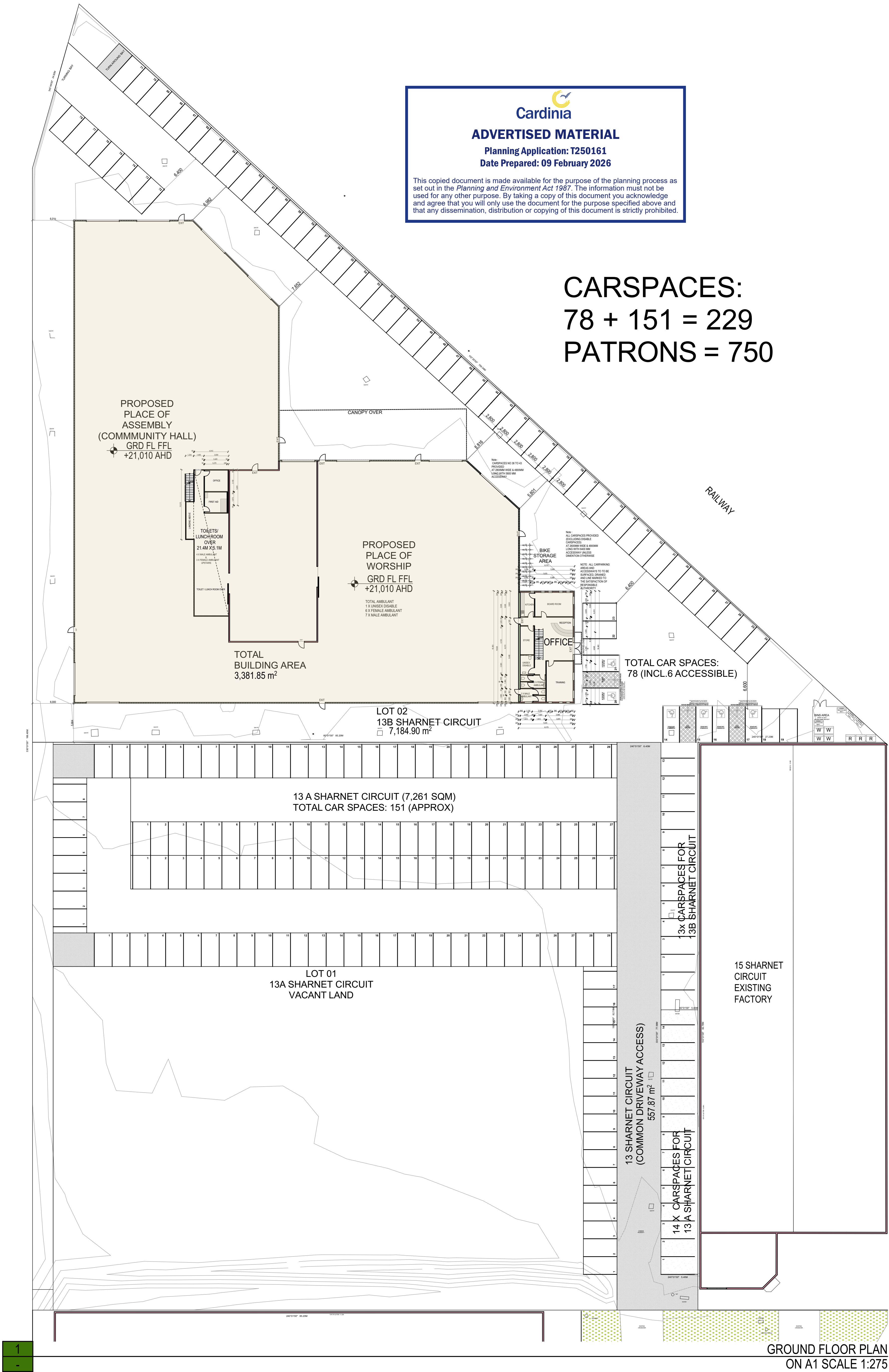


Appendix A: Development Plans


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CARSPACES:
78 + 151 = 229
PATRONS = 750

GROUND FLOOR PLAN
ON A1 SCALE 1:275

TP SUBMISSION
CULTURAL CENTRE

13a and 13b Sharnet Circuit Pakenham VIC 3810

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C:\001_Vaastu Drive\001A_Projects\Girish Patel\13A 13B Sharnet Circuit Pakenham\Archicad\250428_13a and 13b Sharnet Circuit Pakenham VIC 3810\QP02A.phr_5/09/2025_10:25 AM

B	ISSUED FOR TP RFI	28.05.2025		
A	ISSUED FOR TOWN PLANNING SUBMISSION	14.03.2025		
Issue	Revision	Date	In.	
Amendments				

Client	Project Name and Location	Drawing Title
As Shown	13a and 13b Sharnet Circuit Pakenham VIC 3810	GROUND FLOOR PLAN

Scale	Sheet	Job no.
As Shown	05/11	
Drawn	Checked	Approved
NT	NT	NT
Drawing no.	Issue	
SD 2001B	B	

VAASTU

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T: 0498822788

E: nupur@vaastudesigners.com.au

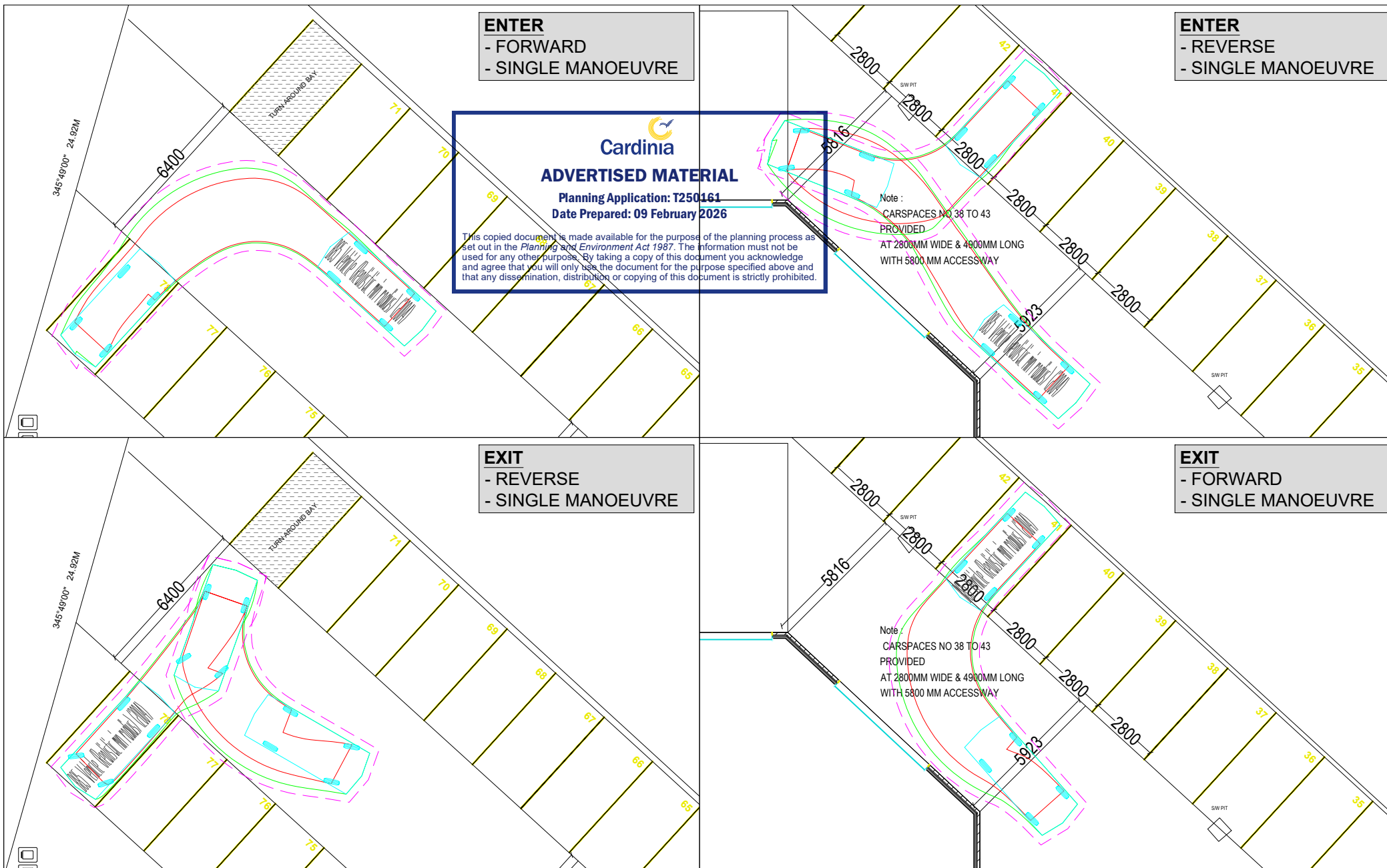
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Appendix B: Swept Path Diagrams


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ENTER
- FORWARD
- SINGLE MANOEUVRE

ENTER
- REVERSE
- SINGLE MANOEUVRE

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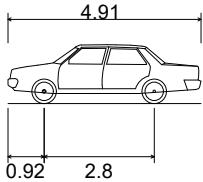
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EXIT
- REVERSE
- SINGLE MANOEUVRE

EXIT
- FORWARD
- SINGLE MANOEUVRE

- Wheel path
- Vehicle Overhang
- Vehicle Overhang + 300mm Clearance

Swept Path Diagram Prepared using Autodesk Vehicle Tracking v25



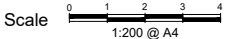
B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.499m
Min Body Ground Clearance	0.120m
Track Width	1.770m
Lock to Lock Time	4.00sec
Curb to Curb Turning Radius	5.750m



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W : www.ttmgroup.com.au

PROPOSED PLACE OF ASSEMBLY
13B SHARNETT CIRCUIT, PAKENHAM
SWEPT PATH DIAGRAMS

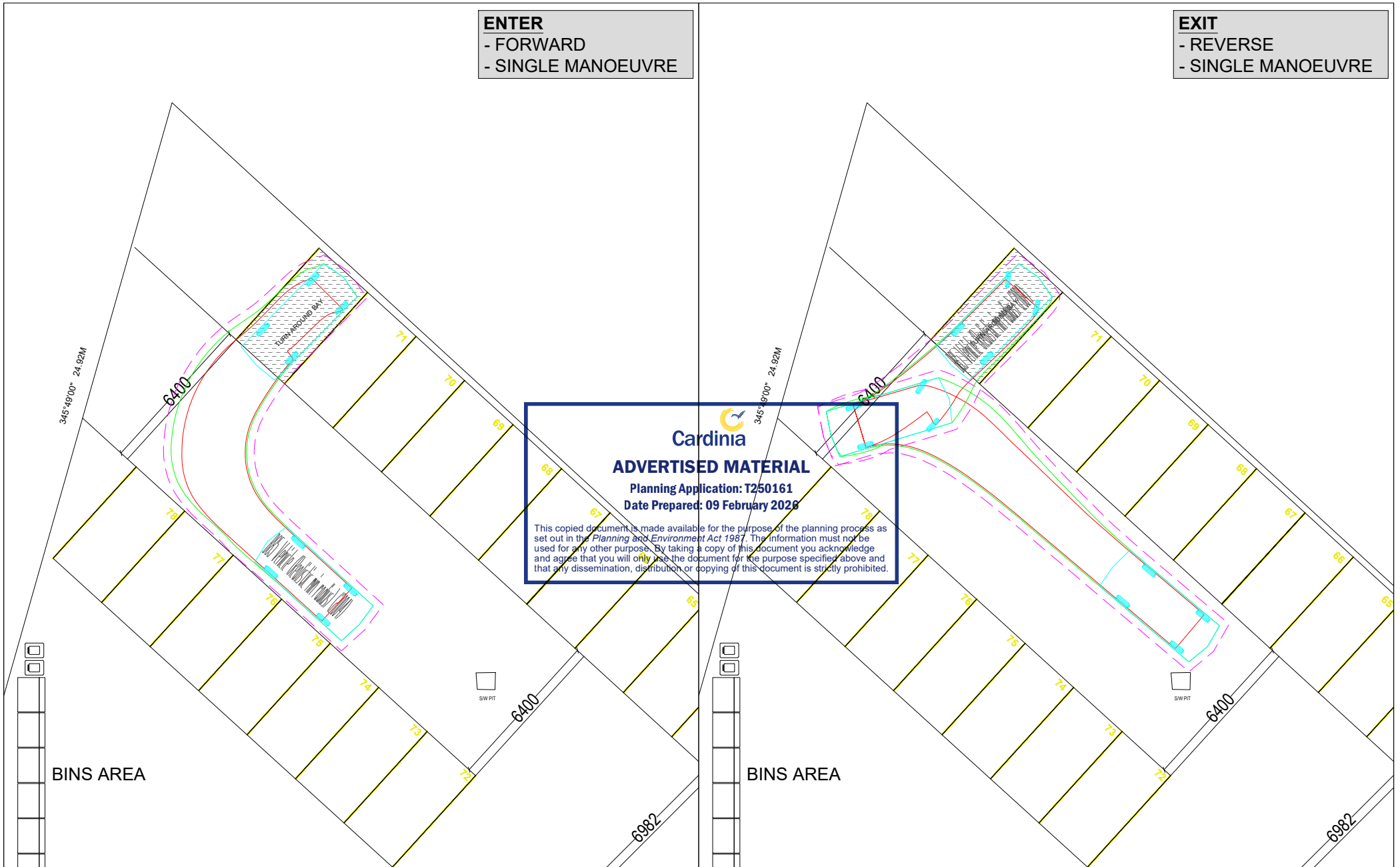


Issue	Appd	Date	Comments
B	MS	05/09/25	Update as per revised plans
A	MS	08/05/25	Original Issue

Drawing No : 25MET0081
Sheet No : 1 Issue : B

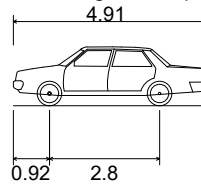
ENTER
- FORWARD
- SINGLE MANOEUVRE

EXIT
- REVERSE
- SINGLE MANOEUVRE



- Wheel path
- Vehicle Overhang
- Vehicle Overhang + 300mm Clearance

Swept Path Diagram Prepared using Autodesk Vehicle Tracking v25



B85 Vehicle (Realistic min radius) (2004)

Overall Length 4.910m
Overall Width 1.870m
Overall Body Height 1.499m
Min Body Ground Clearance 0.120m
Track Width 1.770m
Lock to Lock Time 4.00sec
Curb to Curb Turning Radius 5.750m



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**PROPOSED PLACE OF
ASSEMBLY
13B SHARNET CIRCUIT,
PAKENHAM
SWEEP PATH DIAGRAMS**

Scale 0 1 2 3 4
1:200 @ A4

Drawing No : 25MET0081

Sheet No : 3 Issue : B

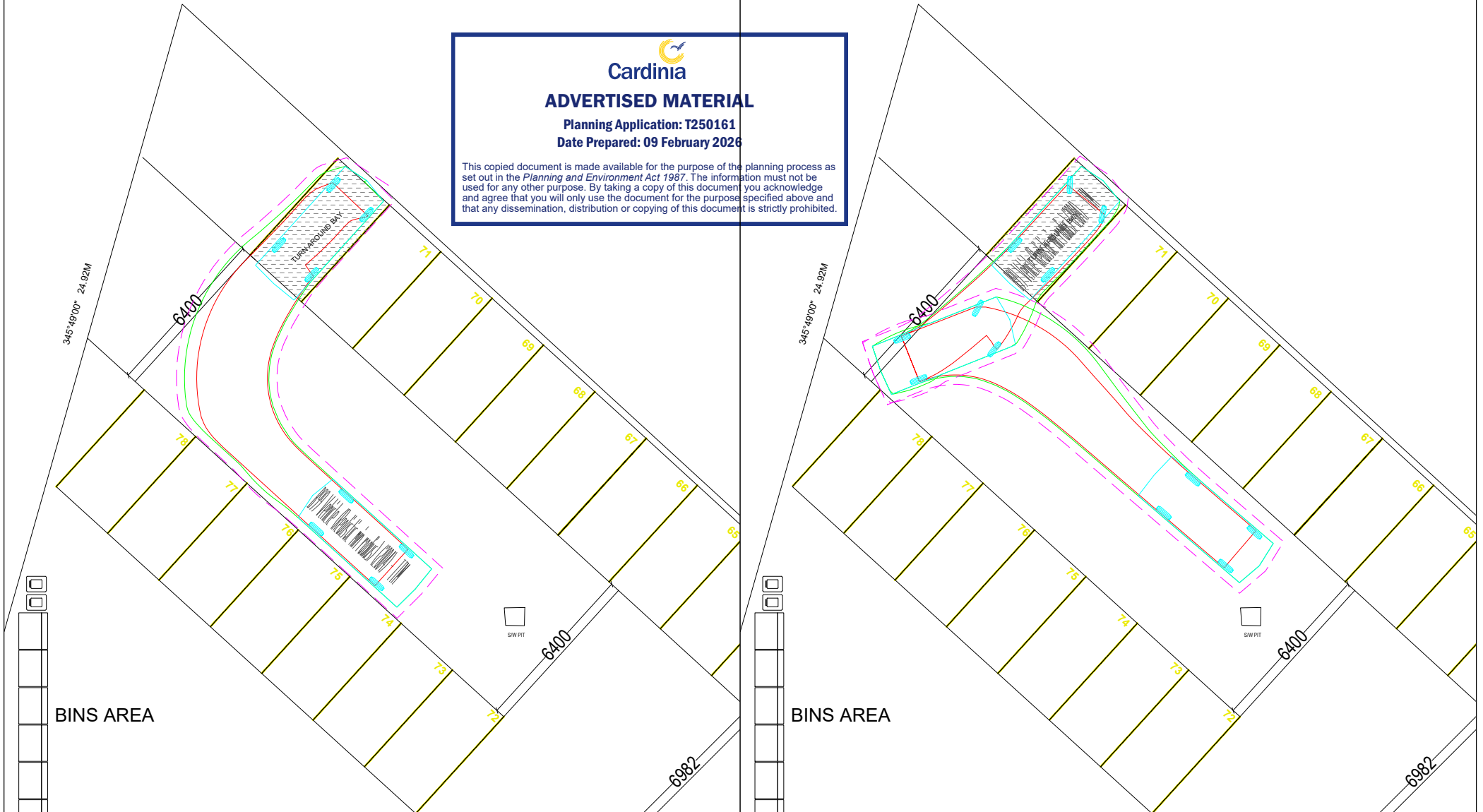
Issue	Appd	Date	Comments
B	MS	05/09/25	Update as per revised plans
A	MS	08/05/25	Original Issue

ENTER
- FORWARD
- SINGLE MANOEUVRE

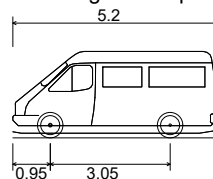
EXIT
- REVERSE
- SINGLE MANOEUVRE

Cardinia
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Planning Application: T250161
Date Prepared: 09 February 2026

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Swept Path Diagram Prepared using Autodesk Vehicle Tracking v25



B99 Vehicle (Realistic min radius) (2004)
Overall Length 5.200m
Overall Width 1.940m
Overall Body Height 1.527m
Min Body Ground Clearance 0.120m
Track Width 1.840m
Lock to Lock Time 4.00sec
Curb to Curb Turning Radius 6.250m



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Scale 0 1 2 3 4
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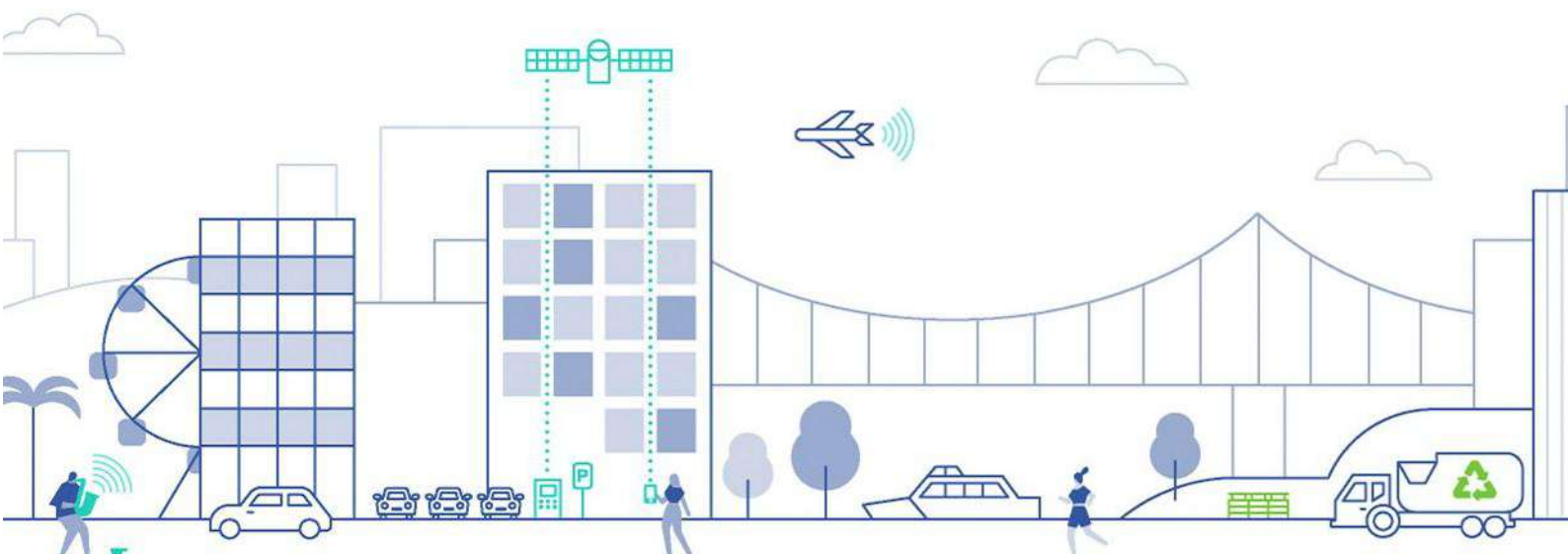


Operational Waste Management Plan

Proposed Commercial Development

At 13b Sharnet Circuit Pakenham 3810

On behalf of Vaastu Architects





About TTM/CED

TTM is proud to announce we have joined Colliers. Our team across QLD, NSW and VIC scale their rapidly growing Australian Engineering & Design business and expand their service offering through our development and infrastructure related services.

We look forward to offering a full-service engineering & design capability to our clients and collaborating with Colliers' experts across all major property asset classes and markets, to provide integrated solutions at any point across project or asset life cycles.

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Revision Record

No.	Author	Reviewed/Approved	Signature	Description	Date
1.	T. Isaac			OWMP – Draft	29/05/2025
2.	T. Isaac			OWMP	05/06/2025
3.					
4.					



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1 Introduction

1.1. Background

Colliers has been engaged by Vaastu Architects to prepare an OWMP to support the proposed place of worship development located at 13b Sharnet Circuit, Pakenham, VIC 3810. This OWMP will has been prepared to satisfy the waste requirements for Cardinia Shire Council.

1.2. Scope

The content of this OWMP is intended to provide information in reverse order to the typical movement of waste streams from disposal to collection. The reverse order provides context for refuse collection, storage, and transfer. Information on refuse disposal and collection points is given for each use within the development. Recommendations in this report related to the operational phase of the development only. Additional requirements for refuse management during or after demolition or construction phases are not included and require a dedicated plan. The items covered within the report are explained in Table 1-1.

Table 1-1: Scope Items

Item	Explanation
Refuse streams	Identification of refuse streams & anticipated development refuse volumes likely to be produced.
Refuse separation	Recommendations for appropriate segregation methods for each refuse stream
Refuse collections	Assessment of refuse collection vehicle (RCV) access and manoeuvring
Refuse storage	Detailed analysis of refuse storage facilities and design
Refuse transfer	Assessment of refuse transfer between refuse storage and collections areas
Refuse disposal	Recommendations for refuse disposal within the development
Refuse management equipment	Identification of recommended and optional refuse management systems and equipment
Refuse management operations	Recommendations for operational efficiency and ongoing management, including refuse minimisation, tenant education and safety
Building design	Recommendations for design of refuse management facilities

Detailed information including site plans and drawings, recommended refuse management equipment and system specifications, common refuse signage as well as a list of terms and abbreviations are provided in the appendices.

The provisions outlined in this OWMP are considered appropriate for this type of development. It is noted that the refuse storage areas are suitably sized to accommodate the refuse generated and number of bins proposed based on standard storage and collection methods.

1.3. Regulatory Considerations

1.3.1. Council's waste requirements

The plan satisfies Cardinia Shire Council requirements by providing the following information:

- Type and quantity of refuse materials to be generated during the occupancy of the proposed site
– General waste, commingled recycling, and food organics
- Refuse collection, storage, transfer, and disposal arrangements during occupancy of the completed development – communal bins in a designated waste area on the ground floor, at the South-East of the property.
- Recommended operational requirements for the operational phase of the development, and design requirements for the building and refuse management facilities.



1.4. Site Location

The site is located at 13b Sharnet Circuit, Pakenham, VIC 3810 as shown in Figure 1.1. The land use type for the development is commercial.

The site has a road frontage to Sharnet Circuit to the South. All refuse collection will occur via Sharnet Circuit.



Figure 1-1: Site Location

Source: Nearmap, 02/05/2025



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1.5. Development Summary

Table 1-2 provides a summary of the development, in relation to refuse generating areas for use with the refuse calculations provided in Section 2.1.1.

Table 1-2: Development Summary

Use	Applied To*
Place of Worship	3247.78 m ²
Office	374.59 m ²

*Amenities, storage space and circulation spaces are considered non waste generating areas.



2 Refuse Management

This section provides the detailed refuse calculations and describes the arrangements for the collection, storage, transfer, and disposal of refuse within the development. This includes associated bin quantities, storage capacities, equipment details, collection frequencies and site access details.

2.1. Refuse Calculations

The generation rates used for the calculation of refuse produced by the development have been applied based on the waste generation rates outlined in *Sustainability Victoria's Waste Management and Recycling in Multi-unit Developments Better Practice Guide (2019)* and best practice waste standards.

It is noted that these standardised generation rates provide a conservative waste estimate. Site specific waste auditing can be conducted once the development is in operation to refine the refuse equipment capacity required.

2.1.1 Refuse Generation Rates

Refer to Table 2-1 for the accepted refuse generation rates (based on Sustainability Victoria Guidelines).

Table 2-1: Refuse Generation Rates

Generation Rate	Applied To	Measure	General Waste	Commingled Recycling
Religious/Social	3247.78 m ²	L / 100 m ² / Week	50	10
Office	374.59 m ²	L / 100 m ² / Week	10	10



2.1.2 Refuse Volume Calculations

Refer to Table 2-2 to 2-5 for the accepted refuse volume provisions.

Table 2-2: Refuse bin calculations (Commercial Unit 1)

Description	Area use	Quantity	Measure	General Waste L/Week	FOGO Recycling L/Week	Comingle Mixed L/Week	Comingle Glass L/Week
Religious/ Social	Religious/ Social	3428	M ²	9094	2274	1705	568
Office	Office	374.59	M ²	262	0	262	0
Total Weekly Volumes (L / Week)				9,356	2,274	1,967	568
Volumes per Day (L / Day)				1337	325	281	81
Volumes per Collection (L / Collection)				4,010	1,124	975	325
Collection and Equipment Details	Collections per Week			3	3	2	2
	Storage Capacity			3 Days	3 Days	4 Days	4 Days
	Equipment Size			1100 L	660L	1100L	660L
	Equipment Quantity Required			4	2	1 + 2 spare	1 + 1 spare

Table 2-3: Bin provisions

Refuse Stream	Bin / Equipment - Type or Size	Bins Required	Collections/Week
General Waste	1100L	4	Thrice a week
Commingled Recycling	1100L	1 + 2 spare (For bulky waste)	Twice a week
FOGO	660L	2	Thrice a week
Glass	660L	1 + 1 spare	Twice a week

2.2. Refuse Storage

The entire building will be provided with a bin storage and holding area at the Southeast corner of the development (in the car – park).

This space is suitably sized to accommodate all bins for the development based on the refuse calculations above (see Figure 2-1).

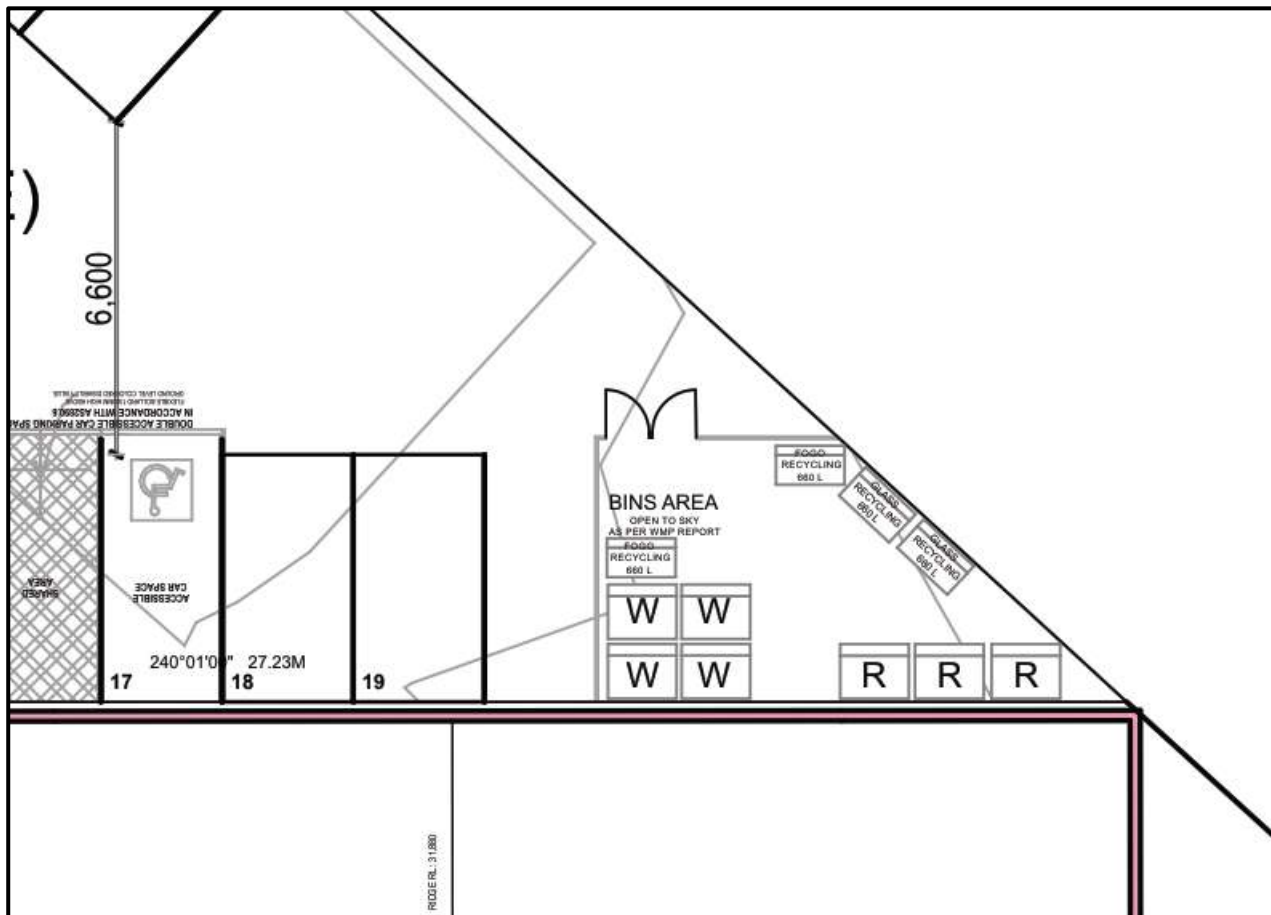


Figure 2-1: Bin storage area layout

Source: Vaastu Pty Ltd, 13a and 13b Sharnet Cct, Pakenham VIC 3810, Ground Floor Plan, DWG No: SD 2001, Rev:B

The building will have multiple bins across the entire development for internal use. The bins will need to be placed in easily accessible areas to capture the four primary streams (outlined in table 2-5).

The following features in Table 2-4 should be implemented in order to minimise odours, deter vermin, protect surrounding areas, and make it a user-friendly and safer area.

Table 2-4: Refuse Storage Design Requirements

Positioning Considerations
Not located adjacent to or within any habitable portion of a building or place used in connection with food preparation (including food storage) except for food organics bins.
Is positioned away from entrances to residential premises
Is over 5m from any door, window or fresh air intake for main living spaces.
Functional Design Considerations
Is of sufficient size to accommodate the bins with sufficient clearance around the combined bin area
Doors/ openings wide enough to allow for the easy transfer of the largest container to be stored.
The height of the bin area allows for waste bins to be opened and closed.
Does not have any steps or lips.
Bin Washing and Maintenance Considerations
A hose cock provided for cleaning bins or a third-party contractor to be engaged.
The floors and equipment are to be designed and constructed of impervious material with a smooth finish to allow for easy cleaning.
The floors to be graded to fall to a drainage point.
Drainage points connected to sewer in accordance with trade waste requirements.
Transfer Path Considerations
The bins to be transferred via a hard stand pathway.
Allows bins to be easily manoeuvred.
Does not extend through any habitable parts of a building.
Does not have any lips, stairs or steps for bins to be manoeuvred easily.



2.3. Refuse Collection and Bin Presentation Point

Bins will be collected by a private waste contractor utilising a standard or mini rear lift waste collection vehicle. The collection vehicle will enter the site via Sharnet Circuit. The waste collection vehicle will then have to prop along the bin enclosure within the car park. Once lined up along the bin enclosure, the contractor will need to transfer the bins from the bin holding area, service the bins and return them to the respective areas once complete. The waste collection vehicle will then leave the lane in a forward gear onto Sharnet Circuit.

Figure 2-2 illustrates the waste collection vehicle's swept path leading to the building boundary.

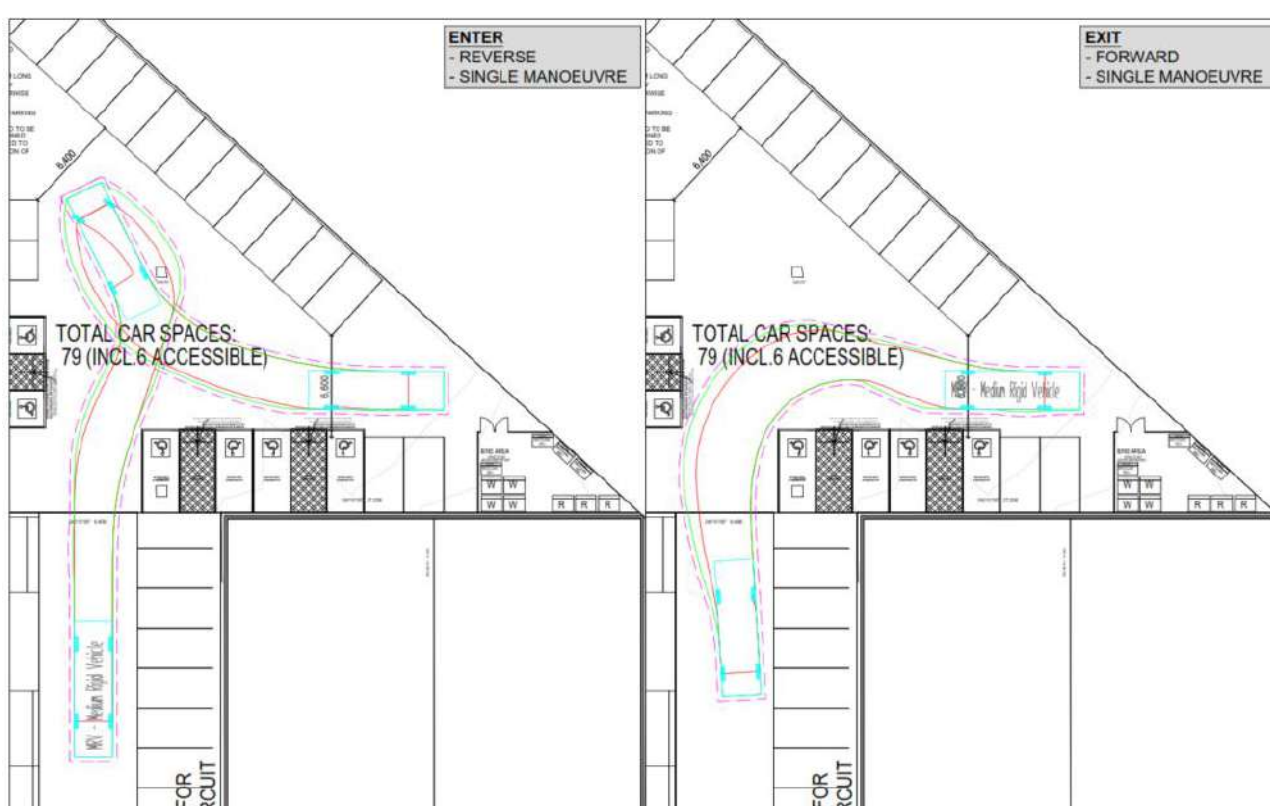


Figure 2-2: Waste Vehicle swept paths

Source: Colliers, 13B Sharnet Cct, Swept path diagrams

3 Recommended Operational Requirements

3.1. Refuse Disposal

The tables in this section summarise general recommended disposal arrangements for frequently generated in infrequently generated refuse for each use within the development.

Table 3-1: Disposal of Function/Religious Centre Waste

Refuse Stream	Disposal Details
WASTE	
General Waste	<p>Disposal</p> <p>Function and meeting rooms will be serviced via the kitchen and therefore all waste will be generated in or returned to the kitchen. Subject to operational preference, public bins may be placed in public areas.</p> <p>Kitchen waste will be captured by bins typically ranging in size from 30 L to 80 L and will be placed within the kitchen or back-of-house area to meet the design or layout criteria of the kitchen operators.</p> <p>Public area waste bin placement is at the discretion of the operator. However, if bins are placed, they should be accompanied by a recycling bin of equivalent size.</p> <p>All waste bins should be lined with bags and the bags tied before removal. If smaller bins are used in various locations, the bagged waste should then be transferred to a back-of-house bin up to 240 L in size or a refuse trolley (preferable).</p> <p>Transfer</p> <p>Staff / cleaners will transfer material to the refuse room. All refuse should be placed in movable bins or trolleys before being transferred to the refuse rooms for final disposal into (bulk) bins.</p>
Food Organics & Garden Organics (FOGO)	<p>Separating organic or food waste from general waste may be considered to reduce the total amount of general waste produced.</p> <p>Disposal</p> <p>Food waste separation can occur under one of the following scenarios:</p> <ol style="list-style-type: none"> 1. Multiple caddy bins in kitchen or back-of-house areas, transferred and decanted into larger bins or food processing equipment. 2. 120 L bins in placed in back-of-house area. 3. Food waste macerating or pulping machine placed in back-of-house area. The process works by anaerobic digestion and is a clean source of composting. 4. Digesters and dehydrators designed to recycle and reduce food waste. Digesters typically process the material into sludge while dehydrators remove liquid from food waste. Both types produce a solid fertiliser end-product. Composters decompose organic matter by aerobic processes. <p>Transfer</p> <ol style="list-style-type: none"> 1. Caddy bins may be transferred to a machine or bin on the same level. Using a purpose-built trolley, the waste may be transferred directly to the ground floor refuse room for disposal into a larger bin or food waste macerating or pulping system. 2. 120 L bins may be transferred to the refuse room for disposal into larger (bulk) bins or food waste macerating or pulping system. 3. A food waste macerating or pulping system is typically placed near sink areas in the kitchen, particularly where food preparation waste or plate scrapings can be easily disposed. This method is a clean instantaneous transfer of food waste via sealed 50 mm service pipes to a holding tank in or around the loading bay area. This option can be used in conjunction with caddy bins placed next to sinks or food preparation areas and transferred as outlined in item 1. 4. The purpose of using digesters, dehydrators and composters is that their products do not need to be disposed as such, but can be used within the development, e.g. for gardening or landscaping. Adequate storage facilities should be made available decomposed / processed materials.

Refuse Stream	Disposal Details
RECYCLING	
Commercial Comingled, including <ul style="list-style-type: none"> • aluminum • steel cans • tins • glass • cardboard • semi rigid plastics 	<p>Disposal Recycling should be collected in dedicated receptacles to ensure separation from general waste material. Where applicable, different recyclable materials such as cardboard / paper, plastics and glass should be separated. Dedicated receptacles should be available in kitchens and common areas and within the individual rooms in applicable.</p> <p>Transfer Items for recycling must not be bagged and disposed in loose form. Recyclable materials should be carried / transported from the individual receptacles within the premises to the (bulk) bin in the refuse room by staff / cleaners or residents (if applicable). This can be done by decanting the materials from the individual receptacles into a larger container / bin on a trolley for transport to the refuse room. If common recycling bins are placed on each level, staff / cleaners are required to transport the recycling material to the bulk bins in the refuse room.</p>
Glass	<p>Glass can be disposed separately from comingled recycling if large quantities are produced.</p> <p>Disposal Glass crushers are recommended as an alternative to placement of glass in the comingled stream. The crushers reduce the storage volume of glass by more than 75%. Glass crushers can be placed directly in bar areas / kitchens or in the refuse compartments. Space would be required for the crusher itself as well as a bin of sufficient size for changeover during operating hours.</p> <p>Transfer Due to the weight of the crushed glass, the material should either be transferred as a single bin or the individual bins can be placed on a larger trolley for transport to the refuse room. Exchange bins have to be included within the configurations for the refuse rooms.</p>



Table 3-2: Disposal of Office Waste

Refuse Stream	Disposal Details
WASTE	
General Waste	<p>Disposal Office waste typically includes food waste in pantry / kitchen areas, general non-recyclable material from office activities as well as infrequent wastes such as bulky items, hazardous waste (e.g. printer cartridges) and electronic waste (e.g. computers and screens) (see respective sections for disposal of infrequent wastes). Bins are typically placed near or under the workers' desks or work stations. All waste bins should be lined with plastic bags. Bags should be tied before removal. An equivalently sized recycling bin should also be provided.</p> <p>Transfer Waste is collected by staff / cleaners who circulate the office using movable bins or trolleys. The material is then transferred to the refuse rooms for final disposal into (bulk) bins.</p>
RECYCLING	
Commercial Comingled, including <ul style="list-style-type: none"> • aluminum • steel cans • tins • glass • cardboard • semi rigid plastics 	<p>Disposal Recycling from offices largely consists of clean paper (and cardboard) which can be collected separately from comingled recycling if large quantities are produced. In addition, comingled recycling may originate from pantries and meeting / conference rooms where food is consumed.</p> <p>Transfer Recycling is collected by staff / cleaners and placed in movable bins or trolleys. The material is then transferred to the refuse rooms for final disposal into (bulk) bins. Items for recycling must not be bagged and disposed in loose form.</p>

Table 3-3: Disposal of Infrequently Generated Waste

Refuse Stream	Disposal Details
Hard Waste	Building management/Tenancies will need to organize a private hard waste collection service as required. Hard waste can be stored internally or utilizing unused car spaces prior to collection.
Hazardous Waste (paints, batteries and cartridges) and Electronic Waste	<p>Where applicable, occupants usually make their own arrangements for the disposal of specialised or hazardous waste and electronic waste such as recycling of toner cartridges and batteries. Please refer to local council and state government websites for disposal options.</p> <p>It is an expectation that the building managers assist with disposal of hazardous, electronic or liquid waste and any paint or chemicals as required and requested. Hazardous waste must be handled with due care, separated and securely stored for collection by a specialist waste contractor. Please refer to local council and state government websites for further information.</p>

3.2. On-going Management


The tables below are not assessable as part of the development application instead for the demonstration of required tasks during the operational phase of the development and therefore intentionally left blank.

Responsibilities must be assigned for all on-going refuse management operations. This is generally done by a body corporate or building manager. The following lists (Table 3-4 to Table 3-8) are designed to help managing responsibilities and monitor the refuse operations in order to maintain efficient services and a safe environment.

3.2.1. Safety

From a safety perspective we can identify the manoeuvring of bins as a "manual handling" task and therefore risk assessment is required. Therefore, body corporate must ensure that a full risk assessment of equipment, surfaces and related gradients is complete.

Table 3-4: Safety Checklist

Objectives	Checked	Remarks
Abiding by all relevant occupational health and safety legislation, regulations and guidelines to ensure site safety for residents, visitors, and contractors.	<div data-bbox="596 1021 995 1218" data-label="Complex-Block"> <div>  <p>Cardinia</p> <p>ADVERTISED MATERIAL</p> <p>Planning Application 1260161</p> <p>Date Prepared: 09 February 2020</p> </div> <p>Information is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>	
Assessment of any manual handling risks and preparation of a manual handling control plan for waste and bin transfers to kerbside.		
Provision of equipment manuals, training, health and safety procedures, risk assessments and personal protective equipment to residents if required.		

3.2.2. Signage

All receptacles, bins and other refuse management equipment will have adequate signage. Standard signage will be provided in and around waste collection and storage areas and should be colour coded in accordance with Cardinia Shire Council bin guidelines or as per AS 4123.7–2006 mobile waste containers (see Appendix B).

Table 3-5: Signage Checklist

Objectives	Checked	Remarks
Ensuring compliance of signage with government, local council regulations.		

Ensuring that labelling on bins, refuse room etc. is appropriate and clear and easy to read and updated if required.		
--	--	--

3.2.3. Cleaning and Maintenance

Regular cleaning and maintenance of all shared bins and the bins storage area is important to maintain a safe and hygienic environment for residents, visitors, staff and contractors.

Table 3-6: Cleaning and Maintenance Checklist

Objectives	Checked	Remarks
General cleaning of all refuse holding and transfer areas including <ul style="list-style-type: none"> Refuse rooms and storage areas Refuse bins Refuse transfer areas Any other refuse management equipment 		Taps and drain pits provided in residence outdoor areas can be used to wash bins if necessary. Frequency will depend on refuse generation.
Coordination of specialised cleaning contractors if required.		

3.2.4. Refuse Minimisation

Refuse minimisation is an important part of any site operation, it is strongly recommended that the manager is actively involved in encouraging and assisting staff to follow the refuse hierarchy. At a minimum, the following should be implemented. Additional refuse minimisation options can be found in the Appendices.

Refuse minimisation requires regular reviewing to ensure operational sustainability of refuse volumes, equipment and economic feasibility. It is recommended that refuse weights and movements are noted and reviewed. An external review is usually conducted 12 to 18 months after the implementation of the plan.

Table 3-7: Refuse Minimisation Checklist

Objectives	Checked	Remarks
Regularly review quantities to avoid over-ordering and food waste.		
Consideration of secondary and recycled materials where possible.		
Encouraging refuse minimisation through education and signage (see below).		
Reduce refuse through conscious purchasing and using less single use material.		

3.2.5. Monitoring and Review

Regular monitoring and inspections of waste and related equipment and facilities from the development should be conducted by the manager or designated staff for maintenance and sustainability.

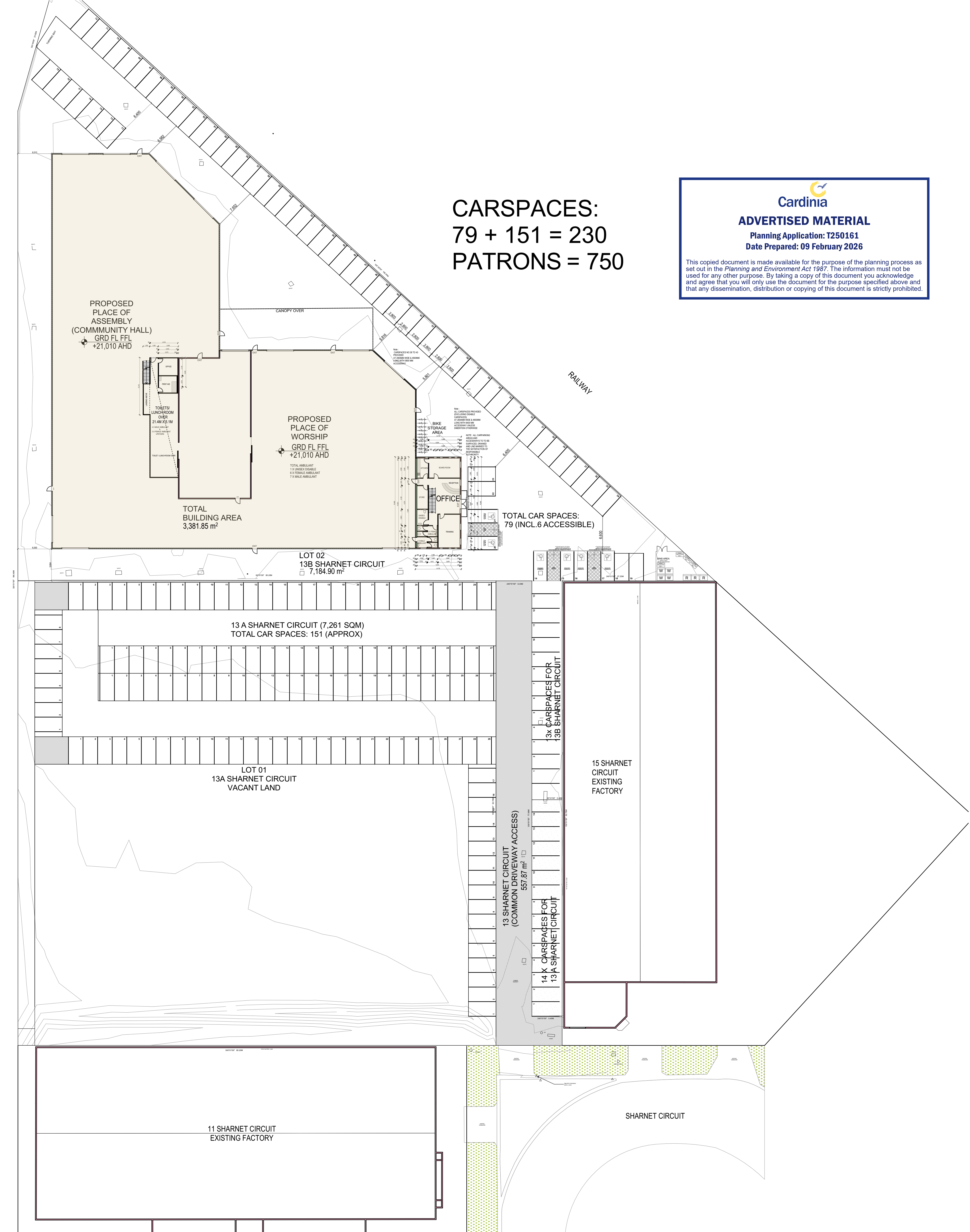
Table 3-8: Monitoring and Review Checklist

Objectives	Checked	Remarks
Regular review of refuse management equipment and facilities such as bin volumes, refuse storage capacities and stormwater management arrangements.		



Appendix A Site plans





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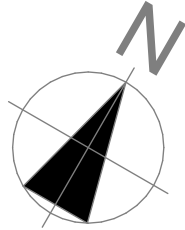
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GROUND FLOOR PLAN
ON A1 SCALE 1:300

TP SUBMISSION
CULTURAL CENTRE

13a and 13b Sharnet Circuit Pakenham VIC 3810

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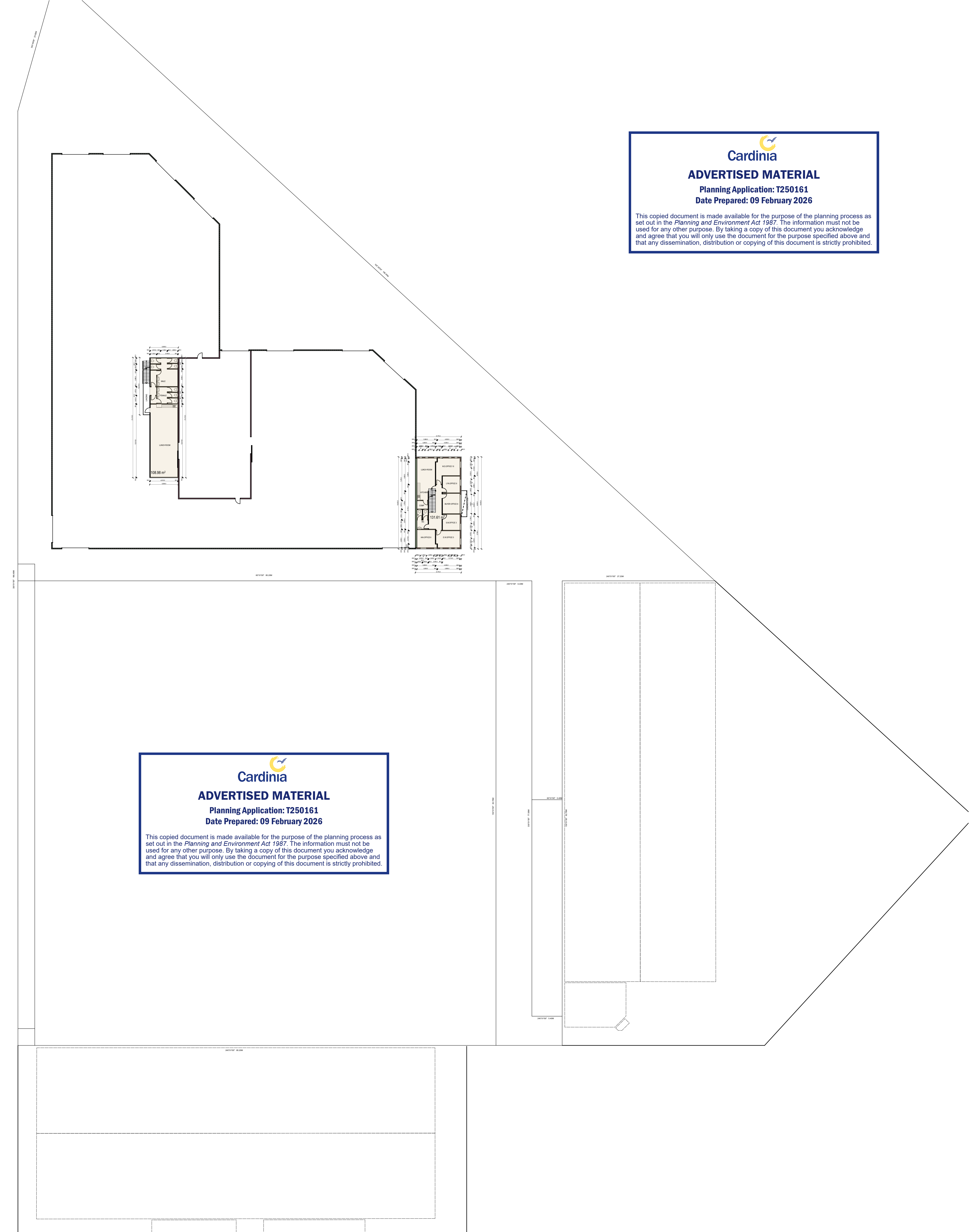



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A	ISSUED FOR TOWN PLANNING SUBMISSION	14.03.2025			
Issue	Revision	Date	In.		
Amendments					

Client	13a and 13b Sharnet Circuit Pakenham VIC 3810
Project Name and Location	13a and 13b Sharnet Circuit Pakenham VIC 3810
Drawing Title	GROUND FLOOR PLAN

Scale As Shown	Sheet 04/11	Job no.
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1

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LEVEL 01 FLOOR PLAN
ON A1 SCALE 1:300

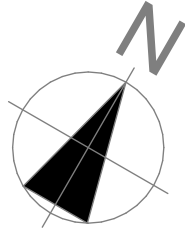
TP SUBMISSION

CULTURAL CENTRE

13a and 13b Sharnet Circuit Pakenham VIC 3810

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B	ISSUED FOR TP RFI	28.05.2025		
A	ISSUED FOR TOWN PLANNING SUBMISSION	14.03.2025		
Issue	Revision	Date	In.	
Amendments				

Client	13a and 13b Sharnet Circuit Pakenham VIC 3810
Project Name and Location	13a and 13b Sharnet Circuit Pakenham VIC 3810
Drawing Title	LEVEL 01 FLOOR PLAN

Scale As Shown	Sheet 06/11	Job no.
Drawn NT	Checked NT	Approved NT
Drawing no. SD 2002	Issue B	

VAASTU

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A: 1078 TOORAK ROAD CAMBERWELL VIC 3124

NUPUR TOMAR - Director

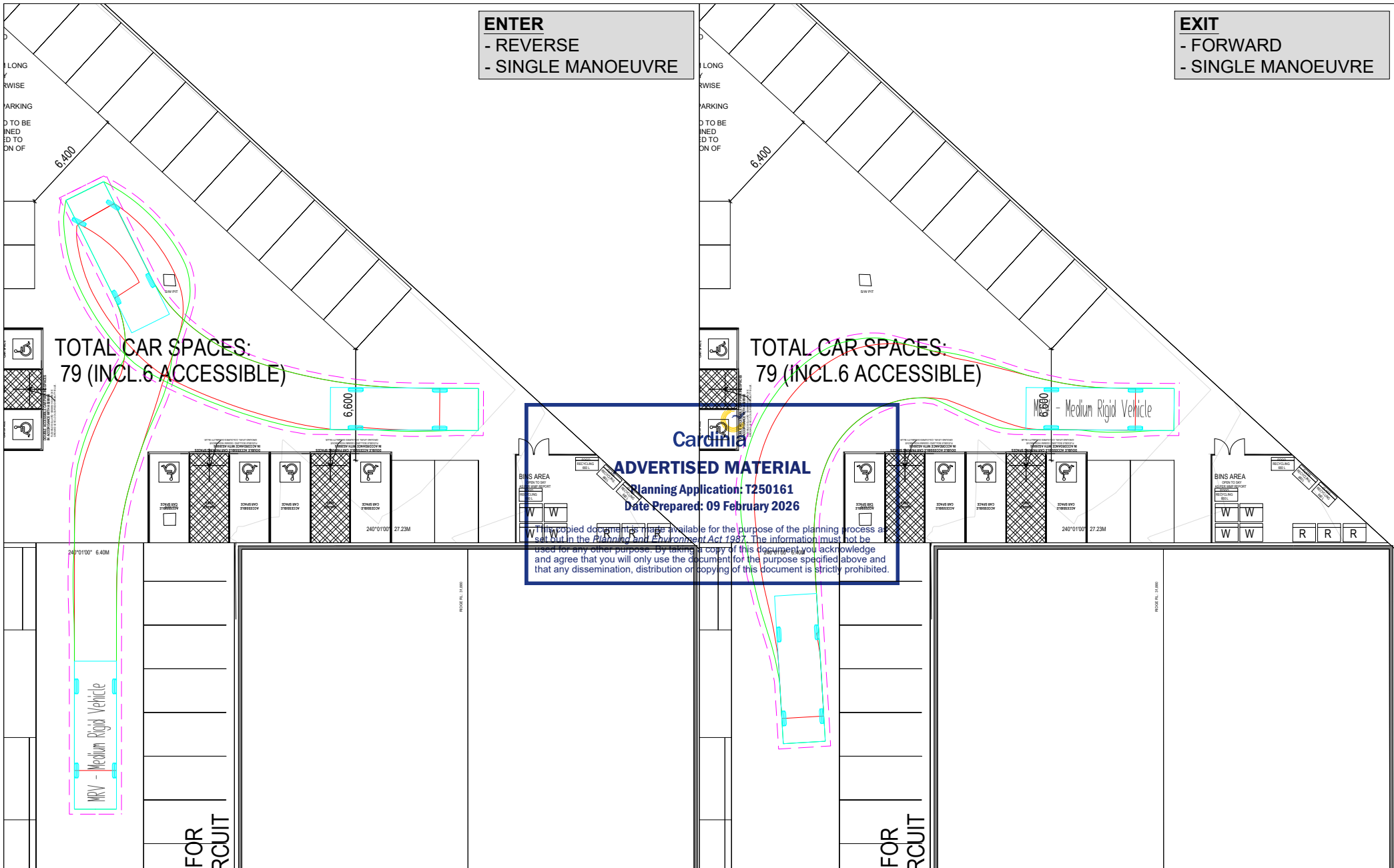
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Appendix B Swept Paths





Wheel path

Vehicle Overhang

Vehicle Overhang + 300mm Clearance

Swept Path Diagrams Prepared using Autodesk Vehicle Tracking v25

MRV - Medium Rigid Vehicle (See note ...)

Overall Length	8.800m
Overall Width	2.500m
Overall Body Height	3.632m
Min Body Ground Clearance	0.150m
Track Width	2.500m
Lock to Lock Time	4.00sec
Curb to Curb Turning Radius	10.000m

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PROPOSED PLACE OF ASSEMBLY
13B SHARNET CIRCUIT, PAKENHAM
SWEPT PATH DIAGRAMS

Scale 1:300 @ A4

Drawing No : 25MEW0065
Sheet No : 1 Issue : A

A	MS	03/06/25	Original Issue	
Issue	Appd	Date	Comments	

Appendix C Refuse Signage and Colour

All waste stream signage used should be colour coded to be compliant with AS 4123.7–2006 Mobile waste containers – Part 7: Colours, markings and designation requirements or Cardinia Shire Council standard bin colours as follows:

- General waste: dark green body with red lid/ dark green lid
- Commingled recycling: dark green body with yellow lid
- FOGO: black body with lime green lid
-

An example of waste signage provided by Sustainability Victoria as follows:



Appendix D Terms and Abbreviations

In this OWMP, a term or abbreviation has the following meaning unless indicated otherwise:

TERM	ABBREVIATION	DEFINITION
Equipment		
Bin (Refuse Bin)		A plastic or steel container for disposal and temporary storage of waste or recycling items. Various types and sizes exist for different items and purposes. Examples include residential unit bins, bulk bins, MGB, steely bins and specialised for medical waste or cigarette butts.
Bin Storage Area		An enclosed area designated for storing on-site refuse bins or a refuse compactor within the property.
Bulk Bin		A galvanized or steel bin receptacle that is greater than 360L in capacity generally ranging from 1.00m ³ to 4.50m ³ used for the storage of refuse that is used for on-site refuse collection.
Bulk Mobile Garbage Bin	Bulk MGB	A plastic (polypropylene) receptacle that is greater than 360L in capacity generally ranging from 660L to 1100L used for the storage of refuse.
Collection Point		An identified position where refuse bins are stored for collection and emptying. The collection point can also be the bin storage area.
Compactor		A receptacle that provides for the mechanical compaction and temporary storage of refuse. It allows to reduce bin numbers and collection frequency.
Composter		A container or machine used for composting specific food scraps and/or organic materials.
Food Waste Recycling System		Defined as a vacuum or pump-based system for shredding, macerating, or pulping of food waste. The food waste is transferred through pressure (service) pipes to sealed liquid storage tanks.
Green Waste		All vegetated organic material such as small branches, leaves and grass clippings, tree and shrub pruning, plants and flowers.
Liquid Waste		Non-hazardous liquid waste generated by commercial premises should be connected to sewer or collected for treatment and disposal by a liquid waste contractor (including grease trap waste).
Mobile Garbage Bin	MGB	A plastic (polypropylene) bin or bins used for the temporary storage of refuse that is up to 360L in capacity and may be used in kerbside refuse collection or on-site collection.
Putrescible Waste		Putrescible waste is the component of the waste stream liable to become putrid and usually breaks down in a landfill to create landfill gases and leachate. Typically applies to food, animal and organic products.
Recycling		Recycling contains all material suitable for re-manufacture or re-use, e.g. glass bottles and jars; plastics such as PET, HDPE and PVC; aluminium aerosol and steel cans and lids; milk and juice cartons; soft drink, milk and shampoo containers; paper, cardboard, junk mail, newspapers and magazines.
Refuse		Refuse is material generated and discarded from residential and commercial buildings including general waste, recyclables, green waste and bulky items.
Refuse Storage Room		An area identified for storing on-site MGBs or Bulk Bins within the property.
Refuse Trolley		A cart on wheels that can be used to collect smaller quantities of refuse from different areas or rooms of a building or site, and wheel the collected refuse to a (bulk) bin storage area where it is disposed. Refuse trolleys are commonly used in hotels or offices.
Regulated Waste		Regulated waste is waste prescribed under legislation as regulated waste.
Transfer (Manual Transfer)		Manual transfer means physical transfer of refuse material and associated bulk bins or trolleys without assistance.
Waste		Waste is referred to as refuse material with the exclusion of recycling, green waste, hazardous waste, special waste, liquid waste and restricted solid waste.

TERM	ABBREVIATION	DEFINITION
Waste (General Waste)		General waste is generally referred to as material free of any actual or apparent contamination such as pathological / infectious, radioactive materials and / or hazardous chemical. Reporting use is for material considered to be free of food waste.
Wheelie Bin		A MGB of up to 360L, usually with two wheels for easy transfer. A common type is a 240L wheelie bin used for kerbside collection in many residential areas.
Measures		
Cubic Metre	m ³	Volume in cubic metre(s) related to refuse management equipment.
Ground Floor Area	GFA	The GFA of all storeys of a building is measured from the outside of the external walls or the centre of a common wall. It is commonly measured in square metres.
Kilogram	kg	Kilogram(s) related to refuse weight.
Litre	L	Litre(s) related to refuse volumes.
Square Metre	m ²	Square metre(s) related to refuse areas.
Ton	T	Ton(s) related to refuse weight.
Collection Vehicles		
Body Truck		A conventional heavy vehicle with a covered loading area. It is generally not specifically designed for emptying the content of bins into the truck during refuse collections, but can be used to carry entire (full) bins for servicing by bin swap-over.
Refuse Collection Vehicle	RCV	A vehicle specifically designed for collecting and emptying refuse bins and refuse compactors.
Rear-End-Loading Refuse Collection Vehicle	REL RCV	A truck specially designed to collect municipal solid waste and recycling, typically 240L wheelie bins to 1100L bulk bins, from rear loading mechanism and haul the collected waste to a solid waste treatment facility.
Tank Truck		An RCV that is specifically designed to collect liquid wastes such as waste cooking oil and food waste pulp. The waste is typically pumped from a waste storage tank into the truck via a hose. Liquid waste management equipment is often provided by the contractor who collects the waste and operates the truck.



Ac



PROJECT: 13B Sharnet Circuit, Pakenham
Proposed Place of Assembly

SUBJECT: Application No. T250161PA
Acoustic Report

CLIENT:

DATE: 4 July 2025

REPORT NO.: DL1882-1

Reference	Description	Originator	Date	Comments
DL1882-1	Issue B	DL	4/7/25	PDF copy



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Planning Application: T250161
Date Prepared: 09 February 2026

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1 INTRODUCTION

This report has been prepared in relation to an application to use the land at 13B Sharnet Circuit, Pakenham, Victoria for a place of assembly.

The subject site is located at the 13 Sharnet Circuit, Pakenham, Victoria within an established industrial area. The subject site consists of 2 lots, lot 1 being 13A Sharnet Circuit and lot 2 being 13B Sharnet Circuit. This application concerns the use of the existing vacant warehouse building on lot 2 for a place of assembly.

In particular, this report addresses Council's request for information (RFI) relating to a requirement for an Acoustic Report to support the application as follows:

Acoustic report

2. *An acoustic report prepared by a suitably qualified professional.*

Note: this information is requested if the above item at 1.f.v. applies.

Item 1.f.v is as follows:

v. *Whether the proposal features entertainment, or background, amplified, live or recorded music, or includes the use of any public announcement systems.*

In preparation of this report, Acoustic Control Pty Ltd carried out the following work:

- Reviewed town planning drawings prepared by the project Architect (VAASTU Pty Ltd) and Town Planning Report prepared by Connect Town Planning
- Visited and inspected the site on Saturday 7th June 2025 and then again on the following Saturday 14th June 2025 (both occasions during day time hours)
- Conducted noise testing of the warehouse space with an amplified music system set up within the space to simulate the music levels expected during special events and festivities.
- Conducted attended and unattended noise monitoring at the subject site to assess existing background noise levels
- Determined noise protocol limits to be achieved at the nearest residential properties
- Conducted noise predictions/calculations in relation to music noise emissions from warehouse building
- Developed appropriate noise mitigation measures to enable compliance with noise control guidelines and regulations

Appendix A contains a glossary of some of the acoustic terminology used throughout this report.



2 SITE DESCRIPTION

The subject site is located at the 13 Sharnet Circuit, Pakenham, Victoria within an established industrial area. The subject site (Lot 2) is triangular in shape, bounded by the Pakenham railway line on the northern side, Deep Creek on the south western side and by Lot 1 on the south eastern side.

The natural topography of the land is such that the industrial site is relative flat at +21 ADH and rises to approximately +30 ADH at the nearest residential area to the north east.

The nearest noise sensitive locations to the proposed development have been identified as follows:

- Existing residential properties to the north east, the nearest being approximately 190m away from the warehouse building (36 Pinehill Drive, Pakenham)

There are also existing residential properties to the north west, but these are further away at approximately 440m away from the warehouse building.

The aerial photo (figure 2.1) below shows the subject site and surrounding area.

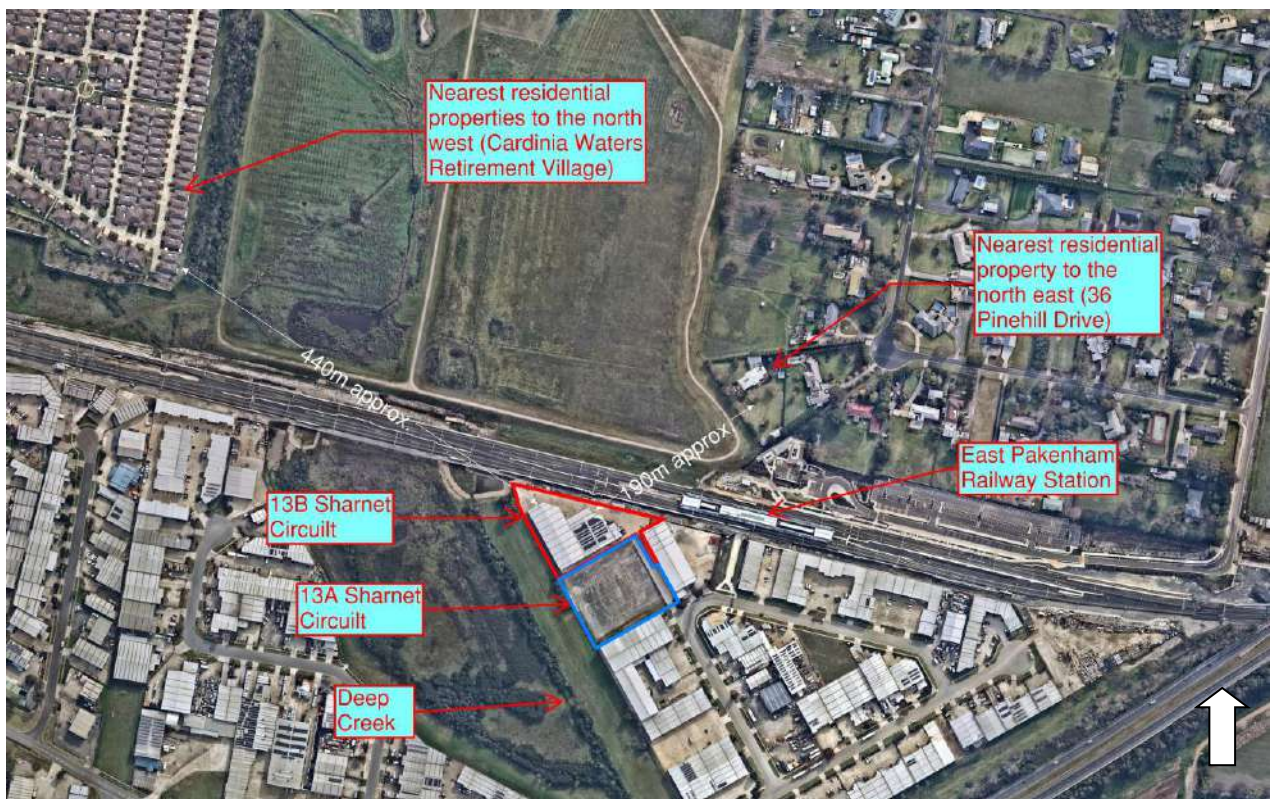


Figure 2.1 – Site aerial photograph (source: nearmaps)

The subject site is Industrial 1 Zoned land (IN1Z). Refer to the land zoning map (figure 2.2) below.

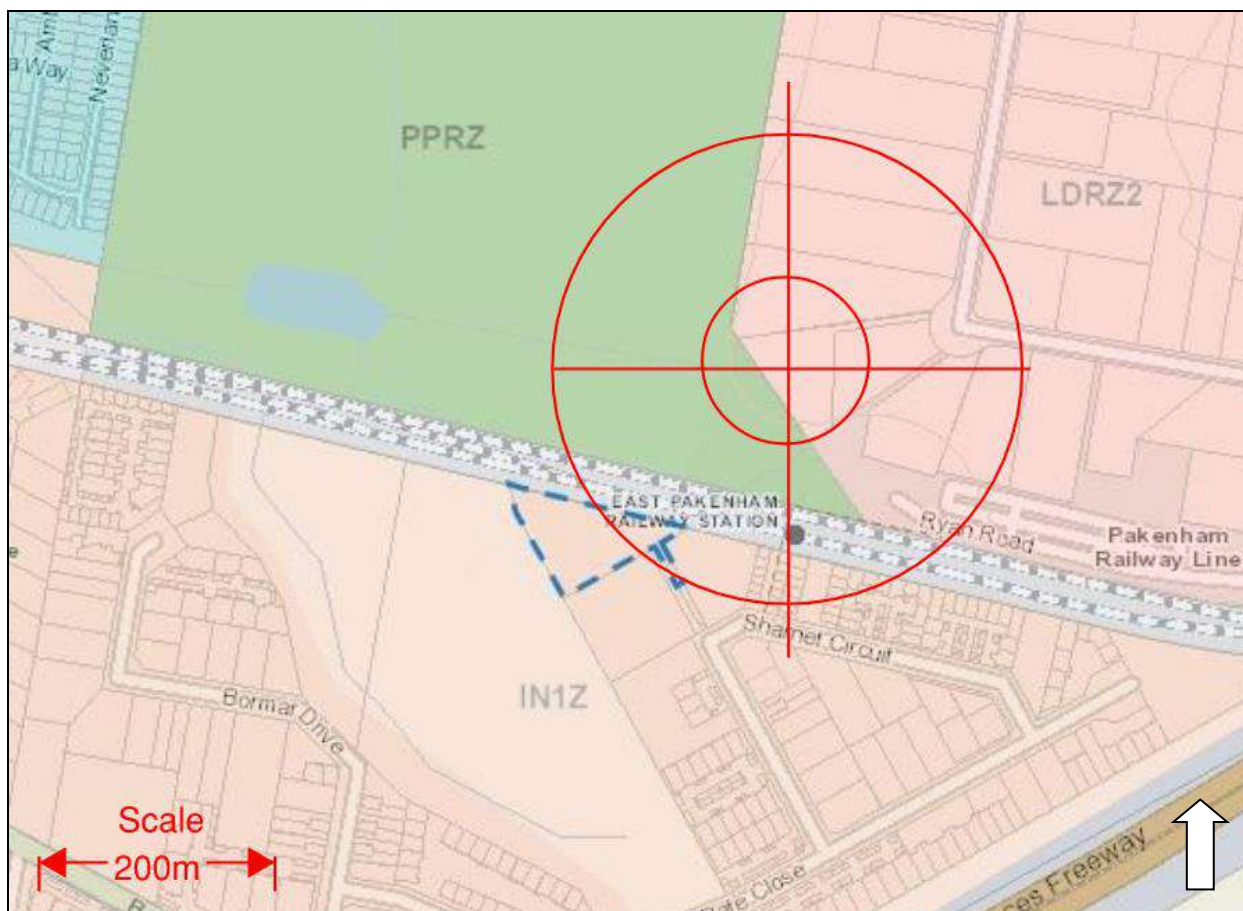


Figure 2.2 – land zoning map (note the noise protocol concentric circles have been overlaid on the map)

Refer to appendix B showing the proposed plan for the subject site prepared by VAASTU Pty Ltd.

3 PROPOSED USE

The proposed use of the land is for a place of assembly for the Shree Umiya Temple Melbourne. This organisation serves the Indian-Australian community with the primary goal to preserve and promote Indian Cultural values, provide spiritual guidance and support the well-being of their members.

The temple will serve as a central hub for:

- Religious functions, prayers and cultural festivities
- Yoga, meditation, and well-being activities
- Community events, weddings, and social gatherings
- Educational programs and community support services

The following table sets out the proposed two primary components of the uses.



Table 3.1 – Proposed hours of operation

Use	Services	Operation Days	Hours of operation	Approx. patrons
Place of Assembly	Normal services	Monday – Friday	9.00am to 11.00pm	Up to 100
		Saturday & Sunday	10.00am to 11.00pm	Up to 100
	Special events	Saturday & Sunday	10.00am to 11.00pm	Up to 750

It is proposed to utilise the existing warehouse building and associated facilities for the use of the temple. Car parking will be provided on the subject land, including additional parking on lot 1 (13A Sharnet Circuit).

Refer to appendix B showing the proposed plan for the subject site prepared by VAASTU Pty Ltd.

The existing warehouse building consists of typical warehouse construction as follows:

- Concrete slab
- Precast concrete low walls (approx. up to 2.4m)
- Metal cladding on upper walls
- Metal roof with transparent sections for natural light
- Large roller doors on various sides

Refer to figures 3.1 – 3.3 showing images of the existing warehouse (internal and external).



Figure 3.1 – Inside warehouse, western side, looking from the northern end





Figure 3.2 – Inside warehouse, eastern side, looking from the south end



Figure 3.3 – External warehouse, western side, NW elevation

4 BACKGROUND NOISE SURVEYS

4.1 Unattended noise logging

Unattended noise logging was conducted at the subject site to establish existing background noise levels in the area. The noise logger was deployed at the northern end of the subject site, adjacent to the western boundary. This location was deemed an acceptable 'derived point' location for the assessment of background noise relevant at the nearest residences to the north east. Refer to figure 4.1.1 below.

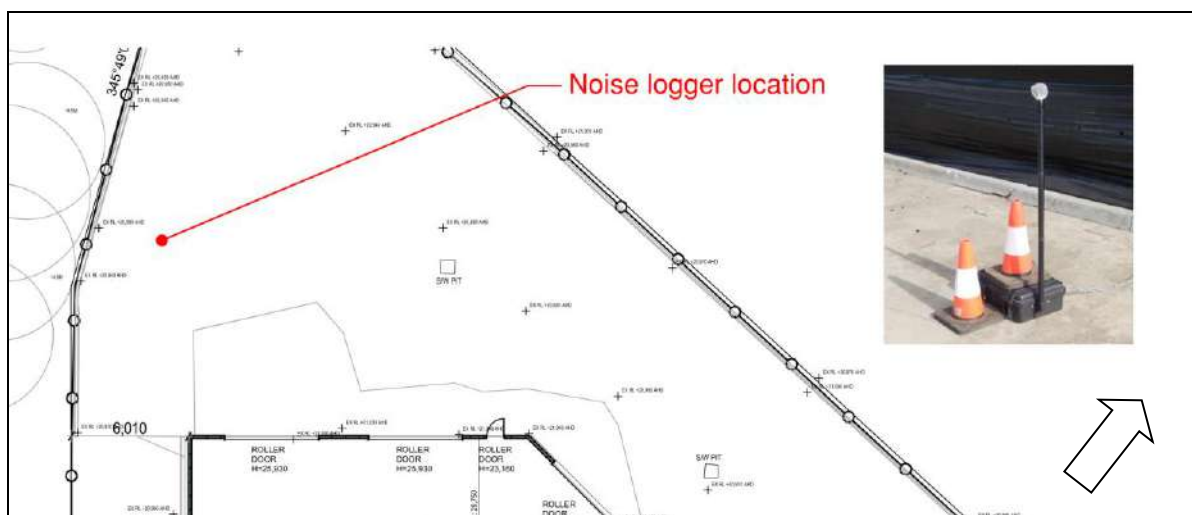


Figure 4.1.1 – Noise logger location

The noise logging was carried out from Saturday 7th June 2025 to Friday 13th June 2025 using a type 1 precision sound level meter (SVAN 979) set to measuring 15 minute statistics continuously over a 24 hour period. The noise logging results were as follows:

Table 4.1.1 – background noise monitoring results

	Average L ₉₀ dB(A)		
	Day	Eve.	Night
Sat, 7/6/25	-	45	36
Sun, 8/6/25	41	41	39
Mon, 9/6/25	48	43	41
Tues, 10/6/25	47	45	41
Wed, 11/6/25	44	44	43
Thurs, 12/6/25	47	47	46
Fri, 13/6/25	46	48	-
Lowest recorded average	41	41	36



Refer to Appendix C showing a plot of the noise monitoring results.

4.2 Attended/manned surveys

Short term (attended) noise measurements were also carried out on Saturday 14th June 2025 during the day at the following locations:

1. Pinehill Drive, outside no. 36A
2. Pinehill Drive, outside no. 40
3. Subject site, northern end, adjacent to western boundary (logger location)

The results were as follows:

Table 4.2.1 Attended/manned survey results

Location #	Description	Date	Time	L _{Aeq}	L _{A10}	L _{A90}
1	Pinehill Drive, #36A	14/6/25	11:49-12:04	48	51	41
2	Pinehill Drive, #40	14/6/25	12:05-12:13	51	49	42
3	Subject site, northern end	14/6/25	12:35-12:45	45	44	41

Readings were sampled over a 10-15 minute period, long enough to establish a steady, non-fluctuating L₉₀ reading.

5 NOISE CONTROL GUIDELINES AND REGULATIONS

5.1 General environmental duty

New environment protection legislation – the *Environment Protection Act 2017* as amended by the *Environment Protection Amendment Act 2018* (the new EP legislation) came into effect on 1 July 2021. The new EP legislation introduces a new approach to environmental management for Victoria, focusing on preventing pollution impacts rather than managing those impacts after they have occurred. The cornerstone of the new EP legislation is the general environmental duty (GED). The GED requires Victorians to understand and minimise their risks of harm to human health and the environment from pollution and waste (including noise).

The GED is defined as follows: "A person who is engaging in an activity that may give rise to risks of harm to human health or the environment from pollution or waste must minimise those risks, so far as reasonably practicable."

Reasonably practicable means putting in controls that are proportionate to the risk. It relates to the chance of harm occurring and potential impacts on the environment. It also relates to what controls are available, their cost, and considers what an industry generally knows about the risk and control options.

5.2 Environment Protection Regulations 2021

Noise emissions from the subject site must comply with the Environment Protection Regulations 2021. This regulation requires noise emission levels to comply with limits determined in accordance with *Noise limit and assessment protocol for the control of noise from commercial, industrial and trade premises and entertainment venues, part 1 and part 2* (Noise Protocol).

5.2.1 Mechanical plant

Noise emissions from mechanical plant such as exhaust fans, air conditioning units etc. must comply with noise limits determined in accordance with *Noise limit and assessment protocol for the control of noise from commercial, industrial and trade premises and entertainment venues, part 1*.

For this site, the noise limits shall be determined using the ‘urban area method’ described in the Noise Protocol.

The method specified in the Noise Protocol for determining the noise limits takes into account the land zoning of the area, the time of day and the background noise level of the area (if this is deemed relevant).

The day, evening and night periods, as defined by the Environment Protection Regulations 2021, are as follows:

<u>Day</u>	Monday-Saturday	7am - 6pm
<u>Evening</u>	Monday-Saturday	6pm - 10pm
	Sunday, Pub. Hols.	7am - 10pm
<u>Night</u>	All days	10pm - 7am



The noise limits are calculated by first determining the Zoning levels for each period (using method in clauses 7 to 15 of the Noise Protocol) and then assessing the background levels in accordance with clauses 39 to 51 of the Noise Protocol. The noise limits are then determined based on whether the background levels are neutral, low or high.

The noise limits (mechanical plant) applicable at the nearest residential property to the north east (36 Pinehill Drive, Pakenham) have been determined as follows:

Table 5.2.1.1

Period	Zoning level	Neutral range	Background level*	Noise Limit
Day	51	39-45	41 dB(A) L90	51
Evening	45	36-42	41 dB(A) L90	45
Night	40	31-37	36 dB(A) L90	40

* Based on background noise monitoring results obtained at the subject site. Refer to section 4 (background noise surveys) detailing background noise level measurement results.

5.2.2 Music Noise

Music noise from the warehouse building will be required to comply with noise limits determined in accordance with *Noise limit and assessment protocol for the control of noise from commercial, industrial and trade premises and entertainment venues, part 2*.

Noise Protocol limits are defined as follows:

Day & evening periods	L_{Aeq} music level not to exceed L_{A90} background + 5 dB
Night period	L_{Oct10} music level not to exceed L_{Oct90} background + 8dB.

Day and evening periods are defined as follows:

Day and Evening	Condition	Time period
Monday to Saturday	Other than public holiday	7am to 11pm
Sunday or public holiday	Other than if either is preceding public holiday	9am to 10pm
Sunday or public holiday	If either is preceding public holiday	9am to 11pm

Night period is defined as follows:

Night	Condition	Time period
Monday to Friday	Other than public holiday or a day preceding a public holiday	11pm to 7am
Saturday or any day preceding a pub. hol.		11pm to 9am
Sunday or public holiday	If neither is preceding public holiday	10pm to 7am

For the purpose of determining the effective noise level, the measurement must be made at a time when the greatest intrusion of music noise into a noise sensitive area is likely to occur, and include at least 15 cumulative minutes of music audible at the measurement point. The music noise is measured as follows:

- for the day and evening period using the Fast time weighting and the A-frequency weighting network;
- for the night period using the Fast time weighting, and the linear weighting network.

Similarly, for the purpose of determining the applicable noise limits, the limits should be based on the relevant background noise levels at the time of when the greatest intrusion of music noise into a noise sensitive area is likely to occur. This means that for the day/evening period operation, the noise limits should be based on the evening period background level. For the night period, the noise limits should be based on background levels relevant to the night time period operation. In this case, the 1-hour period between 10pm and 11pm on Sundays extends into the night period.



Based on the background noise monitoring results, the following background noise levels were used for the purpose of determining the music noise limits applicable at the nearest residential areas to the north east.

Table 5.2.2.1 - background noise levels for the purpose of determining music noise limits

Day/Evening period	41 dB(A) L90						
Night period	Octave band background level, L _{oct} 90 dB						
	63Hz	125Hz	250Hz	500Hz	1kHz	2KHz	4KHz
	44	37	35	36	36	28	16

The noise limits (music) applicable at the nearest residential properties to the north east have been determined as follows:

Table 5.2.2.2 – Music noise limits

Day/hours of operation	Applicable time period limit	Music Noise Limit
Mon-Fri, 9am-11pm	Day & Evening limit applies	46 L _{Aeq}
Saturday 10am-11pm	Day & Evening limit applies	46 L _{Aeq}
Sunday, 10am-10pm	Day & Evening limit applies	46 L _{Aeq}
Sunday, 10pm-11pm	Night period limit applies	Octave band music limit, L _{oct} 10 dB 63Hz 125Hz 250Hz 500Hz 1kHz 2KHz 4KHz 52 45 43 44 44 36 24

6 ACOUSTIC TESTING

Acoustic testing was carried out on Saturday 7th June 2025 during the day to test the noise reduction across the various warehouse roller doors on the north elevation (western side warehouse).

The tests were carried out with the client's public address (PA) system set up at the south end of the warehouse (western side) operating a music program source (Indian music). The tests involved operating the PA system at near maximum level setting (on the verge of amplifier/speaker clipping) and taking corresponding readings inside and outside the warehouse.

The data collected from the acoustic testing was used to predict noise emission levels to the nearest residential receiver location.

The data obtained from the testing are presented appendix D.



7 NOISE CALCULATIONS

Calculations of music noise emissions were carried out to determine the maximum compatible music levels permitted inside the building to achieve compliance with the noise limits set out in table 5.2.2.2.

Two (2) scenarios were considered for assessment purposes:

1. PA system placed in the warehouse on the western side, at the south end (for special events utilising the west side warehouse only)
2. PA system placed in the warehouse on the eastern side, at the south end (for special events utilising the east side warehouse only)

For each scenario, noise calculations to the nearest residence to the north east (36 Pinehill Drive) were carried out with the north roller doors open and closed. The calculation results are presented in table 7.1 below.

Table 7.1 – Noise calculation results (music)

Scenario	Ref. noise level inside at 10m from speakers (front)	Average level inside warehouse	Calculated noise level at nearest residence to the north east, 36 Pinehill Drive, Pakenham		Comments
			North roller doors open	North roller doors closed	
West warehouse operation	92 dB(A) Leq	88 dB(A)	51 dB(A) Leq	41 dB(A) Leq	North roller doors will need to be closed for compliance.
East warehouse operation	92 dB(A) Leq	88 dB(A)	52 dB(A) Leq	41 dB(A) Leq	North roller doors will need to be closed for compliance.

Notes:

1. Calculation results were based on spreadsheet and computer noise modeling using SoundPlan Essential 2.0 using data obtained from the site acoustic tests.
2. Placement of the PA system shall not be limited to the scenarios considered, but rather a basis for the development of noise control recommendations (see section 8), in particular to the use of the north roller doors



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8 RECOMMENDATIONS

8.1 Music noise

Normal services

For normal services, there will be no special noise control requirements. Normal services include the following events:

- Religious functions and prayers
- Yoga, meditation, and well-being activities
- Educational programs and community support services



It is expected that normal services will not require a large PA system for amplified speech or music as these services will have small to moderate patron numbers of up to 100.

The existing warehouse building will provide sufficient noise attenuation. Roller doors may also be opened as required for fresh air ventilation.

Special events

For special events such as cultural festivities, weddings, large social gatherings where patron numbers are proposed to be up to 750, some noise mitigation measures will be required to meet the noise limits. Special events will require the use of the in-house (client owned) PA system to cater for amplified speech and recorded music requirements. The PA system comprises predominantly of 1x left and 1x right speaker 'stack' consisting of a low frequency speaker cabinet and a mid-high frequency speaker cabinet.

Shree Umiya Temple Melbourne have indicated that for such events, they may use either the west or east side of the warehouse. The set up position of the PA system is flexible as it is not a fixed, permanent in-house system.

No building upgrades or sound insulation treatments will be required for noise control purposes, however several noise mitigation measures are recommended to comply with the requirements of the GED and Environment Protection Regulations 2021. The following measures are recommended:

Hours of operation

It is recommended that all special events operate within the day/evening time periods as follows:

- Monday to Friday: 9am-11pm
- Saturday (or any day preceding a public holiday): 10am-11pm
- Sundays: 10am - 10pm (or amplified music to cease at 10pm)

PA system location

Some possible locations for the PA set-up are shown in figure 8.1 below (denoted as PA W1-3 and PA E1-3). All locations would be acceptable, however only one of the warehouse sides (either the west or east warehouse section) should be used at any one time and only one PA set-up should be used (not multiple set-ups).

PA system noise limit

The music noise level for the PA system should be limited to 92 dB(A) Leq when measured at a reference distance of 10m in front of the PA speaker system.

There are a number of ways a PA system can be limited including the use of electronic limiting devices, dB level indication devices, physical controls on equipment hardware etc., however ultimately the responsibility will lie with the system operator to properly and sensibly manage the music level.

It is recommended that prior to use, the applicant engage an acoustic engineer to establish the appropriate settings of the equipment and install physical locks on the volume controls or install an electronic limiting device to limit the PA system to the required setting.

North rollers doors

The respective north roller doors should be closed during special events where the PA system is used for speech and music i.e. for the west side warehouse operation, roller doors 1-4 should be closed and for the east side warehouse operation, roller doors 5-7 should be closed. Roller doors on the south and west sides (roller doors 8-10) can be opened for ventilation. Refer to figure 8.1 below.

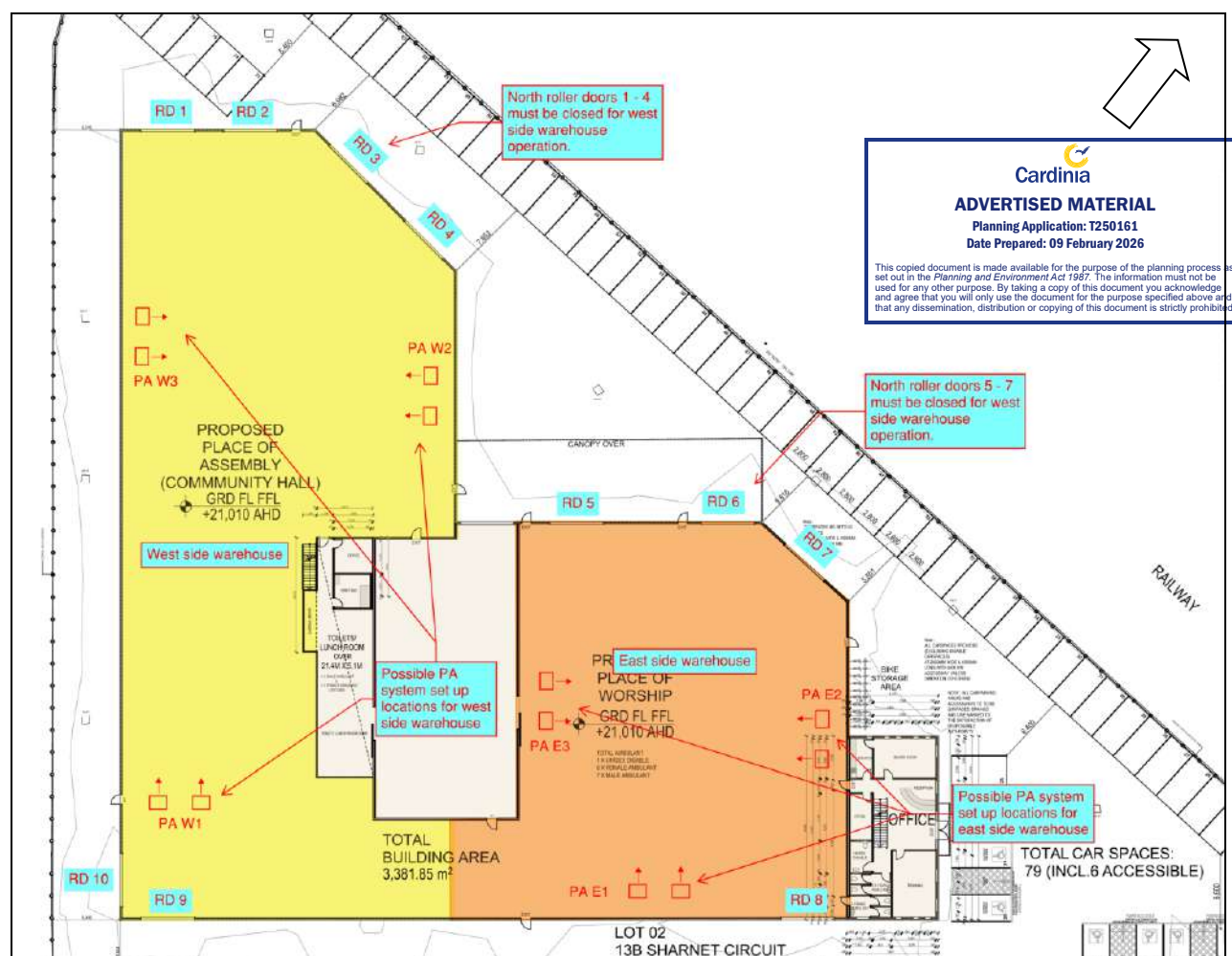


Figure 8.1 – PA system set-up locations

8.2 Mechanical plant

There are no proposed additions or modifications in respect to mechanical plant. However, if supply and/or exhausts fans are required to provide mechanical ventilation due to the requirement to keep the north roller doors closed during special events, the design and installation of such fans should be in accordance with advice from a mechanical consultant with consideration to noise control as follows:

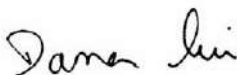
- Fans should be located on the roof
- Fans should be in-line fans (not roof mounted style fans)
- Acoustic ductwork should be provided on the inlet and outlet sides of the fan to comply with noise protocol limits at the nearest residences (see table 5.2.1.1)

9 CONCLUSION

Based on the findings of this study, the following is concluded/recommended:

- Noise emissions from the subject site are required to comply with the GED and Environment Protection Regulations 2021. This regulation requires noise emission levels to comply with limits determined in accordance with Noise Protocol (part 1 and part 2). The applicable noise limits for this site shall be the limits set out tables 5.2.1.1 and 5.2.2.2 of this report, to be achieved at the nearest residential property to the north east (36 Pinehill Drive, Pakenham).
- The primary noise concern for the proposed use relates to music noise emissions during special events. These events require the use of a PA system to provide amplified speech and recorded music.
- No building upgrades or sound insulation treatments to the existing warehouse will be required for noise control purposes, however several noise mitigation measures are recommended to comply with the requirements of the GED and Environment Protection Regulations 2021. The measures required are detailed in section 8.1 of this report.
- There are no proposed additions or modifications in respect to mechanical plant. However, if supply and/or exhausts fans are required to provide mechanical ventilation due to the requirement to keep the north roller doors closed during special events, the design and installation of such fans should be in accordance with advice from a mechanical consultant with consideration to noise control as detailed in section 8.2 of this report.

Acoustic Control Pty Ltd



Darren Liu
Principal Consultant



APPENDIX A – ACOUSTIC TERMINOLOGY

Definitions And Descriptions



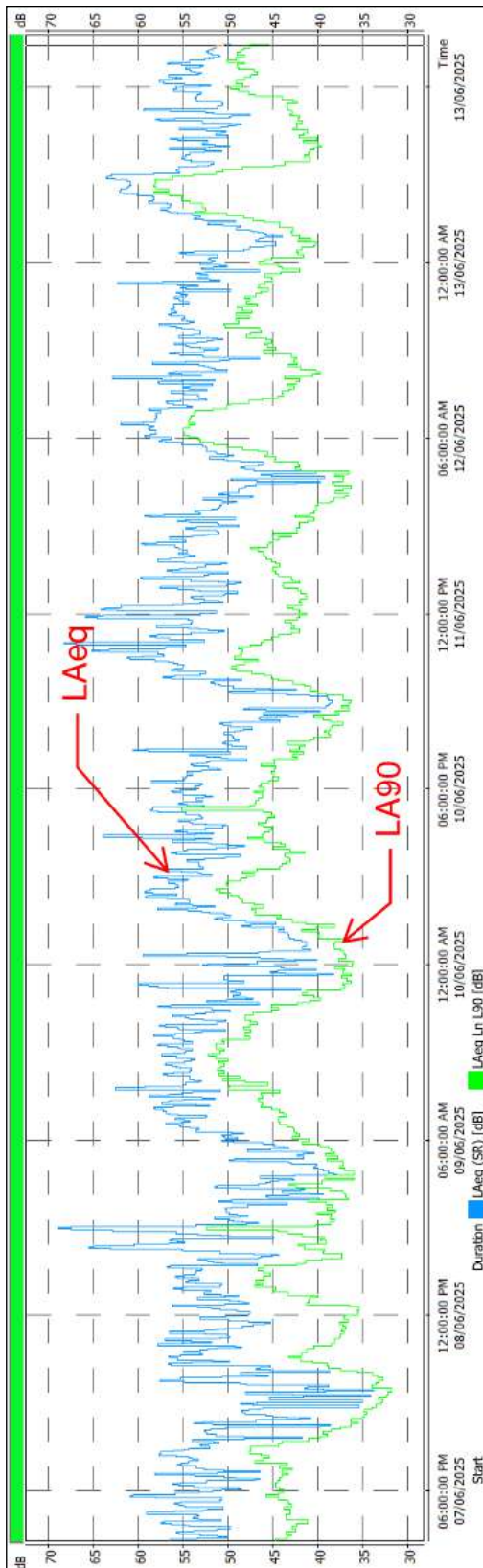
- dB(A)** Decibels recorded on a sound level meter which has had its frequency response modified electronically to an international standard to quantify the average human loudness response.
- L₉₀ dB(A)** The noise level exceeded for 90% of the measurement duration. The L₉₀ noise level is indicative of the lower noise levels in a fluctuating noise environment and is often used to describe the background noise level in noise assessments.
- L₁₀ dB(A)** The noise level exceeded for 10% of the measurement duration. The L₁₀ noise level is indicative of the upper noise levels in a fluctuating noise environment and is often used to describe the typical maximum noise events.
- L₁ dB(A)** Commonly described as a value close to the maximum noise level observed but not the actual highest. Technically described as the noise level exceeded for 1% of the measurement duration.
- L_{eq} dB(A)** L_{eq} is defined as the equivalent sound level and is the continuous steady state sound level that would contain the same sound energy as the time-varying sound level being measured. In layman terms, it could be described as a special kind of sound level average. It is often the noise parameter used to assess environmental noise.
- L_{max} dB(A)** The maximum noise level observed in the environment.

Sound pressure level of some sources

<i>Sound pressure level (dB re 20 µPa)</i>	<i>Description of sound source</i>	<i>Typical subjective description</i>
140	Moon launch at 100 m; artillery fire, gunner's position	Intolerable
120	Ship's engine room; rock concert, in front and close to speakers	
100	Textile mill; press room with presses running; punch press and wood planers, at operator's position	Very noisy
80	Next to busy highway, shouting	Noisy
60	Department store, restaurant, speech levels	
40	Quiet residential neighborhood, ambient level	Quiet
20	Recording studio, ambient level	Very quiet
0	Threshold of hearing for normal young people	

Note: Table reproduced from 'Engineering Noise control' 2nd edition by David A. Bies and Colin H. Hansen

APPENDIX C – BACKGROUND NOISE MONITORING GRAPH



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APPENDIX D – ACOUSTIC TEST DATA

Table D.1 – Acoustic test data

Location	Description	L _{Aeq} [dB]	63 Hz	125 Hz	250 Hz	500 Hz	1000 Hz	2000 Hz	4000 Hz
1	at 10m from speaker stack	92.1	87.5	91.9	93.6	89.1	88	79.6	81.2
2	at 20m from speaker stack	89.7	85.5	89.7	90.5	87.7	85.4	79.2	76.5
3	at 30m from speaker stack	87.9	83.9	89	88.4	85.9	83.7	76.9	75.9
4	at 40m from speaker stack	87.2	80.2	86.4	87.8	85.4	82.8	76	73.7
5	at rear roller doors, approx 60m from speakers	87.7	81.1	85.2	87.2	87.3	83.2	76.5	72.7
6	RD4 at 10m, roller doors closed	64.1	74.9	68.9	65.6	63.7	57.7	50.1	47
6	RD4 at 10m, RDs 1-4 doors open	75.2	76.1	76.1	76.4	74.1	69.9	64	60.4
7	RD3 at 10m, roller doors closed	65	79.3	71.5	66.8	63.5	59.4	50.6	47
7	RD3 at 10m, RD3 and RD4 open	76.6	73.8	74.9	73.6	76.2	71.6	67.5	62.6
8	RD2 at 10m, RDs 1-4 open	77.7	75.6	74	77.2	75.7	74.9	65.1	60.8
9	RD2 at 20m, RDs closed	61.3	75.9	69.3	62.3	59.8	55.2	48.6	45.1
9	RD2 at 20m, all 4 doors open	78	73.1	73.2	76.8	76.3	74.8	66.5	61.6
10	RD1 at 20m, RDs closed	60.3	71.7	67.4	61.7	57.8	55.1	49	47.1
10	RD1 at 20m, all 4 doors open	74.5	78.3	73.8	76.6	73.1	68.5	64	61
11	Inside, 10m behind speaker stack	89.2	86.1	90.8	91.7	87	85.3	74.7	72.7
12	10m to side of speaker stack	87.8	89.9	91.9	88.9	85.6	83.3	76.4	73.7
13	25-30m to side of speaker stack	82.5	79.7	86.4	84	80.5	78	70.5	66.7
14	mid of east section	76.3	76.5	78.4	77.6	75.1	71.9	63.4	59
15	RD8 at 5m	68.5	75.1	76	71.2	66.6	62.8	54.2	51.2
16	RD8 at 10m, 45 degrees off axis	66.7	71.8	72.8	69.6	65.9	60.7	51.2	45.4

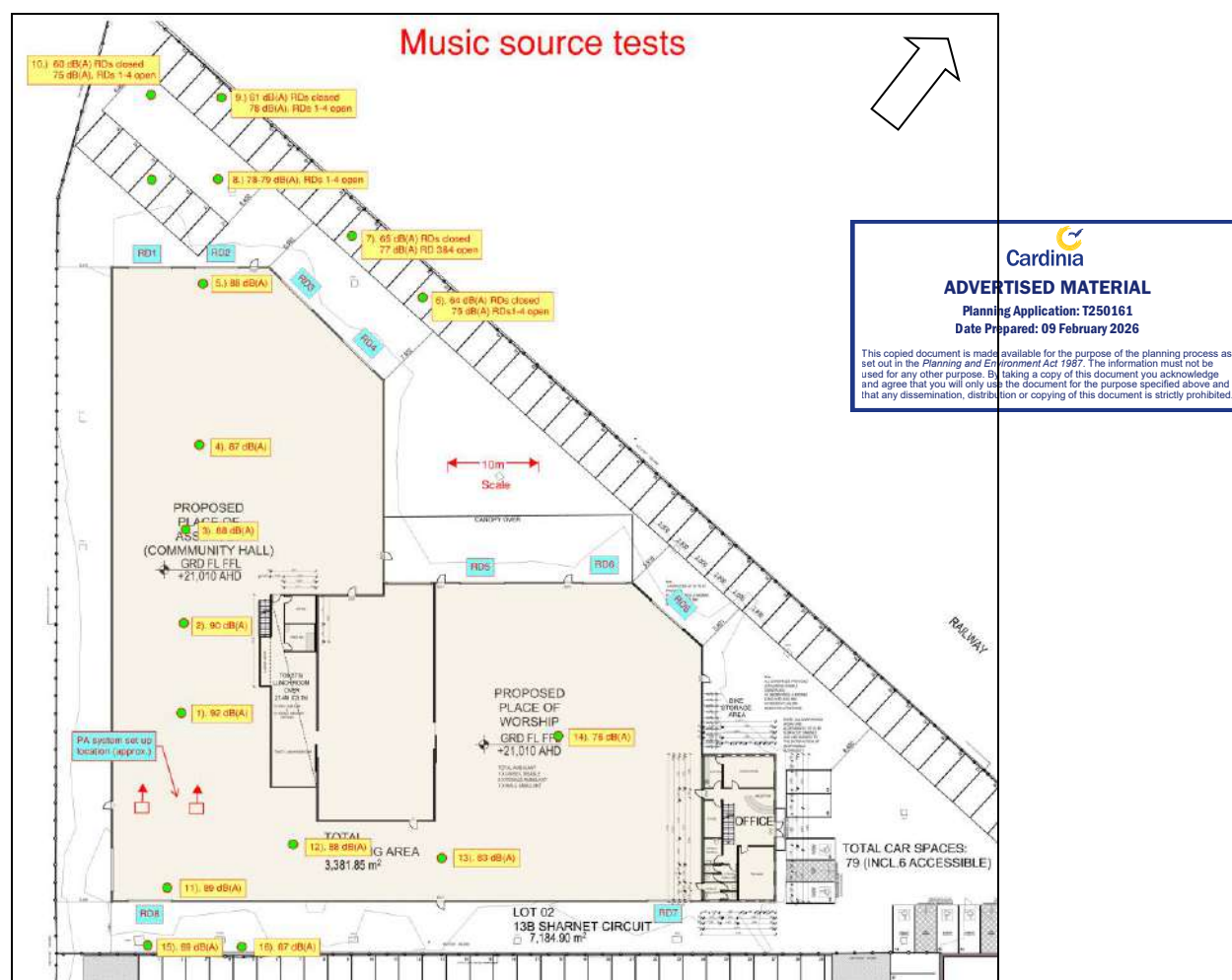
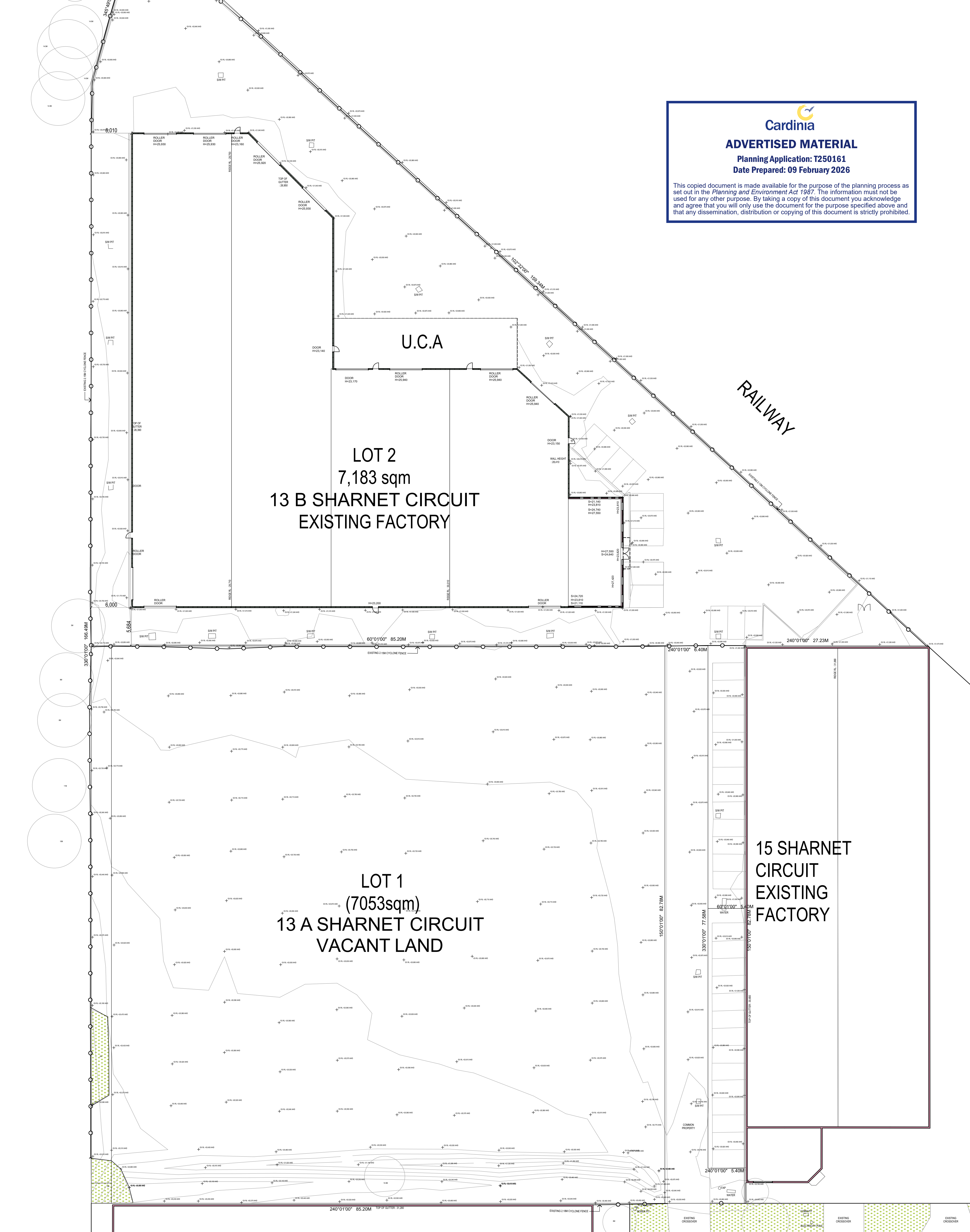


Figure D.1 – Acoustic data collection locations



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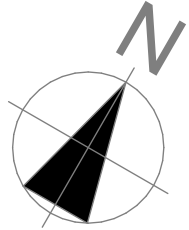
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NEIGHBOURHOOD AND SITE DESCRIPTION
ON A1 SCALE 1:250



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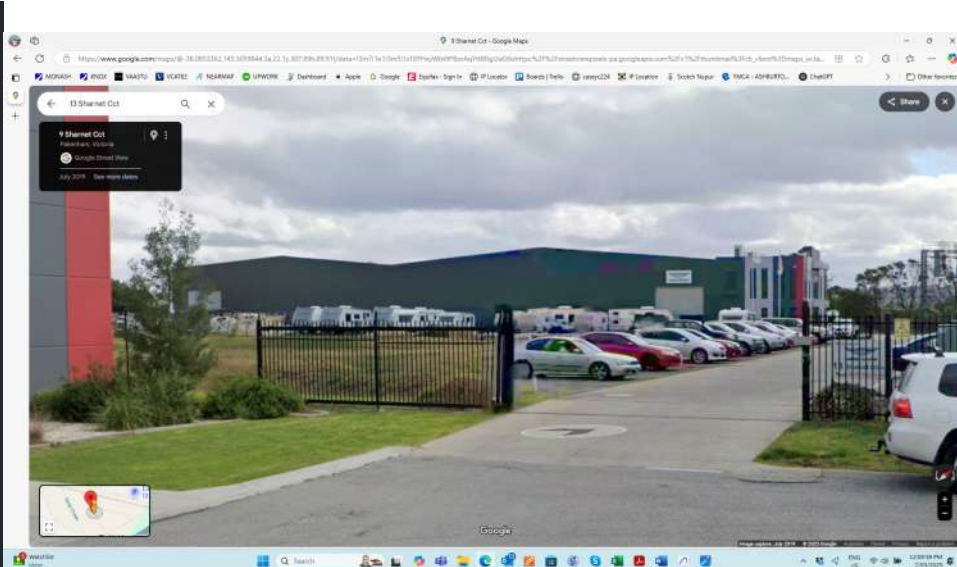
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12 - east elevation from 13A parking side ON A1 SCALE 1:4



13 - East elevation google view ON A1 SCALE 1:4



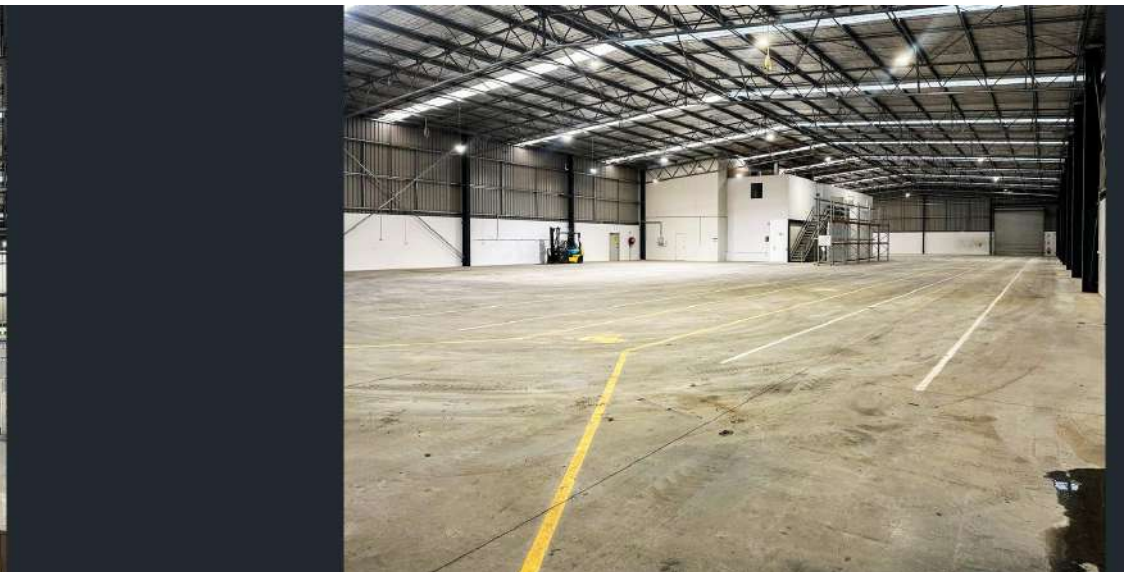
14 - Inside01 ON A1 SCALE 1:4



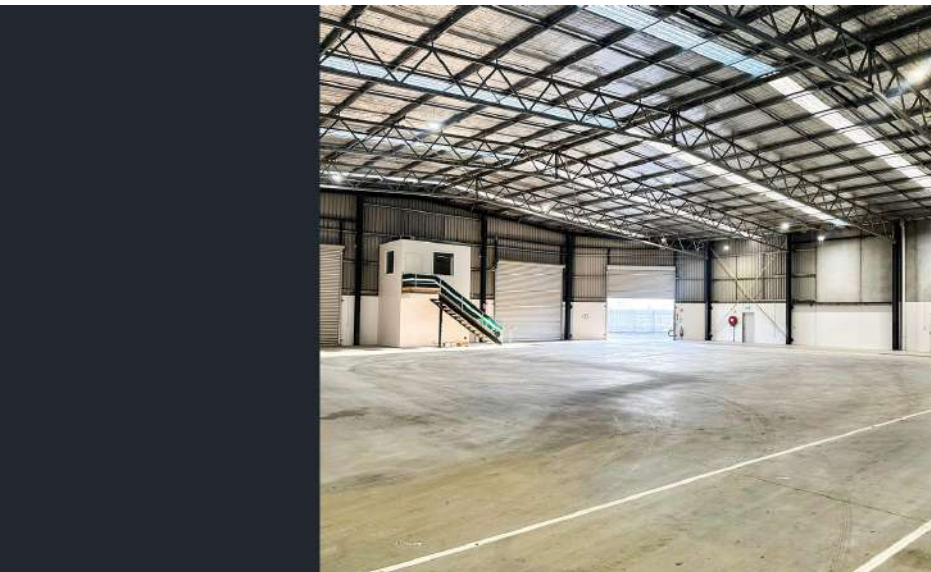
15 - Inside02 ON A1 SCALE 1:4



16 - inside03 ON A1 SCALE 1:4



17 - inside04 ON A1 SCALE 1:4



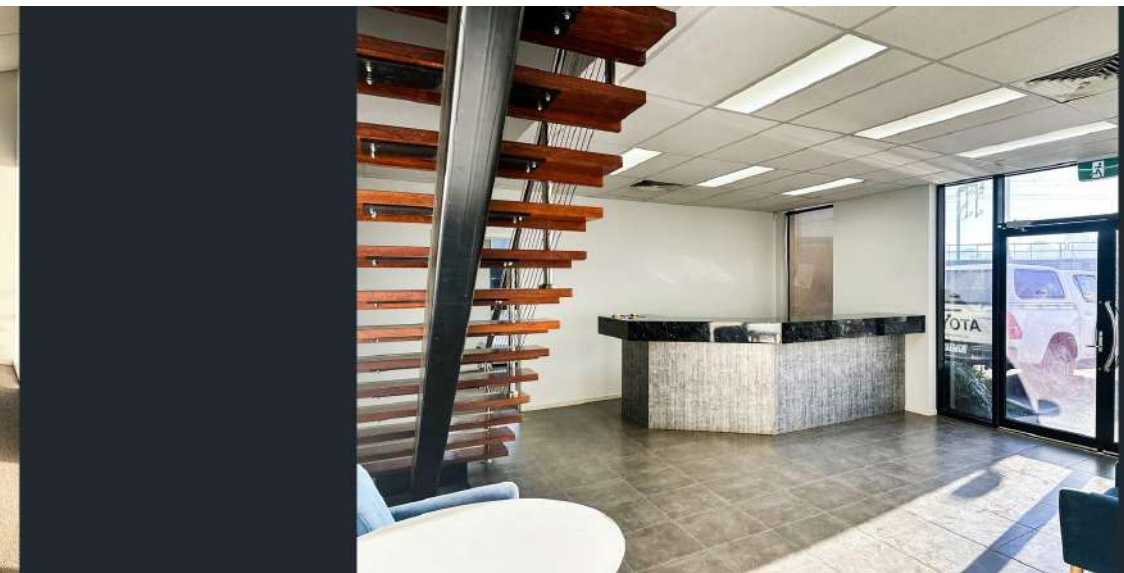
18 - inside05 ON A1 SCALE 1:4



19 - North View (trainline side) ON A1 SCALE 1:4



21 - Office inside (north entrance of building) ON A1 SCALE 1:4



22 - Office entry reception North side ON A1 SCALE 1:4



23 - Office level 01 north side ON A1 SCALE 1:4



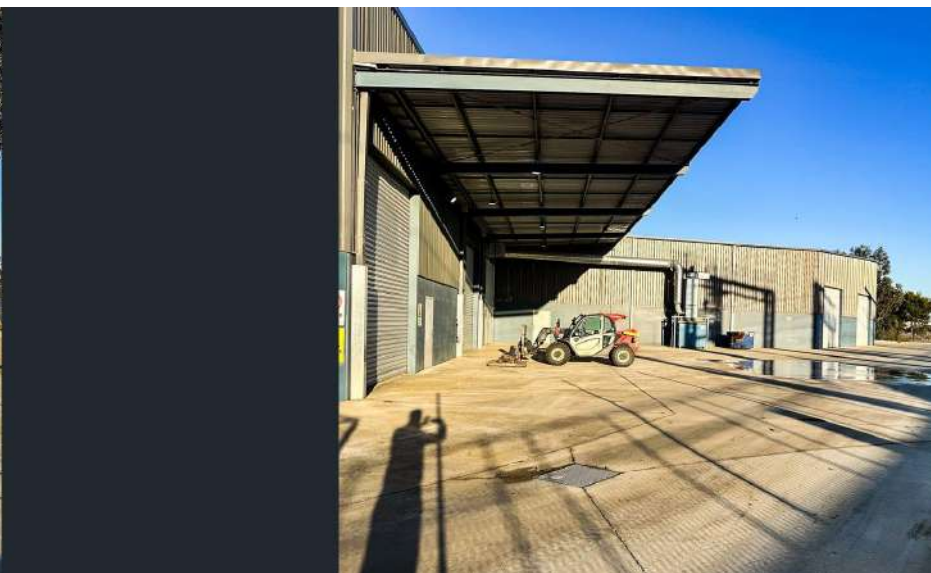
24 - West elevation(from middle) ON A1 SCALE 1:4



25 - Top view for roof plan ON A1 SCALE 1:4



26 - west (north)elevation ON A1 SCALE 1:4



27 - rear view East elevation ON A1 SCALE 1:4

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001_Existing Disable Toilet Ground



Male Urinals



Toilet Male & Female (2)



Toilet Male & Female



Female Toilet (2)



Female Toilet



Female



Male & Female



Male Toilet (2)



Male Toilet



Male

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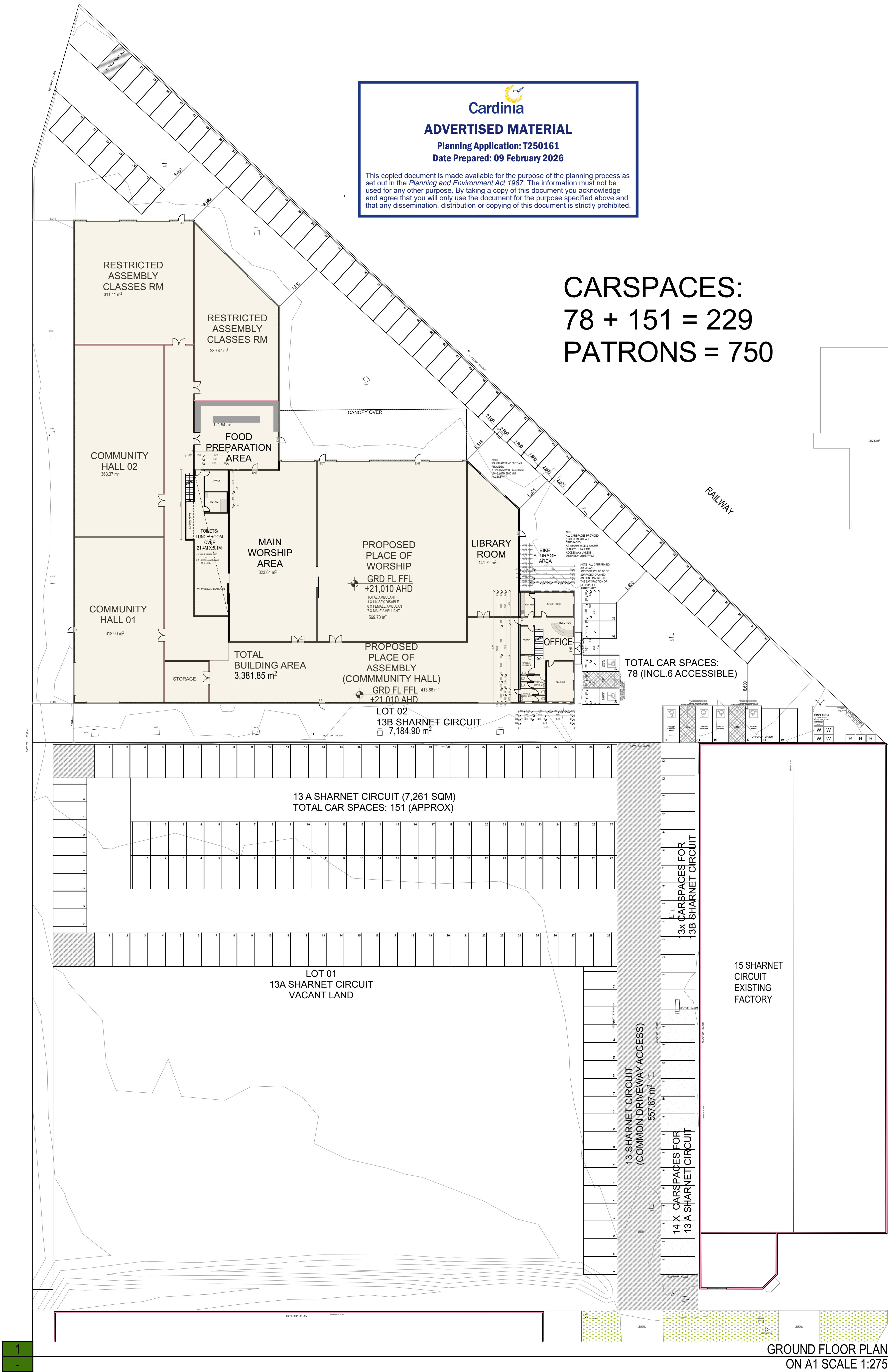
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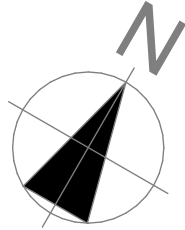
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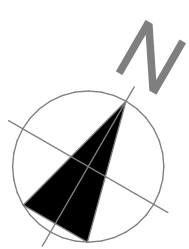
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ROOF PLAN
ON A1 SCALE 1:300

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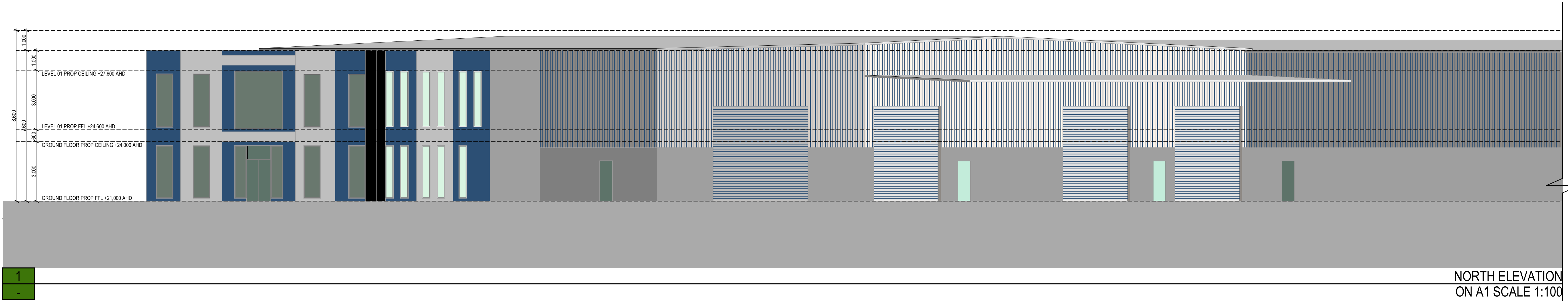


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Drawing Title ROOF PLAN	Drawing no. SD 2101	Issue B	

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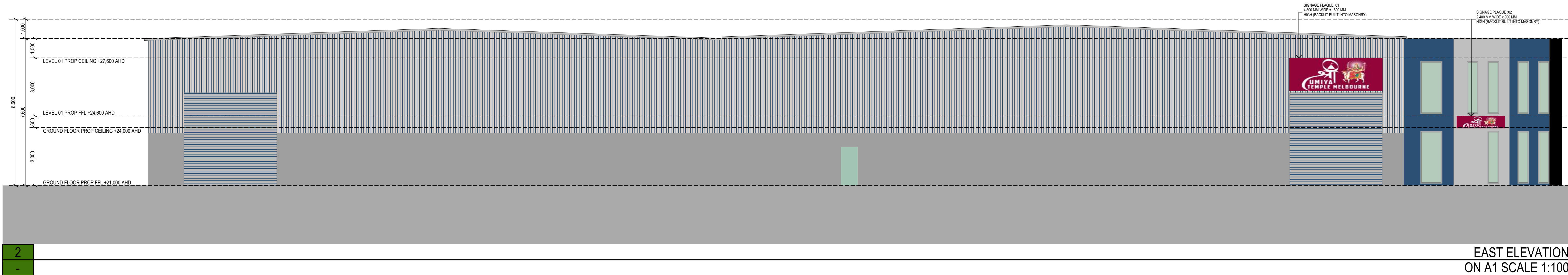
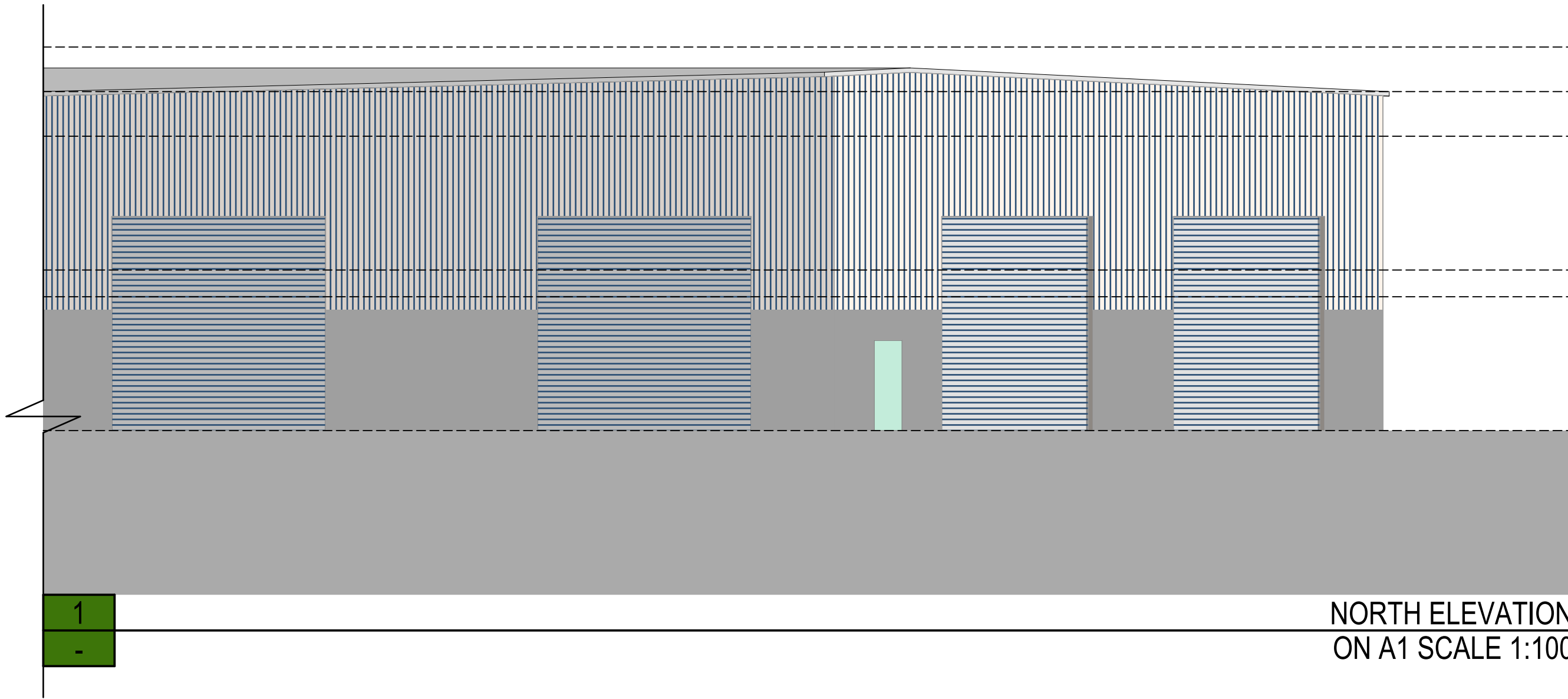


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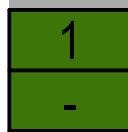
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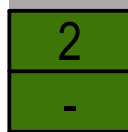
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WEST ELEVATION
ON A1 SCALE 1:100



SOUTH ELEVATION
ON A1 SCALE 1:100

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Client

Project Name and Location

13 LAE STREET, HEIDELBERG WEST VIC 3081

Drawing Title

ELEVATIONS

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