

# Notice of Application for a Planning Permit



The land affected by the application is located at:	L221 PS649678 V11462 F016 30 Solid Drive, Pakenham VIC 3810
The application is for a permit to:	Buildings and works for the construction of one dwelling
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a building or construct or carry out works
42.01-2	Remove vegetation

## APPLICATION DETAILS

The applicant for the permit is:	Smart Town Planning Pty Ltd
Application number:	T250586

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

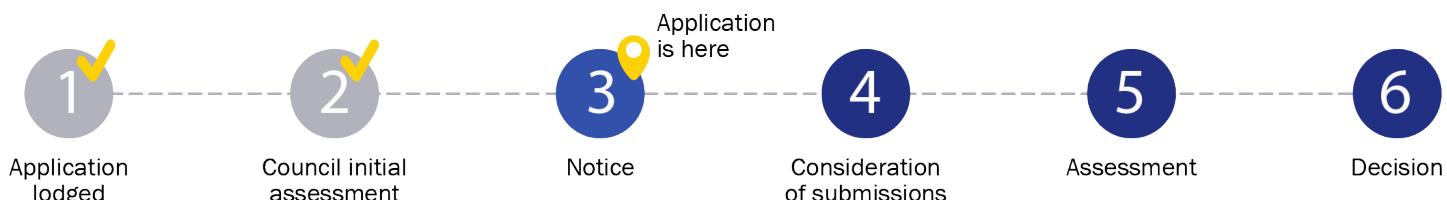
This can be done during office hours and is free of charge.

Documents can also be viewed on Council's website at [cardinia.vic.gov.au/advertisedplans](http://cardinia.vic.gov.au/advertisedplans) or by scanning the QR code.



## HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		06 February 2026
<b>WHAT ARE MY OPTIONS?</b>  Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.  If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul>	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



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## Application Summary

Portal Reference A325958P

### Basic Information

Proposed Use	Two storey dwelling development
Current Use	Vacant land
Cost of Works	\$760,000
Site Address	30 Solid Drive Pakenham 3810

### Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

### Contacts

Type	Name	Address	Contact Details
Applicant	[REDACTED] SMART TOWN PLANNING PTY LTD	75 Ormond Road, Hampton Park VIC 3976	W: +61-410-348-448 M: 0410-348-448
Owner	[REDACTED]		
Preferred Contact	[REDACTED] SMART TOWN PLANNING PTY LTD	75 Ormond Road, Hampton Park VIC 3976	W: +61-410-348-448 M: 0410-348-448



#### ADVERTISED MATERIAL

Planning Application: T250586

Date Prepared: 22 January 2026

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### Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 5      More than \$500,000 but not more than \$1,000,000	\$1,580.10	100%	\$1,580.10
<b>Total</b>			<b>\$1,580.10</b>



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Burton Road, Pakenham, Victoria



**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810  
**Email:** mail@cardinia.vic.gov.au



Monday to Friday 8.30am–  
5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

## Documents Uploaded

Date	Type	Filename
24-09-2025	A Copy of Title	Title Final.pdf
24-09-2025	A Copy of Title	Plan of Subdivision.pdf
24-09-2025	Encumbrance	title.pdf
24-09-2025	Site plans	20250924_Town Planning drawings_Solid Drive, Pakenham.pdf
24-09-2025	Additional Document	20250923_Town Planning Report_30 Solid Drive.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

**Lodged By**

Site User	<b>SMART TOWN PLANNING PTY LTD</b>	75 Ormond Road, Hampton Park VIC 3976	W: +61-410-348-448 M: 0410-348-448 E: info@smar ttownplanning.com.au
Submission Date	24 September 2025 - 11:43:AM		

## Declaration

By ticking this checkbox, I declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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**SMART  
TOWN PLANNING**

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# **TOWN PLANNING REPORT**

## **30 SOLID DRIVE, PAKENHAM, VIC 3810**

**APPLICATION:  
SINGLE DWELLING DEVELOPMENT**

**AUTHOR:**

**SEPTEMBER 2025**

[WWW.SMARTTOWNPLANNING.COM.AU](http://WWW.SMARTTOWNPLANNING.COM.AU)



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## **DISCLAIMER**

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Confidential information has been stored securely. Data provided by respondents and their identity have been treated in the strictest confidence, and all assurances given to respondents have been and shall be fulfilled. Furthermore, SMART Town Planning may be hiring independent contractors to perform certain aspects of the project, and some of these contractors may be required to be licensed by the State of Victoria.

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You must read the important disclaimer appearing within the body of this report.

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## **1.0 INTRODUCTION**

This report supports a planning permit application for the development of a new double-storey dwelling at 30 Solid Drive, Pakenham. The subject site is a vacant residential allotment located within the General Residential Zone – Schedule 1 (GRZ1) under the Cardinia Planning Scheme. The property is also affected by the Development Contributions Plan Overlay – Schedule 1 (DCPO1) and the Environmental Significance Overlay – Schedule 4 (ESO4). These overlays require consideration of contributions towards community infrastructure and ensure that environmental values, particularly in relation to drainage and natural systems, are appropriately managed.

The proposal represents a modest and appropriate form of residential development within a newly established growth area of Pakenham. The subdivision in which the site is located has been planned to accommodate incremental housing growth, with lots designed to support contemporary single and double-storey homes. Solid Drive and the surrounding estate are characterised by recently constructed dwellings, landscaped setbacks, and a conventional suburban pattern of development. The proposed dwelling responds to this context by introducing a high-quality, energy-efficient home that will reinforce the emerging character of the neighbourhood.

The site is strategically located within a designated growth corridor, benefitting from proximity to the Princes Freeway, Pakenham Railway Station, local bus services, schools, neighbourhood activity centres, and community facilities. These locational attributes make the land well-suited for additional housing growth, consistent with State and Local planning policy objectives. The development takes advantage of these attributes by providing a well-designed dwelling that contributes to housing diversity and supports the broader vision for sustainable growth in the municipality.

The application has been carefully assessed against the relevant provisions of the Cardinia Planning Scheme, including:

**Municipal Planning Strategy (MPS)**: The proposal supports Council's strategic direction by contributing to housing supply within an identified growth area, ensuring high-quality built form, and supporting the creation of liveable, sustainable, and connected neighbourhoods.

**Planning Policy Framework (PPF)**: The development responds to key housing and urban design objectives by encouraging residential growth in an established growth corridor (Clauses 11 and 16), ensuring energy efficiency and environmental sustainability (Clause 15.02), and integrating respectfully with the developing neighbourhood character (Clause 15.01).

### **Zone and Overlay Controls:**

- The General Residential Zone – Schedule 1 allows for moderate housing

growth and diversity of dwelling types in areas with good access to services and transport. The proposed double-storey dwelling is consistent with the purpose of the zone and complies with height, site coverage, and garden area requirements.

- The Development Contributions Plan Overlay – Schedule 1 ensures that new development contributes fairly to the provision of essential community infrastructure. The proposal will meet its obligations under this overlay.
- The Environmental Significance Overlay – Schedule 4 ensures that development is responsive to environmental risks and values. The proposal has been designed with appropriate drainage and landscaping outcomes to manage these considerations.

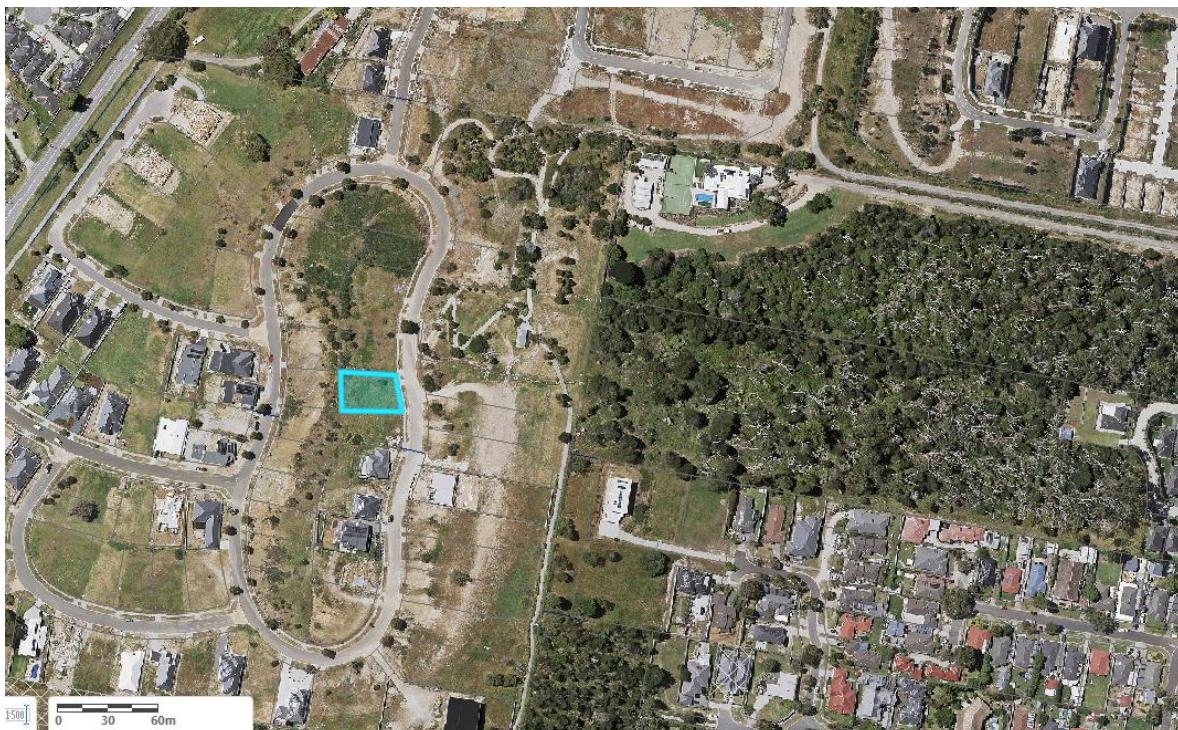
**Particular and General Provisions:** The design complies with Clause 52.06 (Car Parking) by providing two on-site car spaces within a double garage. The dwelling also integrates sustainable features such as solar panel provision, rainwater tanks, and permeable driveway surfaces to align with broader sustainability objectives.

**ResCode Provisions under Clause 54:** A detailed Clause 54 assessment confirms that the proposed dwelling meets or exceeds the objectives and standards relating to neighbourhood character, setbacks, height, overshadowing, overlooking, site coverage, permeability, private open space, and detailed design. The layout ensures high levels of internal amenity for future occupants and maintains the amenity of neighbouring lots, while contributing positively to the streetscape.

Overall, the proposed development achieves a balance between accommodating growth, protecting amenity, and delivering sustainable design. It represents a high-quality built form outcome that is consistent with the planning framework for the site and contributes positively to the evolving character of the Pakenham growth corridor.



## THE SITE AND SURROUNDS



**Figure 1: Aerial View (Image Source:**  
<https://mapshare.vic.gov.au/MapshareVic/>**)**

The subject land is a regular-shaped allotment located at 30 Solid Drive, Pakenham. The parcel forms part of a recently approved residential subdivision and has a total area of approximately 776 square metres. The lot is generally level with a slight fall to the street frontage, making it suitable for development with only minor site cut and fill works. This topography enables the construction of a dwelling without significant earthworks and provides opportunities for effective drainage and landscaping treatments.

The land is currently vacant and has been cleared in readiness for residential construction. No existing buildings, vegetation of significance, or cultural features are present. The subdivision provides standard service connections, including electricity, water, sewer, and gas, as well as established boundary fencing along some lot edges. This ensures the allotment is fully serviced and ready for development.

Planning property records confirm that the site is subject to the General Residential Zone – Schedule 1 (GRZ1), the Development Contributions Plan Overlay – Schedule 1 (DCPO1), and the Environmental Significance Overlay – Schedule 4 (ESO4). These controls highlight the need to manage both infrastructure contributions and environmental considerations, particularly relating to drainage and landscape values. Importantly, the site is not located within a designated Bushfire Prone Area, and no flood controls apply.

## **Surrounding context**

**North:** Vacant residential allotments forming part of the same subdivision, intended for future detached or semi-detached dwellings.

**South:** Newly created residential lots that will accommodate future single and double-storey dwellings, consistent with the intended character of the estate.

**East (rear):** Rear boundaries of residential lots, providing a conventional suburban residential interface.

**West (front):** The site fronts Solid Drive, a local residential street characterised by generous lot sizes, landscaped verges, and an emerging built form of contemporary family homes.

The broader Pakenham area is identified as part of Melbourne's south-east growth corridor. It is characterised by rapid suburban development, comprising conventional detached houses, townhouses, and emerging medium-density dwellings within activity centres. The area is supported by significant infrastructure investment, including schools, medical facilities, shopping centres, and community hubs.

The site is strategically located with excellent access to services and transport. It is within close proximity to Pakenham Railway Station and local bus routes, providing connections to metropolitan Melbourne. Road access is supported by the Princes Freeway, linking Pakenham to neighbouring suburbs and employment centres. The area also benefits from open space networks, parks, and recreational facilities, which are integrated into the planning of new estates. These locational attributes reinforce the site's suitability for residential development, consistent with the intent of the General Residential Zone – Schedule 1 and the broader strategic objectives of the Cardinia Planning Scheme.

## **3.0 NEIGHBOURHOOD CHARACTER**

The subject site is located within a newly established residential pocket of Pakenham that is gradually developing into a cohesive suburban neighbourhood. The subdivision has been planned to accommodate contemporary single and double-storey homes, and modern architectural styles, landscaped frontages, and a consistent suburban rhythm define the emerging character.

The immediate area currently includes a mix of completed dwellings and vacant lots awaiting development. Recently constructed homes in the estate adopt contemporary designs, often featuring a combination of brick and rendered finishes, pitched or skillion roof forms, and integrated garages. This provides a modern suburban character that is distinct from older established areas of Pakenham. The gradual build-out of the subdivision is contributing to a consistent neighbourhood identity, where medium-density family housing is expected to be the prevailing pattern.

Vegetation within the estate is still maturing, with landscaped front gardens typically including lawns, small ornamental shrubs, and newly planted canopy trees. Street tree planting along Solid Drive and adjoining streets has been established as part of the subdivision works, which will, over time, provide greenery to soften the built form and enhance the suburban character of the neighbourhood.

Solid Drive itself is a low-traffic residential street designed with wide carriageways, footpaths, and grassed verges. Properties adopt conventional front setbacks, and fencing is generally low or absent, creating an open and accessible streetscape. As the subdivision develops further, the consistent setbacks, landscaping, and built form will reinforce a spacious and well-ordered residential character.

The proposed double-storey dwelling has been designed to integrate with and complement this emerging character. The dwelling incorporates a pitched roof form, articulated façade treatments, and a combination of brick and rendered finishes, consistent with nearby new housing stock. The design respects the prevailing front setback pattern along Solid Drive and introduces landscaping within the frontage, including a canopy tree, to soften the presentation of the dwelling and contribute positively to the public realm.

The outcome will be a contemporary dwelling that aligns with the vision for the estate, providing modern housing that contributes to the gradual establishment of a high-quality residential neighbourhood within Pakenham's growth corridor.

## **ACCESS TO TRANSPORT, SHOPPING, PARKS ETC**

The subject site at 30 Solid Drive, Pakenham is well located within a newly established residential estate, benefitting from convenient access to schools, retail centres, community services, transport networks, and recreational facilities. This high level of accessibility reinforces the site's suitability for residential development and aligns with the objectives of the Cardinia Planning Scheme, which encourages housing growth in well-serviced locations within designated growth areas.

### **Schools in Proximity**

The site is located within close distance to a number of established schools, providing options across government, Catholic, and independent sectors:

- Pakenham Consolidated School – approximately 2.0 km (Government Primary)
- Pakenham Springs Primary School – approximately 2.5 km (Government Primary)
- St Patrick's Primary School – approximately 3.0 km (Catholic Primary)
- Pakenham Secondary College – approximately 3.5 km (Government Secondary)

- Lakeside College – approximately 4.0 km (Independent Prep-Year 12)

This variety of schools offers choice for families and reinforces the site's suitability for households with children of different ages.

### **Shopping and Services**

The site benefits from excellent access to retail and service destinations, including:

- Pakenham Central Marketplace – approximately 3.0 km
- Pakenham Place Shopping Centre – approximately 3.2 km
- Lakeside Square Shopping Centre – approximately 4.0 km
- Officer Town Centre – approximately 6.0 km
- Westfield Fountain Gate (Narre Warren) – approximately 15.0 km, providing higher-order retail and entertainment options



Together, these centres provide supermarkets, specialty shops, dining, medical services, and community facilities to meet both daily and higher-order needs.

### **Transport and Connectivity**

The site is well connected to the public transport system and regional road network:

- Pakenham Railway Station (Pakenham Line) – approximately 3.5 km, with direct rail services to Melbourne CBD
- Local bus routes along Princes Highway and within the estate – within walking distance
- Princes Freeway – approximately 2.0 km, providing efficient access to Berwick, Narre Warren, and metropolitan Melbourne

This level of connectivity enables residents to access employment, education, and services across the region while supporting the use of sustainable transport options.

### **Parks, Recreation and Community Facilities**

The site is located close to a number of open space and recreational opportunities, including:

- Toomuc Reserve – approximately 2.5 km (sports fields, courts, and club facilities)
- Lakeside Park – approximately 3.0 km (lake, walking trails, picnic areas, and landscaped open space)
- PB Ronald Reserve – approximately 3.5 km (playgrounds, sporting facilities, and community centre)
- Cardinia Cultural Centre – approximately 4.0 km (theatre, events, and cultural programs)

In addition, the broader Pakenham area contains a wide range of childcare centres, health services, and places of worship, further enhancing the liveability of the location.

## **4.0 PROPOSAL**

The planning application seeks approval for the construction of a double-storey dwelling on the subject land, including a garage, driveway, outdoor living areas, landscaping, services, and fencing. The development has been designed to achieve a high-quality built form outcome that is compatible with the emerging residential character of Solid Drive and consistent with the requirements of Clause 54 of the Cardinia Planning Scheme.

### **Existing and Demolition**

The subject site is currently vacant residential land within a newly approved subdivision. No demolition works are required. The cleared nature of the allotment provides a straightforward opportunity for redevelopment without constraints from existing buildings or vegetation.

### **Easements**

The land is not encumbered by restrictive easements that affect the proposed layout. Standard service connections for water, sewerage, electricity, and telecommunications are available and will be accommodated within the design.

### **Access, Crossover and Driveway**

Vehicle access will be provided via a single existing crossover to Solid Drive, leading to a double garage. The driveway is designed to provide safe and convenient access, consistent with Clause 52.06 requirements for car parking.

### **Frontage and Setbacks**

The proposed development maintains a front setback consistent with the emerging pattern of Solid Drive. Side and rear setbacks have been designed to ensure compliance with Clause 54 standards, with upper-level elements articulated and stepped back to minimise visual bulk and protect adjoining amenity.

### **Height**

The dwelling has a maximum building height of approximately 9.74 metres when measured from natural ground level. This is comfortably within the 10-metre mandatory height limit of the GRZ1 and reflects the intended two-storey residential character of the estate.

### **Architecture and Built Form**

The proposed dwelling adopts a contemporary suburban style, incorporating articulated façades, a pitched roof form, and a mix of brick and rendered

finishes. A clearly defined entry porch provides a strong sense of address to Solid Drive. The design is sympathetic to the surrounding built form outcomes within the estate and contributes positively to the developing streetscape.

### **Garage and Car Parking**

The dwelling provides a secure double garage, delivering two resident car spaces in compliance with Clause 52.06. The garage is integrated into the overall design and positioned to ensure minimal visual impact from the street.

### **Private Open Space**

Generous private open space is provided to the rear of the dwelling, supplemented by an outdoor living area accessible from the main living rooms. These spaces are well-oriented to achieve good solar access and will be landscaped to provide functional and attractive recreational areas for future occupants.

### **Fencing**

Standard boundary fencing will be maintained to protect privacy between adjoining lots. No front fence is proposed, which will retain the open character of the streetscape and allow landscaping within the frontage to soften the presentation of the dwelling.

### **Sustainability and Energy Efficiency**

The dwelling will be designed to achieve a minimum 7-star energy rating under the NatHERS framework. Key sustainable design features include:

- North-facing living areas to maximise natural light
- Provision for rooftop solar panels
- Installation of rainwater tanks for garden irrigation and toilet flushing
- Use of permeable paving in the driveway to promote stormwater infiltration

### **5.11 Development Summary**

Item	Proposal Details
Total site area	776 m <sup>2</sup>
Site coverage	28.6%
Garden area	66.1%
Permeability	71.4%
Car parking	2 spaces (double garage)





## **5.0 PLANNING CONTROLS**

The site is located within a General Residential Zone – Schedule 1 (GRZ1) under the Cardinia Planning Scheme.



The purpose of the zone is:

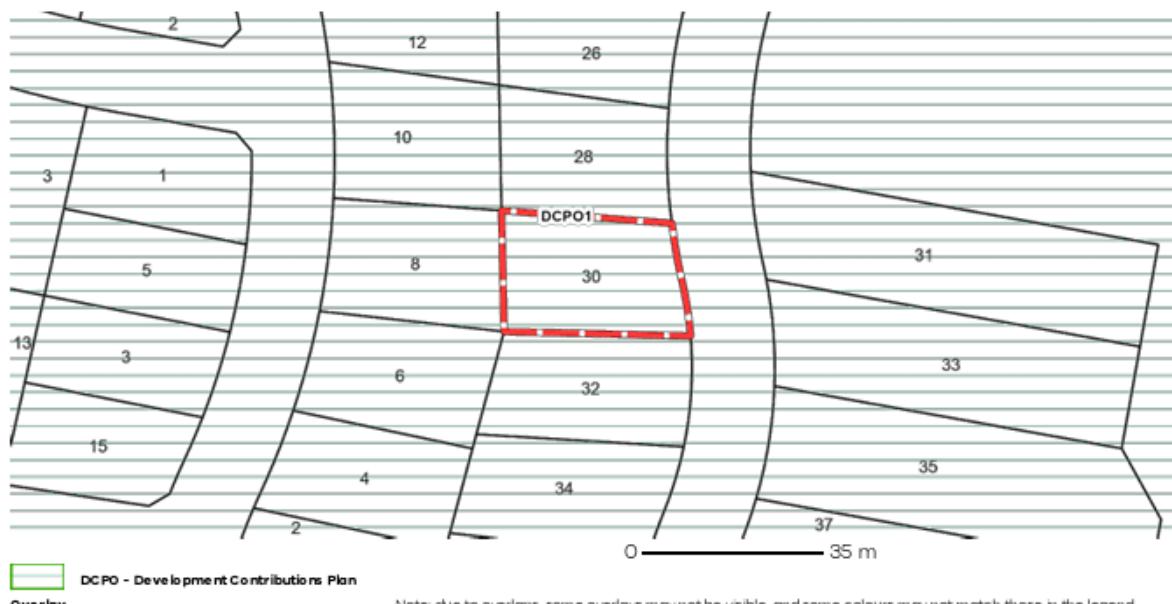
- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that is responsive to the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

***Under the provisions of the General Residential Zone – Schedule 1 (GRZ1), the construction of one dwelling on a lot greater than 500 square metres does not require a planning permit, provided the proposal complies with the objectives and standards of Clause 54 (ResCode). As***

***the subject land has an area of approximately 776 square metres, a planning permit is not required for the proposed double-storey dwelling.***

### **Planning Overlays**

#### **Development Contributions Plan Overlay – Schedule 1 (DCPO1)**



The subject site is affected by the Development Contributions Plan Overlay – Schedule 1 (DCPO1) under the Cardinia Planning Scheme. This overlay applies to land within designated growth areas to ensure that new development contributes fairly towards the provision of essential community and physical infrastructure such as roads, drainage systems, community centres, and open space.

The DCPO1 does not itself trigger a planning permit. Instead, it requires the payment of development contributions as a condition of development approval. This obligation is typically managed through permit conditions where a planning permit is required, or otherwise through a levy collected prior to the commencement of development works. For this proposal, the applicant acknowledges that development contributions will apply, and these will be addressed in consultation with Council at the relevant stage of the process.

## Environmental Significance Overlay – Schedule 4 (ESO4)



The site is also affected by the Environmental Significance Overlay – Schedule 4 (ESO4). This overlay applies to protect areas of environmental significance, particularly in relation to drainage lines, water quality, and landscape values. The purpose of the ESO4 is to ensure that development is designed and managed to avoid adverse impacts on environmental systems, to maintain the stability of natural landforms, and to support the overall integrity of the local environment.

Unlike the DCPO1, the ESO4 includes a permit trigger. A planning permit is required to construct a building or to carry out works on land affected by this overlay unless a specific exemption applies. As the application seeks approval for the construction of a new double-storey dwelling, a planning permit is required under this overlay.

The proposal has been designed to respond to the objectives of the ESO4. The dwelling layout incorporates a substantial proportion of garden area and permeability, exceeding 70 percent of the site, which ensures effective on-site infiltration and stormwater management. The use of permeable paving and the installation of rainwater collection systems will further reduce runoff, promote water reuse, and improve water efficiency. Landscaping will include appropriate plant species that support local biodiversity while enhancing the neighbourhood's character. Importantly, the building platform has been designed to minimise earthworks and to respect the site's natural drainage patterns, ensuring that stormwater will not be redirected in a way that could adversely impact adjoining properties.

## **6.0 STATE PLANNING POLICY FRAMEWORK**

### **Clause 11 – Settlement**

This clause promotes sustainable development and directs residential growth to locations with existing infrastructure, services, and access to transport. The proposal to construct a new double-storey dwelling at 30 Solid Drive, Pakenham aligns with this policy by delivering housing within a planned growth area that is already serviced with transport, schools, shopping centres, and community facilities. The development represents efficient use of zoned residential land, supports urban consolidation, and contributes to a more compact and sustainable urban form.

### **Clause 11.01-1S – Settlement**

The site is strategically located within what can be described as a “20-minute neighbourhood,” where residents can access everyday needs such as shops, schools, recreation, and health services within a short drive, walk, or public transport trip. The proposal contributes to housing choice and incremental growth in a location that benefits from strong infrastructure provision.

### **Clause 11.02-1S – Supply of Urban Land**

This clause seeks to ensure sufficient serviced land is available to meet forecast housing needs. The proposed dwelling makes efficient use of a 776 m<sup>2</sup> lot within a subdivision that has been fully serviced with utilities and infrastructure. By introducing housing supply within a designated growth corridor, the development reduces reliance on greenfield expansion further at the urban fringe.

### **Clause 15 – Built Environment and Heritage**

#### **Clause 15.01-1S – Urban Design and Clause 15.01-2S – Building Design**

The dwelling has been designed to a high standard that is functional, safe, and responsive to the emerging character of the estate. The design adopts a contemporary suburban form with articulated façades, a pitched roof, and a combination of brickwork and rendered finishes. A defined entry porch provides a clear sense of address to Solid Drive, while the garage is integrated within the design to avoid dominating the frontage. These treatments ensure a durable and attractive built form that enhances the streetscape.

#### **Clause 15.01-5S – Neighbourhood Character**

The design responds sensitively to the emerging residential character of Solid Drive, which is defined by new single and double-storey dwellings with landscaped setbacks. The proposal adopts setbacks, scale, and articulation consistent with this pattern, while contributing a high-quality, modern architectural expression that complements the neighbourhood.

## **Clause 15.01-4R – Healthy Neighbourhoods (Metropolitan Melbourne)**

The site is located within convenient proximity to parks, schools, shopping centres, and public transport. The design supports the creation of a healthy, walkable neighbourhood consistent with the 20-minute neighbourhood principle by allowing residents to meet their daily needs locally.

## **Clause 15.02-1S – Energy and Resource Efficiency**

The dwelling has been designed to maximise solar access to living areas and private open space, with north-facing windows and opportunities for cross ventilation. Sustainability features include provision for rooftop solar panels, a rainwater tank connected to toilet flushing and garden use, and permeable paving within the driveway. These measures will minimise environmental impacts and reduce long-term energy and water demand.

## **Clause 16 – Housing**

### **Clause 16.01-1S – Housing Supply and Clause 16.01-1R – Housing Supply in Metropolitan Melbourne**

The proposal contributes to housing supply in a well-serviced growth corridor of Melbourne's south-east. The dwelling provides high-quality accommodation with functional layouts, generous private open space, and modern amenities suitable for families, professionals, and downsizers.

### **Clause 16.01-2S – Housing Affordability**

By facilitating new housing on a fully serviced residential lot within an established subdivision, the proposal contributes to the efficient use of land and supports broader housing affordability objectives. It demonstrates how compact suburban housing can be delivered while maintaining high levels of internal and external amenity.

## **Clause 18 – Transport**

### **Clause 18.01-1S – Integrated Transport**

The site benefits from excellent access to sustainable transport, including Pakenham Railway Station, local bus services, and the Princes Freeway. The dwelling also provides two on-site parking spaces within a double garage, ensuring statutory car parking requirements are met while encouraging the use of public transport for longer journeys.

### **Clause 19.03-3S – Integrated Water Management**

The development incorporates water-sensitive urban design principles, including permeable surfaces, rainwater tanks for reuse, and landscaped garden areas. These measures reduce stormwater runoff, improve infiltration, and contribute to more sustainable water management outcomes.

## **6.0 LOCAL PLANNING POLICY FRAMEWORK**

### **Clause 21.01 – Cardinia Shire: Key Issues and Strategic Vision**

The proposal supports the municipality's vision to manage growth in a planned manner, balancing environmental, economic and community needs. Located within the south-east growth corridor, the site contributes to housing supply close to established transport, community facilities and open space. The dwelling makes efficient use of fully serviced residential land, aligns with the transition between urban and rural areas, and reinforces a cohesive suburban character along a planned road and public transport network.

### **Clause 21.03-1 – Housing (Objectives 1 and 2)**

The development adds to housing diversity in an urban growth municipality that is forecast to experience strong population increase. On a conventional lot, the design provides a contemporary double-storey family dwelling with generous private open space and high internal amenity. The siting and built form respond to existing and preferred neighbourhood character, with landscaped setbacks and articulated façades. The outcome supports a safe, attractive and well-planned environment that encourages active lifestyles.

### **Clause 21.03-2 – Urban Established Area: Beaconsfield and Pakenham**

Within Pakenham's Urban Established Area, the policy seeks functional, attractive, safe and sustainable neighbourhoods supported by timely infrastructure. The dwelling is consistent with the intended pattern of residential development, maintains a clear streetscape rhythm, and leverages proximity to the Pakenham Major Activity Centre, key open space corridors (e.g. Toomuc and Deep Creeks environs), and the arterial and public transport network. Development contributions will be addressed in accordance with Council requirements to support physical and community infrastructure delivery.

### **Clause 21.03-3 – Urban Growth Area**

Policy for growth-area precincts emphasises coordinated staging, housing choice and good urban design, supported by infrastructure and accessible community facilities. The proposal aligns with these directions by delivering a well-designed dwelling that complements the emerging character of the estate, integrates with existing services, and supports sustainable transport choices via access to rail and bus connections and the Princes Freeway.

### **Clause 21.06-1 – Urban Design**

The dwelling exhibits site-responsive, high-quality design. The form and massing are moderated through façade articulation, upper-level stepping and a pitched roof profile. Front landscaping softens the presentation and contributes to a coherent neighbourhood identity in a newly developing area. Materials and

colours are durable and contemporary, improving long-term presentation and contributing positively to the public realm.

### **Clause 21.06-2 – Community Safety**

The layout applies safer-design principles through clear sightlines to the street, passive surveillance from habitable rooms, a legible pedestrian entry, and well-defined public-private interfaces. External lighting and landscape treatments are intended to support safe access while avoiding blank walls to the public realm.

### **Integrated policy response**

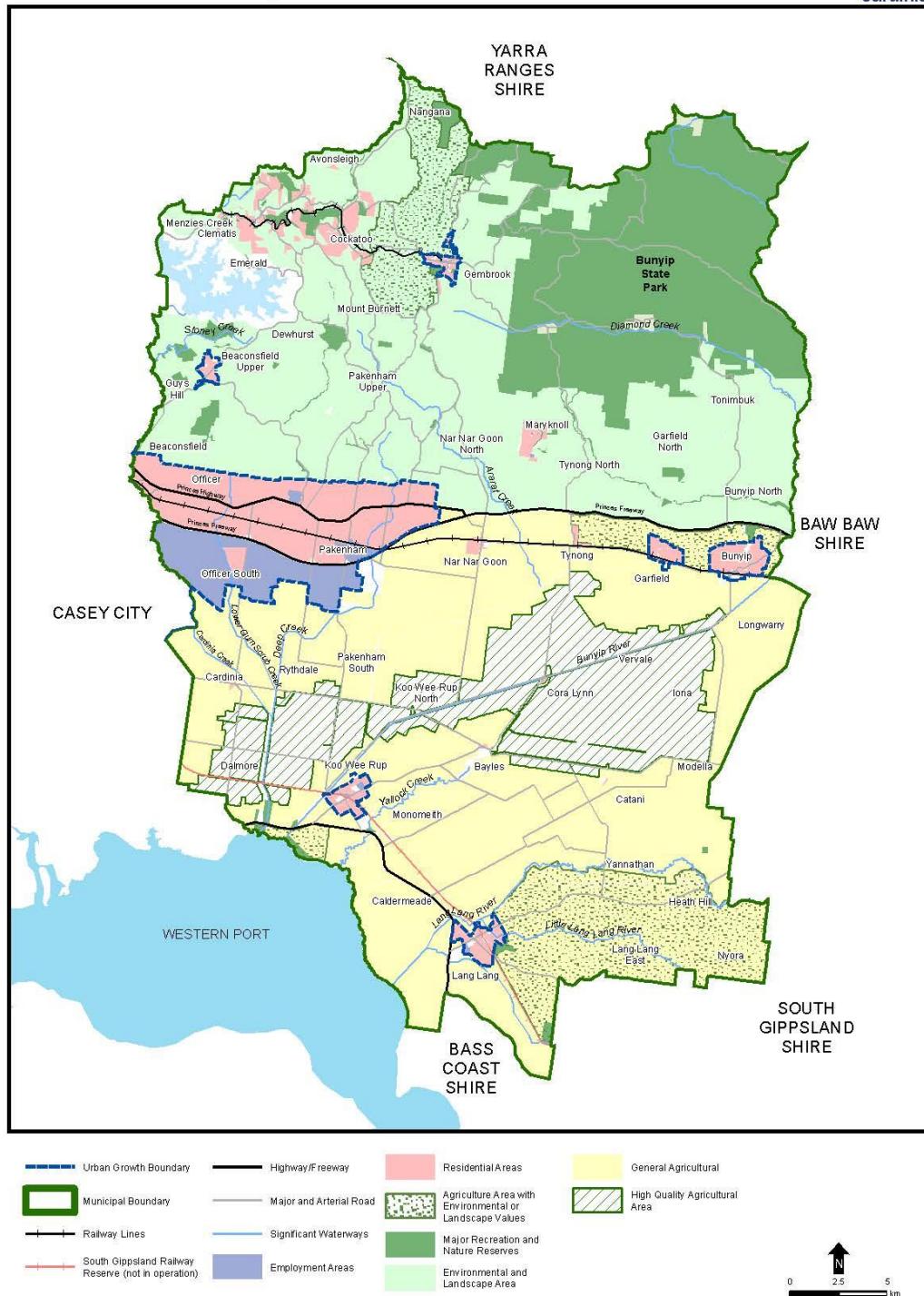
Across Clauses 21.01, 21.03 and 21.06, the development advances Council's strategic objectives by:

- Delivering appropriately scaled infill housing on serviced land within the growth corridor.
- Respecting and reinforcing the emerging neighbourhood character through setbacks, height, articulation and landscaping.
- Supporting healthy, connected communities via proximity to activity centres, schools, parks and public transport.
- Incorporating sustainable design measures (solar readiness, water reuse, permeability and generous garden area) and addressing infrastructure contributions in line with overlay requirements.





**Cardinia Shire Strategic Framework Plan**



Printed: 24-Oct-18 Data Source: State & Local Government. © CARDINIA SHIRE COUNCIL

**Figure 2: Cardinia Shire Strategic Framework Plan**

## **7.0 CLAUSE 50 – PARTICULAR PROVISIONS**

### **Objectives**

- Ensure car parking provision is consistent with State and Local policy
- Provide an appropriate number of spaces having regard to demand and locality
- Support sustainable transport alternatives to private vehicles
- Promote efficient use of parking facilities
- Ensure parking does not adversely affect neighbourhood amenity
- Ensure car parking is safe, accessible and user-friendly

### **Statutory requirement**

Under Clause 52.06, a dwelling with three or more bedrooms requires two on-site car spaces. For developments of five or more dwellings, one additional visitor space is required. No visitor parking applies to a single dwelling.

### **Proposal response**

- The proposed dwelling contains four bedrooms and provides two resident spaces within a double garage.
- No visitor parking is required as only one dwelling is proposed.
- The car parking provision meets the statutory requirement.

### **Clause 52.06-9 design standards**

#### **Design Standard 1 – Access and layout**

- Single driveway crossover to Solid Drive with a minimum width of 3.0 m.
- Garage headroom clearance of at least 2.1 m.
- Clear sightlines between driveway and footpath provided, with a 2.0 m x 2.5 m splay kept free of obstructions.

#### **Design Standard 2 – Car space dimensions**

- Double garage sized to comply with minimum internal dimensions for two resident spaces (each at least 2.6 m x 4.9 m), with door width and internal clearance to allow convenient access.

#### **Design Standard 3 – Gradients and transitions**

- Driveway gradients and transitions designed to comply with the standard to ensure safe, low-speed entry and exit at the crossover without scraping.

### **Design Standard 4 – Pedestrian safety and sightlines**

- Pedestrian sightlines at the frontage maintained; no structures or vegetation above 0.9 m within the splay areas.
- Direct, legible pedestrian path to the front entry provided, separated from vehicle movements where practicable.

### **Design Standard 5 – Landscaping**

- Front setback landscaping, including a canopy tree and low plantings, used to soften the driveway and garage presentation while maintaining sightlines.

### **Compliance statement**

The proposal provides two resident car spaces for a five-bedroom dwelling and satisfies Clause 52.06. Access, dimensions, gradients, sightlines and landscaping have been addressed to meet the design standards, ensuring safe and efficient operation without adverse impacts on neighbourhood amenity or the streetscape.



## **5.0 CLAUSE 54 – ONE DWELLING ON A LOT**

### **Objectives**

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that responds to the site and the surrounding area.

### **Requirements**

A development must meet all of the applicable objectives contained in this clause.

If a development meets a standard:

- The corresponding objective is deemed to be met;
- The responsible authority is not required to consider the corresponding decision guidelines.

If a development does not meet a standard, the responsible authority must consider the applicable decision guidelines in determining whether the corresponding objective is met.

### **Clause 54.01 – Neighbourhood and site description and design response**

An application to which this clause applies must be accompanied by:

- A site description.
- A design response.
- A written statement outlining which standards are met and which are not met. If a standard is not met, the written statement must include an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines.



## Clause 54 Assessment -TOWNHOUSE AND LOW-RISE CODE

Clause & Objective	Standard	Comments						
<b>Clause 54.02</b>	<b>NEIGHBOURHOOD CHARACTER</b>							
<b>Clause 54.02-1</b> <b>Street setback objectives</b> <p>To ensure that the setbacks of buildings from a street respond to the existing or preferred neighbourhood character and make efficient use of the site.</p>	<p><u>Standard A2-1</u></p> <p>Walls of buildings are set back from streets:</p> <ul style="list-style-type: none"> <li>At least the distance specified in a schedule to the zone if the distance specified in the schedule is less than the distance specified in Table A2-1; or</li> <li>If no distance is specified in a schedule to the zone, the distance specified in Table A2-1.</li> </ul> <p>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p> <p><b>Table B2-1 Street setback</b></p> <table border="1"> <caption>Table B2-1 Street setback</caption> <thead> <tr> <th>Development context</th> <th>Minimum setback from front street</th> <th>Minimum setback from a side street</th> </tr> </thead> <tbody> <tr> <td>There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.</td> <td>The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.</td> <td>Not applicable</td> </tr> </tbody> </table>	Development context	Minimum setback from front street	Minimum setback from a side street	There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.	Not applicable	<p><b>Standard met</b></p> <p>The proposed setback comfortably exceeds the minimum 4 metre requirement. The dwelling aligns with the emerging pattern of development in the estate, where new dwellings adopt conventional setbacks of between 5–6 metres. The porch design provides articulation and a sense of address without overwhelming the streetscape.</p> <div style="border: 1px solid black; padding: 10px; text-align: center;">  <p><b>Cardinia</b></p> <p><b>ADVERTISED MATERIAL</b></p> <p>Planning Application: T250586 Date Prepared: 22 January 2026</p> <p>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>
Development context	Minimum setback from front street	Minimum setback from a side street						
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.	Not applicable						

Clause & Objective	Standard		Comments	
	<p>There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.</p>	<p>The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser.</p>	<p>Not applicable</p>	
	<p>There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.</p>	<p>6 metres for streets in a Transport Zone 2 and 4 metres for other streets.</p>	<p>Not applicable</p>	<div style="border: 1px solid black; padding: 10px;">  <p><b>Cardinia</b></p> <p><b>ADVERTISED MATERIAL</b></p> <p>Planning Application: T250586 Date Prepared: 22 January 2026</p> <p>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>
	<p>The site is on a corner.</p>	<p>If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres,</p>	<p>Front walls of new development fronting the side street of a corner site are setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side</p>	

Clause & Objective	Standard	Comments
	<p>whichever is the lesser.</p> <p>If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 and 4 metres for other streets.</p>	<p>street or 3 metres, whichever is the lesser.</p> <p>Side walls of new development on a corner site are setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.</p>
<b>Clause 54.02-2</b> <b>Building height objective</b> <p>To ensure that the height of buildings respond to the existing or preferred neighbourhood character.</p>	<p><u>Standard A2-2</u></p> <p>The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height does not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height does not exceed 10 metres.</p>	<p><b>Standard met</b></p> <p>The proposed dwelling height of 9.742 metres is below the 10 metre maximum specified in Standard A2-2 for slopy lands. The building presents as a modest two-storey form consistent with the emerging character of the subdivision. The height ensures that the dwelling will not appear visually dominant, will integrate comfortably with the surrounding streetscape, and will maintain an appropriate residential scale.</p>

Clause & Objective	Standard	Comments
<p><b>Clause 54.02-3</b></p> <p><b>Side and rear setbacks</b></p> <p>To ensure that the height and setback of a building from a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings.</p>	<p><u>Standard A2-3</u></p> <p>A new building not on or within 200mm of a boundary is set back from side or rear boundaries at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p> <p>Sunblinds, verandahs, porches, eaves, facias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the side and rear setbacks.</p> <p>Landings that have an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the side and rear setbacks.</p>	<p><b>Standard met</b></p> <p>The dwelling has been designed with compliant setbacks to side and rear boundaries. At ground level, walls are generally set back at least 1 metre, and at the upper level the setbacks increase in line with the Res Code formula. Encroachments such as eaves and gutters are limited to within the allowable 0.5 metres. These setbacks ensure adequate separation between dwellings, protect solar access to neighbouring properties, and minimise visual bulk along the boundaries.</p>
<p><b>Clause 54.02-4</b></p> <p><b>Walls on boundaries objectives</b></p> <p>To ensure that the location, length and height of a wall on a boundary responds to the existing or preferred</p>	<p><u>Standard A2-4</u></p> <p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot does not abut the boundary for a length that exceeds the greater of the following distances:</p> <ul style="list-style-type: none"> <li>◦ 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</li> <li>◦ The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot.</li> </ul> <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height</p>	<p><b>Standard met</b></p> <p>As no boundary walls are proposed, the requirements of Standard A2-4 are met in full. The design avoids visual bulk impacts on adjoining lots and retains opportunities for landscaping and separation between dwellings.</p>

Clause & Objective	Standard	Comments								
neighbourhood character and limits the impact on the amenity of existing dwellings and small second dwellings.	<p>of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary does not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<div style="border: 1px solid black; padding: 10px;">  <p><b>ADVERTISED MATERIAL</b></p> <p>Planning Application: T250586 Date Prepared: 22 January 2026</p> <p>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>								
<b>Clause 54.02-5</b> <b>Site Coverage objective</b>  To ensure that the site coverage responds to the existing or preferred neighbourhood character and responds to the features of the site.	<p><u>Standard A2-5</u></p> <p>The site area covered by buildings does not exceed:</p> <ul style="list-style-type: none"> <li>◦ The maximum site coverage specified in a schedule to the zone; or</li> <li>◦ If no maximum site coverage is specified in a schedule to the zone, the percentage specified in Table A2-5.</li> </ul> <p>If the maximum site coverage is specified in a schedule to a zone, it must be greater than the percentage specified in Table B2-5.</p> <p><b>Table A2-5 Site coverage</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">Zone</th> <th style="text-align: center;">Area</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">NRZ, TZ</td> <td style="text-align: center;">60 per cent</td> </tr> <tr> <td style="text-align: center;">GRZ</td> <td style="text-align: center;">65 per cent</td> </tr> <tr> <td style="text-align: center;">RGZ, MUZ, HTCZ</td> <td style="text-align: center;">70 per cent</td> </tr> </tbody> </table>	Zone	Area	NRZ, TZ	60 per cent	GRZ	65 per cent	RGZ, MUZ, HTCZ	70 per cent	<p><b>Standard met</b></p> <p>The proposed site coverage of 28.59 per cent is significantly below the maximum 65 per cent permitted in the General Residential Zone. The low building footprint ensures that generous garden areas and permeable surfaces are retained across the site, contributing to stormwater management, landscape opportunities, and neighbourhood character.</p>
Zone	Area									
NRZ, TZ	60 per cent									
GRZ	65 per cent									
RGZ, MUZ, HTCZ	70 per cent									
<b>Clause 54.02-6</b> <b>Tree canopy objectives</b>	<p><u>Standard A2-6</u></p> <p>Provide a minimum number of trees as specified in Table A2-6.</p> <p><b>Table A2-6 Minimum tree requirement</b></p>	<p><b>Standard met</b></p> <p>The site provides more than adequate deep soil area (over 500 m<sup>2</sup> permeable space)</p>								

Clause & Objective	Standard		Comments
<p>To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape.</p> <p>To preserve existing canopy cover and support the provision of new canopy cover.</p> <p>To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat.</p>	Site area	Tree	
	100 square metres or less	One tree	
	Above 100 square metres to 200 square metres	Two trees	
	Above 200 square metres to 300 square metres	Three trees	
	<p>A tree must meet the following:</p> <ul style="list-style-type: none"> <li>• Reach a height of at least 6 metres at maturity.</li> <li>• Achieve a canopy width of at least 4 metres at maturity.</li> <li>• Planted in a minimum deep soil area of 12 square metres with a minimum plan dimension 2.5 metres or in a planter with a minimum volume of 12 cubic metres with a minimum depth of 0.8 metres of planter soil.</li> </ul> <p>Existing trees to be retained meet all of the following:</p> <ul style="list-style-type: none"> <li>• Has a height of at least 5 metres,</li> <li>• Has a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level,</li> <li>• Has a trunk that is located at least 4 metres from proposed buildings.</li> </ul> <p>Existing trees that are retained can be used to satisfy the tree canopy requirement.</p>		<p>to accommodate the required three canopy trees. The large rear garden and landscaped front setback allow for planting locations that will soften the built form, contribute to the emerging landscape character of the subdivision, and assist with stormwater management and urban cooling.</p> <div data-bbox="1545 794 2115 1065" style="border: 1px solid black; padding: 10px;">  <p><b>Cardinia</b></p> <p><b>ADVERTISED MATERIAL</b></p> <p>Planning Application: T250586 Date Prepared: 22 January 2026</p> <p>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>

Clause & Objective	Standard	Comments						
	<p>Any tree required to be planted under this standard must be of species to the satisfaction of the responsible authority, having regard to the location and relevant geographic factors.</p>							
<b>Clause 54.02-7</b> <b>Front Fences objective</b> To encourage front fence design that responds to the existing or preferred neighbourhood character.	<p><u>Standard A2-7</u></p> <p>A front fence within 3 metres of a street is:</p> <ul style="list-style-type: none"> <li>◦ The maximum height specified in a schedule to the zone, or</li> <li>◦ If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B2-8</li> </ul> <p><b>Table A2-8 Maximum front fence height</b></p> <table border="1"> <thead> <tr> <th>Street Context</th><th>Maximum front fence height</th></tr> </thead> <tbody> <tr> <td>Streets in a TRZ2</td><td>2 metres</td></tr> <tr> <td>Other streets</td><td>1.5 metres</td></tr> </tbody> </table>	Street Context	Maximum front fence height	Streets in a TRZ2	2 metres	Other streets	1.5 metres	<p><b>Standard met</b></p> <p>The absence of a front fence is consistent with Standard A2-7 and reinforces the emerging neighbourhood character of Solid Drive, where new dwellings typically adopt open frontages with landscaped setbacks. This outcome contributes to an open, green, and attractive streetscape and provides opportunities for canopy tree planting within the frontage.</p>
Street Context	Maximum front fence height							
Streets in a TRZ2	2 metres							
Other streets	1.5 metres							
<b>Clause 54.02-8</b> <b>Building setback for small second dwellings</b> To ensure that small second dwellings are sited to respond to the existing or preferred	<p><u>Standard A2-8</u></p> <p>Walls of a small second dwelling are set back behind the front wall of the existing dwelling on the lot, facing the frontage.</p> <p>Porches, pergolas, verandahs, and eaves do not encroach into the setback of this standard.</p>	 <p><b>ADVERTISED MATERIAL</b></p> <p>Planning Application: T250586 Date Prepared: 22 January 2026</p> <p>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1997</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>						

Clause & Objective	Standard	Comments
neighbourhood character.		
<b>Clause 54.03</b>	<b>LIVEABILITY</b>	
<b>Clause 54.03-1</b> <b>Street integration objective</b>  To integrate the layout of development with the street to support the safety and amenity of residents.	<u>Standard A3-1</u>  Where a development fronts a street, a vehicle accessway or abuts public open space, passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space.  This standard does not apply to a small second dwelling.	<b>Standard met</b>  The inclusion of habitable room windows addressing Solid Drive ensures that the development contributes to passive surveillance of the public realm. This improves safety, encourages activity, and supports the neighbourhood's character. The design avoids blank walls to the street and ensures an attractive, articulated façade that integrates with the streetscape while maintaining visibility.
<b>54.03-2</b> <b>Private open space objectives</b>  To provide adequate private open space for the reasonable recreation and service needs of residents.	<u>Standard A3-2</u>  A dwelling or small second dwelling has private open space of an area and dimensions specified in a schedule to the zone.  If no area or dimension is specified in a schedule to the zone, a dwelling has private open space with direct access from a living area, dining area or kitchen consisting of: <ul style="list-style-type: none"> <li>• An area of 20 per cent of the area of the lot, but not less than 25 square metres. At least one part of the private open space consists of secluded private open space with a minimum area of 25 square metres and a minimum dimension of 3 metres width; or</li> </ul>	<b>Standard met</b>  The dwelling easily exceeds the minimum requirement of 25 square metres SPOS with 3 metre minimum width. With a lot size of 776 m <sup>2</sup> , the requirement of 20 per cent equates to 155.2 m <sup>2</sup> . The proposal provides more than this amount of functional and well-oriented open space, ensuring ample room for recreation, landscaping, and services such as clothes drying. The location of the SPOS to the rear ensures privacy and solar access, while landscaping will soften the built form.

Clause & Objective	Standard	Comments
	<ul style="list-style-type: none"> <li>• A balcony with at least the area and dimensions specified in Table A3-2; or</li> <li>• An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres width.</li> </ul> <p>If the area and dimensions of the private open space or secluded private open space is specified in a schedule to the zone;</p> <ul style="list-style-type: none"> <li>• The area and dimensions specified for private open space and secluded private open space must be less than the area and dimensions specified in this standard, and</li> <li>• The area and dimensions specified for a balcony or an area on a roof must be less than the area and dimensions specified in this standard.</li> </ul> <p>A small second dwelling has a secluded private open space consisting of an area of 8 square metres with a minimum dimension of 1.6 metres and convenient access from a living area, dining area or kitchen.</p> <p>If a cooling or heating unit is located in the secluded private open space or private open space the required area is increased by 1.5 square metres.</p> <p>Where ground level private open space is provided an area for clothes drying is provided.</p>	<div style="border: 1px solid blue; padding: 10px; text-align: center;">  <p><b>ADVERTISED MATERIAL</b></p> <p>Planning Application: T250586 Date Prepared: 22 January 2026</p> <p>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>
<b>Clause 54.03-3</b> <b>Solar access to open space</b>	<u>Standard A3-3</u> <p>The southern boundary of secluded private open space is set back from any wall on the north of the space at least <math>(2 + 0.9h)</math> metres, where 'h'</p>	<b>Standard met</b> <p>As the secluded private open space faces west, the requirement relating to south-</p>

Clause & Objective	Standard	Comments
<b>objective</b> To allow solar access into the secluded private open space of new dwellings and residential buildings.	is the height of the wall.	facing SPOS does not apply. The layout ensures that the open space receives adequate sunlight during the afternoon period, consistent with the intent of Standard A3-3.
<b>Clause 54.03-9</b> <b>Daylight to new windows objective</b> To allow adequate daylight into new habitable room windows.	<u>Standard A3-4</u> A window in an external wall of the building is provided to all habitable rooms. Habitable rooms in a dwelling have a window that faces: <ul style="list-style-type: none"> <li>• An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or</li> <li>• A verandah provided it is open for at least one third of its perimeter; or</li> <li>• A carport provided it has two or more open sides and is open for at least one third of its perimeter.</li> </ul>	<b>Standard met</b> All habitable room windows are oriented to face outdoor areas or spaces clear to the sky, ensuring adequate access to daylight and ventilation. The proposed development meets the minimum light court requirements.
<b>Clause 54.03-5</b> <b>Safety and accessibility for small second dwellings objective</b>	<u>Standard A3-5</u> A small second dwelling is provided with a clear and unobstructed path from the frontage that: <ul style="list-style-type: none"> <li>• Has a minimum width of at least 1 metre, with no encroachments. If the path is longer than 30 metres, the minimum width of the path is at least 1.8 metres.</li> </ul>	<b>Not Applicable</b>

Clause & Objective	Standard	Comments
To ensure access to a small second dwelling is safe, convenient and meets the needs of residents.	<ul style="list-style-type: none"> <li>Has a minimum clear height of at least 2 metres, with no encroachments.</li> <li>Has a gradient no steeper than 1 in 14.</li> <li>Has a cross fall no steeper than 1 in 40.</li> <li>Is sealed or has an all-weather access.</li> </ul>	
<b>Clause 54.04</b>	<b>EXTERNAL AMENITY</b>	
<b>Clause 54.04-1</b> <b>Daylight to existing windows objective</b> To allow adequate daylight into existing habitable room windows.	<p><u>Standard A4-1</u></p> <p>Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 54 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	<p><b>Standard met</b></p> <p>As no habitable room windows exist on the adjoining lots, the proposal cannot create an unreasonable impact on daylight access. The development also provides compliant side and rear setbacks, ensuring that when adjoining lots are developed, adequate light courts can still be maintained.</p>
<b>Clause 54.04-2</b> <b>Existing north-facing windows objective</b> To allow adequate	<p><u>Standard A4-2</u></p> <p>Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot, a new building is to be set back from the boundary by at least 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over</p>	<p><b>Standard met</b></p> <p>As there are no existing north-facing habitable room windows on neighbouring properties, the proposal does not create any impact under this standard.</p> <p>Furthermore, the proposed dwelling</p>

Clause & Objective	Standard	Comments
solar access to existing north-facing habitable room windows.	<p>6.9 metres. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.</p> <p>For this standard a north-facing window is a window with an axis perpendicular to its surface oriented from north 20 degrees west to north 30 degrees east.</p>	incorporates compliant side and rear setbacks under Standard A2-3, ensuring that any future development on adjoining lots will retain adequate daylight access to north-facing windows if constructed.
<b>Clause 54.04-3</b> <b>Overshadowing secluded open space objective</b> To ensure buildings do not significantly overshadow existing secluded private open space.	<u>Standard A4-3</u> <p>The area of secluded private open space that is not overshadowed by the new development is greater than 50 per cent, or 25 square metres with a minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling or small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced.</p>	<b>Standard met</b> As no adjoining dwellings or SPOS currently exist, the proposal cannot create any unreasonable overshadowing impact. The height of 9.74 metres is below the 10 metre limit permitted in the General Residential Zone and combined with compliant side and rear setbacks, ensures that when neighbouring lots are developed, adequate solar access can be maintained to their secluded private open space.
<b>Clause 54.04-4</b> <b>Overlooking objective</b> To limit views into existing secluded private open space and habitable room windows.	<u>Standard A4-4</u> <p>In Clause 54.04-4 a habitable room <u>does not include a bedroom</u>. A habitable room window, balcony, podium, terrace, deck or patio is located and designed to avoid direct views into the secluded private open space of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views are measured within a 45 degree angle from the plane of the window or perimeter of the</p>	<b>Standard met</b> As no dwellings exist on neighbouring lots, there are no immediate overlooking concerns. The proposal nonetheless incorporates standard boundary fencing of at least 1.8 metres in height, which will provide adequate screening at ground level. Where required, upper-level habitable room windows will be fitted with

Clause & Objective	Standard	Comments
	<p>balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p>A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio:</p> <ul style="list-style-type: none"> <li>◦ Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or</li> <li>◦ Has sill heights of at least 1.7 metres above floor level; or</li> <li>◦ Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or</li> <li>◦ Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or</li> <li>◦ Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins.</li> </ul> <p>Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.</p> <p>Screens used to obscure a view are:</p> <ul style="list-style-type: none"> <li>◦ Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.</li> <li>◦ Permanent, fixed and durable.</li> <li>◦ Designed and coloured to blend in with the development.</li> </ul> <p>This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a</p>	<p>sill heights above 1.7 metres or obscure glazing to ensure future compliance with overlooking provisions once adjoining sites are developed.</p> <div data-bbox="1545 747 2113 1017" style="border: 1px solid black; padding: 10px;">  <p><b>ADVERTISED MATERIAL</b></p> <p>Planning Application: T250586 Date Prepared: 22 January 2026</p> <p>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>

Clause & Objective	Standard	Comments
	visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.	
<b>Clause 54.05</b>	<b>SUSTAINABILITY</b>	
<b>Clause 54.05-1</b> <b>Permeability objectives</b> To reduce the impact of increased stormwater run-off on the drainage system and downstream waterways. To facilitate on-site stormwater infiltration. To contribute to urban cooling.	<u>Standard A5-1</u> <p>The site area covered by the pervious surfaces is at least 20 percent of the site.</p> <div style="border: 1px solid black; padding: 10px; text-align: center;">  <p><b>ADVERTISED MATERIAL</b></p> <p>Planning Application: T250586 Date Prepared: 22 January 2026</p> <p><small>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small></p> </div>	<b>Standard met</b> The proposed development far exceeds the minimum 20 per cent requirement for pervious surfaces. The high proportion of garden and landscaped areas ensures effective stormwater infiltration, supports vegetation growth, and contributes positively to the landscape character of the neighbourhood.
<b>Clause 54.05-2</b> <b>Overshadowing domestic solar energy systems objective</b> To ensure that the height and setback	<u>Standard A5-2</u> <p>Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot be set back from the boundary to that lot by at least 1 metre at 3.6 metres above ground level, plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p>	<b>Standard met</b> As no existing solar energy systems are located on adjoining lots, the proposal does not result in any overshadowing or loss of solar access. The design also incorporates north-facing living areas and roof orientation suitable for future installation of solar panels, supporting

<b>Clause &amp; Objective</b>	<b>Standard</b>	<b>Comments</b>
<p>of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings.</p>	<p>This standard applies to an existing building in a Township Zone, General Residential Zone or Neighbourhood Residential Zone.</p> <p>In Clause 54.05-2 domestic solar energy system means a domestic solar energy system that existed at the date the application was lodged.</p>	<p>long-term energy efficiency objectives.</p>
<p><b>Clause 54.05-3</b> <b>Rooftop solar energy generation area objective</b>  To support the future installation of appropriately sited rooftop solar energy systems for a dwelling.</p>	<p><u>Standard A5-3</u></p> <p>In Clause 54.05-3 rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system.</p> <p>An area on the roof is capable of siting a rooftop solar energy area for each dwelling which:</p> <ul style="list-style-type: none"> <li>◦ Has a minimum dimension of 1.7 metres.</li> <li>◦ Has a minimum area in accordance with Table B5-3.</li> <li>◦ Is oriented to the north, west or east.</li> <li>◦ Is positioned on the top two thirds of a pitched roof.</li> <li>◦ Can be a contiguous area or multiple smaller areas.</li> <li>◦ Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area.</li> </ul> <p>Refer to <i>Diagram A5-3 Allowable distance between obstructions and the rooftop solar energy area</i>.</p> <p>Obstructions located south of all points of the rooftop solar energy area</p>	<p><b>Standard met</b></p> <p>The proposal will provide suitable roof space, orientation, and dimensions to meet the requirements for a rooftop solar energy area. The design will support long-term sustainability by ensuring that solar energy systems can be installed without modification to the roof form.</p> <div data-bbox="1545 949 2122 1219" style="border: 1px solid black; padding: 10px;">  <p><b>ADVERTISED MATERIAL</b></p> <p>Planning Application: T250586 Date Prepared: 22 January 2026</p> <p>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>

Clause & Objective	Standard	Comments								
	<p>are not subject to the horizontal distance requirements.</p> <p><b>Table A5-3 Minimum rooftop solar energy generation area</b></p> <table border="1"> <thead> <tr> <th>No B'rooms</th><th>Min. roof area</th></tr> </thead> <tbody> <tr> <td>1 bed'r'm dwelling</td><td>15 square metres</td></tr> <tr> <td>2 or 3 bed'r'm dwelling</td><td>26 square metres</td></tr> <tr> <td>4+ bed'r'm dwelling</td><td>34 square metres</td></tr> </tbody> </table>	No B'rooms	Min. roof area	1 bed'r'm dwelling	15 square metres	2 or 3 bed'r'm dwelling	26 square metres	4+ bed'r'm dwelling	34 square metres	
No B'rooms	Min. roof area									
1 bed'r'm dwelling	15 square metres									
2 or 3 bed'r'm dwelling	26 square metres									
4+ bed'r'm dwelling	34 square metres									
<b>Clause 54.05-4</b> <b>Solar protection to new north-facing windows objective</b> To encourage external shading of north facing windows to minimise summer heat gain.	<u>Standard A5-4</u> <p>North-facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.</p> <p>This standard does not apply to a small second dwelling.</p>	<b>Standard met</b> <p>The proposal complies with the requirement as all north-facing windows are designed with shading elements, including eves, with a minimum horizontal depth of 0.25 times the window height.</p>								



**ADVERTISED MATERIAL**

Planning Application: T250586  
Date Prepared: 22 January 2026

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## **9.0 CONCLUSION**

The proposed development at 30 Solid Drive, Pakenham represents a well-considered and site-responsive design outcome that provides a high-quality double-storey dwelling within a newly established residential estate. The design respects the emerging character of the neighbourhood through appropriate height, setbacks, articulation, and materials, while introducing a contemporary architectural expression that contributes positively to the developing streetscape.

The proposal delivers a high standard of internal amenity for future residents, including generous private open space more than 60%, functional and efficient layouts, and sustainable design features such as rainwater harvesting, permeable paving, and provision for rooftop solar. Landscaping, including canopy tree planting, will soften the built form and enhance the presentation of the dwelling to Solid Drive.

The development achieves compliance with the objectives and standards of Clause 54 (ResCode), satisfies the requirements of Clause 52.06 in relation to car parking, and appropriately addresses the relevant State and Local Planning Policy Frameworks. It also responds positively to the strategic directions of the Cardinia Planning Scheme, which encourage housing diversity and supply in well-serviced growth areas while protecting residential amenity and supporting sustainable urban form.

On this basis, the proposal represents an appropriate and desirable outcome for the site and warrants the support of the Responsible Authority.

**Principal Town Planner**  
**SMART TOWN PLANNING**

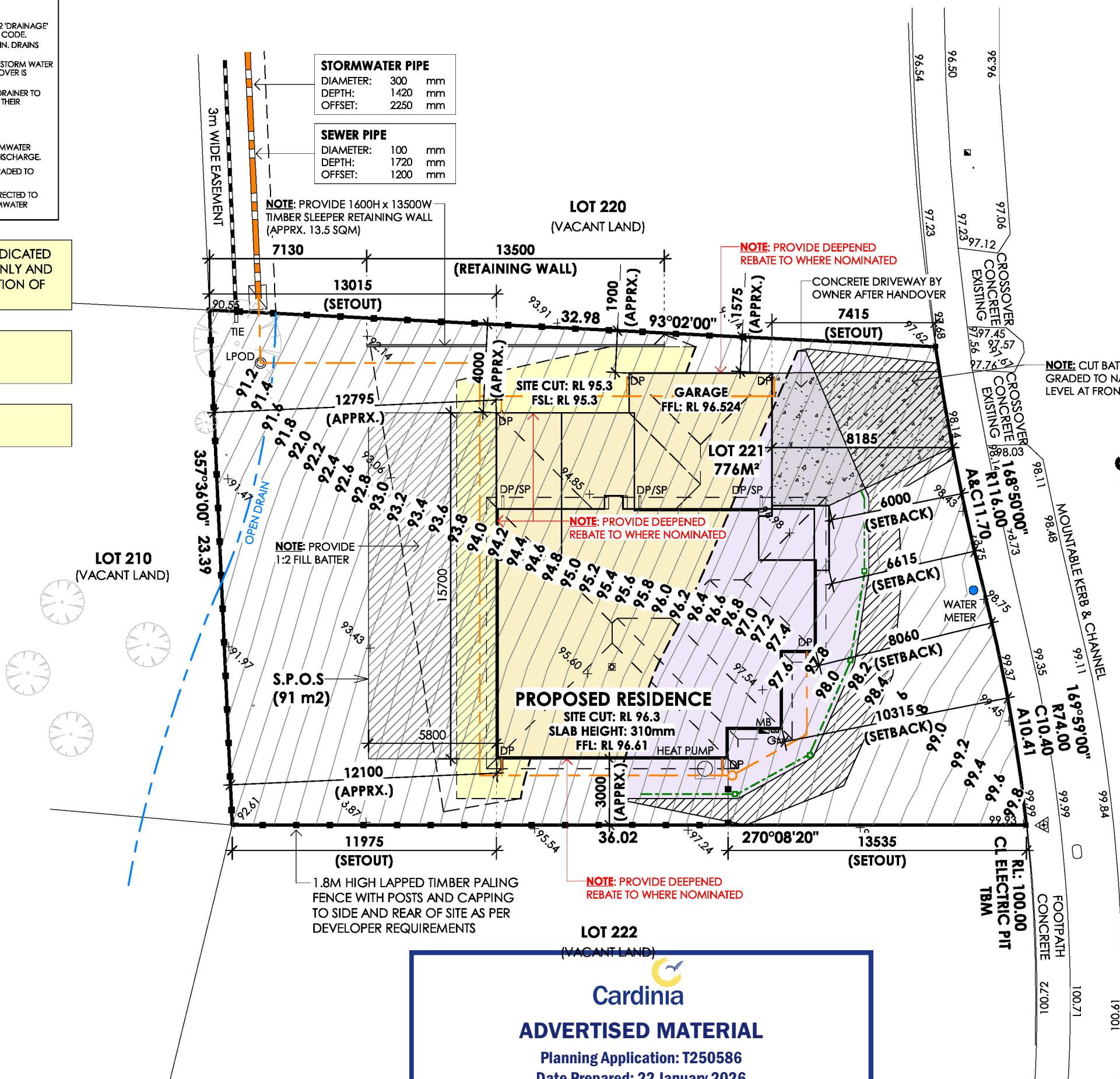


DRAINAGE NOTES:	
• SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.	
• BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.	
• TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.	
• STORMWATER DRAINS ARE INDICATIVE ONLY. DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION	
GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).	
GRATED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.	
PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN.	
SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM	

PV SOLAR PANEL LOCATIONS INDICATED ON PLANS ARE APPROXIMATE ONLY AND MAY BE ALTERED AT THE DISCRETION OF THE INSTALLER

POWER FEED-IN TO DWELLING:  
PROVIDE THREE PHASE POWER TO DWELLING

BUILDERS TO ALLOW FOR NBN CONNECTION (FIBRE OPTIC)



SOLID DRIVE

**SITE CUT/FILL LEGEND & NOTES**

■ DENOTES AREA OF SITE CUT  
■ DENOTES AREA OF SITE FILL

**NOTE:** PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPE AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.

**NOTE:** BUILDER RESERVES THE RIGHT TO ALTER THE SITE CUT HEIGHT TO THEIR DISCRETION, PENDING CONDITIONS ON SITE

**SITE CUT & FILL NOTE**  
PROVIDE SITE CUT OF 1800 mm & FILL 3100 mm OVER BUILDING AREA & PROVIDE AN ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMODATE 86 mm STEPDOWN. NOTE: 45 ° BATTER ANGLE

**STORMWATER LAYOUT**  
STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

**TERMITE TREATMENT REQUIRED**  
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

**EXTERNAL STEPS**  
PROVIDE STEPS OR BUILD UP SOIL AROUND EXTERNAL DOORS WHERE THRESHOLD OF THE DOOR EXCEEDS 190MM

**BOUNDARY FENCE(s) REQUIRED**  
PERIMETER FENCING TO A MINIMUM HEIGHT OF 1800mm TO ANY UNFENCED BOUNDARIES BY OWNER AFTER HANDEROVER

SITE COVERAGE ANALYSIS		
BUILDING AREA	221.87 m <sup>2</sup>	28.59%
PERMEABLE AREA	554.15 m <sup>2</sup>	71.41%
TOTAL SITE AREA	776.02 m <sup>2</sup>	100%

GARDEN AREA ANALYSIS		
DRIVEWAY AREA	41 m <sup>2</sup>	
GARDEN AREA	513.15 m <sup>2</sup>	66.12 %

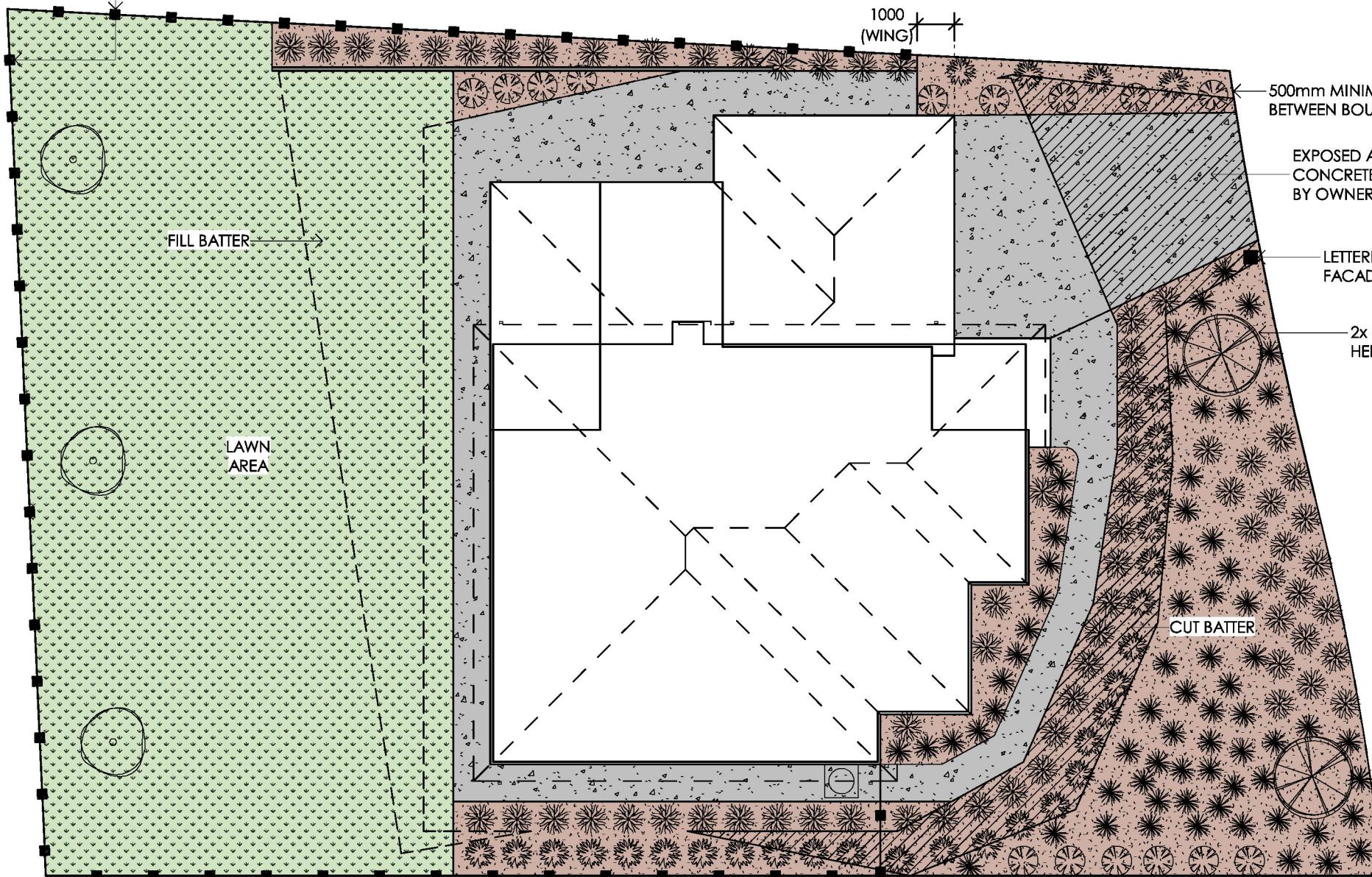
NOTE: GARDEN AREA DOES NOT INCLUDE A DRIVEWAY, ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1M

**NOTE: ALL LANDSCAPING IS TO BE COMPLETED BY CLIENT AFTER HANDOVER**

**NOTE: LANDSCAPE PLAN IS INDICATIVE ONLY AND IS SUBJECT TO DEVELOPER APPROVAL**

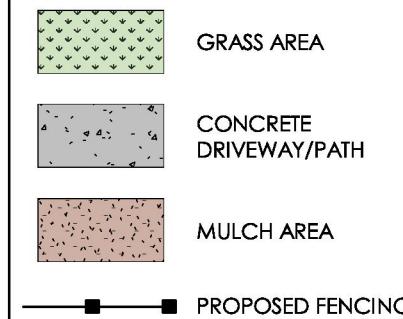
<b>FRONT GARDEN PERMEABILITY</b>		
PERMEABLE AREA	161.02 m <sup>2</sup>	79.7%
DRIVEWAY	41.04 m <sup>2</sup>	20.3%
<b>TOTAL</b>	<b>202.06 m<sup>2</sup></b>	<b>100%</b>

1.8M HIGH LAPPED TIMBER PALING FENCE WITH POSTS AND CAPPING TO SIDE AND REAR OF SITE AS PER DEVELOPER REQUIREMENTS



QTY	BOTANICAL NAME	COMMON NAME	MATURE H x W	POT SIZE
2x	LAGERSTROEMIA 'SIOUX'	CREPE MYRTLE	5M x 3M	40L
3x	BACKHOUSIA CITRIODORA	LEMON MYRTLE	3M x 2M	45L
16x	CORREA REFLEXA	NATIVE FUSCHIA	1M x 1M	150mm
70x	PIMELEA HUMILIS	COMMON RICE FLOWER	0.3M x 0.3M	100mm
33x	WESTRINGIA FRUTICOSUM	JERVIS GEM	1M x 1M	150mm
70x	LOMANDRA CONFERTIFOLIA	LITTLE CON	0.3M x 0.3M	100mm

### LANDSCAPE LEGEND



ALL PLANTS ARE TO BE NATIVE AS PER COUNCIL APPROVED SPECIES LIST

### CONSTRUCTION DETAILS/SPECIFICATIONS

#### WEED REMOVAL

ALL WEEDS SHALL BE THOROUGHLY REMOVED, ALL VEGETATIVE MATERIAL, INCLUDING ROOTS AND RHIZOMES OF NON-WOODY PERENNIALS AND WOODY SUCKERING WEEDS, IS TO BE REMOVED OR APPROPRIATELY CONTROLLED USING CHEMICAL MEANS. THE STUMPS OF NON-SUCKERING WOODY PERENNIALS ARE TO BE STUMP GROUND.

ALL VEGETATIVE MATERIAL SHALL BE APPROPRIATELY DISPOSED OF OFF SITE IN A MANNER WHICH WILL NOT ALLOW THEIR RE-ESTABLISHMENT ELSEWHERE. ANY CHEMICAL CONTROLS ARE TO BE USED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND STANDARD OCCUPATIONAL HEALTH AND SAFETY PROCEDURES. PRIOR TO PLANTING GARDEN BEDS AND DURING THE MAINTENANCE AND ESTABLISHMENT PERIOD AREAS SHALL BE WEED FREE.

#### SOIL PREPARATION

SUBSOIL SHALL BE PREPARED SO IT IS FRIABLE AND SCARIFIED TO A DEPTH OF 300MM PRIOR TO SPREADING OF TOPSOIL. ALL AREAS SHALL BE FREE DRAINING. THE CONTRACTOR IS TO ENSURE AREAS DRAIN FREELY OR OTHERWISE INSTALL DRAINAGE CONNECTED TO THE STORMWATER SYSTEM TO ENSURE GARDEN BEDS DRAIN FREELY.

ANY IMPORTED TOPSOIL IS TO BE FREE OF WEEDS, RUBBLE AND OTHER MATERIALS DAMAGING TO PLANT GROWTH AND IS TO BE OF A MEDIUM TEXTURE (SANDY LOAM) WITH A PH OF 6.0-7.0. TOP SOIL IS TO BE LAID OVER A PREPARED SUB-BASE WHICH HAS HAD ANY MATERIALS DAMAGING TO PLANT GROWTH REMOVED, SPREAD TO THE APPROPRIATE DEPTH AND CULTIVATED INTO THE EXISTING SITE SOIL TO A MINIMUM DEPTH OF 150MM.

IMPORTED TOPSOIL IS TO BE LIGHTLY AND UNIFORMLY COMPAKTED IN 150MM LAYERS TO A MINIMUM DEPTH OF 100MM ON LAWN AREAS AND 300MM ON GARDEN BEDS.

#### MULCH

MULCH IS TO BE SUPPLIED TO ALL GARDEN BEDS AND IS TO BE AN ORGANIC TYPE LAID TO A MINIMUM DEPTH OF 75MM. MULCH SHALL BE FREE OF DAMAGING MATTER SUCH AS SOIL, WEEDS AND STICKS AND IS TO BE STOCKPILED AND THOROUGHLY WEATHERED PRIOR TO DELIVERY. MULCH IS TO BE KEPT BACK 100MM FROM THE STEMS OF ALL PLANTS TO PREVENT ROT.

MULCH TYPE - PINE BARK CHIPS

#### PLANTING

PLANTING SHALL BE CARRIED OUT USING ACCEPTED HORTICULTURAL PRACTICES WITH ALL PLANTS CONFORMING TO THE SPECIES, SIZE AND QUANTITIES INDICATED ON THE LANDSCAPE PLAN AND PLANT SCHEDULE. PLANTS SHALL BE THOROUGHLY SOAKED THROUGH IMMERSION IN WATER PRIOR TO PLANTING AND IF THE PLANTING SOIL IS VERY DRY THEN THE PLANTING HOLE IS ALSO TO BE FILLED WITH WATER AND ALLOWED TO DRAIN COMPLETELY.

ALL PLANTS SHALL BE APPROPRIATELY HARDENED OFF IN THE NURSERY. USE PLANTS WITH THE FOLLOWING CHARACTERISTICS: LARGE HEALTHY ROOT SYSTEMS WITH NO EVIDENCE OF ROOT CURL OR POT BOUND RESTRICTION OR DAMAGE, VIGOROUS, WELL ESTABLISHED, FREE FROM DISEASE AND PESTS AND OF GOOD STRUCTURE, CONSISTENT WITH THE SPECIES OR VARIETY.

PLANTING HOLES FOR SHRUBS AND GROUNDCOVERS ARE TO BE OF MINIMUM SIZE 75MM LARGER THAN THE PLANTING POT IN ALL DIRECTIONS. SEMI-ADVANCED TREE PLANTING HOLES ARE TO BE THE SAME DEPTH AS THE ROOTBALL AND 2-3 TIMES ITS DIAMETER, WITH THE TOP OF THE ROOTBALL BEING AT GRADE. A 75MM HIGH BERM IS TO BE CONSTRUCTED AT EDGE OF ROOT-BALL TO HOLD WATER. ALL PLANTS ARE TO BE THOROUGHLY WATERED AFTER PLANTING AND SLOW RELEASE FERTILISER ADDED AT THE QUANTITIES SPECIFIED BY THE MANUFACTURER.

**NATURE STRIP**  
DAMAGED NATURE STRIP TO BE REPAIRED.

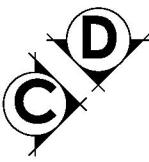
#### ROOT BARRIER

ANY FOUNDATIONS OF BUILT STRUCTURES, INCLUDING ANY CONCRETE AREAS SUCH AS PATHS/DRIVEWAYS, MUST BE PROTECTED WITH APPROPRIATE TREE ROOT/MOISTURE BARRIERS TO ENSURE THE INTEGRITY OF THE FOUNDATIONS ARE NOT COMPROMISED.

#### MAINTENANCE AND ESTABLISHED PERIOD

FOLLOWING THE RESPONSIBLE AUTHORITY'S APPROVAL OF PRACTICAL COMPLETION, THERE WILL BE A 13-WEEK LANDSCAPE MAINTENANCE AND ESTABLISHED PERIOD.

MAINTENANCE AND ESTABLISHMENT REFERS TO THE HORTICULTURAL CARE AND MAINTENANCE OF THE CONTRACT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL PLANTS UNDER MAINTENANCE IF THEY DIE, BECOME DISEASED OR INFESTED WITH PESTS OR WILT DUE TO ANY HORTICULTURAL REASON.



\* DENOTES INTERNAL DOORS TO BE 2340mm HIGH

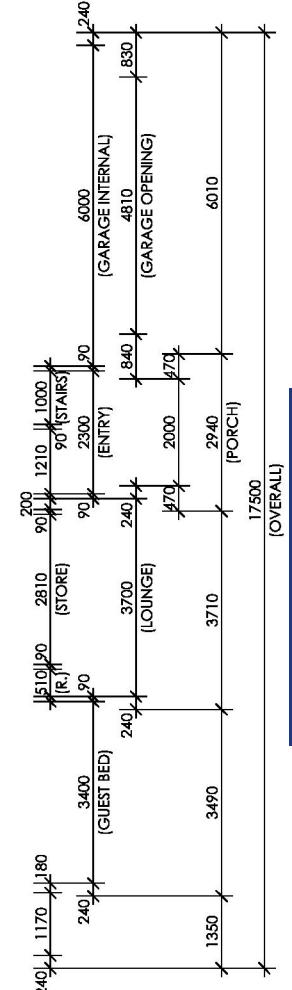
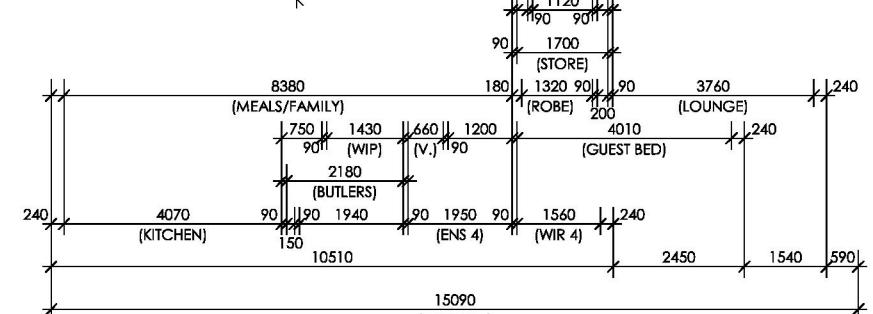
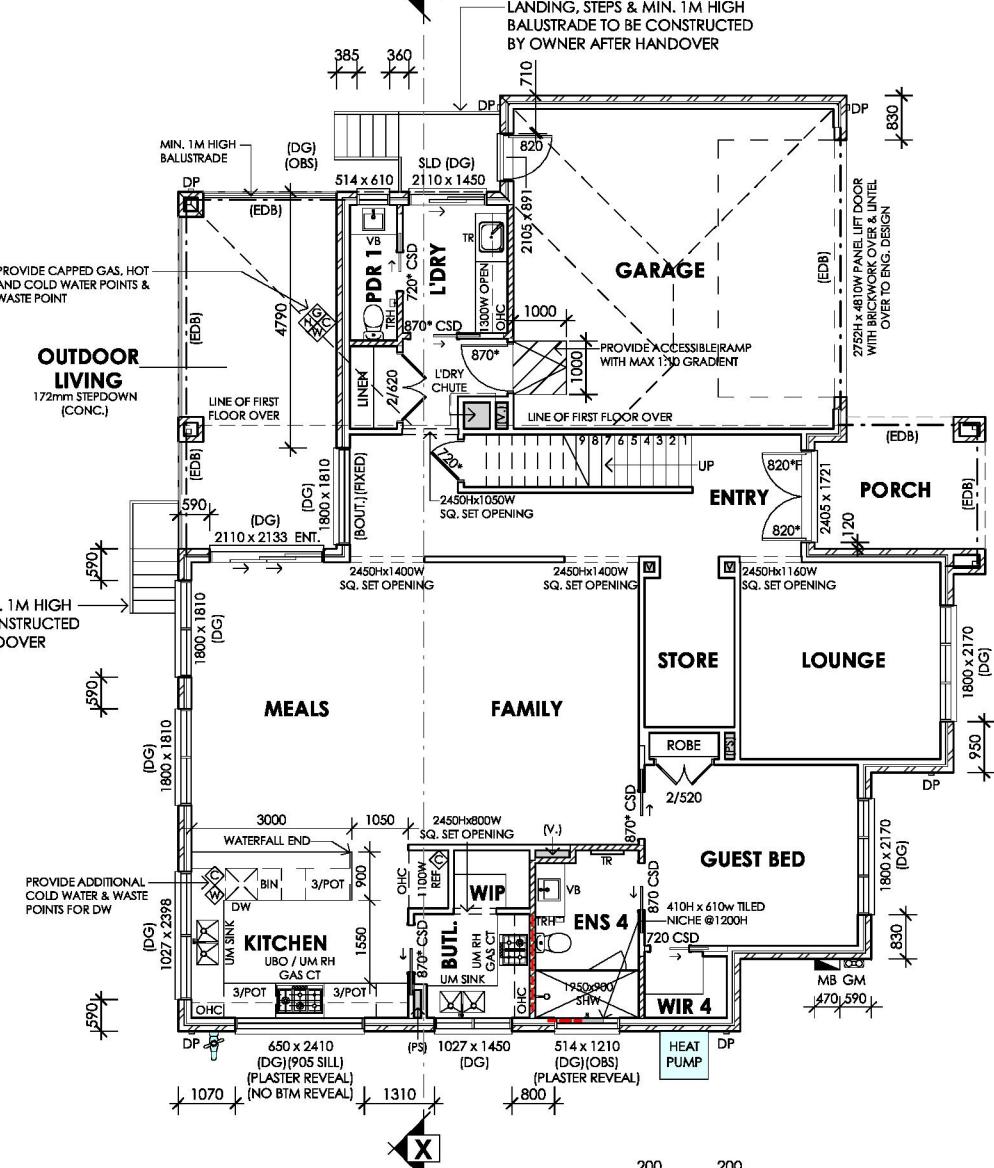
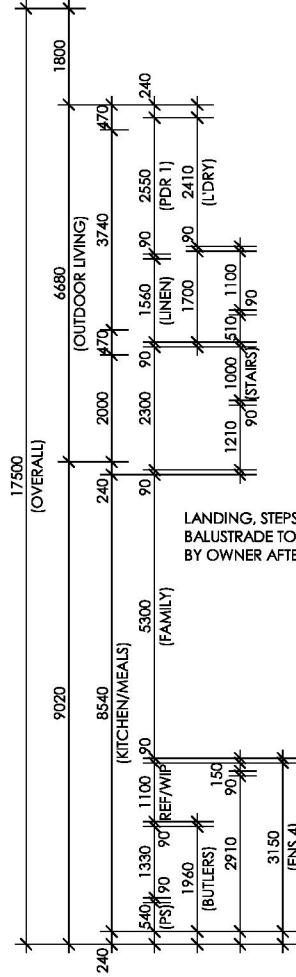
**NOGGINS FOR ACCESSIBILITY**  
PROVIDE NOGGINS/SHEETING TO AREAS NOMINATED BY: -----

REFER TO INTERNAL ELEVATIONS FOR SIZING AND HEIGHTS

PROVIDE R2.0HP INSULATION TO WET AREAS NOMINATED AS: -----

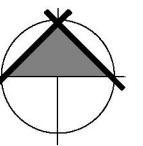
COLD WATER POINT TO REF SPACE @2000mm HIGH, 150mm FROM SIDE WALL

PROVIDE 50mm RECESS TO SLAB FOR FLUSH TILED SHR BASE IN ENSUITE 4 SHOWER



**IMPORTANT NOTE:**  
■ DENOTES A SERVICE VOID SPACE THAT CANNOT BE REMOVED, REDUCED OR RELOCATED  
■ TRUSS LAYOUT DESIGN TO BE CLEAR OF ALL VOID LOCATIONS AS PER FLOOR PLAN

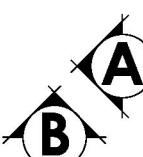
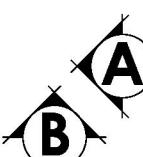
**GENERAL NOTES**  
- WRITTEN DIMENSIONS ALWAYS TAKE PREFERENCE OVER SCALE  
- BUILDER MAY ADJUST GARAGE DOOR HEIGHT AND WIDTH ON SITE  
- ALL DIMENSIONS ARE IN MILLIMETRES  
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:  
- EXTERNAL 240mm + 110 BRICK, 40 CAVITY, 90 STUD  
- INTERNAL 90mm STUD  
- INTERNAL DOORS 2000mm HIGH  
- INTERNAL DOORS 2000mm HIGH BE 2040 (2340) NOTED WITH ASTERISK - \*  
- PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS WHERE INDICATED (LH)  
- PROVIDE ACCESS TO EXTERIOR FROM ENTRY DOOR (MH)  
- 400x400 CEILING ACCESS MANHOLE LOCATION  
- SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)  
- CEILING FAN (FAN SWITCHED/COMBINED WITH LIGHT)  
- BIB TAP (EDB) RECYCLED TAP (EDB)  
- GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES  
- HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS (EDB)

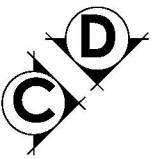


**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250586  
Date Prepared: 22 January 2026

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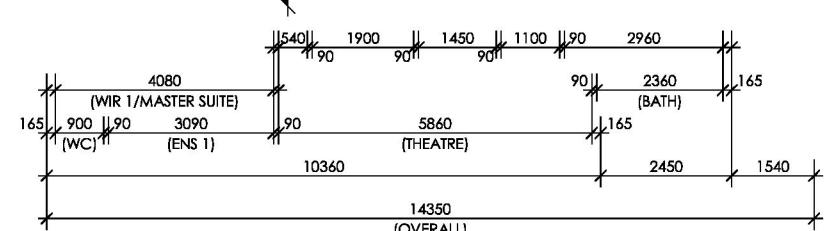
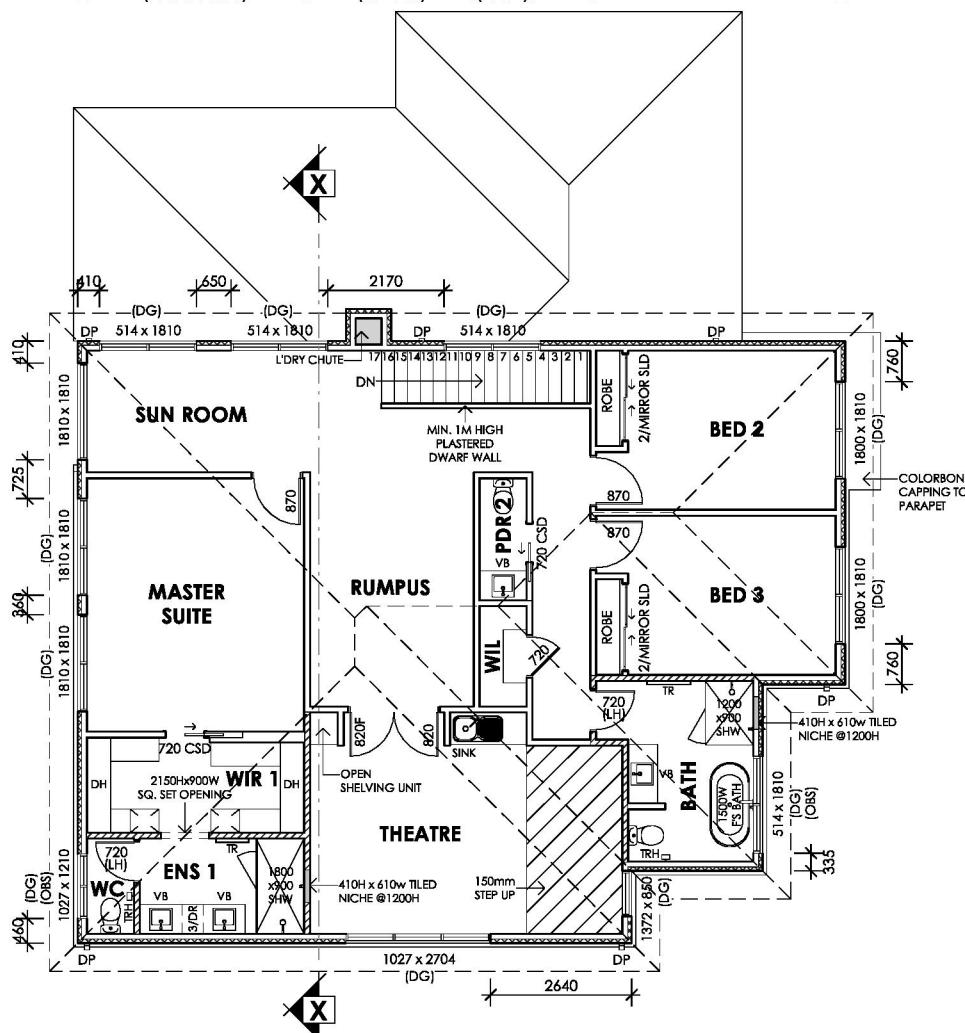
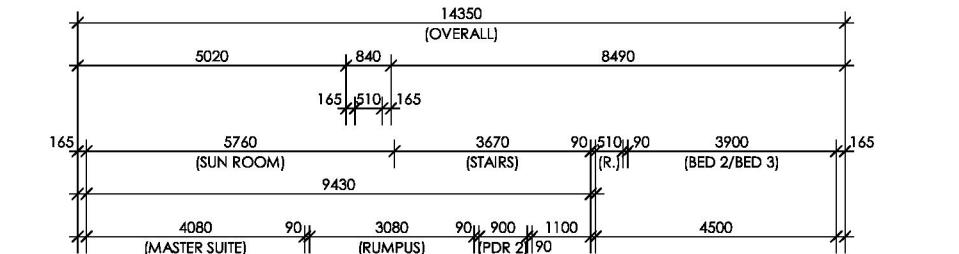
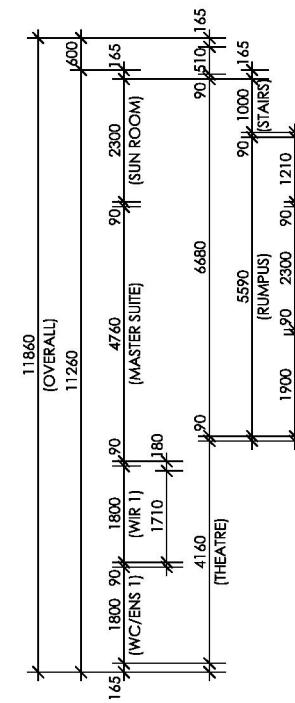
AREAS TABLE		
AREA	m <sup>2</sup>	SQ
GROUND FLOOR	154.71 m <sup>2</sup>	16.65
FIRST FLOOR	151.32 m <sup>2</sup>	16.29
SUB TOTAL:	306.03 m <sup>2</sup>	32.94
OUTDOOR LIVING	19.77 m <sup>2</sup>	2.13
GARAGE	39.51 m <sup>2</sup>	4.25
PORCH	7.87 m <sup>2</sup>	0.85
SUB TOTAL:	67.16 m <sup>2</sup>	7.23
GRAND TOTAL:	373.19 m <sup>2</sup>	40.17





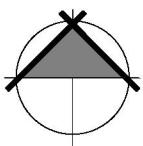
PROVIDE 50mm RECESS TO SLAB FOR  
FLUSH TILED SHR BASES IN BATHROOM  
AND ENSUITE

PROVIDE R2.0HP INSULATION TO  
WET AREAS NOMINATED AS:



**IMPORTANT NOTE:**  
■ DENOTES A SERVICE VOID SPACE THAT CANNOT  
BE REMOVED, REDUCED OR LOCATED  
AS REQUIRED  
FLOOR JOISTS & TRUSS LAYOUT DESIGN TO BE CLEAR OF ALL  
VOID LOCATIONS AS PER FLOOR PLAN  
FLOOR JOISTS TO BE CLEAR OF ALL WASTE LOCATIONS AS  
PER FIRST FLOOR PLAN & SETOUT PLAN

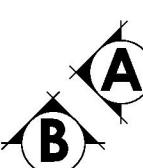
**GENERAL NOTES**  
- WRITTEN DIMENSIONS ALWAYS TAKE PREFERENCE OVER SCALE  
- DOORS MAY ADJUST GARAGE DOOR HEIGHT AND WIDTH ON SITE  
- AS REQUIRED  
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:  
- EXTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD  
- INTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD  
- ALL INTERNAL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK \*)  
- PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER  
- DOORS TO BE 2040H  
- PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR - 600x600 CEILING ACCESS MANHOLE LOCATION - SMOKE DETECTORS TO BE COLOCATED WITH BATTERY BACKUP - CEILING DUST FAN SWITCHED COLOCATED WITH LIGHT - ENGINEER DESIGNED BEAM - DOUBLE GLAZING - (DG)  
- EGRESS POINTS TO BE 1000mm FROM JOINT - EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION - SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE  
- DRAINS TO REACH SEWER - GAS METER 1m CLEARANCE TO OPENINGS & IGNITION SOURCES - HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS



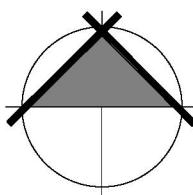
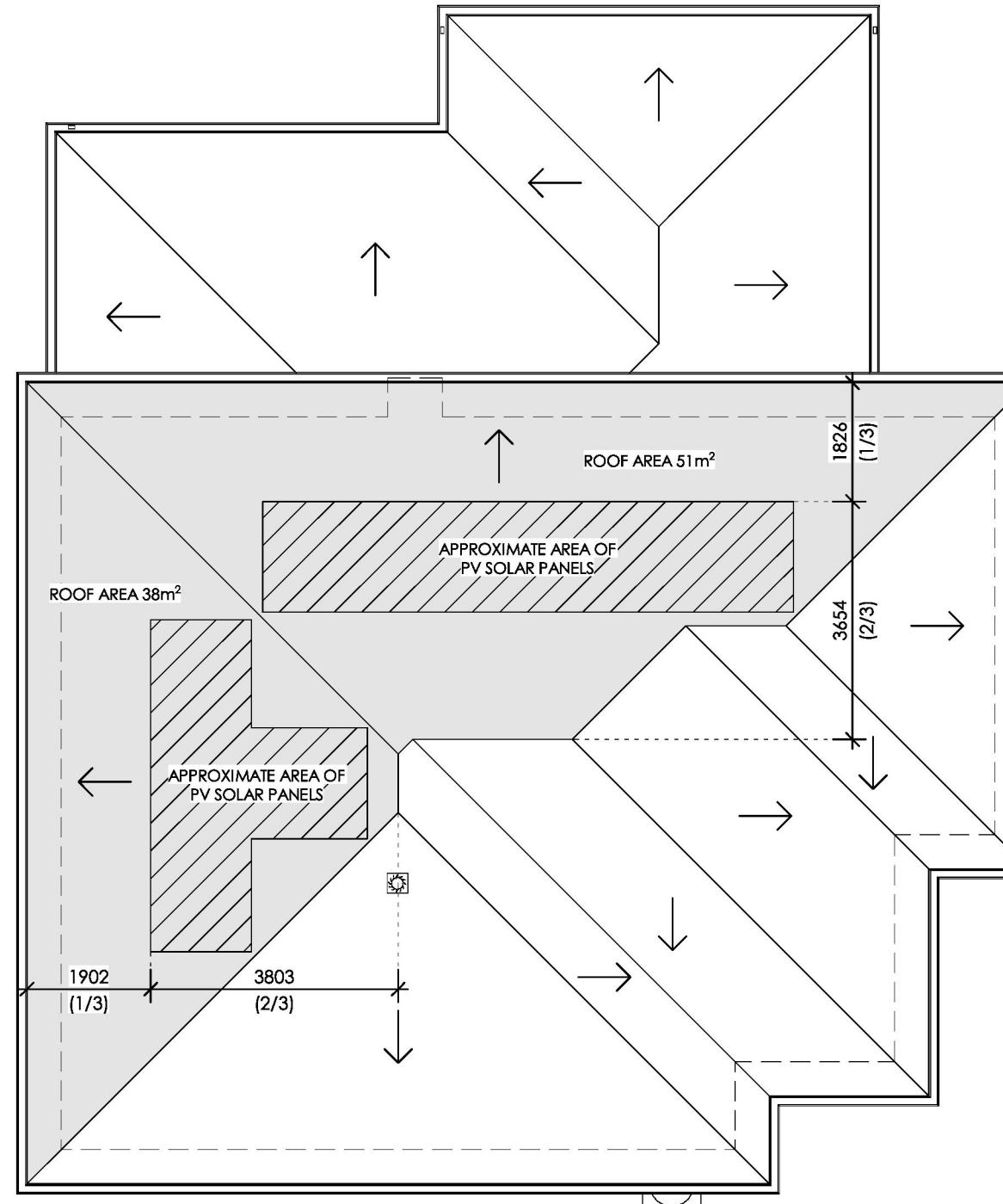
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**ADVERTISED MATERIAL**  
Planning Application: T250586  
Date Prepared: 22 January 2026

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SUB TOTAL:	67.16 m <sup>2</sup>	7.23
GRAND TOTAL:	373.19 m <sup>2</sup>	40.17



**IMPORTANT NOTE:**  
SOLAR PANELS TO BE LOCATED IN TOP  
2/3 OF ROOF AS PER STANDARD A5-3



433 Princes Hwy  
Officer VIC 3809  
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Fax: 9095 8010  
info@sjdhomes.com.au  
  
BL No. CDB-U 56523  
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**PROPOSED:**  
**HOUSE & GARAGE**  
  
**HOUSE TYPE:**  
**CUSTOM**

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WITHOUT WRITTEN PERMISSION FROM SJD HOMES

**SIGNED BUILDER:**  
.....  
  
**SIGNED OWNER:**  
.....  
  
**DATE:**  
.....

**CLIENT:**  
[REDACTED]  
  
**SITE ADDRESS:**  
**LOT 221, NO. 30 SOLID DRIVE**  
**PAKENHAM, 3810**

**DRAWING TITLE:**  
**ROOF PLAN**

**ISSUE:** PRELIM E

**ISSUE DATE:** 31.10.25

**SCALE:** 1 : 100 **MASTER DATE:**

**DRAWN:** JG **CHECKED:** JG

**SHEET NO:** 03B **OF:** 04

  
**Cardinia**  
**ADVERTISED MATERIAL**  
**Planning Application: T250586**  
**Date Prepared: 22 January 2026**

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### EXTERNAL DOOR THRESHOLDS:

THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

### DISCLAIMER:

GARAGE DOOR IS INDICATIVE ONLY AND IS NOT AN ACCURATE DEPICTION OF HOW MANY PANELS ARE ON DOOR

RENDERED BRICKWORK

RENDERED FOAM

NOTE: PROVIDE ANTICON BLANKET TO ENTIRE ROOF AREA

### EXTERNAL MATERIAL SCHEDULE

TYPE	DESCRIPTION/COLOUR	IMAGE
FACE BRICKWORK	AUSTRAL 'DOMAIN HAVEN' (OFF-WHITE ROLLED MORTAR)	
RENDERED FOAM	RENDER IN 'AGED GREY 3 - HAYMES'	
RENDERED BRICKWORK	RENDER IN 'BLEACHED BROWN - HAYMES'	
ROOF, FASCIA/GUTTER, DOWNPipes	COLORBOND 'MONUMENT'	
GARAGE DOOR	DYNAMIC - SLIMLINE IN 'SURFMIST'	
WINDOW FRAMES	ALUMINIUM IN 'MONUMENT'	
FRONT DOOR	'HAYMES DEXPRESS STAIN - MOCHA'	



### ADVERTISED MATERIAL

Planning Application: T250586

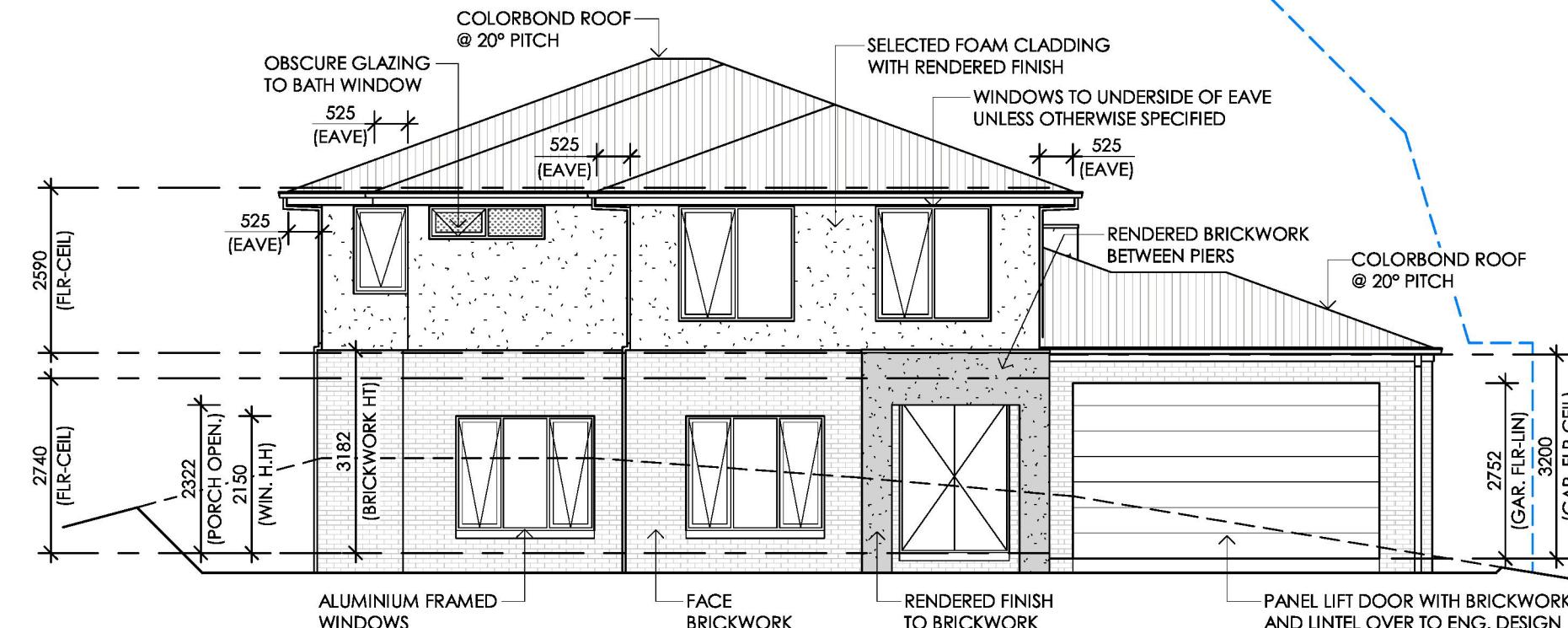
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FOR OFFICE USE ONLY

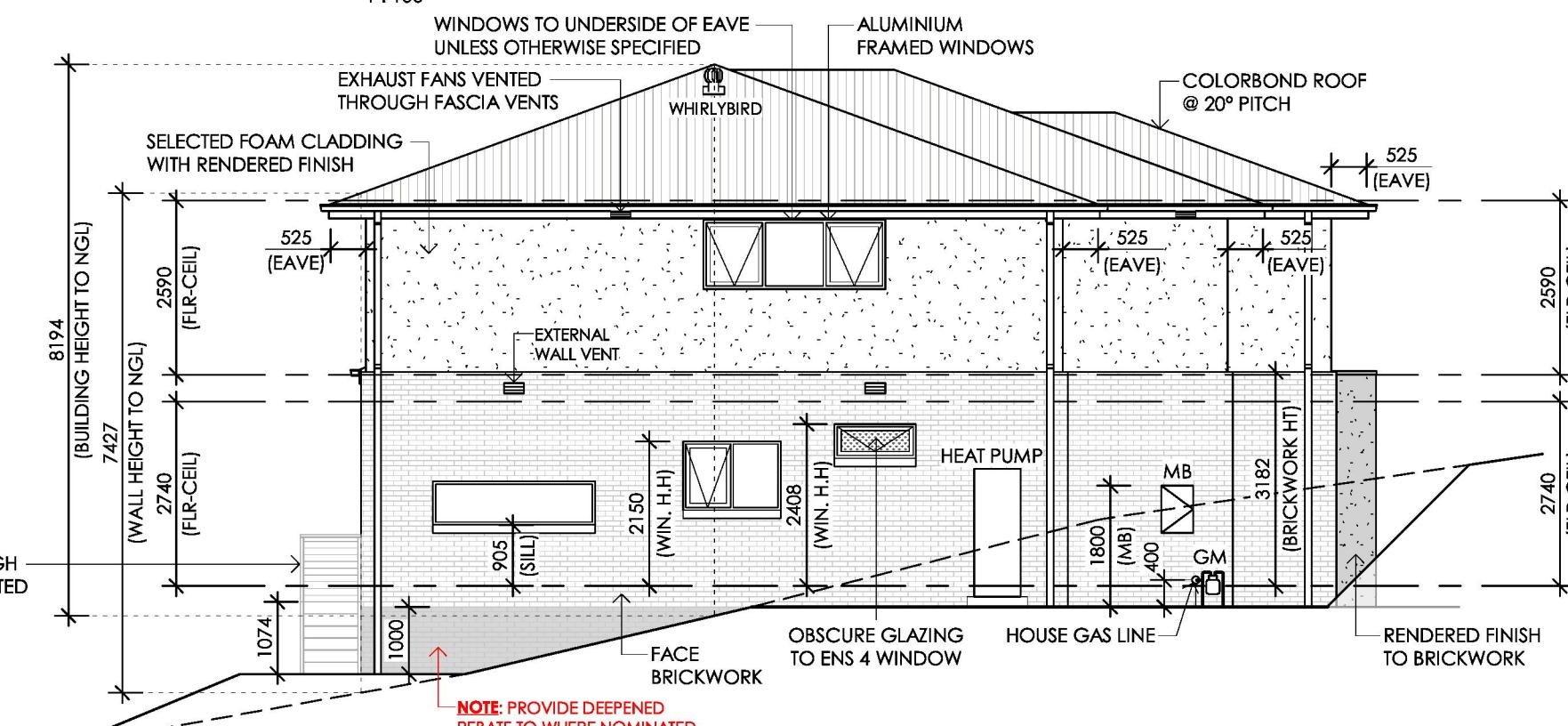


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Officer VIC 3809  
Ph: 9095 8000  
Fax: 9095 8010  
info@sjdhomes.com.au  
BL No. CDB-U 56523  
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### ELEVATION A - EAST

1 : 100



### ELEVATION B - SOUTH

1 : 100

<b>PROPOSED:</b> <b>HOUSE &amp; GARAGE</b> <b>HOUSE TYPE:</b> <b>CUSTOM</b>		<b>SIGNED BUILDER:</b>  <b>SIGNED OWNER:</b>  <b>DATE:</b>	<b>CLIENT:</b>  <b>SITE ADDRESS:</b> <b>LOT 221, NO. 30 SOLID DRIVE PAKENHAM, 3810</b>	<b>DRAWING TITLE:</b> <b>ELEVATIONS</b>
				<b>ISSUE:</b> PRELIM E <b>ISSUE DATE:</b> 31.10.25 <b>SCALE:</b> 1 : 100 <b>MASTER DATE:</b> <b>DRAWN:</b> JG <b>CHECKED:</b> JG <b>SHEET NO:</b> 04 <b>OF:</b> 04
<small>THIS WORK IS THE PROPERTY OF SJD HOMES AND ANY COPYING OR ALTERING OF THE DRAWING SHALL NOT BE UNDERTAKEN WITHOUT WRITTEN PERMISSION FROM SJD HOMES</small>				

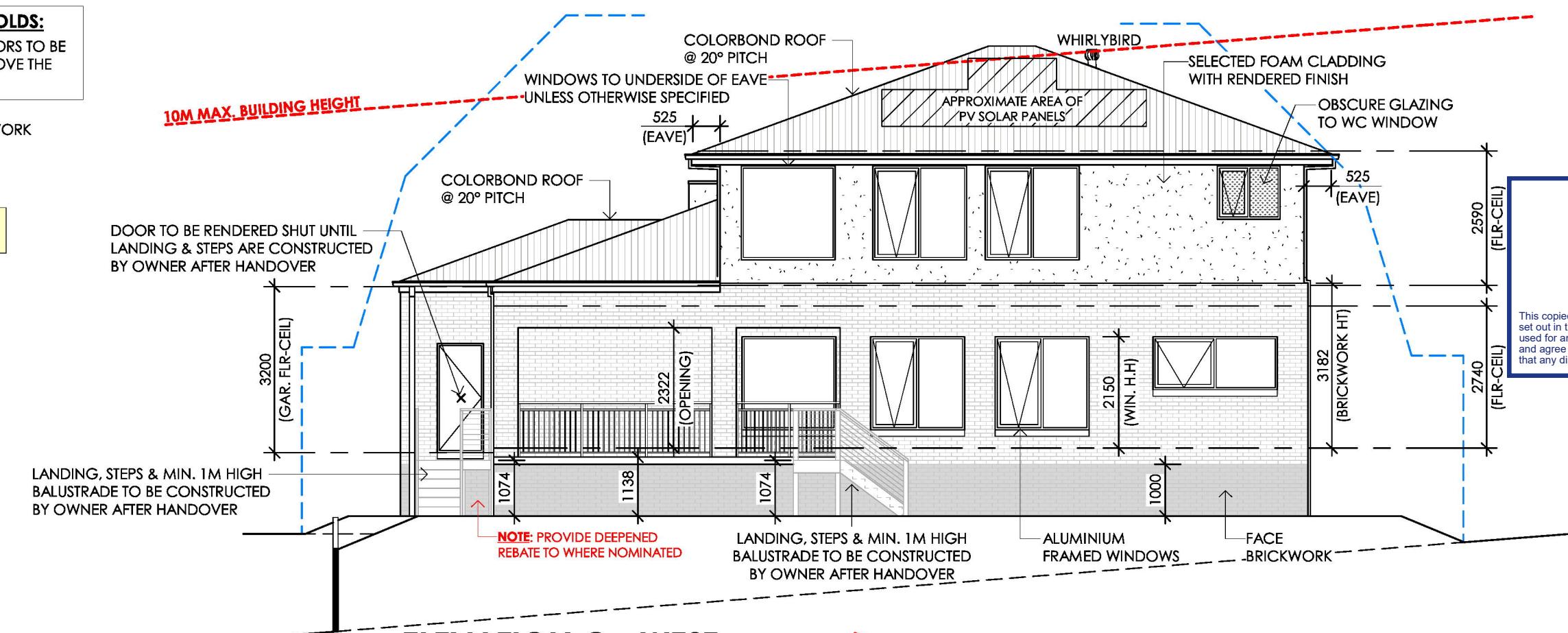
### EXTERNAL DOOR THRESHOLDS:

THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

RENDERED BRICKWORK

RENDERED FOAM

NOTE: PROVIDE ANTICON BLANKET TO ENTIRE ROOF AREA

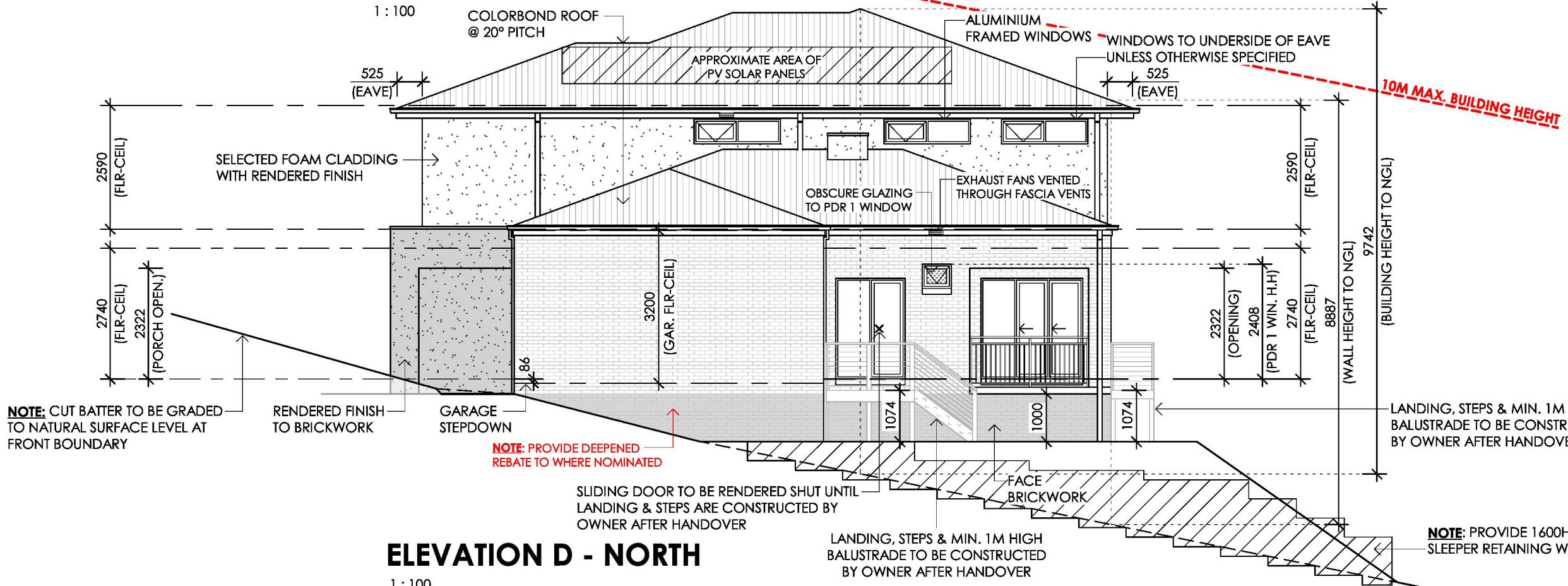


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ADVERTISED MATERIAL  
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### ELEVATION C - WEST

1 : 100



### ELEVATION D - NORTH

1 : 100

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FORM 18 Section 181

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE  
MAKING OF A RECORDING OF AN AGREEMENT**

**Planning and Environment Act 1987**

Lodged by:

Name: [REDACTED] SOLICITOR

Phone: 9571.5236

Address: 16 Ash Grove, Malvern East 3145

Ref: Galway View Pty. Ltd.

Customer Code: 01786Y

The Authority having made an agreement referred to in section 181(1) of the Planning and Environment Act 1987 requires a recording to be made in the Register for the land.

Land: Volume 8810 Folio 340 and Volume 8652 Folio 976

Authority: Cardinia Shire Council  
Henty Way, Pakenham, Victoria, 3810

Section and Act under which agreement made:

*S 173 of Planning and Environment Act 1987*

A copy of the Agreement is attached to this Application.

Signature for the Authority

Name of Officer:

Date: 22/8/13

Cardinia

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- 2. INTERPRETATION**
- 3. SECTION 173 AGREEMENT**
- 4. SPECIFIC OBLIGATIONS OF THE OWNER**
- 5. FURTHER OBLIGATIONS OF THE OWNER**
- 6. AGREEMENT UNDER SECTION 173 OF THE ACT**
- 7. OWNER'S WARRANTY**
- 8. SUCCESSORS IN TITLE**
- 9. GENERAL MATTERS**
- 10. COMMENCEMENT OF AGREEMENT**

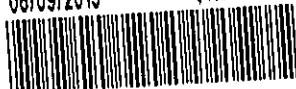


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## AGREEMENT

THIS AGREEMENT is made the 26<sup>th</sup> day of August 2013

### BETWEEN:

**CARDINIA SHIRE COUNCIL**  
of Henty Way, Pakenham, in the State of Victoria  
("the Council")

- and -

Galway View Pty Ltd, 505 St Kilda Road, Melbourne in the State of Victoria  
("the Owner")

### INTRODUCTION

- A. Council is the Responsible Authority pursuant to the Act for the Planning Scheme.
- B. The Owner is the registered proprietor of the Land.
- C. On 18 September 2007 the Council issued Planning Permit No. T060892 permitting subdivision of the land into 110 lots, the provision of public open space and tree reserves, creation of access to a Road Zone Category 1 and the removal of native vegetation generally in accordance with the endorsed plan. Condition 3 of the Planning Permit requires the Owner to enter into this Agreement to provide for the matters set out in that condition.
- D. A Plan of Subdivision was not certified within two years of the date of the Planning Permit. An extension of time was approved by Council on 16 September 2009 and 10 October 2011. Endorsed Plans were approved on 22 September 2012 and this revised the lot numbers compared to the original permit application plans (Watsons Pty Ltd Revision E). The lots previously numbered 36 to 47 inclusive on Watsons Pty Ltd Revision E and obligated in Condition 3 of the Planning Permit are renumbered lots 120 to 126 inclusive and lots 223 to 227 inclusive on the Endorsed Plan.
- E. The parties enter into this Agreement:-
  - (a) to give effect to the requirements of Condition 3 of the Planning Permit; and
  - (b) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Land.

  
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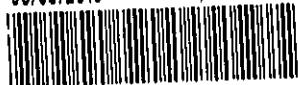
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**IT IS AGREED:**

**1. DEFINITIONS**

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

- 1.1 **"the Act"** means the *Planning and Environment Act* 1987.
- 1.2 **"this Agreement"** means this Agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.
- 1.3 **"Amended Planning Permit Plan"** means the amended plans approved under the Planning Permit as an Endorsed Plan generally in accordance with Watsons Pty Revision E dated 4 September 2007 but modified in accordance with condition 1 of the Planning Permit.
- 1.4 **"Building"** has the same meaning as in the Act.
- 1.5 **"Building Envelope"** means the building envelope shown for a particular lot in the Plan of Subdivision and has the same meaning as in regulation 406 of the Building Regulations.
- 1.6 **"Dwelling"** has the same meaning as in the Cardinia Planning Scheme.
- 1.7 **"Eastern most allotments"** being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.8 **"Endorsed Plan"** means the plans endorsed with the stamp of the Council from time to time known as the Amended Planning Permit Plan and Landscape Masterplan which form part of the Planning Permit.
- 1.9 **"Land"** means the land situated at 120-150 Pakenham Road, Pakenham, being all of the land contained in Certificate of Title Volume Folio 8810 340 and Certificate of Title Volume Folio 8652 976 and any reference to the Land includes any lot created by the subdivision of the Land or any part of it.
- 1.10 **"Landscape Masterplan"** means the plan approved under the Planning Permit as an Endorsed Plan which shall provide for, inter alia, the revegetation of the ridgeline/ rear of lots 120 to 126 inclusive and lots 223 to 227 inclusive and trees to be retained generally in accordance with the Planning Permit.
- 1.11 **"Lot"** means a lot or allotment on the Endorsed Plan.
- 1.12 **"Planning Permit"** means Planning Permit T060892 dated 18 September 2007.

  
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1.13 **"Planning Scheme"** means the Cardinia Planning Scheme and any other planning scheme that applies to the Land.

1.14 **"Ridgeline"** means the Pakenham North Ridge a natural topographic feature which affects part of the Land being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.

1.15 **"Ridgeline Elevation"** means the changing level or height of the Ridgeline.

1.16 **"Statement of Compliance"** means a Statement of Compliance under the Subdivision Act 1988.

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## 2. INTERPRETATION

In this Agreement unless the context admits otherwise:



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- 2.1. the singular includes the plural and vice versa.
- 2.2. a reference to a gender includes a reference to each other gender.
- 2.3. a reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4. if a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5. a word or expression used in this Agreement has its ordinary meaning unless that word or expression is defined in this Agreement. If a word or expression is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6. any reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7. the introductory clauses to this Agreement are and will be deemed to form part of this Agreement.

## 3. SECTION 173 AGREEMENT

### 3.1 Purpose

This agreement is made under section 173 of the Act. In entering into it the Parties intend to achieve or advance the objectives of planning in Victoria or the objectives of the Planning Scheme.

### 3.2 Burden of covenants

The Council and the Owner intend that the burden of the Owner's covenants run with the Land.

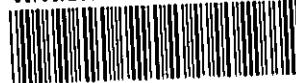
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## 4. SPECIFIC OBLIGATIONS OF THE OWNER

**The owner acknowledges and agrees that:**

### 4.1 Building Restrictions

No building shall be constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive outside the building envelopes shown on the Endorsed Plan except with the prior written consent of Council.

### 4.2 Height Controls

Any dwelling constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive must not be higher than 2.0 metres above the highest point of the ridgeline elevation on that lot.

### 4.3 Re-vegetation

Re-vegetation and landscaping across the ridgeline (the rear of the Eastern most allotments) must be carried out generally in accordance with the approved Landscape Masterplan prior to the issue of a Statement of Compliance.

## 5. FURTHER OBLIGATIONS OF THE OWNER

The Owner further agrees that:

### 5.1 Notice and Registration

5.1.1 the Owner will bring this Agreement to the attention of all prospective purchasers, mortgagees, transferees and assigns.

### 5.2 Further Actions

5.2.1 the Owner will do all things necessary to give effect to this Agreement.

5.2.2 the Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the register on the Certificate of Title to the Land in accordance with section 181 of the Act and do all things necessary to enable Council to do so, including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable a recording to be made in the register under that section.

### 5.3 Council's costs to be paid

5.3.1 the Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.

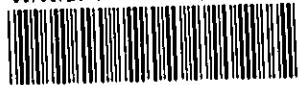


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## 6. AGREEMENT UNDER SECTION 173 OF THE ACT

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement, and insofar as they can be so treated, this Agreement is made pursuant to section 173 of the Act.

## 7. OWNERS WARRANTY

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land which may be affected by this Agreement.

## 8. SUCCESSORS IN TITLE

8.1 Without limiting the operation or effect which this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Land, successors in title shall be required to:-

- (a) give effect to and do all acts and sign all documents which require those successors to give effect to this Agreement; and
- (b) execute a Deed agreeing to be bound by the terms of this Agreement.

## 9. GENERAL MATTERS

### 9.1 Notices

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 9.1.1 by delivering it personally to that party;
- 9.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- 9.1.3 sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

### 9.2 A notice or other communication is deemed served:

- 9.2.1 if delivered, on the next following business day;
- 9.2.2 if posted, on the expiration of two business days after the date of posting; or

  
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9.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested transmission before the end of that business day.

#### **9.3 No Waiver**

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

#### **9.4 Severability**

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

#### **9.5 No Fettering of Council's Powers**

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

### **10. COMMENCEMENT OF AGREEMENT**

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

**AK575312M**  
06/09/2013 \$113 173  




AK575312M

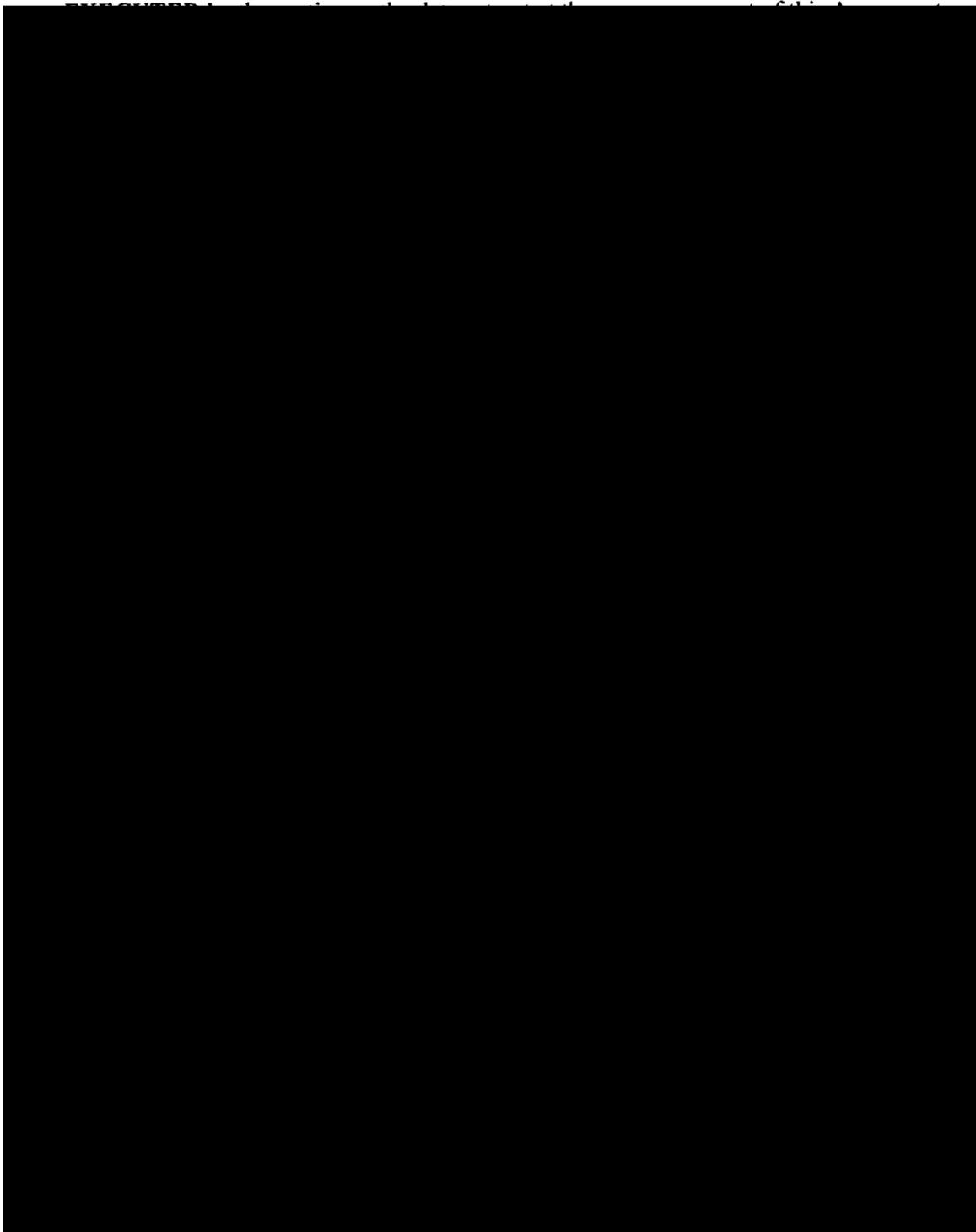
06/09/2013

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173



## SIGNING PAGE



 Cardinia

### ADVERTISED MATERIAL

Planning Application: T250586

Date Prepared: 22 January 2026

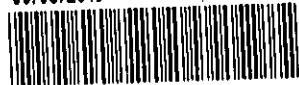
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**AK575312M**

06/09/2013

\$113

173



**DATED**

**CARDINIA SHIRE COUNCIL**

- and -

**GALWAY VIEW PTY LTD**  
**ACN 007 183 897**



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**AGREEMENT  
UNDER SECTION 173  
OF THE PLANNING  
AND ENVIRONMENT  
ACT 1987**

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Land: Lot 1 & 2 LP8840, 120-150 Pakenham Road, Pakenham 3810

# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>PS649678Q</b>
Number of Pages (excluding this cover sheet)	<b>9</b>
Document Assembled	<b>24/09/2025 11:17</b>

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The document is invalid if this cover sheet is removed or altered.



<b>PLAN OF SUBDIVISION</b>		Stage No. —	LRS use only <b>EDITION 1</b>	Plan Number <b>PS 649678Q</b>																														
<b>Location of Land</b> Parish: Nar Nar Goon Township: — Crown Portion: 3 (Part) & 7 (Part) Parish: Nar Nar Goon Township: Pakenham Crown Allotment: 32 (Part) & Part of Former Government Road Title Reference: Vol. 11461 Fol. 856 Last Plan Reference: Lot A PS 649677S Postal Address: 120-150 Pakenham Road Pakenham 3810 MGA94 Co-ordinates: E 366 600 N 5 786 800 Zone: 55 (of approx. centre of land in plan)		<b>Council Certificate and Endorsement</b> Council Name: Cardinia Shire Council Ref: <ol style="list-style-type: none"> <li>This plan is certified under section 6 of the Subdivision Act 1988.</li> <li>This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 / /20</li> <li>This is a statement of compliance issued under section 21 of the Subdivision Act 1988.</li> </ol> <b>OPEN SPACE</b> <ol style="list-style-type: none"> <li>A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made.</li> <li>The requirement has been satisfied.</li> <li>The requirement is to be satisfied in Stage.....</li> </ol> Council Delegate Council Seal Date / /20 Re-certified under section 11(7) of the Subdivision Act 1988 Council Delegate Council Seal Date / /20																																
<b>Vesting of Roads and/or Reserves</b> <table border="1"> <tr> <td>Identifier</td> <td>Council/Body/Person</td> </tr> <tr> <td>Roads R-1</td> <td>Cardinia Shire Council</td> </tr> <tr> <td>Reserve No.1</td> <td>Cardinia Shire Council</td> </tr> <tr> <td>Reserve No.2</td> <td>Cardinia Shire Council</td> </tr> <tr> <td>Reserve No.3</td> <td>Cardinia Shire Council</td> </tr> </table>		Identifier	Council/Body/Person	Roads R-1	Cardinia Shire Council	Reserve No.1	Cardinia Shire Council	Reserve No.2	Cardinia Shire Council	Reserve No.3	Cardinia Shire Council	<b>Notations</b> <b>Staging</b> This is not a staged subdivision Planning Permit No. T060892 <b>Depth Limitation</b> : Does not apply. <b>THIS IS A SPEAR PLAN</b> Lots 1 to 200 (Both Inclusive) have been omitted from this stage.																						
Identifier	Council/Body/Person																																	
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Reserve No.2	Cardinia Shire Council																																	
Reserve No.3	Cardinia Shire Council																																	
Estate: GALWAY GOLD Development No.: 2 No. of Lots: 45 Area: 6.553 ha Melways: 317 C3		<div style="border: 1px solid black; padding: 5px; text-align: center;">   <b>ADVERTISED MATERIAL</b>            Planning Application: T250586            Date Prepared: 22 January 2026  <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small> </div> <p><b>Survey</b> This plan is not based on survey. See BP 2601B.            This survey has been connected to permanent marks no(s) PM 89 &amp; PM 313            This survey is not in a Proclaimed Survey Area.</p>																																
<b>Easement Information</b> <table border="1"> <tr> <td colspan="5"> <b>Legend:</b> A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)           </td> </tr> <tr> <td>Easement Reference</td> <td>Purpose</td> <td>Width (Metres)</td> <td>Origin</td> <td>Land Benefited/In Favour Of</td> </tr> <tr> <td>E-1, E-3 &amp; E-4</td> <td>Drainage</td> <td>See Diag.</td> <td>This Plan</td> <td>Cardinia Shire Council</td> </tr> <tr> <td>E-2, E-3 &amp; E-4</td> <td>Sewerage</td> <td>See Diag.</td> <td>This Plan</td> <td>South East Water Limited</td> </tr> <tr> <td>E-4 &amp; E-5</td> <td>Powerline</td> <td>See Diag.</td> <td>This Plan Section 88 Electricity Industry Act 2000</td> <td>SPI Electricity Pty Ltd</td> </tr> <tr> <td>E-6</td> <td>Water Supply</td> <td>See Diag.</td> <td>PS 649677S</td> <td>South East Water Limited</td> </tr> </table>					<b>Legend:</b> A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	E-1, E-3 & E-4	Drainage	See Diag.	This Plan	Cardinia Shire Council	E-2, E-3 & E-4	Sewerage	See Diag.	This Plan	South East Water Limited	E-4 & E-5	Powerline	See Diag.	This Plan Section 88 Electricity Industry Act 2000	SPI Electricity Pty Ltd	E-6	Water Supply	See Diag.	PS 649677S	South East Water Limited
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LRS use only Statement of Compliance/ Exemption Statement Received <input checked="" type="checkbox"/> DATE 20 / 11 / 2013																																		
LRS use only PLAN REGISTERED TIME 5.34pm DATE 3 / 12 / 2013 Kevin Bond Assistant Registrar of Titles																																		
SHEET 1 OF 8 SHEETS																																		
 <b>WATSONS</b> URBAN DEVELOPMENT CONSULTANTS & MANAGERS 5 MAIN ST, MORNINGTON PH (03) 5975 4644, FAX (03) 5975 3916 THE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTH BANK PH (03) 9697 8000, FAX (03) 9697 8099		LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE SIGNATURE <u>DIGITALLY SIGNED</u> DATE REF 35213/Stg.2 VERSION 7																																
DATE / /20 COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3																																		



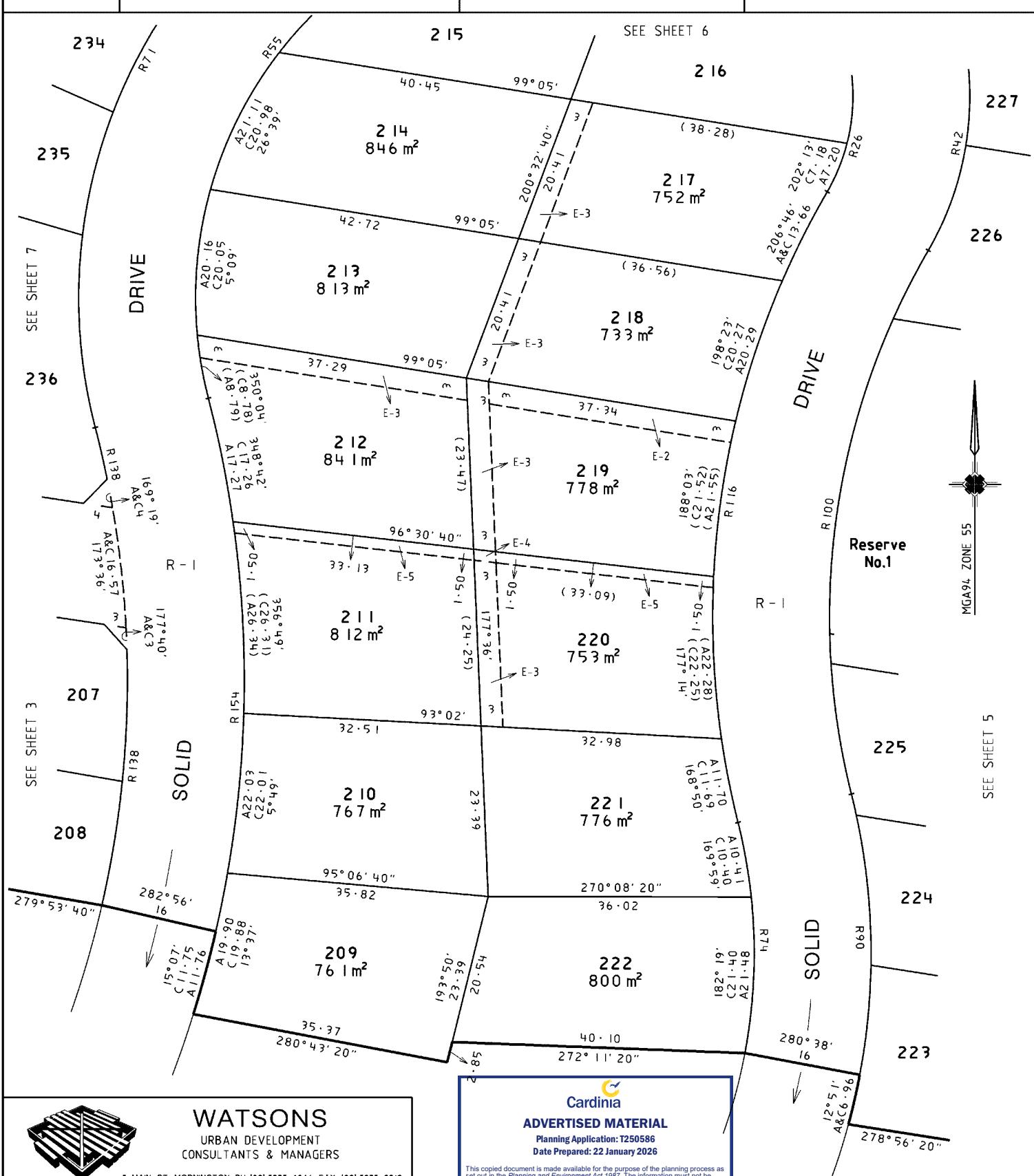


## PLAN OF SUBDIVISION

Stage No.

Plan Number

PS 649678Q



**WATSONS**  
URBAN DEVELOPMENT  
CONSULTANTS & MANAGERS

5 MAIN ST. MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916  
THE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTHBANK  
PH. (03) 9697 8000, FAX (03) 9697 8099

  
**ADVERTISED MATERIAL**  
Planning Application: T250586  
Date Prepared: 22 January 2026

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ORIGINAL SCALE 1:500	SCALE 0 5 10 15 20 25 LENGTHS ARE IN METRES
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LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE  
SIGNATURE .. DIGITALLY SIGNED .. DATE  
REF 35213/SIG2 VERSION 7

SHEET 4

DATE / /20  
COUNCIL DELEGATE SIGNATURE  
ORIGINAL SHEET SIZE A3

## PLAN OF SUBDIVISION

Stage No.

Plan Number

PS 649678Q

SEE SHEET 6

216

217

218

219

220

221

222

SOLID

WATSONS

URBAN DEVELOPMENT  
CONSULTANTS & MANAGERS5 MAIN ST. MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916  
THE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTHBANK  
PH. (03) 9697 8000, FAX (03) 9697 8099

SCALE

0 5 10 15 20 25

LENGTHS ARE IN METRES

ORIGINAL  
SCALE  
1:500  
SHEET  
SIZE  
A3

227

226  
975 m<sup>2</sup>R42  
A15.35  
C15.27  
19°40'A10.53  
C10.52  
27°08'42.74  
278°56'20"55.28  
188°56'20"

Reserve No.1

SEE  
SHEET 2225  
1538 m<sup>2</sup>224  
1405 m<sup>2</sup>223  
1641 m<sup>2</sup>77.63  
278°56'20"  
85.63
 14.9°14.8°  
 9.83  
 (8)  
 188°56'25"  
 (213.27)  
 188°56'25"


LICENCED SURVEYOR (PRINT) JONATHAN TREVOR NEATE

SIGNATURE .. DIGITALLY SIGNED .. DATE

REF 35213/Stg.2

VERSION 7

SHEET 5

DATE / /20

COUNCIL DELEGATE SIGNATURE

ORIGINAL SHEET SIZE A3





	<b>PLAN OF SUBDIVISION</b>	Stage No. —	Plan Number <b>PS 649678Q</b>
--	----------------------------	----------------	----------------------------------

SUBDIVISION ACT 1988  
CREATION OF RESTRICTION A

Upon registration of this plan the following restriction is to be created.

Land to benefit: Land in this plan.

Land to be burdened: Lots 223 to 227 (Both Inclusive).

Description of Restriction:

The registered proprietor or proprietors for the time being a burdened lot to which this restriction applies shall not allow dwellings and garages to be located outside the building envelope (hatched area) shown in the Building Envelope Schedule within the Instrument for PS 649678Q unless with the written consent of the Responsible Authority.

SUBDIVISION ACT 1988  
CREATION OF RESTRICTION B

Upon registration of this plan the following restriction is to be created.

Land to benefit: Land in this plan.

Land to be burdened: Lots 205, 232 and 233.

Description of Restriction:

The registered proprietor or proprietors for the time being a burdened lot to which this restriction applies shall not allow removal of any trees within the Tree Protection Envelopes (cross hatched area) shown in the Tree Protective Envelope Schedule within the instrument for PS 649678Q unless with the written consent of the Responsible Authority.



 <p><b>WATSONS</b> URBAN DEVELOPMENT CONSULTANTS &amp; MANAGERS</p> <p>5 MAIN ST, MORNINGTON PH (03) 5975 4644, FAX (03) 5975 3916 THE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTH BANK PH (03) 9697 8000, FAX (03) 9697 8099</p>	LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE	SHEET 8
	SIGNATURE ..... <b>DIGITALLY SIGNED</b> ..... DATE REF 35213/Stg2 VERSION 7	DATE / /20 COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3

**Plan of Subdivision PS649678Q**  
**Certification by Council (Form 5)**

**SUBDIVISION (PROCEDURES) REGULATIONS 2000**

SPEAR Reference Number: S014072H

Plan Number: PS649678Q

Responsible Authority Name: Cardinia Shire Council

Responsible Authority Reference Number 1: S11/088

Surveyor's Plan Version: 7

**Certification**

This plan is certified under section 6 of the Subdivision Act 1988

**Public Open Space**

A requirement for public open space under section 18 of the Subdivision Act 1988

Has not been made at Certification

Digitally signed by Council Delega

Organisation: Cardinia Shire Council  
Date: 18/04/2012



**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 11462 FOLIO 016

Security no : 124128376351R  
Produced 24/09/2025 11:17 AM**LAND DESCRIPTION**

Lot 221 on Plan of Subdivision 649678Q.  
PARENT TITLE Volume 11461 Folio 856  
Created by instrument PS649678Q 03/12/2013

**REGISTERED PROPRIETOR** Cardinia**ADVERTISED MATERIAL**

Planning Application: T250586

Date Prepared: 22 January 2026

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**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AK575312M 06/09/2013

**DIAGRAM LOCATION**

SEE PS649678Q FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 30 SOLID DRIVE PAKENHAM VIC 3810

**ADMINISTRATIVE NOTICES**

NIL

DOCUMENT END

# Invoice

Applicant

Applicant Address

Owner

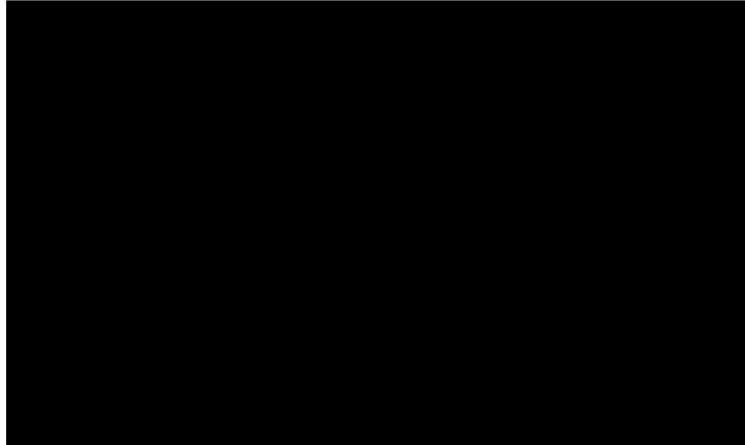
Owner Address

Preferred Contact

Preferred Contact

Address

Site Address



30 Solid Drive Pakenham 3810

Portal Reference  
ReferenceNumber

A325958P

T250586

InvoiceNumber  
InvoiceDate  
InvoicePayByDate

500381

24-Sep-2025

24-Oct-2025

Amount

**\$1,580.10**

Regulation	Description	Amount	Modifier	Modified Amount
9 - Class 5	More than \$500,000 but not more than \$1,000,000	\$1,580.10	100%	\$1,580.10

