

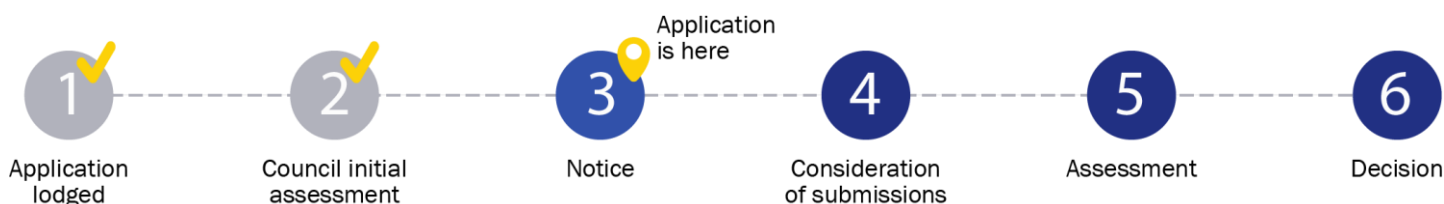


Notice of Application for a Planning Permit

The land affected by the application is located at:	CA 138B Parish of Yallock 250 Hall Road, Yannathan VIC 3981	
The application is for a permit to:	Use and development of Dependent Persons Unit.	
A permit is required under the following clauses of the planning scheme:		
Clause 52.04	Use of Land for the Dependent Persons Unit	
Clause 44.04-2	Construct a building or to construct or carry out works	
APPLICATION DETAILS		
The applicant for the permit is:	Betnale Pty Ltd	 ADVERTISED MATERIAL Planning Application: T250256 Date Prepared: 16 January 2026 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>
Application number:	T250256	
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		03 February 2026
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application Summary

Portal Reference	D32528L9
Reference No	T250256

**ADVERTISED MATERIAL**

Planning Application: T250256
Date Prepared: 16 January 2026

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Basic Information

Cost of Works	\$232,398
Site Address	250 Hall Road Yannathan VIC 3981

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? **No such encumbrances are breached**

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Documents Uploaded

Date	Type	Filename
16-09-2025	Additional Document	20250916124224939.pdf
16-09-2025	Additional Document	20250916124250374.pdf



20 Siding Avenue, Officer, Victoria

**Council's Operations Centre
(Depot)**
Purton Road, Pakenham, Victoria

Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



Civic Centre
20 Siding Avenue, Officer, Victoria

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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250256 PA
Address of the Land:	[REDACTED]
AP	[REDACTED]
N	[REDACTED]
O	[REDACTED]
Ac	[REDACTED]
Pl	[REDACTED]
En	[REDACTED]
AM	[REDACTED]
U	[REDACTED]
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Client has decided to change the land use term of the proposal from Small Second Dwelling to Dependent Persons Unit.		

Cardinia
ADVERTISED MATERIAL
 Planning Application: T250256
 Date Prepared: 16 January 2026

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Specify the estimated cost of any development for which the permit is required:

Not applicable ☐

Unchanged ☒

New amount \$

DECLARATION

LODGE

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

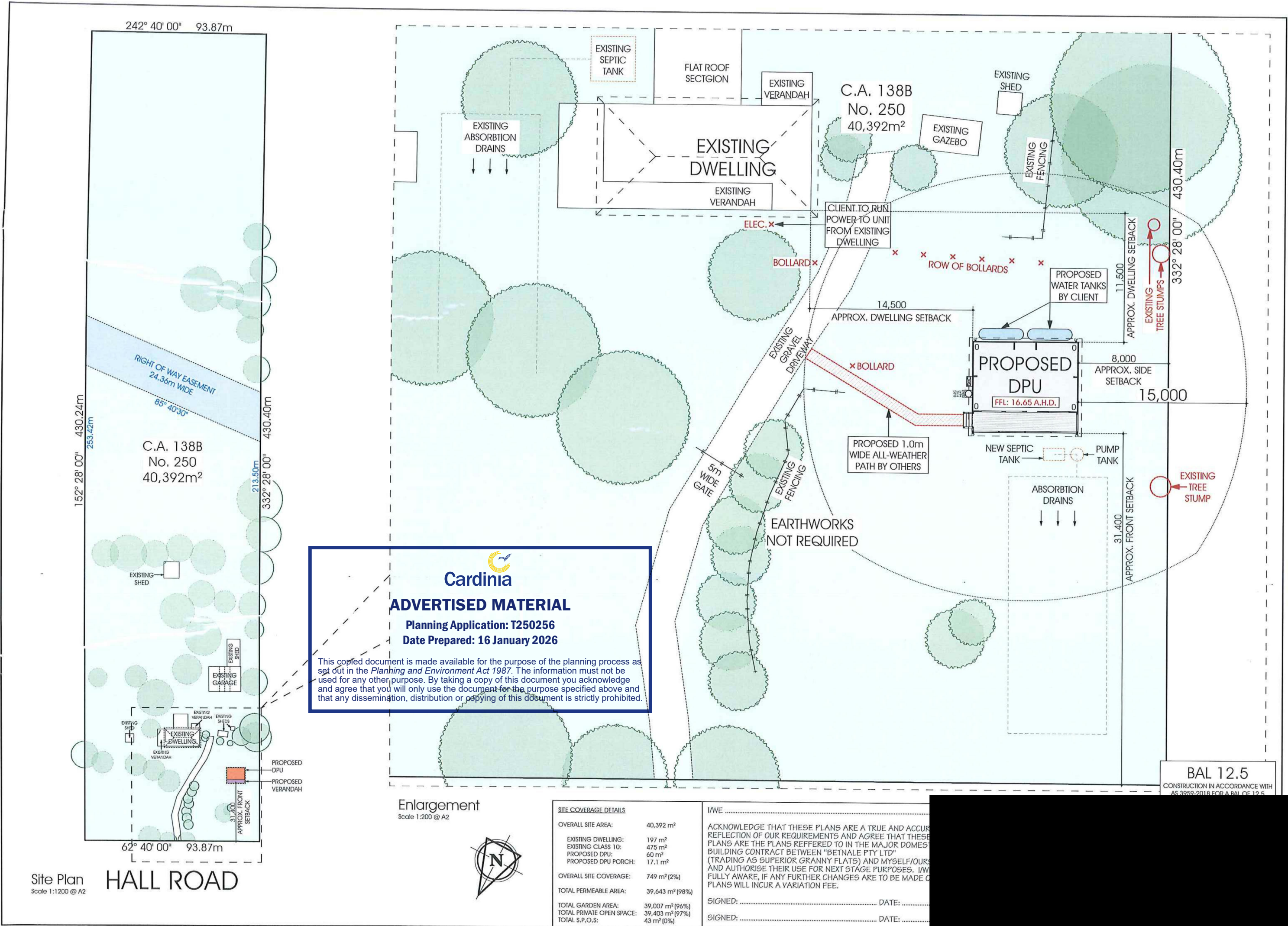
Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.



SPECIFICATION		WATERPROOFING & WATER RESISTANCE					
FOOTINGS		ALL WET AREA FLOORS:					
AS PER SOIL REPORT BY SOIL TEST MELBOURNE		- ENSURE VINYL FLOORING IS DEEMED TO BE WATERPROOF & THAT ALL JOINTS ARE SEALED					
SITE CLASSIFICATION	MIN. DEPTH	- UPLIFT VINYL MIN. 25mm AT WALL/FLOOR JUNCTIONS TO CREATE WATERPROOF WATER STOP. SKIRTING BOARDS & ARCHITRAVES PLACED OVER UPLIFT & SEALED TO VINYL WITH WATERPROOF ACETYLIC OR SILICONE SEALANT (REFER TO DETAILS)					
WIND RATING	WIND SPEED	- SKIRTING BOARDS & ARCHITRAVES TO WET AREAS TO BE SOLID TIMBER (E. PINE OR HARDWOOD, 120x120)					
N1	28 m/s						
STUMPS		SHOWER CURBICLE:					
A1: 42mm x 3.2mm Mega Anchor https://www.mega-anchor.com.au/products		- 42x123mm ALUMIN. WATERSTOP ANGLE OR VINYL FLOORING STRIP WITH MIN. HORIZONTAL DIMENSION OF 40mm EITHER SIDE. SEALED TO WALL AT ALL WALL JUNCTIONS (CORNERS) EXTENDING A MIN. OF 1800mm FROM SHOWER BASE					
S1: 75x75x8mm GALVANISED STEEL STUMPS WITH 130x130x8mm WELDED BASE PLATE & 200x75x10mm FABRICATED SLOT IN 1" TOP. EMBED IN FOOTINGS TO ENGINEERS SPECIFICATION.		- THERMOSET LAMINATE WALL PANELS MIN. OF 1800mm HIGH FROM SHOWER BASE					
C1: 100x100 PRECAST CONCRETE STUMPS WITH ONE 5mm HARD DRAWN WIRE.		ABOVE BASINS, TROUGHS & SINKS (KITCHEN BENCH)					
P1: 100x100 CYPRESS TIMBER POSTS/NEWEL POSTS WITH A MIN. STRESS GRADE OF F4 OR CONCRETE FOOTING WITH POST ANCHOR.		ALL VESSELS ARE PROVIDED WITH IN BUILT OVERFLOW PROTECTION OR HAVE A PERMANENT OPEN TRAPPED CONNECTION TO THE PLUMBING AND DRAINAGE SYSTEM					
BEARERS		- 150mm HIGH WALL TILES MIN. ABOVE VESSELS WITH WATERPROOF ACETYLIC OR SILICONE SEALANT TO JUNCTIONS					
2/140x45 LVL 15 (F17) BEARERS WITH A MAX. CONTINUOUS SPAN OF 2400mm		ELECTRICAL NOTES					
MINIMUM BEARER CLEARANCE		- LIGHT SWITCHES TO BE AT 1000mm ABOVE FLOOR LEVEL					
TO CONDUIT LEVEL:		- HEIGHTS OF POWER POINTS MEASURED FROM FLOOR LEVEL UNLESS OTHERWISE NOTED.					
TERMITE INSPECTION REQUIRED:		UNLESS DIMENSIONED POWER POINTS TO BE LOCATED TO THE NEAREST STUD.					
150mm	400mm	- POWER POINTS FOR APPLIANCES & SPLIT SYSTEM					
NOTE: ON SLOPING SITES, 400mm WHEN REQUIRED MAY BE REDUCED TO 150mm WITHIN 2m OF EXTERNAL WALLS		- PROVIDE 100% CABLEING WITH CONDUIT & DRAW SIBING PLUS T.V. ANTENNA CABLEING THROUGH BARGE END.					
FLOOR JOISTS		ENERGY EFFICIENCY - LIGHTING					
- 90x45 MGP10 FLOOR JOISTS AT MAX. 450 CENTRES WITH A MAX. CONTINUOUS OF 1800mm MAX. SINGLE SPAN OF 1300mm		- ARTIFICIAL LIGHTING MUST PROVIDE AT LEAST: 20 Lux, OR ONE LIGHT FITTING PER 16m²					
FLOORING		WHERE NATURAL LIGHT IS INSUFFICIENT TO PROVIDE SAFE MOVEMENT OF OCCUPANTS IN ACCORDANCE WITH NCC 2022 PART H4 AND ABS HOUSING PROVISIONS PART 10.5					
19mm THICK 'YELLOW TONGUE' PARTICLEBOARD FLOORING.		- PROPOSED MAX. WATTAGE CALCULATED TO NCC VOL. 1 PART J703					
TIMBER DURABILITY		5W/m² WITHIN A SOLE-OCCUPANCY UNIT, AND 4W/m² ON A VERANDAH, BALCONY, OR THE LIKE ATTACHED TO A SOLE-OCCUPANCY UNIT					
CLASS 1 OR 2 TIMBERS ARE SUITABLE FOR IN GROUND USE. ALTERNATIVELY, HS TREATED TIMBER CAN BE USED		- INTERNAL LIGHTING MUST NOT EXCEED: 300 WATTS TOTAL					
WALL FRAMES		ELECTRICAL LEGEND					
COMMON STUDS: 90x35 MGP10 AT 600 CTS.		- LED DOWNLIGHT					
TOP/BOTTOM PLATES: 45x90 MGP10		- EXHAUST FAN (SELF SEALING)					
- JOISTINGS: 90x35 AT 1275 CTS.		- INTERNAL SWITCH BOARD					
- JAMB STUDS: 90x35 MGP10		- PHONE POINT AT 200/1000					
OPENING 0 - 900: 90x35 MGP10		- SMOKE DETECTOR (DIRECT WIRED)					
OPENING 900 - 2600: 2/90x35 MGP10		- T.V. POINT AT 200					
OPENING 2600 - 4300: 3/90x35 MGP10							
LINTELS							
- OPENINGS UP TO 1100: 90 x 45 F5		SPP					
- OPENINGS UP TO 1500: 90 x 45 LVL 15		DPP					
- OPENINGS UP TO 1800: 140 x 45 F7		HEIGHT					
- OPENINGS UP TO 2200: 140 x 45 LVL 15		200 F.F.L.					
- OPENINGS UP TO 2400: 190 x 45 F7		350 F.F.L.					
- OPENINGS UP TO 2600: 190 x 45 MGP10		750 F.F.L.					
- OPENINGS UP TO 3000: 240 x 45 F7		970 F.F.L.					
		1000 F.F.L.					
		1000 F.F.L.					
		IN ROOF					
*ALL STRUCTURAL TIMBER SIZES, FIXINGS & TIE-DOWNS ARE TO BE IN ACCORDANCE WITH AS 1684.2 2021		TERMITE AREAS					
BUSHFIRE AREAS		THE PLACEMENT OF A CHEMICAL BARRIER OR SHEET METAL ANTI-CARPENTER BEETLE TREATMENT IS REQUIRED TO THE UNDERSIDE OF BEARERS ON SITES REQUIRING TERMITE INSPECTION. THIS CAN BE REDUCED TO 150mm ON SLOPING SITES WITHIN 2m OF EXTERNAL WALLS.					
DESIGN & SPECIFICATION DOES NOT CONSIDER SITES SUBJECT TO BUSHFIRE ATTACK. SITES DEEMED TO HAVE A BAL OF 12.5 OR MORE HAVE ADDITIONAL CONSTRUCTION REQUIREMENTS IN ACCORDANCE WITH NCC 2022 PART H7D4 & AS 3959		NOTE: A MIN. OF 600mm CLEARANCE IS REQUIRED TO THE UNDERSIDE OF BEARERS ON SITES REQUIRING TERMITE INSPECTION. THIS CAN BE REDUCED TO 150mm ON SLOPING SITES WITHIN 2m OF EXTERNAL WALLS.					
INTERNAL ELEVATIONS SPECIFICATION							
WATER PIPE LOCATIONS		FITTING LOCATIONS					
No.	ITEM	ABOVE FFL	ITEM	HEIGHT ABOVE FFL			
1	TOILET	250	6	SINK	650	PAPER HOLDER	600
2	BIDET	250	7	DW	500	TOWEL RAIL	1000/1600
3	BATH	600	8	TROUGH	1085	TOWEL RING	820
4	SHOWER	1000/1800	9	WM	600/1275	SHOWER SOAP HOLDER	1000 NOM/INAL
5	BASIN	600	10	FR WASTE	-		
FRAME OFFSETS: SHOWER ROSE = 430 CL, SHOWER TAPS = 250 CL, SOAP HOLDER = 550 CL							
NOTES: - DIMENSION IS TAKEN FROM FRAME							
- SPLASHBACK TILES: 200x200							
- WET AREA SKIRTING BOARDS: SOLID TIMBER 67mm							
- POWERPOINT LOCATION							
GENERAL NOTES							
- ENERGY EFFICIENCY (WALL, FLOOR, ROOF INSULATION & GLAZING) IN ACCORDANCE WITH NCC 2022 PART H6. REFER TO ENERGY EFFICIENCY NOTES & GLAZING CALCULATIONS FOR DETAILS.							
- WET AREAS PROTECTED WITH A WATERPROOFING SYSTEM IN ACCORDANCE WITH NCC 2022 PART H4D2 AND HOUSING PROVISIONS PART 10.2.							
- STEPS: TREAD: 240mm MIN, RISE: 150mm MAX.							
- BALUSTRADE:							
- AT STEPS: 85mm (3/16) HIGH							
- AT LANDINGS: 100mm (3/8) HIGH							
- WHERE REQUIRED, HORIZONTAL & VERT. GAPS IN BALUSTRADES MUST BE LESS THAN 125mm IN ACCORDANCE WITH HOUSING PROVISIONS PART 11.3.4							
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.							
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:							
- EXTERNAL: 90mm STUD							
- INTERNAL: 90mm STUD							
- VIC / BATHROOM DOOR TO BE REMOVABLE WHERE REQUIRED AND FITTED WITH LEFT OFF HINGES IN ACCORDANCE WITH ABS HOUSING PROVISIONS PART 10.4.2							
- ALL GLAZING TO COMPLY WITH NCC 2022 PART H1D8 & AS 1289							
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC 2022 PART H4D7							
- ROOF TRUSSES (WHERE USED) TO HAVE A MAXIMUM SPACING OF 900mm							
- WINDOW GLAZING CODES:							
- (OBS) OPAQUE GLASS							
- (TS) TRANSLUCENT GLASS							
- (DG) DOUBLE GLAZED							
- ROOF ACCESS (WHERE APPLICABLE)							
- SMOKE DETECTOR (DIRECT WIRED)							
- DOWNPIPE (STORMWATER CONNECTED)							
- DOWNPIPE (WATER TANK CONNECTED)							

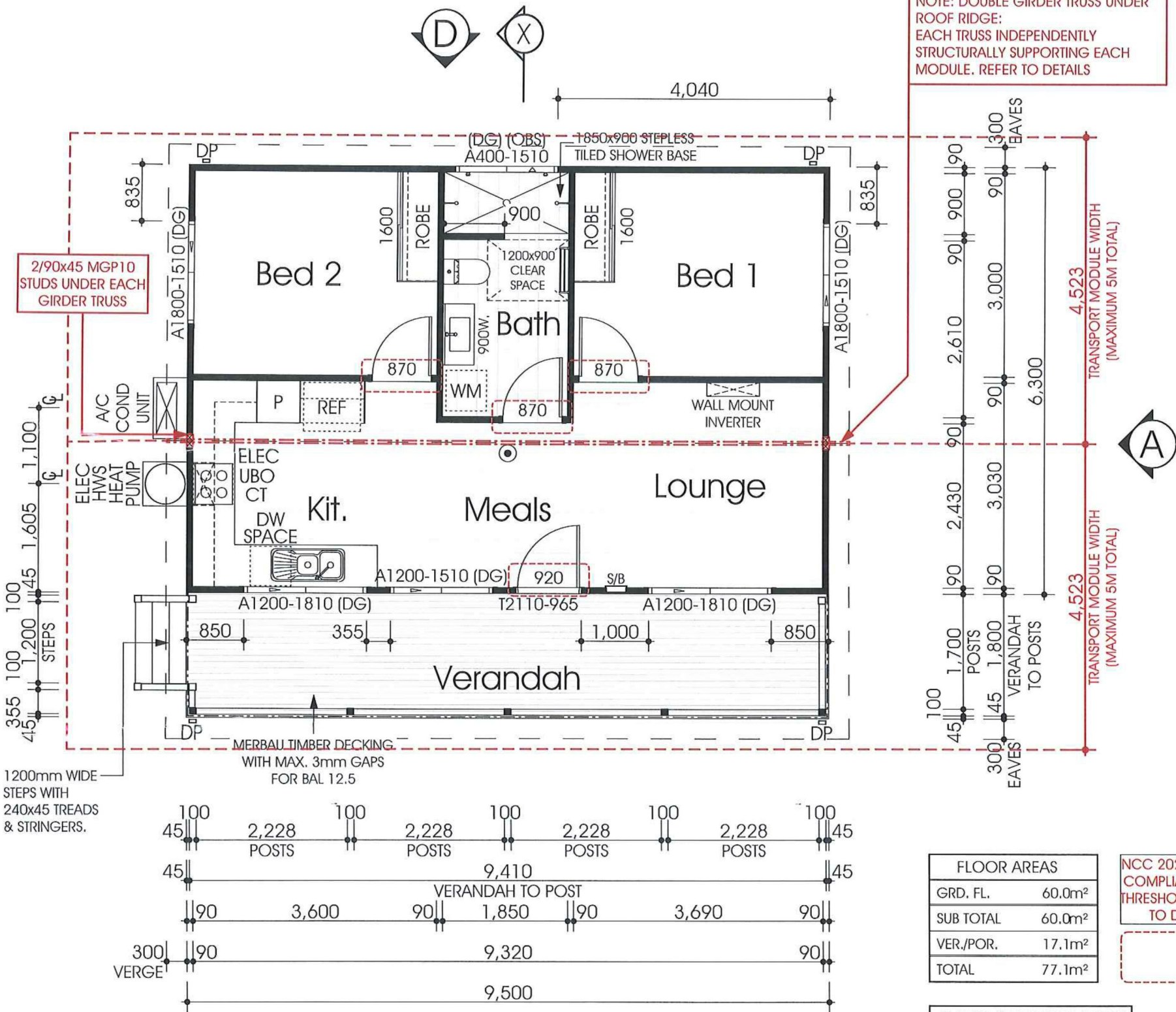
Cardinia
Scale 1:50 @ A2

ADVERTISED MATERIAL

Planning Application: T250256

Date Prepared: 16 January 2026

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FLOOR AREAS	
GRD. FL.	60.0m²
SUB TOTAL	60.0m²
VER./POR.	17.1m²
TOTAL	77.1m²

NCC 2022 PART H8 COMPLIANT DOOR THRESHOLDS: REFER TO DETAILS

FLOOR COVERING AREAS	
HYBRID	27.0 m²
CARPET	21.8 m²
TILES	6.7 m²

BAL 12.5
CONSTRUCTION IN ACCORDANCE WITH

SPECIFICATION				WATERPROOFING & WATER RESISTANCE						
FOOTINGS				ALL WET AREA FLOORS:						
AS PER SOIL REPORT BY SOIL TEST MELBOURNE				- ENSURE WWTI FLOORING IS DEEMED TO BE WATERPROOF & THAT ALL JOINTS ARE SEALED						
SITE CLASSIFICATION		MIN. DEPTH		- UPLIFT WWTI MIN. 25mm AT WALL/CORNER/JUNCTIONS TO CREATE WATERPROOF WATER STOP. SKIRTING BOARDS & ARCHITRAVES PLACED OVER UPLIFT & SEALED TO WWTI WITH WATERPROOF ACRYLIC OR SILICONE SEALANT (REFER TO DETAIL)						
WIND RATING		WIND SPEED		- SKIRTING BOARDS & ARCHITRAVES TO WET AREAS TO BE SOLID TIMBER (E. PINE ON HARDWOOD, LOGI/MDE)						
N 1		28 m/s		SHOWER CURBIE:						
STUMPS				- 42x42x3mm ALUMIN. WATERSTOP ANGLE OR VINYL FLOORING STOP WITH MIN. HORIZONTAL DIMENSION OF 40mm EITHER SIDE. SEALED TO WALL AT ALL WALL JOINTS (CORNER) EXTENDING A MIN. OF 1800mm FROM SHOWER BASE						
A1: 42mm x 3.2mm Mega Anchor S1: 15x75x8mm GALVANISED STEEL STUMPS WITH FABRICATED S10 W/T TPO. EMBED IN FOOTINGS TO ENGINEERS SPECIFICATION.				- THERMOSEAL LAMINATE WALL PANELS MIN. OF 1800mm HIGH FROM SHOWER BASE						
C1: 100x100 PRECAST CONCRETE STUMPS WITH ONE 5mm HARD DRAIN WIRE.				ABOVE BASINS, TROUGHS & SINKS [KITCHEN BENCH]						
F1: 100x100 CYPRUS TIMBER POSIS/NEWEL POSTS WITH A MIN. STRESS GRADE OF F4 ON CONCRETE FOOTING TO POST ANCHOR.				- ALL VESSELS ARE PROVIDED WITH IN-BUILT OVERFLOW PROTECTION OR HAVE A PERMANENT OPEN TRAPPED CONNECTION TO THE PLUMBING AND DRAINAGE SYSTEM						
BEARERS				- 150mm HIGH WALL FILES MIN. ABOVE VESSELS WITH WATERPROOF ACRYLIC OR SILICONE SEALANT TO JUNCTIONS						
2/140x45 LVL 15 F17) BEARERS WITH A MAX. CONTINUOUS SPAN OF 2400mm.				ELECTRICAL NOTES						
MINIMUM BEARER CLEARANCE TO GROUND LEVEL:				- LIGHT SWITCHES TO BE AT 1000mm						
TERMINAL INSPECTION REQUIRED: N/A REQUIRED:				- ABOVE FLOOR LEVEL						
150mm				- 10% OF POWER POINTS MEASURED FROM FLOOR LEVEL. *INLESS OTHERWISE NOTED.						
NOTE: ON SLOPING SITES, 400mm WHEN REQUIRED MAY BE REDUCED TO 150mm WITHIN 2m OF EXTERNAL WALLS				- UNLESS DIMENSIONED TO POWER POINTS TO BE LOCATED TO THE NEAREST 100mm						
FLOOR JOISTS				- PROVIDE POWER FOR APPLIANCES & 3-PHASE SYSTEM AIR-CONDITIONING TO SUIT MANUFACTURERS INFO.						
- 90x45 MGP10 FLOOR JOISTS AT MAX. 450 CENTRES WITH A MAX. CONTINUOUS OF 1800mm MAX. SINGLE SPAN OF 1300mm				- PROVIDE PHONE CABLEING WITH CONDUIT & DRAW STRING PLUS TV. ANTENNA CABLEING THROUGH BRIDGE END.						
FLOORING				ENERGY EFFICIENCY - LIGHTING						
19mm THICK "YELLOW TONGUE" PARTICLEBOARD FLOORINGS.				- ARTIFICIAL LIGHTING MUST PROVIDE AT LEAST:						
TIMBER DURABILITY				20 Lux On One Light FITTING PER 16m²						
CLASS 1 OR 2 TIMBERS ARE SUITABLE FOR IN-GROUND USE. ALTERNATIVELY, HS TREATED TIMBER CAN BE USED				WHERE NATURAL LIGHT IS INSUFFICIENT TO PROVIDE SAFE MOVEMENT OF OCCUPANTS IN ACCORDANCE WITH NCC 2022 PART H4 AND ASBC HOUSING PROVISIONS PART 10.5						
CLASS 1				PROPOSED MAX. WATERGAGE CALCULATED TO NCC VOL. 1 PART J7D3						
BELUAN CYPRUS (WHITE) RONZARI TALLOWOOD TURPENTINE YELLOW CEDAR NORTHERN BOX				SWIM? WITH A SOLE-OCCUPANCY UNIT; AND 40mm? ON A VERANDAH, BALCONY, OR THE LIKE ATTACHED TO A SOLE-OCCUPANCY UNIT						
WALL FRAMES				- INTERNAL LIGHTING MUST NOT EXCEED: 300 WAITS TOTAL						
COMMON STUDS: 90x35 MGP10 AT 600 CS.				ELECTRICAL LEGEND						
TOP/BOTTOM PLATES: 45x90 MGP10				☯ - LED DOWNLIGHT ▼ - PHONE PORT AT 200/1000						
NOSSINGERS: 90x35 AT 1275 CS.				⊗ - EXHAUST FAN (SELF SEALING) ⊙ - SMOKE DETECTOR (DIRECT WIRED)						
JAMB STUDS: 90x35 MGP10				☐ - INTERNAL SWITCH BOARD ⚡ - T.V. PORT AT 200						
OPENING 0 - 900: 90x35 MGP10										
OPENING 900 - 2600: 2/90x35 MGP10										
OPENING 2600 - 4300: 3/90x35 MGP10										
LINTELS										
OPENINGS UP TO 1100: 90 x 45 F5										

ALL WET AREA FLOOR FINISHES:

ENSURE VINYL FLOORING IS DEEMED TO BE SUITABLE FOR WET AREAS THAT ALL JOINTS ARE SEALED

UPRILIN VINYL M.N. 25mm AT WALL/FLOOR JUNCTIONS TO CREATE WATERPROOF WATER STOP. SKIRTING BOARD & ARCHITRAVES PLACED OVER UPRILIN & SEALED TO VINYL WITH WATERPROOF ACRYLIC OR SILICONE SEALANT (REFER TO DETAIL)

SKIRTING BOARD & ARCHITRAVES TO WET AREAS TO BE SOLID TIMBER (E. PINE OR HARDWOOD, NOT MDF)

SHOWER CUBICLE:

424x93xmm ALUMIN. WATERSTOP ANGLE OR VINYL FLOORING AT WALL/FLOOR JUNCTION. HORIZONTAL DIMENSION BOARD & ARCHITRAVES PLACED OVER UPRILIN OF 40mm EITHER SIDE. SEALED TO WALL AT ALL WALL JOINTS (CORNERS) EXTENDING A MIN. OF 1800mm FROM SHOWER BASE

TERMINOSE LAMINATE WALL PANELS M.N. OF 1800mm FROM ABOVE SHOWER BASE

ABOVE BASINS, TROUGHS & SINKS (KITCHEN BENCH)

ALL VESSELS ARE PROVIDED WITH IN BUILT OVERFLOW PROTECTION OR HAVE A PERMANENT OPEN TRAPPED CONNECTION TO THE PLUMBING AND DRAINAGE SYSTEM

150mm HIGH WALL FILES MIN. ABOVE VESSELS WITH WATERPROOF ACRYLIC OR SILICONE SEALANT TO JUNCTIONS

ELECTRICAL NOTES

LIGHT SWITCHES TO BE AT 1000mm ABOVE FLOOR LEVEL

NO. OF POWER POINTS MEASURED FROM FLOOR LEVEL. * INLESS OTHERWISE NOTED.

UNLESS DIMENSIONED TO BE "TO" LOCATED TO THE NEAREST "TO" SYSTEM

POWER POINTS FOR APPLIANCES & 3-1/2" AIR-CONDITIONING TO SUIT MANUFACTURERS (REFER TO DETAIL)

PROVIDE PHONE CABLEING WITH CONDUIT & DRAW STRING PLUS TV. ANTENNA CABLEING THROUGH BARGE END.

ENERGY EFFICIENCY - LIGHTING

ARTIFICIAL LIGHTING MUST PROVIDE AT LEAST:

20 lux. OR
ONE LIGHT FITTING PER 16m²

WHERE NATURAL LIGHT IS INSUFFICIENT TO PROVIDE SAFE MOVEMENT OF OCCUPANTS IN ACCORDANCE WITH NCC 2022 PART 14 AND ABCB HOUSE PROVISIONS PART 10.5

PROPOSED MAX. WAITAGE CALCULATED TO ICC VOL. 1 PART 37D3

W/6m² WITH A SINGLE OCCUPANCY UNIT; AND
W/10m² ON A VERANDAH, BALCONY, OR THE LIKE ATTACHED TO A SINGLE OCCUPANCY UNIT

INTERNAL LIGHTING MUST NOT EXCEED:
350 VOLTAGE TOTAL

ELECTRICAL LEGEND

Ⓐ - LED DOWNLIGHT ▼ - PHONE POINT AT 200/1000

Ⓒ - EXHAUST FAN (SEAL FINDING) ⊙ - SMOKE DETECTOR (DIRECT WIRED)

Ⓓ - INTERNAL SWITCH BOARD ⚡ - T.V. POINT AT 200

APP	DPP	HEIGHT	SFP	DPP	HEIGHT
		200 F.F.L			1200 F.F.L
		350 F.F.L			1275 F.F.L
		750 F.F.L			1350 F.F.L
		970 F.F.L			1400 F.F.L
		1000 F.F.L			2000 F.F.L
		1000F.F.L			IN ROOF

TERMITE AREAS

THE PLACEMENT OF A CHEMICAL BARRIER OR SHEET "ANTI CAPS" TO THE TOPS OF TIMBER STRUPS IN ACCORDANCE WITH PART 3.1.3 OF THE BCA & AS 3660.1 IS SUFFICIENT WHEN PROTECTION AGAINST TERMITES ATTACK IS REQUIRED

NOTE: A MIN. OF 400mm CLEARANCE IS REQUIRED TO THE UNDERSIDE OF BEARERS ON SITES REQUIRING TERMITES INSPECTION. THIS CAN BE REDUCED TO 150mm ON SLOPING SITES WITHIN 2m OF EXTERNAL WALLS.

FITTING LOCATIONS

ITEM	HEIGHT ABOVE FFL
PAPER HOLDER	600
TOWEL BAR	1000/1600
TOWEL RING	820
SHOWER SOAP HOLDER	1000 NOMINAL

PPAPS = 250 CL, SOAP HOLDER = 550 CL

PP CL TILES: 200x200 • WET AREA SKIRTING BOARDS: SOLID TIMBER 67mm

ENERGY EFFICIENCY (WALL, FLOOR, ROOF INSULATION & GLAZING) IN ACCORDANCE WITH NCC 2022 PART H6; REFER TO ENERGY EFFICIENCY NOTES & GLAZING CALCULATIONS FOR DETAILS

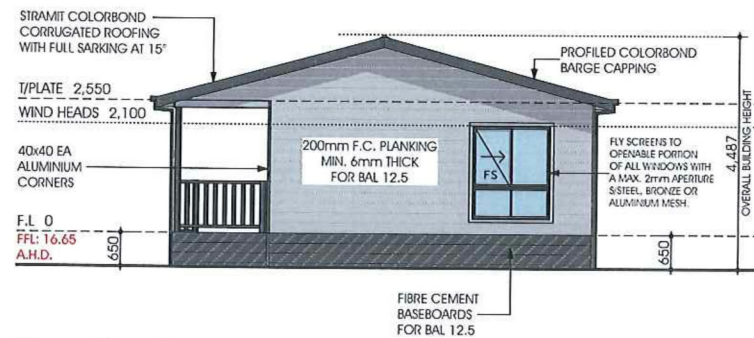
- WEI AREAS PROTECTED WITH A WATERPROOFING SYSTEM IN ACCORDANCE WITH NCC 2022 PART H4D2 AND HOUSING PROVISIONS PART 10.2.
- STEPS: 17EAD- 240mm M1, RISE- 190mm MAX.
- BALUSTRADE :
 - AT STEPS- 845mm (M1) HIGH
 - AT LANDING- 1000mm (M1) HIGH
- WHERE REQUIRED, HORIZONTAL & VERT. GAPS IN BALUSTRADES MUST BE LESS THAN 125mm IN ACCORDANCE WITH HOUSING PROVISIONS PART 11.3.4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXTERNAL 90mm STUO
 - INTERNAL 90mm STUO
- W/C / BATHROOM DOOR TO BE REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH ABC HOUSING PROVISIONS PART 10.4.2
- ALL GLAZING TO COMPLY WITH NCC 2022 PART H1D8 & AS 1288
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC 2022 PART H4D7
- ROOF TRUSSES (WHERE USED) TO HAVE A MAXIMUM SPACING OF 900mm
- WINDOW GLAZING CODES:
 - (OB3) OBSCURE GLASS
 - (TL3) TRANSLUCENT GLASS
 - (DG) DOUBLE GLAZED
- ROOF ACCESS (WHERE APPLICABLE)
- SMOKE DETECTOR (DIRECT WIRED)
- DOWNPIPE (STORMWATER CONNECTED)
- DP (WATER TANK CONNECTED)



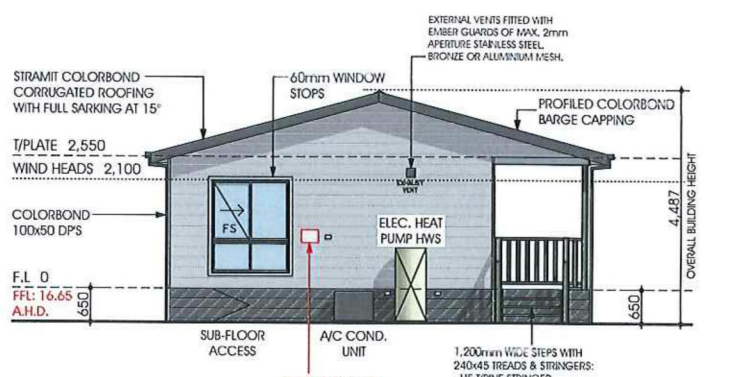
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BAL 12.5
CONSTRUCTION IN ACCORDANCE WITH

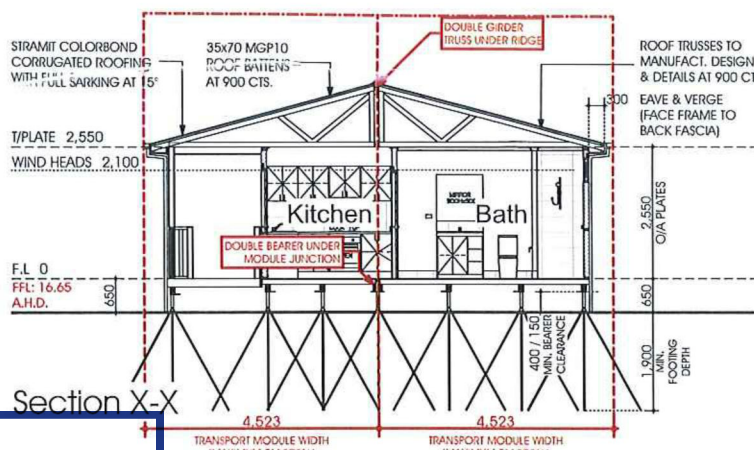
SPECIFICATION				WATERPROOFING & WATER RESISTANCE			
FOOTINGS				ALL WET AREA FLOORS:			
AS PER SOIL REPORT BY SOIL TEST MELBOURNE				- ENSURE VINYL FLOORING IS DEEMED TO BE WATERPROOF & THAT ALL JOINTS ARE SEALED			
SITE CLASSIFICATION				- UPLIFT VINYL MIN. 25mm AT WALL/FLOOR JOINTS TO CREATE WATERPROOF WATER STOP. SKIRTING BOARDS & ARCHITRAVES PLACED OVER UPLIFT & SEALED TO VINYL WITH WATERPROOF ACRYLIC OR SILICONE SEALANT (REFER TO DETAIL)			
P				- SKIRTING BOARDS & ARCHITRAVES TO WET AREAS TO BE SOLID TIMBER (IE. FINE OR HARDWOOD, 100x100mm)			
MIN. DEPTH				- THERMOSET LAMINATE WALL PANELS MIN. OF 1800mm HIGH FROM SHOWER BASE			
1800mm				SHOWER CUBICLE:			
STUMPS				- 12x12x2mm ALUMIN. WATERSTOP ANGLE OR VINYL FLOORING STRIP WITH MIN. HORIZONTAL DIMENSION OF 40mm EITHER SIDE, SEALED TO WALL AT ALL WALL JOINTS (CORNERS) EXTENDING A MIN. OF 1800mm FROM SHOWER BASE			
A1: 42mm x 3.2mm Mega Anchor https://www.mega-anchor.com.au/products				- 150mm HIGH WALL TILES MIN. ABOVE VESSELS WITH WATERPROOF ACRYLIC OR SILICONE SEALANT TO JOINTS			
S1: 75x75x8mm GALVANISED STEEL STUMPS WITH 130x130x8mm WELDED BASE PLATE & 200x75x10mm FABRICATED SLOT IN "T" TOP, EMBED IN FOOTINGS TO ENGINEER'S SPECIFICATION.				ABOVE BASINS, TROUGHS & SINKS (KITCHEN BENCH)			
C1: 100x100 PRECAST CONCRETE STUMPS WITH ONE 5mm HARD DRAWN WIRE.				- ALL VESSELS ARE PROVIDED WITH IN-BUILT OVERFLOW PROTECTION OR HAVE A PERMANENT OPEN TRAPPED CONNECTION TO THE PLUMBING AND DRAINAGE SYSTEM			
P1: 100x100 CYPRESS TIMBER POSTS/NEWEL POSTS WITH A MIN. STRESS GRADE OF F4 ON CONCRETE FOOTING WITH POST ANCHOR.				ELECTRICAL NOTES			
BEARERS				- LIGHT SWITCHES TO BE AT 1000mm ABOVE FLOOR LEVEL			
2/140x45 LV 15 (F17) BEARERS WITH A MAX. CONTINUOUS SPAN OF 2400mm.				- HEIGHTS OF POWER POINTS MEASURED FROM FLOOR LEVEL UNLESS OTHERWISE NOTED. UNLESS DIMENSIONED POWER POINTS TO BE LOCATED TO THE NEAREST STUD			
MINIMUM BEARER CLEARANCE TO GROUND LEVEL:				- POWER POINTS FOR APPLIANCES & SPLIT SYSTEM AIR-CONDITIONING TO SUIT MANUFACTURERS REQ.			
TERMITE INSPECTION				- PROVIDE PHONE CABLEING WITH CONDUIT & DRAW STRING PLUS TV, ANTENNA CABLEING THROUGH BARGE END.			
NOT REQUIRED:				ENERGY EFFICIENCY - LIGHTING			
150mm				- ARTIFICIAL LIGHTING MUST PROVIDE AT LEAST:			
NOTE: ON SLOPING SITES, 400mm WHEN REQUIRED MAY BE REDUCED TO 150mm WITHIN 2m OF EXTERNAL WALLS				20 lux, OR ONE LIGHT FITTING PER 1.6m²			
FLOOR JOISTS				WHERE NATURAL LIGHT IS INSUFFICIENT TO PROVIDE SAFE MOVEMENT OF OCCUPANTS IN ACCORDANCE WITH NCC 2022 PART H4 AND ASGB HOUSING PROVISIONS PART 10.5			
- 90x45 MGP10 FLOOR JOISTS AT MAX. 450 CENTRES WITH A MAX. CONTINUOUS OF 1800mm MAX. SINGLE SPAN OF 1300mm				- PROPOSED MAX. WATTAGE CALCULATED TO NCC VOL. 1 PART J7.03			
FLOORING				5W/m² WITHIN A SOLE OCCUPANCY UNIT, AND 4W/m² ON A VERANDAH, BALCONY, OR THE LIKE ATTACHED TO A SOLE OCCUPANCY UNIT			
15mm THICK 'YELLOW TONGUE' PARTICULATE BOARD FLOORING.				- INTERNAL LIGHTING MUST NOT EXCEED: 300 WATTS TOTAL			
TIMBER DURABILITY				ELECTRICAL LEGEND			
CLASS 1 OR 2 TIMBERS ARE SUITABLE FOR IN GROUND USE. ALTERNATIVELY, HS TREATED TIMBER CAN BE USED				- LED DOWNLIGHT			
CLASS 1				- PHONE POINT AT 200/1500			
BLACKBUTT CYPRESS (WHITE) ROSEBARK SPOTTED GUM YELLOWWOOD TURPENTINE YELLOW CEDAR NORTHERN BOX				- EXHAUST FAN (SELF SEALING)			
CLASS 2				- SMOKE DETECTOR (DIRECT WIRED)			
BLACKBUTT KIWIA (MERBAU) SPOTTED GUM WESTERN RED CEDAR RIVER RED GUM BALAU TEAK				- T.V. POINT AT 200			
WALL FRAMES				- INTERNAL SWITCH BOARD			
COMMON STUDS: 90x35 MGP10 AT 600 CTS.				SPP			
TOP/BOTTOM PLATES: 45x90 MGP10				DPP			
NOGGININGS: 90x35 AT 1275 CTS.				HEIGHT			
JAMB STUDS: 90x35 MGP10				SPP			
OPENING 0 - 900: 90x35 MGP10				DPP			
OPENING 900 - 2600: 2/90x35 MGP10				HEIGHT			
OPENING 2600 - 4300: 3/90x35 MGP10				SPP			
INTELS				DPP			
- OPENINGS UP TO 1100: 90 x 45 F5				HEIGHT			
- OPENINGS UP TO 1500: 90 x 45 LVL 15				SPP			
- OPENINGS UP TO 1800: 140 x 45 F7				DPP			
- OPENINGS UP TO 2200: 140 x 45 LVL 15				HEIGHT			
- OPENINGS UP TO 2400: 190 x 45 F7				SPP			
- OPENINGS UP TO 2600: 190 x 45 MGP10				DPP			
- OPENINGS UP TO 3000: 240 x 45 F7				HEIGHT			
*ALL STRUCTURAL MEMBER SIZES, FIXINGS & TIE-DOWNS ARE TO BE IN ACCORDANCE WITH AS 1684.2:2021				SPP			
BUSHFIRE AREAS				DPP			
DESIGN & SPECIFICATION DOES NOT CONSIDER SITES SUBJECT TO BUSHFIRE ATTACK. SITES DEEMED TO HAVE A BAL OF 12.5 OR MORE HAVE ADDITIONAL CONSTRUCTION REQUIREMENTS IN ACCORDANCE WITH NCC 2022 PART H7D4 & AS 3959				HEIGHT			
THE PLACEMENT OF A CHEMICAL BARRIER OR SHEET METAL 'ANTI CAPS' TO THE TOPS OF TIMBER STUMPS IN ACCORDANCE WITH PART 3.1.3 OF THE BCA & AS 3660.1 IS SUFFICIENT WHEN PROTECTION AGAINST TERMITE ATTACK IS REQUIRED				SPP			
NOTE: A MIN. OF 400mm CLEARANCE IS REQUIRED TO THE UNDERSIDE OF BEARERS ON SITES REQUIRING TERMITE INSPECTION. THIS CAN BE REDUCED TO 150mm ON SLOPING SITES WITHIN 2m OF EXTERNAL WALLS				DPP			
INTERNAL ELEVATIONS SPECIFICATION				HEIGHT			
WATER PIPE LOCATIONS				FITTING LOCATIONS			
No.	ITEM	ABOVE FFL	No.	ITEM	ABOVE FFL	ITEM	HEIGHT ABOVE FFL
1	TOILET	250	6	SINK	650	PAPER HOLDER	600
2	BIDET	250	7	DW	500	TOWEL RAIL	1000/1600
3	BATH	600	8	TROUGH	1085	TOWEL RING	820
4	SHOWER	1000/1800	9	WM	600/1275	SHOWER SOAP HOLDER	1000 NOMINAL
5	BASIN	600	10	FR WASTE	-		
FRAME OFFSETS: SHOWER ROSE = 430 CL, SHOWER TAPS = 250 CL, SOAP HOLDER = 550 CL							
NOTES: - DIMENSIONS TAKEN FROM FRAME - SPLASHBACK TILES: 200x200 - WET AREA SKIRTING BOARDS: SOLID TIMBER 67mm							
- POWER POINT LOCATION							



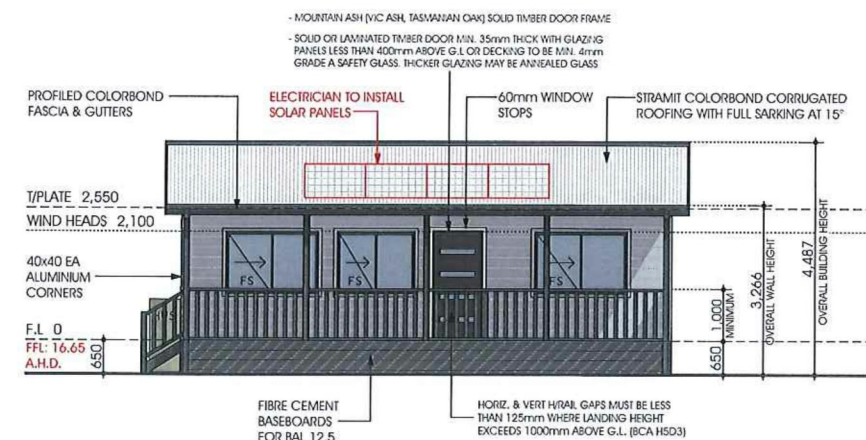
Elevation A



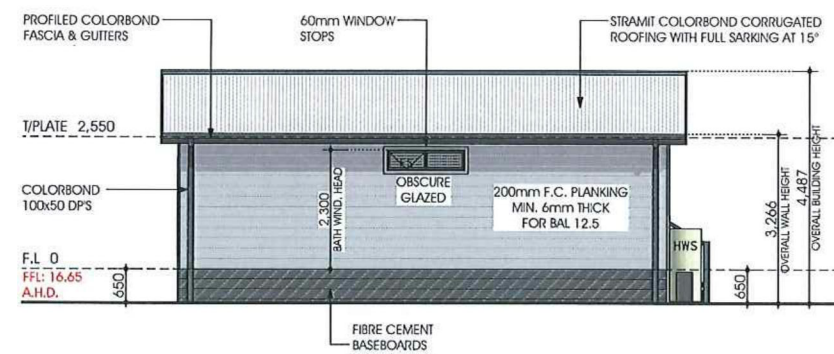
Elevation C



Section X-X



Elevation D



Elevation E

ENERGY EFFICIENCY	
CLASS 1 BUILDINGS IN CLIMATE ZONE 6 ARE REQUIRED TO ACHIEVE A MIN. 7 STAR ENERGY RATING IN ACCORDANCE WITH NCC 2022 PART H6. THIS IS ACHIEVED USING THE (DEEMED TO SATISFY PROVISIONS) OF PART 13.2 OF THE ASGB HOUSING PROVISIONS. REFER TO ATTACHED REPORT FOR EXPLANATORY INFORMATION & OVERALL R-VALUES OF ROOF, WALL & FLOOR SYSTEMS	
INSULATION VALUES	
- ROOF: R- 5.0 BATTS (210mm) + REFLECTIVE FOIL INSULATION*	
- WALLS: R- 2.5 WALL BATTS (20mm)	
- FLOOR: R- 2.9 REFLECTIVE FOIL INSULATION (4mm)	
* NOTE: REFLECTIVE FOIL INSULATION ASSUMES A SINGLE POLYURETHANE BACKED WITH AN AVERAGE ENTRANCE VALUE OF 0.9 OUTER & 0.05 INNER. THE REFLECTIVE SIDE MUST FACE DOWNWARD (ROOF) OR INWARD (WALLS) AND BE PLACED DIRECTLY UNDER THE ROOF & WALL CLADDING TO BE EFFECTIVE	
EXTERNAL GLAZING	
- EXTERNAL GLAZING IS SUBJECT TO BUILDING ORIENTATION. REFER TO ATTACHED GLAZING CALCULATION FOR SPECIFIC BUILDING ORIENTATION	
BUILDING SEALING	
- A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL SLIDING DOOR, WINDOWS AND OPENINGS.	
- DRAFT PROTECTORS ARE REQUIRED TO BE FITTED TO THE BOTTOM EDGE OF EXTERNAL SLIDING DOORS AND SEALS TO THE HEAD AND SIDES	
- SEALS MAY BE FOAM, RUBBER, FABRIC OR THE LIKE	
- EXHAUST FANS MUST BE FITTED WITH A SELF SEALING DEVICE SUCH AS A SELF CLOSING DAMPER OR FILTER (RANGERSHED)	
- GAPS AND CRACKS AROUND ROOFS, EXTERNAL FLOORS, WALL/FLOOR/ROOF JUNCTIONS AND AROUND WINDOW AND DOOR FRAMES MUST BE MINIMISED THROUGH GOOD CONSTRUCTION PRACTICE AND WITH THE PLACING OF CLOSE FITTING INTERNAL BRIMS AT JUNCTIONS, CAILINGS, SKIRTING, ARCHITRAVES AND CORNICES	
SERVICES	
- SERVICES PIPING AND DUCTWORK MUST BE INSTALLED TO FACILITATE THE EFFICIENT USE OF ENERGY AS PER HOUSING PROVISIONS PART 13.7.	
GENERAL NOTES	
- ENERGY EFFICIENCY (WALL, FLOOR, ROOF INSULATION & GLAZING) IN ACCORDANCE WITH NCC 2022 PART H6. REFER TO ENERGY EFFICIENCY NOTES & GLAZING CALCULATIONS FOR DETAILS	
- WET AREAS PROTECTED WITH A WATERPROOFING SYSTEM IN ACCORDANCE WITH NCC 2022 PART H1D2 AND HOUSING PROVISIONS PART 10.2.	
- STEPS: TREAD: 240mm MIN, RISE: 190mm MAX.	
- BALUSTRADE:	
- AT STEPS: 85mm (MIN) HIGH	
- AT LANDING: 100mm (MIN) HIGH	
- WHERE REQUIRED, HORIZONTAL & VERT. GAPS IN BALUSTRADES MUST BE LESS THAN 125mm IN ACCORDANCE WITH HOUSING PROVISIONS PART 11.3.4	
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.	
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:	
- EXTERNAL: 90mm STUD	
- INTERNAL: 90mm STUD	
- WC / BATHROOM DOOR TO BE REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH ASGB HOUSING PROVISIONS PART 11.3.4.2	
- ALL GLAZING TO COMPLY WITH NCC 2022 PART H1D8 & AS 1288	
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC 2022 PART H4D7	
- ROOF TRUSSES (WHERE USED) TO HAVE A MAXIMUM SPACING OF 900mm	
- WINDOW GLAZING CODES:	
- (OBS) OBTUSE GLASS	
- (TLS) TRANSLUCENT GLASS	
- (DGL) DOUBLE GLAZED	
- ROOF ACCESS (WHERE APPLICABLE)	
- SMOKE DETECTOR (DIRECT WIRED)	
- DP - DOWNPIPE (STORMWATER CONNECTED)	
- DP - DOWNPIPE (WATER TANK CONNECTED)	

COLOUR LEGEND

	COLORBOND DOVER WHITE
	COLORBOND IRONSTONE
	COLORBOND SATIN BLACK

BAL 12.5
CONSTRUCTION IN ACCORDANCE WITH AS 3959-2018 FOR A BAL OF 12.5

Cardinia
ADVERTISED MATERIAL
Planning Application: T250256
Date Prepared: 16 January 2026

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PHOTO No.1



PHOTO No.2



PHOTO No.3



PHOTO No.4



SITE PLAN
NOT TO SCALE

LAND SURVEYED:
COUNTY OF MORRINGTON, PARISH OF YALLOCK
CROWN ALLOTMENT 138B
CROWN ALLOTMENT 138B CH TP28377
VOL. 1108 FOL. 784

DATUM NOTES:
LEVELS SHOWN THIS PLAN ARE BASED ON AUSTRALIAN HEIGHT DATUM
LEVEL DATUM BASED ON GNSST CORRECTED RTK GNSS OBSERVATIONS
CONTOUR INTERVAL AT 0.2m

Cardinia

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JCA Land Consultants certify that this plan is in all respects accurate and correctly represents the existing conditions on the 22/04/23

EXPLANATORY NOTES:
- DATA ON THIS PLAN MAY ONLY BE MANIPULATED WITH THE PERMISSION OF JCA LAND CONSULTANTS.
- ACCURACY OF DETAIL LOCATION: ±500
- ACCURACY OF REDUCED LEVELS: ±500
- THIS MAP/COPIED PLAN IS A VERIFICATION OF COMPUTER FILE: DWG: 3379411F1D.dwg DATE: 05/05/23
- LOCATION OF ADJUTING BUILDINGS AND ENVIRONMENT IS INDICATIVE ONLY UNLESS OTHERWISE SHOWN.
- TREE SPREAD SHOWN ON THIS PLAN IS INDICATIVE ONLY.
- ONLY SIGNIFICANT TREES HAVE BEEN LOCATED AND SHOWN ON THIS PLAN.
- ALL VEGETATION SHOWN ON THIS PLAN IS TO BE VERIFIED BY AN ARBORIST.
- SHOWN DESCRIPTION AND NOTED ON THIS PLAN ARE INDICATIVE ONLY AND SHOULD BE VERIFIED BY THE ARCHITECT, DESIGNER OR BUILDER PRIOR TO ANY DESIGN.
- ONLY VISIBLE SERVICES ARE SHOWN ON THIS PLAN.
- IT IS STRONGLY RECOMMENDED THAT A BEFORE YOU DIG (www.b4udig.com.au) ENQUIRY BE MADE TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES WITHIN THE SITE.



Scale: NOT TO SCALE

Client : SUPERIOR GRANNY FLATS Municipality : CARDINIA

PLAN OF PARTIAL FEATURE & RE-ESTABLISHMENT SURVEY
250 HALL ROAD
YANNATHAN

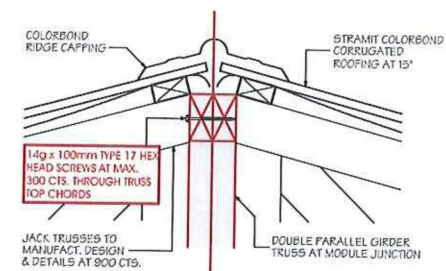
DWG: 3379411F1D
Job No: 33794
Sheet 1 OF 1

IMPORTANT NOTE:
- SEE JCA LAND CONSULTANTS' PLAN OF RE-ESTABLISHMENT' (DWG No. 3379411G1D.dwg) FOR TITLE DETAILS AND RELATIONSHIP TO FENCING.

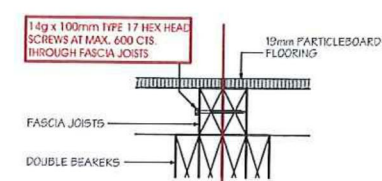
JCA LAND CONSULTANTS
The Subdivision Specialists
Suite 9, 301 Marsondale Highway, Ringwood VIC 3114
T: 03 9735 4388 E: jca@jca.com.au www.jca.com.au

LWE

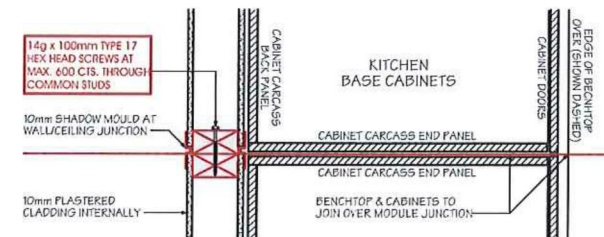
Colleen Bray



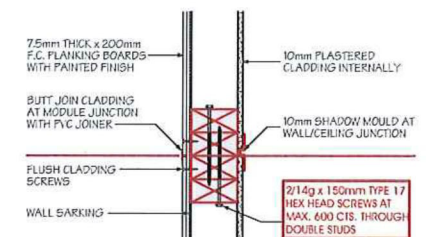
Connection Detail 4:
Roof Junction
Scale 1:10 @ A2



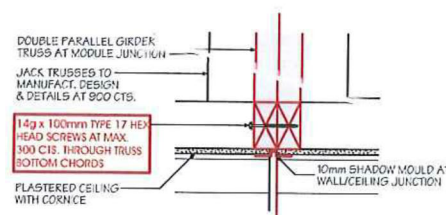
Connection Detail 1:
Floor Junction
Scale 1:10 @ A2



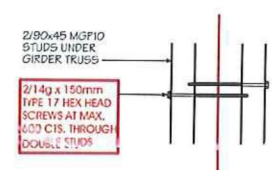
Section A:
Internal Wall/ Kitchen Cabinet Junctions
Scale 1:10 @ A2



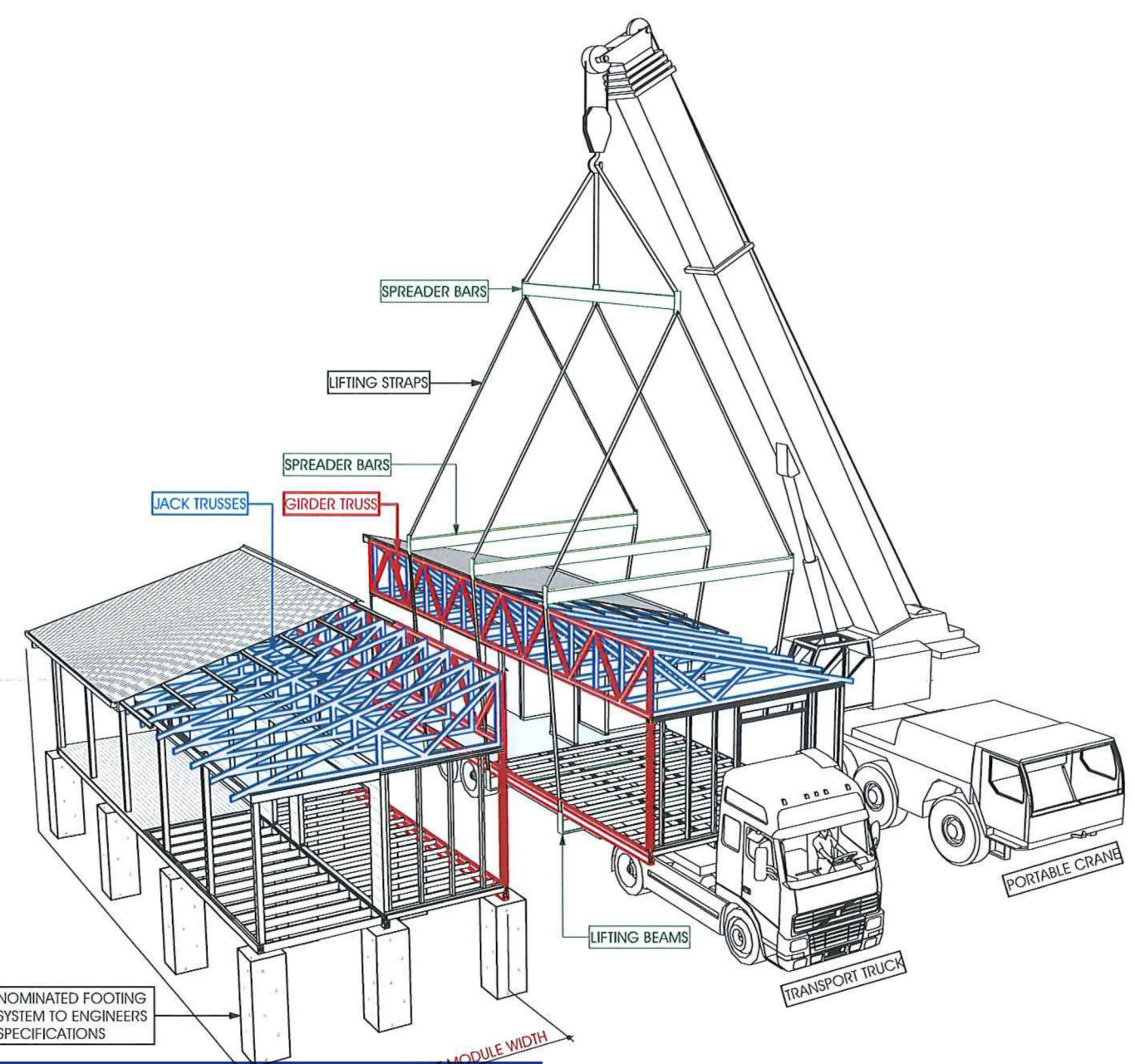
Section A:
External Wall Junction
Scale 1:10 @ A2



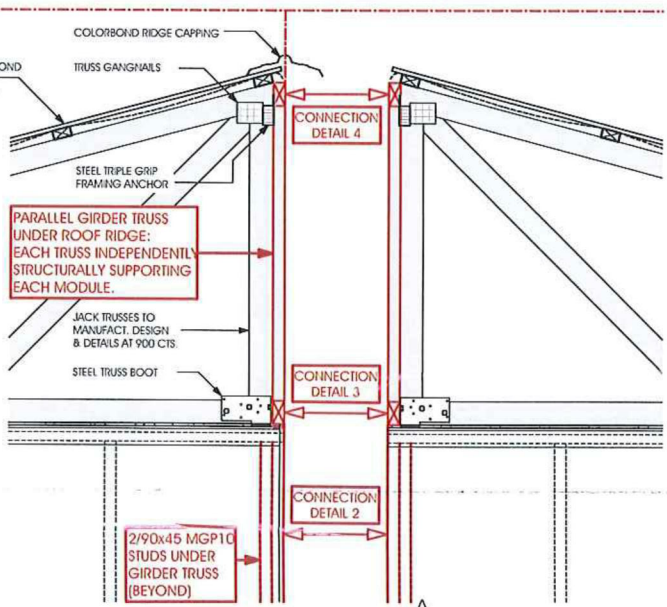
Connection Detail 3:
Roof Junction
Scale 1:10 @ A2



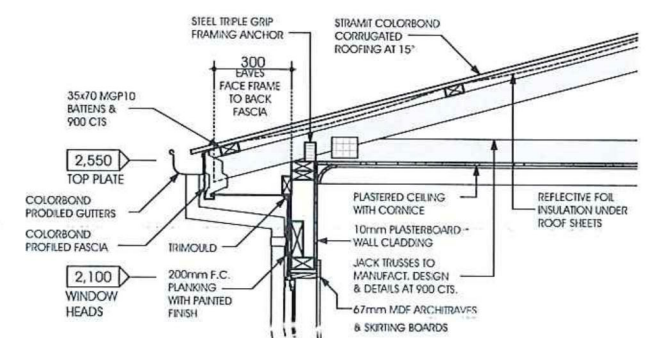
Connection Detail 2:
Wall Junction
Scale 1:10 @ A2



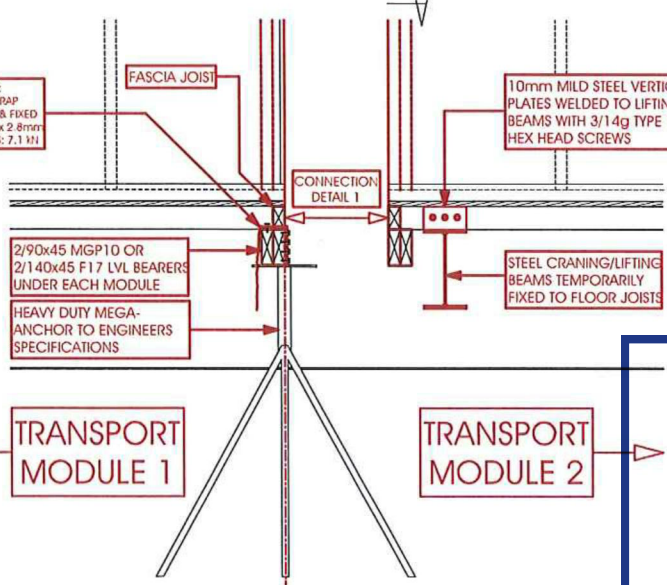
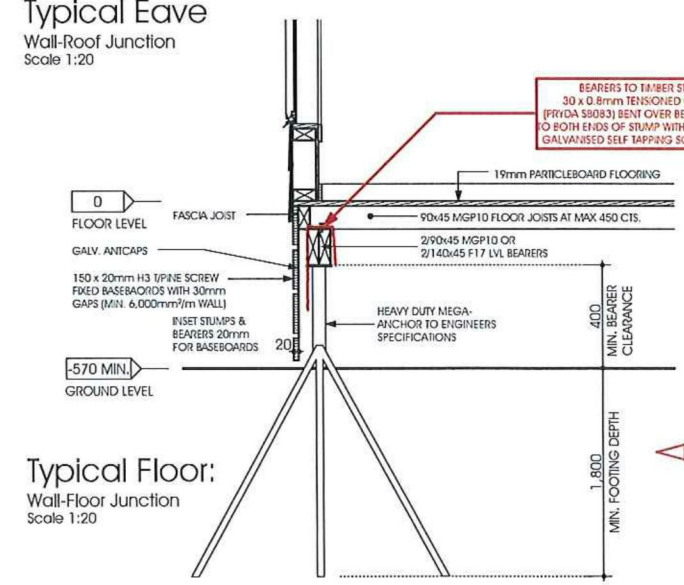
Typical Ridge Detail
Scale 1:20 @ A2



Typical Eave Wall-Roof Junction
Scale 1:20



Typical Floor: Wall-Floor Junction
Scale 1:20



Cardinia
ADVERTISED MATERIAL
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I have been working closely with Betnale Pty. Ltd. The past several years developing lightweight pre-fabricated modular Dependant Persons Unit's that have been successfully constructed and relocated all across the State of Victoria. Betnale Pty. Ltd. has been involved in the relocation, design and construction of moveable DPU's for 40 years and is a respected contractor for the Department of Human Services undertaking the relocation of hundreds of DPU's within their scheme. Due to Betnale's experience and knowledge of moveable buildings by many different manufacturers, they have been able to develop their own sophisticated systems that has overcome many of the traditional challenges associated with moveable buildings. Most notably unsightly exposed metal channels and refrigeration panels than discourage many property owners from buildings DPU's, as well as inherent issues with energy efficiency. The introduction of 6-Star energy efficiency for all new Class 1 buildings and demand for more ethically pleasing outcomes by property owners has led Betnale Pty. Ltd. to re-think moveable buildings. In particular how more traditional timber framing methods could be utilised to satisfy energy efficiency requirements and demand for a better quality product. Employing simply methods in regard to lightweight construction, pre-fabrication off site, modular design, complete screw fixing techniques and low impact removable masonry-free stump/footing systems, Betnale Pty. Ltd. have been able to develop and manufacture a straightforward and simple system. But also a system that satisfies the legislative requirements for DPU's to be moveable and has spent considerable time and funds to ensure this objective has been met. Betnale Pty. Ltd. respects and takes this requirement very seriously and not doing so would represent a serious breach of trust between itself and its many customers. Property owners are made fully aware from the outset that DPU's must be easily moveable, are strictly for the accommodation of a Dependant Person, and that once they are no longer being used for this purpose must be moved from the site. All property owners are required to supply a Statutory Declaration stating that they have been made fully aware of these requirements and restrictions. Given their knowledge of this, purchasing such a building that is not convincingly moveable would constitute a huge financial risk and a poor investment on their part. Betnale Pty. Ltd. does not simply hold the view that lifting and craning a complete intact structure constitutes an acceptable moveable building. Due to DPU's being located behind the existing Dwellings and often with little or very limited access, craning in a complete structure is for the majority of cases impractical or not possible at all. Therefore expecting such would severely limit re-sale options for property owners and in our view is not a true moveable building. As such Betnale Pty. Ltd. has designed their system primarily to be a flat-pack modular kit that dismantles into smaller modules to fit onto small trucks/A frame trailers but that also have the option of lifting and craning if the site constraints allow. Integrated screw fixed joins in the modular system double as seams that allow the entire building to be easily split in half or more if required to satisfy VIC Roads transport dimensions. Steel beams are then slid under the sub-floor to be easily lifted. However most of the designs used by Betnale Pty. Ltd. have been specifically designed to fit with in the transport dimensions and do not require any separation when moving. While the dismantling method allows the entire building to be carried through tight access i.e. under carports, through garages or narrow side setbacks, eliminating the need for craning completely.

Below is a schedule that outlines the construction method of Betnale Pty. Ltd.'s DPU's and demonstrates how the system completely dismantles, therefore satisfying the legislative requirements for a moveable building.

overall weight as opposed to timber, have a long life-span and being flexible but strong, making them ideal for transportation. The ceiling is comprised of a grid of lightweight galvanised steel battens suspended from the roof truss bottom cords via screw fixed hanging brackets. Care is taken to ensure a continuous gap is maintained around the perimeter of the ceiling as this allows the hanging brackets to be easily unscrewed from above completely separating and dropping the suspended ceiling away from the roof trusses without damage. This in comparison to the standard practice of permanently glue and nail/screw fixing the ceiling lining directly to the roof truss bottom chords. Which is not able to be dismantled and causes damage during transportation due to its rigid nature.

I trust that the supplied information is adequate to allow you to make a decision on the proposed development.



ADVERTISED MATERIAL

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13TH November 2025



Address: 250 Hall Road, Yannathan VIC 3981

Proposal: Construction of a Dependent Persons Unit

In response to further information requested on the 15th of October 2025.



ADVERTISED MATERIAL

Planning Application: T250256
Date Prepared: 16 January 2026

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Information Required as Part of the Application:

A detailed written report prepared by a suitably qualified professional, outlining: **Details of the existing use of the land, including:**

1. **Nature of any agricultural activities (or similar) carried out and/or undertaken on the land.** Farmland to rear of property – cattle.
2. **Details of any other land uses occurring (either with or without approval) on the subject site;** - N/A.
3. **Evidence that the existing dwelling is currently being used or has been used within the last two years.** – Client has owned and lived at the property since 1997 – refer attached photos.

Demonstrate how the proposed use of land for a Dependent Persons Unit meets all the conditional requirements of clause 52.04-8, which include the following:

1. **Evidence of connection to a reticulated potable water supply or provision of alternative potable water supply with adequate storage for domestic use as well as for firefighting purposes.** – Proposed water tanks shown on site plan to service proposed DPU.
2. **Evidence of connection to a reticulated electricity supply or have an alternative energy source.** – DPU to be connected to reticulated electricity available at property – Aus Net Services.
3. **A plumbers report to demonstrate that the existing septic system can be utilised or a Land Capability Assessment demonstrating that wastewater can be treated and retained within the lot.** – Refer attached septic permit and amended site plan showing location of proposed septic tank and effluent lines.

Information Required in Relation to vegetation removal:

1. **Location and detail of all vegetation within 15 metres of the proposed development.**
- 15 metre radius added to plans. All vegetation located outside of radius besides canopies of two trees. Please advise if arborist required to assess.

Information Required in Relation to the Site Plan:

Amended site plan, drawn to scale, clearly showing the following:

1. **Location and detail of all vegetation within 15 metres of the proposed works for DPU.**
The identification must include:
 - a) **A numbered tree table identifying the following:**
 - i) **Species**
 - ii) **Setback of the vegetation from the development**
 - iii) **Whether the vegetation is to be retained, pruned or removed** - 15 metre radius added to plans. All vegetation located outside of radius besides canopies of two trees. Please advise if arborist required to assess.
2. **Existing and proposed Effluent Area (to be consistent with the Land Capability Assessment requested in item 2(d); and must be shown clearly.** – Existing and proposed septic locations shown on plans. Septic permit included.
3. **Any assessments as required in response to the preliminary assessment comments.** – N/A.

Information required in relation to Floor Plans:

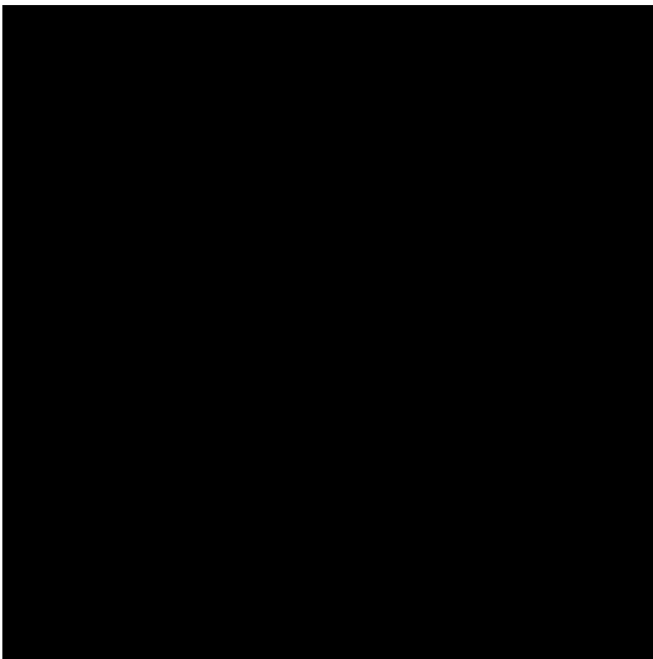
Fully dimensioned Internal Floor Layout plan, drawn to a stated scale and a minimum of A3 in size, clearly showing the following:

1. Internal Rooms labelled and dimensioned; - see included plans – page 2.

Information Required in Relation to the Elevation Plans:

Amended elevation plans, clearly showing the following:

1. Proposed material and colours for external façade. – refer colour legend page 4.
Materials shown on elevations.





DBYD Response from AusNet Electricity Services Pty Ltd.

Job Number: 50811754
Sequence Number: 258909117
Enquiry Date: 02/08/2025
Enquiry Location: 250 Hall Rd Yannathan, VIC



Thank you for using the Dial Before You Dig (DBYD) service before engaging in work at the above location.

AusNet Electricity Services Pty Ltd – Overview Only

Please find an Overview plot of electricity assets nearest to the vicinity of your enquiry. Detailed drawings are not provided with this response. Please submit a new request/s of less than 300 metres in area and AusNet Electricity Services Pty Ltd will respond accordingly

** Please note this information is only valid for 28 Days from date of issue. If work extends beyond this period, you must re-submit your enquiry*

All reasonable care has been taken to ensure that information regarding underground cables shown on the attached plan are accurate however, some variations from records may exist and complete accuracy cannot be guaranteed. Some underground assets of AusNet Electricity Services Pty Ltd exist without any records having been established. As we may not be able to ascertain the exact extent of your excavation as supplied with this enquiry, plans included are details of AusNet Electricity Services Pty Ltd underground asset records nearest the vicinity of your enquiry.

For Your Safety

If you observe obvious underground electrical cables and they appear to be additional to the information supplied, please call **1800 088 208** for further assistance.

Where proposed work is in close proximity to a cable, the exact location of the cable must first be determined by careful **hand excavation**. Cable cover slabs if present **must not** be disturbed.

Private Cables on Private Property

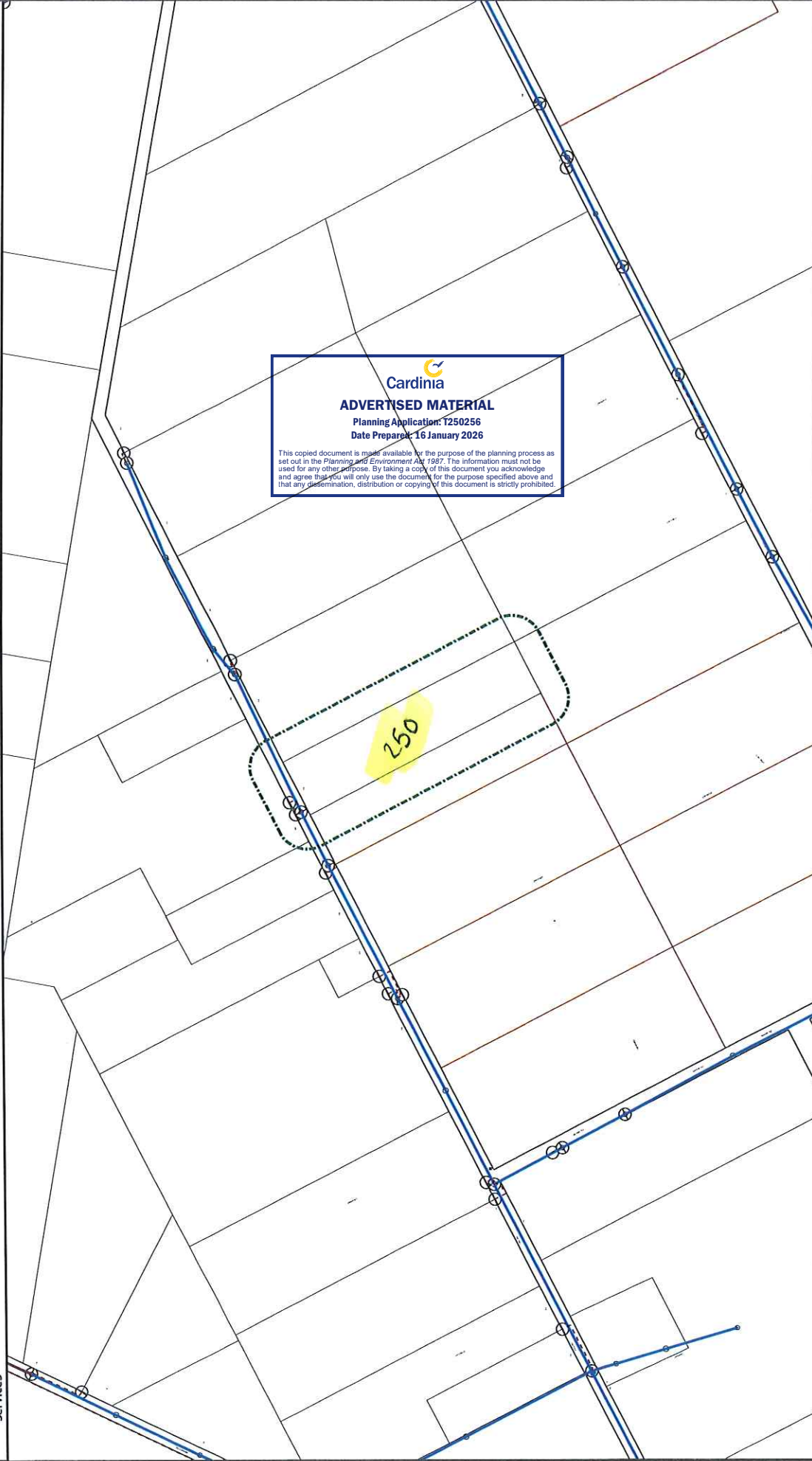
AusNet Electricity Services Pty Ltd does not have plans of privately owned cables on private property. A copy of these plans may be located in your meter box. Contact your local licensed electrician to arrange private cable location services.

No Go Zone

AusNet Electricity Services Pty Ltd assets are covered by No Go Zone Guidelines available at www.worksafe.vic.gov.au. If working in vicinity of these assets please contact our service provider Extec Services Pty Ltd on (03) 5941 7333.

AusNet Services – DBYD Support

OVERVIEW ONLY - NOT FOR EXCAVATION PURPOSES





Cardinia

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Planning Application: 1250256
Date Prepared: 16 January 2026

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0m 100m 200m 300m 400m 500m 600m



Warning!

Please be advised this is a high level representation only and may not indicate all AusNet Services assets in the area or the exact location of identified assets.
This plan must not be used for the purpose of ascertaining asset locations for excavation. Please read all conditions and information on the attached information sheets.

Note: The information contained on this plan is only valid for 28 days from the date of issue.

Directory Reference

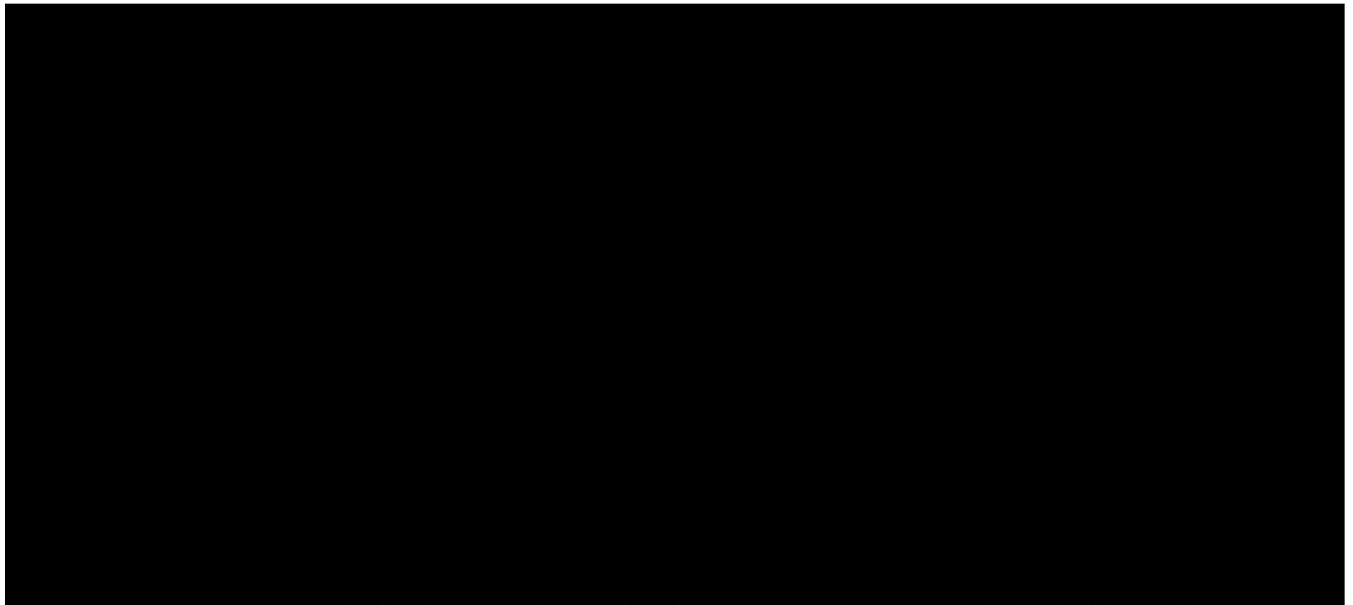
Melway No Map Ref
Vic Roads 96 B 5
ESMAP 796 H5
Bunyip 2,500/3,10

AMG Extents

SW 376695 E 5770870 N
NE 379113 E 5772262 N

Plot Date: 02/08/2025

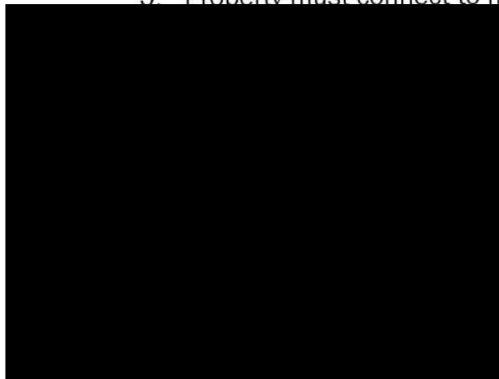
PERMIT TO CONSTRUCT, INSTALL OR ALTER



This permit is issued subject to the provisions of the *Environment Protection Act 2017* and is valid for 24 Months from the date of issue unless construction of the system has commenced within that period, and is subject to the following conditions:

Please note:

1. The onsite wastewater management system is **NOT** to be used until a **"Certificate for Use"** has been issued for the system.
2. All plumbing & drainage works to be carried out by a licensed plumber/drainier.
3. A certificate of compliance is to be submitted for works carried out by plumber/drainier at the completion of works, prior to a Certificate for use being issued.
4. This permit and conditions apply to the **ONSITE WASTEWATER MANAGEMENT SYSTEM** and belong to and bind the original property owner. In the event that this property is sold an application to transfer this permit to the new property owners must be made to Council.
5. Property must connect to mains sewer within three (3) months of it becoming available.



Cardinia Shire Council
ABN: 32 210 906 807
20 Siding Ave, Officer

PO Box 7
Pakenham 3810
(DX 81006)

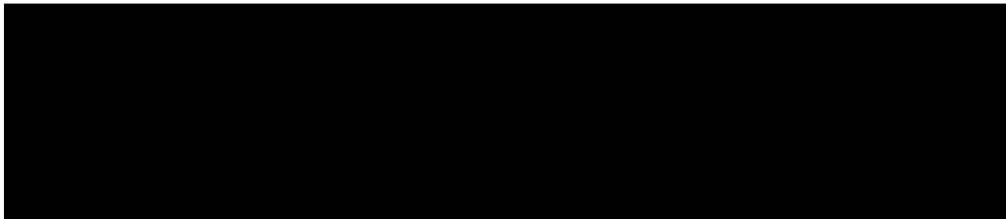
Phone: 1300 787 624
Email: mail@cardinia.vic.gov.au
Web: www.cardinia.vic.gov.au



ENVIROMENTAL PROTECTION ACT 2017

PART 4.3 – ONSITE WASTEWATER MANAGMENT SYSTEM

Permit to Construct, Install or Alter Onsite Wastewater Management System



CONDITIONS

INSTALLATION AND USE



1. The system must be constructed, installed and maintained in accordance with the following.
 - a. The Septic Tank must hold an Australian Standard 1546.1 certificate of conformance issued by a Certified Accrediting Body within the last 5 years.
 - 1.1 The Waterless Composting Toilet must hold an Australian Standard 1546.2 certificate of conformance issued by a Certified Accrediting Body within the last 5 years.
 - b. The system is approved for wastewater flows not exceeding **450 L** per day.
 - 1.2 The current edition of EPA's Guidelines for Environmental Management *Code of Practice – On-site Wastewater Management*.
 - 1.3 Australian/New Zealand Standard 1547 On-site domestic-wastewater management and Australian/New Zealand Standard 3500 National plumbing and drainage code and other relevant Australian Standards.
 - 1.4 Council specifications and guidelines.
2. The Permit to Install/Alter is valid for 24 Months from the date of approval. Failure to commence installation or alteration within the 24-month period will render this permit void.
3. The permit holder **must** notify Council for an inspection no less than 24 hours prior to the inspection:
 - Immediately prior to the backfilling of the effluent dispersal field
 - Immediately after installation of the system is finished.
 - Other times to suit the individual system.
4. Extending the buildings served by the system may cause the above limits to be exceeded. A Permit to Alter an Onsite Wastewater Management System must be obtained from Council

before altering the system to cope with the increased flows associated with the installation of additional plumbing fixtures and features.

5. The system must not be altered or modified, except with the approval of the Council. A Permit to Alter an Onsite Wastewater Management System must be obtained from Council before making any alterations to the system.
6. The system must be constructed in accordance with the permit application conditions. In the event of any inconsistency arising between the application and the conditions of this permit, the conditions of this permit will apply and enforced.
7. An alarm system with suitable visual and/or audio warning signal must be installed in an appropriate location to indicate failure of the effluent pump.
8. Buildings, driveways, concrete, tennis courts, swimming pools, garden beds, vegetable gardens, large trees and the like must not be placed in or on wastewater disposal areas. No buildings or works shall occur over any part of the approved onsite wastewater management system including the septic tank.
9. Effluent from the system must not discharge beyond the boundaries of the allotment. Sewage, sullage and other liquid wastes to arise from the development shall be treated and retained on site by an onsite wastewater management system in accordance with the requirements of the *Environment Protection Act 2017*, the current Guidelines for Environmental Management: Code of Practice – Onsite Wastewater Management and the Responsible Authority.
10. All access openings for the onsite wastewater management system must be brought up to ground level and comply with Australian Standard 1546, *On-site domestic wastewater treatment units – Septic Tanks*.
11. Fencing of proposed waste disposal area is required prior to house construction.
12. Prior to the issue of a Certificate of Approval to Use the following documentation must be submitted to Council.
 - Certificate of compliance from the licensed plumber, who installed the system.
 - An as installed plan showing the location of buildings in relation to the onsite wastewater management system. The plans must show the measurements and setbacks to boundaries and structures from the above components of the onsite wastewater management system.
13. Should sewer become available, the property must connect to sewer and notify the responsible authority.

ABSORPTION TRENCHES

14. Absorption trenches must be sized, designed, and constructed in accordance with the clauses of Appendix L Australian Standard 1547:2012 as amended.
15. Absorption trenches must be laid level along the contour of the land.



16. Absorption trenches must be commenced at a point where ground level is lower than the invert of the septic tank outlet. If adequate fall cannot be achieved from the septic tank an effluent pump and warning light will be required.
17. Absorption trenches must be a maximum 30m in length.
18. The total length of the absorption trenches must be at least **40 m**.
19. The width of the absorption trenches must be **1000mm**.
20. The depth of the absorption trenches must be **450-500 mm**.
21. There must be at least 3m of undisturbed soil between trenches.
22. Absorption trenches must be located at least 60m from open drains, dams and watercourses.
23. Distribution pits and weirs must be installed on each absorption trench.
24. The bottom of absorption trenches must be located at least 1.5m above ground water table level.
25. Provision must be allowed for future extension of trench

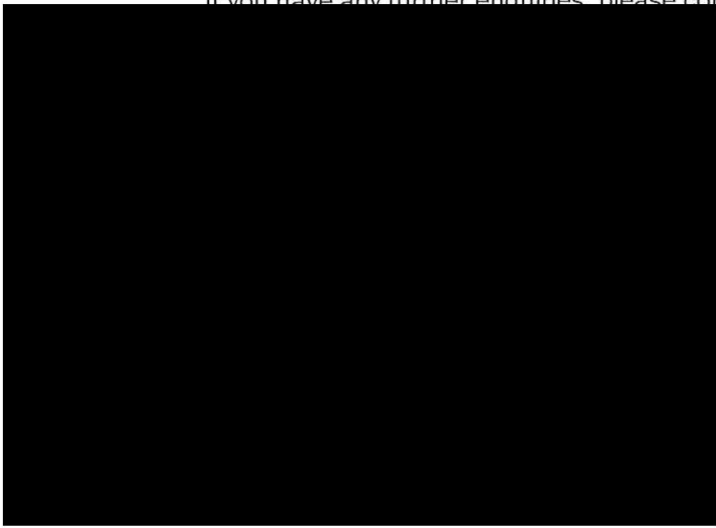


SYSTEM MAINTENANCE

26. The system must be assessed for permit compliance by an accredited person acceptable to the Council every three (3) years.
27. The septic tank must be desludged at least once every three years, or whenever the tank becomes more than half full of sludge.
28. A copy of the maintenance reports and permit compliance assessment report must be submitted to Council within 7 days of each assessment being made.
29. The wastewater disposal area must be maintained as a permanent, dedicated area.
30. Vehicles and livestock must be excluded from the wastewater disposal area.
31. Storm water must be diverted around the wastewater disposal area to a Council approved point of discharge.
32. Buildings, driveways, concrete, tennis courts, swimming pools, garden beds, vegetable gardens, large trees and the like must not be placed in or on wastewater disposal areas.

33. If further subdivision of the property is to occur the onsite wastewater management system must be located so that it is fully contained within the parent property boundary.

If you have any further enquiries, please contact Helen Powell on 1300 787 624.



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#1 PROPOSED SEPTIC SYSTEM PLAN

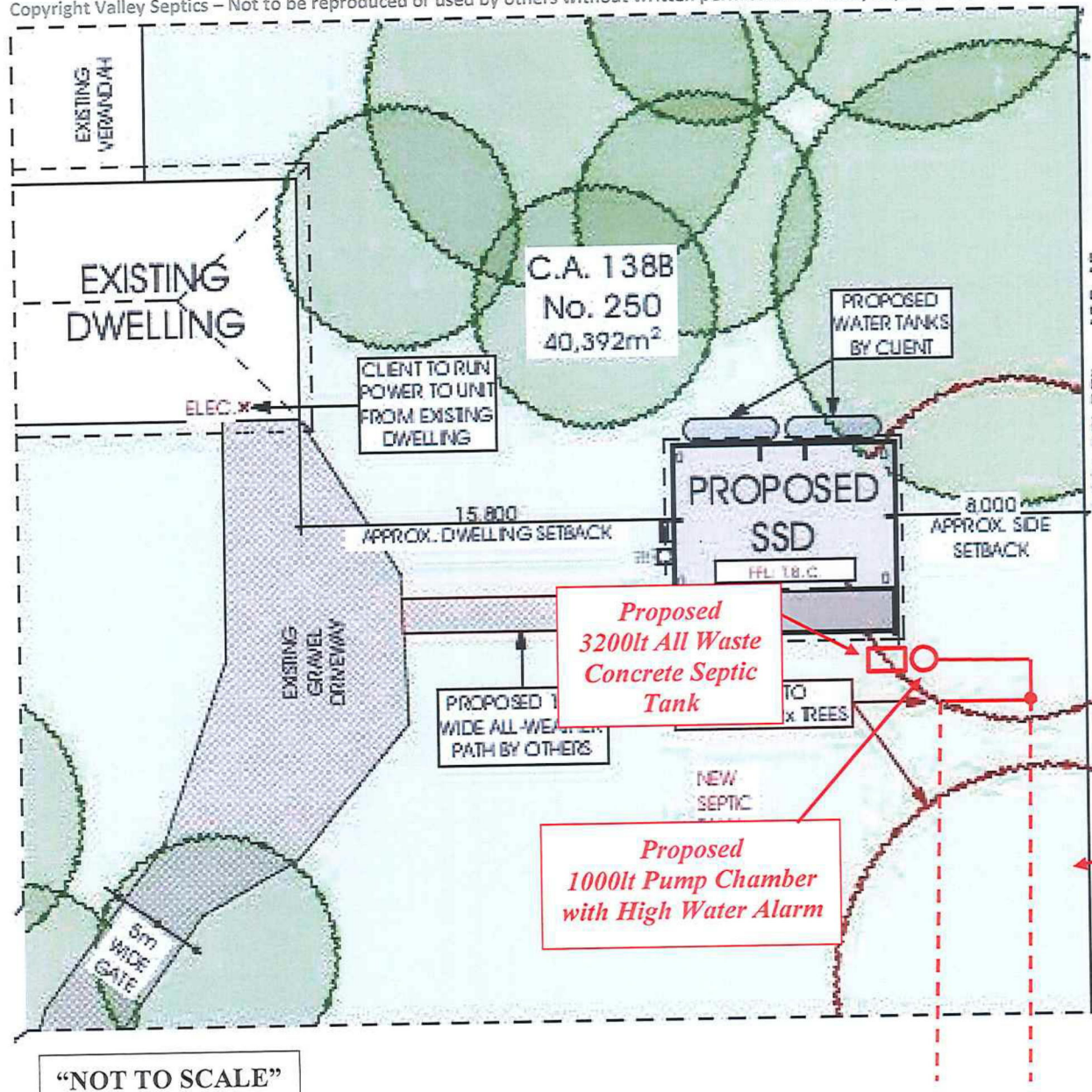
Permit # :

Job Location: 250 Hall Road, YANNATHAN

Owners: Kyle COOPER

Contractor: VALLEY SEPTICS - NICK BALDA

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PDF - 152 KB

PDF - 14

 2 attachments (296 KB) [Save attachments](#)

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Please see attached for the Septic Permit & Proposed Septic Plan.

The Permit to Install has already been approved by the Environmental & Health Department, so the LCA wouldn't be required. We can provide a septic report for the current septic system if you would like us to return to site to complete this? Please advise if you want to book us in for the septic report.

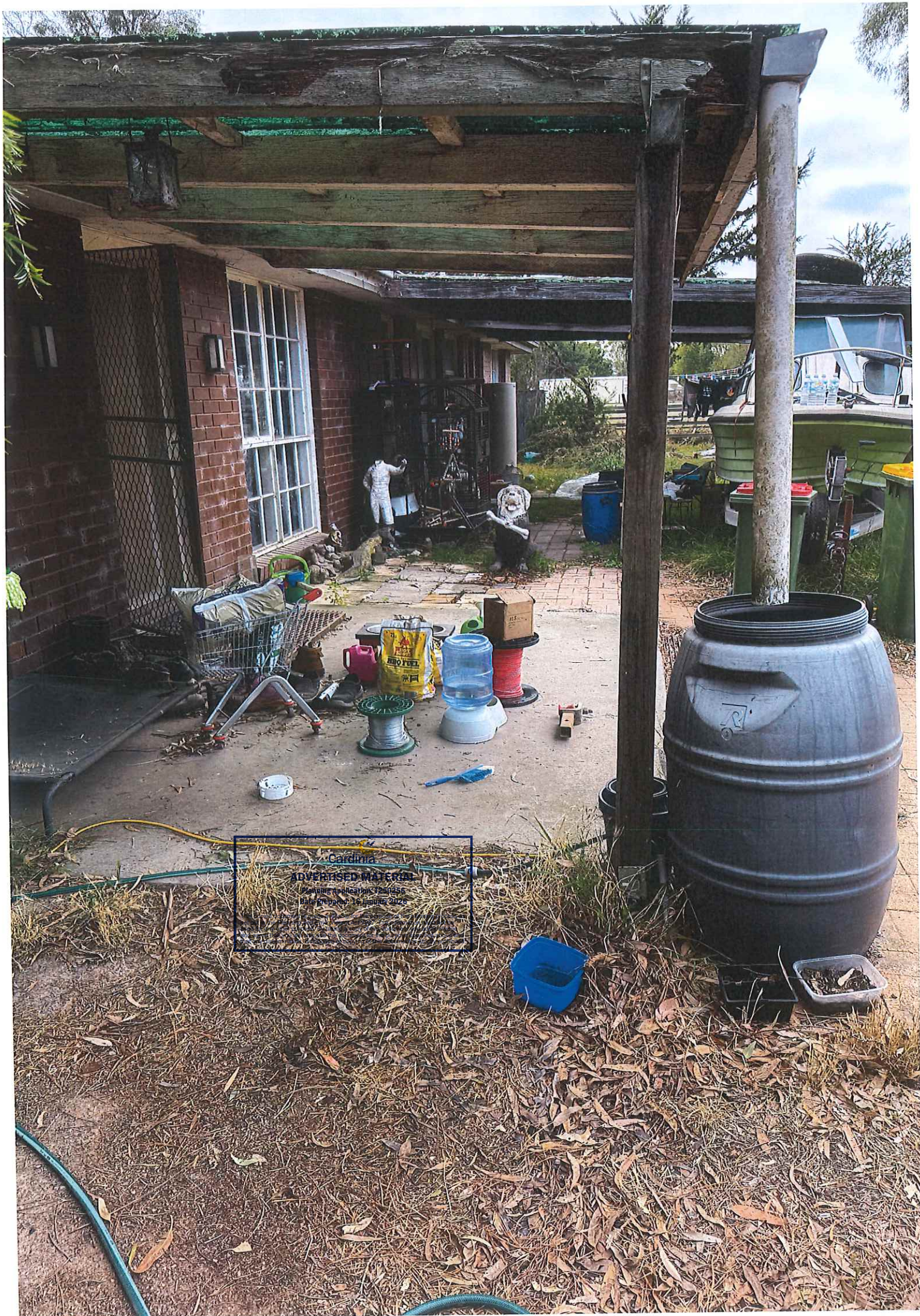
Thank you

Kind Regards,

← Reply







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Containing No Material
Date prepared: 16 August 2025




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Planning Application: 1250236
Date Prepared: 16 January 2026

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Planning Application: T230256

Date Proposed: 16 January 2025

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