

# Notice of Application for a Planning Permit



The land affected by the application is located at:	CA 138B Parish of Yallock 250 Hall Road, Yannathan VIC 3981
The application is for a permit to:	Use and development of Dependent Persons Unit.
A permit is required under the following clauses of the planning scheme:	
Clause 52.04	Use of Land for the Dependent Persons Unit
Clause 44.04-2	Construct a building or to construct or carry out works

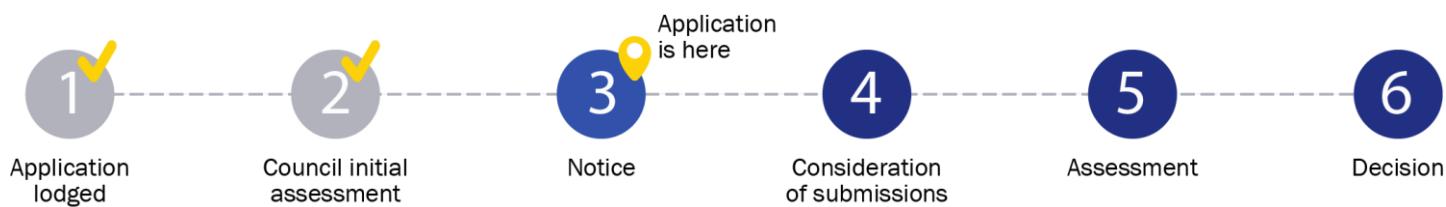
## APPLICATION DETAILS

The applicant for the permit is:	Betnale Pty Ltd	 <b>Cardinia</b> <b>ADVERTISED MATERIAL</b> Planning Application: T250256 Date Prepared: 16 January 2026
Application number:	T250256	<small>This copied document is made available for the purpose of the planning process as set out in the Planning and Development Act 1997. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small>
You may look at the application and any documents that support the application at the office of the Responsible Authority:		
Cardinia Shire Council, 20 Siding Avenue, Officer 3809.		
This can be done during office hours and is free of charge.		
Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.		



## HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	<b>03 February 2026</b>
<b>WHAT ARE MY OPTIONS?</b>  Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.  If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul> The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.





# ePlanning

## Application Summary

Portal Reference	D32528L9
Reference No	T250256

### Cardinia

#### ADVERTISED MATERIAL

Planning Application: T250256

Date Prepared: 16 January 2020

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## Basic Information

Cost of Works	\$232,398
Site Address	250 Hall Road Yannathan VIC 3981

## Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	No such encumbrances are breached
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Note: During the application process you may be required to provide more information in relation to any encumbrances.

## Documents Uploaded

Date	Type	Filename
16-09-2025	Additional Document	20250916124224939.pdf
16-09-2025	Additional Document	20250916124250374.pdf



20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810  
**Email:** mail@cardinia.vic.gov.au

8.30am-6.5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784



**Civic Centre**  
20 Siding Avenue, Officer, Victoria  
**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria



**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810  
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**Monday to Friday** 8.30am-5pm  
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5pm  
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**Fax:** 03 5941 3784

# Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

## PERMIT APPLICATION DETAILS

Application No.:	T250256 PA	
Address of the Land:	160a Waverley Road, Dromana VIC 3936	
AP		
N		
O		
A		
P		
E		
AM		
U		
Section 50 – Amendment to application at request of applicant <b>before</b> notice:		<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority <b>before</b> notice:		<input type="checkbox"/>
Section 57A – Amendment to application <b>after</b> notice is given:		 <b>ADVERTISED MATERIAL</b> <small>Planning Application: T250256 Date Prepared: 16 January 2026</small>

## AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
<p>Client has decided to change the land use term of the proposal from Small Second Dwelling to Dependent Persons Unit.</p>		

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**Specify the estimated cost of any development for which the permit is required:**

Not applicable

Unchanged

New amount \$

**DECLARATION****AMENDMENT**

Please submit this form, including all amended plans/documents, to [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

**IMPORTANT INFORMATION**

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

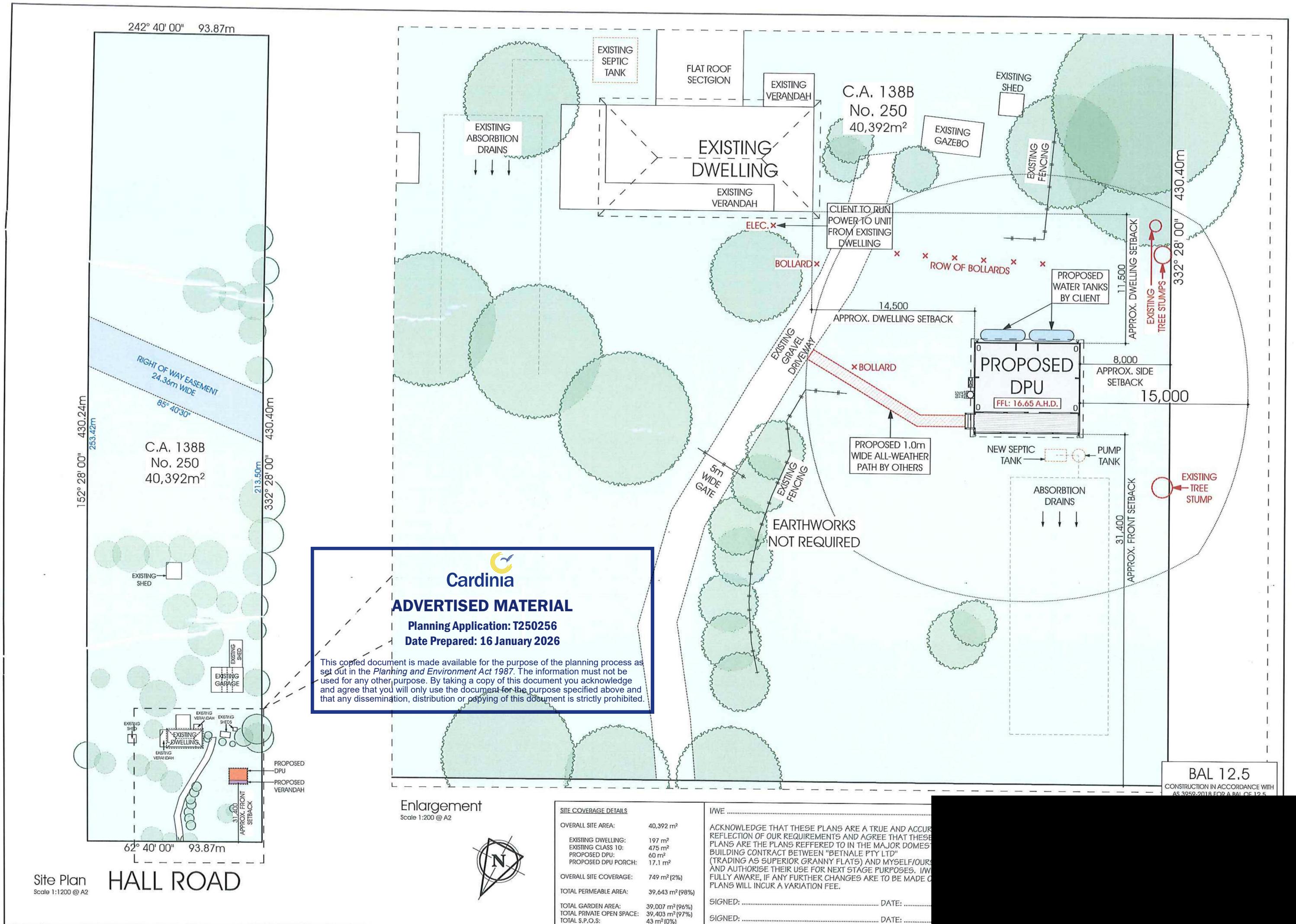
Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

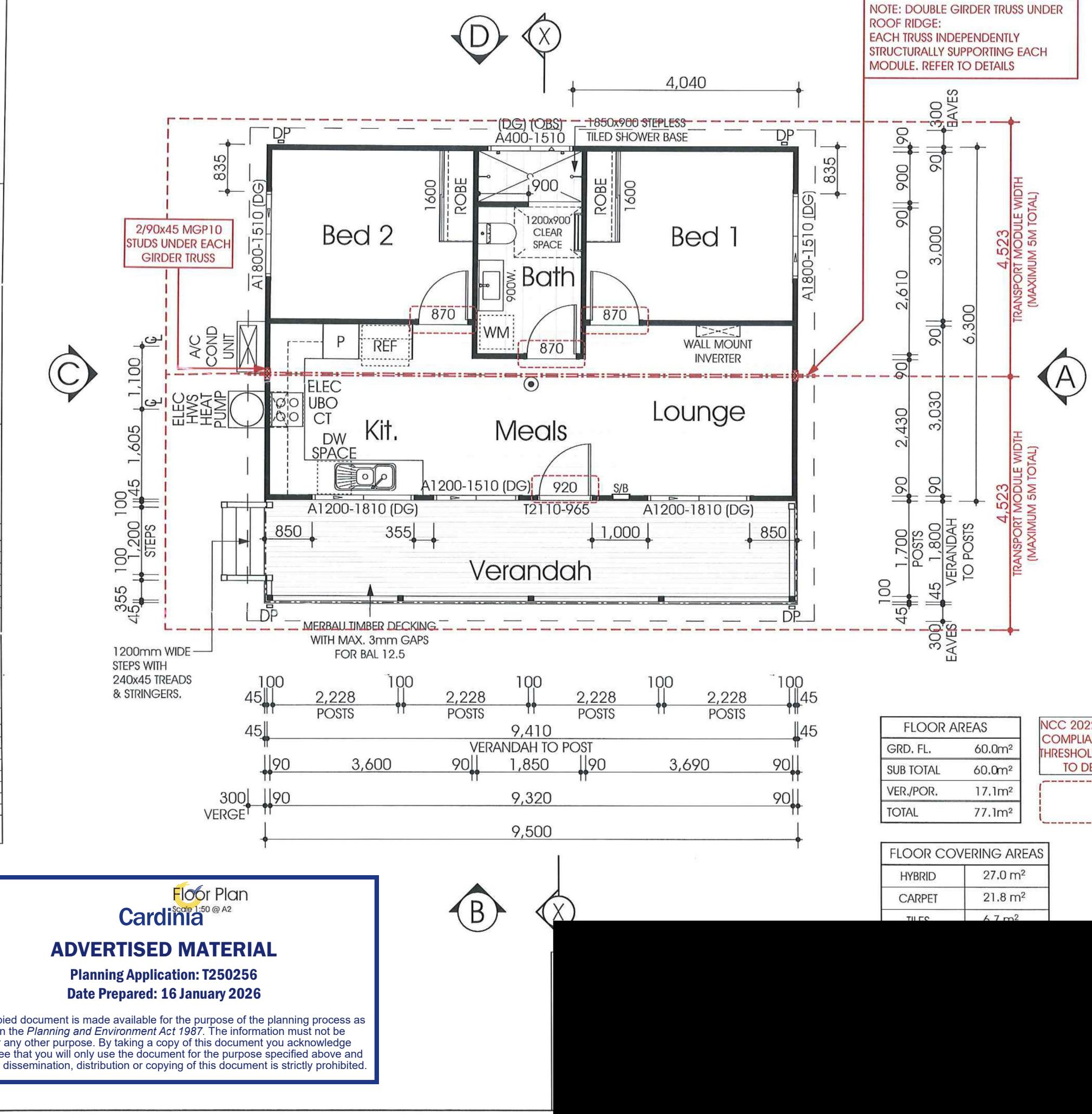
The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

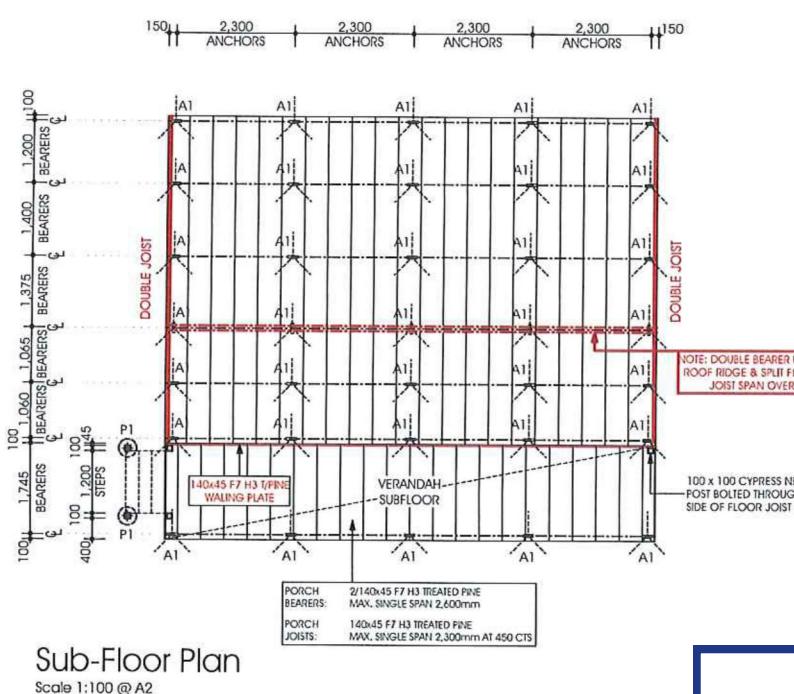
Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.



SPECIFICATION		WATERPROOFING & WATER RESISTANCE					
FOOTINGS		ALL WET AREA FLOORS: - ENSURE VINYL FLOORING IS DEEMED TO BE WATERPROOF & THAT ALL JOINS ARE SEALED UP TO A MAX. 20mm AT WALL/FLOOR JUNCTIONS TO CREATE WATERPROOF FLOOR. EXTERIOR BOARDS & ARCHITRAVES PLACED OVER UPURN & SEALED TO VINYL WITH WATERPROOF ACRYLIC OR SILICONE SEALANT (REFER TO DETAILS)					
SITE CLASSIFICATION P		SKIRTING BOARDS & ARCHITRAVES TO WET AREAS TO BE SOLID TIMBER, PINE OR HARDWOOD, NOT MDF					
WIND RATING N 1		STUMPS: - 12mm x 3.2mm MEGA ANCHOR: <a href="https://www.mega-anchor.com.au/products">https://www.mega-anchor.com.au/products</a> - 75x58mm GALVANISED STEEL STUMPS WITH 130x130x8mm WELDED BASE PLATE & 200x75x10mm FABRICATED SLOT IN "T" TOP, EMBED IN FOOTINGS TO ENGINEER'S SPECIFICATION.					
C1: 100x100 PRECAST CONCRETE STUMPS WITH ONE 5mm HARD DRAWN WIRE.							
P1: 100x100 CYPRESS TIMBER POSTS/NEWEL POSIS WITH A MIN. STRESS GRADE OF F4 ON CONCRETE FOOTING WITH POST ANCHOR.							
BEARERS		2/140x45 LVL 15 (F17) BEARERS WITH A MAX. CONTINUOUS SPAN OF 2400mm.					
MINIMUM BEARER CLEARANCE TO GROUND LEVEL:		150mm					
TERMITE INSPECTION REQUIRED:		150mm					
NOTE: ON SLOPING SITES, 400mm WHEN REQUIRED MAY BE REDUCED TO 150mm WITHIN 2m OF EXTERNAL WALLS							
FLOOR JOISTS		50x45 MGP10 FLOOR JOISTS AT MAX. 450mm CTRD WITH A MAX. CONTINUOUS OF 1800mm MAX. SINGLE SPAN OF 1300mm					
FLOORING		19mm THICK "YELLOW TONGUE" PARTICLEBOARD FLOORING.					
TIMBER DURABILITY		CLASS 1 OR 2 TIMBERS ARE SUITABLE FOR IN GROUND USE. ALTERNATIVELY, HS TREATED TIMBER CAN BE USED.					
CLASS 1	CLASS 2	BEIJAN CYPRESS (WHITE) IRONBARK TALLOWWOOD YELLOW CEDAR NORTHERN BOX					
BLACKBUT KIWI (MERRAUM) IRONBARK SPOTTED GUM WESTERN RED CEDAR BALAU TEAK							
WALL FRAMES							
COMMON STUDS: 90x35 MGP10 AT 600 CTS.							
HOGGINGS: 45x90 MGP10							
JAMB STUDS: 90x35 AT 1275 CTS.							
OPENING 0 - 900: 90x35 MGP10							
OPENING 900 - 2600: 2/90x35 MGP10							
OPENING 2600 - 4300: 3/90x35 MGP10							
LINTELS							
OPENINGS UP TO 1100: 90 x 45 F5							
OPENINGS UP TO 1500: 90 x 45 LVL 15							
OPENINGS UP TO 1800: 140 x 45 F7							
OPENINGS UP TO 2200: 180 x 45 F15							
OPENINGS UP TO 2400: 180 x 45 F7							
OPENINGS UP TO 2600: 190 x 45 MGP10							
OPENINGS UP TO 3000: 240 x 45 F7							
ALL STRUCTURAL TIMBER SIZES, FIXINGS & TIE-DOWNS ARE IN ACCORDANCE WITH AS 1684.2 2021							
BUSHFIRE AREAS							
DESIGN & SPECIFICATION DOES NOT CONSIDER SITES SUBJECT TO BUSHFIRE ATTACK. SITES DEEMED TO INVOLVE BUSHFIRE RISK MUST MEET ADDITIONAL CONSTRUCTION REQUIREMENTS IN ACCORDANCE WITH NCC 2022 PART H704 & AS 3959							
INTERNAL ELEVATIONS SPECIFICATION.							
WATER PIPE LOCATIONS		FITTING LOCATIONS					
No.	ITEM	ABOVE FFL	No.	ITEM	ABOVE FFL	ITEM	HEIGHT ABOVE FFL
1	TOILET	250	6	SINK	650	PAPER HOLDER	600
2	BED	250	7	DW	500	TOWEL RAIL	1000/1600
3	BATH	600	8	TRough	1085	TOILET RING	820
4	SHOWER	1000/1800	9	WM	600/1275	SHOWER SOAP HOLDER	1000 NOMINAL
5	BASIN	600	10	FR WASTE	-		
FRAME OFFSETS: SHOWER ROSE = 430 CL, SHOWER TAPS = 250 CL, SOAP HOLDER = 550 CL							
NOTES: - DIMENSIONS TAKEN FROM FRAME - SPLASHBACK TILES: 200x200 - WET AREA SKIRTING BOARDS: SOLID TIMBER 67mm							
POWERPOINT LOCATION <input type="checkbox"/>							
ENERGY EFFICIENCY (F4), FLOOR, ROOF INSULATION & GLAZING IS IN ACCORDANCE WITH NCC 2022 PART H8. REFER TO ENERGY EFFICIENCY NOTES & GLAZING CALCULATIONS FOR DETAILS.							
WET AREAS PROTECTED WITH A WATERPROOFING SYSTEM IN ACCORDANCE WITH NCC 2022 PART H704 AND HOUSING PROVISIONS PART 10.2.							
STEPS: TREAD: 240mm MIN, RISE: 100mm MAX.							
BALUSTRADE : - AT STEPS: 85mm MIN HIGH - AT LANDINGS: 100mm MIN HIGH							
WHERE REQUIRED, HORIZONTAL & VERT. GAPS IN BALUSTRADES MUST BE LESS THAN 125mm IN ACCORDANCE WITH HOUSING PROVISIONS PART 11.3.4							
WRITTEN DIMENSIONS WILL TAKE PREFERENCE OVER SCALE.							
UNLESS OTHERWISE INDICATED, INTERNAL ROOM AREAS: - EXTERNAL: 90mm STUD - INTERNAL: 90mm STUD							
WC / BATHROOM DOOR TO BE REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES & GLASS IN ACCORDANCE WITH ASC8 HOUSING PROVISIONS PART 10.4.2							
ALL GLAZING TO COMPLY WITH NCC 2022 PART H10B & 12B							
MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC 2022 PART H10							
WINDOW GLAZING CODES: - (OB5) OBFUSCATE GLASS - (OB5) TRANSLUCENT GLASS - (DG) DOUBLE GLAZED							
ROOF ACCESS (WHERE APPLICABLE): - SMOKE DETECTOR (DIRECT WIRED)							
DOWNPIPE (STORMWATER CONNECTED)							
DOWNPIPE (WATER TANK CONNECTED)							

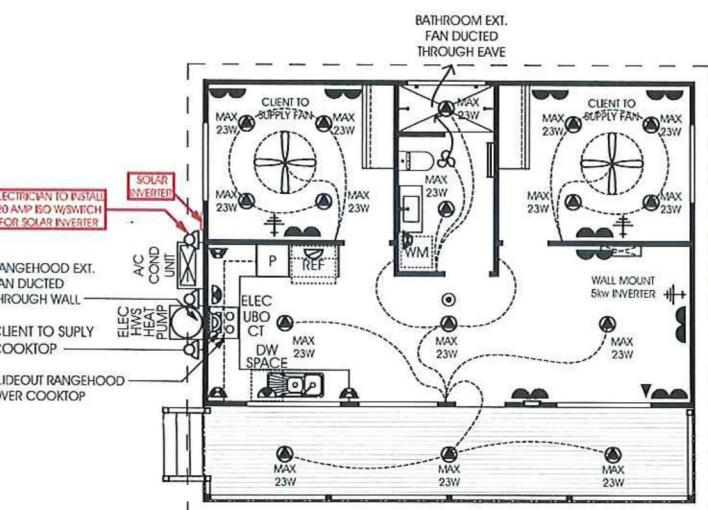


SPECIFICATION		WATERPROOFING & WATER RESISTANCE					
<b>FOOTINGS</b>		ALL WET AREA FLOORS: AS PER SOIL REPORT BY SOIL TEST MELBOURNE					
SITE CLASSIFICATION P		MIN. DEPTH 1800 mm					
WIND RATING N 1		WIND SPEED 28 m/s					
<b>STUMPS</b>		A1: 42mm x 3.2mm Mega Anchor <a href="https://www.mego-anchor.com.au/products">https://www.mego-anchor.com.au/products</a>					
S1: 75x58mm GALVANISED STEEL STUMPS WITH 130x130x8mm WELDED BASE PLATE & 200x75x10mm FABRICATED SLOT IN 'T' TOP, EMBED IN FOOTINGS TO ENGINEERS SPECIFICATION.		A1: 42mm x 3.2mm Mega Anchor <a href="https://www.mego-anchor.com.au/products">https://www.mego-anchor.com.au/products</a>					
C1: 100x100 PRECAST CONCRETE STUMPS WITH ONE 5mm HARD DRAWN WIRE.		P1: 100x100 CYPRESS TIMBER POSTS NEWEL POSTS WITH A MIN. STRESS GRADE OF F4 ON CONCRETE FOOTING WITH POST ANCHOR.					
<b>BEARERS</b>		2/140x45 LVL 15 (F17) BEARERS WITH A MAX. CONTINUOUS SPAN OF 2400mm.					
<b>MINIMUM BEARER CLEARANCE TO GROUND LEVEL:</b>		TERMITIC INSPECTION REQUIRED: 150mm ON SLOPING SITES, 400mm WHEN REQUIRED MAY BE REDUCED TO 150mm WITHIN 2m OF EXTERNAL WALLS					
<b>FLOOR JOISTS</b>		90x15 MGP10 FLOOR JOISTS AT MAX. 450 CENTRES WITH A MAX. CONTINUOUS OF 1800mm MAX. SINGLE SPAN OF 1300mm					
<b>FLOORING</b>		19mm THICK 'YELLOW TONGUE' PARTICLEBOARD FLOORING.					
<b>TIMBER DURABILITY</b>		CLASS 1 OR 2 TIMBERS ARE SUITABLE FOR IN GROUND USE. ALTERNATIVELY, HS TREATED TIMBER CAN BE USED					
CLASS 1		CLASS 2					
BEECH, CYPRESS (WHITE)		BLACKbutt, AVAIA (VERBANIA)					
IRONBARK		SPOTTED GUM, WESTERN RED CEDAR, RIVER RED GUM					
TALLOWWOOD		BALAU					
TURPENTINE		TEAK					
YELLOW CEDAR		NORTHERN BOX					
<b>WALL FRAMES</b>		COMMON STUDS: 90x35 MGP10 AT 600 CTS.					
TOP/BOTTOM PLATES: 45x90 MGP10		NOGGINGS: 90x35 AT 1275 CTS.					
JAMB STUDS: 90x35 MGP10		OPENING 0 - 900: 90x35 MGP10					
OPENING 900 - 2600: 2/90x35 MGP10		OPENING 2600 - 4300: 3/90x35 MGP10					
<b>LINTELS</b>		OPENINGS UP TO 1100: 90 x 45 F5					
OPENINGS UP TO 1500: 90 x 45 LVL 15		OPENINGS UP TO 1800: 140 x 45 F5					
OPENINGS UP TO 2200: 140 x 45 LVL 15		OPENINGS UP TO 2400: 190 x 45 F7					
OPENINGS UP TO 2600: 190 x 45 MGP10		OPENINGS UP TO 3000: 240 x 45 F7					
* ALL STRUCTURAL TIMBER SIZES, FIXINGS & IE-DOWNS ARE TO BE IN ACCORDANCE WITH AS 1684.2 2021							
<b>BUSHFIRE AREAS</b>							
DESIGN & SPECIFICATION DOES NOT CONSIDER SITES SUBJECT TO BUSHFIRE ATTACK. SITES DEFEMED TO HAVE A BAL OF 12.5 OR MORE HAVE ADDITIONAL CONSTRUCTION REQUIREMENTS IN ACCORDANCE WITH NCC 2022 PART H1&4 & AS 3959							
NOTE: A MIN. OF 400mm CLEARANCE IS REQUIRED TO THE UNDERSIDE OF BEARERS ON SITES DEFEMED TO BUSHFIRE ATTACK. THIS CAN BE REDUCED TO 150mm ON SLOPING SITES WITHIN 2m OF EXTERNAL WALLS.							
<b>INTERNAL ELEVATIONS SPECIFICATION</b>							
<b>WATER PIPE LOCATIONS</b>		<b>FITTING LOCATIONS</b>					
No.	ITEM	ABOVE FFL	No.	ITEM	ABOVE FFL	ITEM	HEIGHT ABOVE FFL
1	TOILET	250	6	SINK	650	PAPER HOLDER	600
2	ENDET	250	7	DW	500	TOWEL RAIL	1000/1600
3	BATH	600	8	TRough	1085	TOWEL RING	820
4	SHOWER	1000/1800	9	WM	600/1275	SHOWER SOAP HOLDER	1000 NOMINAL
5	BASIN	600	10	FR WASTE	-		
FRAME OFFSETS: SHOWER ROSE= 430 CL, SHOWER TAPS= 250 CL, SOAP HOLDER= 550 CL							
NOTES: - DIVISION IS TAKEN FROM FRAME		- SPLASHBACK TILES: 200x200					
- POWERPOINT LOCATION		- POWERPOINT LOCATION					



Sub-Floor Plan

Scale 1:100 @ A2



Electrical Plan

Scale 1:100 @ A2

**GENERAL NOTES**

- ENERGY EFFICIENCY (VALV, FLOOR, ROOF INSULATION & GLAZING) IN ACCORDANCE WITH NCC 2022 PART H6: REFER TO ENERGY EFFICIENCY NOTES & GLAZING CALCULATIONS FOR DETAILS.
- WET AREAS PROTECTED WITH A WATERPROOFING SYSTEM IN ACCORDANCE WITH NCC 2022 PART H4D2 AND HOUSING PROVISIONS PART 10.2.
- STEPS: TREAD- 240mm MIN, RISER- 190mm MAX.
- BALUSTRADE: - AT STEPS- 85mm (MIN) HIGH  
- AT LANDINGS- 1000mm (MIN) HIGH
- WHERE REQUIRED, HORIZONTAL & VERT. GAPS IN BALUSTRADES MUST BE LESS THAN 125mm IN ACCORDANCE WITH HOUSING PROVISIONS PART 10.3.
- WRITTEN DIMENSIONS WILL TAKE PREDENCE OVER SCALE.
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:  
- INTERNAL 90mm STUD  
- INTERNAL 90mm STUD
- WC / BATHROOM DOOR TO BE REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.4.2
- ALL GLAZING TO COMPLY WITH NCC 2022 PART H1D8 & AS 1288
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC 2022 PART H4D7
- ROOF TRUSSES (WHERE USED) TO HAVE A MAXIMUM SPACING OF 900mm
- WINDOW GLAZING CODES:  
- (BS) OBSCURE GLASS  
- (TS) TRANSLUCENT GLASS  
- (DG) DOUBLE GLAZED
- ROOF ACCESS (WHERE APPLICABLE):  
- SMOKE DETECTOR (DIRECT WIRED)  
- DP - DOWNPIPE (STORMWATER CONNECTED)  
- DP - DOWNPIPE (WATER TANK CONNECTED)

BAL 12.5  
CONSTRUCTION IN ACCORDANCE WITH

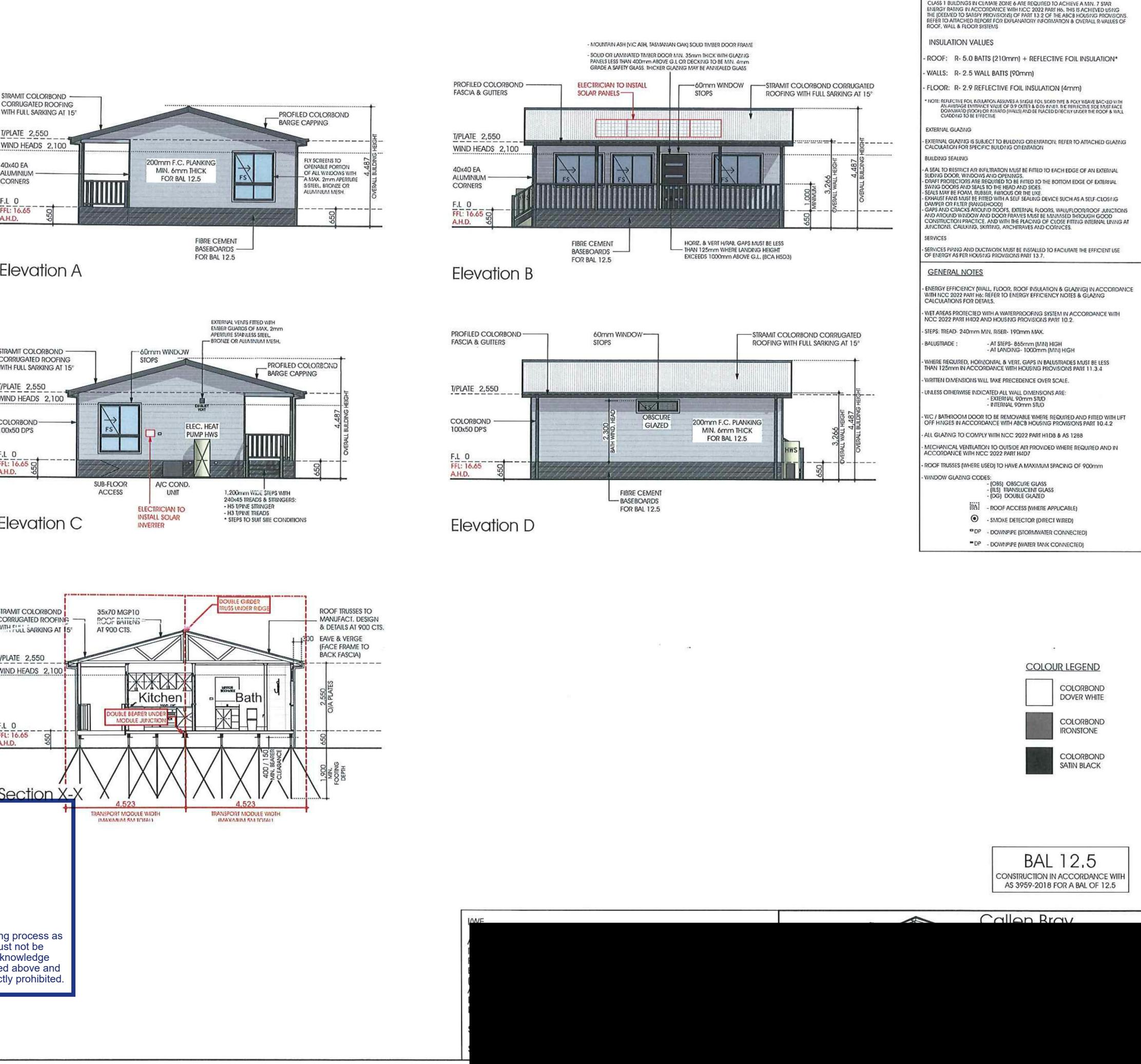
SPECIFICATION		WATERPROOFING & WATER RESISTANCE					
<b>FOOTINGS</b>							
AS PER SOIL REPORT BY SOIL TEST MELBOURNE							
SITE CLASSIFICATION	MIN. DEPTH	P					
	1800mm						
<b>STUMPS</b>							
A1: 42mm x 3mm Mega-Anchor		https://www.mega-anchor.com.au/products					
S1: 75x6mm CALVANISED STEEL STUMPS WITH 130x130x8mm WELDED BASE PLATE & 200x75x10mm FABRICATED SLOT IN TOP, EMBED IN FOOTINGS TO ENGINEERS SPECIFICATION.							
C1: 100x100 PRECAST CONCRETE POSTS/NEWEL POSTS WITH A MIN. STRESS GRADE OF F4 ON CONCRETE FOOTING WITH POST ANCHOR.							
<b>BEARERS</b>							
2/140x45 LVL 15 (F17) BEARERS WITH A MAX. CONTINUOUS SPAN OF 2400mm.							
<b>MINIMUM BEARER CLEARANCE TO GROUND LEVEL:</b>							
TERMITE INSPECTION REQUIRED:		NOT REQUIRED:					
150mm	400mm						
NOTE: ON SLOPING SITES, 400mm WHEN REQUIRED MAY BE REDUCED TO 150mm WITHIN 2m OF EXTERNAL WALLS							
<b>FLOOR JOISTS</b>							
90x45 MGP10 FLOOR JOISTS AT MAX. 450 CENTRES WITH A MAX. CONTINUOUS OF 1000mm MAX. SPAN OF 1300mm							
<b>FLOORING</b>							
10mm THICK "YELLOW TONGUE" PARTICLEBOARD FLOORING.							
<b>TIMBER DURABILITY</b>							
CLASS 1 OR 2 TIMBERS ARE SUITABLE FOR IN GROUND USE. ALTERNATIVELY, HS TREATED TIMBER CAN BE USED							
CLASS 1	CLASS 2						
BEIAN (WHITE) IRONBARK TALLOWWOOD TURPENTINE YELLOW CEDAR NORTHERN BOX	BLACKBUT KIVIA (MELBOURNE) SPOTTED GUM WESTERN RED CEDAR RIVER RED GUM BALAU TEAK						
<b>WALL FRAMES</b>							
COMMON STUDS: 90x35 MGP10 AT 600 CTS.							
TOP/BOTTOM PLATES: 45x90 MGP10							
NOGGINES: 90x35 AT 1275 CTS.							
JAMB STUDS: 90x35 MGP10							
OPENING 0 - 900: 90x35 MGP10							
OPENING 900 - 2600: 2/90x35 MGP10							
OPENING 2600 - 4300: 3/90x35 MGP10							
<b>LINTELS</b>							
OPENINGS UP TO 1100: 90 x 45 F5							
OPENINGS UP TO 1500: 90 x 45 LVL 15							
OPENINGS UP TO 1800: 140 x 45 F7							
OPENINGS UP TO 2200: 140 x 45 LVL 15							
OPENINGS UP TO 2600: 140 x 45 F7							
OPENINGS UP TO 2400: 190 x 45 MGP10							
OPENINGS UP TO 3000: 240 x 45 F7							
*ALL STRUCTURAL TIMBER SIZES, FIXINGS & TIE-DOWNS ARE TO BE IN ACCORDANCE WITH AS 1684.2 2021							
<b>BUSHFIRE AREAS</b>							
DESIGN & SPECIFICATION DOES NOT CONSIDER SITES SUBJECT TO BUSHFIRE ATTACK. SITES DEEMED TO HAVE A BAL OF 12.5 OR MORE HAVE ADDITIONAL CONSTRUCTION REQUIREMENTS IN ACCORDANCE WITH NCC 2022 PART H4 & AS 3999							
<b>INTERNAL ELEVATIONS SPECIFICATION.</b>							
WATER PIPE LOCATIONS		FITTING LOCATIONS					
No.	ITEM	ABOVE FFL	No.	ITEM	ABOVE FFL	ITEM	HEIGHT ABOVE FFL
1	TOILET	250	6	SINK	650	PAPER HOLDER	600
2	RIDET	250	7	DW	500	TOWEL RAIL	1000/1600
3	BATH	600	8	TRough	1085	TOWEL RING	820
4	SHOWER	1000/1800	9	WM	600/1275	SHOWER SOAP HOLDER	1000 NOMINAL
5	BASIN	600	10	FR WASTE	-		
FRAME OFFSETS: SHOWER ROSE = 430 CL, SHOWER TAPS = 250 CL, SOAP HOLDER = 550 CL							
NOTES: - DIMENSIONS TAKEN FROM FRAME - SPLASHBACK TILES: 200x200 - WET AREA SKIRTING BOARDS: SOLID TIMBER 67mm							
- POWER CONDUIT LOCATION							



## ADVERTISED MATERIAL

Planning Application: T250256  
Date Prepared: 16 January 2026

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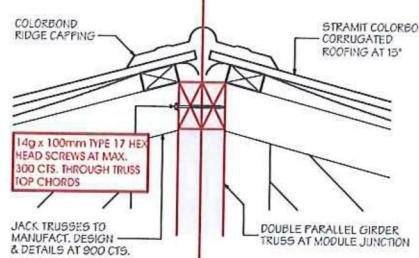
Planning Application: T250256  
Date Prepared: 16 January 2026

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**Cardinia**

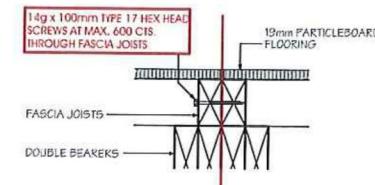
IAWF

Callan Bray



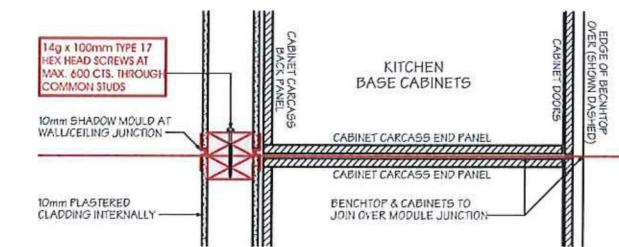
#### Connection Detail 4:

Roof Junction  
Scale 1:10 @ A2



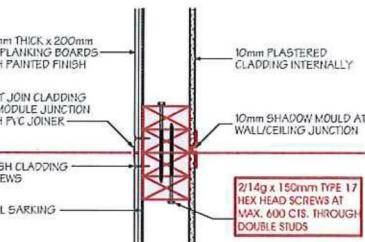
### Connection Detail 1:

Floor Junction  
Scale 1:10 @ A



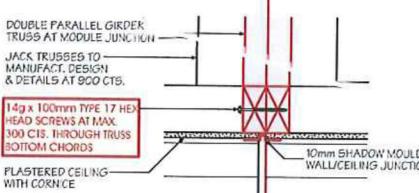
## Section A:

## Internal Wall/ Kitchen Cabinet Junction



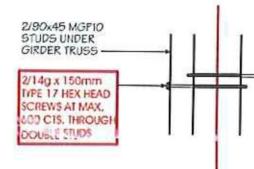
### Section A:

## External Wall Junction



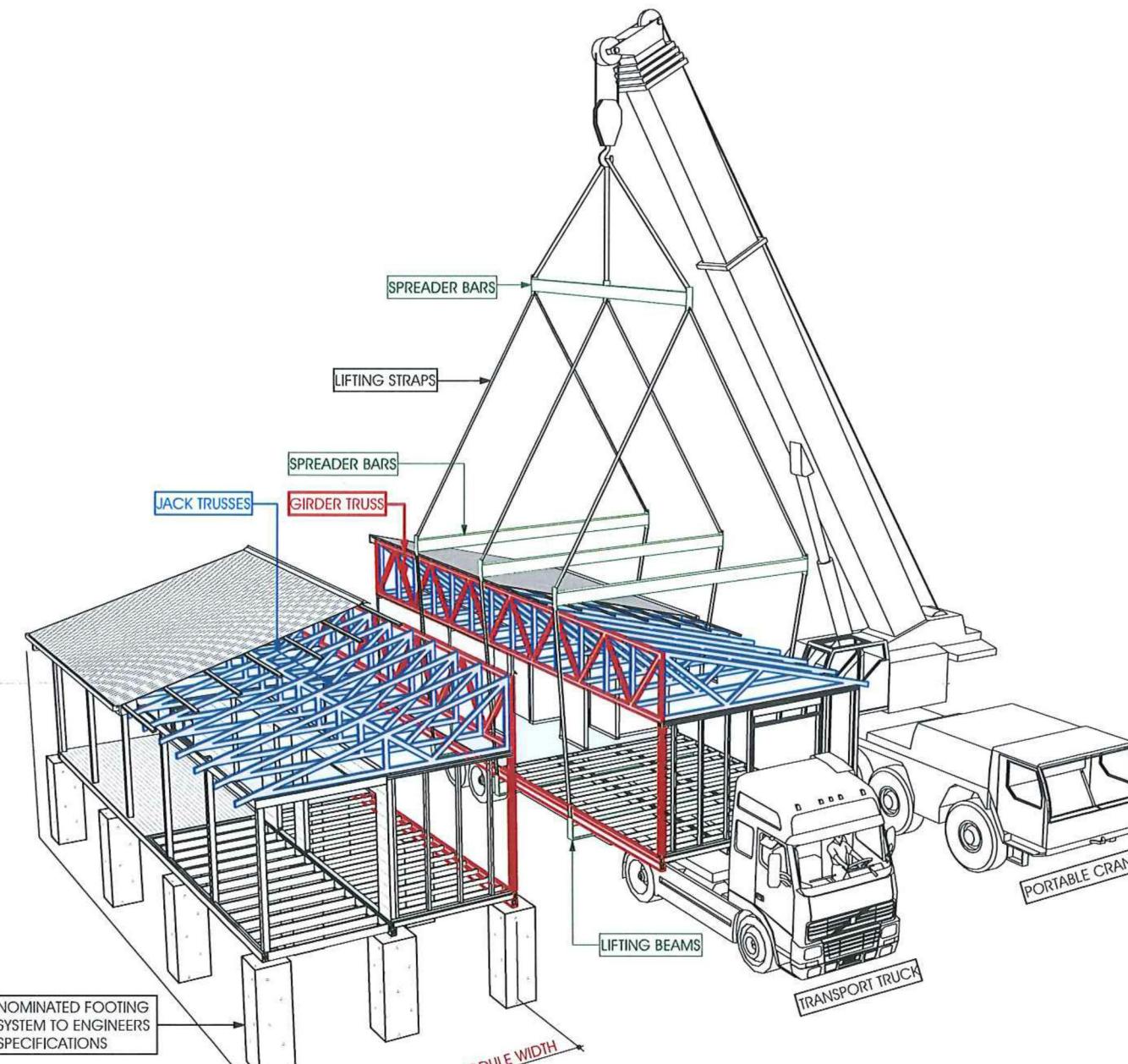
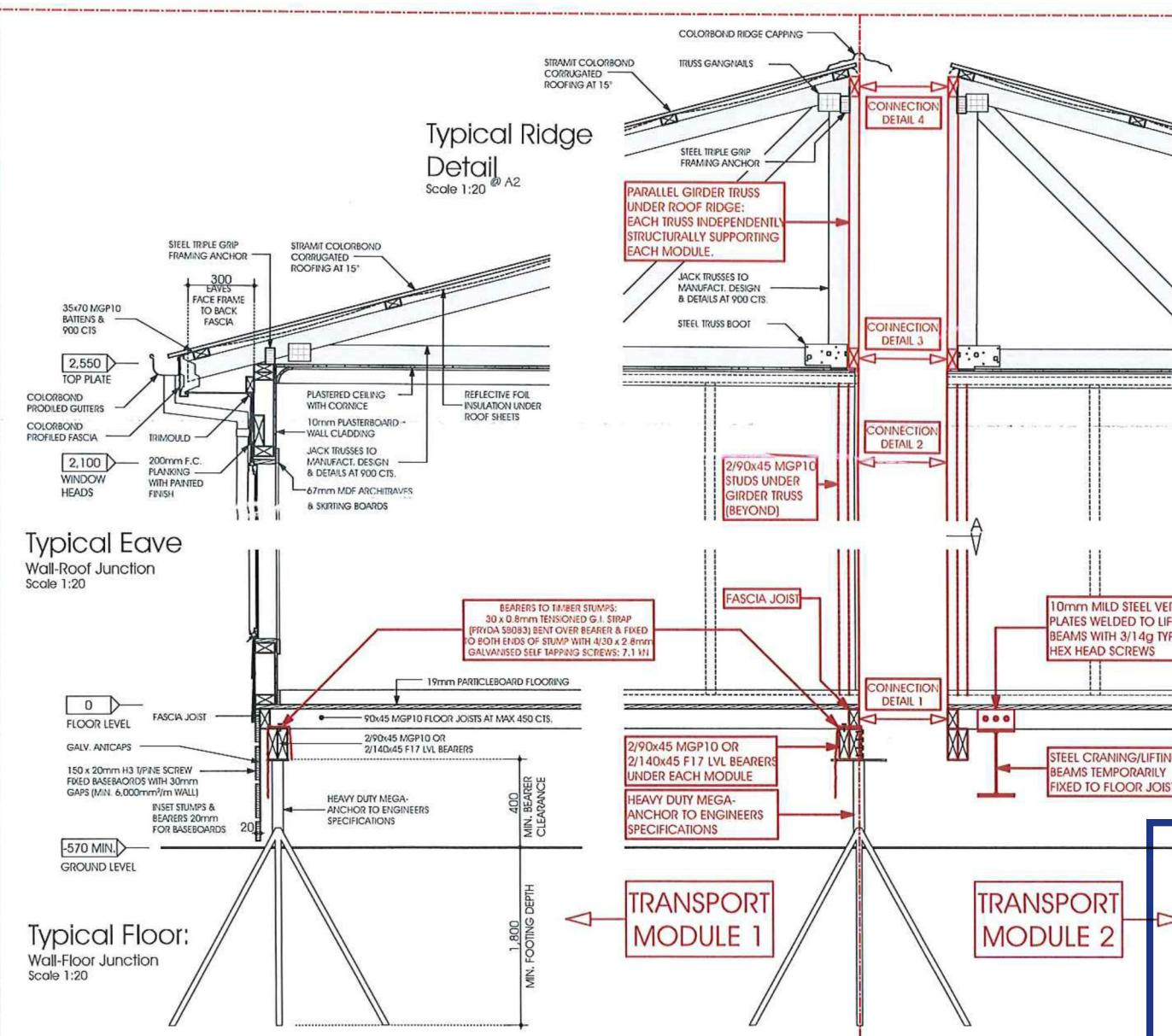
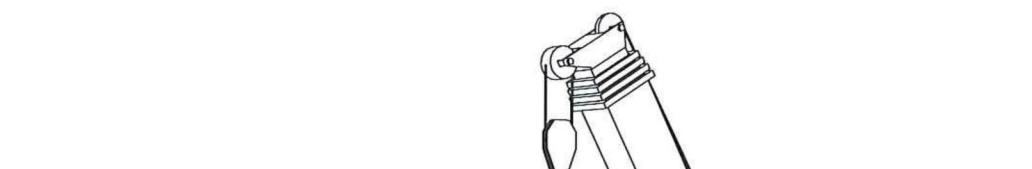
### Connection Detail 3:

Roof Junction  
Scale 1:10 @ A2



### Connection Detail 2:

Wall Junction  
Scale 1:10 @ A7





# Cardinia

MAX. 5m TRANSPORT

## ADVERTISED MATERIAL

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I have been working closely with Bethale Pty. Ltd. The past several years developing lightweight pre-fabricated modular Dependant Persons Units that have been successfully constructed and relocated all across the State of Victoria. Bethale Pty. Ltd. has been involved in the relocation, design and construction of moveable DPU's for 40 years and is a respected contractor for the Department of Human Services undertaking the relocation of hundreds of DPU's within their scheme. Due to Bethale's experience and knowledge of moveable buildings by many different manufacturers, they have been able to develop their own sophisticated systems that has overcome many of the traditional challenges associated with moveable buildings. Most notably unsightly exposed metal channels and refrigeration panels that discourage many property owners from buildings DPU's, as well as inherent issues with energy efficiency. The introduction of 6-Star energy efficiency for all new Class 1 buildings and demand for more ethically pleasing outcomes by property owners has led Bethale Pty. Ltd. to re-think moveable buildings. In particular how more traditional timber framing methods could be utilised to satisfy energy efficiency requirements and demand for a better quality product. Employing simply methods in regard to lightweight construction, pre-fabrication off site, modular design, complete screw fixing techniques and low impact removable masonry-free stumpfroofing systems, Bethale Pty. Ltd. have been able to develop and manufacture a straightforward and simple system. But also a system that satisfies the legislative requirements for DPU's to be moveable and has spent considerable time and funds to ensure this objective has been met. Bethale Pty. Ltd. respects and takes this requirement very seriously and not doing so would represent a serious breach of trust between itself and its many customers. Property owners are made fully aware from the outset that DPU's must be easily moveable, are strictly for the accommodation of a Dependant Person, and that once they are no longer being used for this purpose must be moved from the site. All property owners are required to supply a Statutory Declaration stating that they have been made fully aware of these requirements and restrictions. Given their knowledge of this, purchasing such a building that is not convincingly moveable would constitute a huge financial risk and a poor investment on their part. Bethale Pty. Ltd. does not simply hold the view that lifting and craning a complete intact structure constitutes an acceptable moveable building. Due to DPU's being located behind the existing dwellings and often with little or very limited access, craning in a complete structure is for the majority of cases impractical or not possible at all. Therefore expecting such would severely limit re-sale options for property owners and in our view is not a true moveable building. As such Bethale Pty. Ltd. has designed their system primarily to be a flat-pack modular kit that dismantles into smaller modules to fit onto small trucks/A frame trailers but that also have the option of lifting and craning if the site constraints allow. Integrated screw fixed joins in the modular system double as seams that allow the entire building to be easily split in half or more if required to satisfy VIC Roads transport dimensions. Steel beams are then slid under the sub-floor to be easily lifted. However most of the designs used by Bethale Pty. Ltd. have been specifically designed to fit within the transport dimensions and do not require any separation when moving. While the dismantling method allows the entire building to be carried through tight access i.e. under carports, through garages or narrow side setbacks, eliminating the need for craning completely.

Below is a schedule that outlines the construction method of Bethale Pty. Ltd.'s DPU's and demonstrates how the system completely dismantles, therefore satisfying the legislative requirements for a moveable building.

overall weight as opposed to timber, have a long life-span and being flexible but strong making them ideal for transportation. The ceiling is comprised of a grid of lightweight galvanised steel battens suspended from the roof truss bottom cords via screw fixed hanging brackets. Care is taken to ensure a continuous gap is maintained around the perimeter of the ceiling as this allows the hanging brackets to be easily unscrewed from above completely separating and dropping the suspended ceiling away from the roof trusses without damage. This is in comparison to the standard practice of permanently glue and nail/screw fixing the ceiling lining directly to the roof truss bottom chords. Which is not able to be dismantled and causes damage during transportation due to its rigid nature.



I trust that the summarised information is adequate to allow me to make a decision.



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**13<sup>TH</sup> November 2025****Address: 250 Hall Road, Yannathan VIC 3981****Proposal: Construction of a Dependent Persons Unit**

In response to further information requested on the 15<sup>th</sup> of October 2025.

**ADVERTISED MATERIAL**Planning Application: T250256  
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***Information Required as Part of the Application:***

**A detailed written report prepared by a suitably qualified professional, outlining: Details of the existing use of the land, including:**

- 1. Nature of any agricultural activities (or similar) carried out and/or undertaken on the land.** Farmland to rear of property – cattle.
- 2. Details of any other land uses occurring (either with or without approval) on the subject site;** - N/A.
- 3. Evidence that the existing dwelling is currently being used or has been used within the last two years.** – Client has owned and lived at the property since 1997 – refer attached photos.

**Demonstrate how the proposed use of land for a Dependent Persons Unit meets all the conditional requirements of clause 52.04-8, which include the following:**

- 1. Evidence of connection to a reticulated potable water supply or provision of alternative potable water supply with adequate storage for domestic use as well as for firefighting purposes.** – Proposed water tanks shown on site plan to service proposed DPU.
- 2. Evidence of connection to a reticulated electricity supply or have an alternative energy source.** – DPU to be connected to reticulated electricity available at property – Aus Net Services.
- 3. A plumbers report to demonstrate that the existing septic system can be utilised or a Land Capability Assessment demonstrating that wastewater can be treated and retained within the lot.** – Refer attached septic permit and amended site plan showing location of proposed septic tank and effluent lines.

***Information Required in Relation to vegetation removal:***

- 1. Location and detail of all vegetation within 15 metres of the proposed development.**  
- 15 metre radius added to plans. All vegetation located outside of radius besides canopies of two trees. Please advise if arborist required to assess.

***Information Required in Relation to the Site Plan:***

Amended site plan, drawn to scale, clearly showing the following:

- 1. Location and detail of all vegetation within 15 metres of the proposed works for DPU.**  
**The identification must include:**
  - a) A numbered tree table identifying the following:**
    - i) Species**
    - ii) Setback of the vegetation from the development**
    - iii) Whether the vegetation is to be retained, pruned or removed** - 15 metre radius added to plans. All vegetation located outside of radius besides canopies of two trees. Please advise if arborist required to assess.
- 2. Existing and proposed Effluent Area (to be consistent with the Land Capability Assessment requested in item 2(d); and must be shown clearly.** – Existing and proposed septic locations shown on plans. Septic permit included.
- 3. Any assessments as required in response to the preliminary assessment comments.** – N/A.

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Date Prepared: 16 January 2026

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***Information required in relation to Floor Plans:***

**Fully dimensioned Internal Floor Layout plan, drawn to a stated scale and a minimum of A3 in size, clearly showing the following:**

- 1. Internal Rooms labelled and dimensioned;** - see included plans – page 2.

***Information Required in Relation to the Elevation Plans:***

**Amended elevation plans, clearly showing the following:**

- 1. Proposed material and colours for external façade.** – refer colour legend page 4.  
Materials shown on elevations.



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## DBYD Response from AusNet Electricity Services Pty Ltd.

**Job Number:** 50811754

**Sequence Number:** 258909117

**Enquiry Date:** 02/08/2025

**Enquiry Location:** 250 Hall Rd Yannathan, VIC



Thank you for using the Dial Before You Dig (DBYD) service before engaging in work at the above location.

### AusNet Electricity Services Pty Ltd – Overview Only

Please find an Overview plot of electricity assets nearest to the vicinity of your enquiry. Detailed drawings are not provided with this response. Please submit a new request/s of less than 300 metres in area and AusNet Electricity Services Pty Ltd will respond accordingly

*\* Please note this information is only valid for 28 Days from date of issue. If work extends beyond this period, you must re-submit your enquiry*

All reasonable care has been taken to ensure that information regarding underground cables shown on the attached plan are accurate however, some variations from records may exist and complete accuracy cannot be guaranteed. Some underground assets of AusNet Electricity Services Pty Ltd exist without any records having been established. As we may not be able to ascertain the exact extent of your excavation as supplied with this enquiry, plans included are details of AusNet Electricity Services Pty Ltd underground asset records nearest the vicinity of your enquiry.

#### For Your Safety

If you observe obvious underground electrical cables and they appear to be additional to the information supplied, please call **1800 088 208** for further assistance.

Where proposed work is in close proximity to a cable, the exact location of the cable must first be determined by careful hand excavation. Cable cover slabs if present must not be disturbed.

#### Private Cables on Private Property

AusNet Electricity Services Pty Ltd does not have plans of privately owned cables on private property. A copy of these plans may be located in your meter box. Contact your local licensed electrician to arrange private cable location services.

#### No Go Zone

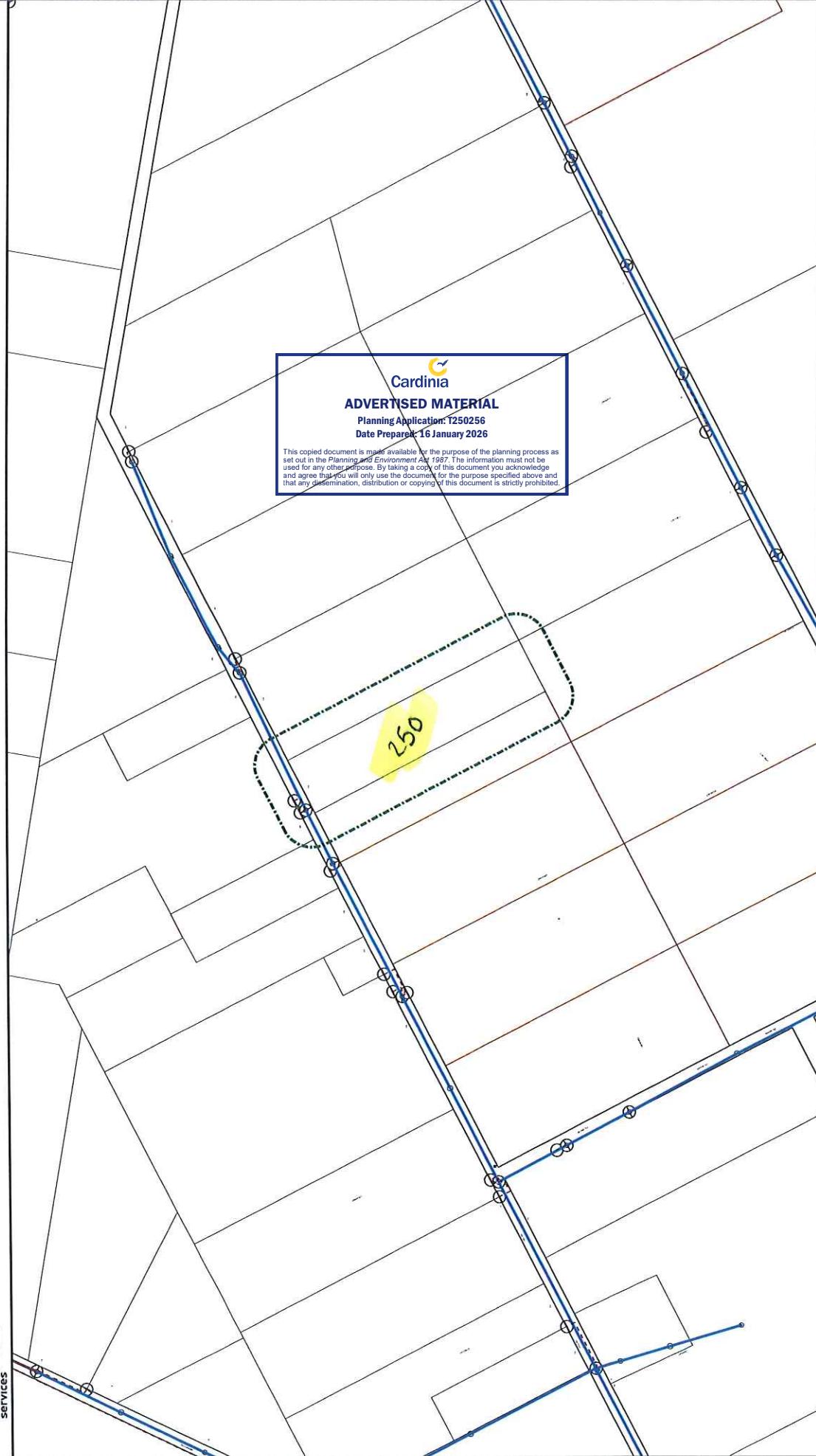
AusNet Electricity Services Pty Ltd assets are covered by No Go Zone Guidelines available at [www.worksafe.vic.gov.au](http://www.worksafe.vic.gov.au). If working in vicinity of these assets please contact our service provider Extec Services Pty Ltd on (03) 5941 7333.

#### AusNet Services – DBYD Support

Enquiries **1800 088 208**

Faults & Emergencies **131799**

[www.ausnetservices.com.au](http://www.ausnetservices.com.au)



## AMG Extents

SW 376695 E 5770870 N  
NE 379113 E 5772262 N

## Directory Reference

Metway No Map Ref  
Vic Roads 96 B5  
ESMAP 796 HS  
Bunyip 2,500/3.10

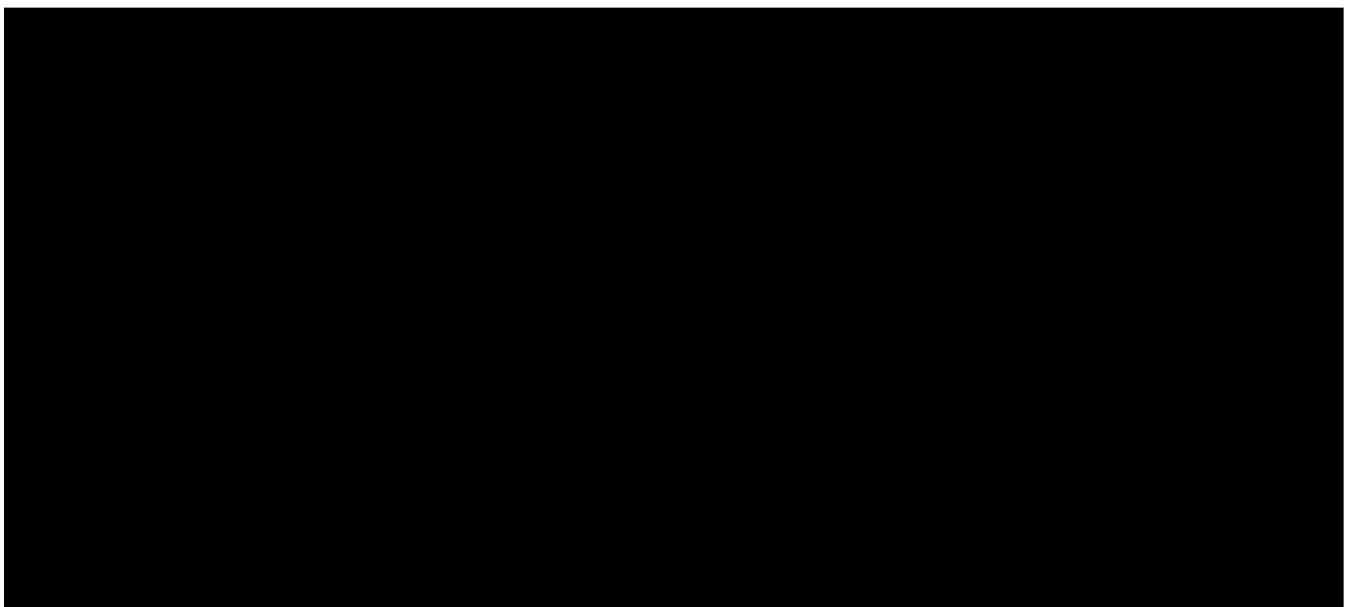
## Warning!

Please be advised this is a high level representation only and may not indicate all AusNet Services assets in the area or the exact location of identified assets. This plan must not be used for the purpose of ascertaining asset locations for excavation. Please read all conditions and information on the attached information sheets.





## PERMIT TO CONSTRUCT, INSTALL OR ALTER



This permit is issued subject to the provisions of the *Environment Protection Act 2017* and is valid for 24 Months from the date of issue unless construction of the system has commenced within that period, and is subject to the following conditions:

Please note:

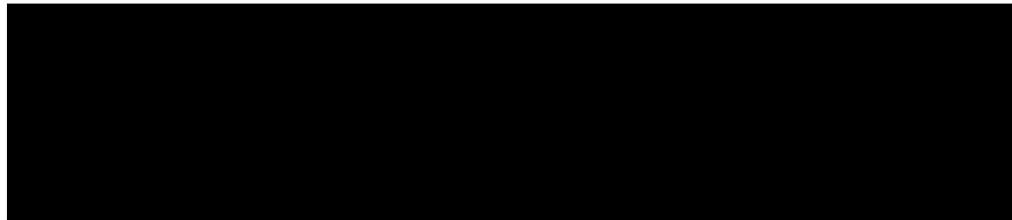
1. The onsite wastewater management system is **NOT** to be used until a **“Certificate for Use”** has been issued for the system.
2. All plumbing & drainage works to be carried out by a licensed plumber/drainer.
3. A certificate of compliance is to be submitted for works carried out by plumber/drainer at the completion of works, prior to a Certificate for use being issued.
4. This permit and conditions apply to the **ONSITE WASTEWATER MANAGEMENT SYSTEM** and belong to and bind the original property owner. In the event that this property is sold an application to transfer this permit to the new property owners must be made to Council.
5. Property must connect to mains sewer within three (3) months of it becoming available.



## ENVIRONMENTAL PROTECTION ACT 2017

### PART 4.3 – ONSITE WASTEWATER MANAGEMENT SYSTEM

#### Permit to Construct, Install or Alter Onsite Wastewater Management System



#### CONDITIONS

#### INSTALLATION AND USE



1. The system must be constructed, installed and maintained in accordance with the following.
  - a. The Septic Tank must hold an Australian Standard 1546.1 certificate of conformance issued by a Certified Accrediting Body within the last 5 years.
  - 1.1 The Waterless Composting Toilet must hold an Australian Standard 1546.2 certificate of conformance issued by a Certified Accrediting Body within the last 5 years.
  - b. The system is approved for wastewater flows not exceeding **450 L** per day.
  - 1.2 The current edition of EPA's Guidelines for Environmental Management Code of Practice – *On-site Wastewater Management*.
  - 1.3 Australian/New Zealand Standard 1547 On-site domestic-wastewater management and Australian/New Zealand Standard 3500 National plumbing and drainage code and other relevant Australian Standards.
  - 1.4 Council specifications and guidelines.
2. The Permit to Install/Alter is valid for 24 Months from the date of approval. Failure to commence installation or alteration within the 24-month period will render this permit void.
3. The permit holder **must** notify Council for an inspection no less than 24 hours prior to the inspection:
  - Immediately prior to the backfilling of the effluent dispersal field
  - Immediately after installation of the system is finished.
  - Other times to suit the individual system.
4. Extending the buildings served by the system may cause the above limits to be exceeded. A Permit to Alter an Onsite Wastewater Management System must be obtained from Council

before altering the system to cope with the increased flows associated with the installation of additional plumbing fixtures and features.

5. The system must not be altered or modified, except with the approval of the Council. A Permit to Alter an Onsite Wastewater Management System must be obtained from Council before making any alterations to the system.
6. The system must be constructed in accordance with the permit application conditions. In the event of any inconsistency arising between the application and the conditions of this permit, the conditions of this permit will apply and enforced.
7. An alarm system with suitable visual and/or audio warning signal must be installed in an appropriate location to indicate failure of the effluent pump.
8. Buildings, driveways, concrete, tennis courts, swimming pools, garden beds, vegetable gardens, large trees and the like must not be placed in or on wastewater disposal areas. No buildings or works shall occur over any part of the approved onsite wastewater management system including the septic tank.
9. Effluent from the system must not discharge beyond the boundaries of the allotment. Sewage, sullage and other liquid wastes to arise from the development shall be treated and retained on site by an onsite wastewater management system in accordance with the requirements of the *Environment Protection Act 2017*, the current Guidelines for Environmental Management: Code of Practice – Onsite Wastewater Management and the Responsible Authority.
10. All access openings for the onsite wastewater management system must be brought up to ground level and comply with Australian Standard 1546, *On-site domestic wastewater treatment units – Septic Tanks*.
11. Fencing of proposed waste disposal area is required prior to house construction.
12. Prior to the issue of a Certificate of Approval to Use the following documentation must be submitted to Council.
  - Certificate of compliance from the licensed plumber, who installed the system.
  - An as installed plan showing the location of buildings in relation to the onsite wastewater management system. The plans must show the measurements and setbacks to boundaries and structures from the above components of the onsite wastewater management system.
13. Should sewer become available, the property must connect to sewer and notify the responsible authority.
14. Absorption trenches must be sized, designed, and constructed in accordance with the clauses of Appendix L Australian Standard 1547:2012 as amended.
15. Absorption trenches must be laid level along the contour of the land.

  
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#### **ABSORBTION TRENCHES**

14. Absorption trenches must be sized, designed, and constructed in accordance with the clauses of Appendix L Australian Standard 1547:2012 as amended.
15. Absorption trenches must be laid level along the contour of the land.

16. Absorption trenches must be commenced at a point where ground level is lower than the invert of the septic tank outlet. If adequate fall cannot be achieved from the septic tank an effluent pump and warning light will be required.
17. Absorption trenches must be a maximum 30m in length.
18. The total length of the absorption trenches must be at least **40 m**.
19. The width of the absorption trenches must be **1000mm**.
20. The depth of the absorption trenches must be **450-500 mm**.
21. There must be at least 3m of undisturbed soil between trenches.
22. Absorption trenches must be located at least 60m from open drains, dams and watercourses.
23. Distribution pits and weirs must be installed on each absorption trench.
24. The bottom of absorption trenches must be located at least 1.5m above ground water table level.

25. Provision must be allowed for future extension of trenches.

  
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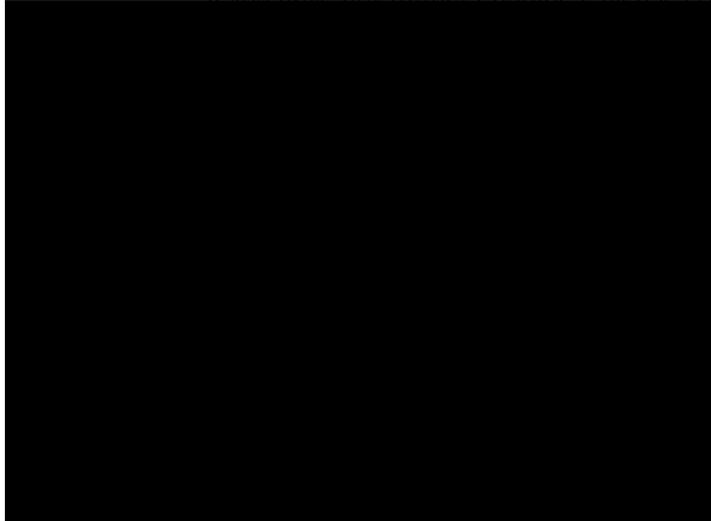
#### **SYSTEM MAINTENANCE**

26. The system must be assessed for permit compliance by an accredited person acceptable to the Council every three (3) years.
27. The septic tank must be desludged at least once every three years, or whenever the tank becomes more than half full of sludge.
28. A copy of the maintenance reports and permit compliance assessment report must be submitted to Council within 7 days of each assessment being made.
29. The wastewater disposal area must be maintained as a permanent, dedicated area.
30. Vehicles and livestock must be excluded from the wastewater disposal area.
31. Storm water must be diverted around the wastewater disposal area to a Council approved point of discharge.
32. Buildings, driveways, concrete, tennis courts, swimming pools, garden beds, vegetable gardens, large trees and the like must not be placed in or on wastewater disposal areas.



33. If further subdivision of the property is to occur the onsite wastewater management system must be located so that it is fully contained within the parent property boundary.

If you have any further enquiries, please contact Helen Powell on 1300 787 624.



# #1 PROPOSED SEPTIC SYSTEM PLAN

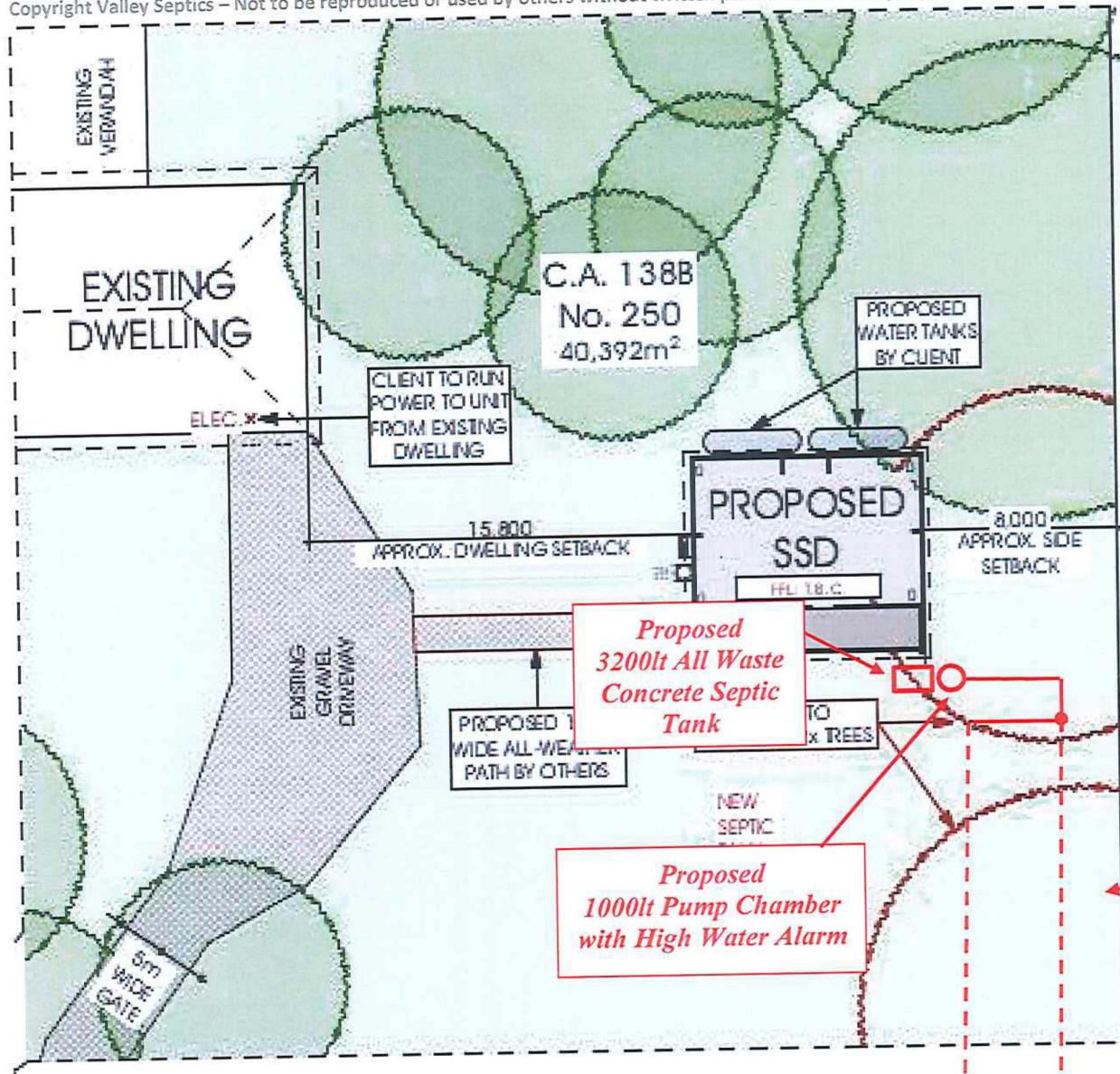
Permit # :

Owners: Kyle COOPER

Job Location: 250 Hall Road, YANNATHAN

Contractor: VALLEY SEPTICS - NICK BALDA

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Proposed  
40m Sub-soil Absorption Drains in  
1000mm wide trench following level

PDF - 152 KB

PDF - 14

∅ 2 attachments (296 KB)

[Save attachments](#)

Please see attached for the Septic Permit &  
Proposed Septic Plan.

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The Permit to Install has already been approved by the Environmental & Health Department, so the LCA wouldn't be required. We can provide a septic report for the current septic system if you would like us to return to site to complete this? Please advise if you want to book us in for the septic report.

Thank you

Kind Regards,

Reply

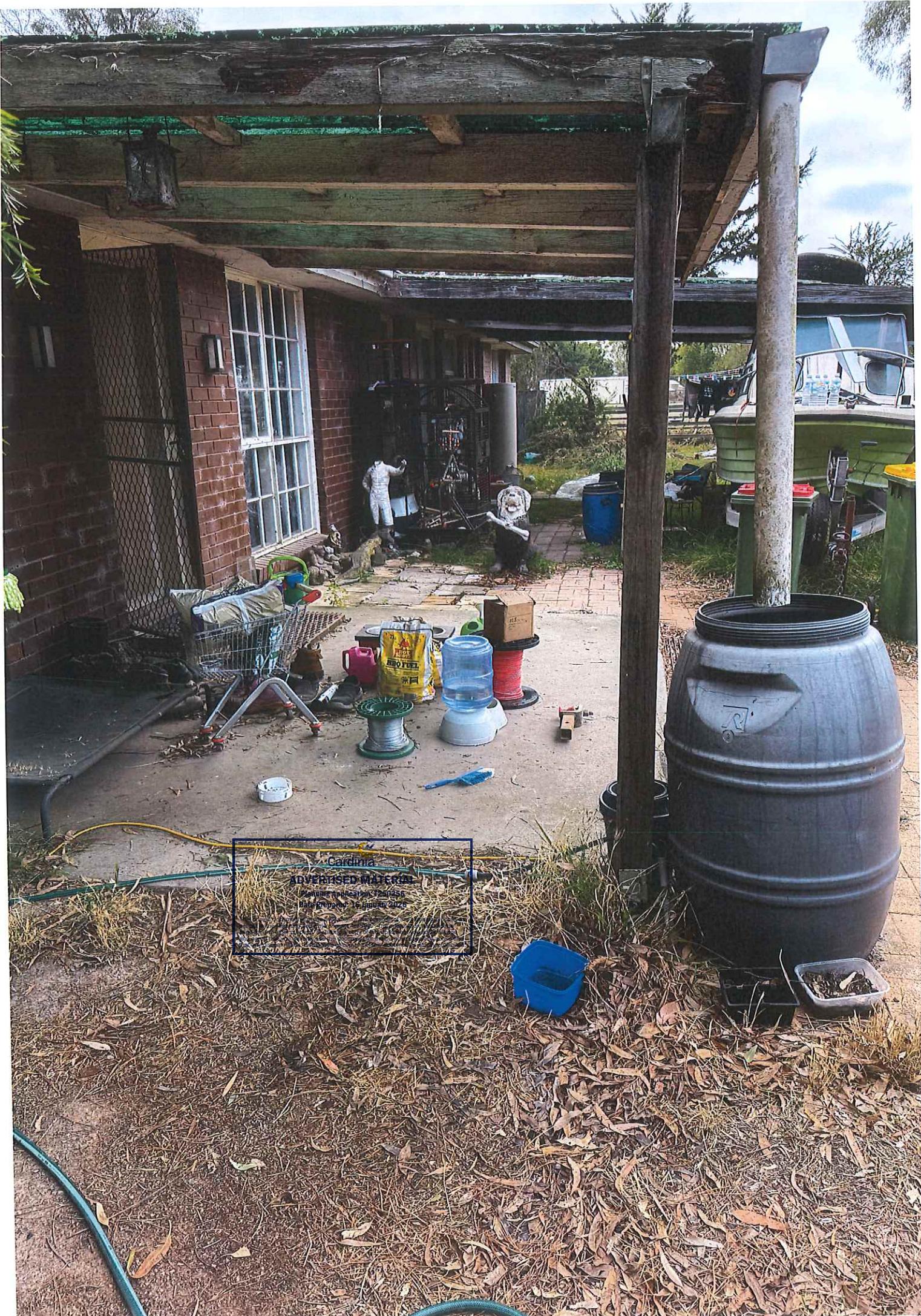


...

McDonald









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Date Prepared: 16 January 2026

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Planning Application 3220256

Date Prepared: 16 January 2026

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