
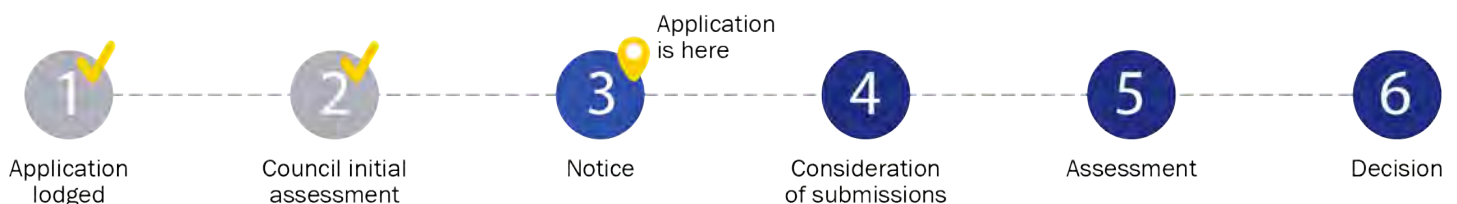


# Notice of Application for a Planning Permit

The land affected by the application is located at:	L103 PS848743 V12580 F393 128 Pakenham Road, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a building or construct or carry out works
42.01-2	Construct a fence
<b>APPLICATION DETAILS</b>	
The applicant for the permit is:	FRENKEN HOMES PTY LTD
Application number:	T250724
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.</p>	
	
<b>HOW CAN I MAKE A SUBMISSION?</b>	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	
<b>21 January 2026</b>	
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul> <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>





## ePlanning

## Application Summary

Portal Reference A42553U0

## Basic Information

Proposed Use	CONSTRUCTION OF NEW SINGLE STOREY DWELLING WITH GARAGE & FENCING ON LAND SUBJECT TO AN ENVIRONMENTAL PROTECTION OVERLAY CLAUSE 42.01-2 A PERMIT IS REQUIRED TO CONSTRUCT A FENCE Design Guidelines have been complied with as design approval has been obtained. We have satisfied their requirements including casual surveillance, building setbacks, water saving options and design including variety, articulation, colours, materials, textures, roof design, car accommodation, height restrictions and site coverage. DAP approval and stamped plans uploaded Covenant PS848743W Restriction A &€" Copy of building plans, elevation, roof and site plans incorporating setbacks from all boundaries, existing contours, proposed FFL and site levels, proposed driveway / paths, fencing, landscaping and external materials and colours have been submitted to the DAP for approval and approval has been obtained from the Design Assessment Panel. Restriction B &€" No party walls exist. Section 173 Agreement AX385769] There is no vegetation on the land apart from grass / weeds which the owner will maintain along with any future installed landscaping. Developer design approval has been obtained. The owner is obliged to comply with all things necessary as per the agreement. Owner is happy with plans as is, including size of all rooms, and has signed off on them. No outbuildings to note.
Current Use	VACANT
Cost of Works	\$338,926
Site Address	128 Pakenham Road Pakenham 3810

## Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

## Contacts

Type	Name	Address	Contact Details
Applicant	FRENKEN HOMES PTY LTD	194 SLADEN STREET, CRANBOURNE VIC 3977	W: 03-5995-1655 E: assist@frenkenhomes.com.au
Owner			
Preferred Contact	FRENKEN HOMES PTY LTD	194 SLADEN STREET, CRANBOURNE VIC 3977	W: 03-5995-1655 E: assist@frenkenhomes.com.au

## Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
Total			\$1,462.50



Civic Centre  
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)  
Purton Road, Pakenham, Victoria

Postal Address  
Cardinia Shire Council  
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–  
5pm  
Phone: 1300 787 624  
After Hours: 1300 787 624  
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
28-11-2025	A Copy of Title	TITLE.pdf
28-11-2025	Encumbrance	POS CURRENT OCT 2025.pdf
28-11-2025	Encumbrance	AX385769J.pdf
28-11-2025	Site plans	103 PAKENHAM SITE PLAN.pdf
28-11-2025	A proposed floor plan	103 PAKENHAM FLOOR PLAN.pdf
28-11-2025	Proposed elevation plan	103 PAKENHAM ELEVATIONS.pdf
28-11-2025	Overlay Requirements	ESO 42.01-s4.pdf
28-11-2025	Additional Document	103 PAKENHAM EARTHWORK PLAN.pdf
28-11-2025	Additional Document	103 PAKENHAM FENCING PLANS.pdf
28-11-2025	Additional Document	DA APPROVAL.pdf
28-11-2025	Additional Document	LANDSCAPE PLAN V1.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	<div></div> FRENKEN HOMES PTY LTD	194 SLADEN STREET, Cranbourne VIC 3977	W: 03-5995-1655 E: assist@frenkenhomes.com.au
Submission Date	28 November 2025 - 10:20:AM		

Declaration

☒ By ticking this checkbox,  declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



**Civic Centre**  
20 Siding Avenue, Officer, Victoria  
  
**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
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Monday to Friday  
8.30amâ€“5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784



**ADVERTISED MATERIAL**  
Planning Application: T240724  
Date Prepared: 05 January 2026

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## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12580 FOLIO 393

Security no : 124130293192T  
Produced 27/11/2025 03:52 PM

### LAND DESCRIPTION

Lot 103 on Plan of Subdivision 848743W.  
PARENT TITLE Volume 12330 Folio 801  
Created by instrument PS848743W 31/10/2024

### REGISTERED PROPRIETOR

  
**ADVERTISED MATERIAL**  
Planning Application: T240724  
Date Prepared: 05 January 2026

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### ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AX385769J 25/10/2023

### DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AZ780508T (E)	DISCHARGE OF MORTGAGE	Registered	06/11/2025
AZ780509R (E)	TRANSFER	Registered	06/11/2025
AZ780510H (E)	MORTGAGE	Registered	06/11/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 128 PAKENHAM ROAD PAKENHAM VIC 3810

### ADMINISTRATIVE NOTICES

NIL

DOCUMENT END





# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 20/11/2024 12:03:49 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

### Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

## APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

### Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

### Estate and/or Interest

FEE SIMPLE

### Land Title Reference

12330/800  
12330/801

### Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173  
Planning & Environment Act - section 173

### Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC





# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

Postcode 3809

### Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

### File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



# Imaged Document Cover Sheet

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Document Type	<b>Instrument</b>
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HWL  
EBSWORTH  
LAWYERS

## Deed of Agreement

**Under s173 of the  
*Planning and Environment Act 1987***

**Cardinia Shire Council**

and

**BNG (Pakenham) Pty Ltd (ACN 640125686)**



**ADVERTISED MATERIAL**

**Planning Application: T240724**

**Date Prepared: 05 January 2026**

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DX 564 Melbourne

Telephone +61 3 8644 3500  
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)  
hwlebsworth.com.au

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**Cardinia**

**ADVERTISED MATERIAL**

Planning Application: T240724  
Date Prepared: 05 January 2026

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# Deed of Agreement

Date 06/10/2023

Parties	<b>Cardinia Shire Council</b>  of 20 Siding Avenue, Officer 3809  <b>(Council)</b>
	<b>BNG (PAKENHAM) PTY LTD (ACN 640125686)</b>  of Level 5, 991 Whitehorse Road, Box Hill VIC 3128  <b>(Owner)</b>

Recitals	<p>A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.</p> <p>B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.</p> <p>C. On 19 December 2017 Council issued Planning Permit No. T160690 (<b>Planning Permit</b>), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.</p> <p>D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (<b>Amended Planning Permit</b>).</p> <p>E. Condition 41 of the Amended Planning Permit provides that:</p>
----------	--

*Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:*

- a) A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) A requirement that each land owner must maintain the*



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*plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.*

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*



F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

<b>Act</b>	means the <i>Planning and Environment Act 1987</i> (Vic).
<b>Agreement</b>	means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.
<b>Building Design Guidelines</b>	means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

<b>Building Envelopes</b>	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
<b>Building Envelope Plan</b>	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
<b>Business Day</b>	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
<b>Claim</b>	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
<b>Council</b>	means Cardinia Shire Council in its capacity as responsible authority.
<b>Development</b>	means the buildings and works authorised under the Planning Permit.
<b>Endorsed Plans</b>	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
<b>Loss</b>	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
<b>Owner</b>	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
<b>Party or Parties</b>	means the Owner and Council under this Agreement as appropriate.
<b>Planning Permit</b>	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

<b>Planning Scheme</b>	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
<b>Plantation Reserve</b>	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
<b>Subject Land</b>	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
<b>VCAT</b>	means the Victorian Civil and Administrative Tribunal.
<b>Vegetation Plan</b>	means the vegetation plan attached at Schedule 2..

## 1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
  - (ii) A reference to a gender includes a reference to each other gender.
  - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
  - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
  - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
  - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
  - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
  - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

  
**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T240724  
Date Prepared: 05 January 2026

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
  - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
  - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

## 2. Owner's obligations

---

### 2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

### 2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

### 2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

### 2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.



## 3. Further obligations

---

### 3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

### 3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

### 3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

### 3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

### 3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

### 3.6 Covenants run with the Subject Land

The Owner's obligations in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

## 4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

## 5. Owner's warranties

---

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

## 6. Successors in title

---

### 6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

## 7. Notices

---

### 7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

### 7.2

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A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.



## 8. Miscellaneous

---

### 8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

### 8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

### 8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

### 8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

### 8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

### 8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

## 8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

## 8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

## 8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.



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Planning Application: T240724  
Date Prepared: 05 January 2026

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## Schedule

### Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd )  
ACN 006 461 356 in accordance with s 127(1) of the )  
Corporations Act 2001:

.....  
Print full name

.....  
Print full name



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Executed as a deed

**Signed, sealed and delivered as a deed by  
the parties**

Signed sealed and delivered

Signature of witness

The execution of this document has been witnessed by me  
in accordance with the requirements for witnessing by  
audio-visual link under section 12 of the Electronic  
Transactions (Victoria) Act 2000.  
(Strike out if inapplicable)

.....  
Name of witness  
(BLOCK LETTERS)

Cardinia

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that any dissemination, distribution or copying of this document is strictly prohibited.

**Executed by BNG (PAKENHAM) PTY LTD  
(ACN 640125686) in accordance with  
section 127 of the *Corporations Act 2001* (Cth)  
by:**

Full name (print)

Full name (print)

Schedule 1

Building Envelope Plan

AX385769J



**Cardinia**

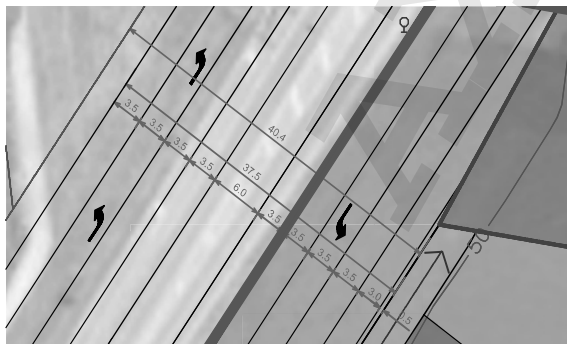
**ADVERTISED MATERIAL**

Planning Application: T240724  
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LEGEND	
	Title boundary (approx.)
	Pedestrian path
	Shared path
	Stage boundary
	Stage numbers
	Entry point
	Existing contours (5m interval)
	Lots
	Substation kiosk
	Superlot
	Pakenham road widening
	Naturestrip (indicative)
	Road pavement (indicative)
	Reserve (Council easement)
	Tree reserve
	Drainage reserve
	Plantation Reserve (back of lot) = 7m
	Turning direction
	Trees & TPZ - via Ecolink
	Trees to be removed
	4m Paper Road
	Building Envelope



Pakenham Road - Cross Section

Notes:

- This plan is subject to Council approval.
- All dimensions and areas are subject to survey and final computations.
- The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
- All roads are 16m local access level 1 unless noted otherwise.
- Road pavement is indicative only and subject to detailed engineering design.
- Arc dimensions shown are length of arc (not chord)

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

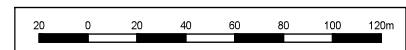
\* Stage includes 1 Superlot

Lot Schedule by Area		
Lot Size	Number of Lots	%
0-299m <sup>2</sup>	42	20.8
300-399m <sup>2</sup>	56	27.7
400-499m <sup>2</sup>	81	40.1
500-599m <sup>2</sup>	3	1.5
600-699m <sup>2</sup>	0	0.0
700m <sup>2</sup> +	20	9.9
Total	202	100

\* Table does not include superlot

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m <sup>2</sup> average lot size
Lot Yield (Medium Density)	42 lots 243m <sup>2</sup> average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m <sup>2</sup> average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

\* Indicates inclusion in NDA



Schedule 2

Vegetation Plan

AX385769J



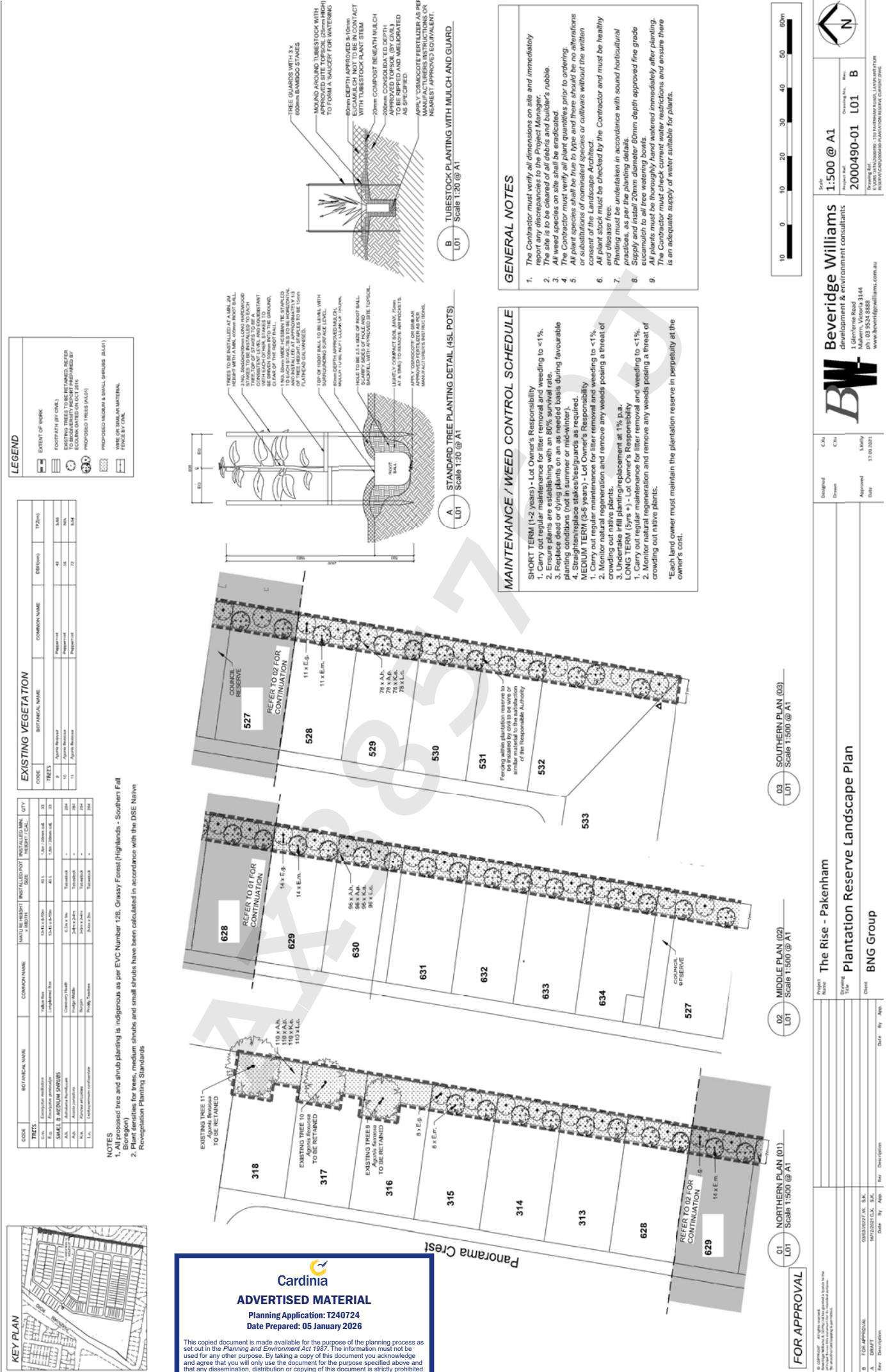
**Cardinia**

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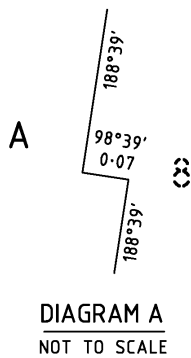
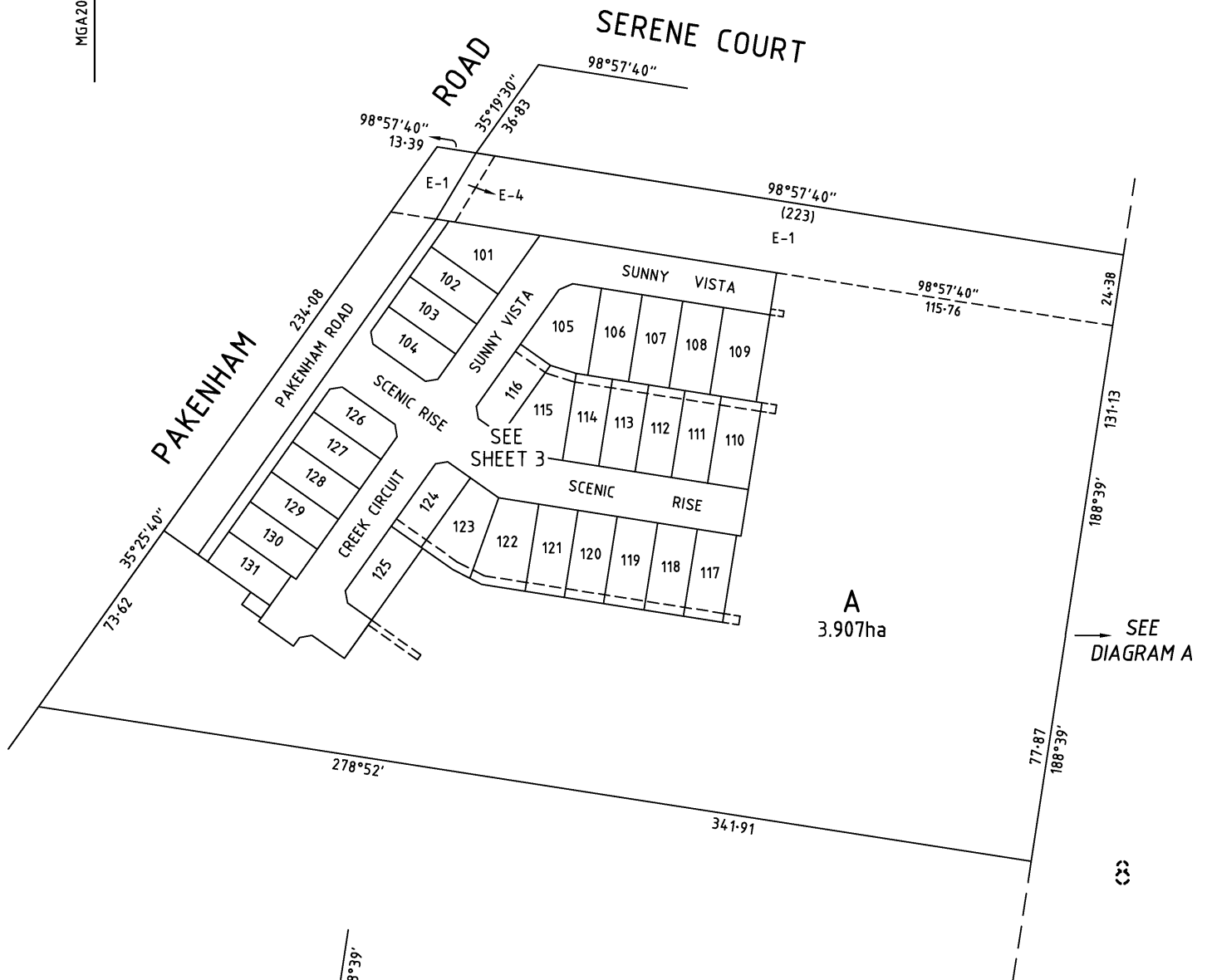
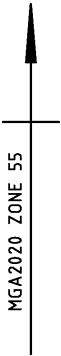
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PLAN OF SUBDIVISION			EDITION 1	PS848743W
<b>LOCATION OF LAND</b>  <b>PARISH:</b> NAR NAR GOON <b>TOWNSHIP:</b> PAKENHAM <b>SECTION:</b> —  <b>CROWN ALLOTMENT:</b> 32(PT) & 33(PT)  <b>TITLE REFERENCE:</b> VOL. 12230 FOL. 801  <b>LAST PLAN REFERENCE:</b> LP6710 (LOT 3)  <b>POSTAL ADDRESS:</b> 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810  <b>MGA CO-ORDINATES:</b> E: 366 250 ZONE: 55 (of approx centre of land in plan) N: 5 786 580 GDA 2020			Council Name: Cardinia Shire Council  Council Reference Number: S21-146 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182115M  <b>Certification</b>  This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023  Public Open Space  A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification  Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024  <b>Statement of Compliance</b> issued: 28/10/2024  Public Open Space  A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance	
VESTING OF ROADS AND/OR RESERVES			NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON		LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.  LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4.  <p style="text-align: center;">WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958</p> <div style="border: 1px solid blue; padding: 5px; text-align: center; margin-top: 20px;"> <b>Cardinia</b>  <b>ADVERTISED MATERIAL</b>  Planning Application: T240724  Date Prepared: 05 January 2026  <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small> </div>	
ROAD R1 ROAD R2 RESERVE No.1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD			
NOTATIONS				
DEPTH LIMITATION: DOES NOT APPLY			<div style="border: 1px solid blue; padding: 5px; text-align: center; margin-top: 20px;"> <b>Cardinia</b>  <b>ADVERTISED MATERIAL</b>  Planning Application: T240724  Date Prepared: 05 January 2026  <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small> </div>	
This is a SPEAR plan. <b>STAGING:</b> This is not a staged subdivision. Planning Permit No. T160690 <b>SURVEY:</b> This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675  <div style="border: 1px solid black; padding: 2px; font-size: 8pt;"> Estate: The Rise - Pakenham  Phase No.: 01  No. of Lots: 31 + Lot A  PHASE AREA: 2.142ha </div>				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4  E-2 E-2, E-3  E-4	PIPELINE  DRAINAGE SEWERAGE  SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	24.38  3 SEE DIAG.  6	INST. D613929  THIS PLAN THIS PLAN  THIS PLAN	VICTORIA PIPELINES COMMISSION  CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION  SOUTH EAST WATER CORPORATION
<b>Beveridge Williams</b> development & environment consultants  Melbourne ph : 03 9524 8888  www.beveridgewilliams.com.au		<div style="display: flex; justify-content: space-between;"> <div> SURVEYORS FILE REF: 2000490/01  2000490-01-PS-V11.DWG   Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,  Surveyor's Plan Version (11),  24/05/2024, SPEAR Ref: S182115M </div> <div> ORIGINAL SHEET  SIZE: A3   Land Use Victoria Plan Registered  02:18 PM  31/10/2024  Assistant Registrar of Titles </div> </div>		

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SURVEYORS REF  
2000490/01

SCALE  
1 : 1500

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LENGTHS ARE IN METRES

ORIGINAL SHEET  
SIZE: A3

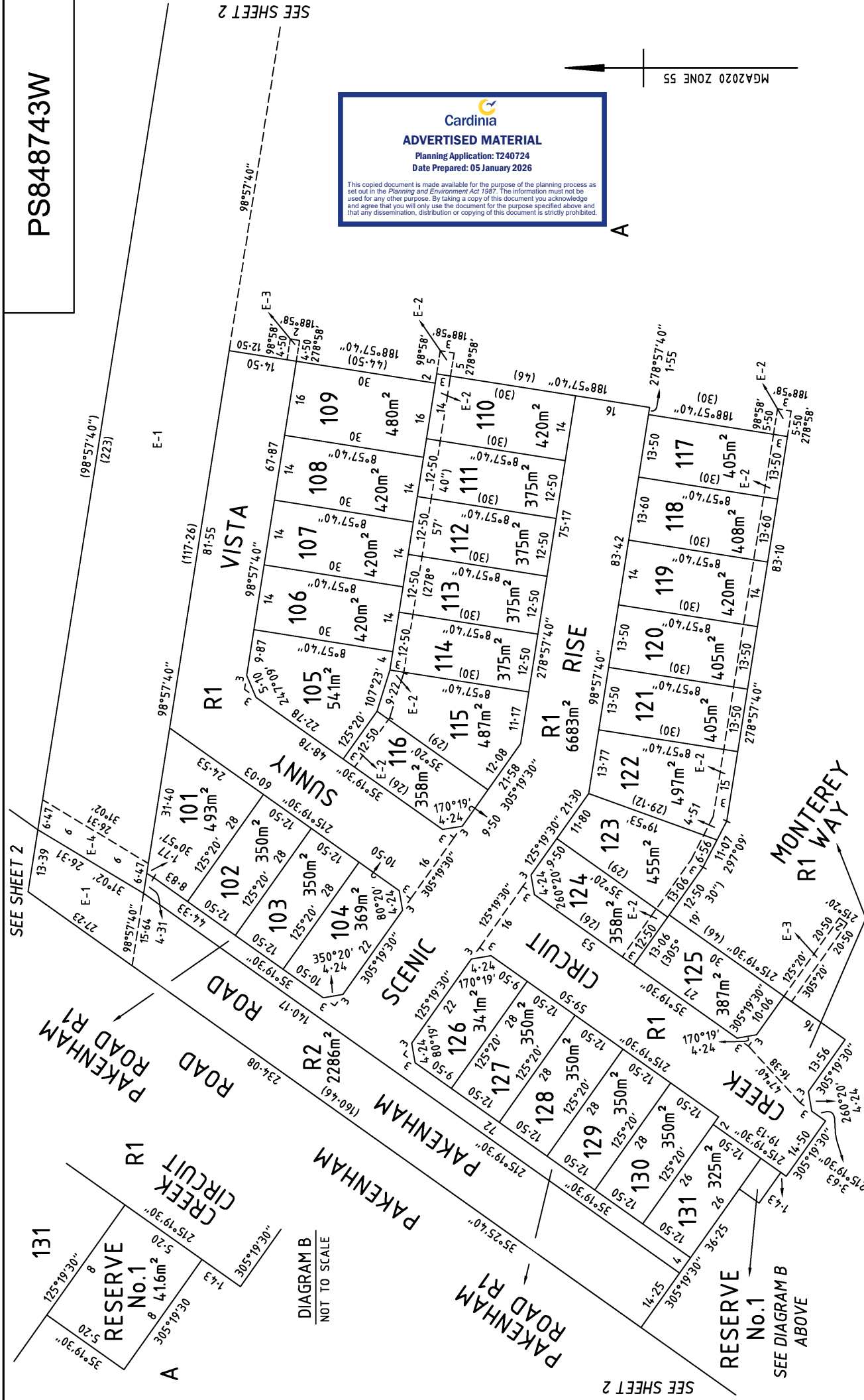
SHEET 2

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,  
Surveyor's Plan Version (11),  
24/05/2024, SPEAR Ref: S182115M

Digitally signed by:  
Cardinia Shire Council,  
30/05/2024,  
SPEAR Ref: S182115M




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**ADVERTISED MATERIAL**  
Planning Application: T240724  
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 <b>Beveridge Williams</b> development & environment consultants Melbourne ph : 03 9524 8888 <a href="http://www.beveridgewilliams.com.au">www.beveridgewilliams.com.au</a>	SURVEYORS REFERENCE  <b>2000490</b> <b>/01</b>			SCALE 1 : 750	7.5 0 7.5 15 22.5 30 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 3
				Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M			

# SUBDIVISION ACT 1988

## CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

### LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

### DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

### VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

### EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

## CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

### LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

### DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

### EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



#### ADVERTISED MATERIAL

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Date Prepared: 05 January 2026

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SURVEYORS REF  
2000490/01

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed  
Surveyor,  
Surveyor's Plan Version (11),  
24/05/2024, SPEAR Ref: S182115M

ORIGINAL SHEET  
SIZE: A3

SHEET 4

Digitally signed by:  
Cardinia Shire Council,  
30/05/2024,  
SPEAR Ref: S182115M

Our Reference: 2000490

27 November 2025

Applicant [REDACTED]

**Company/Builder:** FRENKEN HOMES PTY LTD

**Email:** [assist@frenkenhomes.com.au](mailto:assist@frenkenhomes.com.au)

Dear Sir/Madam,

**RE: Lot 103 Pakenham Road, Pakenham  
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**



ACN 006 197 235  
ABN 38 006 197 235

Melbourne Office  
1 Glenferrie Road  
PO Box 61  
Malvern VIC 3144  
Tel: (03) 9524 8888

[beveridgewilliams.com.au](http://beveridgewilliams.com.au)

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. **Please refer to any other conditions notated on the plans and ensure they are suitably addressed.**

**Please note;**

- All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.
- Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.
- Any lot under 300m<sup>2</sup> in size, requires a planning permit for being under 300m<sup>2</sup> in addition to the ESO planning permit. Front setbacks less than 4m are subject to further council approval.
- If you require planning services or further information, please contact Andrea Bouly [boulya@bevwill.com.au](mailto:boulya@bevwill.com.au) or on 0407 050 624
- There are no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.
- Due to planning permit requirements, Gas appliances may not be able to be installed, further Council clarification is required.

Should you have any queries, please contact the undersigned on 9524 8888 or via email [planlodgement@bevwill.com.au](mailto:planlodgement@bevwill.com.au) All new submissions, re-submissions, amendment submissions or supplemental submissions, please use [www.portal.beveridgewilliams.com.au](http://www.portal.beveridgewilliams.com.au)

Kind Regards,

[REDACTED]  
Design Approvals Coordinator  
BEVERIDGE WILLIAMS



**LOT 103 PAKENHAM ROAD, PAKENHAM**  
**COLOUR SAMPLES**

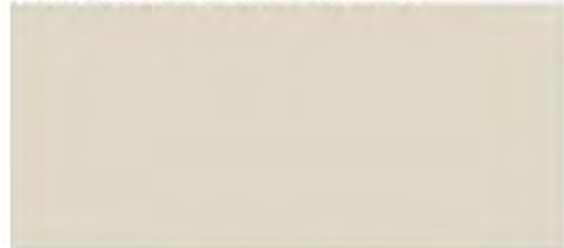
**BRICKS – AUSTRAL ASH**



**GARAGE DOOR COLOUR – SURFMIST**



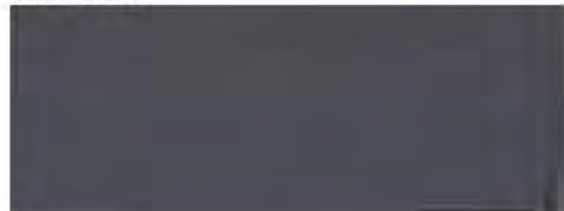
**FRONT DOOR COLOUR – SURFMIST**



**ROOF TILES – BRISTLE LATE MIST CLASSIC**



**DRIVEWAY – COLOUR THROUGH CONCRETE –  
BLUESTONE**



**WINDOWS & METERBOX – SURFMIST**



**FASCIA, GUTTER, DOWNPIPES – SURFMIST**



**RENDER, TIMBER INFILL TO PORTICO &  
LETTERBOX – SURFMIST**



**ADVERTISED MATERIAL**

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**DESIGN ASSESSMENT PANEL**

**PLAN APPROVAL DATE: 27.11.2025**

**REVIEWED BY** [REDACTED]

**BW**



PLANT SCHEDULE



TYPE	BOTANICAL NAME	COMMON NAME	HT.	WIDTH	FLOWER COLOR	SEASON	SIZE	Qty.
Tree	Eucalyptus alata	River Peppermint	20m	10m	-	-	45L1	2
Tree	Prostanthera lasiantha	Victorian Christmas Bush	8m	5m	White	-	1.5m	2
Small Tree	Pimelea humilis	Common Rice-flower	0.5m	1m	-	-	150 tub	19
Plant	Brachyscome multifida	Cut-leaf Daisy	0.6m	0.4m	Pink-mauve	-	100 tub	15
Plant	Platylobium formosum	Handsome Flat-pea	1.0m	1.0m	Yellow	-	1.0m	13
Plant	Tetralochea ciliata	Pink-bells	0.6m	0.6m	Pink-mauve	-	100 tub	18
Plant	Pultenaea scabra	Rough Bush-pea	1m	0.5m	Orange	-	150 tub	10



MULCHED GARDEN BED  
Min. 125mm Top Soil &  
Min. 75mm Fine Shredded  
Fine Wood Mulch

PLANTING NOTES:

- 1.PLANTS ARE TO BE PLACED IN THE CENTRE OF THE HOLE
- 2.PLANTS MUST BE SET AT A LEVEL SUCH THAT THE CROWN OF THE PLANTS ESTABLISH A NORMAL & NATURAL RELATIONSHIP WITH THE SURROUNDING LEVELS
- 3.AFTER REMOVAL FROM CONTAINER THE HANDLING OF THE ROOT SYSTEM MUST BE DONE WITH MINIMUM ROOT DISTURBANCE PARTICULARLY AUSTRALIAN NATIVES
- 4.PLANTS MUST BE HEALTHY & PLANT ROOT SYSTEM MUST BE MOIST AT THE TIME OF PLANTING. PLANTS MUST BE WATERED WITH APPROX. -10 LITRES OF WATER AT TIME OF PLANTING.
- 5.PLANTS EXCEEDING 200MM POT SIZE SHALL BE STAKED AGAINST PREVAILING WINDS.
- 6.ALL PLANTS SHALL RECEIVE SLOW RELEASE FERTILIZER AT A QUANTITY RELATIVE TO THE POT SIZE.

Two 38mm x 38mm x 2400 Hardwood Stakes Tied Loosely to Plant Using Two 50mm Wide Hessian Ties To Be Driven Clear Of The Root Ball

Leave a Space Between Mulch & Trunk

75mm Deep Mulch

75mm High Beam To Form A Watering Basin

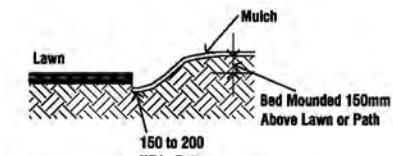
Dig a Sloping Shallow Hole, 2-3 Times The Width of the Root Ball.

Backfill with Site Soil Firming Progressively

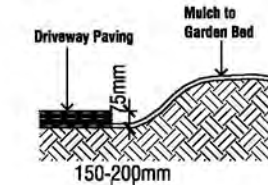
Roughen edge of Planting Hole

Depth of Planting Hole No Deeper Than the Root Ball.

ADVANCED TREE PLANTING DETAIL



LAWN TO GERDEN BED DETAIL



PAVING TO GERDEN BED DETAIL

DESIGN ASSESSMENT PANEL

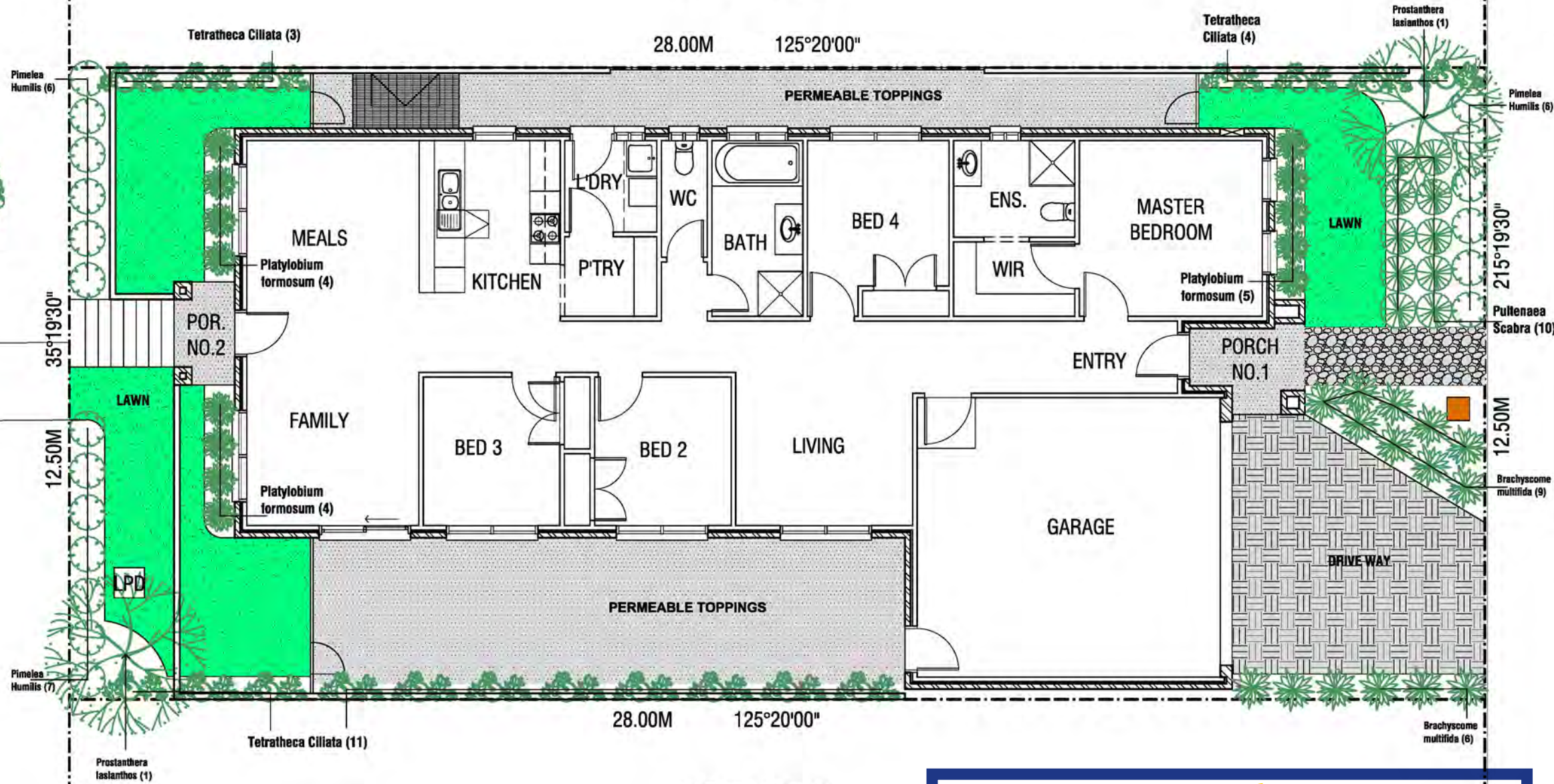
PLAN APPROVAL DATE- 27.11.2025

REVIEWED BY

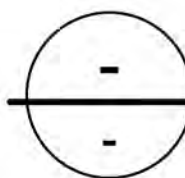
BW



LOT 102



LOT 104



LANDSCAPE PLAN

SCALE 1:100

Cardinia

ADVERTISED MATERIAL

Planning Application: T240724

Date Prepared: 05 January 2026

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0 1m 5m

SCALE 1:100 A3 SIZE

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No.	Issue / Amendments	1	PRELIMINARY ISSUE	25-11-2025	Date
-----	--------------------	---	-------------------	------------	------

Project PLAN REF: 103 PAKENHAM  
REFERENCE NO: AC25-244  
VERSION NO: 1  
DATE: 26/11/2025

Scale	470 x 420	Project Number	XXX
Designed	XXX	Drawing No.	A07
Drawn	XXX	Amendment / Issue	XXX



DESIGN ASSESSMENT PANEL  
PLAN APPROVAL DATE: 27.11.2025  
REVIEWED BY [REDACTED]

BW

LOT 102  
VACANT SITE  
AS OF 9/10/2025

NOTE:- FENCE RETURN AND ANY  
GATES MUST BE STAINED  
HARDWOOD WITH HORIZONTAL  
SLATS AND A MIN. OF 1.5M  
BEHIND FRONT OF DWELLING

28.00M (125°20')

NOTE:- 1800mm HIGH CAPPED  
TIMBER PALING FENCE WITH  
EXPOSED POSTS

NOTE:- RETAINING WALL  
UP TO 800mm HIGH  
ALONG BOUNDARY

NOTE:- RETAINING  
WALL UP TO 1000mm  
HIGH FOR FILL ONLY

LOT 103  
SITE AREA: 350.0 M<sup>2</sup>

NOTE:- FILL PADS OVER 300mm HIGH  
TO HAVE BATTERS AT 1:2 OR 30° MAX

PROPOSED  
RESIDENCE

FFL: 51.60 AHD

NOTE:- 21.3 M<sup>2</sup>  
OF S.P.O. SPACE  
TO SIDE

NOTE:- 58.9 M<sup>2</sup>  
OF SECLUDED  
PRIVATE OPEN  
SPACE TO  
REAR

GARAGE

FFL: 51.51 AHD

NOTE:- 37.6 M<sup>2</sup> OF S.P.O. SPACE

28.00M (125°20')

LOT 104

TEMPORARY  
SALES OFFICE

NOTE:- FENCE  
RETURNS WITH ACCESS  
GATES TO BE  
INSTALLED BY OWNER  
AFTER SETTLEMENT

NOTE:- FENCE RETURN AND  
ANY GATES MUST BE STAINED  
HARDWOOD WITH  
HORIZONTAL SLATS AND A  
MIN. OF 1.5M BEHIND FRONT  
OF DWELLING

NOTE:- APPROX. LOCATION  
OF CONCRETE DRIVEWAY,  
BY OWNER OR CONTRACT  
VARIATION

GRAVEL CARPARK

MIN 500MM LANDSCAPE STRIP

TBM:  
ELECTRICITY PIT  
R.L. 52.05

SUNNY VISTA

SCENIC RISE

DENOTES: INTERLOT FENCING TO BE CONSTRUCTED OF 1.8M HIGH  
TIMBER PALINGS, LAPPED & CAPPED WITH EXPOSED TIMBER POSTS  
TERMINATING 1.5M FROM FRONT BUILDING LINE

DENOTES: RETURN FENCE  
RETURN FENCE & ANY GATES MUST BE STAINED HARDWOOD  
WITH HORIZONTAL SLATS MIN 1.5M BEHIND FRONT OF  
DWELLING

## NOTES

LEVELS ARE TO AN ARBITRARY DATUM  
AND CONTOURS ARE SHOWN ARE  
200mm INTERVALS

CONNECT ALL DOWN PIPES TO 90mm  
DIA. UPVC S.W.DRAINAGE SYSTEM OR  
TO STORM WATER SYSTEM AS  
DESIGNED BY ENGINEER AND  
DISCHARGE TO LEGAL POINT IN  
ACCORDANCE WITH LOCAL COUNCIL  
REQUIREMENTS

INSPECTION OPENINGS TO BE  
PROVIDED AT CHANGES IN DIRECTION  
AND FOR LENGTHS GREATER THAN 20M  
RESIDENCE FINISHED FLOOR LEVEL TO  
BE NOT LESS THAN 150mm ABOVE  
FINISHED GROUND LEVEL: REFER TO  
SITE PLAN

PROVIDE AGGY DRAINS CONNECTED  
TO SILT PITS AT BASE OF BATTERS.  
AGGY DRAINS CONNECTED TO STORM  
WATER SYSTEM VIA SILT PITS

## A5. RESCODE SITE COVERAGE STATISTICS

SITE AREA	350.0 M <sup>2</sup>
RESIDENCE	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>
TOTAL SITE COVER	187.4 M <sup>2</sup>
SITE COVER RATIO	54% (0.535)
DRIVE WAY	22.0 M <sup>2</sup>
OTHER PAVED AREAS	4.0 M <sup>2</sup>
TOTAL HARD COVER	213.4 M <sup>2</sup>
HARD COVER RATIO	61% (0.609)

NOTE: 20 % TO BE PERMEABLE  
ie NOT COVERED

## DRAINAGE REQUIREMENTS

A/ ALL SURFACE DRAINAGE WORKS SHALL BE  
INSTALLED IN ACCORDANCE WITH THE ENGINEERS  
DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM  
AND SOIL CLASSIFICATION AND IN ACCORDANCE  
WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF  
AS2870.2011, WHEREIN FOR BUILDINGS ON  
MODERATELY, HIGHLY AND REACTIVE SITES:

- SURFACE DRAINAGE SHALL BE CONTROLLED  
THROUGHOUT CONSTRUCTION AND BE COMPLETED  
BY THE FINISH OF CONSTRUCTION
- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM  
THE BUILDING
- WHERE PIPES PASS UNDER THE FOOTING  
SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT  
THE INGRESS OF WATER

B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES.  
THE DRAINER SHALL PROVIDE DRAINAGE  
ARTICULATION TO ALL STORMWATER, SANITARY  
PLUMBING AND DISCHARGE PIPES IN ACCORDANCE  
WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS.  
WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE  
THE FOOTING AND COMMENCING WITHIN 1.0M OF  
THE BUILDING PERIMETER ARE REQUIRED TO  
ACCOMMODATE THE REQUIRED DIFFERENTIAL  
MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM  
THE DWELLING AND GRADED AWAY FROM ALL  
FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN  
50mm OVER THE FIRST 1000mm FROM THE  
DWELLING.

D/ SUBSURFACE DRAINS TO REMOVE GROUND OR  
TABLE WATER SHALL BE DETAILED BY THE DESIGN  
ENGINEER. FURTHERMORE, DAMP-PROOFING  
MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE  
INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE  
SOILS.

EXCAVATE SITE TO R.L.: 51.20 AHD  
FINISHED SURFACE TO R.L.: 51.35 AHD

BATTERS ARE AT 45° U.N.O.  
CUT OFF DRAIN AT BASE OF EXCAVATION  
TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT  
BY OWNER OR CONTRACT VARIATION

ENGINEERED SLEEPER RETAINING WALL UP TO 800mm MAX. HIGH AND  
ENGINEERED SLEEPER RETAINING WALL UP TO 1000mm MAX. HIGH FOR FILL ONLY  
TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION  
ALLOW 5 KPa SURCHARGE ON BOUNDARY  
BY OWNER OR CONTRACT VARIATION

## SITE PLAN

SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO  
THE AUSTRALIAN HEIGHT DATUM  
BASED ON PAKENHAM PM 72 (R.L. 38.318)

DIMENSIONS & LEVELS TO BE VERIFIED  
BY CERTIFIED COPY OF TITLE  
OR RELOCATION SURVEY  
OR APPROVED PLAN OF SUB-DIVISION

SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER

DEVELOPER CONDITION: PLEASE NOTE THAT A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN  
APPLICATION MUST BE APPROVED BY COUNCIL BEFORE CONSTRUCTION COMMENCES.

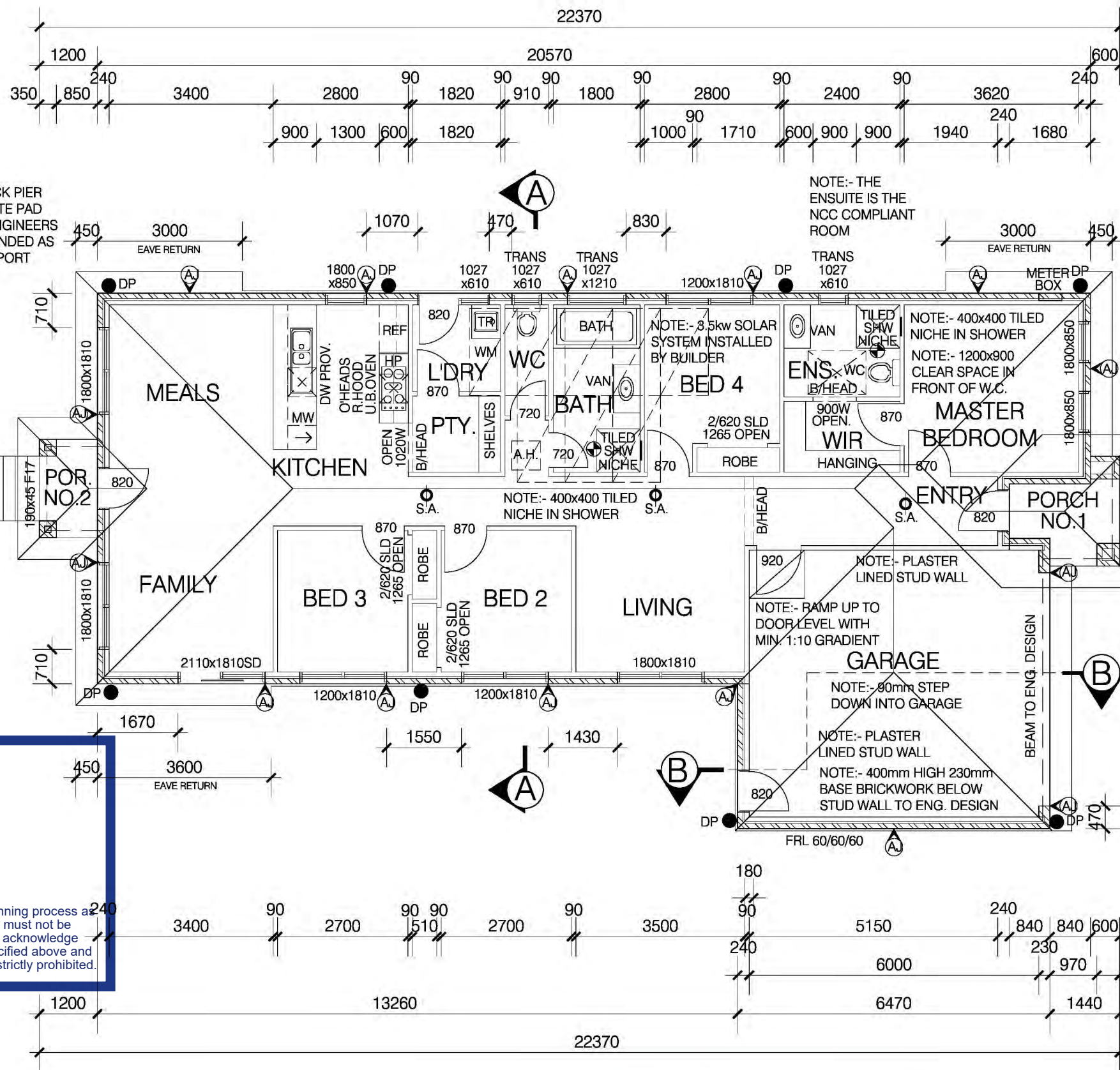
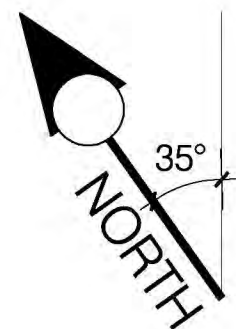
DEVELOPER CONDITION; DUE TO PLANNING PERMIT REQUIREMENT, GAS APPLIANCES MAY NOT BE ABLE TO BE  
INSTALLED, FURTHER COUNCIL CLARIFICATION IS REQUIRED.

PROPOSED :- BRICK VENEER RESIDENCE  
FOR [REDACTED]

LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 3	DRG. No.:- AC25-244	C





LOCALLY FILL AROUND DOORWAYS  
TO AVOID THE NEED FOR STEPS  
AND GRADE SOIL AWAY FROM  
HOUSE AS REQUIRED

WC DOORS TO OPEN OUT OR  
HAVE REMOVABLE HINGES IF WC  
HAS LESS THAN 1200mm OF  
CLEARANCE FROM DOOR TO  
CLOSET PAN



## ADVERTISED MATERIAL

Planning Application: T240724

Date Prepared: 05 January 2026

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FLOOR PLAN  
SCALE: 1:100

### AREA STATISTICS

FLOOR PLAN	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>

SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER



WRITTEN DIMENSIONS TAKE  
PRECEDENCE OVER SCALE  
CONTRACTORS ARE TO CHECK  
ALL DIMENSIONS & LEVELS  
PRIOR TO COMMENCEMENT  
COPYWRITE:- THIS DRAWING  
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FRENKEN HOMES

### DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 27.11.2025

REVIEWED BY [REDACTED]

BW

PROPOSED :- BRICK VENEER RESIDENCE

FOR :- [REDACTED]

LOCATION :- LOT 103 PAKENHAM ROAD PAKENHAM

DATE :- 8/10/2025

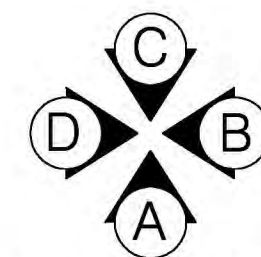
B.P. No. :- DBU-46723

ISSUE

SHEET No. :- 4

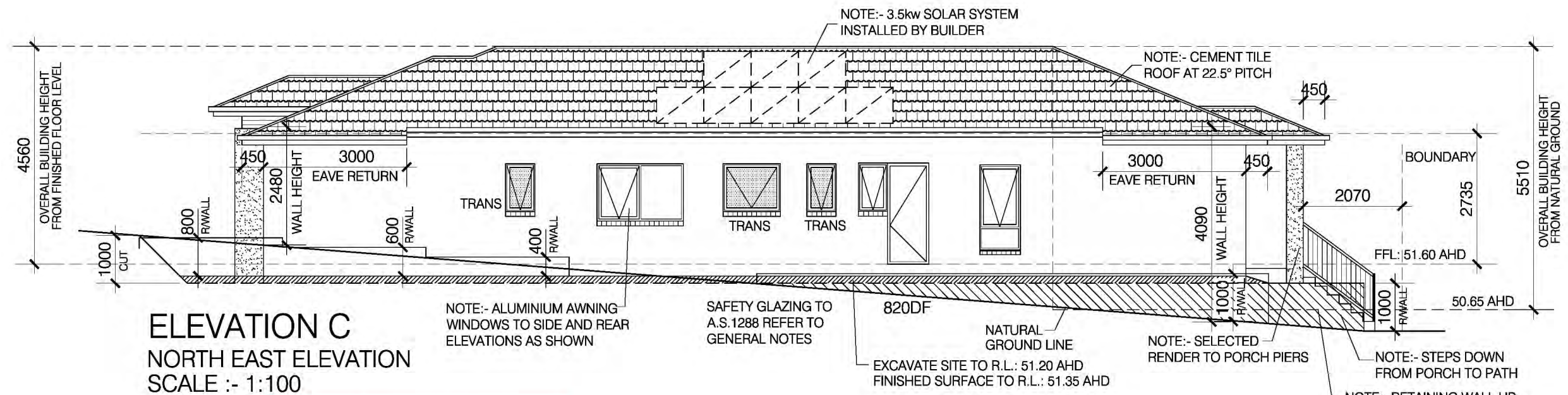
DRG. No. :- AC25-244

C

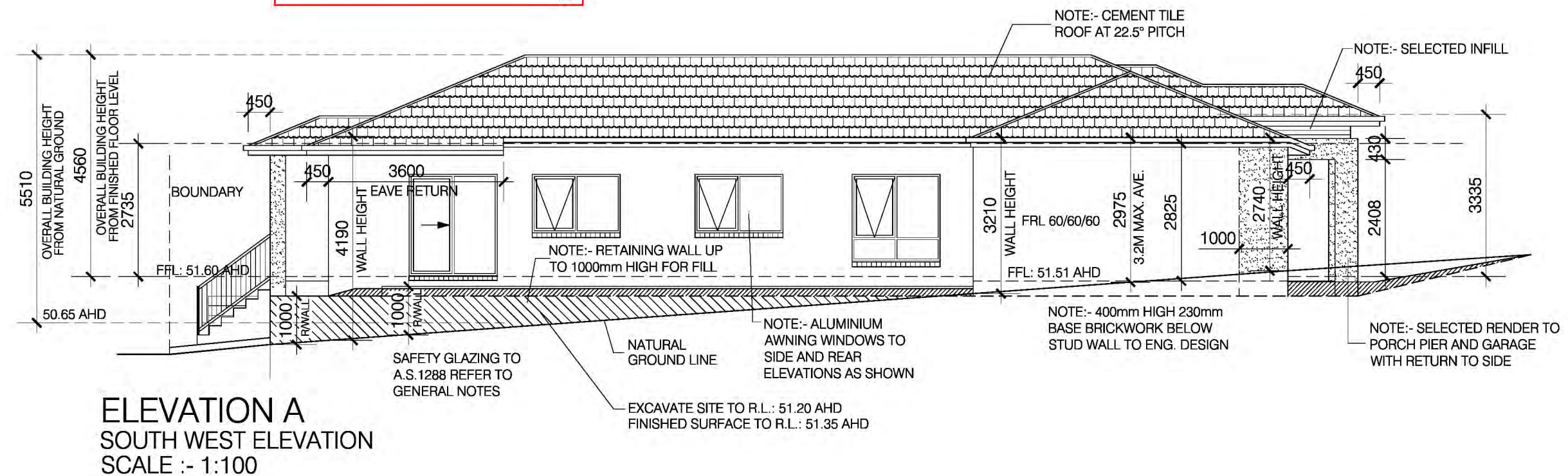


ELEVATION





**DESIGN ASSESSMENT PANEL**  
PLAN APPROVAL DATE: 27.11.2025  
REVIEWED BY: [REDACTED]



SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER

**Affordable Living**  
by Frenken Homes  
WWW.FRENKENHOMES.COM.AU

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CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT  
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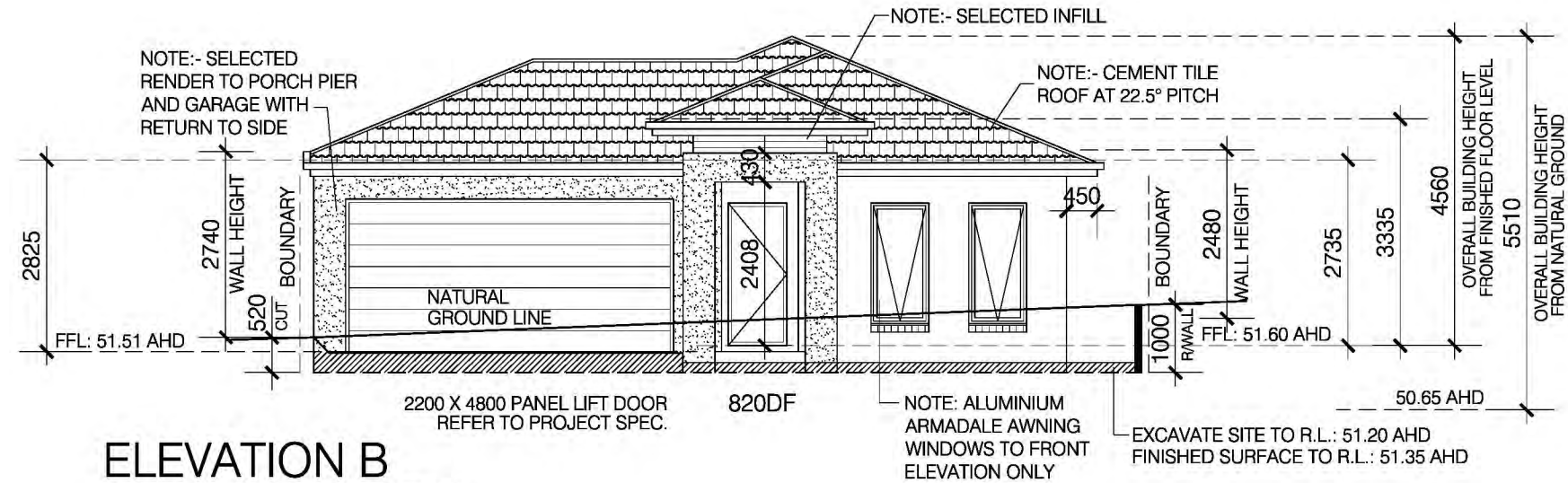
Planning Application: T240724  
Date Prepared: 05 January 2026

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PROPOSED :- BRICK VENEER RESIDENCE  
FOR [REDACTED]  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE: 8/10/2025	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 6	DRG. No.:- AC25-244	C





**ELEVATION B**  
SOUTH EAST ELEVATION  
SCALE :- 1:100

**DESIGN ASSESSMENT PANEL**

PLAN APPROVAL DATE: 27.11.2025

REVIEWED BY

BW

NOTE: NO LIGHTWEIGHT MATERIALS ARE TO BE USED ON THE FAÇADE

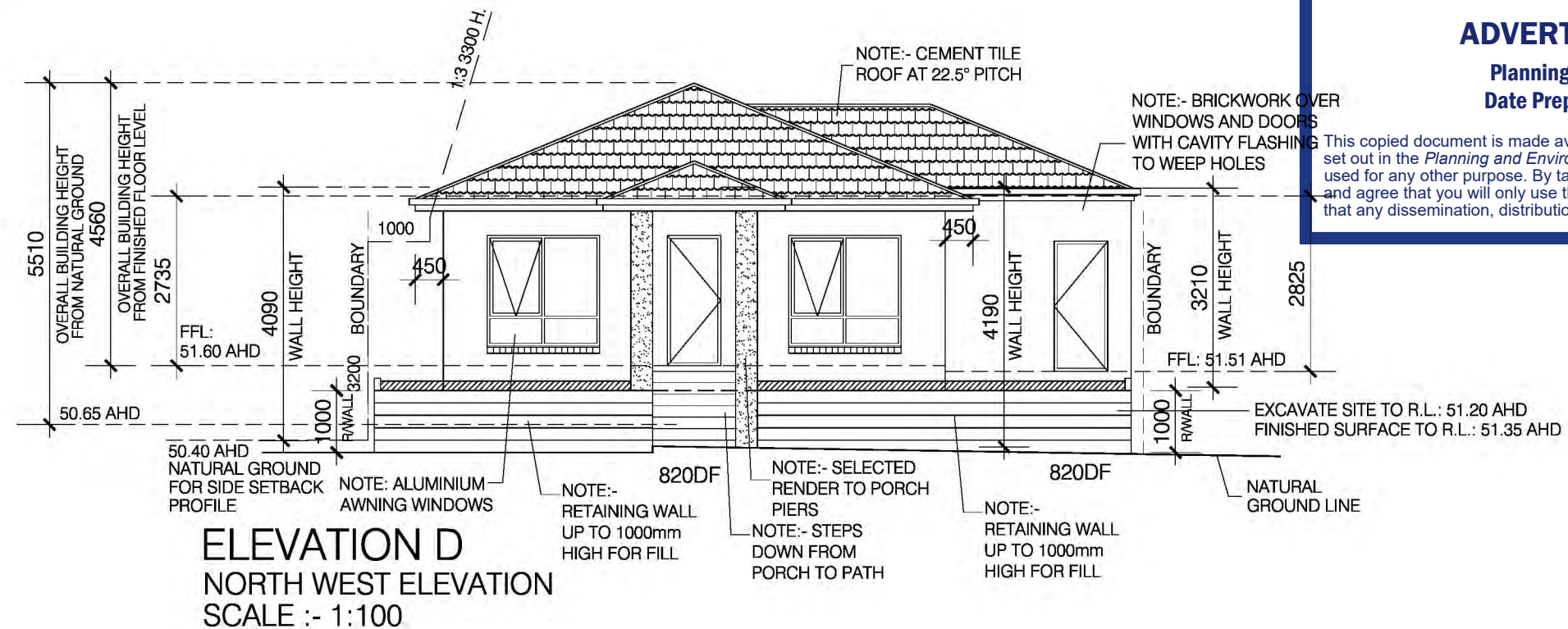
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Planning Application: T240724

Date Prepared: 05 January 2026

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**ELEVATION D**  
NORTH WEST ELEVATION  
SCALE :- 1:100

SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER

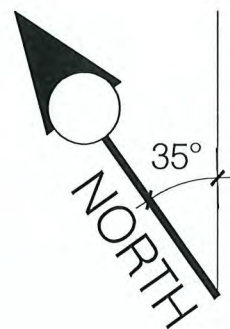
**Affordable Living**  
by Frenken Homes  
WWW.FRENKENHOMES.COM.AU

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE  
CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT  
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PROPOSED :- BRICK VENEER RESIDENCE  
FOR :-  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 7	DRG. No.:- AC25-244	C





PAKENHAM ROAD

SUNNY VISTA

LOT 102  
VACANT SITE  
AS OF 9/10/2025

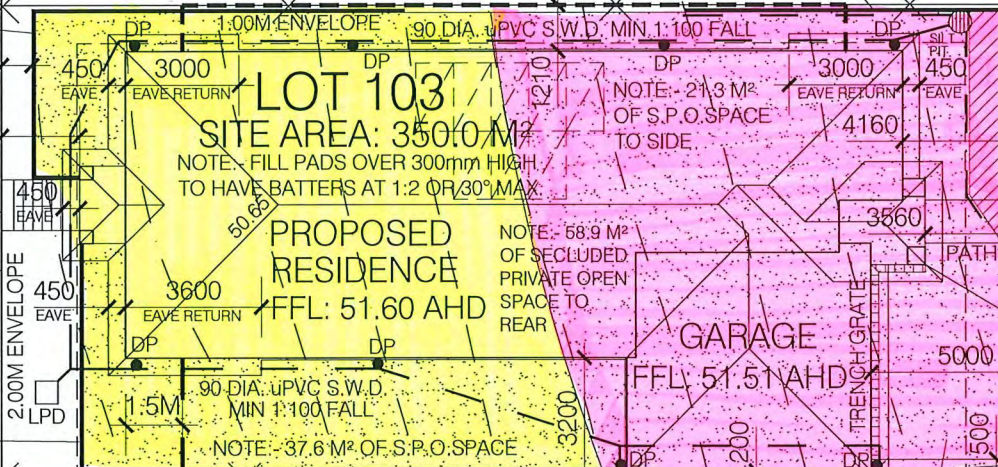
28.00M (125°20')

NOTE:- 1800mm HIGH CAPPED  
TIMBER PALING FENCE WITH  
EXPOSED POSTS

NOTE:- FENCE RETURN AND ANY  
GATES MUST BE STAINED  
HARDWOOD WITH HORIZONTAL  
SLATS AND A MIN. OF 1.5M  
BEHIND FRONT OF DWELLING

NOTE:- RETAINING WALL  
UP TO 800mm HIGH  
ALONG BOUNDARY

NOTE:- RETAINING  
WALL UP TO 1000mm  
HIGH FOR FILL ONLY



NOTE:- RETAINING  
WALL UP TO 1000mm  
HIGH FOR FILL ONLY

NOTE:- FENCE  
RETURNS WITH ACCESS  
GATES TO BE  
INSTALLED BY OWNER  
AFTER SETTLEMENT

NOTE:- FENCE RETURN AND  
ANY GATES MUST BE STAINED  
HARDWOOD WITH  
HORIZONTAL SLATS AND A  
MIN. OF 1.5M BEHIND FRONT  
OF DWELLING

NOTE:- APPROX. LOCATION  
OF CONCRETE DRIVEWAY,  
BY OWNER OR CONTRACT  
VARIATION

NOTE:- FIBRE OPTIC CABLING WILL BE  
MADE AVAILABLE TO THE DWELLING TO  
COMPLY WITH THE OPTICOMM GUIDELINES

NOTE:- THE LETTERBOX MUST COMPLIMENT THE  
HOUSE DESIGN AND EXTERNAL COLOUR SCHEME,  
MUST BE LOCATED ACCORDING TO AUSTRALIAN POST  
STANDARDS AND MUST CLEARLY DISPLAY THE STREET  
NUMBER OF THE HOUSE. (SINGLE POST SUPPORTED  
LETTERBOXES ARE NOT PERMITTED)

STORM WATER DRAINS:  
TO LEGAL POINT OF DISCHARGE  
TO COUNCIL REQUIREMENTS  
BUILDER TO VERIFY LPD  
PRIOR TO CONNECTION

EXCAVATE SITE TO R.L.: 51.20 AHD  
FINISHED SURFACE TO R.L.: 51.35 AHD

BATTERS ARE AT 45° U.N.O.  
CUT OFF DRAIN AT BASE OF EXCAVATION  
TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT  
BY OWNER OR CONTRACT VARIATION

ENGINEERED SLEEPER RETAINING WALL UP TO 800mm MAX. HIGH AND  
ENGINEERED SLEEPER RETAINING WALL UP TO 1000mm MAX. HIGH FOR FILL ONLY  
TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION  
ALLOW 5 KPa SURCHARGE ON BOUNDARY  
BY OWNER OR CONTRACT VARIATION

## EARTHWORK PLAN

SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO  
THE AUSTRALIAN HEIGHT DATUM  
BASED ON PAKENHAM PM 72 (R.L. 38.318)

DIMENSIONS & LEVELS TO BE VERIFIED  
BY CERTIFIED COPY OF TITLE  
OR RELOCATION SURVEY  
OR APPROVED PLAN OF SUB-DIVISION

CUT.  
FILL

SCENIC RISE

TBM:  
ELECTRICITY PIT  
R.L. 52.05

## A5. RESCODE SITE COVERAGE STATISTICS

SITE AREA	350.0 M <sup>2</sup>
RESIDENCE	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>
TOTAL SITE COVER	187.4 M <sup>2</sup>
SITE COVER RATIO	54% (0.535)
DRIVE WAY	22.0 M <sup>2</sup>
OTHER PAVED AREAS	4.0 M <sup>2</sup>
TOTAL HARD COVER	213.4 M <sup>2</sup>
HARD COVER RATIO	61% (0.609)

NOTE: 20 % TO BE PERMEABLE  
ie NOT COVERED

## DRAINAGE REQUIREMENTS

A/ ALL SURFACE DRAINAGE WORKS SHALL BE  
INSTALLED IN ACCORDANCE WITH THE ENGINEERS  
DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM  
AND SOIL CLASSIFICATION AND IN ACCORDANCE  
WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF  
AS2870.2011, WHEREIN FOR BUILDINGS ON  
MODERATELY, HIGHLY AND REACTIVE SITES:

- SURFACE DRAINAGE SHALL BE CONTROLLED  
THROUGHOUT CONSTRUCTION AND BE COMPLETED  
BY THE FINISH OF CONSTRUCTION
- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM  
THE BUILDING
- WHERE PIPES PASS UNDER THE FOOTING  
SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT  
THE INGRESS OF WATER

B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES.  
THE DRAINER SHALL PROVIDE DRAINAGE  
ARTICULATION TO ALL STORMWATER, SANITARY  
PLUMBING AND DISCHARGE PIPES IN ACCORDANCE  
WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS,  
WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE  
THE FOOTING AND COMMENCING WITHIN 1.0M OF  
THE BUILDING PERIMETER ARE REQUIRED TO  
ACCOMMODATE THE REQUIRED DIFFERENTIAL  
MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM  
THE DWELLING AND GRADED AWAY FROM ALL  
FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN  
50mm OVER THE FIRST 1000mm FROM THE  
DWELLING.

D/ SUBSURFACE DRAINS TO REMOVE GROUND OR  
TABLE WATER SHALL BE DETAILED BY THE DESIGN  
ENGINEER. FURTHERMORE, DAMP-PROOFING  
MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE  
INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE  
SOILS.

## NOTES

LEVELS ARE TO AN ARBITRARY DATUM  
AND CONTOURS ARE SHOWN ARE  
200mm INTERVALS

CONNECT ALL DOWN PIPES TO 90mm  
DIA. UPVC S.W.DRAINAGE SYSTEM OR  
TO STORM WATER SYSTEM AS  
DESIGNED BY ENGINEER AND  
DISCHARGE TO LEGAL POINT IN  
ACCORDANCE WITH LOCAL COUNCIL  
REQUIREMENTS

INSPECTION OPENINGS TO BE  
PROVIDED AT CHANGES IN DIRECTION  
AND FOR LENGTHS GREATER THAN 20M  
RESIDENCE FINISHED FLOOR LEVEL TO  
BE NOT LESS THAN 150mm ABOVE  
FINISHED GROUND LEVEL: REFER TO  
SITE PLAN

PROVIDE AGGY DRAINS CONNECTED  
TO SILT PITS AT BASE OF BATTERS.  
AGGY DRAINS CONNECTED TO STORM  
WATER SYSTEM VIA SILT PITS

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## ADVERTISED MATERIAL

Planning Application: T240724  
Date Prepared: 05 January 2026

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SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER



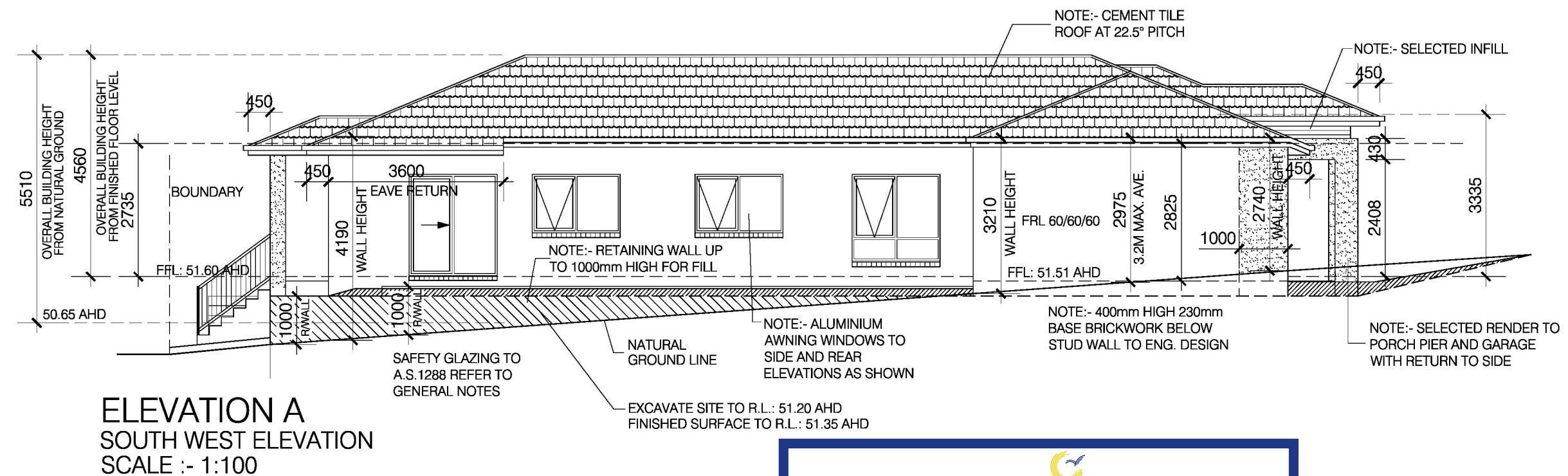
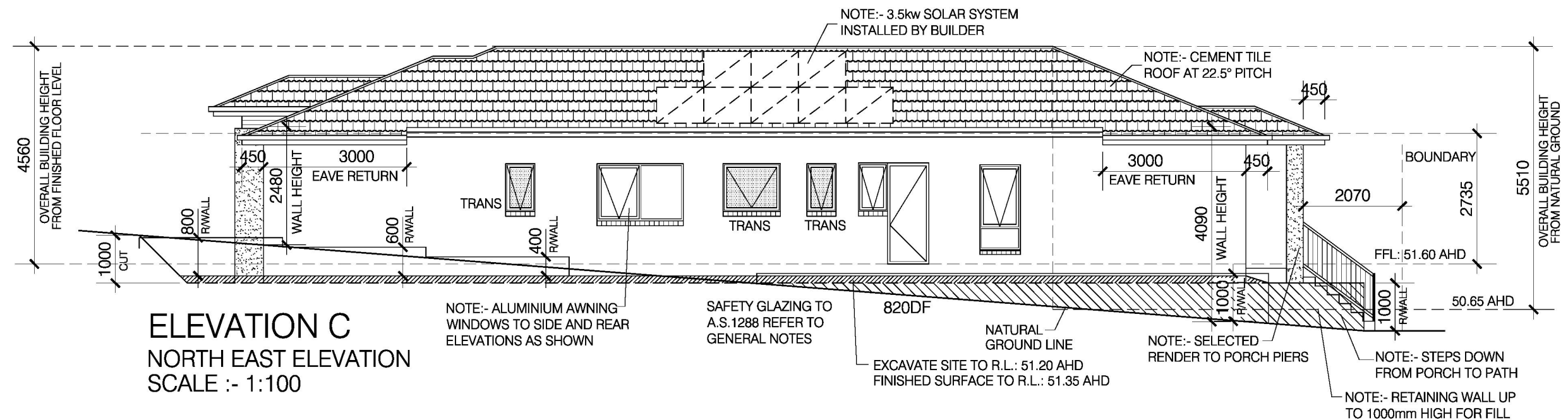
WRITTEN DIMENSIONS TAKE  
PRECEDENCE OVER SCALE  
CONTRACTORS ARE TO CHECK  
ALL DIMENSIONS & LEVELS  
PRIOR TO COMMENCEMENT

COPYWRITE:- THIS DRAWING  
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PROPOSED :- BRICK VENEER RESIDENCE  
FOR :-  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025	B.P. No:- DBU-46723	ISSUE
SHEET No:- 3	DRG. No:- AC25-244	C





## ADVERTISED MATERIAL

Planning Application: T240724

Date Prepared: 05 January 2026

SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER



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PROPOSED :- BRICK VENEER RESIDENCE			
FOR :- [REDACTED]			
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM			
DATE:- 8/10/2025	B.P. No.:- DBU-46723	ISSUE	
SHEET No.:- 6	DRG. No.:- AC25-244	C	





## ADVERTISED MATERIAL

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BRICKS – AUSTRAL ASH



ROOF TILES – BRISTLE LATE MIST CLASSIC



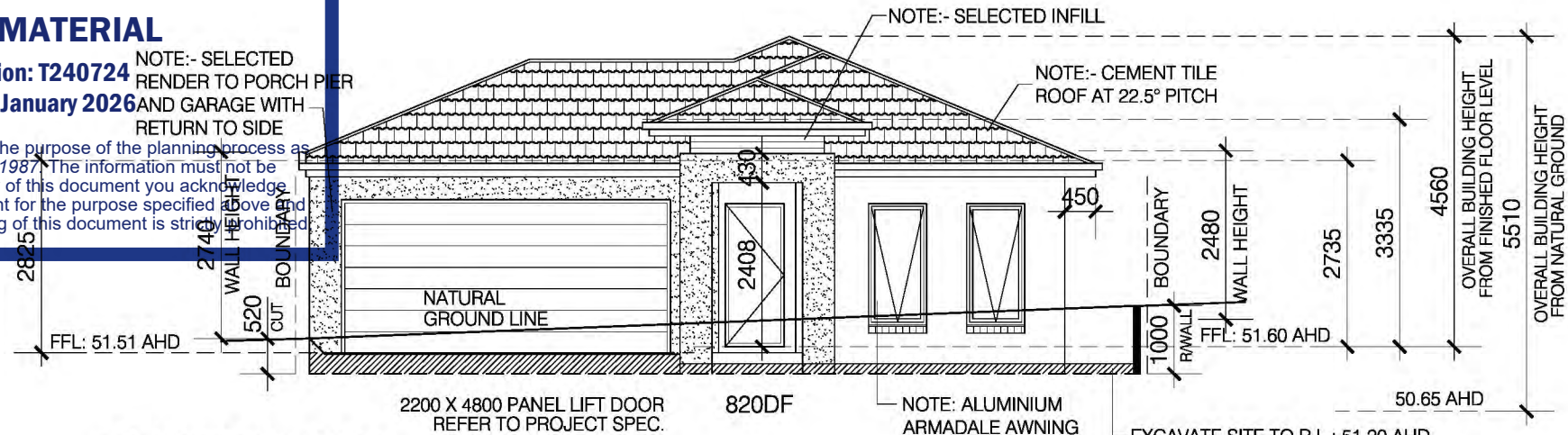
WINDOWS & METERBOX – SURFMIST



FASCIA, GUTTER, DOWNPIPES – SURFMIST



RENDER, TIMBER INFILL TO PORTICO & LETTERBOX – SURFMIST



**ELEVATION B**  
SOUTH EAST ELEVATION  
SCALE :- 1:100

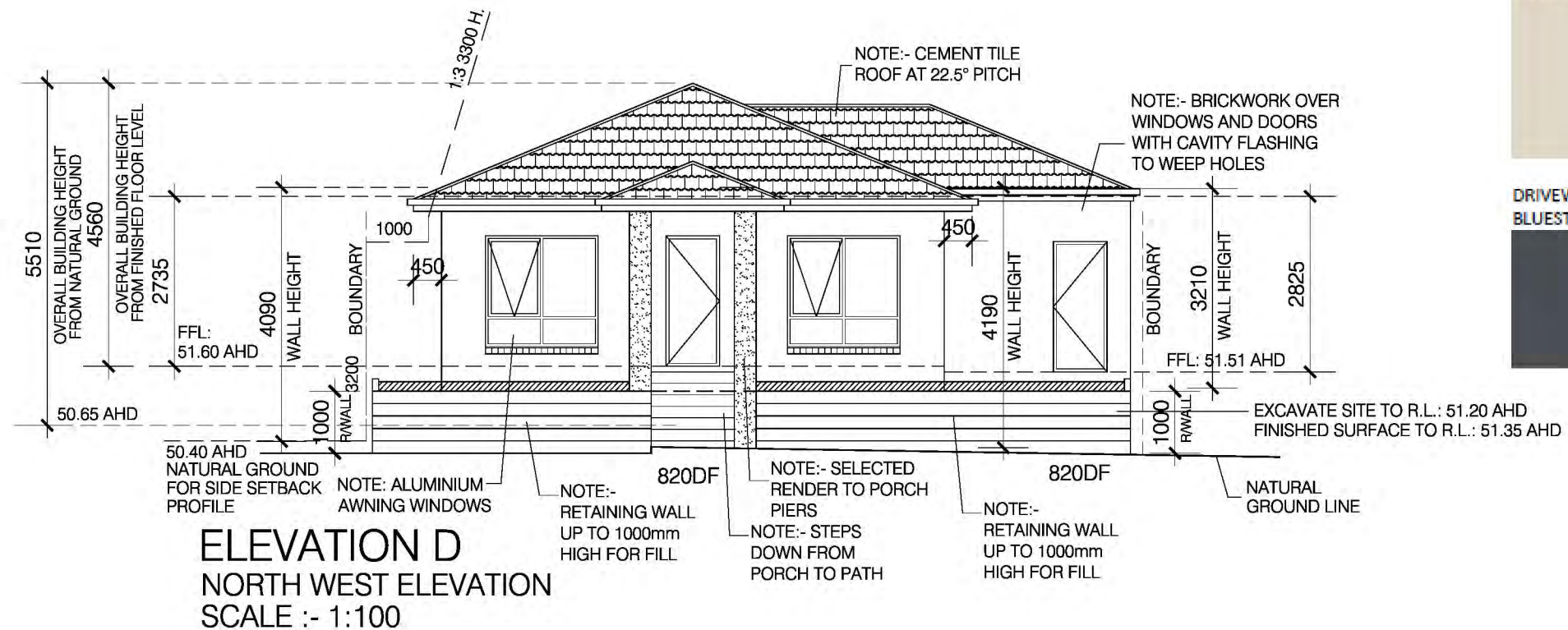
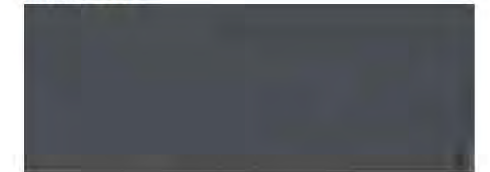
GARAGE DOOR COLOUR – SURFMIST



FRONT DOOR COLOUR – SURFMIST



DRIVEWAY – COLOUR THROUGH CONCRETE – BLUESTONE



**ELEVATION D**  
NORTH WEST ELEVATION  
SCALE :- 1:100

SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER



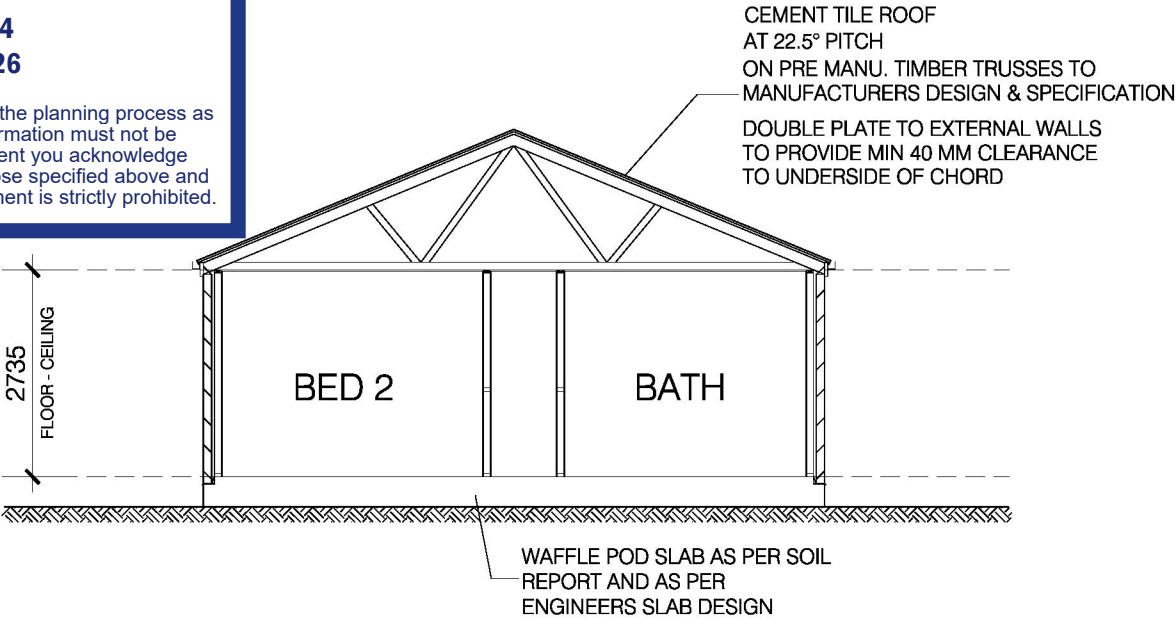
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COPYWRITE:- THIS DRAWING BELONGS TO THE PROPERTY OF FRENKEN HOMES

PROPOSED :- BRICK VENEER RESIDENCE  
FOR :-  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

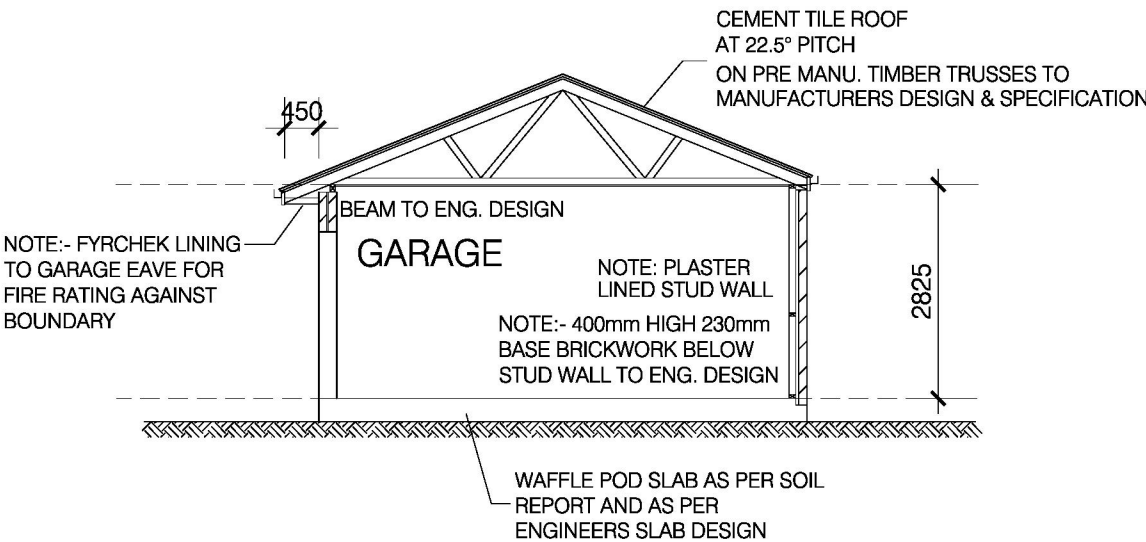
DATE:- 8/10/2025	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 7	DRG. No.:- AC25-244	C



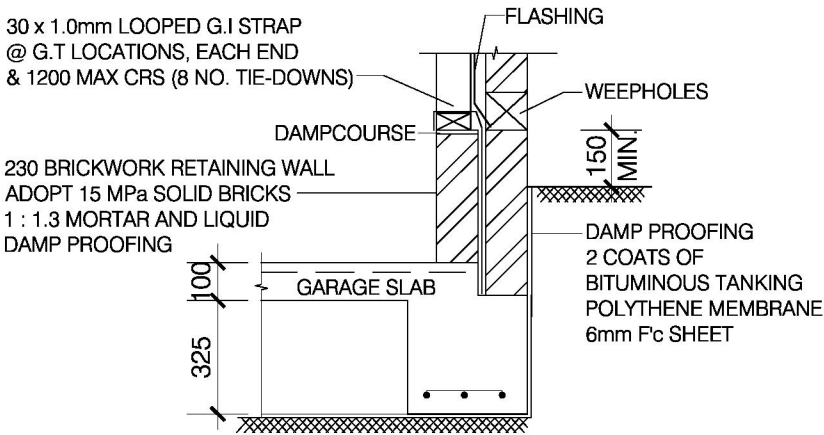
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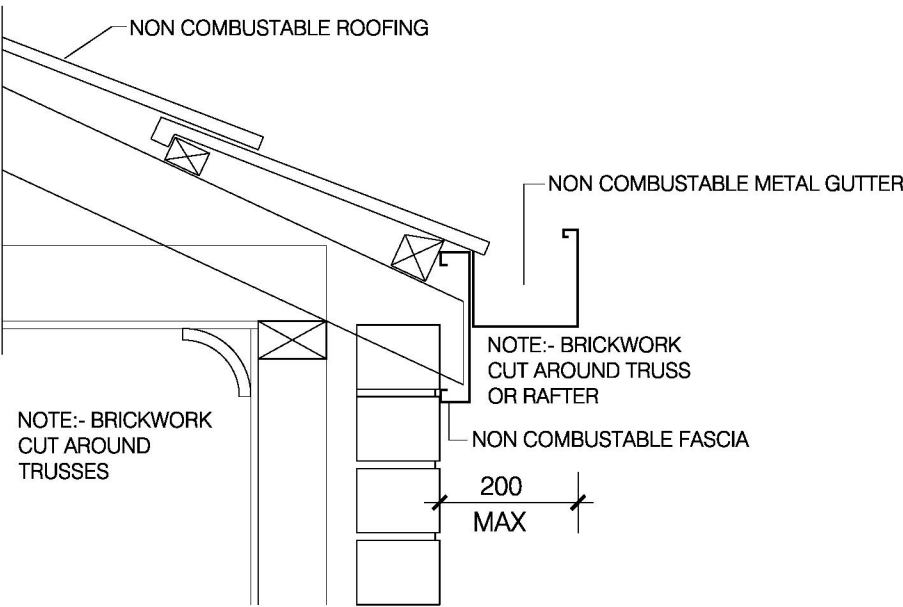
SECTION A-A  
SCALE :- 1:100



SECTION B-B  
SCALE :- 1:100



GARAGE RETAINING WALL DETAIL  
SCALE 1:20



GARAGE OVERHANGING GUTTER  
DETAIL A  
SCALE :- 1:10

SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER



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PROPOSED :- BRICK VENEER RESIDENCE  
FOR :  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 8	DRG. No.:- AC25-244	C

# ADVERTISED MATERIAL

Planning Application: T240724

Date Prepared: 05 January 2026

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**ELEVATION C**  
NORTH EAST ELEVATION  
SCALE :- 1:100

NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

BOUNDARY

NOTE:- 1800mm HIGH CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS TO BE STEPPED WITH GROUND LINE

NATURAL GROUND LINE

NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

**ELEVATION A**  
SOUTH WEST ELEVATION  
SCALE :- 1:100

NOTE:- FENCE RETURN WITH ACCESS GATE TO BE INSTALLED BY OWNER AFTER SETTLEMENT

NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

BOUNDARY

NOTE:- FENCE RETURN WITH ACCESS GATE TO BE INSTALLED BY OWNER AFTER SETTLEMENT

NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

BOUNDARY

NOTE:- FENCE RETURN WITH ACCESS GATE TO BE INSTALLED BY OWNER AFTER SETTLEMENT

NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

**ELEVATION D**  
NORTH WEST ELEVATION  
SCALE :- 1:100

NATURAL GROUND LINE

**ELEVATION B**  
SOUTH EAST ELEVATION  
SCALE :- 1:100

SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER

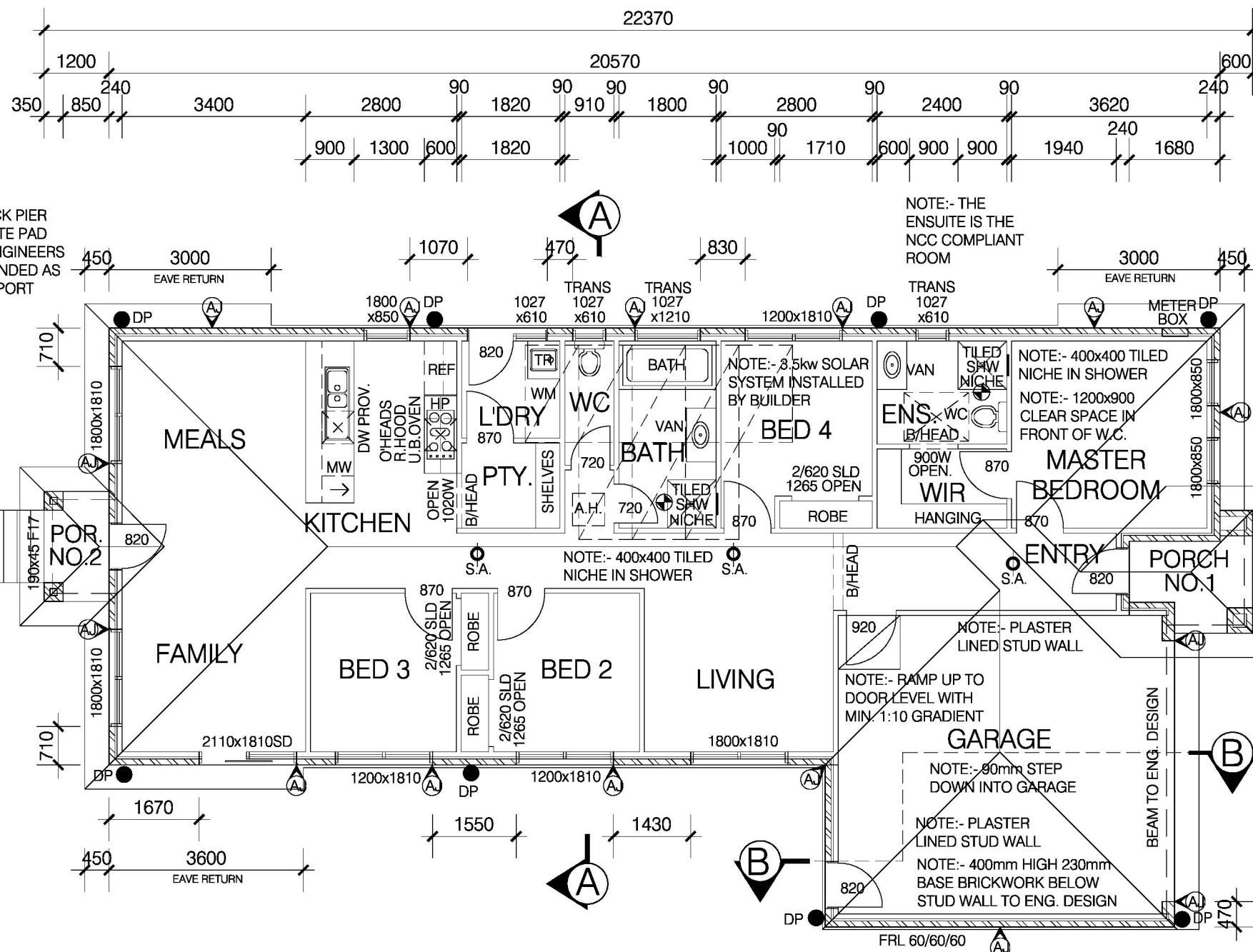
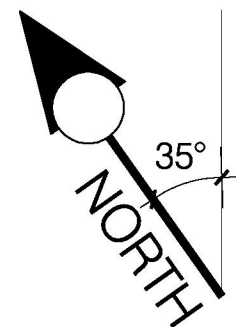


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PROPOSED :- BRICK VENEER RESIDENCE  
FOR [REDACTED]  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 7.1	DRG. No.:- AC25-244	C





LOCALLY FILL AROUND DOORWAYS  
TO AVOID THE NEED FOR STEPS  
AND GRADE SOIL AWAY FROM  
HOUSE AS REQUIRED

WC DOORS TO OPEN OUT OR  
HAVE REMOVABLE HINGES IF WC  
HAS LESS THAN 1200mm OF  
CLEARANCE FROM DOOR TO  
CLOSET PAN

100x100x6t  
GALVANIZED STEEL  
LINTEL WITH 115mm  
MIN. END BEARING  
TO PORCH

470x470 BRICK PIER  
ON CONCRETE PAD  
REFER TO ENGINEERS  
DESIGN FOUNDED AS  
PER SOIL REPORT

## FLOOR PLAN

SCALE :- 1:100

### AREA STATISTICS

FLOOR PLAN	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>

SHERWOOD 144 MOD.

DATE :-     /     /  
SIGNED BUILDER  
SIGNED OWNER



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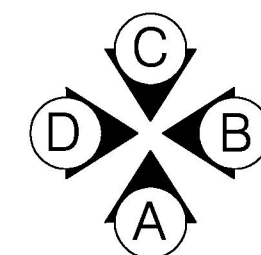


### ADVERTISED MATERIAL

Planning Application: T240724  
Date Prepared: 05 January 2026

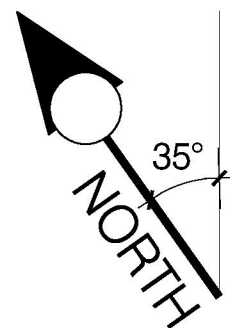
PROPOSED :- BRICK VENEER RESIDENCE  
FOR [REDACTED]  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025	B.P. No:- DBU-46723	ISSUE
SHEET No:- 4	DRG. No:- AC25-244	C



ELEVATION





PAKENHAM ROAD

SUNNY VISTA

LOT 102  
VACANT SITE  
AS OF 9/10/2025

28.00M (125°20')

NOTE:- 1800mm HIGH CAPPED  
TIMBER PALING FENCE WITH  
EXPOSED POSTS

NOTE:- FENCE RETURN AND ANY  
GATES MUST BE STAINED  
HARDWOOD WITH HORIZONTAL  
SLATS AND A MIN. OF 1.5M  
BEHIND FRONT OF DWELLING

NOTE:- RETAINING WALL  
UP TO 800mm HIGH  
ALONG BOUNDARY

NOTE:- RETAINING  
WALL UP TO 1000mm  
HIGH FOR FILL ONLY

LOT 103  
SITE AREA: 350.0 M<sup>2</sup>

NOTE:- FILL PADS OVER 300mm HIGH  
TO HAVE BATTERS AT 1:2 OR 30° MAX

PROPOSED  
RESIDENCE

FFL: 51.60 AHD

GARAGE

FFL: 51.51 AHD

NOTE:- 58.9 M<sup>2</sup>  
OF SECLUDED  
PRIVATE OPEN  
SPACE TO  
REAR

NOTE:- 37.6 M<sup>2</sup> OF S.P.O. SPACE

NOTE:- 1800mm HIGH CAPPED  
TIMBER PALING FENCE WITH  
EXPOSED POSTS

NOTE:- FENCE  
RETURNS WITH ACCESS  
GATES TO BE  
INSTALLED BY OWNER  
AFTER SETTLEMENT

NOTE:- FENCE RETURN AND  
ANY GATES MUST BE STAINED  
HARDWOOD WITH  
HORIZONTAL SLATS AND A  
MIN. OF 1.5M BEHIND FRONT  
OF DWELLING

28.00M (125°20')

LOT 104  
TEMPORARY  
SALES OFFICE

GRAVEL CARPARK

NOTE:- FIBRE OPTIC CABLING WILL BE  
MADE AVAILABLE TO THE DWELLING TO  
COMPLY WITH THE OPTICOMM GUIDELINES

NOTE:- THE LETTERBOX MUST COMPLIMENT THE  
HOUSE DESIGN AND EXTERNAL COLOUR SCHEME,  
MUST BE LOCATED ACCORDING TO AUSTRALIAN POST  
STANDARDS AND MUST CLEARLY DISPLAY THE STREET  
NUMBER OF THE HOUSE. (SINGLE POST SUPPORTED  
LETTERBOXES ARE NOT PERMITTED)

TBM:  
ELECTRICITY PIT  
R.L. 52.05

STORM WATER DRAINS:  
TO LEGAL POINT OF DISCHARGE  
TO COUNCIL REQUIREMENTS  
BUILDER TO VERIFY LPD  
PRIOR TO CONNECTION

EXCAVATE SITE TO R.L.: 51.20 AHD  
FINISHED SURFACE TO R.L.: 51.35 AHD

BATTERS ARE AT 45° U.N.O.  
CUT OFF DRAIN AT BASE OF EXCAVATION  
TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT  
BY OWNER OR CONTRACT VARIATION

ENGINEERED SLEEPER RETAINING WALL UP TO 800mm MAX. HIGH AND  
ENGINEERED SLEEPER RETAINING WALL UP TO 1000mm MAX. HIGH FOR FILL ONLY  
TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION  
ALLOW 5 KPa SURCHARGE ON BOUNDARY  
BY OWNER OR CONTRACT VARIATION

SITE PLAN

SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO  
THE AUSTRALIAN HEIGHT DATUM  
BASED ON PAKENHAM PM 72 (R.L. 38.318)

DIMENSIONS & LEVELS TO BE VERIFIED  
BY CERTIFIED COPY OF TITLE  
OR RELOCATION SURVEY  
OR APPROVED PLAN OF SUB-DIVISION

SCENIC RISE

Cardinia

ADVERTISED MATERIAL

Planning Application: T240724

Date Prepared: 05 January 2026

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NOTES

LEVELS ARE TO AN ARBITRARY DATUM  
AND CONTOURS ARE SHOWN ARE  
200mm INTERVALS

CONNECT ALL DOWN PIPES TO 90mm  
DIA. UPVC S.W.DRAINAGE SYSTEM OR  
TO STORM WATER SYSTEM AS  
DESIGNED BY ENGINEER AND  
DISCHARGE TO LEGAL POINT IN  
ACCORDANCE WITH LOCAL COUNCIL  
REQUIREMENTS

INSPECTION OPENINGS TO BE  
PROVIDED AT CHANGES IN DIRECTION  
AND FOR LENGTHS GREATER THAN 20M  
RESIDENCE FINISHED FLOOR LEVEL TO  
BE NOT LESS THAN 150mm ABOVE  
FINISHED GROUND LEVEL: REFER TO  
SITE PLAN

PROVIDE AGGY DRAINS CONNECTED  
TO SILT PITS AT BASE OF BATTERS.  
AGGY DRAINS CONNECTED TO STORM  
WATER SYSTEM VIA SILT PITS

A5. RESCODE  
SITE COVERAGE STATISTICS

SITE AREA	350.0 M <sup>2</sup>
RESIDENCE	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>
TOTAL SITE COVER	187.4 M <sup>2</sup>
SITE COVER RATIO	54% (0.535)
DRIVE WAY	22.0 M <sup>2</sup>
OTHER PAVED AREAS	4.0 M <sup>2</sup>
TOTAL HARD COVER	213.4 M <sup>2</sup>
HARD COVER RATIO	61% (0.609)

NOTE: 20 % TO BE PERMEABLE  
ie NOT COVERED

DRAINAGE REQUIREMENTS

A/ ALL SURFACE DRAINAGE WORKS SHALL BE  
INSTALLED IN ACCORDANCE WITH THE ENGINEERS  
DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM  
AND SOIL CLASSIFICATION AND IN ACCORDANCE  
WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF  
AS2870.2011, WHEREIN FOR BUILDINGS ON  
MODERATELY, HIGHLY AND REACTIVE SITES:

- SURFACE DRAINAGE SHALL BE CONTROLLED  
THROUGHOUT CONSTRUCTION AND BE COMPLETED  
BY THE FINISH OF CONSTRUCTION

- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM  
THE BUILDING

- WHERE PIPES PASS UNDER THE FOOTING  
SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT  
THE INGRESS OF WATER

B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES.  
THE DRAINER SHALL PROVIDE DRAINAGE  
ARTICULATION TO ALL STORMWATER, SANITARY  
PLUMBING AND DISCHARGE PIPES IN ACCORDANCE  
WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS,  
WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE  
THE FOOTING AND COMMENCING WITHIN 1.0M OF  
THE BUILDING PERIMETER ARE REQUIRED TO  
ACCOMMODATE THE REQUIRED DIFFERENTIAL  
MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM  
THE DWELLING AND GRADED AWAY FROM ALL  
FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN  
50mm OVER THE FIRST 1000mm FROM THE  
DWELLING.

D/ SUBSURFACE DRAINS TO REMOVE GROUND OR  
TABLE WATER SHALL BE DETAILED BY THE DESIGN  
ENGINEER. FURTHERMORE, DAMP-PROOFING  
MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE  
INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE  
SOILS.

SHERWOOD 144 MOD.

DATE :-     /     /  
SIGNED BUILDER  
SIGNED OWNER



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PROPOSED :- BRICK VENEER RESIDENCE

FOR :-

LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025

B.P. No.:- DBU-46723

ISSUE

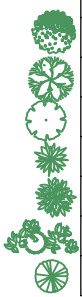
SHEET No.:- 3

DRG. No.:- AC25-244

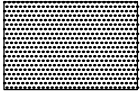
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PLANT SCHEDULE



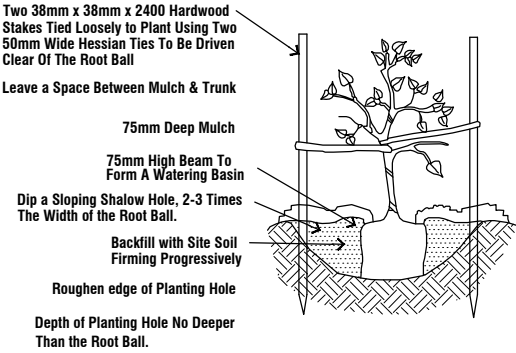
TYPE	BOTANICAL NAME	COMMON NAME	HT.	WIDTH	FLOWER COLOR	SEASON	SIZE	Qty.
Tree	Eucalyptus alata	River Peppermint	20m	10m	-	-	45Lt	2
Tree	Prostanthera lasianthos	Victorian Christmas Bush	8m	5m	White	-	1.5m	2
Small Tree	Pimelea humilis	Common Rice-flower	0.5m	1m	-	-	150 tub	19
Plant	Brachyscome multifida	Cut-leaf Daisy	0.6m	0.4m	Pink-mauve	-	100 tub	15
Plant	Platylobium formosum	Handsome Flat-pea	1.0m	1.0m	Yellow	-	1.0m	13
Plant	Tetratheca ciliata	Pink-bells	0.6m	0.6m	Pink-mauve	-	100 tub	18
Plant	Pultenaea scabra	Rough Bush-pea	1m	0.5m	Orange	-	150 tub	10



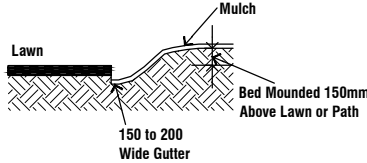
MULCHED GARDEN BED  
Min. 125mm Top Soil &  
Min. 75mm Fine Shredded  
Fine Wood Mulch

PLANTING NOTES:

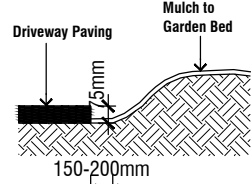
- 1.PLANTS ARE TO BE PLACED IN THE CENTRE OF THE HOLE
- 2.PLANTS MUST BE SET AT A LEVEL SUCH THAT THE CROWN OF THE PLANTS ESTABLISH A NORMAL & NATURAL RELATIONSHIP WITH THE SURROUNDING LEVELS
- 3.AFTER REMOVAL FROM CONTAINER THE HANDLING OF THE ROOT SYSTEM MUST BE DONE WITH MINIMUM ROOT DISTURBANCE PARTICULARLY AUSTRALIAN NATIVES
- 4.PLANTS MUST BE HEALTHY & PLANT ROOT SYSTEM MUST BE MOIST AT THE TIME OF PLANTING. PLANTS MUST BE WATERED WITH APPROX. -10 LITRES OF WATER AT TIME OF PLANTING.
- 5.PLANTS EXCEEDING 200MM POT SIZE SHALL BE STAKED AGAINST PREVAILING WINDS.
- 6.ALL PLANTS SHALL RECEIVE SLOW RELEASE FERTILIZER AT A QUANTITY RELATIVE TO THE POT SIZE.



ADVANCED TREE PLANTING DETAIL



LAWN TO GERDEN BED DETAIL

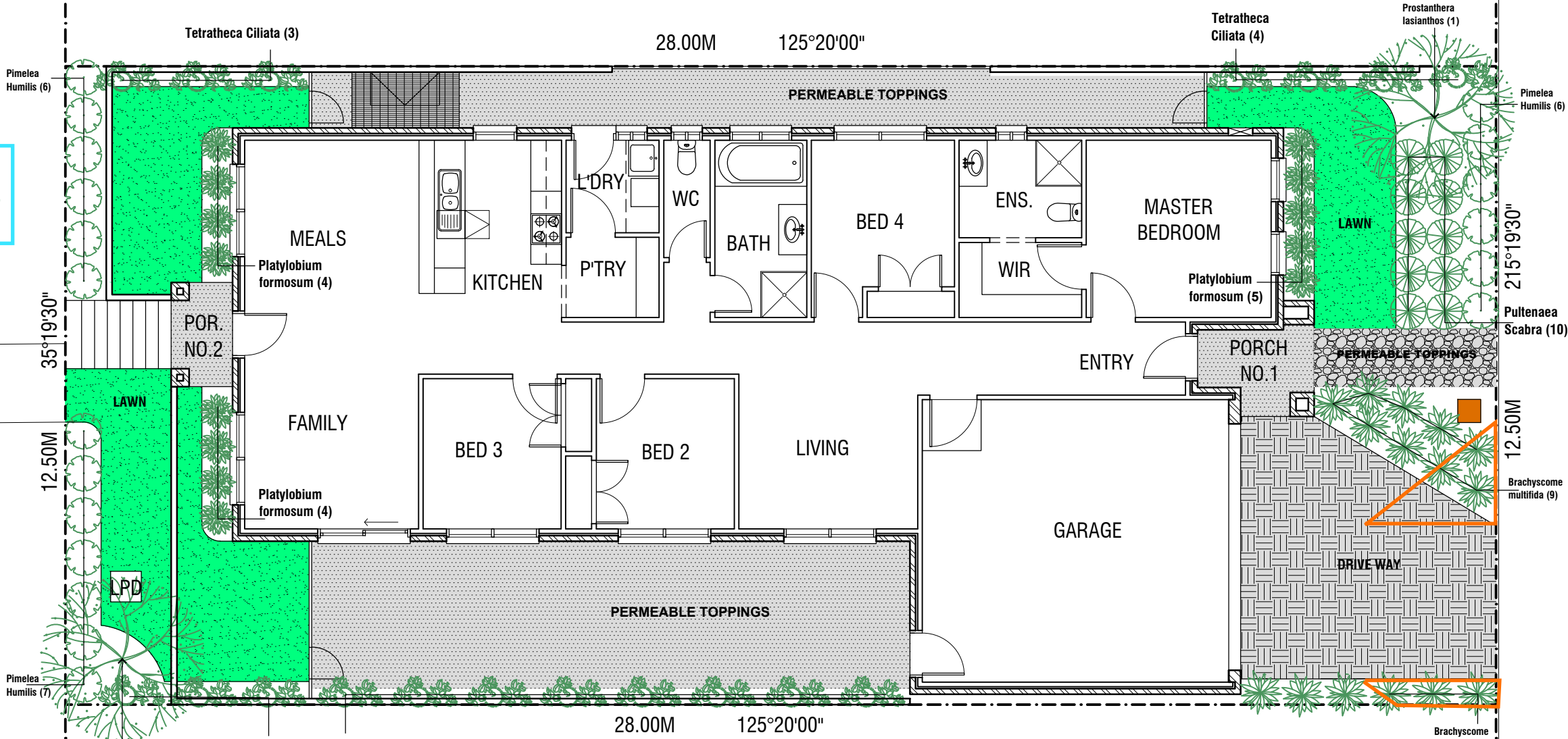


PAVING TO GERDEN BED DETAIL

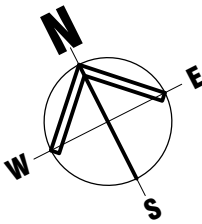
Corner splay minimum 50% clear of visual obstructions extending at least 2m along the frontage road & 2.5m along exit lane. Landscaping within corner splay must be kept to a maximum height of 600mm

Before the development including demolition starts, a tree protection fence must be erected around the existing street trees to be retained outside the canopy zone of the tree to define a "Tree Protection Area". The fence must be constructed of star pickets and chain mesh or similar to the satisfaction of the Responsible Authority and remain in place until construction is completed. No vehicular or pedestrian access, trenching or soil excavation is to occur within the Tree Protection Area without the written consent of the Responsible Authority. No storage or dumping of tools, equipment or waste is to occur within the Tree Protection Area. Any pruning that is required to be done to the canopy or roots of any tree to be retained is to be done with permission by Council's Arborist by a qualified arborist to Australian Standard – Pruning of Amenity Trees AS4373-2007.

LOT 102



LOT 104

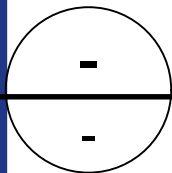


SCALE 1:100 A3 SIZE



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Planning Application: T240724  
Date Prepared: 05 January 2026



LANDSCAPE PLAN

SCALE 1:100

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1	PRELIMINARY ISSUE	25-11-2025
No.	Issue / Amendments	Date

Project	PLAN REF: 103 PAKENHAM REFERENCE NO: AC25-244 VERSION NO: 1 DATE: 26/11/2025	Scale	470 x 420	Project Number	XXX
Designed	XXX	Drawn	XXX	Drawing No.	A07
				Amendment / Issue	XXX