

# Notice of Application for a Planning Permit



The land affected by the application is located at:	L103 PS848743 V12580 F393 128 Pakenham Road, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a building or construct or carry out works
42.01-2	Construct a fence

## APPLICATION DETAILS

The applicant for the permit is:	FRENKEN HOMES PTY LTD
Application number:	T250724

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

This can be done during office hours and is free of charge.

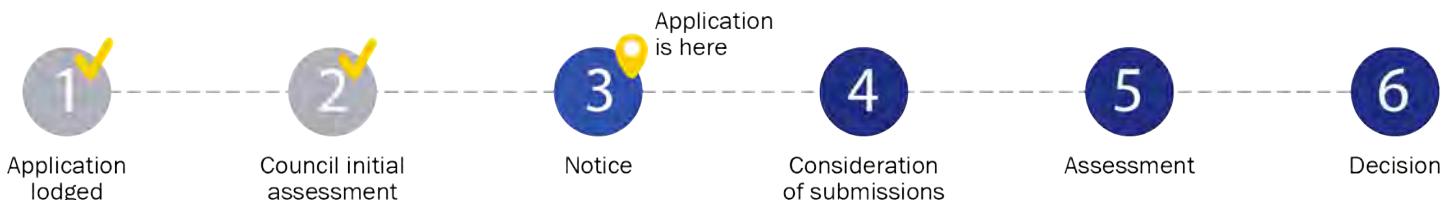
Documents can also be viewed on Council's website at [cardinia.vic.gov.au/advertisedplans](http://cardinia.vic.gov.au/advertisedplans) or by scanning the QR code.



## HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	<b>21 January 2026</b>
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WHAT ARE MY OPTIONS?	An objection must:	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.
Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.  If you object, the Responsible Authority will notify you of the decision when it is issued.	<ul style="list-style-type: none"><li>be made to the Responsible Authority in writing;</li><li>include the reasons for the objection; and</li><li>state how the objector would be affected.</li></ul>	





## ePlanning

### Application Summary

Portal Reference

A42553U0

### Basic Information

## Proposed Use

CONSTRUCTION OF NEW SINGLE STOREY DWELLING WITH GARAGE & FENCING ON LAND SUBJECT TO AN ENVIRONMENTAL PROTECTION OVERLAY CLAUSE 42.01-2 A PERMIT IS REQUIRED TO CONSTRUCT A FENCE Design Guidelines have been complied with as design approval has been obtained. We have satisfied their requirements including casual surveillance, building setbacks, water saving options and design including variety, articulation, colours, materials, textures, roof design, car accommodation, height restrictions and site coverage. DAP approval and stamped plans uploaded Covenant PS848743W Restriction A &gt; Copy of building plans, elevation, roof and site plans incorporating setbacks from all boundaries, existing contours, proposed FFL and site levels, proposed driveway / paths, fencing, landscaping and external materials and colours have been submitted to the DAP for approval and approval has been obtained from the Design Assessment Panel. Restriction B &gt; No party walls exist. Section 173 Agreement AX385769] There is no vegetation on the land apart from grass / weeds which the owner will maintain along with any future installed landscaping. Developer design approval has been obtained. The owner is obliged to comply with all things necessary as per the agreement. Owner is happy with plans as is, including size of all rooms, and has signed off on them. No outbuildings to note.

## Current Use

VACANT

## Cost of Works

\$338,926

## Site Address

128 Pakenham Road Pakenham 3810

### Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?  No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

### Contacts

Type	Name	Address	Contact Details
Applicant	FRENKEN HOMES PTY LTD	194 SLADEN STREET, CRANBOURNE VIC 3977	W: 03-5995-1655 E: assist@frenkenhomes.com.au
Owner			
Preferred Contact	FRENKEN HOMES PTY LTD	194 SLADEN STREET, CRANBOURNE VIC 3977	W: 03-5995-1655 E: assist@frenkenhomes.com.au

### Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4      More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
<b>Total</b>			<b>\$1,462.50</b>



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Burton Road, Pakenham, Victoria



**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810  
**Email:** mail@cardinia.vic.gov.au



**Monday to Friday 8.30am–5pm**  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

## Documents Uploaded

Date	Type	Filename
28-11-2025	A Copy of Title	TITLE.pdf
28-11-2025	Encumbrance	POS CURRENT OCT 2025.pdf
28-11-2025	Encumbrance	AX385769J.pdf
28-11-2025	Site plans	103 PAKENHAM SITE PLAN.pdf
28-11-2025	A proposed floor plan	103 PAKENHAM FLOOR PLAN.pdf
28-11-2025	Proposed elevation plan	103 PAKENHAM ELEVATIONS.pdf
28-11-2025	Overlay Requirements	ESO 42.01-s4.pdf
28-11-2025	Additional Document	103 PAKENHAM EARTHWORK PLAN.pdf
28-11-2025	Additional Document	103 PAKENHAM FENCING PLANS.pdf
28-11-2025	Additional Document	DA APPROVAL.pdf
28-11-2025	Additional Document	LANDSCAPE PLAN V1.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	[REDACTED]	194 SLADEN STREET, Cranbourne VIC 3977	W: 03-5995-1655
	[REDACTED]	FRENKEN HOMES PTY LTD	E: assist@frenkenhomes.com.au

Submission Date 28 November 2025 - 10:20:AM

## Declaration

By ticking this checkbox, I [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.

 **Civic Centre**  
20 Siding Avenue, Officer, Victoria  
  
**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810  
  
**Email:** mail@cardinia.vic.gov.au

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**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

  
**ADVERTISED MATERIAL**  
Planning Application: T240724  
Date Prepared: 05 January 2026

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**Phone:** 1300 787 624  
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**Fax:** 03 5941 3784

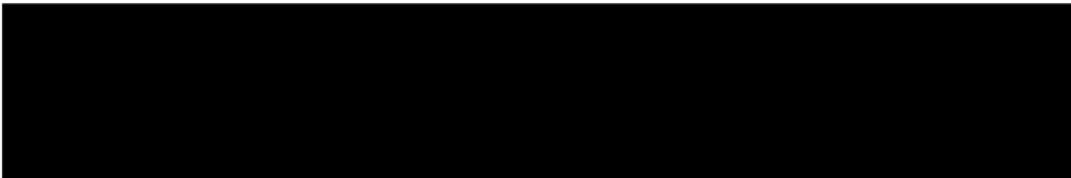
**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 12580 FOLIO 393

Security no : 124130293192T  
Produced 27/11/2025 03:52 PM**LAND DESCRIPTION**

Lot 103 on Plan of Subdivision 848743W.  
PARENT TITLE Volume 12330 Folio 801  
Created by instrument PS848743W 31/10/2024

**REGISTERED PROPRIETOR**  
**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T240724  
Date Prepared: 05 January 2026

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**ENCUMBRANCES, CAVEATS AND NOTICES**  
COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AX385769J 25/10/2023

**DIAGRAM LOCATION**

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NUMBER		STATUS	DATE
AZ780508T (E)	DISCHARGE OF MORTGAGE	Registered	06/11/2025
AZ780509R (E)	TRANSFER	Registered	06/11/2025
AZ780510H (E)	MORTGAGE	Registered	06/11/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 128 PAKENHAM ROAD PAKENHAM VIC 3810

**ADMINISTRATIVE NOTICES**

NIL

  
DOCUMENT END

Title 12580/393

Page 1 of 1



# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 20/11/2024 12:03:49 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

### Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

## APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
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### Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

### Estate and/or Interest

FEE SIMPLE

### Land Title Reference

12330/800

12330/801

### Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173  
Planning & Environment Act - section 173

### Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC





# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

Postcode 3809

### Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of

Signer Name

Signer Organisation

Signer Role

Execution Date

CARDINIA SHIRE COUNCIL

DYE & DURHAM LEGAL PTY LTD

AUSTRALIAN LEGAL PRACTITIONER

25 OCTOBER 2023

### File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



# Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	<b>Instrument</b>
Document Identification	<b>AX385769J</b>
Number of Pages (excluding this cover sheet)	<b>17</b>
Document Assembled	<b>20/11/2024 12:03</b>

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The document is invalid if this cover sheet is removed or altered.





## Deed of Agreement

Under s173 of the  
*Planning and Environment Act 1987*

Cardinia Shire Council

and

**BNG (Pakenham) Pty Ltd (ACN 640125686)**



Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 447 Collins Street, Melbourne VIC 3000 Australia  
PO Box 3, Collins Street West VIC 3007 Australia  
DX 564 Melbourne

Telephone +61 3 8644 3500  
Facsimile +300 365 323 (Australia) +61 3 9034 3257 (International)  
hwlebsworth.com.au

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## Deed of Agreement

Date 06/10/2023

Parties	<b>Cardinia Shire Council</b> of 20 Siding Avenue, Officer 3809  (Council)
<b>BNG (PAKENHAM) PTY LTD (ACN 640125686)</b> of Level 5, 991 Whitehorse Road, Box Hill VIC 3128  (Owner)	

Recitals	<p>A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.</p> <p>B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.</p> <p>C. On 19 December 2017 Council issued Planning Permit No. T160690 (<b>Planning Permit</b>), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.</p> <p>D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (<b>Amended Planning Permit</b>).</p> <p>E. Condition 41 of the Amended Planning Permit provides that:</p>
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*Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:*

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*



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plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

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This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

## 1. Definitions and interpretation clauses

---

### 1.1 Definitions

In this deed the following definitions apply:

**Act** means the *Planning and Environment Act 1987* (Vic).

**Agreement** means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

**Building Design Guidelines** means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

<b>Building Envelopes</b>	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
<b>Building Envelope Plan</b>	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
<b>Business Day</b>	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
<b>Claim</b>	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
<b>Council</b>	means Cardinia Shire Council in its capacity as responsible authority.
<b>Development</b>	means the buildings and works authorised under the Planning Permit.
<b>Endorsed Plans</b>	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
<b>Loss</b>	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
<b>Owner</b>	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
<b>Party or Parties</b>	means the Owner and Council under this Agreement as appropriate.
<b>Planning Permit</b>	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

<b>Planning Scheme</b>	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
<b>Plantation Reserve</b>	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
<b>Subject Land</b>	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
<b>VCAT</b>	means the Victorian Civil and Administrative Tribunal.
<b>Vegetation Plan</b>	means the vegetation plan attached at Schedule 2..

## 1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
  - (ii) A reference to a gender includes a reference to each other gender.
  - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
  - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
  - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
  - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
  - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
  - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.



- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
- (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
  - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

## 2. Owner's obligations

---

### 2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

### 2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at its own cost; and
- (c) in accordance with the Vegetation Plan.

### 2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

### 2.4 Building Design Guidelines

  
Cardinia Shire Council  
Building Design Guidelines  
Planning Application: T240724  
Date Prepared: 05 January 2026  
Set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge that you have read and understood the conditions of use.  
The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

## 3. Further obligations

---

### 3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

### 3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

### 3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

### 3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

### 3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

### 3.6 Covenants run with the Subject Land

**The Owner's obligation** in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

Planning Application: T240724  
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## 4. Agreement under Section 173 of the Act

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Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

## 5. Owner's warranties

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Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

## 6. Successors in title

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### 6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

## 7. Notices

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### 7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

**Time of service**  
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A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

## 8. Miscellaneous

### 8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

### 8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

### 8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

### 8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

### 8.5 No fettering of Council's powers

#### ADVERTISED MATERIAL

Planning Application: T240724  
Date Received: 05 January 2024  
This document is an advertisement for the above planning application. It is not a formal planning document and should not be relied upon for any other purpose. By taking a copy of this document you acknowledge that you have read and understood the terms and conditions of the application and that you are not relying on this document for any other purpose. The application is subject to the relevant planning laws and regulations and the decision will be made by the planning committee or the planning officer.

It is acknowledged and agreed that this Agreement does not fetter or restrict the power of discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

### 8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

### 8.7 **Severability**

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

### 8.8 **Proper law**

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

### 8.9 **Counterparts**

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.



## Schedule

### Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd )  
ACN 006 461 356 in accordance with s 127(1) of the )  
Corporations Act 2001:



.....  
Print full name

.....  
Print full name



HWL  
EBSWORTH  
1300 366 000

Executed as a deed

**Signed, sealed and delivered as a deed by  
the parties**

Signed sealed and delivered [REDACTED]

[REDACTED]

**Signature of witness**

The execution of this document has been witnessed by me  
in accordance with the requirements for witnessing by  
audio-visual link under section 12 of the Electronic  
Transactions (Victoria) Act 2000.  
(Strike out if inapplicable)

[REDACTED]  
.....  
**Name of witness**  
(BLOCK LETTERS)

  
**Cardinia**  
**ADVERTISED MATERIAL**

Planning Application: T240724  
Date Prepared: 05 January 2026

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**Executed by BNG (PAKENHAM) PTY LTD  
(ACN 640125686) in accordance with  
section 127 of the *Corporations Act 2001* (Cth)  
by:**

[REDACTED]

Full name (print)

Full name (print)

## Schedule 1

### Building Envelope Plan





## Schedule 2

### Vegetation Plan





# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>PS848743W</b>
Number of Pages (excluding this cover sheet)	<b>4</b>
Document Assembled	<b>14/10/2025 12:45</b>

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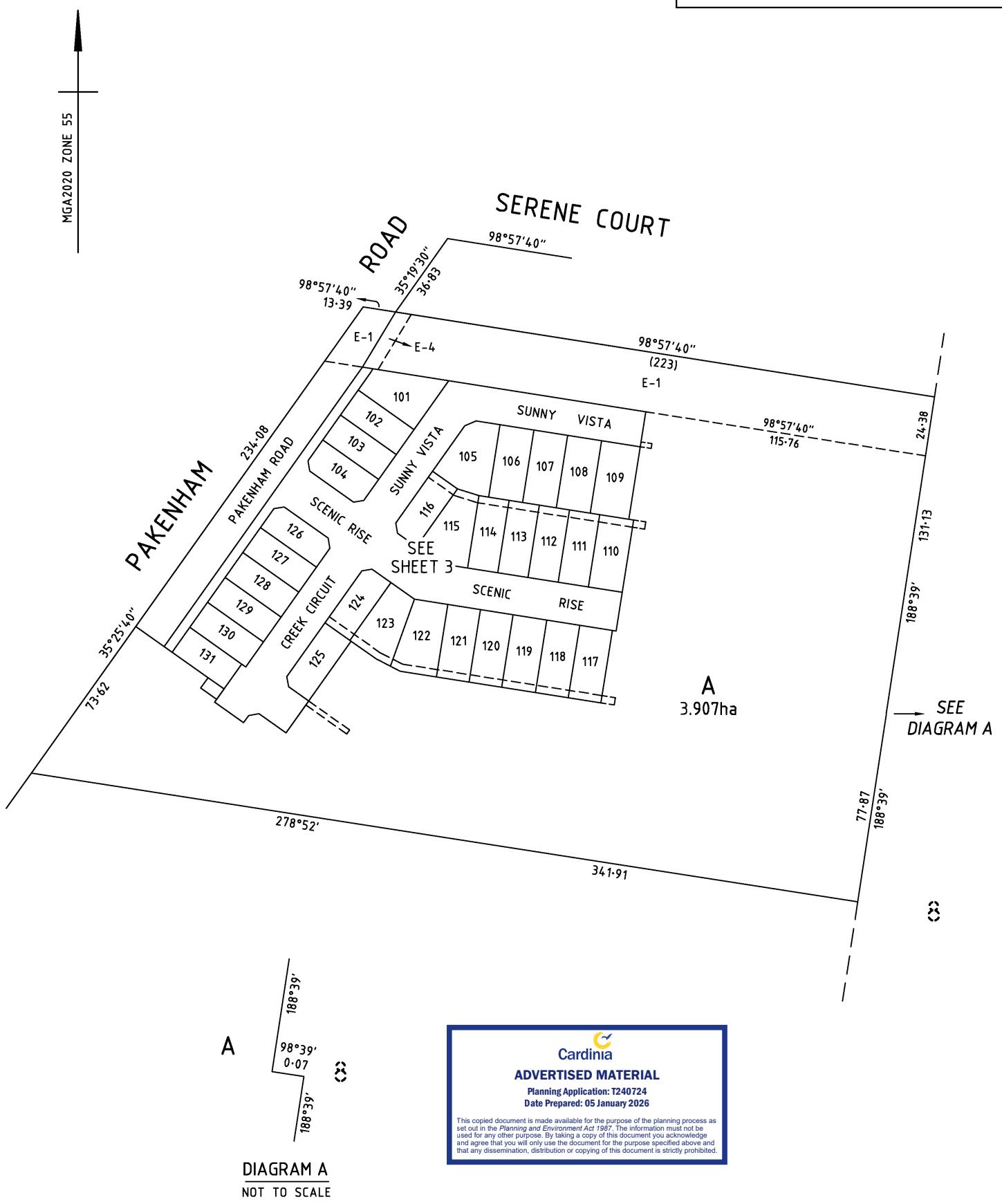
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<b>PLAN OF SUBDIVISION</b>		EDITION 1	<b>PS848743W</b>	
<b>LOCATION OF LAND</b>		<p>Council Name: Cardinia Shire Council            Council Reference Number: S21-146            Planning Permit Reference: T160690-2            SPEAR Reference Number: S182115M</p> <p><b>Certification</b>            This plan is certified under section 11 (7) of the Subdivision Act 1988            Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023            Public Open Space            A requirement for public open space under section 18 or 18A of the Subdivision Act 1988            has been made and the requirement has not been satisfied at Certification</p> <p>Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024  <b>Statement of Compliance</b> issued: 28/10/2024            Public Open Space            A requirement for public open space under section 18 or 18A of the Subdivision Act 1988            has been made and the requirement has been satisfied at Statement of Compliance</p>		
<b>TITLE REFERENCE:</b> VOL. 12230 FOL. 801				
<b>LAST PLAN REFERENCE:</b> LP6710 (LOT 3)				
<b>POSTAL ADDRESS:</b> (at time of subdivision) <b>MGA CO-ORDINATES:</b> (of approx centre of land in plan)		<b>110 PAKENHAM ROAD</b> <b>PAKENHAM 3810</b> E: 366 250 ZONE: 55 N: 5 786 580 GDA 2020		
<b>VESTING OF ROADS AND/OR RESERVES</b>		<b>NOTATIONS</b>		
IDENTIFIER	COUNCIL/BODY/PERSON ROAD R1 CARDINIA SHIRE COUNCIL ROAD R2 HEAD TRANSPORT FOR VICTORIA RESERVE No.1 AUSNET ELECTRICITY SERVICES PTY LTD			
LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.  LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4.  WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958				
<b>NOTATIONS</b>				
<b>DEPTH LIMITATION: DOES NOT APPLY</b>  This is a SPEAR plan. <b>STAGING:</b> This is not a staged subdivision. Planning Permit No. T160690 <b>SURVEY:</b> This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675				
Estate: The Rise - Pakenham Phase No.: 01 No. of Lots: 31 + Lot A PHASE AREA: 2.142ha				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4	PIPELINE	24.38	INST. D613929	VICTORIA PIPELINES COMMISSION
E-2	DRAINAGE	3	THIS PLAN	CARDINIA SHIRE COUNCIL
E-2, E-3	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	THIS PLAN	SOUTH EAST WATER CORPORATION
 <b>Beveridge Williams</b> development & environment consultants Melbourne ph : 03 9524 8888 <a href="http://www.beveridgewilliams.com.au">www.beveridgewilliams.com.au</a>		SURVEYORS FILE REF: 2000490/01 2000490-01-PS-V11.DWG		ORIGINAL SHEET SIZE: A3
		Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M		Land Use Victoria Plan Registered 02:18 PM 31/10/2024 Assistant Registrar of Titles

PS848743W



PS848743W

SEE SHEET 2

MGA2020 ZONE 55



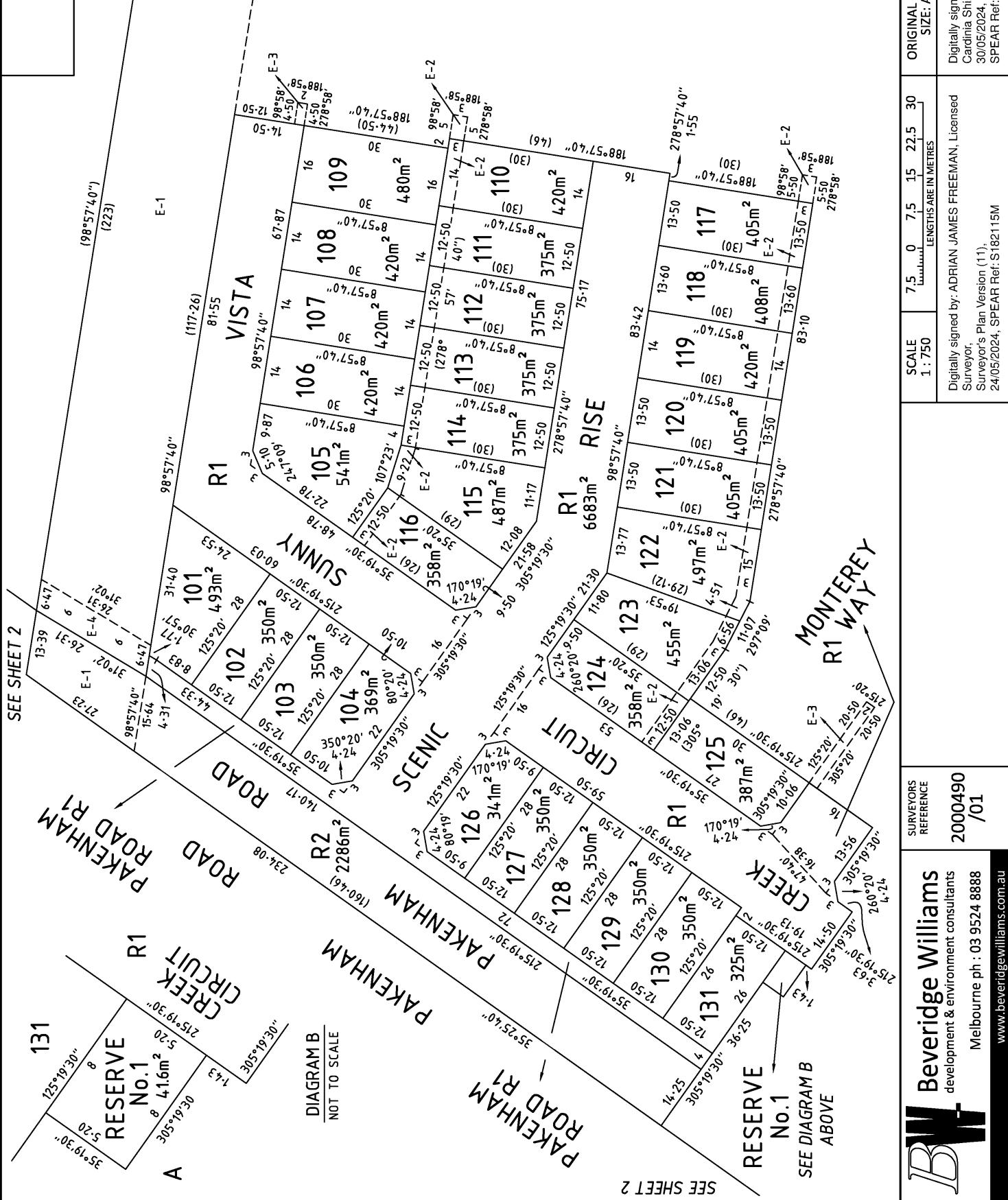
ADVERTISED MATERIAL

Planning Application: T24072

Date Prepared: 05 January 2022

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4



## SUBDIVISION ACT 1988

### CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

#### LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

#### DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

#### VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

#### EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

## CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

#### LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

#### DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

#### EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

 Cardinia

#### ADVERTISED MATERIAL

Planning Application: T240724

Date Prepared: 05 January 2026

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Our Reference: 2000490

27 November 2025

Applicant [REDACTED]

**Company/Builder:** FRENKEN HOMES PTY LTD  
**Email:** [assist@frenkenhomes.com.au](mailto:assist@frenkenhomes.com.au)



**ADVERTISED MATERIAL**

Planning Application: T240724

Date Prepared: 05 January 2026

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ACN 006 197 235  
ABN 38 006 197 235

Melbourne Office  
1 Glenferrie Road  
PO Box 61  
Malvern VIC 3144  
Tel: (03) 9524 8888

Dear Sir/Madam,

**RE: Lot 103 Pakenham Road, Pakenham  
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

[beveridgewilliams.com.au](http://beveridgewilliams.com.au)

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. **Please refer to any other conditions noted on the plans and ensure they are suitably addressed.**

**Please note:**

- All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.
- Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.
- Any lot under 300m<sup>2</sup> in size, requires a planning permit for being under 300m<sup>2</sup> in addition to the ESO planning permit. Front setbacks less than 4m are subject to further council approval.
- If you require planning services or further information, please contact Andrea Bouilly [bouillya@bevwill.com.au](mailto:bouillya@bevwill.com.au) or on 0407 050 624
- There are no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.
- Due to planning permit requirements, Gas appliances may not be able to be installed, further Council clarification is required.

Should you have any queries, please contact the undersigned on 9524 8888 or via email [planlodgement@bevwill.com.au](mailto:planlodgement@bevwill.com.au). All new submissions, re-submissions, amendment submissions or supplemental submissions, please use [www.portal.beveridgewilliams.com.au](http://www.portal.beveridgewilliams.com.au)

Kind Regards,

Design Approvals Coordinator  
BEVERIDGE WILLIAMS

**LOT 103 PAKENHAM ROAD, PAKENHAM**  
**COLOUR SAMPLES**

**BRICKS – AUSTRAL ASH**



**ROOF TILES – BRISTILE LATE MIST CLASSIC**



**WINDOWS & METERBOX – SURFMIST**



**FASCIA, GUTTER, DOWNPipes – SURFMIST**



**RENDER, TIMBER INFILL TO PORTICO & LETTERBOX – SURFMIST**



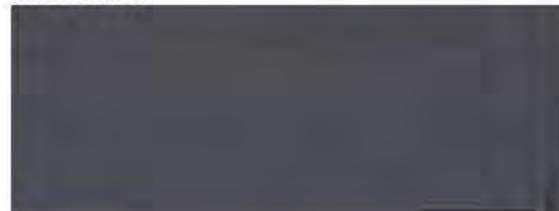
**GARAGE DOOR COLOUR – SURFMIST**



**FRONT DOOR COLOUR – SURFMIST**



**DRIVEWAY – COLOUR THROUGH CONCRETE – BLUESTONE**



**ADVERTISED MATERIAL**

Planning Application: T240724  
Date Prepared: 05 January 2026

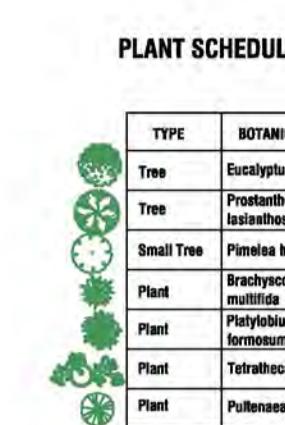
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**DESIGN ASSESSMENT PANEL**

**PLAN APPROVAL DATE: 27.11.2025**

**REVIEWED BY** [REDACTED]

**BW**



## PLANT SCHEDULE

TYPE	BOTANICAL NAME	COMMON NAME	HT.	WIDTH	FLOWER COLOR	SEASON	SIZE	Qty.
Tree	Eucalyptus alata	River Peppermint	20m	10m	-	-	45L1	2
Tree	Prostanthera lasianthos	Victorian Christmas Bush	8m	5m	White	-	1.5m	2
Small Tree	Pimelea humilis	Common Rice-flower	0.5m	1m	-	-	150 tub	19
Plant	Brachyscome multifida	Cut-leaf Daisy	0.6m	0.4m	Pink-mauve	-	100 tub	15
Plant	Platyllobium formosum	Handsome Flat-pea	1.0m	1.0m	Yellow	-	1.0m	13
Plant	Tetrahiteca ciliata	Pink-bells	0.6m	0.6m	Pink-mauve	-	100 tub	18
Plant	Pultenaea scabra	Rough Bush-pea	1m	0.5m	Orange	-	150 tub	10

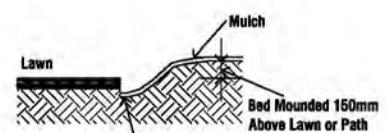


## PLANTING NOTES:

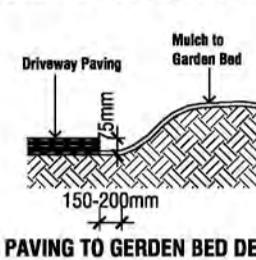
- PLANTS ARE TO BE PLACED IN THE CENTRE OF THE HOLE
- PLANTS MUST BE SET AT A LEVEL SUCH THAT THE CROWN OF THE PLANTS ESTABLISH A NORMAL & NATURAL RELATIONSHIP WITH THE SURROUNDING LEVELS
- AFTER REMOVAL FROM CONTAINER THE HANDLING OF THE ROOT SYSTEM MUST BE DONE WITH MINIMUM ROOT DISTURBANCE PARTICULARLY AUSTRALIAN NATIVES
- PLANTS MUST BE HEALTHY & PLANT ROOT SYSTEM MUST BE MOIST AT THE TIME OF PLANTING. PLANTS MUST BE WATERED WITH APPROX. -10 LITRES OF WATER AT TIME OF PLANTING.
- PLANTS EXCEEDING 200MM POT SIZE SHALL BE STAKED AGAINST PREVAILING WINDS.
- ALL PLANTS SHALL RECEIVE SLOW RELEASE FERTILIZER AT A QUANTITY RELATIVE TO THE POT SIZE.



## ADVANCED TREE PLANTING DETAIL



## LAWN TO GARDEN BED DETAIL



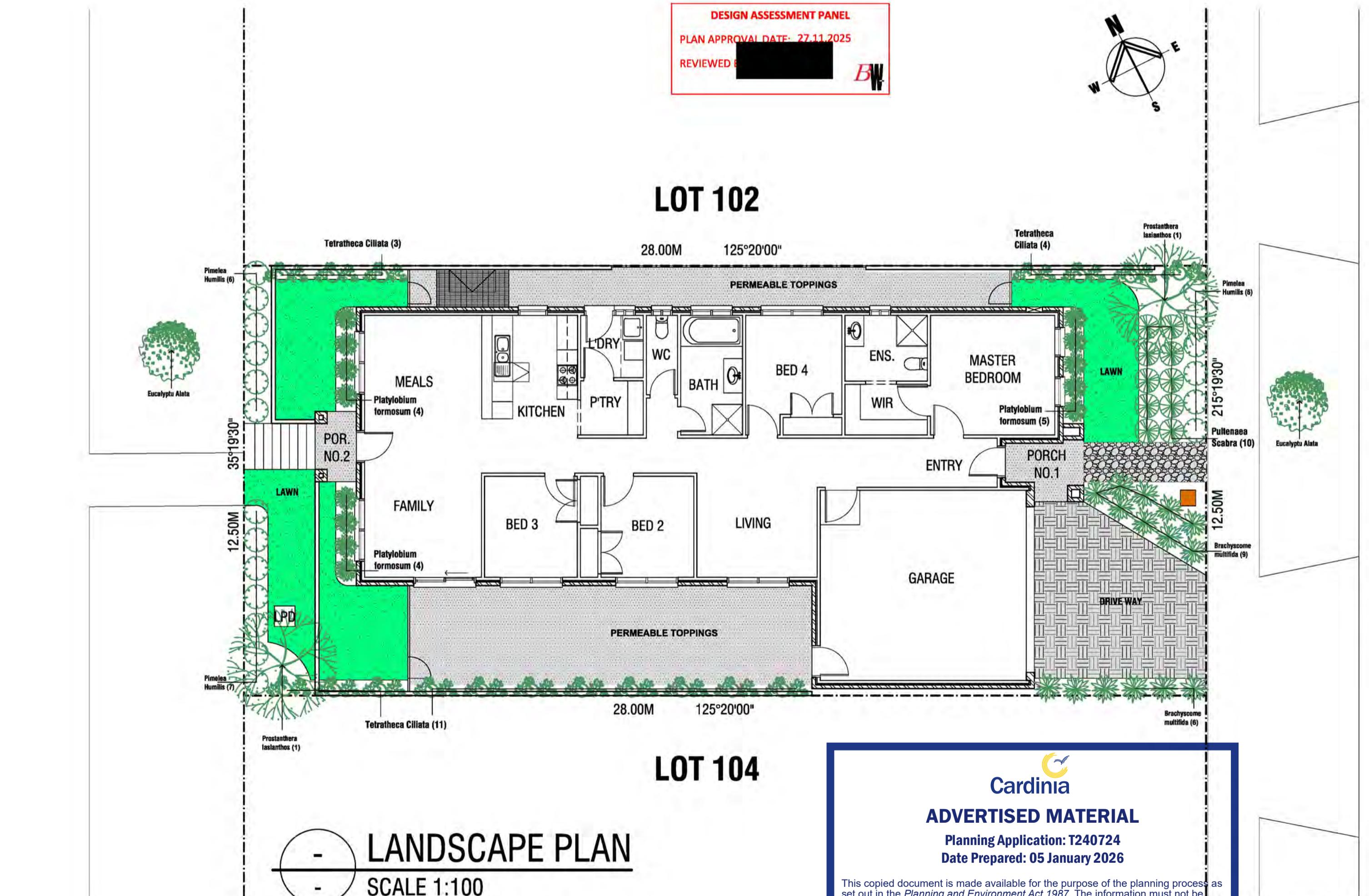
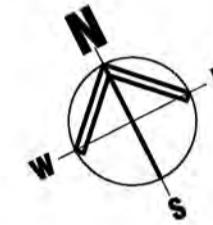
## PAVING TO GARDEN BED DETAIL

## DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 27.11.2025

REVIEWED BY: [REDACTED]

B



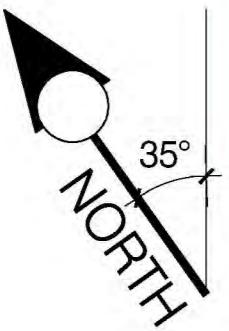
## LOT 104

 **Cardinia**  
ADVERTISED MATERIAL

Planning Application: T240724  
Date Prepared: 05 January 2026

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SCALE 1:100 A3 SIZE



DESIGN ASSESSMENT PANEL  
PLAN APPROVAL DATE: 27.11.2025  
REVIEWED BY [REDACTED] **BW**

**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T240724  
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STORM WATER DRAINS:  
TO LEGAL POINT OF DISCHARGE  
TO COUNCIL REQUIREMENTS  
BUILDER TO VERIFY LPD  
PRIOR TO CONNECTION

EXCAVATE SITE TO R.L.: 51.20 AHD  
FINISHED SURFACE TO R.L.: 51.35 AHD

BATTERS ARE AT 45° U.N.O.  
CUT OFF DRAIN AT BASE OF EXCAVATION  
TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT  
BY OWNER OR CONTRACT VARIATION

ENGINEERED SLEEPER RETAINING WALL UP TO 800mm MAX. HIGH AND  
ENGINEERED SLEEPER RETAINING WALL UP TO 1000mm MAX. HIGH FOR FILL ONLY  
TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION  
ALLOW 5 KPa SURCHARGE ON BOUNDARY  
BY OWNER OR CONTRACT VARIATION

## SITE PLAN

SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO  
THE AUSTRALIAN HEIGHT DATUM  
BASED ON PAKENHAM PM 72 (R.L. 38.318)

DIMENSIONS & LEVELS TO BE VERIFIED  
BY CERTIFIED COPY OF TITLE  
OR RELOCATION SURVEY  
OR APPROVED PLAN OF SUB-DIVISION

DENOTES: INTERLOT FENCING TO BE CONSTRUCTED OF 1.8M HIGH  
TIMBER PALINGS, LAPPED & CAPPED WITH EXPOSED TIMBER POSTS  
TERMINATING 1.5M FROM FRONT BUILDING LINE

DENOTES: RETURN FENCE  
RETURN FENCE & ANY GATES MUST BE STAINED HARDWOOD  
WITH HORIZONTAL SLATS MIN 1.5M BEHIND FRONT OF  
DWELLING

## SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER

**DEVELOPER CONDITION: PLEASE NOTE THAT A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN APPLICATION MUST BE APPROVED BY COUNCIL BEFORE CONSTRUCTION COMMENCES.**

**DEVELOPER CONDITION: DUE TO PLANNING PERMIT REQUIREMENT, GAS APPLIANCES MAY NOT BE ABLE TO BE INSTALLED, FURTHER COUNCIL CLARIFICATION IS REQUIRED.**

## LOT 102 VACANT SITE AS OF 9/10/2025

NOTE:- FENCE RETURN AND ANY  
GATES MUST BE STAINED  
HARDWOOD WITH HORIZONTAL  
SLATS AND A MIN. OF 1.5M  
BEHIND FRONT OF DWELLING

28.00M (125°20')

NOTE:- 1800mm HIGH CAPPED  
TIMBER PALING FENCE WITH  
EXPOSED POSTS

NOTE:- RETAINING WALL  
UP TO 800mm HIGH  
ALONG BOUNDARY

1.5M



## LOT 103 SITE AREA: 350.0 M<sup>2</sup>

NOTE:- FILL PADS OVER 300mm HIGH  
TO HAVE BATTERS AT 1:2 OR 30° MAX.

## PROPOSED RESIDENCE

FFL: 51.60 AHD

NOTE:- 37.6 M<sup>2</sup> OF S.P.O. SPACE

NOTE:- 1800mm HIGH CAPPED  
TIMBER PALING FENCE WITH  
EXPOSED POSTS

28.00M (125°20')

## LOT 104 TEMPORARY SALES OFFICE

NOTE:- FENCE  
RETURNS WITH ACCESS  
GATES TO BE  
INSTALLED BY OWNER  
AFTER SETTLEMENT

NOTE:- FENCE RETURN AND  
ANY GATES MUST BE STAINED  
HARDWOOD WITH  
HORIZONTAL SLATS AND A  
MIN. OF 1.5M BEHIND FRONT  
OF DWELLING

NOTE:- APPROX. LOCATION  
OF CONCRETE DRIVEWAY,  
BY OWNER OR CONTRACT  
VARIATION

NOTE:- FIBRE OPTIC CABLING WILL BE  
MADE AVAILABLE TO THE DWELLING TO  
COMPLY WITH THE OPTICOMM GUIDELINES

NOTE:- THE LETTERBOX MUST COMPLIMENT THE  
HOUSE DESIGN AND EXTERNAL COLOUR SCHEME,  
MUST BE LOCATED ACCORDING TO AUSTRALIAN POST  
STANDARDS AND MUST CLEARLY DISPLAY THE STREET  
NUMBER OF THE HOUSE. (SINGLE POST SUPPORTED  
LETTERBOXES ARE NOT PERMITTED)

SCENIC RISE

NOTE:- FENCE RETURN AND ANY  
GATES MUST BE STAINED  
HARDWOOD WITH HORIZONTAL  
SLATS AND A MIN. OF 1.5M  
BEHIND FRONT OF DWELLING

NOTE:- RETAINING WALL  
UP TO 800mm HIGH  
ALONG BOUNDARY

1.5M

NOTE:- APPROX. LOCATION  
OF CONCRETE DRIVEWAY,  
BY OWNER OR CONTRACT  
VARIATION

NOTE:- APPROX. LOCATION  
OF CONCRETE DRIVEWAY,  
BY OWNER OR CONTRACT  
VARIATION

NOTE:- APPROX. LOCATION  
OF CONCRETE DRIVEWAY,  
BY OWNER OR CONTRACT  
VARIATION

NOTE:- APPROX. LOCATION  
OF CONCRETE DRIVEWAY,  
BY OWNER OR CONTRACT  
VARIATION

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BY OWNER OR CONTRACT  
VARIATION

NOTE:- APPROX. LOCATION  
OF CONCRETE DRIVEWAY,  
BY OWNER OR CONTRACT  
VARIATION

## A5. RESCODE SITE COVERAGE STATISTICS

SITE AREA	350.0 M <sup>2</sup>
RESIDENCE	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>
TOTAL SITE COVER	187.4 M <sup>2</sup>
SITE COVER RATIO	54% (0.535)

NOTE: 20 % TO BE PERMEABLE  
ie NOT COVERED

## DRAINAGE REQUIREMENTS

A/ ALL SURFACE DRAINAGE WORKS SHALL BE  
INSTALLED IN ACCORDANCE WITH THE ENGINEERS  
DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM  
AND SOIL CLASSIFICATION AND IN ACCORDANCE  
WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF  
AS2870.2011, WHEREIN FOR BUILDINGS ON  
MODERATELY, HIGHLY AND REACTIVE SITES:  
- SURFACE DRAINAGE SHALL BE CONTROLLED  
THROUGHOUT CONSTRUCTION AND BE COMPLETED  
BY THE FINISH OF CONSTRUCTION  
- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM  
THE BUILDING  
- WHERE PIPES PASS UNDER THE FOOTING  
SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT  
THE INGRESS OF WATER

B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES.  
THE DRAINGER SHALL PROVIDE DRAINAGE  
ARTICULATION TO ALL STORMWATER, SANITARY  
PLUMBING AND DISCHARGE PIPES IN ACCORDANCE  
WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS,  
WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE  
THE FOOTING AND COMMENCING WITHIN 1.0M OF  
THE BUILDING PERIMETER ARE REQUIRED TO  
ACCOMMODATE THE REQUIRED DIFFERENTIAL  
MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM  
THE DWELLING AND GRADED AWAY FROM ALL  
FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN  
50mm OVER THE FIRST 1000mm FROM THE  
DWELLING.

D/ SUBSURFACE DRAINS TO REMOVE GROUND OR  
TABLE WATER SHALL BE DETAILED BY THE DESIGN  
ENGINEER. FURTHERMORE, DAMP-PROOFING  
MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE  
INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE  
SOILS.

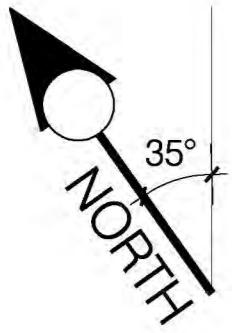
PROPOSED :- BRICK VENEER RESIDENCE

FOR : [REDACTED]

LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025 B.P. No.:- DBU-46723 ISSUE

SHEET No.:- 3 DRG. No.:- AC25-244 C



350x350 BRICK PIER  
ON CONCRETE PAD  
REFER TO ENGINEERS  
DESIGN FOUNDED AS  
PER SOIL REPORT

 Cardinia

ADVERTISED MATERIAL

Planning Application: T240724  
Date Prepared: 05 January 2026

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AREA STATISTICS

FLOOR PLAN	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>

## SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER



WRITTEN DIMENSIONS TAKE  
PRECEDENCE OVER SCALE  
CONTRACTORS ARE TO CHECK  
ALL DIMENSIONS & LEVELS  
PRIOR TO COMMENCEMENT  
  
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PLAN APPROVAL DATE: 27.11.2025

PLAN APPROVAL DATE: 27.11.2025

## REVIEWER

BW

## PROPOSED :- BRICK VENEER RESIDENCE

EOF : [REDACTED]

LOCATION: LOT 103 BAKENHAM ROAD BAKENHAM

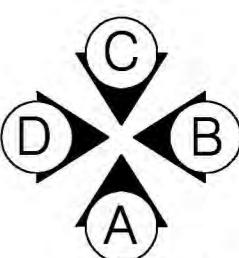
DATE:- 8/10/2025

B.P. No.: - DBI J-46723

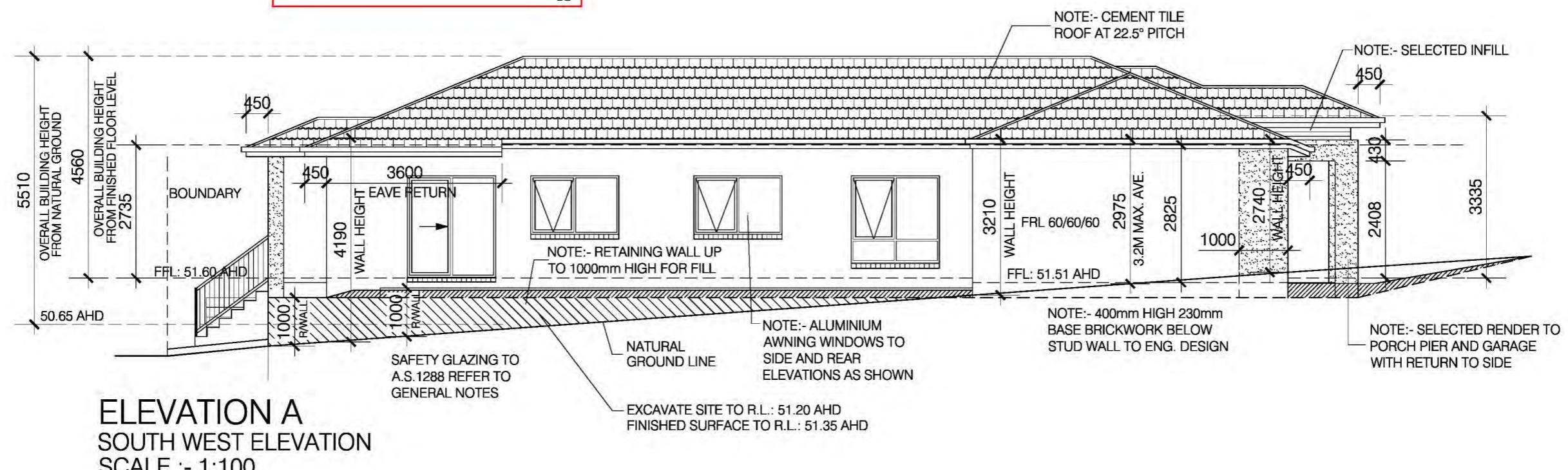
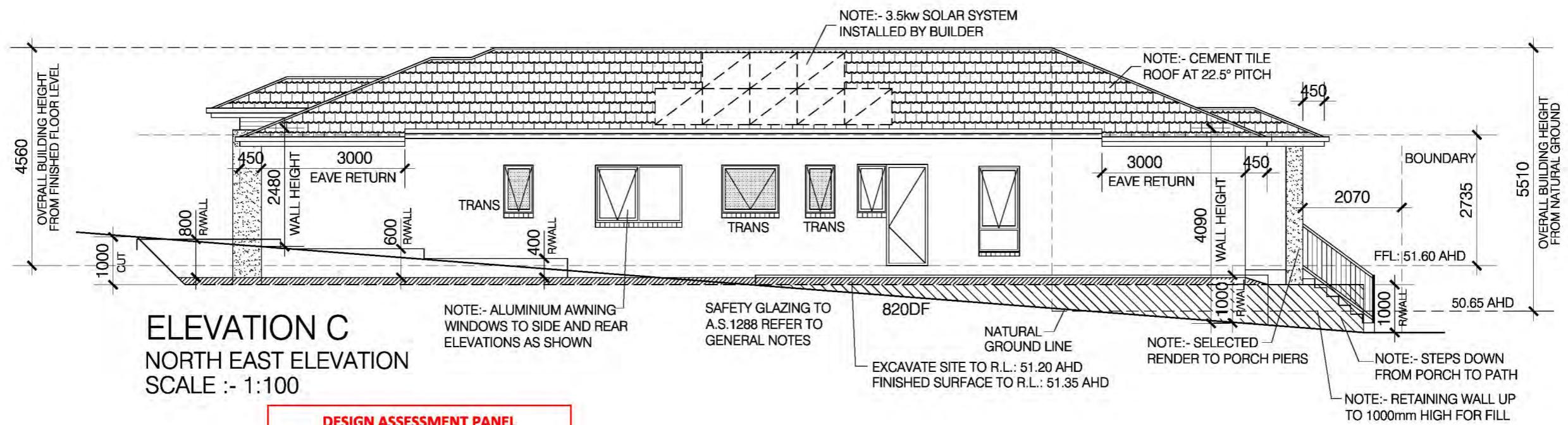
## ISSUE

AC25 244

AC25-244



## ELEVATION



SHERWOOD 144 MOD.

DATE : / /

SIGNED BUILDER

SIGNED OWNER



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#### ADVERTISED MATERIAL

Planning Application: T240724

Date Prepared: 05 January 2026

PROPOSED : BRICK VENEER RESIDENCE

FOR :

LOCATION: - LOT 103 PAKENHAM ROAD PAKENHAM

DATE: - 8/10/2025

B.P. No.: - DBU-46723

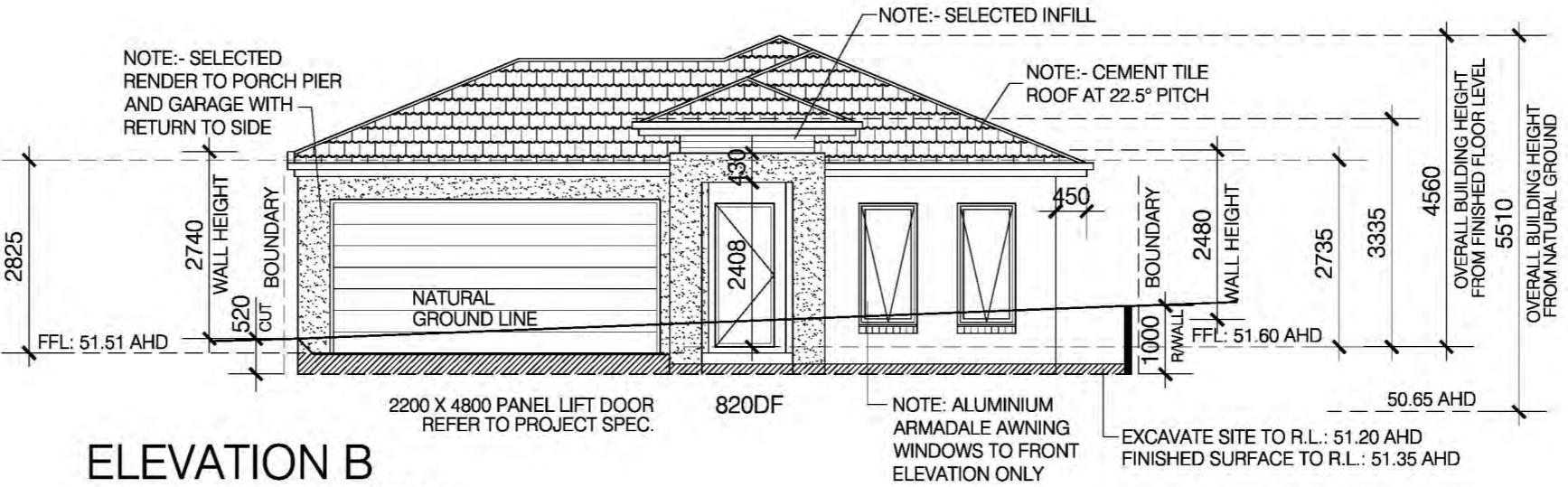
ISSUE

SHEET No.: - 6

DRG. No.: - AC25-244

C

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**ELEVATION B**  
SOUTH EAST ELEVATION  
SCALE :- 1:100

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 27.11.2025

REVIEWED BY [REDACTED]

*B*

NOTE: NO LIGHTWEIGHT MATERIALS  
ARE TO BE USED ON THE FAÇADE

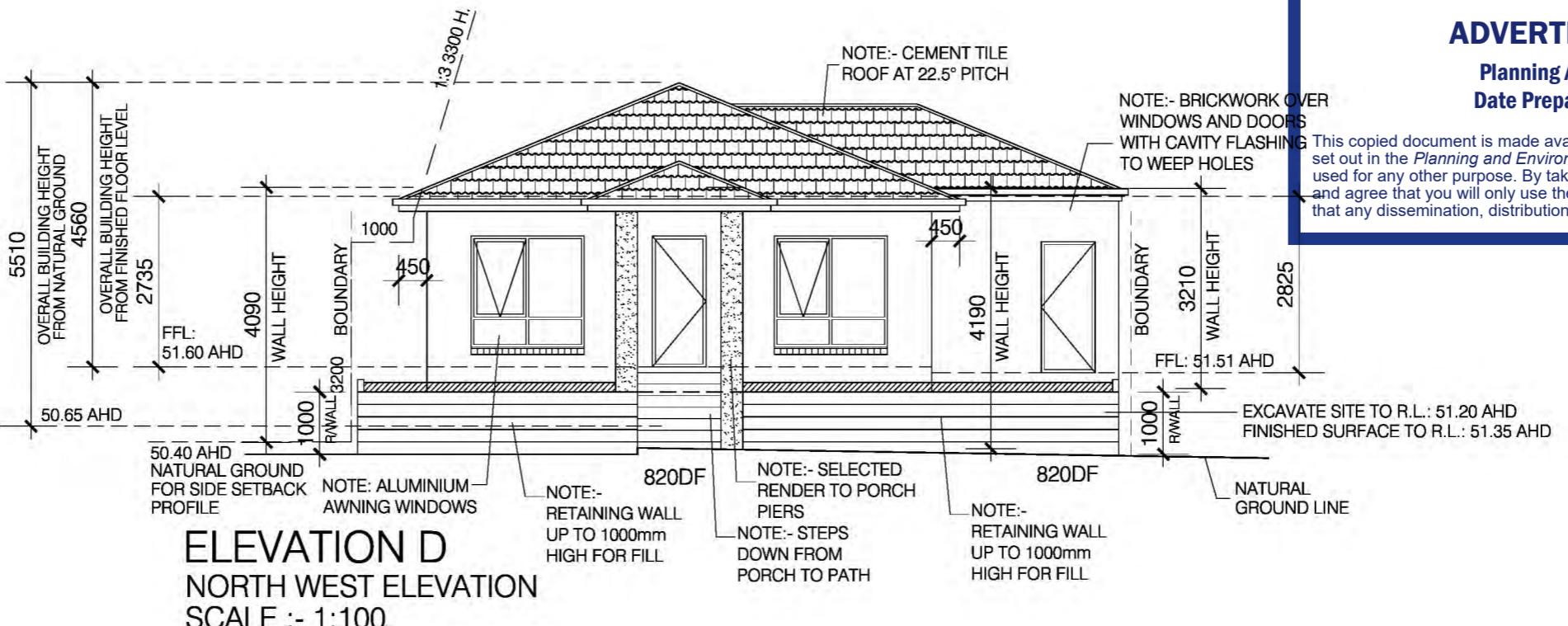
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Date Prepared: 05 January 2026

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**ELEVATION D**  
NORTH WEST ELEVATION  
SCALE :- 1:100

SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER

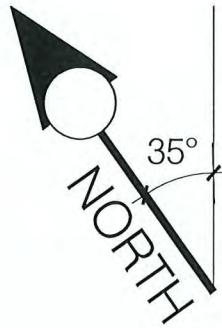


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PROPOSED :- BRICK VENEER RESIDENCE

FOR :- [REDACTED]  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025	B.P. No.: DBU-46723	ISSUE
SHEET No.: 7	DRG. No.: AC25-244	C



## PAKENHAM ROAD

STORM WATER DRAINS:  
TO LEGAL POINT OF DISCHARGE  
TO COUNCIL REQUIREMENTS  
BUILDER TO VERIFY LPD  
PRIOR TO CONNECTION

EXCAVATE SITE TO R.L.: 51.20 AHD  
FINISHED SURFACE TO R.L.: 51.35 AHD

BATTERS ARE AT 45° U.N.O.  
CUT OFF DRAIN AT BASE OF EXCAVATION  
TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT  
BY OWNER OR CONTRACT VARIATION

ENGINEERED SLEEPER RETAINING WALL UP TO 800mm MAX. HIGH AND  
ENGINEERED SLEEPER RETAINING WALL UP TO 1000mm MAX. HIGH FOR FILL ONLY  
TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION  
ALLOW 5 kPa SURCHARGE ON BOUNDARY  
BY OWNER OR CONTRACT VARIATION

## EARTHWORK PLAN

SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO  
THE AUSTRALIAN HEIGHT DATUM  
BASED ON PAKENHAM PM 72 (R.L. 38.318)

DIMENSIONS & LEVELS TO BE VERIFIED  
BY CERTIFIED COPY OF TITLE  
OR RELOCATION SURVEY  
OR APPROVED PLAN OF SUB-DIVISION

CUT

FILL

SHERWOOD 144 MOD.

DATE :- / /

SIGNED BUILDER

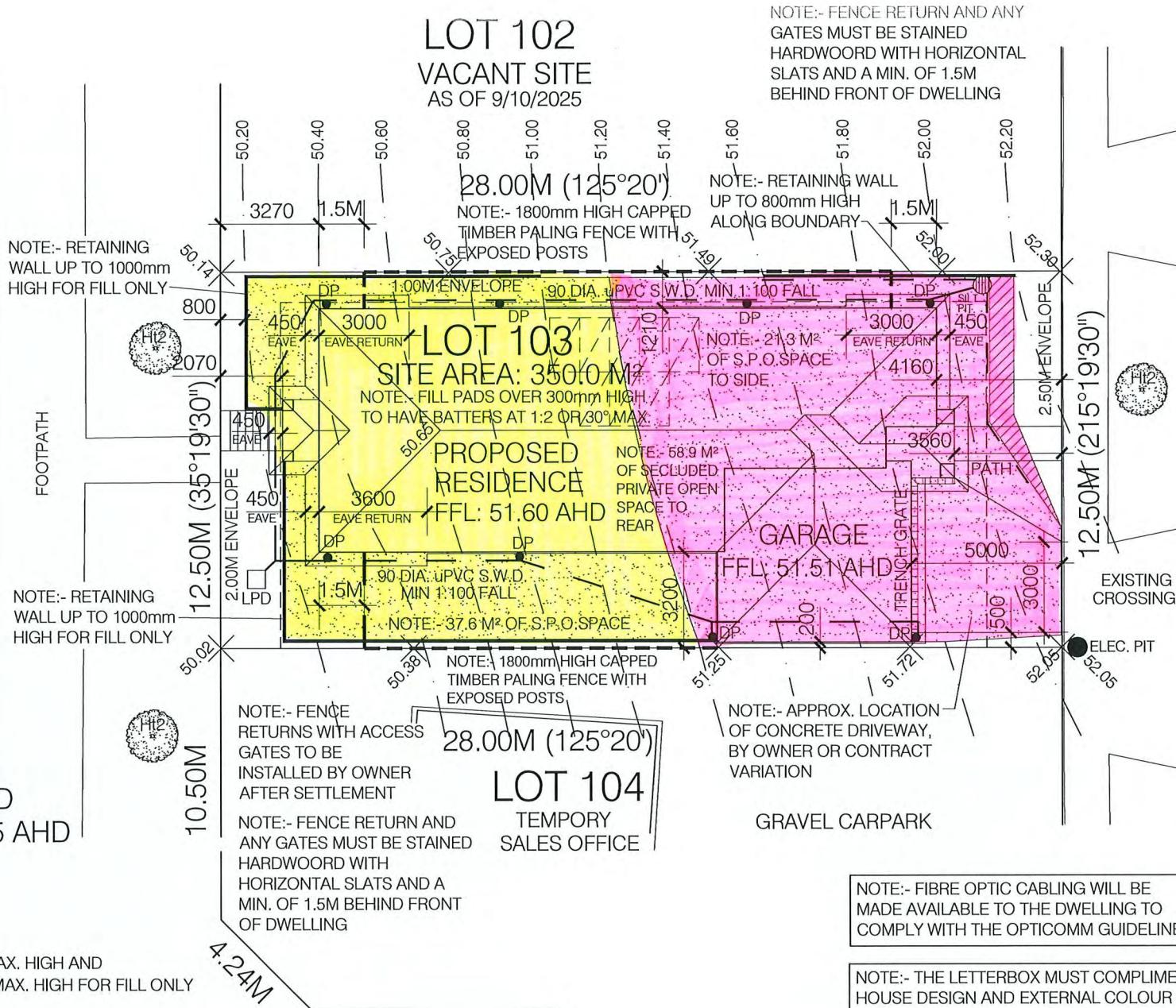
SIGNED OWNER



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## LOT 102 VACANT SITE AS OF 9/10/2025



## SCENIC RISE

## SUNNY VISTA

TBM:  
ELECTRICITY PIT  
R.L. 52.05

NOTE:- FIBRE OPTIC CABLING WILL BE  
MADE AVAILABLE TO THE DWELLING TO  
COMPLY WITH THE OPTICOMM GUIDELINES

NOTE:- THE LETTERBOX MUST COMPLIMENT THE  
HOUSE DESIGN AND EXTERNAL COLOUR SCHEME,  
MUST BE LOCATED ACCORDING TO AUSTRALIAN POST  
STANDARDS AND MUST CLEARLY DISPLAY THE STREET  
NUMBER OF THE HOUSE. (SINGLE POST SUPPORTED  
LETTERBOXES ARE NOT PERMITTED)

## NOTES

LEVELS ARE TO AN ARBITRARY DATUM  
AND CONTOURS ARE SHOWN ARE  
200mm INTERVALS  
RESIDENCE FINISHED FLOOR LEVEL TO  
BE NOT LESS THAN 150mm ABOVE  
FINISHED GROUND LEVEL: REFER TO  
SITE PLAN  
CONNECT ALL DOWN PIPES TO 90mm  
DIA. UPVC S.W.DRAINAGE SYSTEM OR  
TO STORM WATER SYSTEM AS  
DESIGNED BY ENGINEER AND  
DISCHARGE TO LEGAL POINT IN  
ACCORDANCE WITH LOCAL COUNCIL  
REQUIREMENTS  
PROVIDE AGGY DRAINS CONNECTED  
TO SILT PITS AT BASE OF BATTERS.  
AGGY DRAINS CONNECTED TO STORM  
WATER SYSTEM VIA SILT PITS

A5. RESCODE SITE COVERAGE STATISTICS	
SITE AREA	350.0 M <sup>2</sup>
RESIDENCE	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>
TOTAL SITE COVER	187.4 M <sup>2</sup>
SITE COVER RATIO	54% (0.535)
DRIVE WAY	22.0 M <sup>2</sup>
OTHER PAVED AREAS	4.0 M <sup>2</sup>
TOTAL HARD COVER	213.4 M <sup>2</sup>
HARD COVER RATIO	61% (0.609)
NOTE: 20 % TO BE PERMEABLE ie NOT COVERED	

## DRAINAGE REQUIREMENTS

A/ ALL SURFACE DRAINAGE WORKS SHALL BE  
INSTALLED IN ACCORDANCE WITH THE ENGINEERS  
DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM  
AND SOIL CLASSIFICATION AND IN ACCORDANCE  
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PLUMBING AND DISCHARGE PIPES IN ACCORDANCE  
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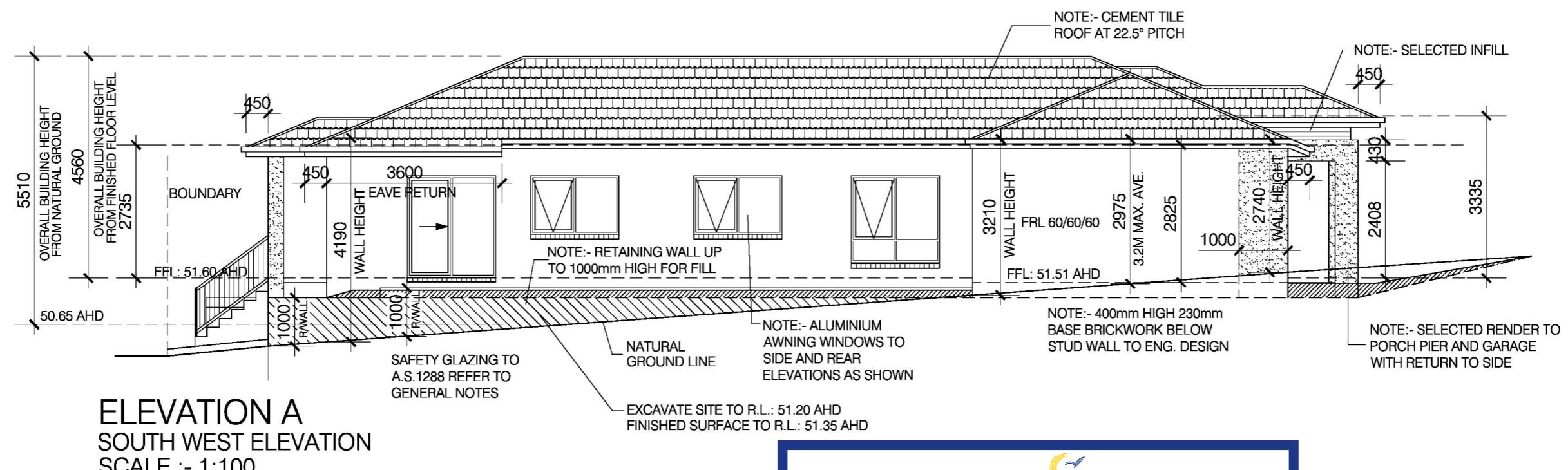
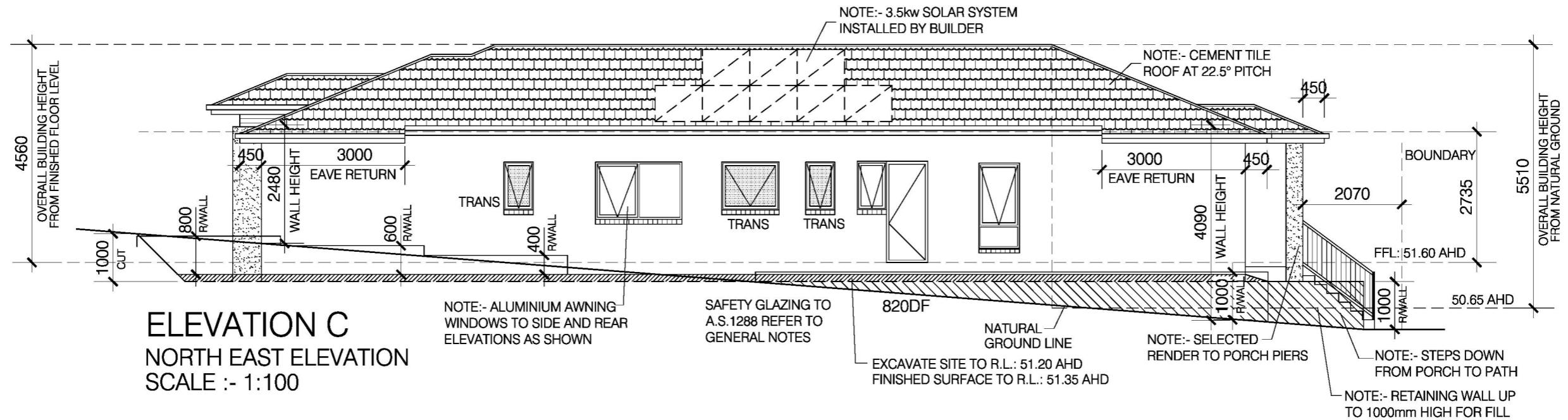
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## ADVERTISED MATERIAL

Planning Application: T240724  
Date Prepared: 05 January 2026

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PROPOSED :- BRICK VENEER RESIDENCE	FOR :-	LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM
DATE - 8/10/2025	B.P. No.: - DBU-46723	ISSUE SHEET No.: - 3 DRG. No.: - AC25-244



### ADVERTISED MATERIAL

Planning Application: T240724

Date Prepared: 05 January 2026

SHERWOOD 144 MOD.

DATE : / /

SIGNED BUILDER

SIGNED OWNER



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CONTRACTORS ARE TO CHECK

ALL DIMENSIONS & LEVELS

PRIOR TO COMMENCEMENT

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PROPOSED : - BRICK VENEER RESIDENCE

FOR : - [REDACTED]

LOCATION: - LOT 103 PAKENHAM ROAD PAKENHAM

DATE: - 8/10/2025

B.P. No.: - DBU-46723

ISSUE

C

SHEET No.: - 6

DRG. No.: - AC25-244



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BRICKS - AUSTRAL ASH



ROOF TILES - BRISTLE LATE MIST CLASSIC



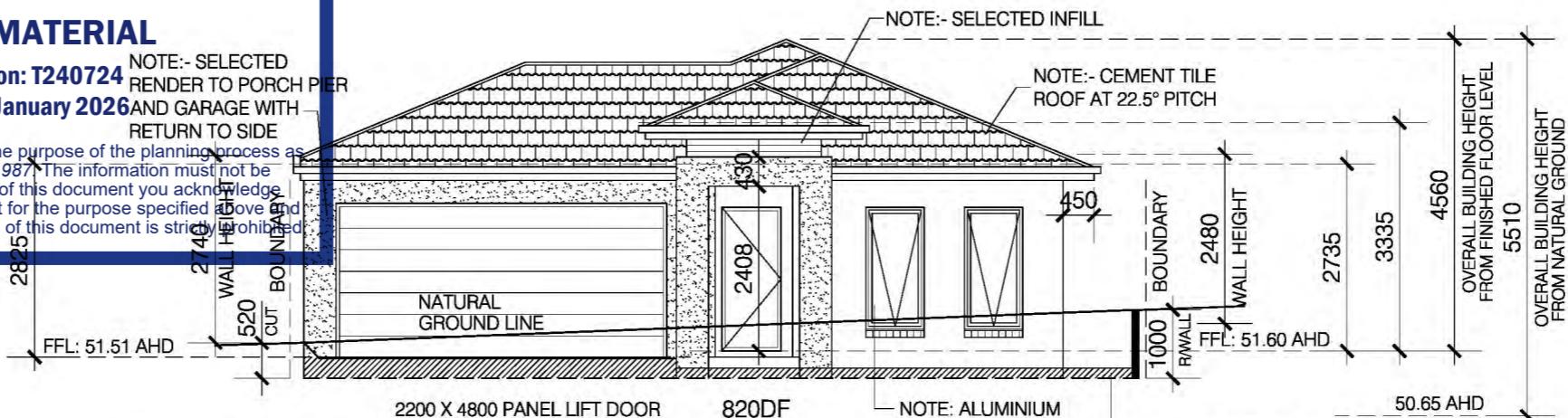
WINDOWS & METERBOX - SURFMIST



FASCIA, GUTTER, DOWNPipes - SURFMIST



RENDER, TIMBER INFILL TO PORTICO & LETTERBOX - SURFMIST

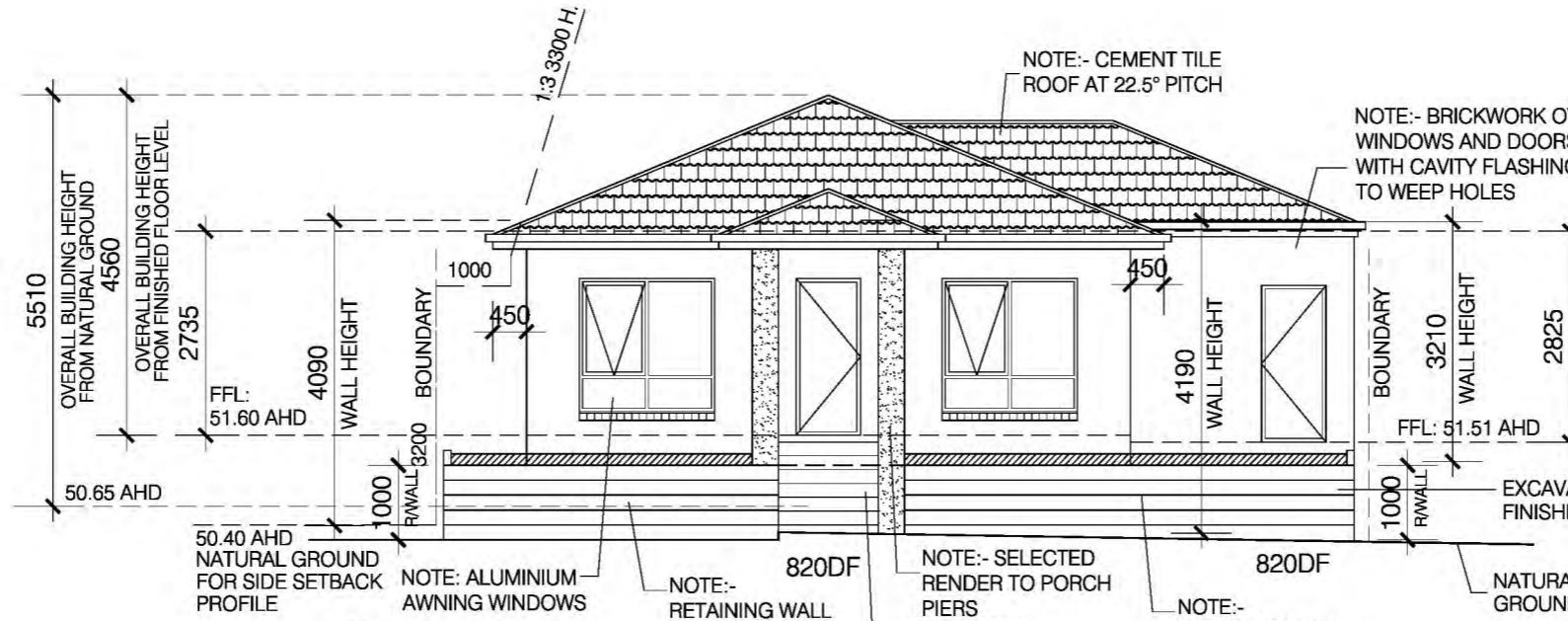


**ELEVATION B**  
SOUTH EAST ELEVATION  
SCALE :- 1:100

GARAGE DOOR COLOUR - SURFMIST

FRONT DOOR COLOUR - SURFMIST

DRIVEWAY - COLOUR THROUGH CONCRETE - BLUESTONE



**ELEVATION D**  
NORTH WEST ELEVATION  
SCALE :- 1:100

SHERWOOD 144 MOD.

DATE :- / /

SIGNED BUILDER

SIGNED OWNER



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PROPOSED :- BRICK VENEER RESIDENCE

FOR :- [REDACTED]

LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025

B.P. No.: DBU-46723

ISSUE

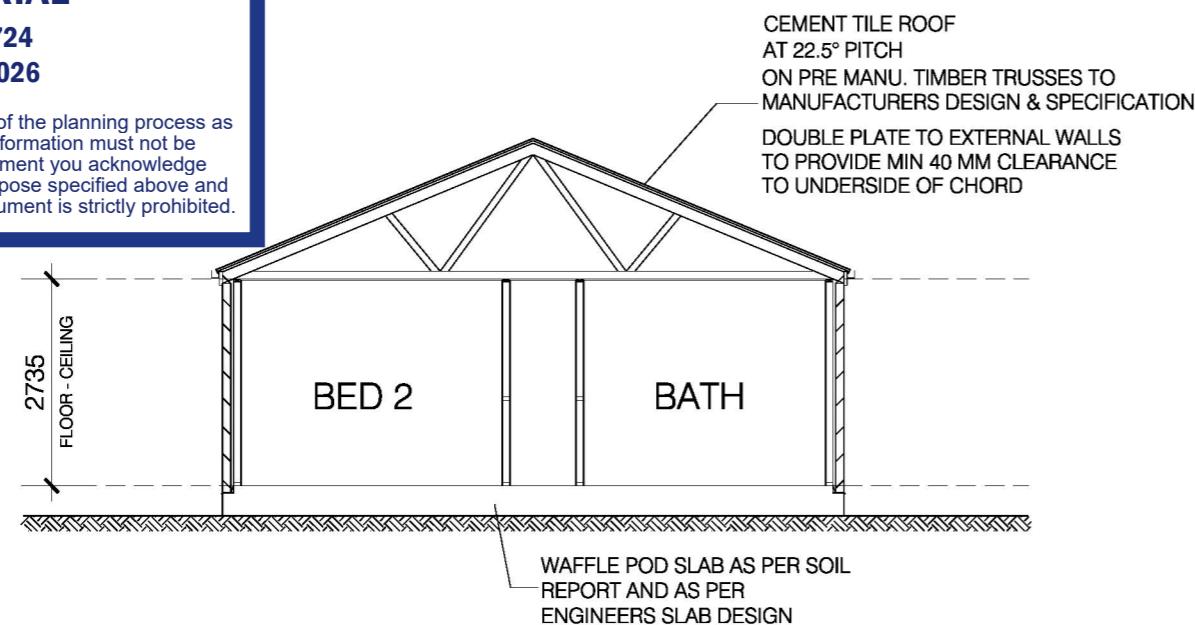
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DRG. No.: AC25-244

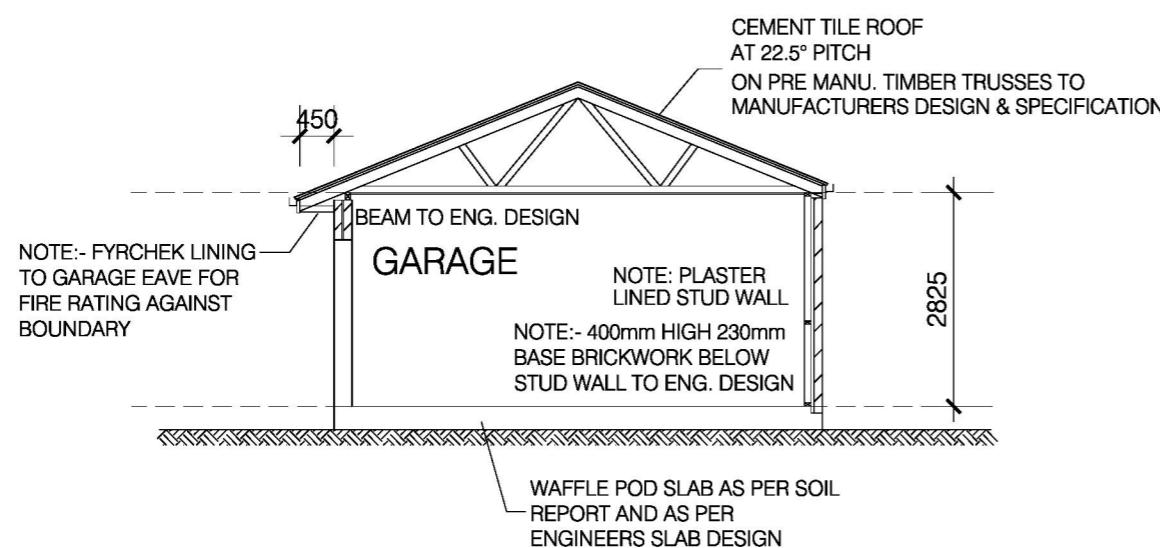
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**Planning Application: T240724**
**Date Prepared: 05 January 2026**

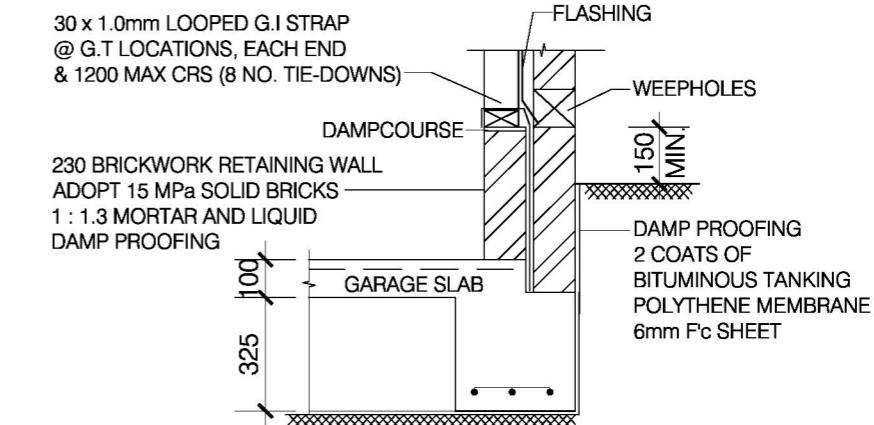
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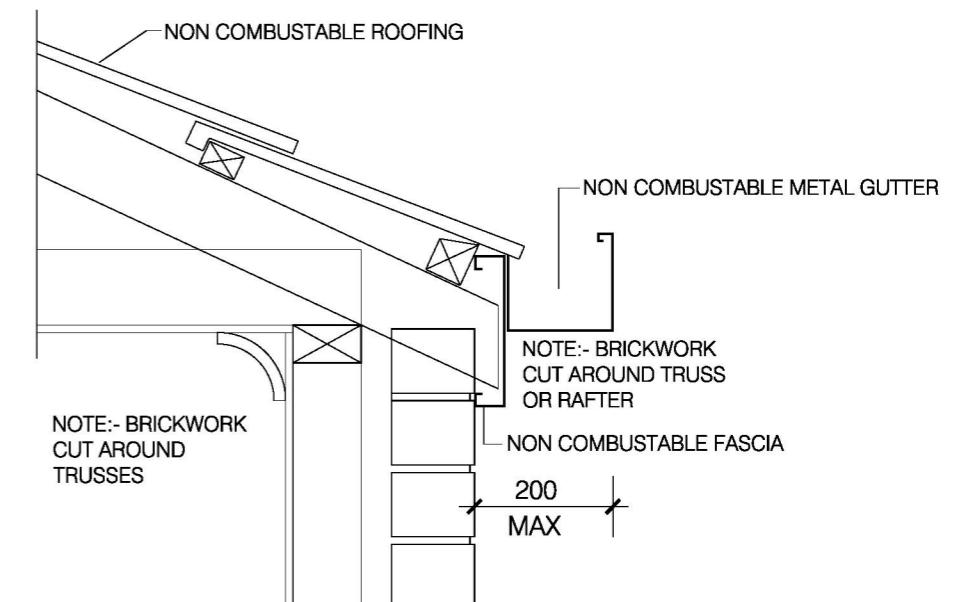
**SECTION A-A**  
SCALE :- 1:100



**SECTION B-B**  
SCALE :- 1:100



**GARAGE RETAINING WALL DETAIL**  
SCALE 1:20



**GARAGE OVERHANGING GUTTER**  
**DETAIL A**  
SCALE :- 1:10

**SHERWOOD 144 MOD.**

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER



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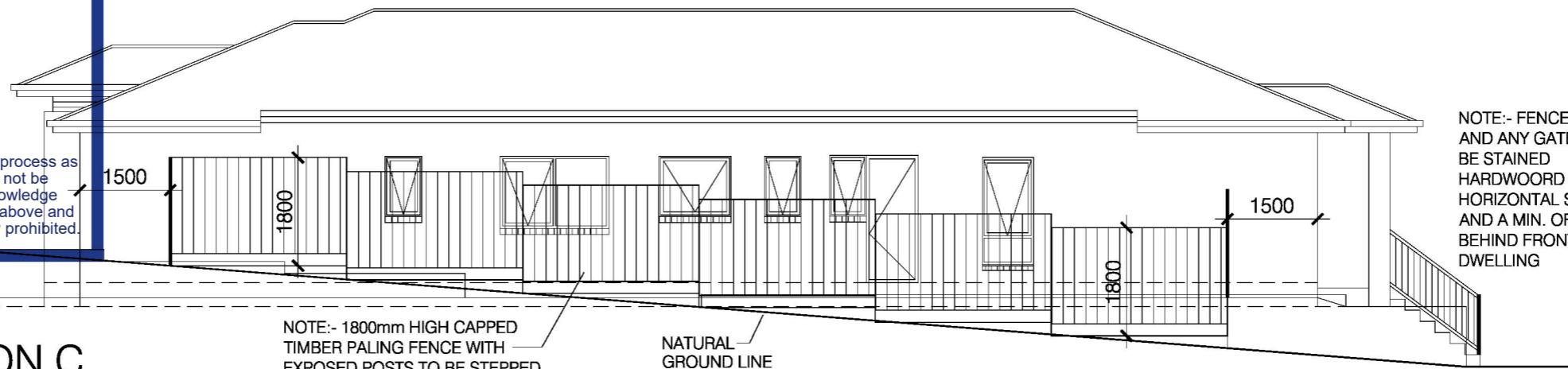
PROPOSED :- BRICK VENEER RESIDENCE

FOR : [REDACTED]  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM  
DATE:- 8/10/2025 B.P. No.: DBU-46723  
SHEET No.: 8 DRG. No.: AC25-244  
ISSUE C

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**Planning Application: T240724**
**Date Prepared: 05 January 2026**

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**ELEVATION C**  
NORTH EAST ELEVATION  
SCALE :- 1:100



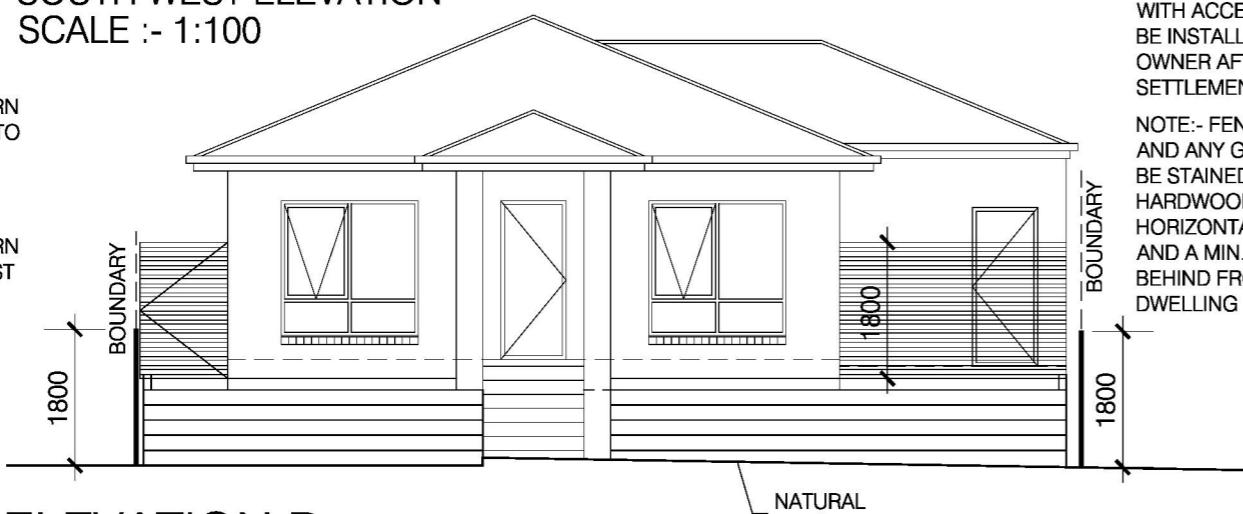
NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

NOTE:- 1800mm HIGH CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS TO BE STEPPED WITH GROUND LINE

NATURAL GROUND LINE

**ELEVATION A**  
SOUTH WEST ELEVATION  
SCALE :- 1:100



NOTE:- 1800mm HIGH CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS TO BE STEPPED WITH GROUND LINE

NOTE:- FENCE RETURN WITH ACCESS GATE TO BE INSTALLED BY OWNER AFTER SETTLEMENT

NOTE:- FENCE RETURN WITH ACCESS GATE TO BE INSTALLED BY OWNER AFTER SETTLEMENT

NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

NOTE:- FENCE RETURN WITH ACCESS GATE TO BE INSTALLED BY OWNER AFTER SETTLEMENT

NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

NOTE:- FENCE RETURN AND ANY GATES MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS AND A MIN. OF 1.5M BEHIND FRONT OF DWELLING

**ELEVATION D**  
NORTH WEST ELEVATION  
SCALE :- 1:100



**ELEVATION B**  
SOUTH EAST ELEVATION  
SCALE :- 1:100

**SHERWOOD 144 MOD.**

DATE :- / /

SIGNED BUILDER

SIGNED OWNER



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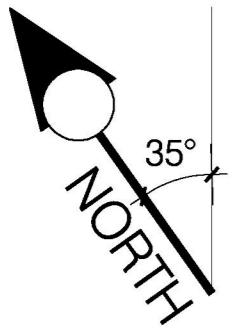
PROPOSED :- BRICK VENEER RESIDENCE  
FOR

LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025 B.P. No.: DBU-46723

SHEET No.: 7.1 DRG. No.: AC25-244

ISSUE C



350x350 BRICK PIER  
ON CONCRETE PAD  
REFER TO ENGINEERS  
DESIGN FOUNDED AS  
PER SOIL REPORT

LOCALLY FILL AROUND DOORWAYS  
TO AVOID THE NEED FOR STEPS  
AND GRADE SOIL AWAY FROM  
HOUSE AS REQUIRED

WC DOORS TO OPEN OUT OR  
HAVE REMOVABLE HINGES IF WC  
HAS LESS THAN 1200mm OF  
CLEARANCE FROM DOOR TO  
CLOSET PAN

STE  
115r  
ARIN

4

N (x-axis)	p (y-axis)
3000	240
4050	90
5530	90
5530	240
6010	240
6010	1130
5440	470
5440	1330
2270	470
2270	1330
3950	3470
3950	90
1910	90
1910	1470
11090	3380

# FLOOR PLAN

SCALE :- 1:100

## AREA STATISTICS

FLOOR PLAN	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>

SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
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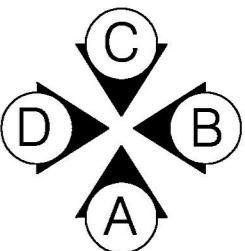
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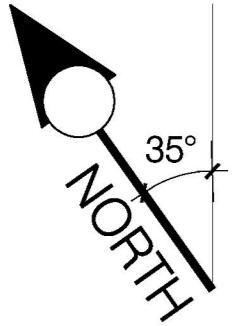
Planning Application: T240724  
Date Prepared: 05 January 2026

PROPOSED :- BRICK VENEER RESIDENCE  
FOR [REDACTED]  
LOCATION:- LOT 103 PAKENHAM ROAD PAKENHAM

DATE:- 8/10/2025	B.P. No.:- DBU-46723	ISSUE C
SHEET No.:- 4	DRG. No.:- AC25-244	



## ELEVATION



## PAKENHAM ROAD

EXCAVATE SITE TO R.L.: 51.20 AHD  
FINISHED SURFACE TO R.L.: 51.35 AHD

BATTERS ARE AT 45° U.N.O.  
CUT OFF DRAIN AT BASE OF EXCAVATION  
TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT  
BY OWNER OR CONTRACT VARIATION

ENGINEERED SLEEPER RETAINING WALL UP TO 800mm MAX. HIGH AND  
ENGINEERED SLEEPER RETAINING WALL UP TO 1000mm MAX. HIGH FOR FILL ONLY  
TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION  
ALLOW 5 kPa SURCHARGE ON BOUNDARY  
BY OWNER OR CONTRACT VARIATION

## SITE PLAN

SCALE :- 1:200  
LEVELS SHOWN ON THIS PLAN ARE TO  
THE AUSTRALIAN HEIGHT DATUM  
BASED ON PAKENHAM PM 72 (R.L. 38.318)

DIMENSIONS & LEVELS TO BE VERIFIED  
BY CERTIFIED COPY OF TITLE  
OR RELOCATION SURVEY  
OR APPROVED PLAN OF SUB-DIVISION

## SHERWOOD 144 MOD.

DATE :- / /  
SIGNED BUILDER  
SIGNED OWNER



ITTEN DIMENSIONS TAKE  
PRECEDENCE OVER SCALE  
NTRACTORS ARE TO CHECK  
L DIMENSIONS & LEVELS  
OR TO COMMENCEMENT  
PYWRITE:- THIS DRAWING  
OLONGS THE PROPERTY OF  
ENKEN HOMES

PROPOSED :- BRICK VENEER RESIDENCE  
FOR :- [REDACTED]  
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SHEET No.: 3	DRG. No.: AC25-244	

## A5. RESCODE E COVERAGE STATISTICS

SITE AREA	350.0 M <sup>2</sup>
RESIDENCE	144.5 M <sup>2</sup>
GARAGE	36.8 M <sup>2</sup>
PORCH NO.1	3.7 M <sup>2</sup>
PORCH NO.2	2.4 M <sup>2</sup>
TOTAL SITE COVER	187.4 M <sup>2</sup>
SITE COVER RATIO	54% (0.535)
DRIVE WAY	22.0 M <sup>2</sup>
OTHER PAVED AREAS	4.0 M <sup>2</sup>
TOTAL HARD COVER	213.4 M <sup>2</sup>
HARD COVER RATIO	61% (0.609)
NOTE: 20 % TO BE PERMEABLE ie NOT COVERED	

## DRAINAGE REQUIREMENTS

A/ ALL SURFACE DRAINAGE WORKS SHALL BE  
INSTALLED IN ACCORDANCE WITH THE ENGINEERS  
DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM  
AND SOIL CLASSIFICATION AND IN ACCORDANCE  
WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF  
AS2870.2011, WHEREIN FOR BUILDINGS ON  
MODERATELY, HIGHLY AND REACTIVE SITES;

**SURFACE DRAINAGE SHALL BE CONTROLLED  
THROUGHOUT CONSTRUCTION AND BE COMPLETED  
BY THE FINISH OF CONSTRUCTION**

THE BASE OF TRENCHES SHALL SLOPE AWAY FROM  
THE BUILDING  
WHERE PIPES PASS UNDER THE FOOTING

3/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES.  
THE DRAINER SHALL PROVIDE DRAINAGE  
ARTICULATION TO ALL STORMWATER, SANITARY  
PLUMBING AND DISCHARGE PIPES IN ACCORDANCE  
WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS,  
WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE  
THE FOOTING AND COMMENCING WITHIN 1.0M OF  
THE BUILDING PERIMETER ARE REQUIRED TO  
ACCOMMODATE THE REQUIRED DIFFERENTIAL  
MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 60mm OVER THE FIRST 1000mm FROM THE DWELLING.

D/SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE SOILS.

NOTES	INSPECTION OPENINGS TO BE PROVIDED AT CHANGES IN DIRECTION AND FOR LENGTHS GREATER THAN 20M
<p>LEVELS ARE TO AN ARBITRARY DATUM AND CONTOURS ARE SHOWN ARE 200mm INTERVALS</p> <p>CONNECT ALL DOWN PIPES TO 90mm DIA. UPVC S.W.DRAINAGE SYSTEM OR TO STORM WATER SYSTEM AS DESIGNED BY ENGINEER AND DISCHARGE TO LEGAL POINT IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS</p>	<p>RESIDENCE FINISHED FLOOR LEVEL TO BE NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL: REFER TO SITE PLAN</p> <p>PROVIDE AGGY DRAINS CONNECTED TO SILT PITS AT BASE OF BATTERS. AGGY DRAINS CONNECTED TO STORM WATER SYSTEM VIA SILT PITS</p>

# PAKENHAM ROAD



## ADVERTISED MATERIAL

Planning Application: T240724

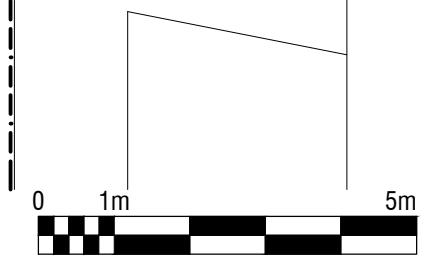
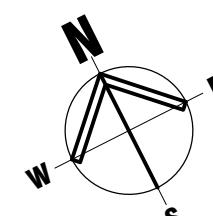
Date Prepared: 05 January 2026

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1 PRELIMINARY ISSUE

## LANDSCAPE PLAN

SCALE 1:100



SCALE 1:100 A3 SIZE

Project PLAN REF: 103 PAKENHAM  
REFERENCE NO: AC25-244  
VERSION NO: 1  
DATE: 26/11/2025

Scale	470 x 420	Project Number	XXX
Designed	XXX	Drawing No.	
Drawn	XXX	Amendment / Issue	XXX

**A07**

## PLANT SCHEDULE

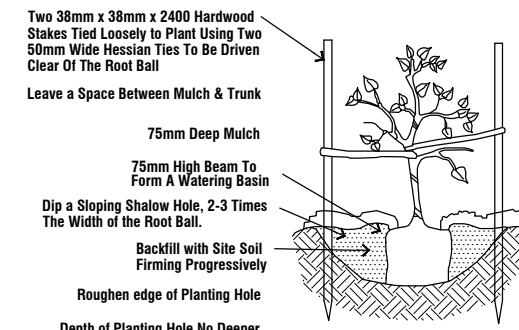
TYPE	BOTANICAL NAME	COMMON NAME	HT.	WIDTH	FLOWER COLOR	SEASON	SIZE	Qty.
Tree	Eucalyptus alata	River Peppermint	20m	10m	-	-	45L	2
Tree	Prostanthera lasianthos	Victorian Christmas Bush	8m	5m	White	-	1.5m	2
Small Tree	Pimelea humilis	Common Rice-flower	0.5m	1m	-	-	150 tub	19
Plant	Brachyscome multifida	Cut-leaf Daisy	0.6m	0.4m	Pink-mauve	-	100 tub	15
Plant	Platylobium formosum	Handsome Flat-pea	1.0m	1.0m	Yellow	-	1.0m	13
Plant	Tetrahitca ciliata	Pink-bells	0.6m	0.6m	Pink-mauve	-	100 tub	18
Plant	Pultenaea scabra	Rough Bush-pea	1m	0.5m	Orange	-	150 tub	10

## MULCHED GARDEN BED

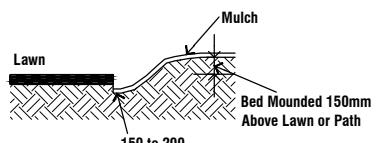
Min. 125mm Top Soil &  
Min. 75mm Fine Shredded  
Fine Wood Mulch

### PLANTING NOTES:

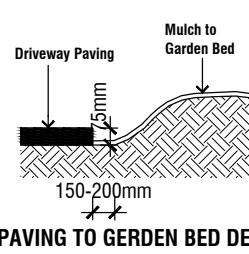
1. PLANTS ARE TO BE PLACED IN THE CENTRE OF THE HOLE
2. PLANTS MUST BE SET AT A LEVEL SUCH THAT THE CROWN OF THE PLANTS ESTABLISH A NORMAL & NATURAL RELATIONSHIP WITH THE SURROUNDING LEVELS
3. AFTER REMOVAL FROM CONTAINER THE HANDLING OF THE ROOT SYSTEM MUST BE DONE WITH MINIMUM ROOT DISTURBANCE PARTICULARLY AUSTRALIAN NATIVES
4. PLANTS MUST BE HEALTHY & PLANT ROOT SYSTEM MUST BE MOIST AT THE TIME OF PLANTING. PLANTS MUST BE WATERED WITH APPROX. -10 LITRES OF WATER AT TIME OF PLANTING.
5. PLANTS EXCEEDING 200MM POT SIZE SHALL BE STAKED AGAINST PREVAILING WINDS.
6. ALL PLANTS SHALL RECEIVE SLOW RELEASE FERTILIZER AT A QUANTITY RELATIVE TO THE POT SIZE.



### ADVANCED TREE PLANTING DETAIL



### LAWN TO GARDEN BED DETAIL

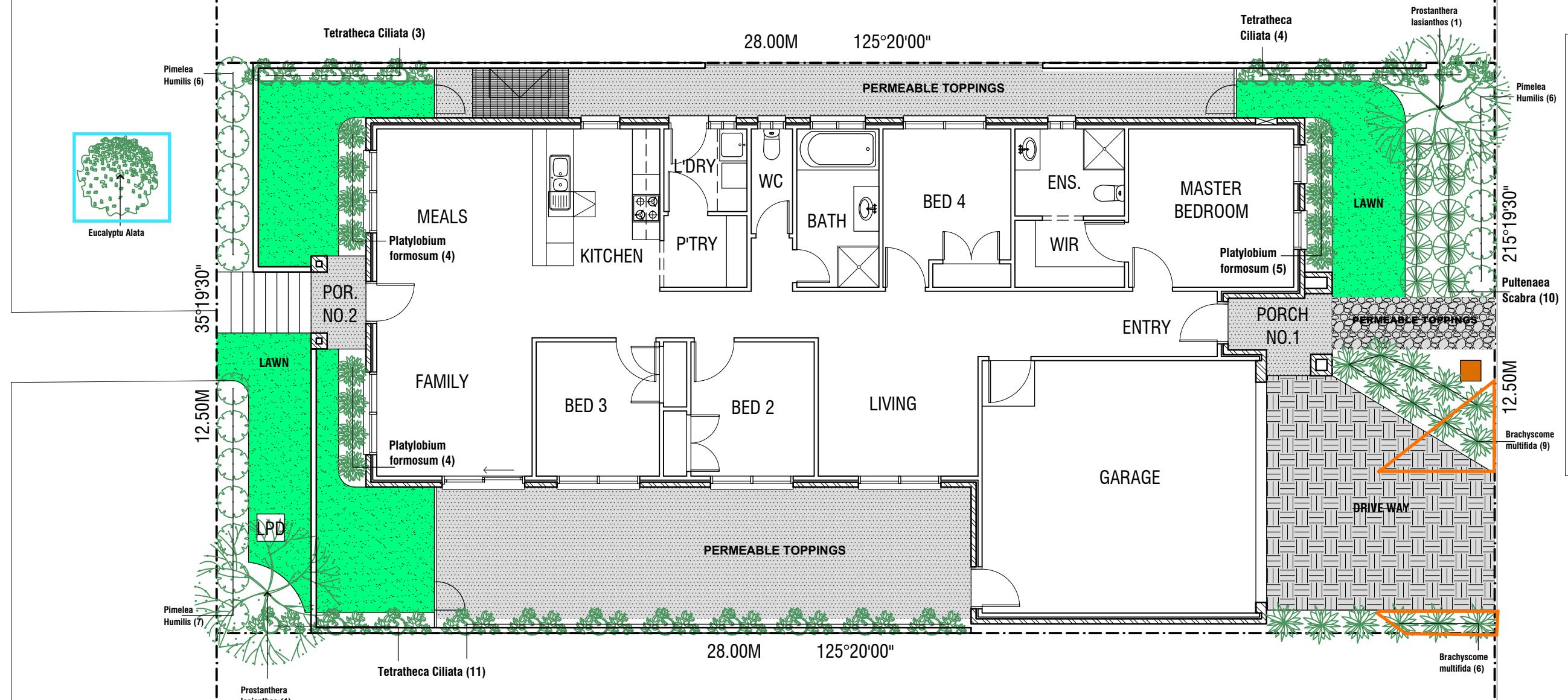


### PAVING TO GARDEN BED DETAIL

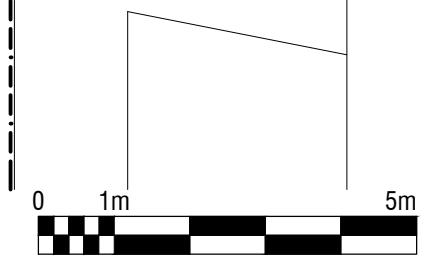
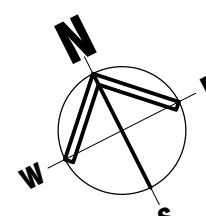
Corner splay minimum 50% clear of visual obstructions extending at least 2m along the frontage road & 2.5m along exit lane. Landscaping within corner splay must be kept to a maximum height of 600mm

Before the development including demolition starts, a tree protection fence must be erected around the existing street trees to be retained outside the canopy zone of the tree to define a "Tree Protection Area". The fence must be constructed of star pickets and chain mesh or similar to the satisfaction of the Responsible Authority and remain in place until construction is completed. No vehicular or pedestrian access, trenching or soil excavation is to occur within the Tree Protection Area without the written consent of the Responsible Authority. No storage or dumping of tools, equipment or waste is to occur within the Tree Protection Area. Any pruning that is required to be done to the canopy or roots of any tree to be retained is to be done with permission by Council's Arborist by a qualified arborist to Australian Standard – Pruning of Amenity Trees AS4373-2007.

## LOT 102



## LOT 104



SCALE 1:100 A3 SIZE

1 PRELIMINARY ISSUE	25-11-2025
No. Issue / Amendments	Date

Project	PLAN REF: 103 PAKENHAM REFERENCE NO: AC25-244 VERSION NO: 1 DATE: 26/11/2025
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Scale	470 x 420	Project Number	XXX
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Drawn	XXX	Amendment / Issue	XXX