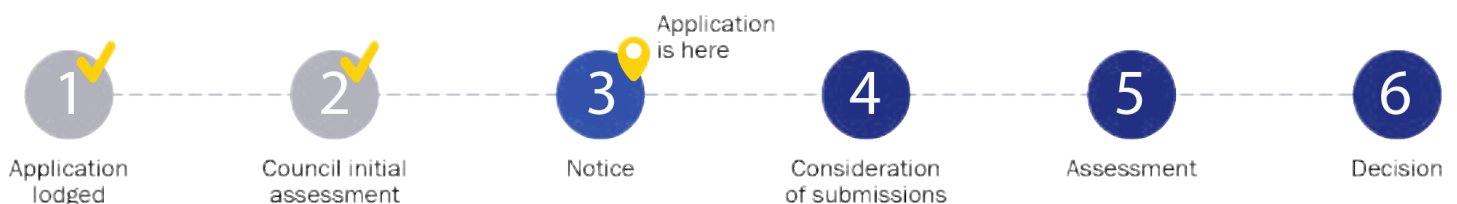


Notice of Application for a Planning Permit

The land affected by the application is located at:	L114 PS848743 V12580 F404 5 Scenic Rise, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a fence
42.01-2	Construct a building or construct or carry out works
APPLICATION DETAILS	
The applicant for the permit is:	HH QUALITY BUILDERS PTY LTD
Application number:	T250658
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	19 December 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected. <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



Application Summary

Portal Reference	A42510EL
<div>  ADVERTISED MATERIAL Planning Application: T250658 Date Prepared: 04 December 2025 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small> </div>	
Proposed Use	SINGLE DWELLING WITH ATTACHED GARAGE
Current Use	VACANT LAND
Cost of Works	\$435,000
Site Address	5 SCENIC RISE PAKENHAM VIC 3810

Basic Information

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached.

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	HH QUALITY BUILDERS PTY LTD	26 RANGER ST, CLYDE NORTH VIC 3978	W: 0430-830-790 M: 0430-835-790 E: HHQUALITYBUILDER@GMAIL.COM
Owner			
Preferred Contact	HH QUALITY BUILDERS PTY LTD	26 RANGER ST, CLYDE NORTH VIC 3978	W: 0430-830-790 M: 0430-835-790 E: HHQUALITYBUILDER@GMAIL.COM

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
Total			\$1,462.50

Documents Uploaded

Date	Type	Filename
22-10-2025	A Copy of Title	LAND TITLED.pdf
22-10-2025	Site plans	Final PlansPlans 5 Scenic Rise Pakenham.pdf



Chic Centre
 20 Siding Avenue, Officer, Victoria
Council's Operations Centre (Depot)
 Purton Road, Pakenham, Victoria

Postal Address
 Cardinia Shire Council
 P.O. Box 7, Pakenham VIC, 3810
Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am-5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User

Submission Date

Declaration

☒ By ticking this checkbox, I declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) is/are the owner of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

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Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250658
Address of the Land:	5 Scenic Rise, Pakenham VIC 3810

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	[REDACTED]
Address:	[REDACTED]
Phone:	[REDACTED]
Email:	[REDACTED]

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
A permit is require for under the overlay for the fence.		
<div> <p>ADVERTISED MATERIAL Planning Application: T250658 Date Prepared: 04 December 2025</p> <p><small>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small></p> </div>		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.

Name:	
Signature:	
Date:	25/11/2025

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.



Cardinia

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12580 FOLIO 404

Security no : 124128470768P
Produced 29/09/2025 08:23 AM

LAND DESCRIPTION

Lot 114 on Plan of Subdivision 848743W.
PARENT TITLE Volume 12330 Folio 801
Created by instrument PS848743W 31/10/2024

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AZ452020H (E)	DISCHARGE OF MORTGAGE	Registered	05/08/2025
AZ452021F (E)	TRANSFER	Registered	05/08/2025
AZ452022D (E)	MORTGAGE	Registered	05/08/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 5 SCENIC RISE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

Title 12580/404



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Document Type	Plan
Document Identification	PS848743W
Number of Pages (excluding this cover sheet)	4
Document Assembled	29/09/2025 08:23

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The document is invalid if this cover sheet is removed or altered.



PLAN OF SUBDIVISION		EDITION 1	PS848743W				
LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT) & 33(PT) TITLE REFERENCE: VOL 12230 FOL 801 LAST PLAN REFERENCE: LP6710 [LOT 3] POSTAL ADDRESS: 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 355 250 ZONE 55 (at approx centre of land in plan) N: 5 786 580 GDA 2020		Call and Refer to General Plans (Change) Council Reference Number: 92-116 Planning Permit Reference: T1605002 SPEAR Reference Number: S1531554 Classification This plan is certified in accordance with the Subdivided Land Act 1988. Date of original certification: under planning permit issued under Subdivided Land Act 1988: 21/04/2023 Public Open Space A legal interest in public open space under section 18 or 18A of the Subdivided Land Act 1988 has been made and the legal interest has been satisfied in accordance with the Act. Legally signed by: Peter Williamson for Cardinia Shire Council on 23/05/2024 Statement of Compliance issued: 26/10/2024 Public Open Space A legal interest in public open space under section 18 or 18A of the Subdivided Land Act 1988 has been made and the legal interest has been satisfied in accordance with the Act.					
VESTING OF ROADS AND/OR RESERVES		NOTATIONS					
<table border="1"> <tr> <th>CENTRE LINE</th> <th>COUNCIL/BODY/PERSON</th> </tr> <tr> <td>ROAD R1 ROAD R2 RESERVE No 1</td> <td>CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD</td> </tr> </table>	CENTRE LINE	COUNCIL/BODY/PERSON	ROAD R1 ROAD R2 RESERVE No 1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD	LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4 WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information please refer to the relevant folio(s) of the Register noting section 88(3) of the Transfer of Land Act 1958.		
CENTRE LINE	COUNCIL/BODY/PERSON						
ROAD R1 ROAD R2 RESERVE No 1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD						
NOTATIONS							
DEPTH LIMITATION: DOES NOT APPLY							
This is a SPEAR plan STAGING: This is not a staged subdivision Planning Permit No: T1605002 SURVEY: This plan is based on survey This survey has been connected to permanent marks No(s) 89, 190, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675		<div style="border: 1px solid black; padding: 5px;">  ADVERTISED MATERIAL Planning Application: T250658 Date Prepared: 04 December 2025 <small>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small> </div>					
Extent of the Plan - Subdivided Stage No: 01 No of lots: 33 of 114 Plan Area: 3.142ha							
EASEMENT INFORMATION							
LEGEND: A: Appurtenant Easement E: Encumbering Easement R: Encumbering Easement (Road)							
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favor Of			
E-1, C-4	PIPELINE	24.38	AST, DC10929	VICTORIA PIPELINES COMMISSION			
E-2	DRAINAGE	3	THIS PLAN	CARDINIA SHIRE COUNCIL			
E-2, C-3	SEWERAGE	SEE OILING	THIS PLAN	SOUTH EAST WATER CORPORATION			
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	THIS PLAN	SOUTH EAST WATER CORPORATION			
 Beveridge Williams development & environment consultants Melbourne ph: 03 9574 6688 www.beveridgewilliams.com.au		SURVEYORS FILE REF: 2000490/01 2000490-01-PS-V31 DWG		CHK: NAL SHEET SIZE: A3			
		Digitally signed by: ADELAN JAMES FREEMAN, Licensed Surveyor Surveyors Plan No: 111 21/05/2024 SPEAR No: S1531554		Land Use Value Plan Registered CO-111-011 31/10/2024 Assessed: Ringwood City			



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PS848743W

MG 4, 2020 ZONE SE

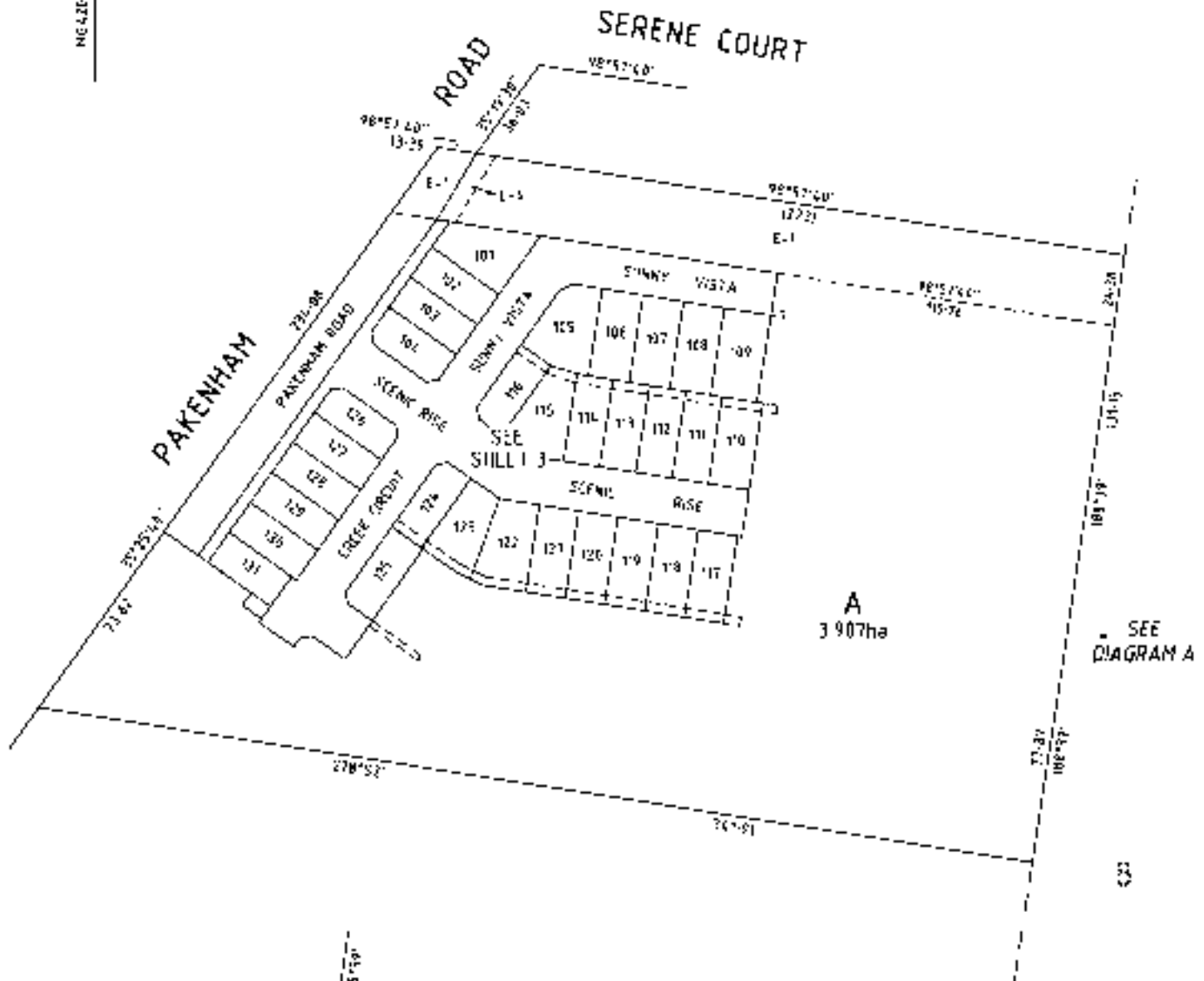


DIAGRAM A
NOT TO SCALE



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Beveridge Williams
development & environment consultants

Melbourne ph: 03 9574 6688

www.beveridgewilliams.com.au

SURVEYORS REF
2000490/01

SCALE
1:1500

15 0 15 30 45 60
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE A5

SHEET 2

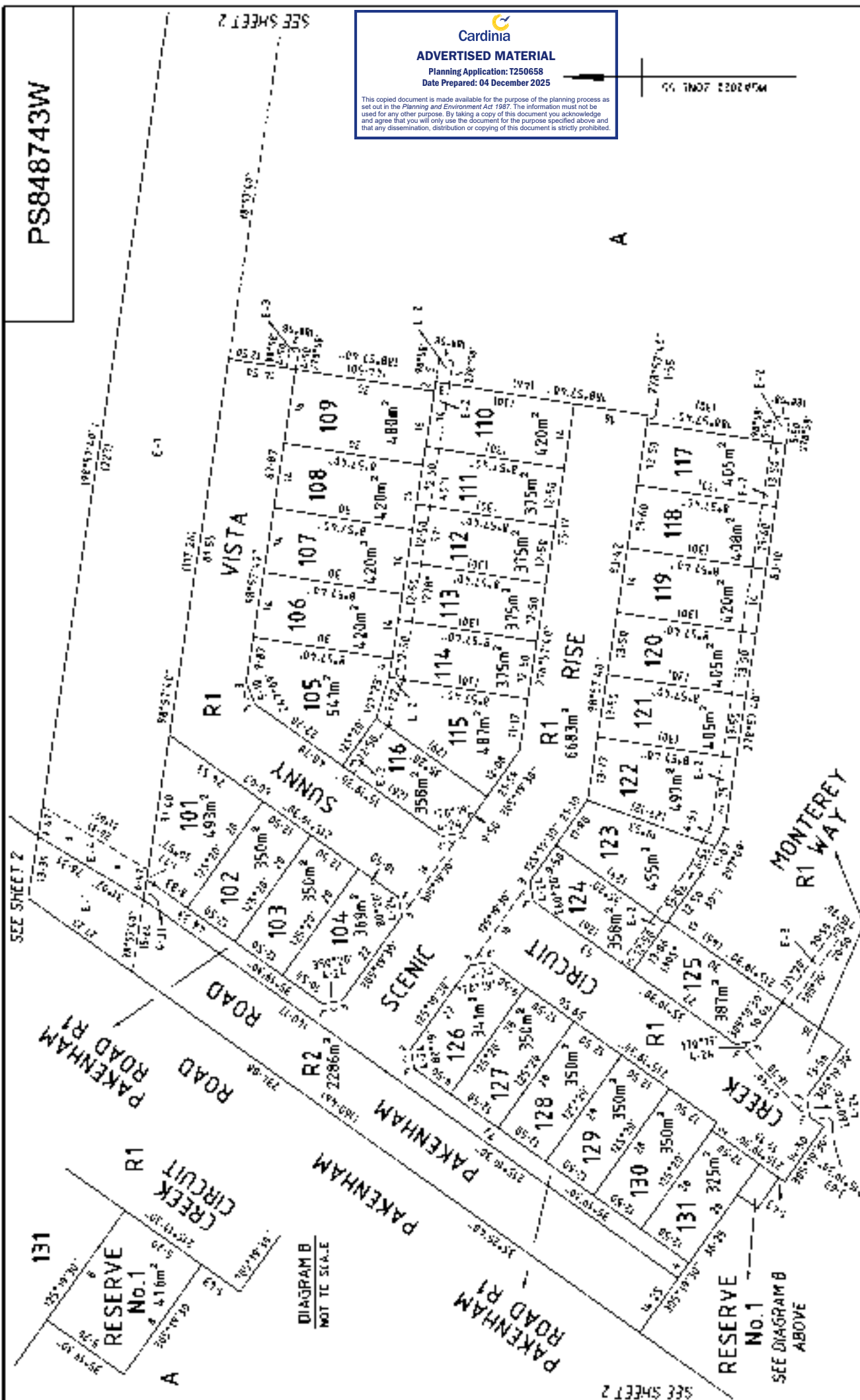
Digitally signed by ADEAN JAMES FREEMAN, known as
Surgeons Planning
21/09/2025 09:23:46 +10:00

Digitally signed by
Cardinia Council
20/09/2025
09:23:46 +10:00

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Beveridge Williams
development & environment consultants
Weymouth sh 03 3524 8888

Beveridge Williams
development & environment consultants
Village Way, 03 3524 8888

07-00000

3039334
SILVER

200049D
J01

FILE

75% C

SCALE	7.5	7	7.5	15	22.5	30
SCALE	7.5	7	7.5	15	22.5	30

5246.361 307 5.12613	551
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CHIGINA SHEET

6 3706	SIZE 23
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100-2000
 200-2000
 200-2000

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



ADVERTISED MATERIAL

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Beveridge Williams

development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

SURVEYORS
2000490/

Digitally signed by
Surveyor:
Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

ORIGINAL SHEET
SIZE: A3

SHEET 4

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 25/11/2025 03:15:03 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC
Postcode	3809



ADVERTISED MATERIAL

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Additional Details

Refer image instrument

The applicant requests the recording of this instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of CARDINIA SHIRE COUNCIL

Signer Name

Signer Organisation

Signer Role

Execution Date

DYE & DURHAM LEGAL PTY LTD

AUSTRALIAN LEGAL PRACTITIONER

25 OCTOBER 2023

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



ADVERTISED MATERIAL

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Document Assembled	

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Cardinia
ADVERTISED MATERIAL
Planning Application: T250658
Date Prepared: 04 December 2025

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)



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Deed of Agreement

Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*


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plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a)** to give effect to the requirements of the Amended Planning Permit;
- (b)** that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c)** to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act	means the <i>Planning and Environment Act 1987</i> (Vic).
Agreement	means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.
Building Design Guidelines	means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.



Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.



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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
- (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
- (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees to maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

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2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have its costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment shall be paid equally by the Parties.



3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.



8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends

- (a) on the date that the Council writes in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.



8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.



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Schedule

Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001.

Print full name

Print full name



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Executed as a deed

**Signed, sealed and delivered as a deed by
the parties**

[Redacted signature area]

Signature of witness

The execution of this document has been witnessed by me
in accordance with the requirements for witnessing by
audio-visual link under section 12 of the Electronic
Transactions (Victoria) Act 2000.
(Strike out if inapplicable)

[Redacted name area]

Name of witness
(BLOCK LETTERS)



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**Executed by BNG (PAKENHAM) PTY LTD
(ACN 640125686) in accordance with
section 127 of the Corporations Act 2001 (Cth)**

[Redacted signature area]

Full name (print)

Full name (print)

Schedule 1

Building Envelope Plan

AX385769J



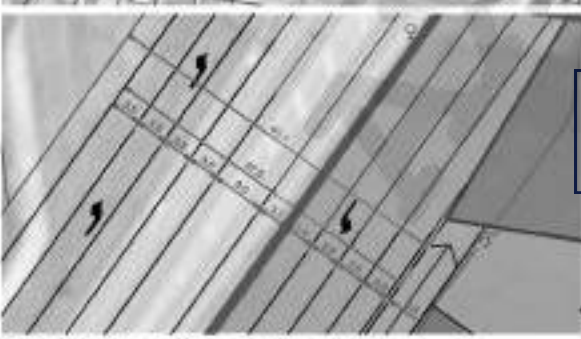
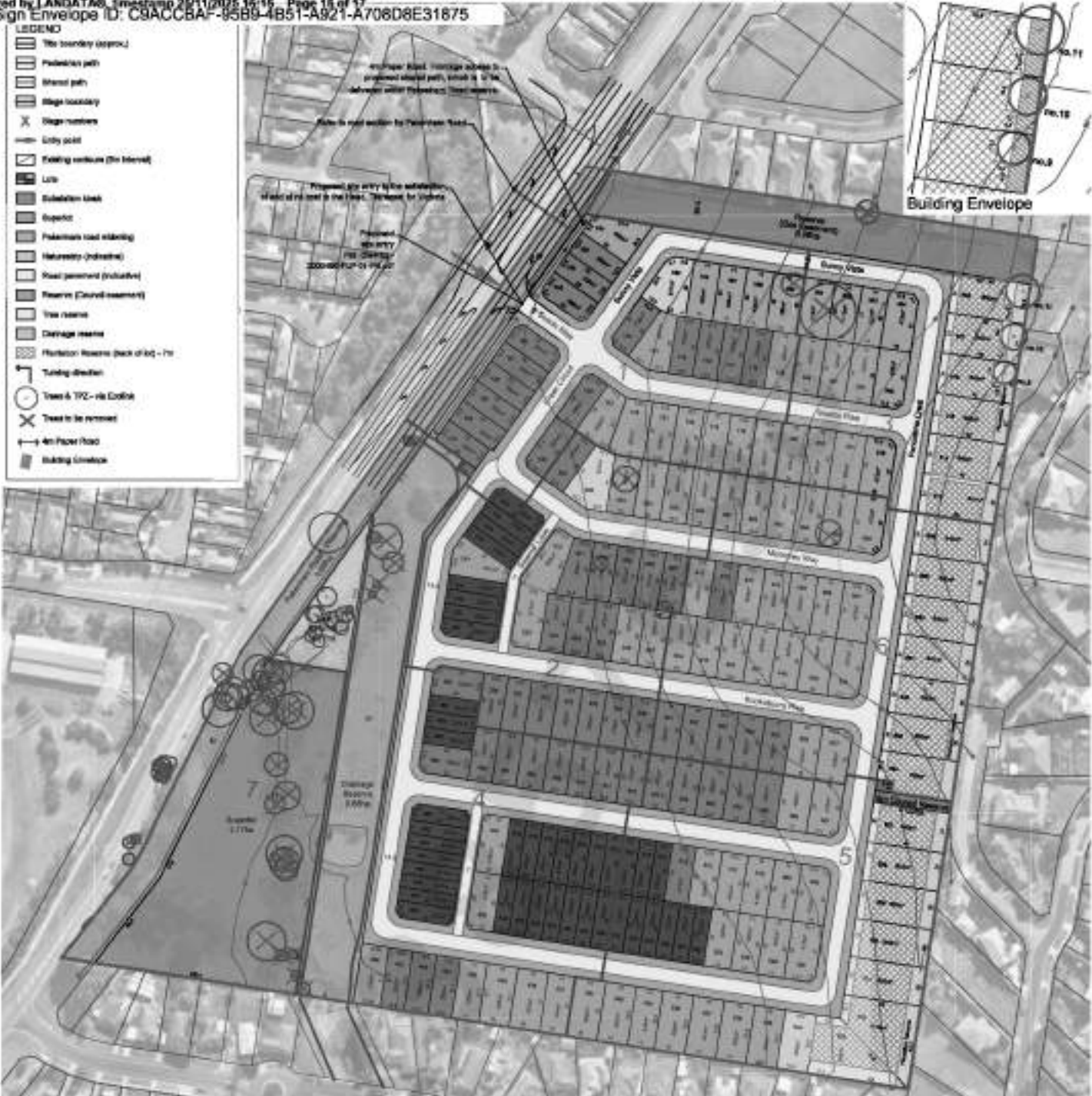
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- LEGEND
- Site boundary (approx)
 - Pedestrian path
 - Internal path
 - Stage boundary
 - Stage numbers
 - Entry point
 - Existing vegetation (on internal)
 - Lot
 - Subsidence line
 - Superlot
 - Pakenham road widening
 - Reservancy (Industrial)
 - Road pavement (industrial)
 - Reserve (Council easement)
 - Tree reserve
 - Drainage reserve
 - Plantation Reserve (back of lot - 1m)
 - Turning direction
 - Trees & TPZ - via Council
 - Trees to be removed
 - 4m Footway (road)
 - Building Envelope



Pakenham Road - Cross Section

- Notes:
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final negotiations.
 - The drainage reserve shown has been preliminarily shown for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering design and Council approval.
 - All roads are 11m broad reserve level 1 unless noted otherwise.
 - Road pavement is indicative only and subject to detailed engineering design.
 - Area dimensions shown are lengths of arc (not chord).

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Stage 1: 100m x 100m

Lot Schedule by Area		
Lot Size	Number of Lots	%
100m x 100m	40	29.8
200m x 100m	36	27.2
400m x 100m	81	40.1
800m x 100m	3	1.8
1600m x 100m	2	0.8
3200m x 100m	20	9.8
Total	182	100

* Table does not include superlot

Total number of lots	283
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7	1

Stage 1: 100m x 100m

Site (Approx.)	15,000 ha
* Standard Density Lots	7,888 ha
* Medium Density Lots	1,021 ha
* Superlot	1,108 ha
* Road	6,008 ha
* Tree Reserve	6,195 ha
* Non-Forestal Forest	3,274 ha
* Social Roads (Pakenham road widening)	6,060 ha
Reserve (Council Easement)	6,380 ha
Drainage Reserve	6,004 ha
Net Developable Area	18,182 ha

Lot Yield (Standard Density)	150 lots
475m ² average lot size	
Lot Yield (Medium Density)	42 lots
240m ² average lot size	
* Lot Yield (Overall)	202 lots @ 18.8 lots per ha
425m ² average lot size	
Superlot	1
Total Number of Lots (inc. 1 superlot)	203

* Includes inclusion in NCR



Subdivision Plan
110 Pakenham Road, Pakenham
BND Group

APPROVED AMENDED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINA PLANNING SCHEME
PERMIT No. 170000-2
APPROVED BY: [Signature]
DATE: Monday, 10 October 2025

15	Site plan	16	Site plan	17	Site plan	Date: 01.09.2002
18	Site plan	19	Site plan	20	Site plan	Version: 10
21	Site plan	22	Site plan	23	Site plan	16
24	Site plan	25	Site plan	26	Site plan	
27	Site plan	28	Site plan	29	Site plan	Job No: 2000-490
30	Site plan	31	Site plan	32	Site plan	Scale (A1): 1:1000
33	Site plan	34	Site plan	35	Site plan	(A3): 1:2500
Version	Date	Description	Checked	Approved		

Schedule 2

Vegetation Plan

AX385769J



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LEGEND

	EXISTING VEGETATION
	PROPOSED VEGETATION
	EXISTING TREES
	PROPOSED TREES
	EXISTING SHRUBS
	PROPOSED SHRUBS
	EXISTING GROUND COVER
	PROPOSED GROUND COVER
	EXISTING LAWN
	PROPOSED LAWN
	EXISTING HARDCOVER
	PROPOSED HARDCOVER

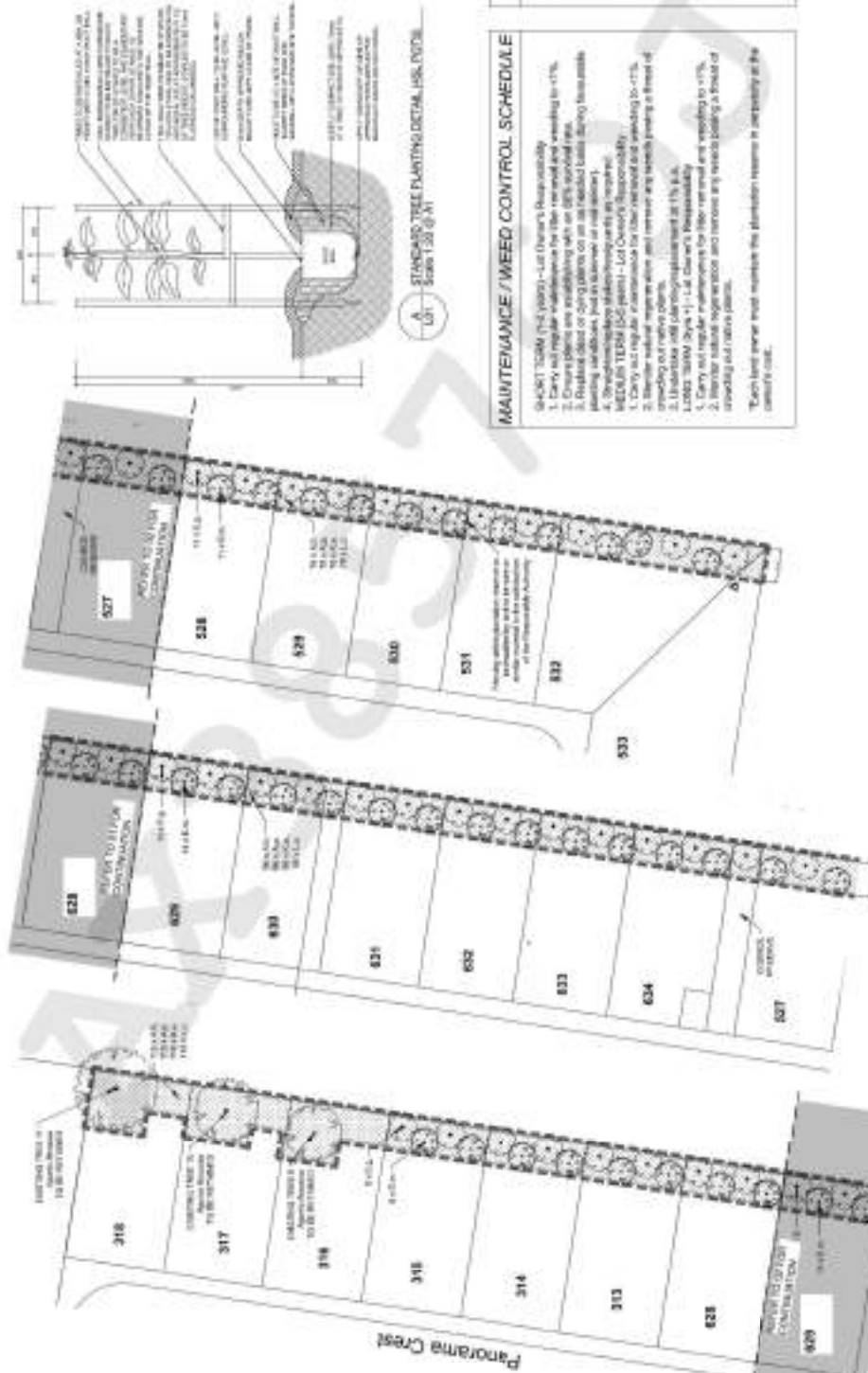
EXISTING VEGETATION

NO.	SP. NAME	HT. (m)	DBH (cm)	STATUS
1	WATER WILLOW	2.5	10	1
2	WATER WILLOW	2.5	10	1
3	WATER WILLOW	2.5	10	1
4	WATER WILLOW	2.5	10	1
5	WATER WILLOW	2.5	10	1
6	WATER WILLOW	2.5	10	1
7	WATER WILLOW	2.5	10	1
8	WATER WILLOW	2.5	10	1
9	WATER WILLOW	2.5	10	1
10	WATER WILLOW	2.5	10	1

PROPOSED VEGETATION

NO.	SP. NAME	HT. (m)	DBH (cm)	STATUS
1	WATER WILLOW	2.5	10	1
2	WATER WILLOW	2.5	10	1
3	WATER WILLOW	2.5	10	1
4	WATER WILLOW	2.5	10	1
5	WATER WILLOW	2.5	10	1
6	WATER WILLOW	2.5	10	1
7	WATER WILLOW	2.5	10	1
8	WATER WILLOW	2.5	10	1
9	WATER WILLOW	2.5	10	1
10	WATER WILLOW	2.5	10	1

NOTES
1. All proposed trees and shrubs are to be planted in accordance with the following specifications:
2. The proposed trees and shrubs are to be planted in accordance with the following specifications:
3. The proposed trees and shrubs are to be planted in accordance with the following specifications:



SOUTHERN PLAN (S1)
Scale 1:500 @ A1

MIDDLE PLAN (M1)
Scale 1:500 @ A1

NORTHERN PLAN (N1)
Scale 1:500 @ A1

MAINTENANCE / WEED CONTROL SCHEDULE

Quarterly (3 times per year) - Lot Owner's Responsibility

1. Carry out regular maintenance for the site and surrounding area.
2. Remove weeds and rubbish from the site and surrounding area.
3. Maintain the site and surrounding area in a neat and tidy condition.
4. Maintain the site and surrounding area in a safe and secure condition.
5. Maintain the site and surrounding area in a healthy and vibrant condition.
6. Maintain the site and surrounding area in a sustainable and eco-friendly condition.
7. Maintain the site and surrounding area in a socially and culturally sensitive condition.
8. Maintain the site and surrounding area in a financially sound condition.
9. Maintain the site and surrounding area in a legally compliant condition.
10. Maintain the site and surrounding area in a socially and culturally sensitive condition.

GENERAL NOTES

1. The Contractor must comply with all applicable laws and regulations.
2. The Contractor must comply with all applicable standards and specifications.
3. The Contractor must comply with all applicable codes of practice.
4. The Contractor must comply with all applicable safety requirements.
5. The Contractor must comply with all applicable environmental requirements.
6. The Contractor must comply with all applicable social and cultural requirements.
7. The Contractor must comply with all applicable financial requirements.
8. The Contractor must comply with all applicable legal requirements.
9. The Contractor must comply with all applicable socially and culturally sensitive requirements.
10. The Contractor must comply with all applicable financially sound requirements.

Beveridge Williams
Design & Planning Consultants
2000450-01 LOT 1 B
1:500 @ A1

The Rise - Pakenham
Plantation Reserve Landscape Plan
ANG Group

Our Ref: 2000490
10 September 2025


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ACN 006 197 235
ABN 58 006 197 235

Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

beveridgewilliams.com.au

Dear Sir/Madam,

**RE: Lot 114 Scenic Rise, Pakenham
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. **Please refer to any other conditions notated on the plans and ensure they are suitably addressed.**

Please note:

- All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.
- Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.
- Any lot under 300m² in size, requires a planning permit for being under 300m² in addition to the ESO planning permit. Front setbacks less than 4m are subject to further council approval.
- If you require planning services or further information, please contact [REDACTED]
- There are no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.
- Due to planning permit requirements, Gas appliances may not be able to be installed, further Council clarification is required.




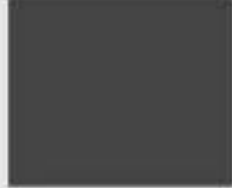
Should you have any queries, please contact the undersigned on 9524 8888 or via email planlodgement@bevwill.com.au All new submissions, re-submissions, amendment submissions or supplemental submissions, please use www.portal.beveridgewilliams.com.au

Kind Regards,

[REDACTED]
Design Approvals Coordinator
BEVERIDGE WILLIAMS

COLOUR SELECTION – LOT 114 SCENIC RISE

S

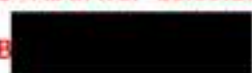
ITEM	DESCRIPTION	COLOUR SWATCH	ITEM	DESCRIPTION	COLOUR SWATCH
ROOF TILES	COOL SMOKE MONUMENT BRISTLE ARTISAN		GARAGE DOOR PROFILE	COSMOPOLITAN MONUMENT	
HEBEL RENDERED WALL 1 HW –R1	VANILLA QUAKE		DRIVEWAY	EXPOSED AGGREGATE CONCRETE DRIVEWAY	
HEBEL RENDERED WALL HW –R2	MONUMENT		ENTRY DOOR	TIMBER TRANSLUCENT STANDARD	
HEBEL RENDERED WALL HW –R3	CHAMPIGNON		ENTRY DOOR HANDLE	PULL HANDLE BLACK	
POLYSTRENE RENDERED CLADDING 1 PO-R1	VANILLA QUAKE		ENTRY DOOR COLOUR	MONUMENT	
FASCIA	MONUMENT		METER BOX COLOUR	MONUMENT	
GUTTER	COLORBOND MONUMENT		EVAP.COOLING UNIT	MONUMENT	
DOWNPIPE	COLORBOND MONUMENT		LETTERBOX	NORTHCOTE POTTERY 35*90CM GREY METRO PILLAR LETTERBOX	
ALUMINIUM DOORS AND WINDOWS	COLORBOND MONUMENT		LETTERBOX COLOR	MONUMENT	

Cardinia
ADVERTISED MATERIAL
Planning Application: T250658
Date Prepared: 04 December 2025
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DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.09.2025

REVIEWED BY



BW

IN OFF:
ARM THAT WE ABOVE
NINGS:


Alina Homes
Builder Licence:
DB-U 51515

REGISTERED
Building Practitioner

NOTE:
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2. ALL DIMENSION NOTES ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
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NORTH:

PROJECT ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DRAWING TITLE:
EXTERNAL COLOUR SPECIFICATION

FOR DA_REV B

DATE:
JUNE 2025
SCALE:

CHECKED:
-
DRAWN:
KM

SHEET:
D7
JOB NUMBER:
SCE-005
REVISION:
DA - 2


HENRY
ARCHITECTS
E: design@h-henry.com.au T: 0433 155 887

REVISIONS / IS	
NO.	DESCRIPTION
DA - 1	FOR DA, REV A
DA - 2	FOR DA, REV B

SITE NOTES:

SITE SOIL CLASSIFICATION
SITE SOIL CLASSIFICATION TO BE CONFIRMED. REFER TO ENG'S DETAILS AND SOIL REPORT FOR REQUIREMENTS IN FOOTINGS & BUILDING OVER REMOVED OR RETAINED TREES FOR THIS SITE OR ADJACENT.

STEP DOWN TO ALFRESCO 150 MM
STEP DOWN TO PORCH 150 MM
STEP DOWN TO GARAGE 150 MM
SITE CUT AND FILL TO BE MINIMUM 1.2M FROM DWELLING.

SITING & DESIGN
SITING AND DESIGN IS SUBJECT TO VERIFICATION OF SITE LEVELS, NEIGHBORING PROPERTIES AND LOCATION OF ALL SERVICES TO ALLOTMENT AT THE TIME OF BUILDING PERMIT APPLICATION.

CUTS/FILLING WORKS NOT SUPPORTED BY RETAINING WALLS.
SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING.
EXTERNAL WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS.
STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.

STORMWATER DRAIN
CONSTRUCT & DISCHARGE 90 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100. PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION. DP DENOTES 100 x 50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIAMETER SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY.

GARDEN TAPS
POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY. THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

LEVELS
LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

GENERAL
-CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
-ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.
-ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE 2017".
-NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
-WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

EXCAVATION
-EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS.
FREE OF ANY BUILDING DEBRIS.
-TERMITE TREATMENT TO COMPLY WITH A.S 3660.1 2009 SPECIFICATIONS

LANDSCAPE NOTE:


LANDSCAPE AND FENCES SCOPE TO BE AS PER CONTRACT.

MAXIMUM FRONT SETBACK OF THE PROPOSED BUILDING/EXTENSION. THE MAXIMUM SETBACK FROM THE FRONT STREET MUST NOT BE MORE THAN ONE-THIRD OF THE DEPTH OF THE ALLOTMENT AS REQUIRED BY REGULATION (REG 73).

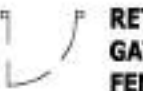

PROVIDE ANTI-PONDING DEVICE IN ACCORDANCE WITH PART 7.3.5 ON ALL THE ROOF PITCHES WHERE THERE ARE NO EAVES OVERHANG, REGARDLESS OF WHETHER SARKING IS REQUIRED.

MINIMUM FLOW RATES OF THE EXHAUST SYSTEM TO KITCHEN, BATHROOM, SANITARY COMPARTMENT AND LAUNDRY IS NOT LESS THAN 40L/S

LEGEND

 CONCRETE DRIVEWAY
 FOLD DOWN CLOTHESLINE

FENCING LAYOUT AS PER DEVELOPER GUIDELINES.

 RETURN FENCE GATE TO MATCH FENCING PROFILE AND COLOUR
 EXTERNAL TAP

AREA SCHEDULE

SITE AREA	375.00 SQM
FLOOR AREA	292.07 SQM
SITE COVERAGE	49.78 %
PERMEABILITY	50.22 %
P.O.S.	149.85 SQ.M.
GARDEN AREA	188.36 SQ.M.

BUILDER NOTES:

INFRASTRUCTURE LEVY AS REQUIRED BY COUNCIL (BEFORE CONSTRUCTION CAN OCCUR) BY CLIENT.

- FIXED SITE COST
- NO ALLOWANCE FOR BORED OR SCREW ARE ALLOWED.
- NO ALLOWANCE FOR ROCKS AND UNDERPINNING ARE ALLOWED.

TERMITE PROTECTION
- PART A PENETRATION CAPPING & PART B SLAB PERIMETER BARRIER SYSTEM.

DEVELOPER CONDITIONS:
• A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN APPLICATION MUST BE APPROVED BY THE COUNCIL BEFORE CONSTRUCTION COMMENCES.
• DUE TO PLANNING PERMIT REQUIREMENT, GAS APPLIANCES MAY NOT BE ABLE TO BE INSTALLED, FURTHER COUNCIL CLARIFICATION IS REQUIRED.


PROVIDE PROVISION FOR FIBRE OPTIC CABLING (OPTICOMM)

DEVELOPER CONDITION: A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN APPLICATION MUST BE APPROVED BY COUNCIL BEFORE CONSTRUCTION COMMENCES.

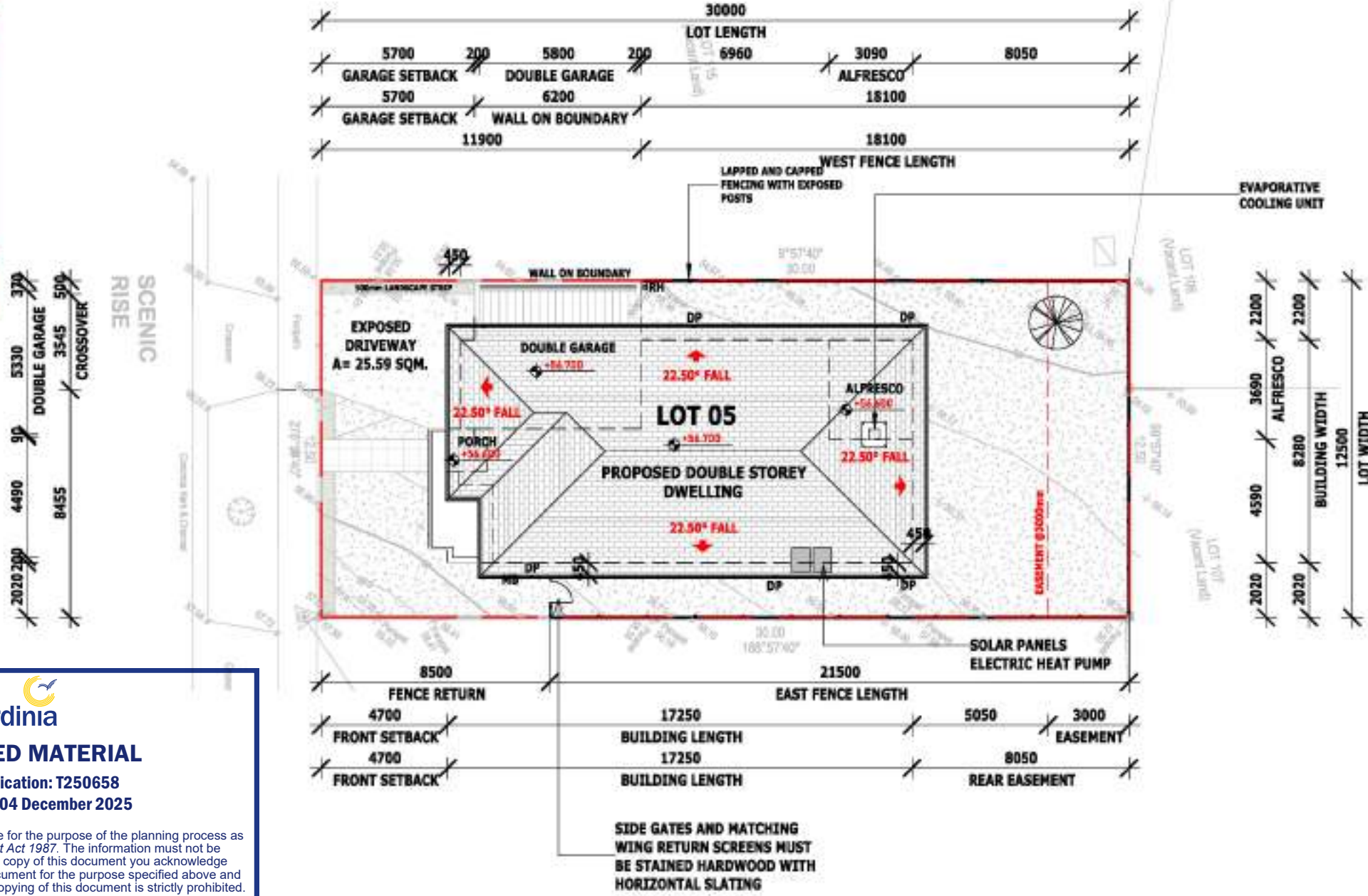
DEVELOPER CONDITION; DUE TO PLANNING PERMIT REQUIREMENT, GAS APPLIANCES MAY NOT BE ABLE TO BE INSTALLED, FURTHER COUNCIL CLARIFICATION IS REQUIRED.

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.09.2025

REVIEWED BY: 

BW



Cardinia
ADVERTISED MATERIAL
Planning Application: T250658
Date Prepared: 04 December 2025

1. SITE PLAN
SCALE 1:200

- DRAINAGE WORKS AS PER STORMWATER DRAINAGE PLANS.

HENRY ARCHITECTS

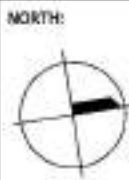
E: design@henry.com.au T: 0433 155 887

REVISIONS / ISSUES:			
NO.	DESCRIPTION	DATE	
DA-1	SKETCH DESIGN	09/06/2025	
DA-1	FOR DA REV A	09/06/2025	
DA-2	FOR DA REV B	09/06/2025	

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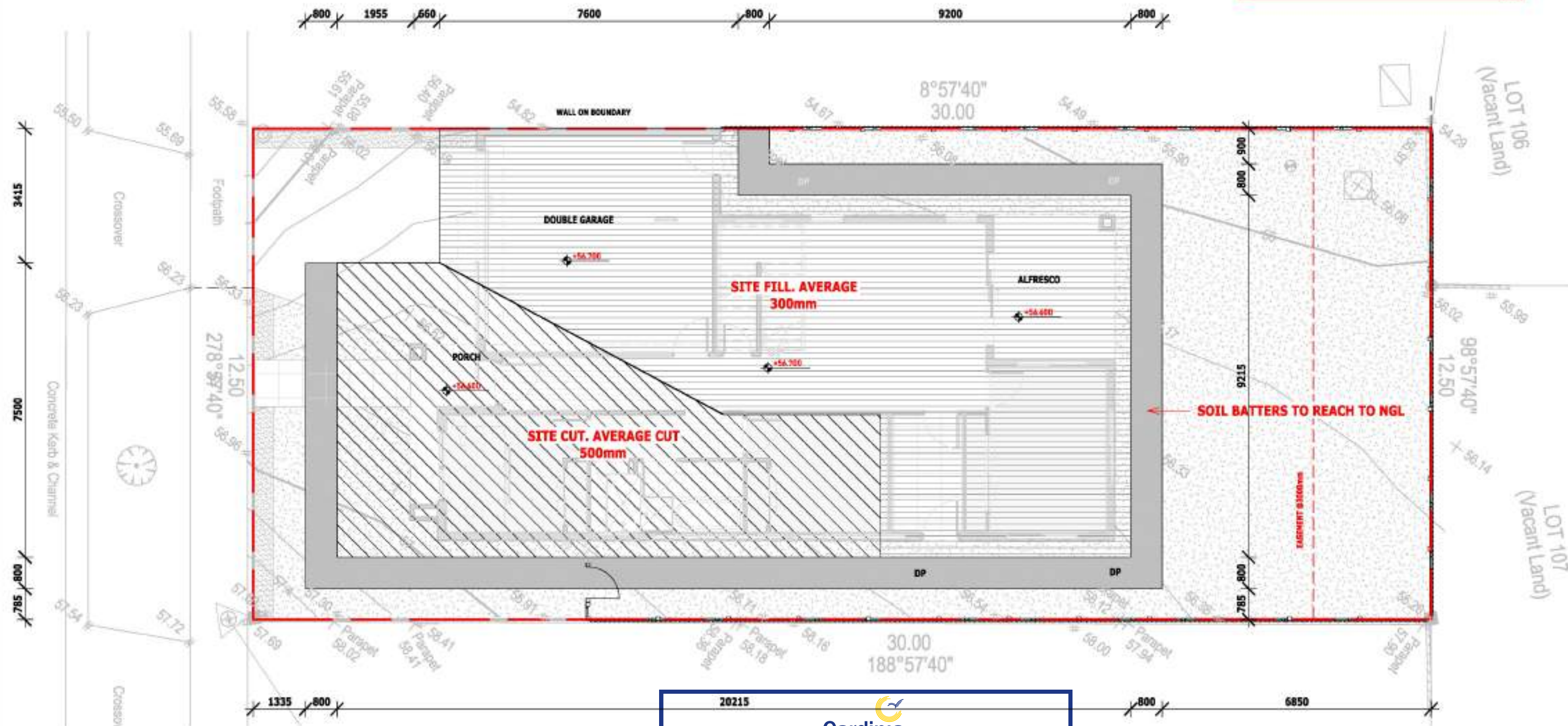
Alina Homes
Builder Licence: DB-U 51515

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CLIENT:
PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DRAWING TITLE:			
DATE:	CHECKED:	SHEET:	REVISION:
JUNE 2025	PM	A1.1	DA - 2
SCALE:	DRAWN:	JOB NUMBER:	
As indicated @ A3	KM	SCE-005	



SCALE 1:100



Cardinia

Planning Application: T250658
Date Prepared: 04 December 2025

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FLOOR PLAN LEGEND

STEP UP/DOWN	GM	GAS METER
DOOR TAG	MB	METER BOX
WINDOW TAG	HWS	HOT WATER SYSTEM (AS SELECTED)

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.09.2025

REVIEWED BY: [Signature]

SOUND INSULATION:

REQUIREMENTS TO ACHIEVE INTERNAL NOISE LEVELS NO GREATER THAN 65 DB LAMAX AND 40 DB LAEQ, 8H FOR THE NIGHT PERIOD FROM 10 PM TO 6 AM FOR INTERNAL BEDROOMS AND INCORPORATING THE RECOMMENDED SOUND INSULATION REQUIREMENTS OF THE ABOVE ACOUSTIC REPORT INTO THE BUILDING CONSTRUCTION AS PER THE RESTRICTION ON THE PLAN OF THE SUBDIVISION.

ARCHITECTURAL DRAWINGS:

NOT TO SCALE DRAWINGS. FIGURED MEASUREMENTS OVERWRITES THE SCALED DRAWINGS. ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BEFORE THE START OF CONSTRUCTION.

LOCKS TO ALL EXTERNAL DOORS AND OPENABLE WINDOWS.

INSULATION:

- EXTERNAL WALLS (EXCEPT GARAGE WALL) R2.0
- INTERNAL WALL (ONLY BETWEEN GARAGE AND HOUSE) R2.0
- CEILING (ALL CEILING EXCEPT GARAGE CEILING) R4.0

NOTES:

- EXHAUST FANS TO VENT TO OUTSIDE THE BUILDING.
- MINIMUM STEP BETWEEN THE HOUSE AND NGL IS 150mm.
- DP SIZE 100x50mm
- DOWN PIPES LOCATION AND SIZE TO BE CONFIRMED BY LICENSED ROOF PLUMBER.

- THE DOORS SERVING THE AREAS NOMINATED BELOW MUST BE READILY REMOVABLE FROM THE OUTSIDE OR BE CHANGED TO A CAVITY SLIDER OR OPEN OUTWARDS AS THERE IS NO CLEAR SPACE OF 1.2M MEASURED BETWEEN THE CLOSET PAN AND THE DOORWAY: EN-SUITE - BATHROOM - WATER CLOSET - POWDER ROOM
- FLOOR WASTE GRADIENT OF THE PROPOSED SHOWER OF 1:80 AS PER NCC VOL 2 2022.

AREA ANALYSIS

GARAGE	35.55	SQM.	3.82 SQ.
PORCH	5.28	SQM.	0.57 SQ.
ALFRESCO	11.40	SQM.	1.23 SQ.
BALCONY	13.18	SQM.	1.42 SQ.
GF LIVING	104.09	SQM.	11.20 SQ.
FF LIVING	122.57	SQM.	13.19 SQ.
TOTAL	292.07	SQ.M.	31.43 SQ



PLAN APPROVAL DATE: 10.09.2025

REVIEWED BY: [Signature]

BW

CLIENT SIGN OFF:

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SIGNATURE:

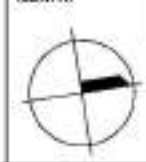
Alina Homes
Builder Licence:
DB-U 51515

REGISTERED
Building Practitioner

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NORTH:

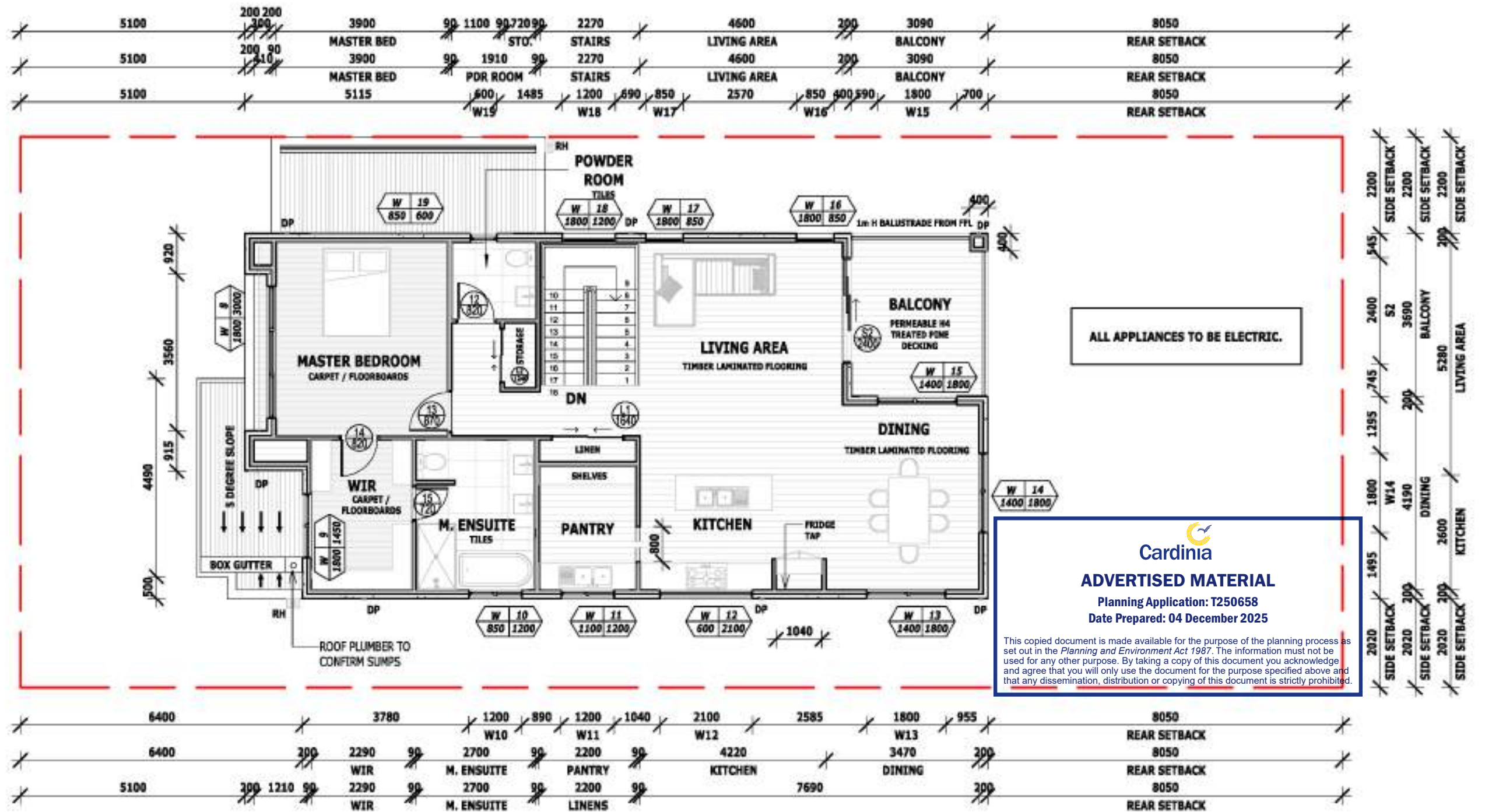


PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DRAWING TITLE:
GROUND FLOOR PLAN

FOR DA_REV B

DATE:
JUNE 2025SCALE:
1 : 100 @ A3CHECKED:
SHDRAWN:
KMSHEET:
A2.1JOB NUMBER:
SCE-005



FIRST FLOOR PLAN

SCALE 1:100

FIRST FLOOR
INTERNAL DOORS
TO BE 2040mm (H)

FLOOR PLAN LEGEND

	STEP UP/DOWN	GM	GAS METER
	DOOR TAG	MB	METER BOX
	WINDOW TAG	HWS	HOT WATER SYSTEM (AS SELECTED)

SOUND INSULATION:

REQUIREMENTS TO ACHIEVE INTERNAL NOISE LEVELS NO GREATER THAN 65 DB LAMAX AND 40 DB LAEQ, 8H FOR THE NIGHT PERIOD FROM 10 PM TO 6 AM FOR INTERNAL BEDROOMS AND INCORPORATING THE RECOMMENDED SOUND INSULATION REQUIREMENTS OF THE ABOVE ACOUSTIC REPORT INTO THE BUILDING CONSTRUCTION AS PER THE RESTRICTION ON THE PLAN OF THE SUBDIVISION.

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PORCH	5.28	SQM.	0.57	SQ.
ALFRESCO	11.40	SQM.	1.23	SQ.
BALCONY	13.18	SQM.	1.42	SQ.
GF LIVING	104.09	SQM.	11.20	SQ.
FF LIVING	122.57	SQM.	13.19	SQ.
TOTAL	292.07	SQ.M.	31.43	SQ

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.09.2025

REVIEWED BY: [REDACTED]

BW

DATE	SIGNATURE
03/06/2025	
06/08/2025	
06/09/2025	

CLIENT SIGN OFF:

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SIGNATURE:

Alina Homes

Builder Licence: DB-U 51515

NOTE:

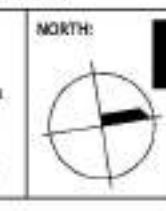
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PROJECT/ADDRESS:

5 Scenic Rise, Pakenham
LOT 114

DATE:

JUNE 2025

SCALE:

1 : 100 @ A3

CHECKED:

SH

DRAWN:

KM

SHEET:

A2.2

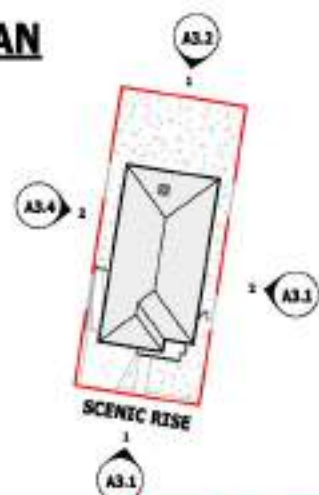
REVISION:

DA - 2

JOB NUMBER:

SCE-005

KEYPLAN



Cardina
ADVERTISED MATERIAL
 Planning Application: T250658
 Date Prepared: 04 December 2025

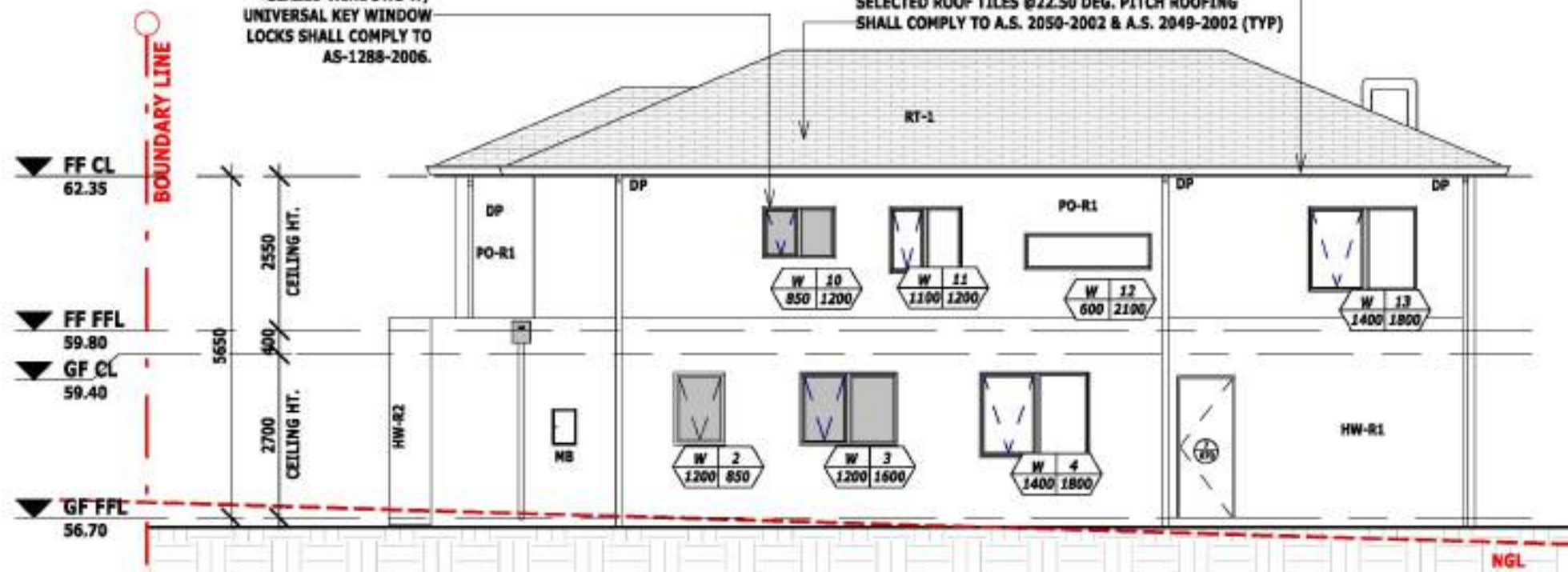
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DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 10.09.2025
 REVIEWED BY: [REDACTED]

1. SOUTH ELEVATION (ALONG SCENIC RISE)

SCALE 1:100

SIDE SETBACK (MIN)
 = 1 + [0.3 (H - 3.6)]
 = 1 + [0.3 (5.65 - 3.6)]
 = 1.615 M



2. EAST ELEVATION

SCALE 1:100

EVAPORATIVE COOLING UNIT MUST BE LOCATED BELOW THE ROOF RIDGELINE AND AT THE REAR OF THE HOUSE, AND MATCH THE COLOUR OF THE ROOF.

KITCHEN RANGEHOOD AND LAUNDRY EXHAUST FANS TO BE MINIMUM 40L/s.

BATHROOM, WC & ENSUITE EXHAUST FANS TO BE 25L/s.

VENTILATION OF ROOF SPACES MUST COMPLY WITH NCC 2022 - 10.8.3 - ALL MECHANICAL VENTILATIONS WITHIN THE BATHROOMS AND KITCHEN EXHAUSTS ARE DISCHARGED DIRECTLY OUTSIDE. -OPENINGS MUST HAVE A TOTAL UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS MORE THAN 22°, OR 1/150 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS NOT MORE THAN 22°.

WALL ON BOUNDARY: EXTERNAL WALLS ON BOUNDARY ARE TO BE CONSTRUCTED TO NCC - 2022 - PART 9 WITH NON COMBUSTIBLE MATERIAL TO UNDERSIDE OF ROOFING MATERIAL. EAVES WITHIN 900mm OF TITLE BOUNDARY ARE TO BE PROTECTED FROM SPREAD OF FIRE IN ACCORDANCE WITH NCC 2022 - 3.7.2 WITH NON COMBUSTIBLE MATERIAL OF ROOF, GUTTER AND EAVE LINING. WALLS ON OR WITHIN 900mm FROM TITLE BOUNDARIES ARE TO BE FRL 60/60/60.

ARCHITECTURAL DRAWINGS: DO NOT SCALE DRAWINGS; FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES. ALL DIMENSIONS LEVELS & EXISTING CONDITIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MEMBERS.

THESE PLANS AREA TO BE READ IN CONJUNCTION WITH THE STRUCTURAL PLANS AND ENERGY RATING REPORT. NOTE: IF THERE IS ANY CONFLICT INFORMATION, PLEASE CONTACT OUR OFFICE.

BRICKWORK ARTICULATION JOINTS: FINAL LOCATION OF ARTICULATION JOINTS TO BE CONFIRMED BY ENGINEER, CURRENT LOCATION ARE ONLY INDICATIVE.

FRONT FACADE MATERIALS TABLE

DESCRIPTION	SQ.M.	%
HW - R1	14.75	45.08 %
HW - R2	4.92	15.04 %
HW - R3	5.20	15.89 %
PO - R1	7.85	24.11 %
TOTAL	32.72	100.00 %

SELECTED ROOF TILES @22.5 DEG. PITCH ROOFING SHALL COMPLY TO A.S. 2050-2002 & A.S. 2049-2002 (TYP)

SELECTED COLORBOND GUTTER SET TO FALL 1 IN 500 mm FIXED TO A COLORBOND FASCIA (TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISIONS MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INTO THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THE LIKE (TYP)

SELECTED ALUMINIUM GLAZED WINDOWS W/ UNIVERSAL KEY WINDOW LOCKS SHALL COMPLY TO AS-1288-2006.

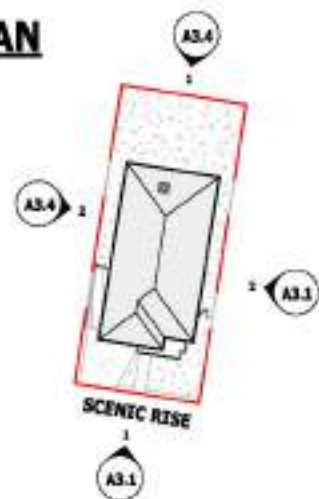
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EAVE GUTTERS ARE TO 115 QUAD GUTTERS. MINIMUM FALL IS 1:500

LEGEND

DP	DOWN PIPE
HW	HEBEL WALL
R1	RENDER FINISH
RT	ROOF TILES @ 18.00° PITCH
GM	GAS METER
MB	METER BOX
[Symbol]	OBSCURE WINDOW
HWS	HOT WATER SERVICE
[Symbol]	DOOR TAG
[Symbol]	WINDOW TAG

KEYPLAN



Cardina
ADVERTISED MATERIAL
Planning Application: T250658
Date Prepared: 04 December 2025

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DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.09.2025

REVIEWED BY: [REDACTED]

BW

1. NORTH ELEVATION

SCALE 1:100



SELECTED ROOF TILES @22.5 DEG. PITCH ROOFING SHALL COMPLY TO A.S. 2050-2002 & A.S. 2049-2002 (TYP)

EVAPORATIVE COOLING UNIT

SELECTED COLORBOND GUTTER SET TO FALL 1 IN 500 mm FIXED TO A COLORBOND FASCIA (TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISIONS MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INTO THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THE LIKE (TYP)

SELECTED STEEL BALUSTRADE 1000mm HT.

SELECTED ALUMINIUM GLAZED WINDOWS W/ UNIVERSAL KEY WINDOW LOCKS SHALL COMPLY TO AS-1288-2006.

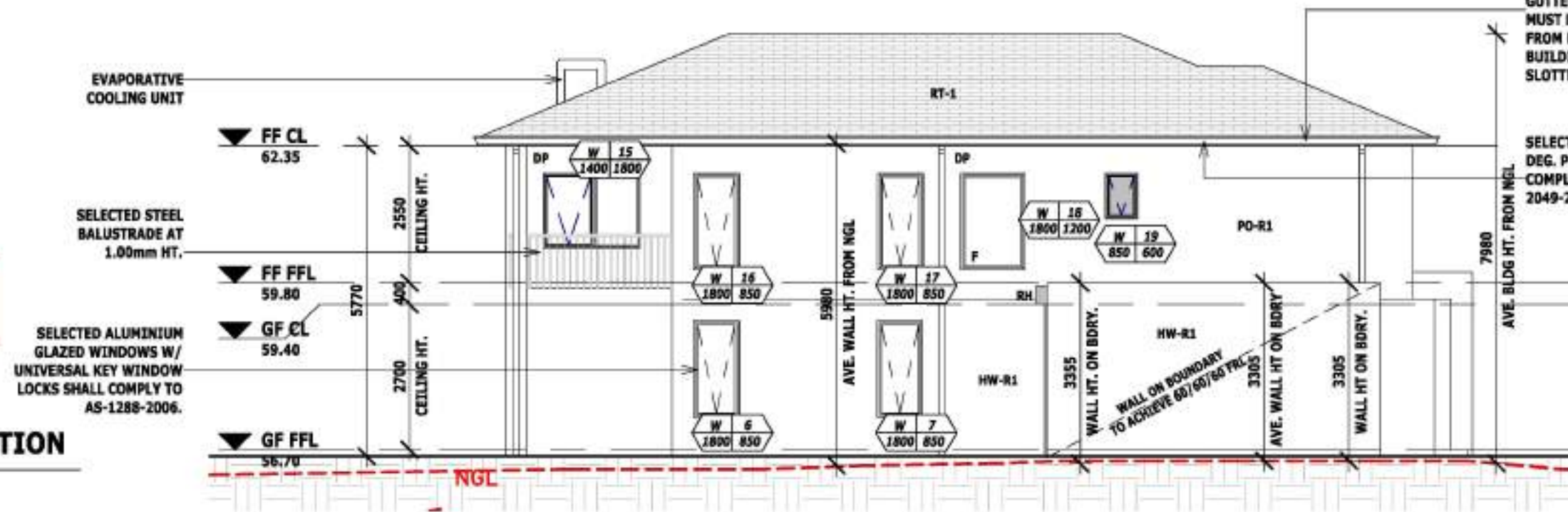
SELECTED COLORBOND GUTTER SET TO FALL 1 IN 500 mm FIXED TO A COLORBOND FASCIA (TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISIONS MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INTO THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THE LIKE (TYP)

SELECTED ROOF TILES @22.5 DEG. PITCH ROOFING SHALL COMPLY TO A.S. 2050-2002 & A.S. 2049-2002 (TYP)

SIDE SETBACK (MIN)
= 1 + [0.3 (H - 3.6)]
= 1 + [0.3 (6.22 - 3.6)]
= 1.79 M

2. WEST ELEVATION

SCALE 1:100



EVAPORATIVE COOLING UNIT MUST BE LOCATED BELOW THE ROOF RIDGELINE AND AT THE REAR OF THE HOUSE, AND MATCH THE COLOUR OF THE ROOF.

KITCHEN RANGEHOOD AND LAUNDRY EXHAUST FANS TO BE MINIMUM 40L/s.

BATHROOM, WC & ENSUITE EXHAUST FANS TO BE 25L/s.

VENTILATION OF ROOF SPACES MUST COMPLY WITH NCC 2022 - 10.8.3 - ALL MECHANICAL VENTILATIONS WITHIN THE BATHROOMS AND KITCHEN EXHAUSTS ARE DISCHARGED DIRECTLY OUTSIDE. -OPENINGS MUST HAVE A TOTAL UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS MORE THAN 22°, OR 1/150 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS NOT MORE THAN 22°.

WALL ON BOUNDARY: EXTERNAL WALLS ON BOUNDARY ARE TO BE CONSTRUCTED TO NCC - 2022 - PART 9 WITH NON COMBUSTIBLE MATERIAL TO UNDERSIDE OF ROOFING MATERIAL. EAVES WITHIN 900mm OF TITLE BOUNDARY ARE TO BE PROTECTED FROM SPREAD OF FIRE IN ACCORDANCE WITH NCC 2022 - 3.7.2 WITH NON COMBUSTIBLE MATERIAL OF ROOF, GUTTER AND EAVE LINING. WALLS ON OR WITHIN 900mm FROM TITLE BOUNDARIES ARE TO BE FRL 60/60/60.

ARCHITECTURAL DRAWINGS: DO NOT SCALE DRAWINGS; FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES. ALL DIMENSIONS LEVELS & EXISTING CONDITIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MEMBERS.

THESE PLANS AREA TO BE READ IN CONJUNCTION WITH THE STRUCTURAL PLANS AND ENERGY RATING REPORT. NOTE: IF THERE IS ANY CONFLICT INFORMATION, PLEASE CONTACT OUR OFFICE.

BRICKWORK ARTICULATION JOINTS: FINAL LOCATION OF ARTICULATION JOINTS TO BE CONFIRMED BY ENGINEER, CURRENT LOCATION ARE ONLY INDICATIVE.

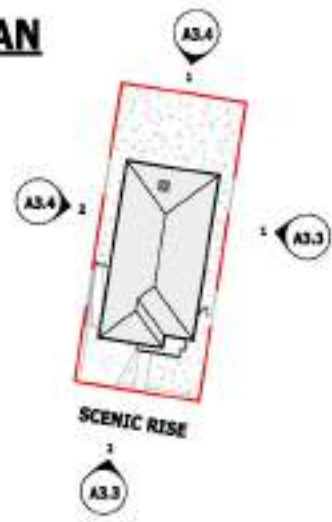
FRONT FACADE MATERIALS TABLE

DESCRIPTION	SQ.M.	%
HW - R1	14.75	45.08 %
HW - R2	4.92	15.04 %
HW - R3	5.20	15.89 %
PO - R1	7.85	24.11 %
TOTAL	32.72	100.00 %

LEGEND

DP	DOWN PIPE
HW	HEBEL WALL
R1	RENDER FINISH
RT	ROOF TILES @ 18.00° PITCH
GM	GAS METER
MB	METER BOX
[Symbol]	OBSCURE WINDOW
HWS	HOT WATER SERVICE
[Symbol]	DOOR TAG
[Symbol]	WINDOW TAG

KEYPLAN



1. SOUTH FENCING ELEVATION

SCALE 1:100



DESIGN ASSESSMENT PANEL

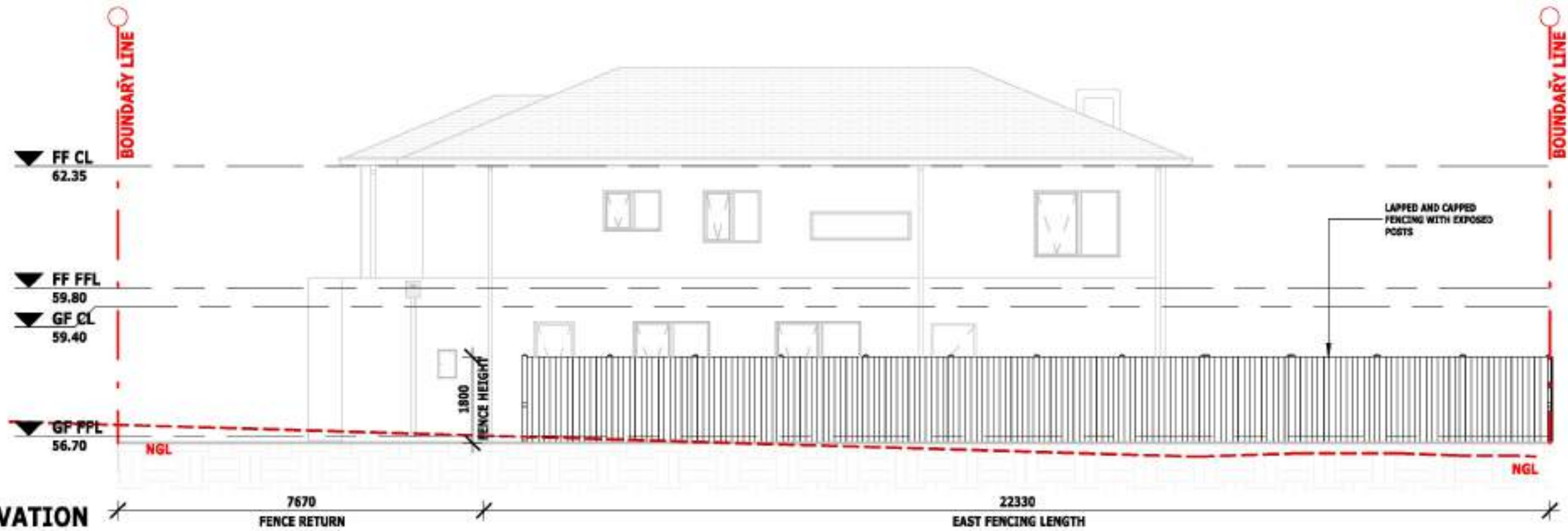
PLAN APPROVAL DATE: 10.09.2025

REVIEWED BY: [REDACTED]

BW

2. EAST FENCING ELEVATION

SCALE 1:100



<div><div>S</div><div>HENRY ARCHITECTS</div><div>E: design@h-henry.com.au M: 0433 155 887</div></div>	REVISIONS / ISSUES:			CLIENT SIGN OFF:		<div><div></div><div>Alina Homes</div><div><small>Residential Civil & Building</small></div><div>Builder Licence: DB-U 51515</div></div>	<div><div>REGISTERED Building Practitioner</div><div></div><div>NOTE: 1. DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS. 2. ALL DIMENSION NOTES ARE IN MILLIMETRES UNLESS STATED OTHERWISE. 3. THE CONTRACTOR MUST CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF ANY WORKS. 4. THESE DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANT'S DRAWINGS / DETAILS REPORTS. THIS DRAWING IS THE PROPERTY OF ALINA HOMES. IT SHOULD NOT BE COPIED WITHOUT WRITTEN CONSENT.</div></div>	NORTH: <div></div>	DRAWING TITLE: FENCING ELEVATIONS I		FOR DA_REV B	
	NO. 002/01/2024	DATE:	I/WE CONFIRM THAT WE ABOVE THESE DRAWINGS:		PROJECT/ADDRESS: 5 Scenic Rise, Pakenham LOT 114				DATE: JUNE 2025	CHECKED: PM	SHEET: A3.3	REVISION: DA - 2
	SK-1 SKETCH DESIGN	03/06/2025	SIGNATURE:		THIS DRAWING IS THE PROPERTY OF ALINA HOMES. IT SHOULD NOT BE COPIED WITHOUT WRITTEN CONSENT.				SCALE: As indicated @ A3	DRAWN: KM	JOB NUMBER: SCE-005	
	DA - 1 FOR DA_REV A	08/02/2025										
	DA - 2 FOR DA_REV B	08/09/2025										

Cardinia

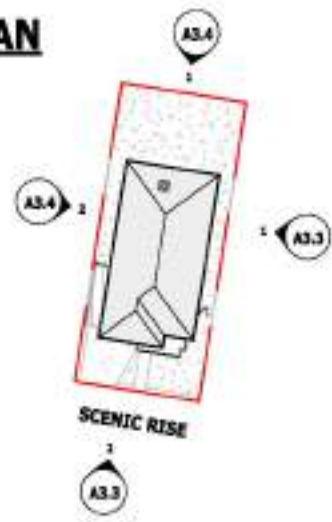
ADVERTISED MATERIAL

Planning Application: T250658

Date Prepared: 04 December 2025

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KEYPLAN



1. NORTH FENCING ELEVATION

SCALE 1:100



DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.09.2025

REVIEWED BY:

BW

2. WEST FENCING ELEVATION

SCALE 1:100



REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
SK-1	SKETCH DESIGN	03/06/2025
DA-1	FOR DA, REV A	08/02/2025
DA-2	FOR DA, REV B	08/09/2025

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SIGNATURE:

Alina Homes
Builder Licence:
DB-U 51515

REGISTERED
Building Practitioner

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NORTH:

PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DRAWING TITLE:

DRAWING ELEVATIONS II
DATE: JUNE 2025
SCALE: As indicated @ A3

CHECKED: PM
DRAWN: KM
SHEET: A3.4
JOB NUMBER: SCE-005
REVISION: DA - 2

FOR DA_REV B

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Cardinia
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CANOPY TREE SHOULD HAVE A MAXIMUM HEIGHT AND DIAMETER AT FULL MATURITY OF 8M AND MUST BE PLANTED A MINIMUM 3M AWAY FROM THE HOME

SPECIES FOR TREES AND SHRUBS

-SHRUBS:

- MARSH SALT BUSH
- FRAGRANT SALT BUSH

*(SHRUBS ARE FLOWERING PLANTS FOR COLOUR)

-TREES:

- ACACIA ACINACEA

-GRASS:

- SIR WALTER GRASS
- RIVER TUSOCK

GRASS

NATURAL COLOUR MULCH TO BE USED FOR GARDEN BED

- WHERE CUTTING AND FILLING IS GREATER THAN 1M, THE UTILISATION OF PLANTED AND LANDSCAPED EMBANKMENTS (MAXIMUM 1:3 RATIO) MUST BE CONSTRUCTED.

- LANDSCAPING TO YOUR FRONT YARD SHOULD CONSIST OF LOCAL INDIGENOUS PLANTS, HARD SURFACES SHOULD BE KEPT TO A MINIMUM.

LANDSCAPE NOTE:

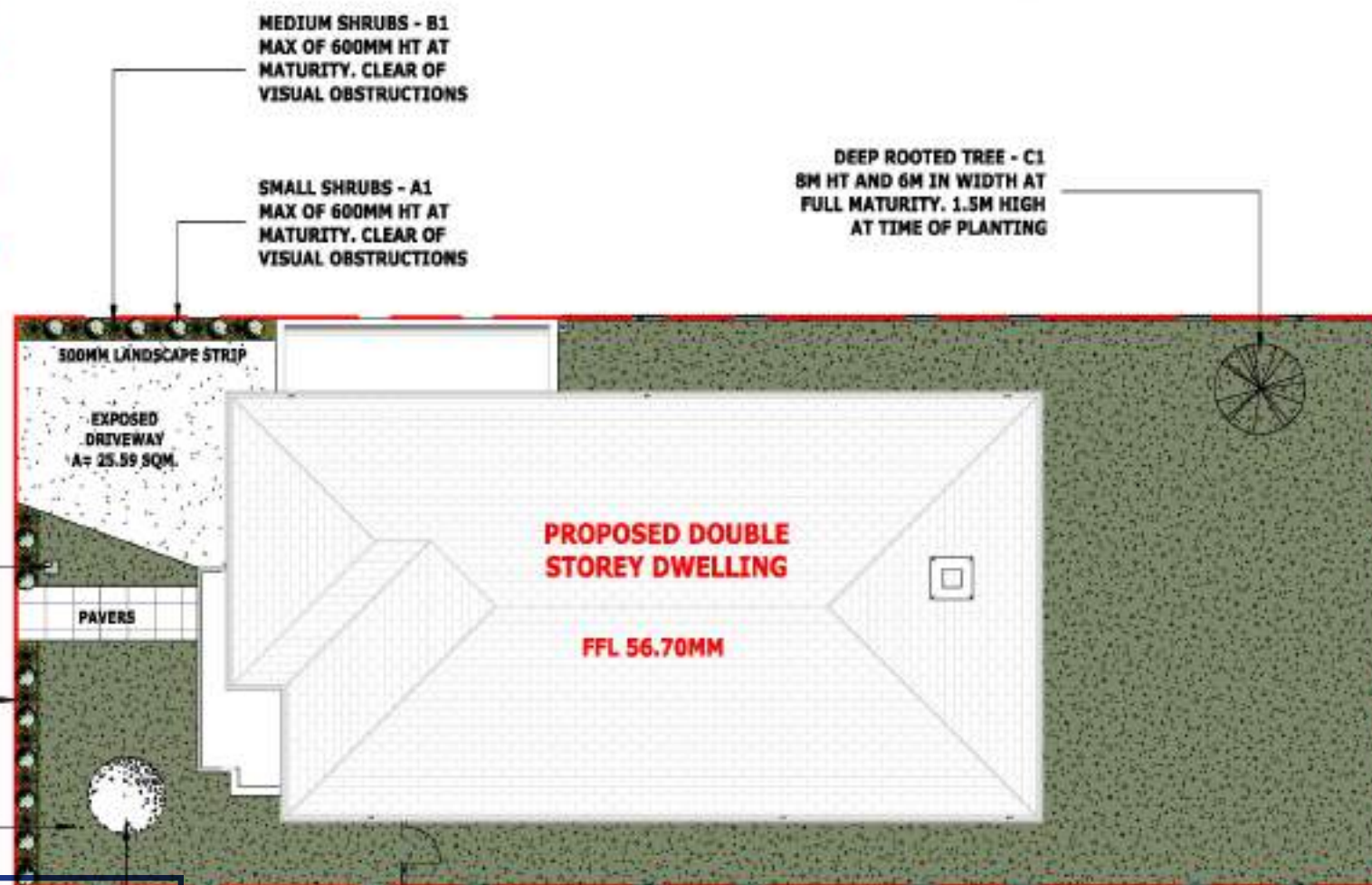
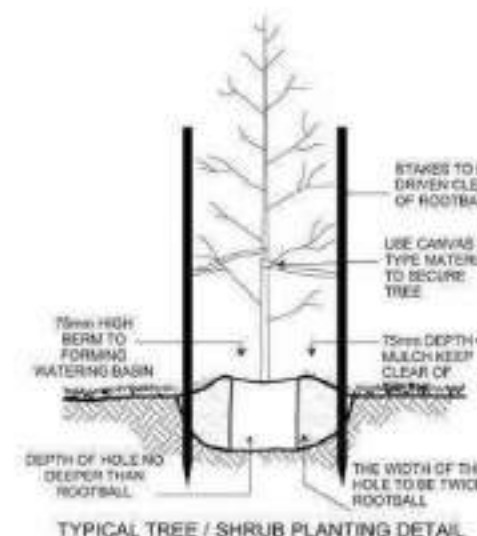
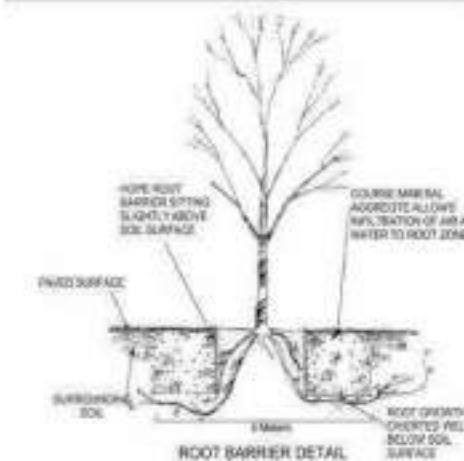
FRONT LANDSCAPING IS TO BE IN ACCORDANCE WITH THE DESIGN GUIDELINES AND MUST BE COMPLETED BY THE OWNER WITHIN 90 DAYS FROM THE ISSUE OF AN OCCUPANCY PERMIT.

LETTERBOX NOTE:

THE LETTERBOX MUST COMPLEMENT AND MATCH THE DWELLING. SINGLE POST SUPPORTED LETTERBOXES ARE NOT PERMITTED.

GENERAL NOTES:

1. LANDSCAPER TO ENSURE ALL SITE LEVELS ARE AS PER ENDORSED PLANS
2. NO FENCING TO ENROACH NEIGHBOURING PROPERTIES
3. PROVIDE 80MM X 12MM JARRAH GARDEN BED EDGING (OR SIMILAR) SET FLUSH WITH GARDEN LEVELS WITH METAL PAD AT APPROX. 1M INTERVALS OR AS REQUIRED
4. 150MM TOP SOIL TO GARDEN BEDS
5. 50MM TOP SOIL TO GROUND COVER WHERE GRASS TO BE PLANTED
6. 50MM COVER FOR ALL BARKS, MULCH AND ARCHITECTURAL STONE AS INDICATED
7. TIMBER RETAINING WALLS AND OR RETAINING GARDEN ROCKS TO BE INSTALLED OR LAID AS PER TYPICAL AUSTRALIAN STANDARDS AND SHOULD HAVE AGI DRAIN INSTALLED AND CONNECTION TO STORM WATER SYSTEM AS APPROPRIATE. REFER TO ENGINEER FOR MORE DETAIL
8. PAVING STONES TO BE MORTARED IN PLACE OVER SAND BED
9. CLOTHES LINES, STORAGE SHEDS AND LETTER BOXES TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
10. MAINTAIN THE LANDSCAPE MINIMUM OF 12 WEEKS (RESPONSIBILITY OF THIS TO BE DETERMINED WITH OWNER). REPLACE PLANTS THAT HAVE DIED OR HAVE BEEN REMOVED. REMOVE WEEDS AND REPLACE MULCH TO THE REQUIRED LEVELS



MEDIUM SHRUBS - B1
MAX OF 600MM HT AT
MATURITY. CLEAR OF
VISUAL OBSTRUCTIONS

SMALL SHRUBS - A1
MAX OF 600MM HT AT
MATURITY. CLEAR OF
VISUAL OBSTRUCTIONS

DEEP ROOTED TREE - C1
8M HT AND 6M IN WIDTH AT
FULL MATURITY. 1.5M HIGH
AT TIME OF PLANTING

PROPOSED DOUBLE
STOREY DWELLING

FFL 56.70MM

DEEP ROOTED TREE - C1
8M HT AND 6M IN WIDTH AT FULL
MATURITY. 1.5M HIGH AT TIME OF
PLANTING

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 10.09.2025

REVIEWED BY:

BW

IMPERMEABLE HARD SURFACE: 49.77%
PERMEABLE SURFACE: 50.23%

AREA SCHEDULE:

TOTAL GARDEN AREA	188.36 SQ.M.
DRIVEWAY	25.59 SQ.M.
LAWN	31.98 SQ.M.
GARDEN BED	6.44 SQ.M.
PAVERS	4.76 SQ.M.

TREE NOTE:

Minimum 2 deep rooted trees for each front garden is required. Tree root zones should be away from the dwelling to avoid damage to footings.

PLANT NOTE:

The front 2 metres of each lot must use plants from the medium and small shrubs.

LEGEND

	SMALL SHRUB		GARDEN BED		DRIVEWAY		PAVERS
	MEDIUM SHRUB		GRASS		SMALL / MEDIUM TREE		LETTER BOX

CODE

PLANTS / TREE

REQUIREMENT

QUANTITY

A1	SMALL SHRUBS	150 mm POT SIZE	28
B1	MEDIUM SHRUBS	200 mm POT SIZE	29
C1	TREE	MAX OF 8M HEIGHT, 6M IN WIDTH AT MATURITY	2

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
SK-1	SKETCH DESIGN	03/06/2025
DA-1	FOR DA, REV A	08/02/2025
DA-2	FOR DA, REV B	08/09/2025

CLIENT SIGN OFF:

I/WE CONFIRM THAT WE ABOVE
THESE DRAWINGS:

SIGNATURE:

Alina Homes
Builder Licence:
DB-U 51515

REGISTERED
Building Practitioner

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NORTH:



PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DRAWING TITLE:
LANDSCAPE PLAN

FOR DA, REV B

DATE:
JUNE 2025
SCALE:
As indicated @ A3

CHECKED:
SH
DRAWN:
KM

SHEET:
A9.00
JOB NUMBER:
SCE-005
REVISION:
DA - 2

HENRY
ARCHITECTS

E: design@henry.com.au T: 0433 555 887

GENERAL NOTES

- THE DRAWINGS CONTAINED HERE WITHIN ARE TO BE READ & CONFIRMED IN FULL PRIOR TO CONSTRUCTION.
- NO RESPONSIBILITY SHALL BE TAKEN IF INFORMATION SUPPLIED IS INCORRECT OR INCOMPLETE BEYOND THE COMMENCEMENT OF WORKS.
- THE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ACCOMPANYING DESIGNS & SPECIFICATIONS (REFER TO THE APPROPRIATE DESIGNS & SPECIFICATIONS (REFER TO APPROPRIATE DOCUMENTATION FOR RELEVANT DETAILS).

- DO NOT SCALE OF DRAWINGS. USE FIGURED DIMENSIONS ONLY. CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2022 BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT STANDARDS (AS AMENDED) REFERRED THEREIN.
- UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2016 BUILDING CODE OF AUSTRALIA VOLUME 2.
- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.

SITE CLASSIFICATION

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS AND SOIL REPORT.

TERMITE PROTECTION

- WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO UNDERSIDE OF BUILDING & PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK.
- A TERMITE BARRIER OR COMBINATION OF BARRIERS MUST BE INSTALLED IN ACCORDANCE WITH AS 3660.01 OR NCC 2022-3.1.3.3 FOR CONCRETE SLABS ON GROUND OR NCC 2022-3.1.3.4 FOR A SUSPENDED FLOOR. FOR BARRIER OPTIONS REFER TO NCC 2022-Table 3.1.3.1.

STORMWATER

- THE POSITION AND MANNER OF DISCHARGE OF THE STORMWATER DRAINAGE SYSTEM MUST BE TO THE SATISFACTION OF THE APPROPRIATE AUTHORITY.
- THE STORMWATER DRAINAGE SYSTEM MUST BE DESIGNED SO THAT ANY OVERFLOW DURING HEAVY RAINS, PERIODS IS PREVENTED FROM FLOWING BACK INTO THE BUILDING.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDING FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

FOOTING AND SLABS NOTES

- PERFORMANCE REQUIREMENTS P2.1 & P2.2.3 ARE SATISFIED FOR FOOTING & SLABS IF THEY ARE INSTALLED WITH AS 2870 or AS 2159 FOR PILED FOOTINGS.
- A VAPOUR BARRIER MUST BE 0.2mm NOMINAL THICKNESS POLYETHYLENE FILM AND MEDIUM IMPACT RESISTANT DETERMINED FROM CRITERIA SPECIFIED IN CLAUSE 5.3.3.2(c) OF AS 2870 AND BE BRANDED CONTINUOUSLY As 2870 CONCRETE UNDERLAY, 0.2mm MEDIUM'.
- A VAPOUR BARRIER MUST BE INSTALLED SO THAT IT DOES NOT LAP ANY LESS THAN 200mm AT ALL JOINTS, ALL SERVICE PENETRATIONS HAS A TAPE OR SEAL WITH A CLOSE FITTING SLEEVE AROUND IT AND BE FULLY SEALED WHERE PUNCTURED (UNLESS FOR SERVICE PENETRATIONS) WITH ADDITIONAL POLYTHYLENE FILM & TAPE.
- THE VAPOUR BARRIER MUST BE PLACED BENEATH THE SLAB SO THAT THE BOTTOM SURFACE OF THE SLAB IS ENTIRELY UNDERLAID AND EXTENDS UNDER THE EDGE BEAMS TO FINISH AT GROUND LEVEL IN ACCORDANCE WITH NCC 2016-Figure 3.2.2.3, ALSO SEE NCC 2022 - Figure 3.3.4.9 FOR SINGLE SKIN MASONRY DETAILS.

CONCRETE STUMPS

- 100MM SO UP TO 1400MM LONG (1 No H.D. WIRE)
- 100MM SO 1401MM TO 1800MM LONG (2 No H.D. WIRES)
- 125MM SO 1801MM TO 3000MM LONG (2 No H.D. WIRES) NOTE ALL STUMPS EXCEEDING 1200MM ABOVE GROUND TO BE BRACED

CONCRETE

- CONCRETE MUST BE MANUFACTURED TO COMPLY WITH AS 3600 AND HAVE A STRENGTH AT 28 DAYS OF NOT LESS THAN 20MPa (DENOTED AS N20 GRADE), HAVE A 20mm NOMINAL AGGREGATE AND HAVE A NOMINAL 80mm SLUMP.

SUB FLOOR VENTILATION

- SUB-FLOOR VENTS TO PROVIDE A RATE OF 7500mm² sa CLEAR VENTILATION PER 1000MM sa RUN OF EXTERNAL MASONRY WALL AND 2200MM sa CLEAR VENTILATION PER 100MM RUN OF INTERNAL DWARF WALLS.

WALL CLADDING

- IN ORDER TO SATISY PERFORMANCE REQUIREMENTS P2.1 AND P2.2.2, WALL CLADDING MUST COMPLY WITH NCC 2022-3.5.3.1.

TIMBER FRAMING

- PERFORMANCE REQUIREMENTS P2.1 IS SATISFIED FOR A TIMBER FRAME IF IT IS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EITHER AS1684.2 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION - NON CYCLONIC AREAS OR AS1684.4-RESIDENTIAL TIMBER FRAMED CONSTRUCTION - SIMPLIFIED - NON CYCLONIC AREAS.

ROOF TILING

- ROOF TILES, COMPLYING WITH AS2049, MUST BE INSTALLED, FIXED AND FLASHED IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF NCC 2022-3.5.1.
- ROOF TILES WITH A PITCH NOT MORE THAN 35 DEGREES MUST BE FIXED IN ACCORDANCE WITH NCC 2022-Figure 3.5.1.1.
- FIXINGS FOR ROOF BATTENS AND BATTEN SIZES MUST COMPLY WITH NCC 2022-3.4.3.
- ALL TILED ROOF FLASHINGS, RIDGE AND HIP TILES MUST BE INSTALLED IN ACCORDANCE WITH NCC 2022-Figure 3.5.1.2.
- LEAD FLASHINGS MUST NOT BE USED ON ANY ROOF THAT IS PART OF A POTABLE WATER CATCHMENT AREA.

METAL SHEET ROOFING

- THE DESIGN AND INSTALLATION OF SHEET METAL ROOFING MUST COMPLY WITH THE RELEVANT PROVISIONS OF NCC 2022-3.5.1.
- METAL SHEET ROOFING MUST BE PROTECTED FROM CORROSION IN ACCORDANCE WITH NCC 2022-Table 3.5.1.1.
- WHERE DIFFERENT METALS ARE USED IN A ROOFING SYSTEM, ENSURE COMPATIBLE WITH EACH OTHER (TO PREVENT CORROSION DUE TO AN ADVERSE CHEMICAL REACTION) AS DESCRIBED IN NCC 2016-Table 3.5.1.2. ALSO NO LEAD MATERIALS CAN BE USED UPSTREAM FROM ZINC-ALUMINIUM COATED MATERIALS AND NO COPPER MATERIALS CAN BE USED UPSTREAM FROM GALVANISED COATED MATERIALS.
- SHEET METAL ROOF FLASHINGS AND CAPPINGS MUST COMPLY WITH NCC 2022-3.5.1.3(g).
- FLASHING OF PENETRATIONS MUST COMPLY WITH NCC 2022-3.5.1.3 (h)

GUTTERS & DOWN PIPES

- GUTTERS, DOWN PIPES AND FLASHINGS MUST BE MANUFACTURED IN ACCORDANCE WITH AS/NZS 2179.1 FOR METAL, BE MANUFACTURED IN ACCORDANCE WITH AS 1273 for UPVC COMPONENTS, BE COMPATIBLE WITH ALL UPSTREAM ROOFING MATERIALS IN ACCORDANCE WITH 3.5.1.3(c) AND NOT CONTAIN ANY LEAD IF USED ON A ROOF FORMING PART OF POTABLE WATER CATCHMENT AREA.
- GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS AND 1:100 FOR BOX GUTTERS.
- EAVE GUTTERS MUST BE SUPPORTED BY BRACKETS SECURELY FIXED AT STOP ENDS AND AT MORE THAN 1.2m CENTRES.
- DOWN PIPES MUST NOT SERVE MORE THAN 12m OF GUTTER LENGTH FOR EACH DOWNPIPE, MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND IF THE DOWNPIPE IS MORE THAN 1.2m FROM A VALLEY, PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER AND DOWNPIPES MUST BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN NCC 2022-Table 3.5.2.2

FIRE SEPARATION

- IN ACCORDANCE WITH NCC 2022-3.7.1.

SMOKE ALARMS

- SMOKE ALARMS MUST BE INSTALLED IN CLASS 1A BUILDINGS IN ACCORDANCE WITH NCC 2022-3.7.2.3 AND CLASS 1B BUILDINGS IN ACCORDANCE WITH NCC 2022-3.7.2.4 AND 3.7.2.5, ALSO SMOKE ALARMS MUST COMPLY WITH AS3786 AND MUST BE CONNECTED TO THE CONSUMER MAIN POWER WHERE CONSUMER POWER SUPPLY IS SUPPLIED TO THE BUILDING.
- SMOKE ALARMS MUST BE INSTALLED IN A CLASS 1A BUILDING ON OR NEAR THE CEILING IN ANY STOREY CONTAINING BEDROOMS - BETWEEN EACH PART OF THE DWELING CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELING AND WHERE BEDROOMS ARE SERVED BY A HALLWAY, IN THAT HALLWAY, ALSO ANY OTHER STOREY NOT CONTAINING BEDROOMS.
- SEE NCC 2022-Figure 3.7.2.1 and Figure 3.7.2.3.

GLAZING

- PERFORMANCE REQUIREMENTS P2.1 AND P2.2.2 ARE SATISFIED FOR GLAZING AND WINDOWS IF DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS2047 FOR THE GLAZED ASSEMBLIES IN EXTERNAL WALLS LISTED IN NCC 2022-3.6.0(a).
- PERFORMANCE REQUIREMENTS P2.1 AND P2.2.2 ARE SATISFIED FOR GLAZING IF DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS1288 FOR ALL GLAZED ASSEMBLIES OUTSIDE OF STANDARD PRACTICE AND LISTED IN NCC 2022-3.6.0(b).
- PERFORMANCE REQUIREMENT P2.1 FOR GLAZING IS SATISFIED PROVIDED THE BUILDING IS LOCATED IN AN AREA WITH A DESIGN WIND SPEED OF NOT MORE THAN N3, GLASS IS A TYPE RECOGNIZED BY AS1288, SAFETY GLAZING IS LEGIBLY MARKED IN ACCORDANCE WITH AS1288, GLAZING USED IN BALUSTRADES COMPLIES WITH AS1288, SAFETY GLAZING IS MADE VISIBLE IN ACCORDANCE WITH NCC 2016-3.6.4.6, THE GLAZING IS NOT FOR ONE OF THE ASSEMBLIES LISTED IN NCC 2016-3.6.1(f) AND THE GLAZING IS FOR ALL ASSEMBLIES OUTSIDE OF STANDARD PRACTICE AND LISTED IN NCC 2022-3.6.1(g).

WET AREAS

- PERFORMANCE REQUIREMENTS P2.4.1 IS SATISFIED FOR WET AREAS IN CLASS 1 AND 10 BUILDINGS IF THEY ARE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH AS 3740- WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
- PERFORMANCE REQUIREMENT P2.4.1 IS SATISFIED FOR WET AREAS PROVIDED THE WET AREA IS PROTECTED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS OF NCC 2022-3.8.1.3 to 3.8.1.27 AND COMPLIES WITH THE APPROPRIATE DETAILS DESCRIBED IN NCC 2022- Figures 3.8.1.1 to 3.8.1.16.

CEILING HEIGHTS

- CEILING HEIGHTS (SEE NCC 2022-Figure 3.8.2.1) MUST NOT BE LESS FOR THE FOLLOWING:
 - IN A HABITABLE ROOM EXCLUDING A KITCHEN - 2.4m
 - IN A KITCHEN - 2.1m;
 - IN A CORRIDOR, PASSAGEWAY OR THE LIKE - 2.1m;
 - IN A BATHROOM, SHOWER ROOM, LAUNDRY, SANITARY COMPARTMENT, AIRLOCK, PANTRY, STOREROOM, GARAGE, CAR PARKING AREA OR THE LIKE - 2.1m
 - IN AN ATTIC ROOM, ROOM WITH A SLOPING CEILING OR PROJECTION BELOW CEILING LINE OR A NON-HABITABLE ROOM OR SIMILAR SPACE A FUNCTIONING OF THE ROOM OR SPACE.
 - IN A STAIRWAY- 2m MEASURED VERTICALLY ABOVE THE NOSING LINE.



DISTANCE TO NEAREST INTERSECTION

WALL TIES

- MASONRY WALL TIES MUST BE USED IN ACCORDANCE WITH NCC 2022-3.3.3.2.
- WHERE ARTICULATION JOINTS OCCUR IN MASONRY WALLS, TIES MUST BE BUILT IN BOTH SIDES OF THE JOINT AND SPACED NOT MORE THAN 300mm FROM THE JOINT, SEE NCC 2022-Figure 3.3.3.1.
- TIES FOR SOLID OR MONOLITHIC CONSTRUCTION MUST BE MEDIUM DUTY CLASSIFICATION SPACED NOT MORE THAN 400mm IN EACH DIRECTION AND MUST BE IN ACCORDANCE WITH NCC 2022-3.3.3.2(f).

STEEL LINTELS

- LINTELS IN MASONRY MAY BE ANY OF THOSE SPECIFIED IN NCC 2022-3.3.3.4(a).
- STEEL LINTELS MUST COMPLY WITH NCC 2022-3.3.3.4(b) and Figure 3.3.3.5.

DAMP PROOF COURSE

- DAMP PROOF COURSES MUST CONSIST OF EITHER A MATERIAL THAT COMPLIES WITH AS/NZS 2904, AN EMBOSSED BLACK POLYETHYLENE FILM OF HIGH IMPACT RESISTANCE AND LOW SLIP WITH A NOMINAL THICKNESS OF 0.5mm PRIOR TO EMBOSsing AND MEETING THE REQUIREMENTS OF CLAUSE 7.6 of AS/NZS 2904 or: A POLYETHYLENE COATED METAL, THAT HAS A ALUMINIUM CORE OF NOT LESS OF 0.1mm THICK, IS COATED BOTH SIDES WITH BITUMEN ADHESIVE INCLOSED IN POLYETHYLENE FILM OF NOT LESS THAN 0.5mm PRIOR TO EMBOSsing or: A BITUMEN IMPREGNATED MATERIAL OF NOT LESS THAN 2.5mm THICKNESS THAT MEETS THE REQUIREMENTS OF CLAUSE 7.5 OF AS/NZS 2904 WHEN USED IN WALLS WHICH ARE NOT HIGHER THAN 7.8m ABOVE THE LEVEL OF THE DPC OR A TERMITE SHIELD (WITH NO PENETRATIONS) CONTINUOUS THROUGH THE WALL or PIER.

Cardina

ADVERTISED MATERIAL

Planning Application: T250558

Date Prepared: 04 December 2025

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DRAWING LIST1

Sheet Number	Sheet Name
A0.00	COVER PAGE
A1.1	SITE PLAN
A1.2	CUT AND FILL
A2.1	GROUND FLOOR PLAN
A2.2	FIRST FLOOR PLAN
A3.1	ELEVATIONS I
A3.2	ELEVATIONS II
A3.3	FENCING ELEVATIONS I
A3.4	FENCING ELEVATIONS II
A4.1	SECTION - WINDOWS AND DOORS SCH.
A5.01	STAIRS AND BALCONY DRAINAGE DETAILS
A5.02	WATERPROOFING I
A5.03	WATERPROOFING II
A5.04	WATERPROOFING III
A5.05	REINFORCEMENT TO BATHROOM AND SANITARY WALLS
A5.06	HEBEL DETAILS
A5.07	GENERAL DETAILS
A6.01	GF - ELECTRICAL PLAN
A6.02	FF - ELECTRICAL PLAN
A7.01	INTERNALS I
A7.02	INTERNALS II
A7.03	INTERNALS III
A8.01	GF - FLOOR/PLUMBING SETOUT
A8.02	FF - FLOOR/PLUMBING SETOUT
A9.00	LANDSCAPE PLAN

PLEASE NOTE:
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Alina Homes
Builder Licence:
DB-U 51515

REGISTERED
Building Practitioner

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NORTH:

PROJECT/ADDRESS:

5 Scenic Rise, Pakenham
LOT 114

DRAWING TITLE:

COVER PAGE

IFC

DATE:

JUNE 2025

SCALE:

CHECKED:

PM

DRAWN:

KM

SHEET:

A0.00

JOB NUMBER:

SCE-005

REVISION:

A

SITE NOTES:

SITE SOIL CLASSIFICATION
SITE SOIL CLASSIFICATION TO BE CONFIRMED. REFER TO ENG'S DETAILS AND SOIL REPORT FOR REQUIREMENTS IN FOOTINGS & BUILDING OVER REMOVED OR RETAINED TREES FOR THIS SITE OR ADJACENT.

STEP DOWN TO ALFRESCO 150 MM
STEP DOWN TO PORCH 150 MM
STEP DOWN TO GARAGE 150 MM
SITE CUT AND FILL TO BE MINIMUM 1.2M FROM DWELLING.

SITING & DESIGN
SITING AND DESIGN IS SUBJECT TO VERIFICATION OF SITE LEVELS, NEIGHBORING PROPERTIES AND LOCATION OF ALL SERVICES TO ALLOTMENT AT THE TIME OF BUILDING PERMIT APPLICATION.

CUTS/FILLING WORKS NOT SUPPORTED BY RETAINING WALLS.
SHALL BE FINISHED WITH A BATTER OF 4:5 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING.
EXTERNAL WALL FOOTINGS SHALL NOT BE FOUND AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS.
STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.

STORMWATER DRAIN
CONSTRUCT & DISCHARGE 90 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100. PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION. DP DENOTES 100 x 50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIAMETER SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY.

GARDEN TAPS
POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY. THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

LEVELS
LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

GENERAL
-CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
-ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.
-ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE 2017".
-NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
-WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

EXCAVATION
-EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS.
-FREE OF ANY BUILDING DEBRIS.
-TERMITE TREATMENT TO COMPLY WITH A.S 3560.1 2000 SPECIFICATIONS

LANDSCAPE NOTE:

LANDSCAPE AND FENCES SCOPE TO BE AS PER CONTRACT.

MAXIMUM FRONT SETBACK OF THE PROPOSED BUILDING/EXTENSION. THE MAXIMUM SETBACK FROM THE FRONT STREET MUST NOT BE MORE THAN ONE-THIRD OF THE DEPTH OF THE ALLOTMENT AS REQUIRED BY REGULATION (REG 73).

PROVIDE ANTI-PONDING DEVICE IN ACCORDANCE WITH PART 7.3.5 ON ALL THE ROOF PITCHES WHERE THERE ARE NO EAVES OVERHANG, REGARDLESS OF WHETHER SARKING IS REQUIRED.

MINIMUM FLOW RATES OF THE EXHAUST SYSTEM TO KITCHEN, BATHROOM, SANITARY COMPARTMENT AND LAUNDRY IS NOT LESS THAN 40L/S

LEGEND

CONCRETE DRIVEWAY
 FOLD DOWN CLOTHESLINE

FENCING LAYOUT AS PER DEVELOPER GUIDELINES.

RETURN FENCE GATE TO MATCH FENCING PROFILE AND COLOUR
 EXTERNAL TAP

AREA SCHEDULE	
SITE AREA	375.00 SQM
FLOOR AREA	292.07 SQM
SITE COVERAGE	49.78 %
PERMEABILITY	50.22 %
P.O.S.	149.85 SQ.M.
GARDEN AREA	188.36 SQ.M.

BUILDER NOTES:

INFRASTRUCTURE LEVY AS REQUIRED BY COUNCIL (BEFORE CONSTRUCTION CAN OCCUR) BY CLIENT.

- FIXED SITE COST
- NO ALLOWANCE FOR BORED OR SCREW ARE ALLOWED.
- NO ALLOWANCE FOR ROCKS AND UNDERPINNING ARE ALLOWED.

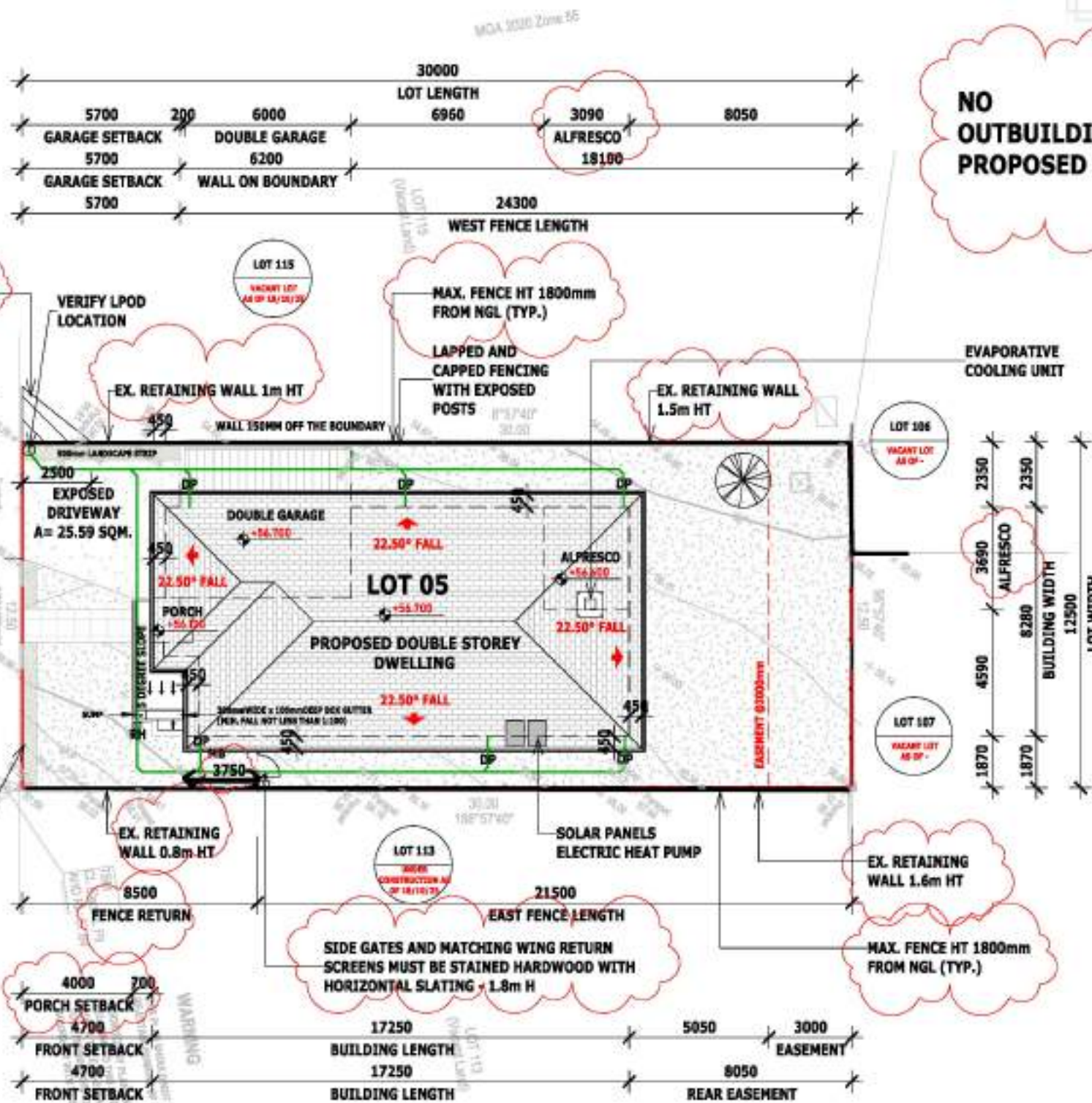
TERMITE PROTECTION
- PART A PENETRATION CAPPING & PART B SLAB PERIMETER BARRIER SYSTEM.

DEVELOPER CONDITIONS:
• A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN APPLICATION MUST BE APPROVED BY THE COUNCIL BEFORE CONSTRUCTION COMMENCES.
• DUE TO PLANNING PERMIT REQUIREMENT, GAS APPLIANCES MAY NOT BE ABLE TO BE INSTALLED, FURTHER COUNCIL CLARIFICATION IS REQUIRED.

PROVIDE PROVISION FOR FIBRE OPTIC CABLE (OPTICOMM)

1. SITE PLAN

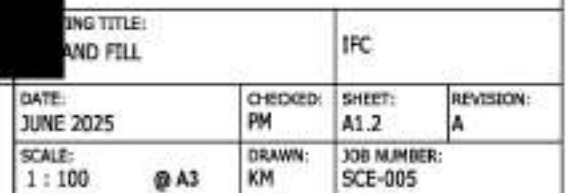
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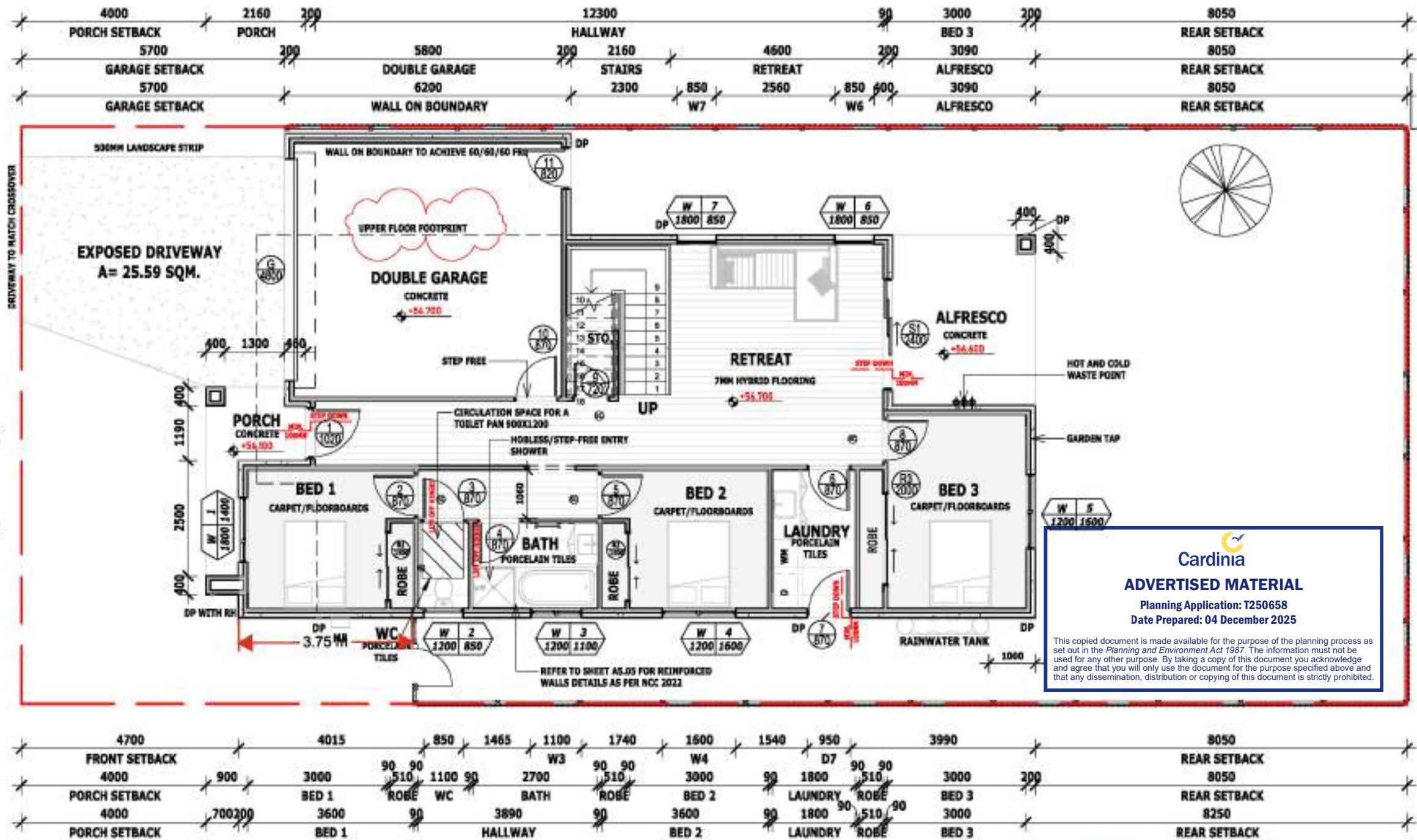


Cardinia
ADVERTISED MATERIAL
Planning Application: T250658
Date Prepared: 04 December 2025

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	NO.	DESCRIPTION	DATE						PROJECT/ADDRESS: 5 Scenic Rise, Pakenham LOT 114	DATE: JUNE 2025 SCALE: As indicated @ A3	CHECKED: PM DRAWN: KM	SHEET: A1.1 JOB NUMBER: SCE-005	REVISION: B
	SW-1	SKETCH DESIGN	09/06/2025										
	DA-1	FOR DA, REV A	09/06/2025										
	DA-2	FOR DA, REV B	09/06/2025										
A	PC	21/10/2025											
B	DP	25/11/2025											





GROUND FLOOR PLAN

SCALE 1:100

**NOTE: AS PER NCC 2022,
-DOORS TO BE AT ZERO THRESHOLD
-SANITARY COMPARTMENT WITH
REINFORCED WALLS IN BATHROOM**

**GROUND FLOOR
INTERNAL DOORS
TO BE 2340mm (H)**

FLOOR PLAN LEGEND

	STEP UP/DOWN	GM	GAS METER
	DOOR TAG	MB	METER BOX
	WINDOW TAG	HWS	HOT WATER SYSTEM (AS SELECTED)

SOUND INSULATION:

REQUIREMENTS TO ACHIEVE INTERNAL NOISE LEVELS NO GREATER THAN 65 DB LAMAX AND 40 DB LAEQ, 8H FOR THE NIGHT PERIOD FROM 10 PM TO 6 AM FOR INTERNAL BEDROOMS AND INCORPORATING THE RECOMMENDED SOUND INSULATION REQUIREMENTS OF THE ABOVE ACOUSTIC REPORT INTO THE BUILDING CONSTRUCTION AS PER THE RESTRICTION ON THE PLAN OF THE SUBDIVISION.

ARCHITECTURAL DRAWINGS:

NOT TO SCALE DRAWINGS. FIGURED MEASUREMENTS OVERWRITES THE SCALED DRAWINGS. ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE BEFORE THE START OF CONSTRUCTION. LOCKS TO ALL EXTERNAL DOORS AND OPENABLE WINDOWS.

INSULATION:

- EXTERNAL WALLS (EXCEPT GARAGE WALL) R2.0
- INTERNAL WALL (ONLY BETWEEN GARAGE AND HOUSE) R2.0
- CEILING (ALL CEILING EXCEPT GARAGE CEILING) R4.0

NOTES:

- EXHAUST FANS TO VENT TO OUTSIDE THE BUILDING.
- MINIMUM STEP BETWEEN THE HOUSE AND NGL IS 150mm.
- DP SIZE 100x50mm
- DOWN PIPES LOCATION AND SIZE TO BE CONFIRMED BY LICENSED ROOF PLUMBER.

- THE DOORS SERVING THE AREAS NOMINATED BELOW MUST BE READILY REMOVABLE FROM THE OUTSIDE OR BE CHANGED TO A CAVITY SLIDER OR OPEN OUTWARDS AS THERE IS NO CLEAR SPACE OF 1.2M MEASURED BETWEEN THE CLOSET PAN AND THE DOORWAY: EN-SUITE - BATHROOM - WATER CLOSET - POWDER ROOM
- FLOOR WASTE GRADIENT OF THE PROPOSED SHOWER OF 1:80 AS PER NCC VOL 2 2022.

AREA ANALYSIS

GARAGE	35.55	SQM.	3.82 SQ.
PORCH	5.28	SQM.	0.57 SQ.
ALFRESCO	11.40	SQM.	1.23 SQ.
BALCONY	13.18	SQM.	1.42 SQ.
GF LIVING	104.09	SQM.	11.20 SQ.
FF LIVING	122.57	SQM.	13.19 SQ.
TOTAL	292.07	SQ.M.	31.43 SQ

HENRY
ARCHITECTS

E: design@henry.com.au T: 0433 155 807

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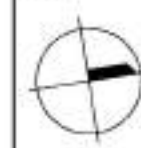
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Builder Licence:
DB-U 51515

REGISTERED
Building Practitioner

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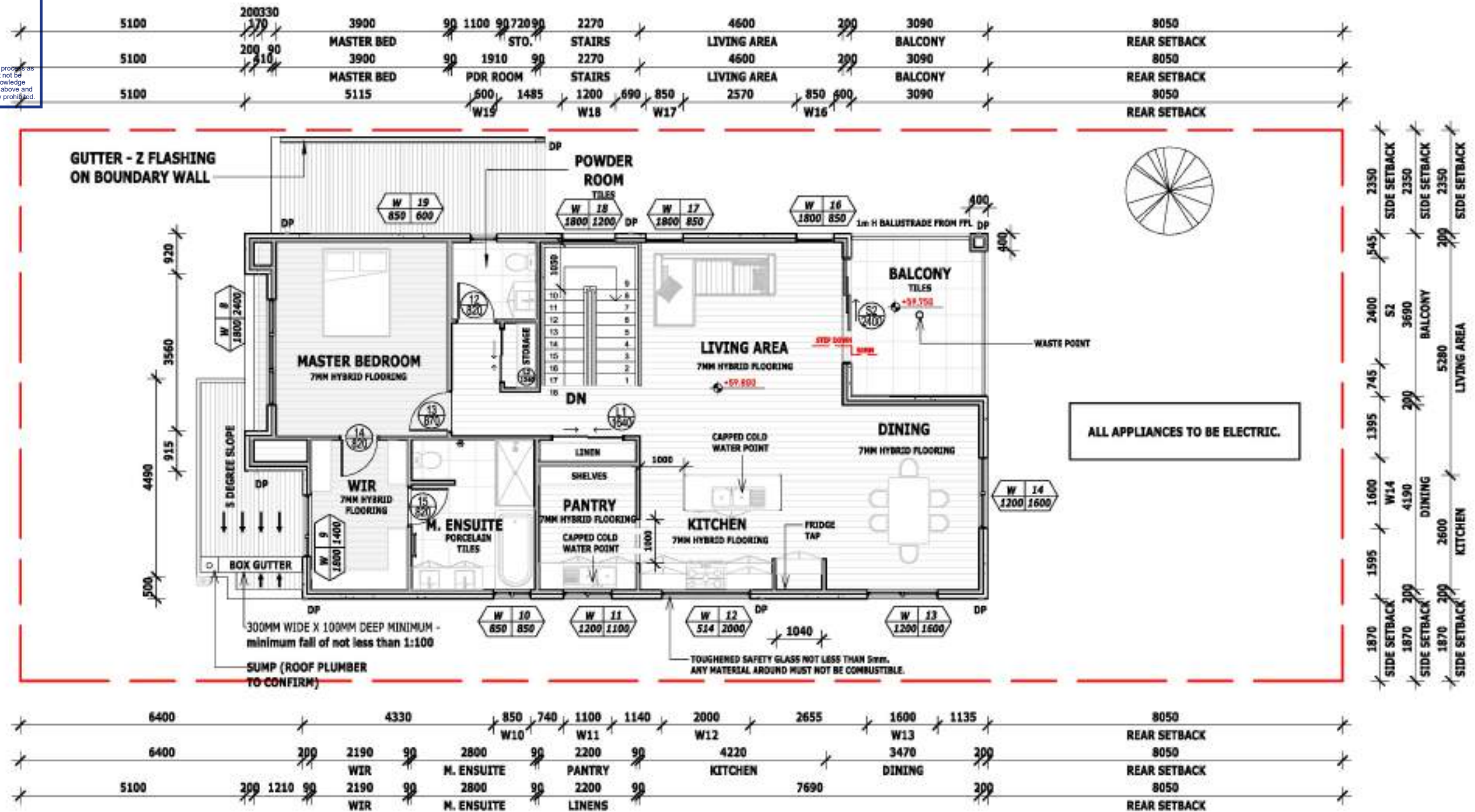


PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DWG TITLE:
GROUND FLOOR PLAN

DATE:
JUNE 2025
SCALE:
1 : 100 @ A3

CHECKED:
SH
DRAWN:
KM
SHEET:
A2.1
JOB NUMBER:
SCE-005
REVISION:
B



FIRST FLOOR PLAN

SCALE 1:100

FIRST FLOOR
INTERNAL DOORS
TO BE 2040mm (H)

FLOOR PLAN LEGEND

	STEP UP/DOWN	GM	GAS METER
	DOOR TAG	MB	METER BOX
	WINDOW TAG	HWS	HOT WATER SYSTEM (AS SELECTED)

SOUND INSULATION:

REQUIREMENTS TO ACHIEVE INTERNAL NOISE LEVELS NO GREATER THAN 65 DB LAMAX AND 40 DB LAEQ, 8H FOR THE NIGHT PERIOD FROM 10 PM TO 6 AM FOR INTERNAL BEDROOMS AND INCORPORATING THE RECOMMENDED SOUND INSULATION REQUIREMENTS OF THE ABOVE ACOUSTIC REPORT INTO THE BUILDING CONSTRUCTION AS PER THE RESTRICTION ON THE PLAN OF THE SUBDIVISION.

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INSULATION:

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- INTERNAL WALL (ONLY BETWEEN GARAGE AND HOUSE) R2.0
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- DP SIZE 100x50mm
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- FLOOR WASTE GRADIENT OF THE PROPOSED SHOWER OF 1:80 AS PER NCC VOL 2 2022.

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TOTAL	292.07	SQ.M.	31.43	SQ.

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DRAWING TITLE:

FIRST FLOOR PLAN

IFC

PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DATE:
JUNE 2025

SCALE:
1 : 100

@ A3

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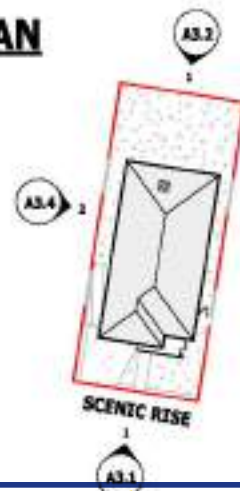
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KM

SHEET:
A2.2

JOB NUMBER:
SCE-005

REVISION:
A

KEYPLAN



ITEM	DESCRIPTION	COLOR/PAINT
ROOF RILES	COOLSHADE MOVEMENT BRISTLE ARTISAN	
HEBEL RENDERED WALL 1 (HW-R1)	VANILLA QUARE	
HEBEL RENDERED WALL 2 (HW-R2)	MOULIN	
HEBEL RENDERED WALL 3 (HW-R3)	CHAMPAGNE	
PODOPKOR FENDER PRO GLAZED (PO-R1)	VANILLA QUARE	
FASCIA	MOULIN	
GUTTER	COLORBOND MOVEMENT	
DOWNPIPE	COLORBOND MOVEMENT	
RAINWATER TANK	COLORBOND MOVEMENT	

Cardinia

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Planning Application: T250658

Date Prepared: 04 December 2025

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1. SOUTH ELEVATION (ALONG SCENIC RISE)

SCALE 1:100

SIDE SETBACK (MIN)
= 1 + [0.3 (H - 3.6)]
= 1 + [0.3 (5.65 - 3.6)]
= 1.615 M



2. EAST ELEVATION

SCALE 1:100

EVAPORATIVE COOLING UNIT MUST BE LOCATED BELOW THE ROOF RIDGELINE AND AT THE REAR OF THE HOUSE, AND MATCH THE COLOUR OF THE ROOF.

KITCHEN RANGEHOOD AND LAUNDRY EXHAUST FANS TO BE MINIMUM 40L/s.

BATHROOM, WC & ENSUITE EXHAUST FANS TO BE 25L/s.

VENTILATION OF ROOF SPACES MUST COMPLY WITH NCC 2022 - 10.8.3 - ALL MECHANICAL VENTILATIONS WITHIN THE BATHROOMS AND KITCHEN EXHAUSTS ARE DISCHARGED DIRECTLY OUTSIDE. -OPENINGS MUST HAVE A TOTAL UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS MORE THAN 22°, OR 1/150 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS NOT MORE THAN 22°.

WALL ON BOUNDARY: EXTERNAL WALLS ON BOUNDARY ARE TO BE CONSTRUCTED TO NCC - 2022 - PART 9 WITH NON COMBUSTIBLE MATERIAL TO UNDERSIDE OF ROOFING MATERIAL. EAVES WITHIN 900mm OF TITLE BOUNDARY ARE TO BE PROTECTED FROM SPREAD OF FIRE IN ACCORDANCE WITH NCC 2022 - 3.7.2 WITH NON COMBUSTIBLE MATERIAL OF ROOF, GUTTER AND EAVE LINING. WALLS ON OR WITHIN 900mm FROM TITLE BOUNDARIES ARE TO BE FRL 60/60/60.

ARCHITECTURAL DRAWINGS: DO NOT SCALE DRAWINGS; FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES. ALL DIMENSIONS LEVELS & EXISTING CONDITIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MEMBERS.

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HW - R2	4.92	15.04 %
HW - R3	5.20	15.89 %
PO - R1	7.85	24.11 %
TOTAL	32.72	100.00 %

LEGEND

DP	DOWN PIPE
RH	RAIN HEAD WITH OVERFLOW PROVISION
HW	HEBEL WALL
R1	RENDER FINISH
RT	ROOF TILES @ 18.00° PITCH
GM	GAS METER
MB	METER BOX
	OBSCURE WINDOW
HWS	HOT WATER SERVICE
	DOOR TAG
	WINDOW TAG

HENRY
ARCHITECTS

E: design@henry.com.au T: 0433 155 807

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
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DA-1	FOR DA, REV A	08/08/2025
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A	IFC	21/10/2025
B	IF	25/11/2025

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SIGNATURE:

Alina Homes
Builder Licence:
DB-U 51515

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Building Practitioner

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NORTH:

PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DRAWING TITLE:

ELEVATIONS 1

DATE:
JUNE 2025

SCALE:
As indicated @ A3

CHECKED:
PM

DRAWN:
KM

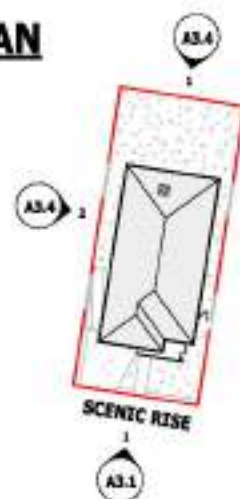
SHEET:
A3.1

JOB NUMBER:
SCE-005

REVISION:
B

TP

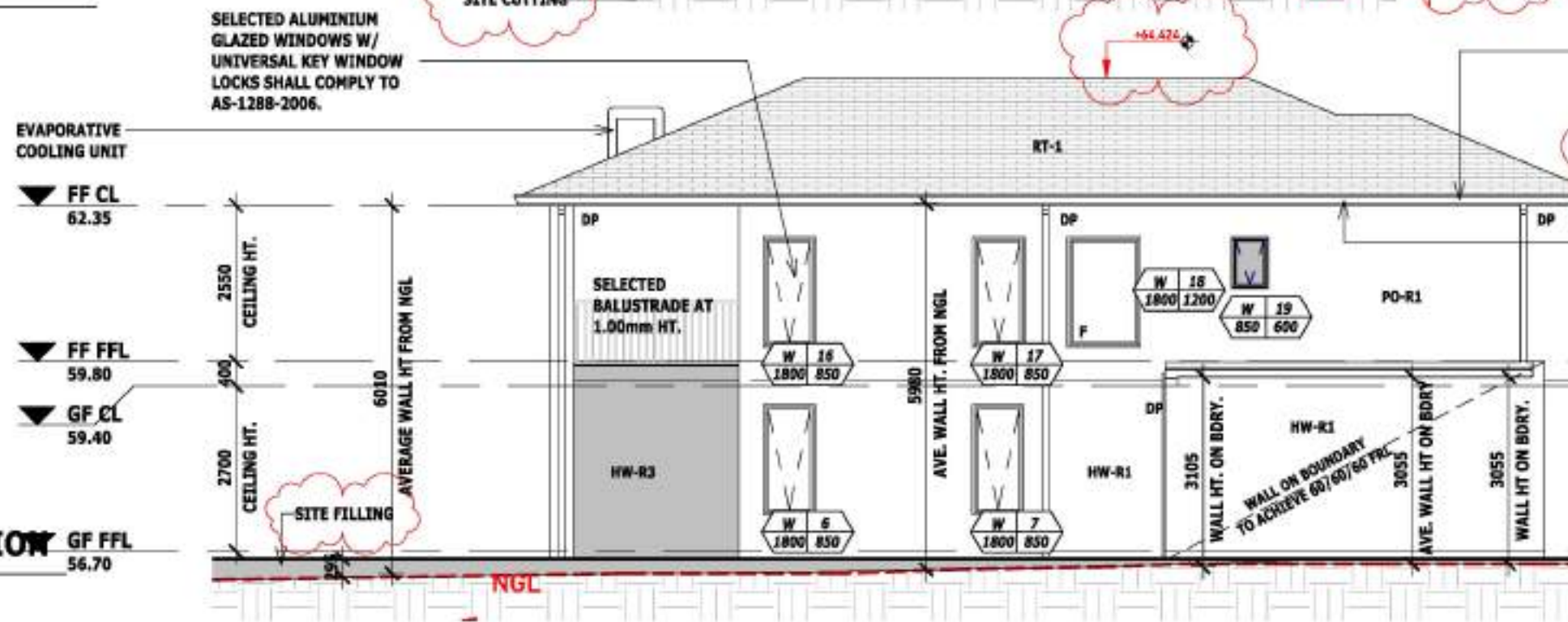
KEYPLAN



ITEM	DESCRIPTION	COLOR/SWATCH
ROOF TILES	COOL SHADE MONUMENT BRICKLE ARTISAN	
HEBEL RENDERED WALL HW-R1	VANILLA QUARE	
HEBEL RENDERED WALL HW-R2	MOCAPIENT	
HEBEL RENDERED WALL HW-R3	CHAMPIONSON	
HEBEL RENDERED WALL HW-R4	VANILLA QUARE	
HEBEL RENDERED WALL HW-R5	MOCAPIENT	
HEBEL RENDERED WALL HW-R6	CHAMPIONSON	
HEBEL RENDERED WALL HW-R7	VANILLA QUARE	
HEBEL RENDERED WALL HW-R8	MOCAPIENT	
HEBEL RENDERED WALL HW-R9	CHAMPIONSON	
HEBEL RENDERED WALL HW-R10	VANILLA QUARE	
HEBEL RENDERED WALL HW-R11	MOCAPIENT	
HEBEL RENDERED WALL HW-R12	CHAMPIONSON	
HEBEL RENDERED WALL HW-R13	VANILLA QUARE	
HEBEL RENDERED WALL HW-R14	MOCAPIENT	
HEBEL RENDERED WALL HW-R15	CHAMPIONSON	
HEBEL RENDERED WALL HW-R16	VANILLA QUARE	
HEBEL RENDERED WALL HW-R17	MOCAPIENT	
HEBEL RENDERED WALL HW-R18	CHAMPIONSON	
HEBEL RENDERED WALL HW-R19	VANILLA QUARE	
HEBEL RENDERED WALL HW-R20	MOCAPIENT	
HEBEL RENDERED WALL HW-R21	CHAMPIONSON	
HEBEL RENDERED WALL HW-R22	VANILLA QUARE	
HEBEL RENDERED WALL HW-R23	MOCAPIENT	
HEBEL RENDERED WALL HW-R24	CHAMPIONSON	
HEBEL RENDERED WALL HW-R25	VANILLA QUARE	
HEBEL RENDERED WALL HW-R26	MOCAPIENT	
HEBEL RENDERED WALL HW-R27	CHAMPIONSON	
HEBEL RENDERED WALL HW-R28	VANILLA QUARE	
HEBEL RENDERED WALL HW-R29	MOCAPIENT	
HEBEL RENDERED WALL HW-R30	CHAMPIONSON	
HEBEL RENDERED WALL HW-R31	VANILLA QUARE	
HEBEL RENDERED WALL HW-R32	MOCAPIENT	
HEBEL RENDERED WALL HW-R33	CHAMPIONSON	
HEBEL RENDERED WALL HW-R34	VANILLA QUARE	
HEBEL RENDERED WALL HW-R35	MOCAPIENT	
HEBEL RENDERED WALL HW-R36	CHAMPIONSON	
HEBEL RENDERED WALL HW-R37	VANILLA QUARE	
HEBEL RENDERED WALL HW-R38	MOCAPIENT	
HEBEL RENDERED WALL HW-R39	CHAMPIONSON	
HEBEL RENDERED WALL HW-R40	VANILLA QUARE	
HEBEL RENDERED WALL HW-R41	MOCAPIENT	
HEBEL RENDERED WALL HW-R42	CHAMPIONSON	
HEBEL RENDERED WALL HW-R43	VANILLA QUARE	
HEBEL RENDERED WALL HW-R44	MOCAPIENT	
HEBEL RENDERED WALL HW-R45	CHAMPIONSON	
HEBEL RENDERED WALL HW-R46	VANILLA QUARE	
HEBEL RENDERED WALL HW-R47	MOCAPIENT	
HEBEL RENDERED WALL HW-R48	CHAMPIONSON	
HEBEL RENDERED WALL HW-R49	VANILLA QUARE	
HEBEL RENDERED WALL HW-R50	MOCAPIENT	
HEBEL RENDERED WALL HW-R51	CHAMPIONSON	
HEBEL RENDERED WALL HW-R52	VANILLA QUARE	
HEBEL RENDERED WALL HW-R53	MOCAPIENT	
HEBEL RENDERED WALL HW-R54	CHAMPIONSON	
HEBEL RENDERED WALL HW-R55	VANILLA QUARE	
HEBEL RENDERED WALL HW-R56	MOCAPIENT	
HEBEL RENDERED WALL HW-R57	CHAMPIONSON	
HEBEL RENDERED WALL HW-R58	VANILLA QUARE	
HEBEL RENDERED WALL HW-R59	MOCAPIENT	
HEBEL RENDERED WALL HW-R60	CHAMPIONSON	
HEBEL RENDERED WALL HW-R61	VANILLA QUARE	
HEBEL RENDERED WALL HW-R62	MOCAPIENT	
HEBEL RENDERED WALL HW-R63	CHAMPIONSON	
HEBEL RENDERED WALL HW-R64	VANILLA QUARE	
HEBEL RENDERED WALL HW-R65	MOCAPIENT	
HEBEL RENDERED WALL HW-R66	CHAMPIONSON	
HEBEL RENDERED WALL HW-R67	VANILLA QUARE	
HEBEL RENDERED WALL HW-R68	MOCAPIENT	
HEBEL RENDERED WALL HW-R69	CHAMPIONSON	
HEBEL RENDERED WALL HW-R70	VANILLA QUARE	
HEBEL RENDERED WALL HW-R71	MOCAPIENT	
HEBEL RENDERED WALL HW-R72	CHAMPIONSON	
HEBEL RENDERED WALL HW-R73	VANILLA QUARE	
HEBEL RENDERED WALL HW-R74	MOCAPIENT	
HEBEL RENDERED WALL HW-R75	CHAMPIONSON	
HEBEL RENDERED WALL HW-R76	VANILLA QUARE	
HEBEL RENDERED WALL HW-R77	MOCAPIENT	
HEBEL RENDERED WALL HW-R78	CHAMPIONSON	
HEBEL RENDERED WALL HW-R79	VANILLA QUARE	
HEBEL RENDERED WALL HW-R80	MOCAPIENT	
HEBEL RENDERED WALL HW-R81	CHAMPIONSON	
HEBEL RENDERED WALL HW-R82	VANILLA QUARE	
HEBEL RENDERED WALL HW-R83	MOCAPIENT	
HEBEL RENDERED WALL HW-R84	CHAMPIONSON	
HEBEL RENDERED WALL HW-R85	VANILLA QUARE	
HEBEL RENDERED WALL HW-R86	MOCAPIENT	
HEBEL RENDERED WALL HW-R87	CHAMPIONSON	
HEBEL RENDERED WALL HW-R88	VANILLA QUARE	
HEBEL RENDERED WALL HW-R89	MOCAPIENT	
HEBEL RENDERED WALL HW-R90	CHAMPIONSON	
HEBEL RENDERED WALL HW-R91	VANILLA QUARE	
HEBEL RENDERED WALL HW-R92	MOCAPIENT	
HEBEL RENDERED WALL HW-R93	CHAMPIONSON	
HEBEL RENDERED WALL HW-R94	VANILLA QUARE	
HEBEL RENDERED WALL HW-R95	MOCAPIENT	
HEBEL RENDERED WALL HW-R96	CHAMPIONSON	
HEBEL RENDERED WALL HW-R97	VANILLA QUARE	
HEBEL RENDERED WALL HW-R98	MOCAPIENT	
HEBEL RENDERED WALL HW-R99	CHAMPIONSON	
HEBEL RENDERED WALL HW-R100	VANILLA QUARE	

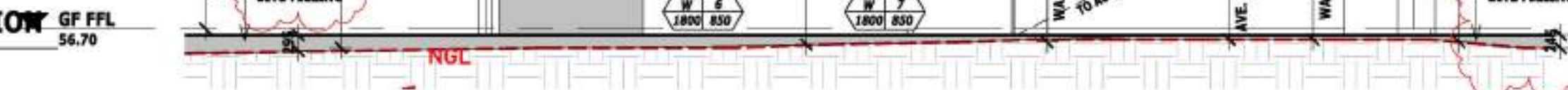
1. NORTH ELEVATION

SCALE 1:100



2. WEST ELEVATION

SCALE 1:100



SELECTED ROOF TILES @22.5 DEG. PITCH ROOFING SHALL COMPLY TO A.S. 2050-2002 & A.S. 2049-2002 (TYP)

EVAPORATIVE COOLING UNIT

SELECTED COLORBOND GUTTER SET TO FALL 1 IN 500 mm FIXED TO A COLORBOND FASCIA (TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISIONS MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INTO THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THE LIKE (TYP)

SELECTED BALUSTRADE 1000mm HT.

SELECTED ALUMINIUM GLAZED WINDOWS W/ UNIVERSAL KEY WINDOW LOCKS SHALL COMPLY TO AS-1288-2006.

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RH	RAIN HEAD WITH OVERFLOW PROVISION
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RT	ROOF TILES @ 18.00° PITCH
GM	GAS METER
MB	METER BOX
	OBSCURE WINDOW
HWS	HOT WATER SERVICE
	DOOR TAG
	WINDOW TAG

EVAPORATIVE COOLING UNIT MUST BE LOCATED BELOW THE ROOF RIDGELINE AND AT THE REAR OF THE HOUSE, AND MATCH THE COLOUR OF THE ROOF.

KITCHEN RANGEHOOD AND LAUNDRY EXHAUST FANS TO BE MINIMUM 40L/s.

BATHROOM, WC & ENSUITE EXHAUST FANS TO BE 25L/s.

VENTILATION OF ROOF SPACES MUST COMPLY WITH NCC 2022 - 10.8.3 - ALL MECHANICAL VENTILATIONS WITHIN THE BATHROOMS AND KITCHEN EXHAUSTS ARE DISCHARGED DIRECTLY OUTSIDE. -OPENINGS MUST HAVE A TOTAL UNOBSTRUCTED AREA OF 1/300 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS MORE THAN 22°, OR 1/150 OF THE RESPECTIVE CEILING AREA IF THE ROOF PITCH IS NOT MORE THAN 22°.

WALL ON BOUNDARY: EXTERNAL WALLS ON BOUNDARY ARE TO BE CONSTRUCTED TO NCC - 2022 - PART 9 WITH NON COMBUSTIBLE MATERIAL TO UNDERSIDE OF ROOFING MATERIAL. EAVES WITHIN 900mm OF TITLE BOUNDARY ARE TO BE PROTECTED FROM SPREAD OF FIRE IN ACCORDANCE WITH NCC 2022 - 3.7.2 WITH NON COMBUSTIBLE MATERIAL OF ROOF, GUTTER AND EAVE LINING. WALLS ON OR WITHIN 900mm FROM TITLE BOUNDARIES ARE TO BE FRL 60/60/60.

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ARCHITECTS

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DB-U 51515

REGISTERED
Building Practitioner

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NORTH:

CLIENT:

PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DRAWING TITLE:

ELEVATIONS II

DATE:
JUNE 2025

SCALE:
As indicated @ A3

CHECKED:
PM

DRAWN:
KM

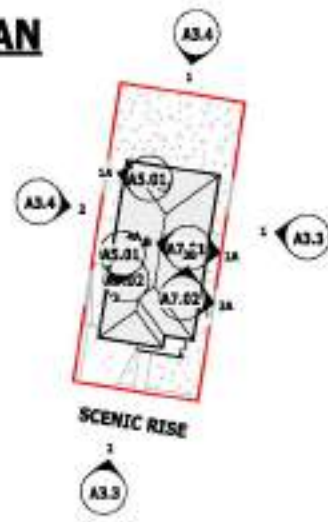
SHEET:
A3.2

JOB NUMBER:
SCE-005

REVISION:
B

TP

KEYPLAN



ADVERTISED MATERIAL

Planning Application: T250658
Date Prepared: 04 December 2025

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1. SOUTH FENCING ELEVATION

SCALE 1:100



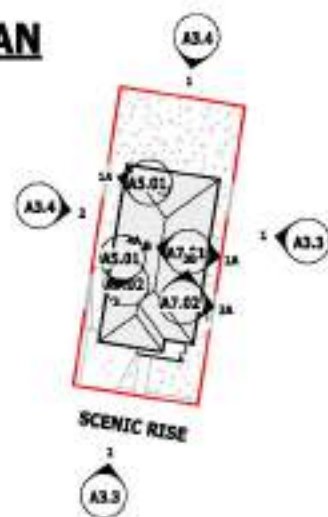
2. EAST FENCING ELEVATION

SCALE 1:100



<div><div>S</div><div>HENRY ARCHITECTS</div></div>	REVISIONS / ISSUES:			CLIENT SIGN OFF: I/WE CONFIRM THAT WE ABOVE THESE DRAWINGS: SIGNATURE:	<div><div></div><div>Alina Homes</div><div>Builder Licence: DB-U 51515</div></div>	<div><div>REGISTERED</div><div>Building Practitioner</div></div>	NOTE: 1. DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS. 2. ALL DIMENSIONS NOTED ARE IN MILLIMETRES UNLESS STATED OTHERWISE. 3. THE CONTRACTOR MUST CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF ANY WORKS. 4. THESE DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANT'S DRAWINGS / DETAILS REPORTS. 5. THIS DRAWING IS THE PROPERTY OF ALINA HOMES. IT SHOULD NOT BE COPIED WITHOUT WRITTEN CONSENT.	NORTH:	CLIENT: 5 Scenic Rise, Pakenham LOT 114	DRAWING TITLE: FENCING ELEVATIONS I		IPC			
	NO.	DESCRIPTION	DATE							DATE: JUNE 2025			CHECKED: PM	SHEET: A3.3	REVISION: A
	SK-1	SKETCH DESIGN	03/06/2025												
	DA-1	FOR DA, REV A	08/08/2025												
	DA-2	FOR DA, REV B	08/09/2025												
A	IPC	21/10/2025													
E: design@e-henry.com.au M: 0431 155 807															

KEYPLAN



ADVERTISED MATERIAL

Planning Application: T250658
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SCALE 1:100



2. WEST FENCING ELEVATION

SCALE 1:100



E: design@henry.com.au T: 0433 155 807

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
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DA-1	FOR DA REV A	08/08/2025
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A	IFC	21/12/2025

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NORTH:

PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DRAWING TITLE:

FENCING ELEVATIONS II
DATE: JUNE 2025
SCALE: As indicated @ A3

CHECKED: PM
DRAWN: KM
SHEET: A3.4
JOB NUMBER: SCE-005
REVISION: A

IFC

COLOUR SELECTION – LOT 114 SCENIC RISE

S

ITEM	DESCRIPTION	COLOUR SWATCH	ITEM	DESCRIPTION	COLOUR SWATCH
ROOF TILES	COOL SMOKE MONUMENT BRISTLE ARTISAN		GARAGE DOOR PROFILE	COSMOPOLITAN MONUMENT	
HEBEL RENDERED WALL 1 HW –R1	VANILLA QUAKE		DRIVEWAY	EXPOSED AGGREGATE CONCRETE DRIVEWAY	
HEBEL RENDERED WALL HW –R2	MONUMENT		ENTRY DOOR	TIMBER TRANSLUCENT STANDARD	
HEBEL RENDERED WALL HW –R3	CHAMPIGNON		ENTRY DOOR HANDLE	PULL HANDLE BLACK	
POLYSTRENE RENDERED CLADDING 1 PO-R1	VANILLA QUAKE		ENTRY DOOR COLOUR	MONUMENT	
FASCIA	MONUMENT		METER BOX COLOUR	MONUMENT	
GUTTER	COLORBOND MONUMENT		EVAP.COOLING UNIT	MONUMENT	
DOWNPIPE	COLORBOND MONUMENT		LETTERBOX	NORTHCOTE POTTERY 35*90CM GREY METRO PILLAR LETTERBOX	
ALUMINIUM DOORS AND WINDOWS	COLORBOND MONUMENT		LETTERBOX COLOR	MONUMENT	

Cardina
ADVERTISED MATERIAL
Planning Application: T250658
Date Prepared: 04 December 2025

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 HENRY ARCHITECTS E: design@henry.com.au T: 0433 155 807	REVISIONS / ISSUES:		CLIENT SIGN OFF:		 Alina Homes Builders Licence: DB-U 51515	NOTE: 1. DO NOT SCALE FROM THIS DRAWING. USE DIMENSIONS. 2. ALL DIMENSIONS NOTED ARE IN MILLIMETRES UNLESS STATED OTHERWISE. 3. THE CONTRACTOR MUST CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF ANY WORKS. 4. THESE DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANT'S DRAWINGS / DETAILS REPORTS. THIS DRAWING IS THE PROPERTY OF ALINA HOMES. IT SHOULD NOT BE COPIED WITHOUT WRITTEN CONSENT.	NORTH:	CLIENT:	DRAWING TITLE:		FOR DA_REV B
	NO. DESCRIPTION DATE		I/WE CONFIRM THAT WE APPROVE THESE DRAWINGS:						INTERNAL COLOUR SPECIFICATION		
	DA-1 SKETCH DESIGN 03/06/2025 DA-1 FOR DA REV A 08/08/2025 DA-2 FOR DA REV B 08/08/2025		SIGNATURE:						PROJECT/ADDRESS: 5 Scenic Rise, Pakenham LOT 114		
								SCALE: @ A3	DRAWN: KM	JOB NUMBER: SCE-005	

CANOPY TREE SHOULD HAVE A MAXIMUM HEIGHT AND DIAMETER AT FULL MATURITY OF 8M AND MUST BE PLANTED A MINIMUM 3M AWAY FROM THE HOME

SPECIES FOR TREES AND SHRUBS

-SHRUBS:

- MARSH SALT BUSH
- FRAGRANT SALT BUSH

*(SHRUBS ARE FLOWERING PLANTS FOR COLOUR)

-TREES:

- ACACIA ACINACEA

-GRASS:

- SIR WALTER GRASS
- RIVER TUSsock

GRASS

NATURAL COLOUR MULCH TO BE USED FOR GARDEN BED

SELECTED LETTER BOX

GARDEN BED COVERED WITH MULCH 80 MM DEPTH
EX. NATURAL STRIP TREE GRASS

CORNER SPLAY

MEDIUM SHRUBS - B1
MAX OF 600MM HT AT MATURITY. CLEAR OF VISUAL OBSTRUCTIONS

SMALL SHRUBS - A1
MAX OF 600MM HT AT MATURITY. CLEAR OF VISUAL OBSTRUCTIONS

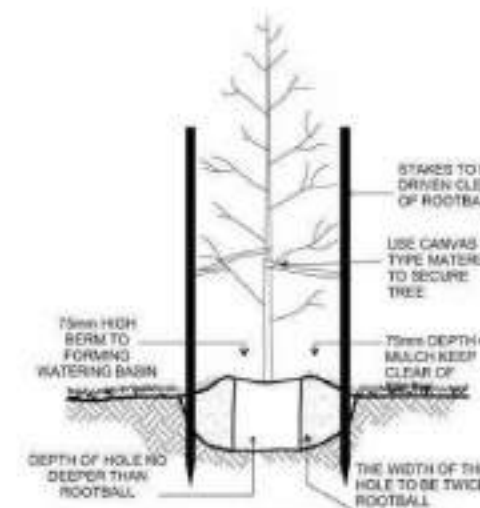
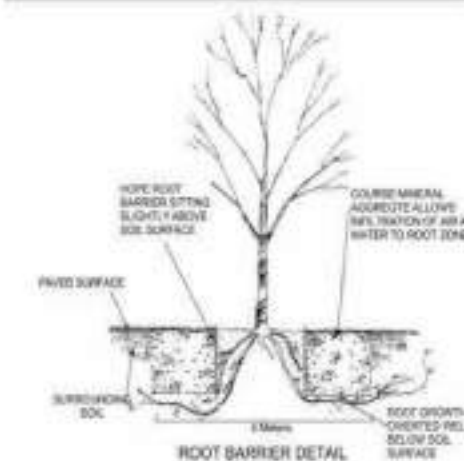
- WHERE CUTTING AND FILLING IS GREATER THAN 1M, THE UTILISATION OF PLANTED AND LANDSCAPED EMBANKMENTS (MAXIMUM 1:3 RATIO) MUST BE CONSTRUCTED.
- LANDSCAPING TO YOUR FRONT YARD SHOULD CONSIST OF LOCAL INDIGENOUS PLANTS, HARD SURFACES SHOULD BE KEPT TO A MINIMUM.

LANDSCAPE NOTE:
FRONT LANDSCAPING IS TO BE IN ACCORDANCE WITH THE DESIGN GUIDELINES AND MUST BE COMPLETED BY THE OWNER WITHIN 90 DAYS FROM THE ISSUE OF AN OCCUPANCY PERMIT.

LETTERBOX NOTE:
THE LETTERBOX MUST COMPLEMENT AND MATCH THE DWELLING. SINGLE POST SUPPORTED LETTERBOXES ARE NOT PERMITTED.

GENERAL NOTES:

1. LANDSCAPER TO ENSURE ALL SITE LEVELS ARE AS PER ENDORSED PLANS
2. NO FENCING TO ENROACH NEIGHBOURING PROPERTIES
3. PROVIDE 80MM X 12MM JARRAH GARDEN BED EDGING (OR SIMILAR) SET FLUSH WITH GARDEN LEVELS WITH METAL PAD AT APPROX 1M INTERVALS OR AS REQUIRED
4. 150MM TOP SOIL TO GARDEN BEDS
5. 50MM TOP SOIL TO GROUND COVER WHERE GRASS TO BE PLANTED
6. 50MM COVER FOR ALL BARKS, MULCH AND ARCHITECTURAL STONE AS INDICATED
7. TIMBER RETAINING WALLS AND OR RETAINING GARDEN ROCKS TO BE INSTALLED OR LAID AS PER TYPICAL AUSTRALIAN STANDARDS AND SHOULD HAVE AGI DRAIN INSTALLED AND CONNECTION TO STORM WATER SYSTEM AS APPROPRIATE. REFER TO ENGINEER FOR MORE DETAIL
8. PAVING STONES TO BE MORTARED IN PLACE OVER SAND BED
9. CLOTHES LINES, STORAGE SHEDS AND LETTER BOXES TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
10. MAINTAIN THE LANDSCAPE MINIMUM OF 12 WEEKS (RESPONSIBILITY OF THIS TO BE DETERMINED WITH OWNER). REPLACE PLANTS THAT HAVE DIED OR HAVE BEEN REMOVED. REMOVE WEEDS AND REPLACE MULCH TO THE REQUIRED LEVELS



TREE NOTE:

Minimum 2 deep rooted trees for each front garden is required. Tree root zones should be away from the dwelling to avoid damage to footings.

PLANT NOTE:

The front 2 metres of each lot must use plants from the medium and small shrubs.

AREA SCHEDULE:

TOTAL GARDEN AREA	188.36 SQ.M.
DRIVEWAY	25.59 SQ.M.
LAWN	31.98 SQ.M.
GARDEN BED	6.44 SQ.M.
PAVERS	4.76 SQ.M.

1. LANDSCAPE PLAN

SCALE 1:150

DEEP ROOTED TREE - C1
8M HT AND 6M IN WIDTH AT FULL MATURITY. 1.5M HIGH AT TIME OF PLANTING

Cardina

ADVERTISED MATERIAL

Planning Application: T250658
Date Prepared: 04 December 2025

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IMPERMEABLE HARD SURFACE: 49.77%
PERMEABLE SURFACE: 50.23%

LEGEND

	A1-SMALL SHRUB		GARDEN BED		DRIVEWAY		PAVERS
	B1-MEDIUM SHRUB		GRASS		C1-SMALL / MEDIUM TREE		LETTER BOX

CODE	PLANTS / TREE	HEIGHT / WIDTH	REQUIREMENT	QUANTITY
A1	SMALL SHRUBS	0.3m / 1m	150 mm POT SIZE	33
B1	MEDIUM SHRUBS	0.6m / 0.5m	200 mm POT SIZE	34
C1	TREE	3 / 3m	MAX OF 8M HEIGHT, 6M WIDTH AT MATURITY	2

HENRY ARCHITECTS

E: design@henry.com.au T: 0433 155 807

REVISIONS / ISSUES:

NO.	DESCRIPTION	DATE
SK-1	SKETCH DESIGN	03/06/2025
DA-1	FOR DA, REV A	08/08/2025
DA-2	FOR DA, REV B	08/08/2025
A	IFC	21/10/2025
B	IF	25/11/2025

CLIENT SIGN OFF:

I/WE CONFIRM THAT WE APPROVE THESE DRAWINGS:

SIGNATURE:

Alina Homes
Builder Licence: DB-U 51515

REGISTERED Building Practitioner

NOTE:

1. DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS.
 2. ALL DIMENSION NOTES ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
 3. THE CONTRACTOR MUST CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO THE COMMENCEMENT OF ANY WORKS.
 4. THESE DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANT'S DRAWINGS / DETAILS REPORTS.
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NORTH:



PROJECT/ADDRESS:
5 Scenic Rise, Pakenham
LOT 114

DATE:
JUNE 2025
SCALE:
As indicated @ A3

CHECKED:
SH
DRAWN:
KM
SHEET:
A9.00
JOB NUMBER:
SCE-005
REVISION:
B