

Notice of an Application for an Amendment to a Planning Permit

The land affected by the application is located at:	V6779 F794 CA 10 SEC 6 Parish of Bunyip 114-116 Wattletree Road, Bunyip VIC 3815
The application is to:	S72 Amendment to Alter the Approved Plans (Re-location of Crossover & Removal of Vegetation)

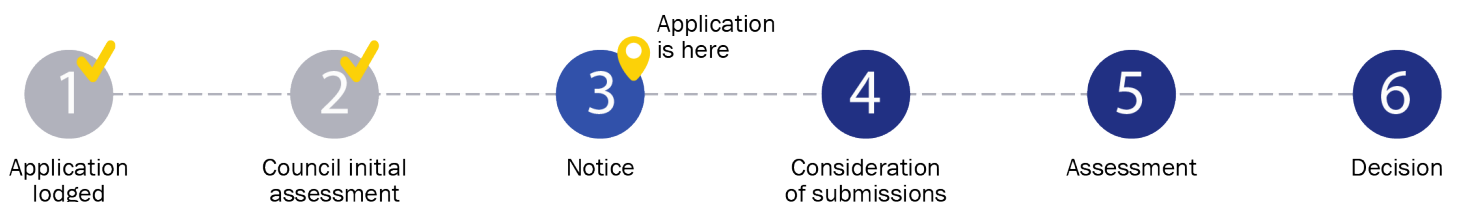
APPLICATION DETAILS

The applicant for the amendment to the permit is:	Nobelius Land Surveyors P/L
Application number:	T180058 - 1
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.	



HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		10 December 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the proposed amendment to permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Amendment Summary

Portal Reference	M225762Y
Reference No	T180058

Basic Information

Proposal Type	Subdivision, Advertising Has Occurred
Proposed Use	Three (3) lot subdivision and removal of vegetation
Current Use	Existing Dwelling & Outbuildings.
Cost of Works	\$0
Amended Cost of Works	\$0
Amendments	Plans Changed
Proposed Changes	The application is to revise / relocate the position of the new crossover for proposed Lot 1 as it currently clashes with the existing power pole and stay wire. This follows comments provided by the engineering department in response to the Civil Design submission for the subject site. Two of the Cupressus Å— leylandii (Leyland Cypress) as per the original Arboricultural Assessment and Report prepared by Jardine Johnstone previously endorsed by Council will now no longer be required to be removed, however three (3) trees of the same type are to be removed in their place.
Site Address	114-116 Wattletree Road Bunyip VIC 3815

Contacts

Type	Name	Address	Contact Details
Applicant	Nobelius Land Surveyors P/L	PO BOX 461, Pakenham VIC 3810	W: 03-5941-4112 E: tarryn@nobelius.com.au
Owner			
Preferred Contact	Nobelius Land Surveyors P/L	PO BOX 461, Pakenham VIC 3810	W: 03-5941-4112 E: tarryn@nobelius.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
11 - Class 16 Amendment to a class 18 permit (To effect a realignment of a common boundary between lots or to consolidate two or more lots)	\$1,453.40	100%	\$1,453.40
Total			\$1,453.40



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
09-04-2025	Additional Document	Covering Letter.pdf
09-04-2025	Additional Document	23005 - R&D - RevA.pdf
09-04-2025	Additional Document	Site Context Plan 2025.pdf
09-04-2025	Additional Document	Vol 6779 Fol 794.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	 Nobelius Land Surveyors P/L	PO BOX 461, Pakenham VIC 3810	W: 03-5941-4112 E: tarryn@nobelius.com.au
Submission Date	09 April 2025 - 03:31:PM		

Declaration

☒ By ticking this checkbox, I, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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ADVERTISED MATERIAL
Planning Application: T180058-1
Date Prepared: 25 November 2025

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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T180058-1 APP
Address of the Land:	114-116 Wattletree Road, Bunyip

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	Nobelius Land Surveyors Pty Ltd
Address:	PO Box 461 Pakenham VIC 3810
Phone:	0359414112
Email:	tarryn@nobelius.com.au

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	☐
Section 50A – Amendment to application at request of responsible authority before notice:	☒
Section 57A – Amendment to application after notice is given:	☐

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for ☒	Plans / other documents ☐	Applicant / owner details ☐
Land affected ☐	Other ☐	
Describe the changes. If you need more space, please attach a separate page.		
Acknowledgment of additional planning permit trigger pursuant to Clause 52.02.		
 Cardinia ADVERTISED MATERIAL Planning Application: T180058-1 Date Prepared: 25 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable ☐	Unchanged ☒	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	28/10/2025

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/ If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.
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IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application. Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed. No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information. The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant. Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made. Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.
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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 06779 FOLIO 794

Security no : 124123319020Q
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CROWN GRANT

LAND DESCRIPTION

Crown Allotment 10 Section 6 Township of Bunyip Parish of Bunyip.

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

CREMO PTY LTD of 235 THIRTEEN MILE ROAD GARFIELD VIC 3814
AN776594B 28/04/2017



ENCUMBRANCES, CAVEATS AND NOTICES

Any crown grant reservations exceptions conditions limitations and powers noted on the plan or imaged folio set out under DIAGRAM LOCATION below.
For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AW959736L 21/06/2023

DIAGRAM LOCATION

SEE TP582723U FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 114-116 WATTLETREE ROAD BUNYIP VIC 3815

ADMINISTRATIVE NOTICES

NIL

eCT Control 20370A RYAN CARLISLE THOMAS
Effective from 18/07/2024

DOCUMENT END

Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	TP582723U
Number of Pages (excluding this cover sheet)	2
Document Assembled	01/04/2025 14:21

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TITLE PLAN		EDITION 1	TP 582723U
Location of Land Parish: BUNYIP Township: BUNYIP Section: 6 Crown Allotment: 10 Crown Portion: Last Plan Reference: Derived From: VOL 6779 FOL 794 Depth Limitation: 50 FEET		Notations SUBJECT TO THE RESERVATIONS EXCEPTIONS CONDITIONS AND POWERS CONTAINED IN CROWN GRANT VOL. 6779 FOL. 794 AND NOTED ON SHEET 2 OF THIS PLAN ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	
Description of Land / Easement Information COLOUR CODE Y = YELLOW		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 27/07/2000 VERIFIED: P.C.	
Y Cardinia ADVERTISED MATERIAL Planning Application: T180058-1 Date Prepared: 25 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge, and agree that you will only use the document for the purpose specified above, and that any dissemination, distribution or copying of this document is strictly prohibited.			
LENGTHS ARE IN LINKS		Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 2 sheets

TITLE PLAN	TP 582723U
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LAND DESCRIPTION INCLUDING RESERVATIONS EXCEPTIONS CONDITIONS AND POWERS SHOWN ON THE CROWN GRANT

THAT PIECE OF LAND in the said State containing
three acres one rood and thirty-three perches more or less being Allotment ten of Section six in the Township
of Bunyip Parish of Bunyip County of Mornington

delimited with the measurements and abutments thereof in the map drawn in the margin of these presents and therein colored yellow PROVIDED nevertheless that the grantee shall be entitled to sink wells for water and to the use and enjoyment of any wells or springs of water upon or within the boundaries of the said land for any and for all purposes as though she held the land without limitation as to depth EXCEPTING nevertheless unto Us Our heirs and successors all gold and silver and minerals as defined in the *Mines Act 1928* in upon or under or within the boundaries of the land hereby granted AND reserving to Us Our heirs and successors free liberty and authority for Us Our heirs and successors and Our and their licensees agents and servants at any time or times hereafter to enter upon the said land and to search and mine therein for gold silver and minerals as aforesaid and to extract and remove therefrom any such gold silver and minerals and to search for and work dispose of and carry away the said gold silver and minerals lying in upon or under the land hereby granted and for the purposes aforesaid to sink shafts make drives erect machinery and to carry on any works and do any other things which may be necessary or usual in mining and with all other incidents that are necessary to be used for the getting of the said gold silver and minerals and the working of all mines seams lodes and deposits containing such gold silver and minerals in upon or under the land hereby granted AND ALSO reserving to Us Our heirs and successors—

- (i) all petroleum as defined in the *Mines (Petroleum) Act 1935* on or below the surface of the said land and
- (ii) the right of access for the purpose of searching for and for the operations of obtaining such petroleum in any part or parts of the said land and
- (iii) rights of way for access and for pipe-lines and other purposes necessary for obtaining and conveying such petroleum in the event of such petroleum being obtained in any part or parts of the said land.

PROVIDED ALWAYS that the said land is and shall be subject to be resumed for mining purposes under Section 168 of the *Land Act 1928*.

AND PROVIDED also that the said land is and shall be subject to the right of any person being the holder of a miner's right or of a mining lease or mineral lease under the *Mines Act 1928* or any corresponding previous enactment to enter therein and to mine for gold silver or minerals within the meaning of the said Act and to erect and occupy mining plant or machinery thereon in the same manner and under the same conditions and provisions as those to which such person would for the time being be entitled to mine for gold and silver in and upon Crown lands PROVIDED that compensation shall be paid to the grantee

her executors administrators assigns or transferees by such person for surface damage to be done to such land by reason of mining thereon such compensation to be determined as provided for the time being by law and the payment thereof to be a condition precedent to such right of entry.



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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

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Status	Registered	Dealing Number	AW959736L
Date and Time Lodged	21/06/2023 02:25:51 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	

APPLICATION TO RECORD AN INSTRUMENT

ADVERTISED MATERIAL
Planning & Environment Act 1987
Date Prepared: 25 November 2025

Jurisdiction

VICTORIA

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Privacy Collection Statement

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

6779/794

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC
Postcode	3809



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	[REDACTED]
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	21 JUNE 2023

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



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Document Type	Instrument
Document Identification	AW959736L
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Agreement under section 173 of the Planning and Environment Act 1987

Subject Land: 114-116 Wattletree Road, Bunyip, Victoria 3815

Cardinia Shire Council

and

Cremo Pty Ltd ACN 607 693 783



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Current Email means:

- a. for Council, mail@cardinia.vic.gov.au or any other email address listed on Council's website; and
- b. for the Owner, any email address provided by the Owner to Council for the express purpose of electronic communication regarding this Agreement.

Endorsed Plans means the plans endorsed with the stamp of Council from time to time as the plans forming part of the Planning Permit.

Native Vegetation means all native vegetation, including the eucalyptus tree plantation, shown in the Site Context Plan forming part of the Arboricultural Assessment and Report.

Owner means the person registered or entitled from time to time to be registered as proprietor of an estate in fee simple of the Subject Land and includes a mortgagee-in-possession.

Owner's obligations includes the Owner's specific obligations and the Owner's further obligations.

Party or Parties means the Parties to this Agreement.

Planning Permit means planning permit no. T180058, as amended from time to time, issued on 29 September 2022, authorising the 3-lot subdivision and removal of vegetation on the Subject Land in accordance with the Endorsed Plans.

Planning Scheme means the Cardinia Planning Scheme and any other planning scheme applying to the Subject Land.

Subject Land means the land situated at 144-146 Wattletree Road, Bunyip, Victoria being the land referred to in certificate of title volume 06779 folio 794 and any reference to the Subject Land includes all or any part of it, including any lot created by the subdivision of the Subject Land or any part of it.



2. INTERPRETATION

In this Agreement unless the context admits otherwise:

- 2.1 the singular includes the plural and vice versa;
- 2.2 a reference to a gender includes all genders;
- 2.3 a reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law;
- 2.4 any agreement, representation, warranty or indemnity by 2 or more persons (including where 2 or more persons are included in the same defined term) binds them jointly and severally;
- 2.5 a term used has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act, it has the meaning as defined in the Act;
- 2.6 a reference to an Act, regulation or the Planning Scheme includes any Act, regulation or amendment amending, consolidating or replacing the Act, regulation or Planning Scheme;
- 2.7 the Background forms part of this Agreement;

- 2.8 the Owner's obligations take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
- 2.9 any reference to a clause, page, condition, attachment or term is a reference to a clause, page, condition, attachment or term of this Agreement.

3. PURPOSES OF AGREEMENT

The Parties acknowledge and agree the purposes of this Agreement are to:

- 3.1 give effect to condition 3 of the Planning Permit; and
- 3.2 achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

4. REASONS FOR AGREEMENT

The Parties acknowledge and agree Council has entered into this Agreement for the following reasons:

- 4.1 Council would not have granted the Planning Permit without imposing condition 3 requiring this Agreement; and
- 4.2 the Owner has elected to enter into this Agreement in order to take the benefit of the Planning Permit.

5. AGREEMENT REQUIRED

The Parties agree this Agreement will continue to be required until the Owner has complied with all the Owner's obligations.

6. OWNER'S SPECIFIC OBLIGATIONS

6.1 Ongoing retention and protection of Native Vegetation

The Owner covenants and agrees that it must retain and protect the Native Vegetation on an ongoing basis and at the full cost of the Owner.

7. OWNER'S FURTHER OBLIGATIONS

7.1 Notice and registration

The Owner must bring this Agreement to the attention of all prospective occupiers, purchasers, lessees, licensees, mortgagees, chargees, transferees and assigns.

7.2 Further actions

The Owner:

- 7.2.1 must do all things necessary to give effect to this Agreement;
- 7.2.2 acknowledges and agrees to carry out its obligations under this Agreement at its own expense, in accordance with the Endorsed Plans and to the satisfaction of Council;
- 7.2.3 consents to Council applying to the Registrar of Titles to record this Agreement on the certificate of title of the Subject Land in accordance with section 181 of the Act; and
- 7.2.4 agrees to do all things necessary to enable Council to do so, including:



- (a) sign any further agreement, acknowledgment or document; and
- (b) obtain all necessary consents to enable the recording to be made.

7.3 Council's costs to be paid

The Owner must pay to Council within 14 days after a written request for payment, Council's costs and expenses (including legal expenses) relating to this Agreement, including:

- 7.3.1 preparing, drafting, finalising, signing, recording and enforcing this Agreement;
- 7.3.2 preparing, drafting, finalising and recording any amendment to this Agreement; and
- 7.3.3 preparing, drafting, finalising and recording any document to give effect to the ending of this Agreement.

7.4 Time for determining satisfaction

If Council makes a request for payment of a fee under clause 0 of this Agreement the Parties agree Council will not decide whether the Owner's obligations have been undertaken to Council's satisfaction, or whether to grant the consent sought, until payment has been made to Council in accordance with the request.

7.5 Interest for overdue money

- 7.5.1 The Owner must pay to Council interest in accordance with section 120 of the *Local Government Act 2020* on any amount due under this Agreement that is not paid by the due date.

- 7.5.2 If interest is owing, Council will apply any payment made to interest and any balance of the payment to the principal amount.



8. AGREEMENT UNDER S 173 OF THE ACT

Without limiting or restricting the respective powers to enter into this Agreement, and insofar as it can be so treated, this Agreement is made as a deed in accordance with section 173 of the Act.

9. OWNER'S WARRANTIES

The Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

10. SUCCESSORS IN TITLE

Until such time as a memorandum of this Agreement is recorded on the certificate of title of the Subject Land, the Owner must require successors in title to:

- 10.1 give effect to this Agreement; and
- 10.2 enter into a deed agreeing to be bound by the terms of this Agreement.

11. GENERAL MATTERS

11.1 Notices

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- 11.1.1 personally on the other Party;
- 11.1.2 by leaving it at the other Party's Current Address;
- 11.1.3 by posting it by priority prepaid post addressed to the other Party at the other Party's Current Address; or
- 11.1.4 by email to the other Party's Current Email.

11.2 Counterparts

This Agreement may be executed in counterparts, all of which taken together constitute one document.

11.3 No waiver

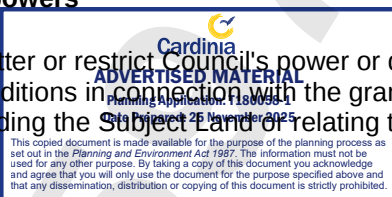
Any time or other indulgence granted by Council to the Owner or any variation of this Agreement or any judgment or order obtained by Council against the Owner does not amount to a waiver of any of Council's rights or remedies under this Agreement.

11.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that any part of this Agreement is unenforceable, illegal or void then that part is severed with the other provisions of this Agreement remaining operative.

11.5 No fettering of Council's powers

This Agreement does not fetter or restrict Council's power or discretion to make decisions or impose requirements or conditions in connection with the grant of planning approvals or certification of plans subdividing the Subject Land or relating to the use or the development of the Subject Land.



11.6 Inspection of documents

A copy of any planning permit, document or plan referred to in this Agreement is available for inspection at Council's offices during normal business hours upon giving the Council reasonable notice.

11.7 Governing law

This Agreement is governed by and is to be construed in accordance with the laws of Victoria.

12. ELECTRONIC EXECUTION

Each Party consents to the signing of this Agreement by electronic means. The Parties agree to be legally bound by this Agreement signed in this way.

Each Party reserves the right to sign this Agreement by electronic means, including by use of software or an online service for this purpose.

13. COMMENCEMENT OF AGREEMENT

This Agreement commences on the date specified on page one of this Agreement or if no date is specified on page one, the date Council executes this Agreement.

14. ENDING OF AGREEMENT

This Agreement may be ended by agreement between Council and all persons who are bound by any covenant in the agreement in accordance with section 177(2)(a) of the Act.

After this Agreement has ended, Council will, at the Owner's written request, apply to the Registrar of Titles under section 183(1) of the Act to cancel the record of this Agreement.

AW959736L



ADVERTISED MATERIAL

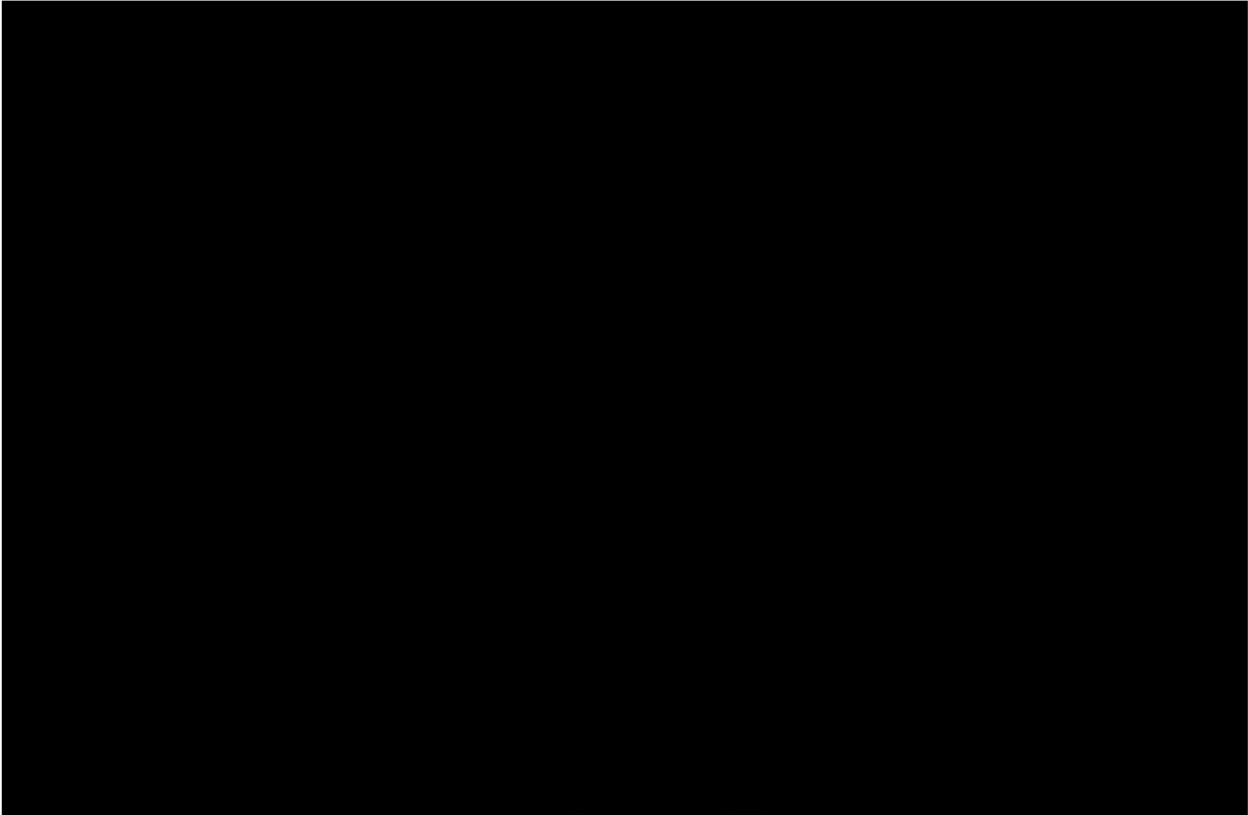
Planning Application: T180058-1

Date Prepared: 25 November 2025

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SIGNING PAGE

Signed, sealed and delivered as a deed by the parties



AW95

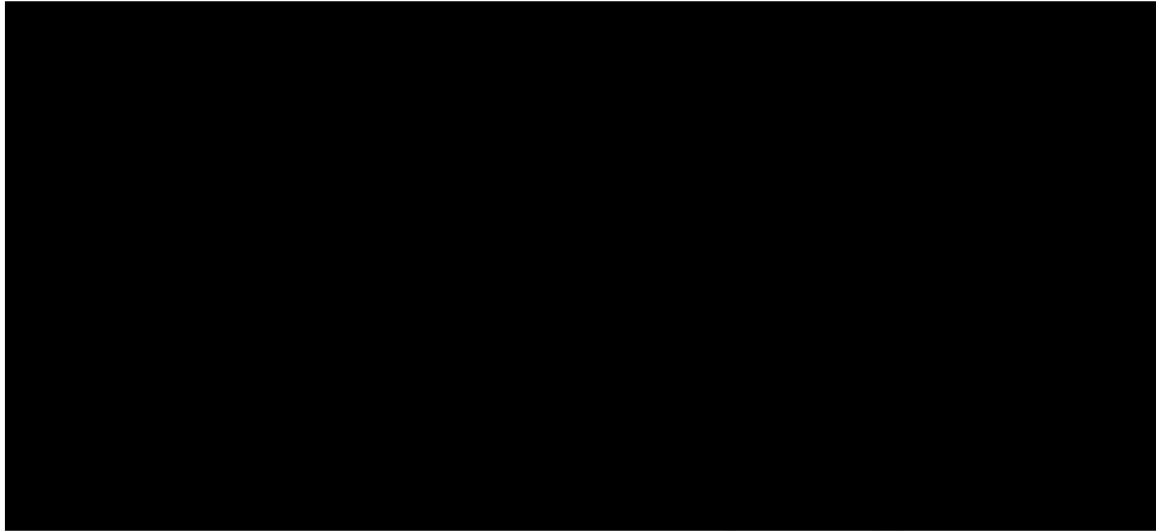


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EXECUTED by Cremo Pty Ltd (ACN 607
693 783) in accordance with section 127(1)
of the *Corporations Act 2001* (Cth)



AW9597



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Our Ref: 15692
8 April 2025

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810
Attn: Planning Department

Dear Sir / Madam,

APPLICATION NO.:	T180058
ADDRESS:	114-116 Wattletree Road, Bunyip
PROPOSAL:	Alter plans previously endorsed by Council associated with the three (3) lot subdivision and removal of vegetation

This is an application to amend planning permit T180058 & the endorsed plans previously issued by Council on the 29th September 2022 for a three (3) lot subdivision and removal of vegetation at 114-116 Wattletree Road, Bunyip.

The application is to revise / relocate the position of the new crossover for proposed Lot 1 as it currently clashes with the existing power pole and stay wire. This follows comments provided by the engineering department in response to the Civil Design submission for the subject site.

Two of the Cupressus × leylandii (Leyland Cypress) as per the original Arboricultural Assessment and Report *prepared by Jardine Johnstone* previously endorsed by Council will now no longer be required to be removed, however three (3) trees of the same type are to be removed in their place.

In support of the application, please find enclosed copies of the following:

- Copy of Title.
- A copy of the Preliminary Civil Design Plans – *prepared by Craig Civil Design*.
- Updated Site Context Plan with additional three (3) trees highlighted which are affected by crossover relocation.
 - These trees are Cupressus × leylandii (Leyland Cypress) as per the original Arboricultural Assessment and Report *prepared by Jardine Johnstone* previously endorsed by Council.
- Planning Permit Amendment Fees.

Please do not hesitate to contact me should you have any questions or require further information.

Warm Regards,


Subdivision Manager
Nobelius Land Surveyors P/L
@nobelius.com.au

ARBORICULTURAL ASSESSMENT AND REPORT

Site:

114-116 Wattle Tree Road, Bunyip

Commissioned by:



Report Prepared by:



B. App. Sci. (Hort)

M. Soc. Sci. (Environment and Planning)

May 2018

(updated 17/12/2021, 18/4/2022, 10/9/2025)



ADVERTISED MATERIAL

Planning Application: T180058-1
Date Prepared: 25 November 2025

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1. Introduction

- 1.1 Jardine Johnstone Pty Ltd has been engaged by [REDACTED] to provide an arboricultural assessment and report regarding the tree protection zones of 48 existing trees located on the subject land and land adjoining the property at 114-116 Wattle Tree Road, Bunyip.
- 1.2 Recommendations regarding actions to minimise impacts of the proposed subdivision upon the subject trees are also required.

2. Brief

- 2.1 To inspect the site in question, namely 114-116 Wattle Tree Road, Bunyip, the road reserve, and adjoining properties.
- 2.2 To inspect existing trees on the subject site, with trees shown numbered on the site plan at page 3 of this report.
- 2.3 To provide the Tree Protection Zones of the above-mentioned trees.
- 2.4 To recommend actions to minimise any impacts upon the trees in question.

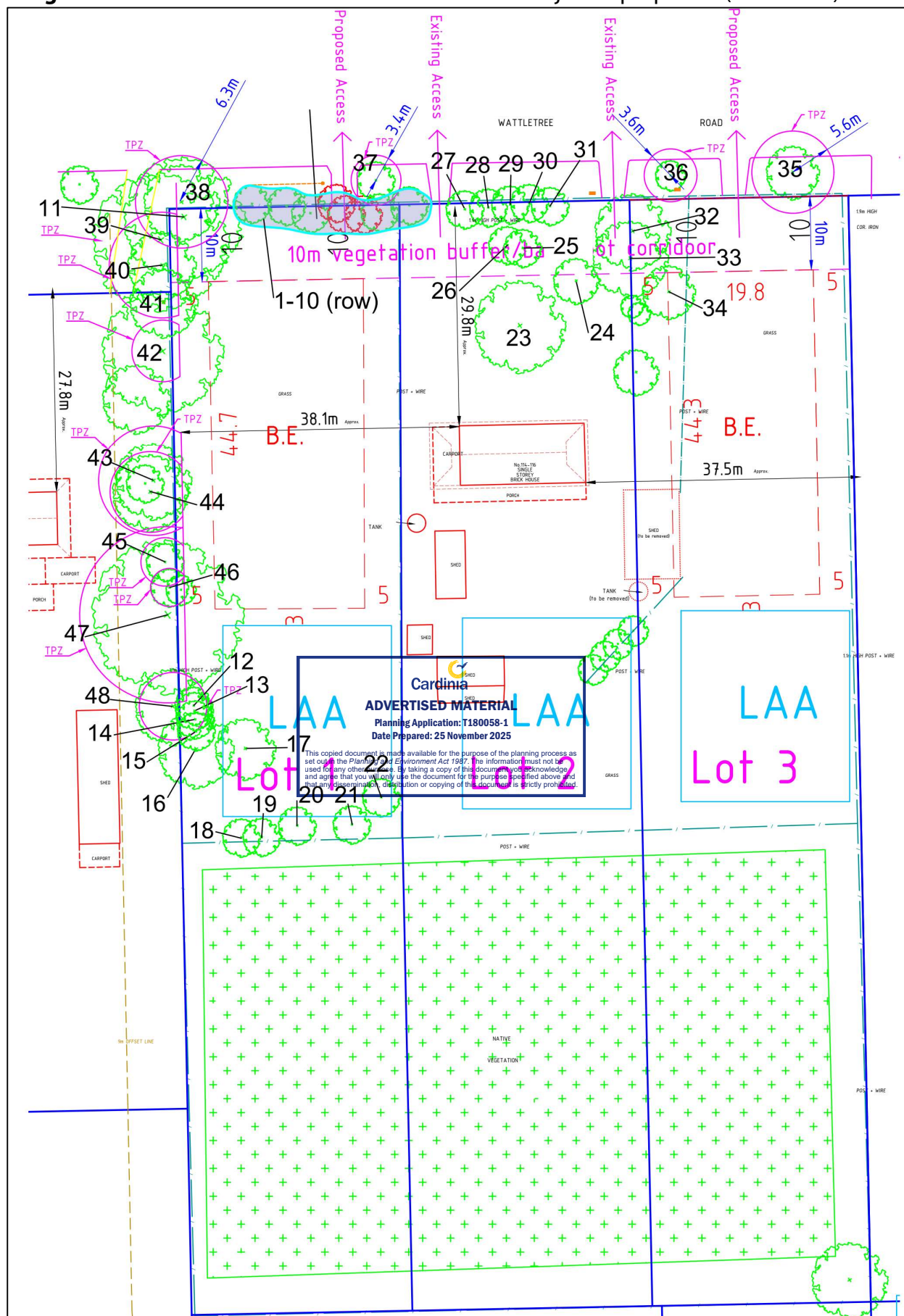
3. Methods

- 3.1 [REDACTED] of Jardine Johnstone carried out a site inspection on 9 May 2018.
- 3.2 The trees were inspected from the ground and observations of the surrounding area were made.
- 3.3 Tree trunk diameter was measured with a diameter tape. Height and canopy spreads were estimated.
- 3.4 Data collected on site was analysed by [REDACTED] collated into report format, and relevant recommendations were formulated.
- 3.5 Reference was made to the Site Context Plan by Nobelius Land Surveyors dated 18/4/18 and CCD plans dated 21/08/2024 Rev A.



4. Observations

- 4.1 The site is a large rural-residential allotment on the south side of Wattle Tree Road, and features a detached dwelling in the front of the property, numerous outbuildings, a dense Eucalyptus plantation in the rear section of the land, and a number of indigenous and introduced trees, a number of lower storey shrubs, and otherwise with a cover of grass and weeds. The site is fenced with low post and wire on all boundaries.
- 4.2 It was observed that immediately adjacent to the west boundary is an open culvert drain, located approximately 0.8m-1.0m from the west boundary. This culvert is up to 1.0m deep and would restrict root growth from adjacent trees into the subject site beyond the culvert.
- 4.3 Surrounding properties are rural-residential allotments developed with dwellings and feature modest, mature gardens surrounding dwellings.
- 4.4 Forty-eight trees were assessed. Details of observations made and data recorded are found in Appendix 1.
- 4.5 Photographs of the assessed trees were taken and are available on request.

Image 1. Location of assessed trees on the site and on adjacent properties (numbered).

5. Proposed subdivision

- 5.1 The proposed subdivision will involve creation of three allotments each of which will be oriented on a north-south axis. Each will be accessed directly from Wattle Tree Road, and Lots 1 and 3 will mostly likely be developed with a dwelling and associated outbuildings in the future. It is possible future development with buildings, driveways, services etc may impact upon the root systems of trees within the subject site, road reserve and adjacent properties. Section 6 of this report examines the Tree Protection Zones for the subject trees, and recommends tree protection measures specific to this site.

6. Tree Protection Recommendations

- 6.1 If any of the trees in the road reserve and adjoining properties are to be retained, protective works will be required to ensure the health of the trees is not compromised. This section of the report sets out appropriate protective measures for any trees to be retained on the site. The Tree Protection Zone (TPZ) for each tree is provided in Table 1 below, and sets out an area around each tree to be retained (radius from the outside of the trunk of each tree) within which works are prohibited or are to be controlled according to the recommendations below.

Table 1. Tree Protection Zones

Tree No.	Botanical Name (Common Name)	TPZ (metres)
1	Cupressus × leylandii (Leyland Cypress)	6.2
2	Cupressus × leylandii (Leyland Cypress)	4.7
3	Cupressus × leylandii (Leyland Cypress)	5.3
4	Cupressus × leylandii (Leyland Cypress)	5.5
5	Cupressus × leylandii (Leyland Cypress)	5.1
6	Cupressus × leylandii (Leyland Cypress)	4.7
7	Cupressus × leylandii (Leyland Cypress)	4.1
8	Cupressus × leylandii (Leyland Cypress)	4.6
9	Cupressus × leylandii (Leyland Cypress)	3.6
10	Cupressus × leylandii (Leyland Cypress)	2.1
11	Eucalyptus botryoides (Bangalay)	4.68
12	Eucalyptus cypellocarpa (Mountain Grey-gum)	2.58
13	Melaleuca linariifolia (Snow in summer)	2.0
14	Melaleuca linariifolia (Snow in summer)	2.0
15	Melaleuca linariifolia (Snow in summer)	2.04
16	Eucalyptus cypellocarpa (Mountain Grey-gum)	4.92
17	Cupressus × leylandii (Leyland Cypress)	3.2
18	Acacia floribunda (Sallow Wattle)	2.0
19	Acacia floribunda (Sallow Wattle)	2.0
20	Quercus robur (English Oak)	2.0
21	Quercus robur (English Oak)	2.0
22	Feijoa sellowiana (Feijoa)	2.7
23	Paulownia tomentosa (Empress tree)	4.68
24	Brachychiton rupestris (Queensland Bottle tree)	5.16
25	Liquidambar styraciflua (American Sweet gum)	2.0
26	Pittosporum tenuifolium (Pittosporum 'Screenmaster')	5.8
27	Callistemon salignus (Willow Bottle-brush)	7.8
28	Callistemon salignus (Willow Bottle-brush)	3.8
29	Callistemon salignus (Willow Bottle-brush)	4.2
30	Callistemon salignus (Willow Bottle-brush)	2.0

31	Callistemon salignus (Willow Bottle-brush)	8.5
32	Cupressus macrocarpa (Monterey Cypress)	9.2
33	Cupressus macrocarpa (Monterey Cypress)	9.7
34	Grevillea robusta (Silky Oak)	3.72
35	Corymbia ficifolia (Flowering Gum)	5.6
36	Kunzea ericoides (Burgan)	3.6
37	Kunzea ericoides (Burgan)	3.4
38	Eucalyptus sieberi (Silvertop Ash)	6.3
39	Corymbia maculata (Spotted Gum)	8.0
40	Eucalyptus sieberi (Silvertop Ash)	7.2
41	Eucalyptus sieberi (Silvertop Ash)	4.6
42	Eucalyptus sieberi (Silvertop Ash)	4.2
43	Eucalyptus sieberi (Silvertop Ash)	7.5
44	Eucalyptus sieberi (Silvertop Ash)	5.5
45	Melaleuca linariifolia (Snow in Summer)	3.3
46	Melaleuca linariifolia (Snow in Summer)	2.6
47	Eucalyptus globulus subsp. pseudoglobulus (Eurabbie)	12.0
48	Eucalyptus cypellocarpa (Mountain Grey-Gum)	4.6

Site Tree Protection Measures

6.2 The following measures apply to all trees to be retained on site.

Education: All persons involved in the development project must be informed verbally and in writing of the tree protection requirements for the site.

Fencing: Trees within the general work area (not just the footprint of the works) must be fenced off. The Tree Protection Zone (TPZ) of trees to be protected needs to be an effective barrier against root plate disturbance. The TPZ fencing must be installed according to the TPZ distances as set out in Table 1 of this report, and must be fenced with chain mesh panels inserted into concrete base blocks with the tops of the posts clamped together. It must be at least 1.7m in height above natural ground level. Where a boundary fence is within the TPZ of a tree to be retained, this fence will act as the TPZ fence, with internal TPZ fencing to abut with no gaps. Movement of the fence is strictly prohibited at all times. Fencing should be installed after initial tree removal operations and before any other works are commenced.

Signage: Clear signage stating 'Tree Protection Zone No Entry' shall be provided on at least three sides of the fence to ensure all contractors to the site understand the purpose of the fencing.

Mulching: The TPZ needs to be mulched to retain soil moisture and

compensate for loss of absorbing roots outside of the TPZ. Left over time, the mulch assists in alleviating soil compaction. The mulch should be organic mulch free of weed seed. It is to be hand spread within the fenced area to a depth of 75mm, avoiding direct contact with the trunk of the tree.

Prohibited Activities: Within a Tree Protection Zone (TPZ) there must be:

- no alteration or disturbance to existing grade of any kind;
- no changes to the grade by adding fill, excavating or scraping;
- no storage of construction materials or equipment;
- no storage of soil, construction waste or debris;
- no disposal of any liquids e.g. concrete sludge, gas, oil, paint; and
- no movement of vehicles, equipment or pedestrians.

These requirements should be used as guidelines for all other areas where tree roots are impacted.

Root Pruning: Pruning of roots consistent with an approved plan require the services of a qualified arborist or approved tree professional and must be done in accordance with AS4373-2007.

Above-Ground Pruning: Any pruning of branches must be carried out by a qualified arborist or other approved tree professional and must be done in accordance with AS4373-2007.

Service Installation: Installation of services can seriously damage root systems. Service installation needs to have regard for the protection and preservation of the critical root zone of a tree. Boring under a tree or a tree's root system will often prevent the need for open trench excavation and preserve tree roots within the specified critical root zone of a tree. There must be no root severance as a result of the installation for plumbing and electrical connections within the specified TPZs of any tree to be retained. Services under slabs or sub floors can also be clipped or suspended over critical root zones, or excavated outside critical root zones.

Temporary access within the TPZ: There may be instances where access is required within the TPZ. Protective measures should be implemented at the direction of the project arborist prior to access occurring. It is important that protective works in this case prevent root damage and soil compaction within the TPZ. Protective measures may include a permeable membrane such as geotextile fabric beneath a layer of mulch or crushed rock below rumble boards.

Retaining Walls: The construction of retaining walls should use the principles of pier and beam construction. Specifications for this type of wall must be confirmed by an architect or appropriately qualified engineer.

Irrigation: Providing supplemental irrigation for trees under water stress may be the single most important treatment. Irrigation should be designed to wet the soil within the TPZ to the depth of the root zone and to replace that water once it is depleted. Light, frequent irrigation should be avoided. Irrigation should completely wet the root zone within the TPZ and should then dry out prior to a subsequent watering. This should occur October through to April inclusive.

7. Conclusion

7.1 The subject trees located on the subject site, in the road reserve and on the adjoining property to the west vary in terms of condition, structure and health. Trees within the subject site and adjoining properties may be impacted by construction of proposed crossovers and future development within each of the lots. It is recommended that any works comply with the tree protection measures as set out in section 6 of this report.

7.2 If any on-site and off-site trees are to be retained, it is recommended that the protection works as outlined in section 6 of this report be implemented.

Jardine Johnstone,
30 May 2018
(updated 17/12/2021, 18/4/2022 and 10/9/2025)

Appendix 1 – Definitions

Tree Protection Zone (TPZ)

The TPZ figure assigned to each tree pertains to the roots and represents the recommended minimum distance in metres from the centre of the trunk which should be kept intact in order for the tree to maintain current levels of health and stability. Within this zone are likely to be structural roots which anchor the tree to the soil, and roots which actively provide the tree with nutrition and hydration, and provide sites for respiration.

Unless otherwise indicated in this report, it is important that excavation and alteration of soil level be minimised within the TPZ as specified in Appendix 1.

For the purposes of this report, the TPZ has been calculated using the following formula:

$$\text{TPZ} = \text{Diameter at Breast Height} \times 12$$

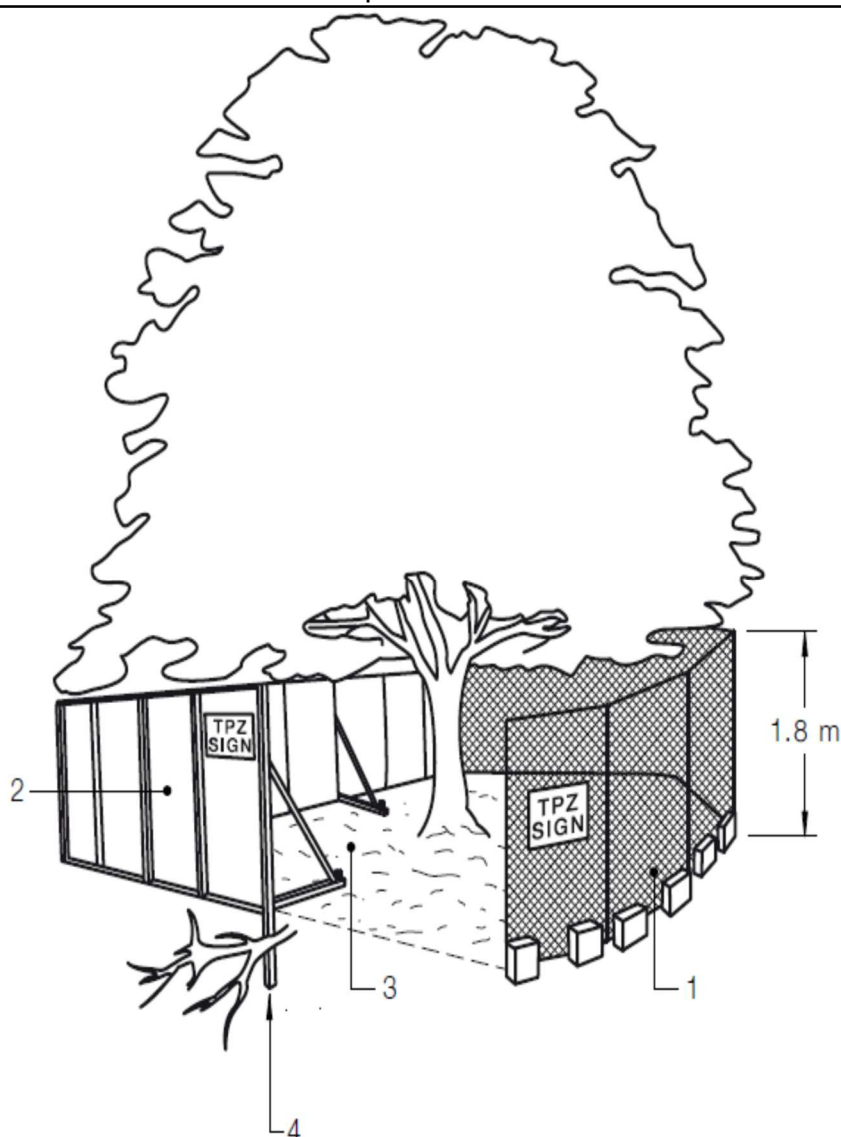
If a measurement of the diameter at breast height is not possible, the following formula has been used:

$$\text{TPZ} = \text{Diameter at base} \times 10$$



Appendix 3 – Tree Protection examples

Image 1. Example of tree protection fencing. Tree protection fencing must meet the specifications as set out in section 6 of this report.



LEGEND:

- 1 Chain wire mesh panels with shade cloth (if required) attached, held in place with concrete feet.
- 2 Alternative plywood or wooden paling fence panels. This fencing material also prevents building materials or soil entering the TPZ.
- 3 Mulch installation across surface of TPZ (at the discretion of the project arborist). No excavation, construction activity, grade changes, surface treatment or storage of materials of any kind is permitted within the TPZ.
- 4 Bracing is permissible within the TPZ. Installation of supports should avoid damaging roots.

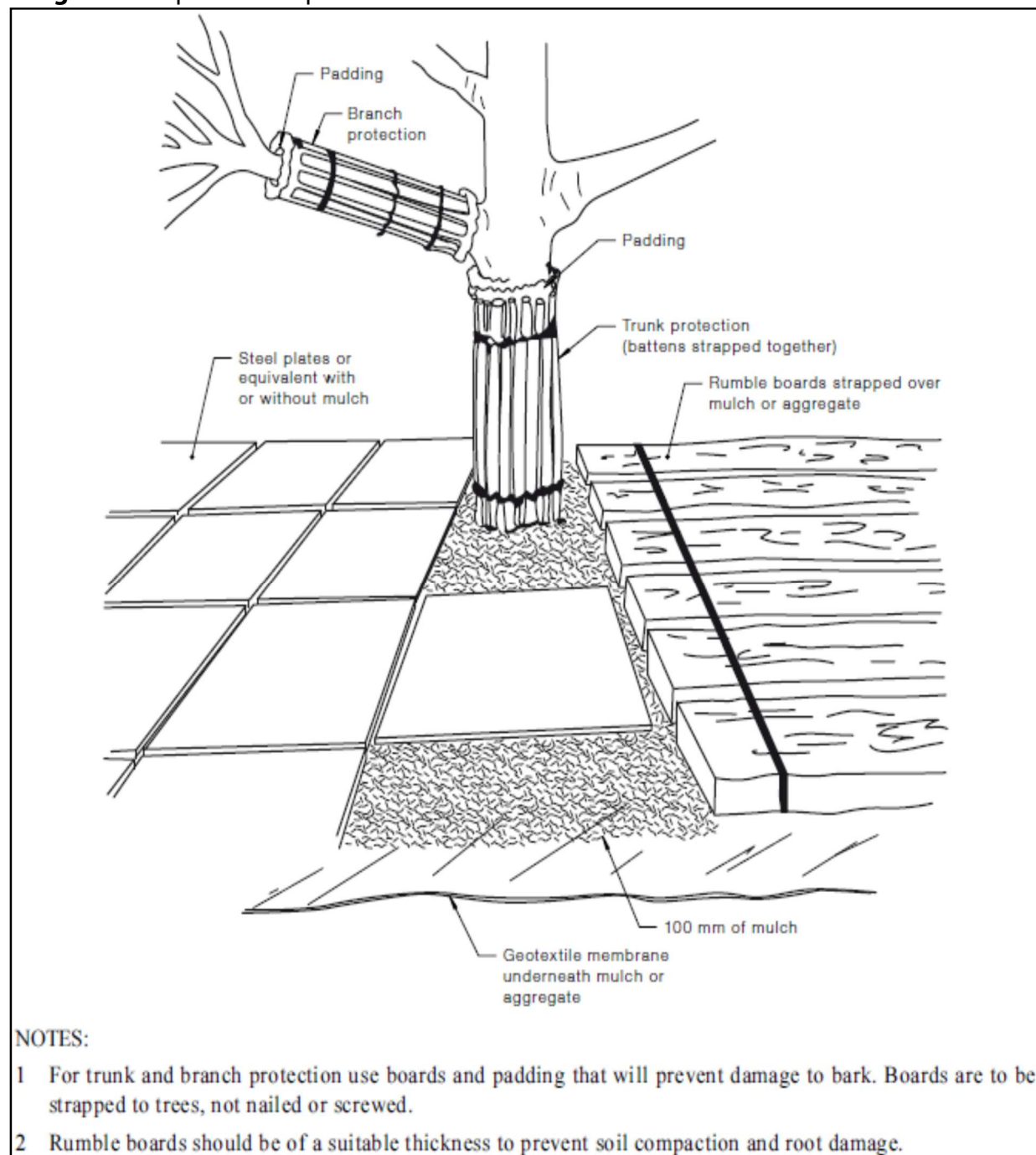


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Image 2. Example of signage to be displayed on all tree protection fencing.

Image 3. Examples of tree protection measures within the TPZ.**ADVERTISED MATERIAL**

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Assumptions and limiting conditions

Jardine Johnstone contracts to you on the basis that all legal documents and information provided to Jardine Johnstone is correct. The consultant is not responsible for verifying any legal documents and is not responsible for matters outside its control.

Jardine Johnstone assumes that all affected property complies with all applicable statutes and subordinate legislation.

Jardine Johnstone will take care to obtain all necessary information from reliable sources and to verify data. Jardine Johnstone neither guarantees nor is responsible for the accuracy of information provided by others.

Jardine Johnstone will not be required to attend court to give evidence or to prepare material for a hearing because of this report unless subsequent contractual arrangements are made. This will include additional payment at specified hourly rates.

Alteration of this report invalidates the entire report.

Jardine Johnstone retains the copyright in this report. Possession of the original report or a copy of the report does not give the right of reproduction, publication or use without the written permission of Jardine Johnstone.

The contents of this report represent the professional opinion of the report's author. Jardine Johnstone's fee for preparation of this report is in no way contingent upon the reporting of a particular result, value, finding, nor the occurrence of a subsequent event.

Photographs, sketches, graphs and diagrams presented in this report are intended as visual aids and are not necessarily to scale and must not be construed as architectural or engineering reports or surveys.

Unless stated otherwise:

- i. The information in this report covers only those items which were examined and reflects the condition of those items at the time of inspection; and
- ii. The inspection is limited to the visual examination of accessible components without dissection, excavation or probing.



Jardine Johnstone gives no guarantee or warranty that problems or deficiencies of the plants or subject site(s) may not arise in the future.

To the writer's knowledge all facts, matters and all assumptions upon which the report proceeds have been stated within the report and all opinion contained within the report will be fully researched and any such opinion not duly researched is based upon the writer's experience and observations.

This agreement supersedes all prior discussions and representations between Jardine Johnstone and the client on the subject, and is the entire agreement and understanding between us.

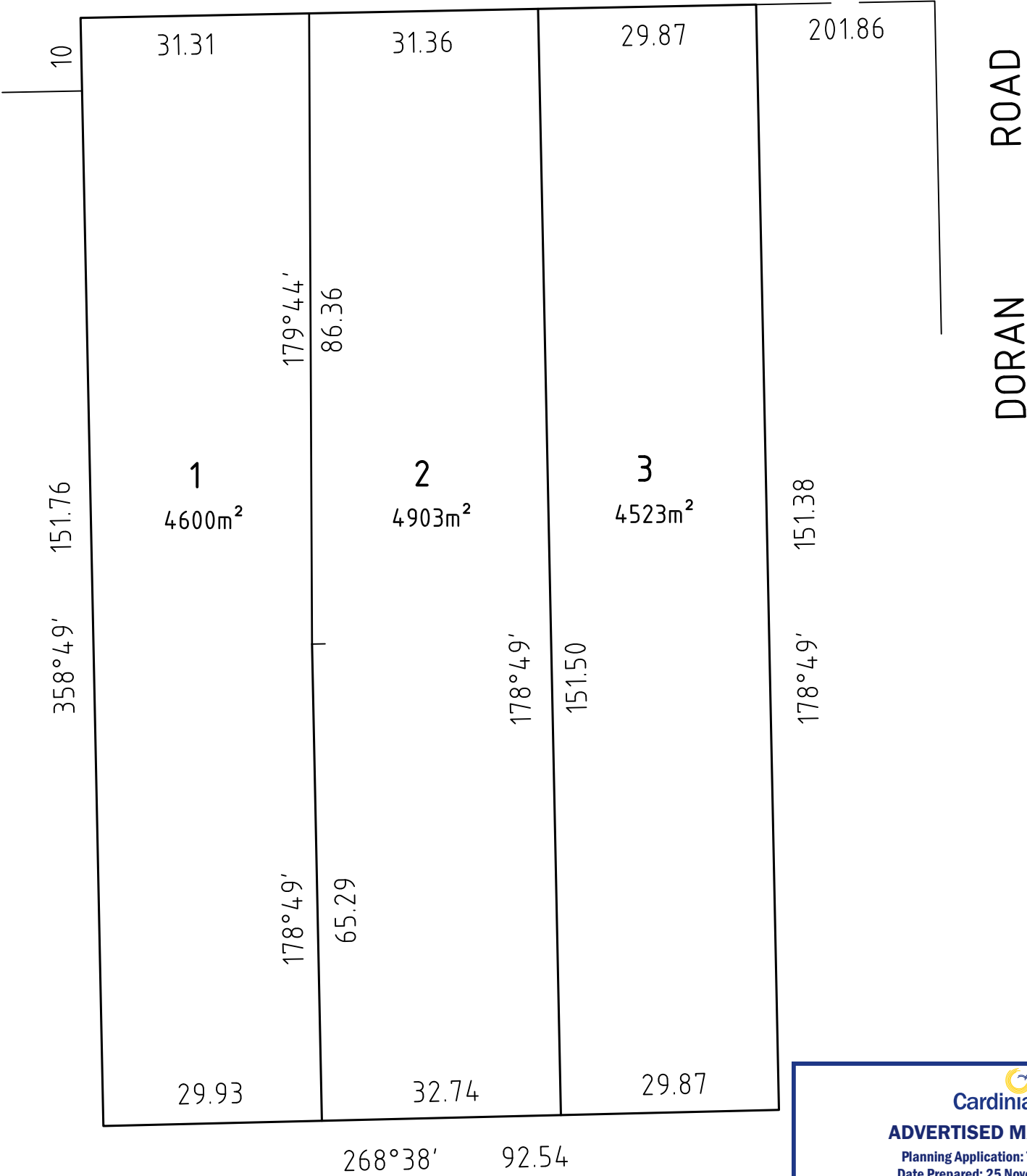
- End of report -

PLAN OF SUBDIVISION			EDITION 1		PS 815147 A	
LOCATION OF LAND			Council Name: Cardinia Shire Council			
PARISH: Bunyip			<u>EXPLANATORY NOTE:</u>			
TOWNSHIP: Bunyip			<u>WARNING:</u> This plan is unregistered.			
SECTION: 6			Alterations may be required by Council and the Registrar of Titles prior to Registration, Nobelius Land Surveyors accepts no responsibility whatsoever for any loss or damage suffered.			
CROWN ALLOTMENT: 10						
CROWN PORTION: ---						
TITLE REFERENCE: Vol. Fol.						
LAST PLAN REFERENCE: ---						
POSTAL ADDRESS: 114-116 Wattletree Road, Bunyip 3815 (at time of subdivision)						
MGA CO-ORDINATES: E: 388 790 ZONE: 55 (of approx centre of land in plan) N: 5 783 340 GDA 94						
VESTING OF ROADS AND/OR RESERVES			NOTATIONS			
IDENTIFIER		COUNCIL/BODY/PERSON		<u>Other Purpose of Plan</u> Creation of Restriction - see Sheet 3.		
Nil		Nil				
NOTATIONS			 Cardinia ADVERTISED MATERIAL Planning Application: T180058-1 Date Prepared: 25 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.			
DEPTH LIMITATION: DOES NOT APPLY						
SURVEY: This plan is based on survey.						
STAGING: This is not a staged subdivision. Planning Permit No.						
This survey has been connected to permanent marks No(s). In Proclaimed Survey Area No. ---						
EASEMENT INFORMATION						
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)						
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of		
NOBELIUS LAND SURVEYORS		SURVEYORS FILE REF: 15692		ORIGINAL SHEET SIZE: A3	SHEET 1 OF 3	
 P.O. BOX 461 PAKENHAM 3810 Ph 03 5941 4112 mail@nobelius.com.au		LICENSED SURVEYOR: B. S. NOBELIUS VERSION 3				



WATTLETREE ROAD

88°52'10" 92.54





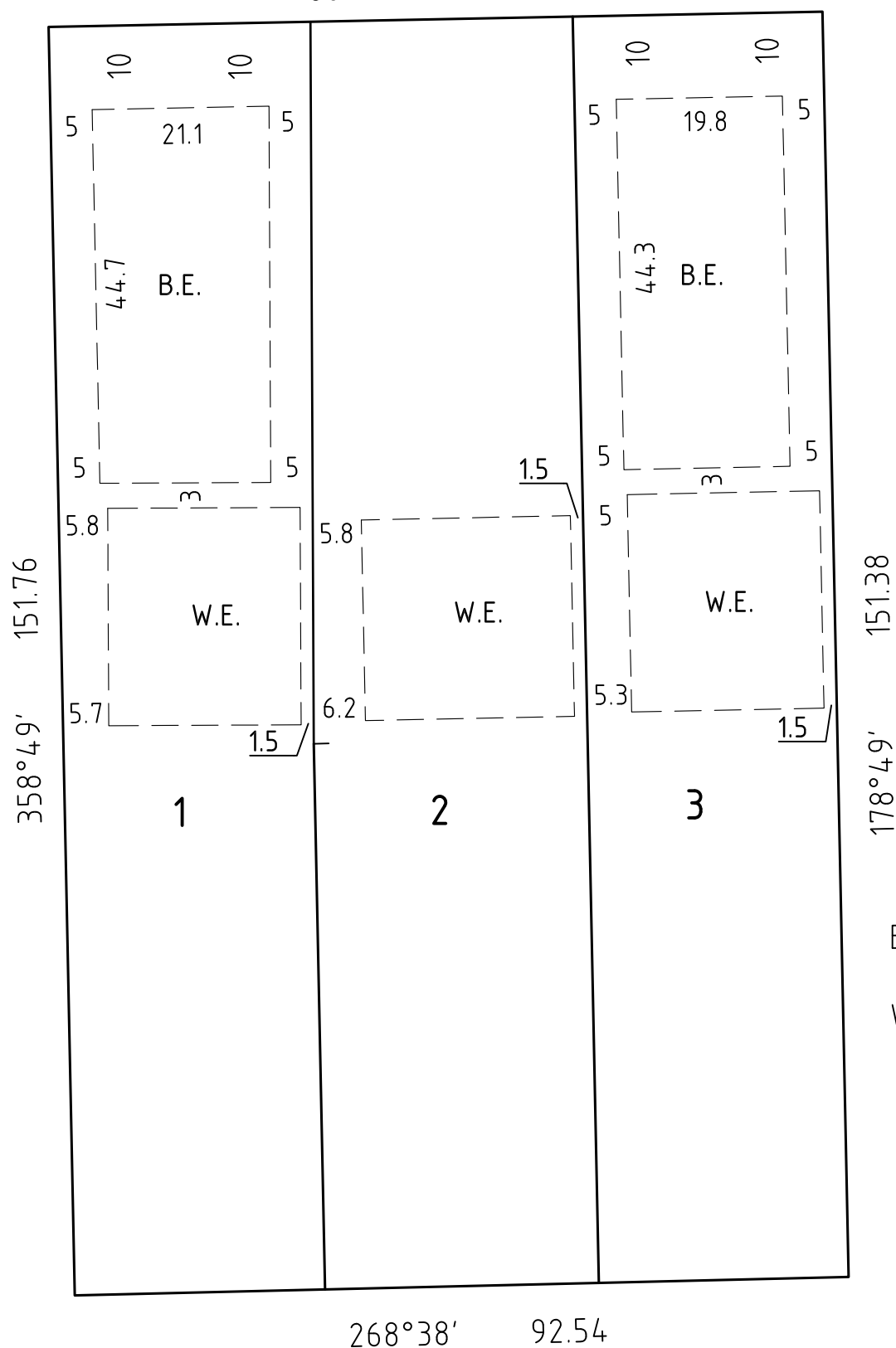
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WARNING: This plan is unregistered.
See Sheet 1 for Explanatory Note

PS 815147 A



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B.E. Denotes Building Envelope

W.E. Denotes Waste Disposal Envelope

On registration of this plan the following is created:

LAND TO BENEFIT: Lots 1, 2 & 3 on this Plan of Subdivision.

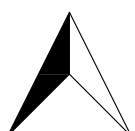
LAND TO BE BURDENED: Lots 1, 2 & 3 on this Plan of Subdivision.

1. The registered proprietor or proprietors for the time being of lots 1 & 3 shall not construct any garage or dwelling outside the area denoted as building envelope without the further consent of the Responsible Authority.
2. The registered proprietor or proprietors for the time being of lots 1, 2 & 3 shall not construct any building or carry out any filling or excavation works within the area denoted as Waste Disposal Envelope except for works related to the installation and mainanence of on site absorption lines without the further consent of the Responsible Authority.

WARNING: This plan is unregistered.

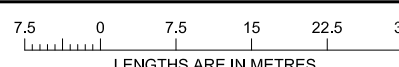
See Sheet 1 for Explanatory Note

NOBELIUS LAND SURVEYORS



P.O. BOX 461
PAKENHAM 3810
Ph 03 5941 4112
mail@nobelius.com.au

SCALE
1:750



ORIGINAL SHEET
SIZE: A3

SHEET 3

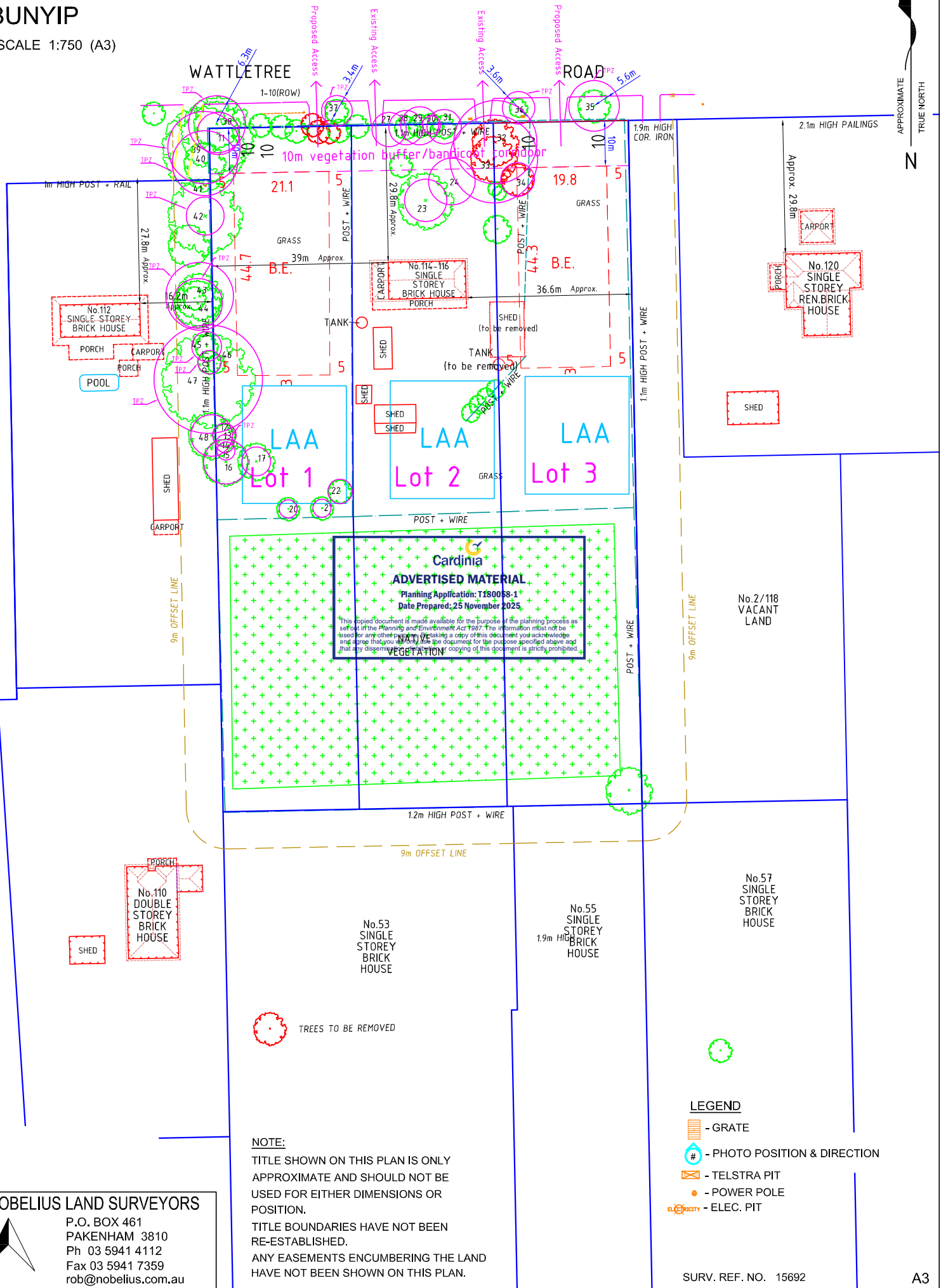
LICENSED SURVEYOR: B. S. NOBELIUS
VERSION 3

PLAN OF SURVEY

114-116 Wattletree Road

BUNYIP

SCALE 1:750 (A3)



NOBELIUS LAND SURVEYORS

P.O. BOX 461
PAKENHAM 3810
Ph 03 5941 4112
Fax 03 5941 7359
rob@nobelius.com.au

SURV. REF. NO. 15692

A3

Table 1. On-site and of-site trees 114-116 Wattletree Road, Bunyip

Tree No	Tree Name	TPZ (m)	Comments
1	Cupressus × leylandii (Leyland Cypress)	6.2	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Retain.
2	Cupressus × leylandii (Leyland Cypress)	4.7	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Retain.
3	Cupressus × leylandii (Leyland Cypress)	5.3	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Remove.
4	Cupressus × leylandii (Leyland Cypress)	5.5	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Remove.
5	Cupressus × leylandii (Leyland Cypress)	5.1	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Remove.
6	Cupressus × leylandii (Leyland Cypress)	4.7	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Retain.
7	Cupressus × leylandii (Leyland Cypress)	4.1	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Retain.
8	Cupressus × leylandii (Leyland Cypress)	4.6	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Retain.
9	Cupressus × leylandii (Leyland Cypress)	3.6	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Retain.
10	Cupressus × leylandii (Leyland Cypress)	2.1	Part of row planted approx 1.6m from N boundary fence, at approx 2.0m spacing. Retain.
11	Eucalyptus botryoides (Bangalay)	4.68	Non-indigenous Victorian native. Retain.
12	Eucalyptus cypellocarpa (Mountain Grey-gum)	2.58	Indigenous Victorian native. Retain.
13	Melaleuca linariifolia (Snow in summer)	2	NSW,QLD native. Retain.
14	Melaleuca linariifolia (Snow in summer)	2	NSW,QLD native. Retain.
15	Melaleuca linariifolia (Snow in summer)	2.04	NSW,QLD native. Retain.
16	Eucalyptus cypellocarpa (Mountain Grey-gum)	4.92	Indigenous Victorian native. Retain.
17	Cupressus × leylandii (Leyland Cypress)	3.2	Part of row planted approximately 1.6m from north boundary fence, at approximately 2.0m spacing. Retain.
18	Acacia floribunda (Sallow Wattle)	2	Non-indigenous Victorian recognised weed species, NSW,QLD native. Retain.
19	Acacia floribunda (Sallow Wattle)	2	Non-indigenous Victorian recognised weed species, NSW,QLD native. Retain.
20	Quercus robur (English Oak)	2	Introduced ornamental tree. Retain.
21	Quercus robur (English Oak)	2	Introduced ornamental tree. Retain.
22	Feijoa sellowiana (Feijoa sellowiana)	2.7	Exotic fruit tree. Retain.
23	Paulownia tomentosa (Empress tree)	4.68	Introduced ornamental tree. Retain.
24	Brachychiton rupestris (Queensland Bottle tree)	5.16	QLD native. Retain.
25	Liquidambar styraciflua (American Sweet gum)	2	Introduced ornamental tree. Retain.
26	Pittosporum tenuifolium (Pittosporum 'Screenmaster')	5.8	Introduced ornamental large shrub. Retain.
27	Callistemon salignus (Willow Bottle-brush)	7.8	NSW,QLD native. Retain.
28	Callistemon salignus (Willow Bottle-brush)	3.8	NSW,QLD native. Retain.
29	Callistemon salignus (Willow Bottle-brush)	4.2	NSW,QLD native. Retain.
30	Callistemon salignus (Willow Bottle-brush)	2	NSW,QLD native. Retain.
31	Callistemon salignus (Willow Bottle-brush)	8.5	NSW,QLD native. Retain.
32	Cupressus macrocarpa (Monterey Cypress)	9.2	Introduced ornamental tree. Remove.
33	Cupressus macrocarpa (Monterey Cypress)	9.7	Introduced ornamental tree. Remove.
34	Grevillea robusta (Silky Oak)	3.72	NSW,QLD native. Remove.
35	Corymbia ficifolia (Flowering Gum)	5.6	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
36	Kunzea ericoides (Burgan)	3.6	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
37	Kunzea ericoides (Burgan)	3.4	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
38	Eucalyptus sieberi (Silvertop Ash)	6.3	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
39	Corymbia maculata (Spotted Gum)	8	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
40	Eucalyptus sieberi (Silvertop Ash)	7.2	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
41	Eucalyptus sieberi (Silvertop Ash)	4.6	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
42	Eucalyptus sieberi (Silvertop Ash)	4.2	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
43	Eucalyptus sieberi (Silvertop Ash)	7.5	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
44	Eucalyptus sieberi (Silvertop Ash)	5.5	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
45	Melaleuca linariifolia (Snow in Summer)	3.3	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
46	Melaleuca linariifolia (Snow in Summer)	2.6	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
47	Eucalyptus globulus subsp. pseudoglobulus (Eurabbie)	12	Located on adjoining property to west. Retain. Recommended TPZ 1.0m from west boundary within subject site, due to location of open channel within subject site.
48	Eucalyptus cypellocarpa (Mountain Grey-Gum)	4.6	Located on adjoining property to west. Retain.



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Planning Application: T180058-1
Date Prepared: 25 November 2025

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Notes:

DBH (Diameter at Breast Height) - This measurement is taken at 1.3 metres above ground level, and is taken using a diameter tape. Where the tree is multi-trunked at this height, the diameter of the base of the tree has been used.

TPZ (Tree Protection Zone) - The TPZ figure assigned to each tree pertains to the roots and represents the recommended minimum distance in metres from the centre of the trunk which should be kept intact in order for the tree to maintain current levels of health and stability. Within this zone are likely to be structural roots which anchor the tree to the soil, and roots which actively provide the tree with nutrition and hydration, and provide sites for respiration.

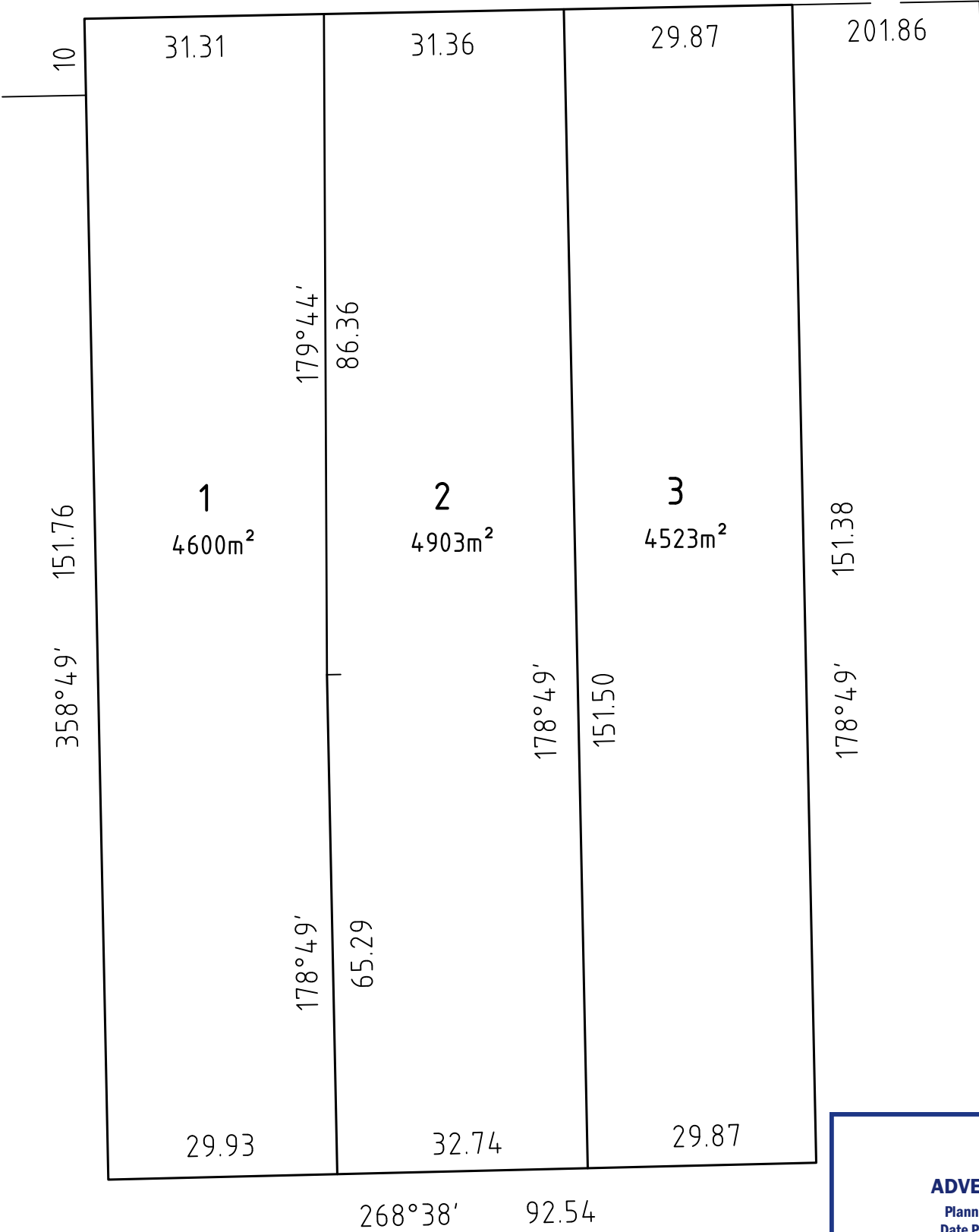
PLAN OF SUBDIVISION			EDITION 1		PS 815147 A	
LOCATION OF LAND PARISH: Bunyip TOWNSHIP: Bunyip SECTION: 6 CROWN ALLOTMENT: 10 CROWN PORTION: --- TITLE REFERENCE: Vol. Fol. LAST PLAN REFERENCE: --- POSTAL ADDRESS: 114-116 Wattletree Road, Bunyip 3815 (at time of subdivision) MGA CO-ORDINATES: E: 388 790 ZONE: 55 (of approx centre of land in plan) N: 5 783 340 GDA 94			Council Name: Cardinia Shire Council <u>EXPLANATORY NOTE:</u> <u>WARNING:</u> This plan is unregistered. Alterations may be required by Council and the Registrar of Titles prior to Registration, Nobelius Land Surveyors accepts no responsibility whatsoever for any loss or damage suffered.			
VESTING OF ROADS AND/OR RESERVES			NOTATIONS			
IDENTIFIER		COUNCIL/BODY/PERSON		<u>Other Purpose of Plan</u> Creation of Restriction - see Sheet 3.		
Nil		Nil				
NOTATIONS			 Cardinia ADVERTISED MATERIAL Planning Application: T180058-1 Date Prepared: 25 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.			
DEPTH LIMITATION: DOES NOT APPLY						
SURVEY: This plan is based on survey. STAGING: This is not a staged subdivision. Planning Permit No. This survey has been connected to permanent marks No(s). In Proclaimed Survey Area No. ---						
EASEMENT INFORMATION						
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)						
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of		
NOBELIUS LAND SURVEYORS  P.O. BOX 461 PAKENHAM 3810 Ph 03 5941 4112 mail@nobelius.com.au		SURVEYORS FILE REF: 15692 LICENSED SURVEYOR: B. S. NOBELIUS VERSION 3		ORIGINAL SHEET SIZE: A3	SHEET 1 OF 3	

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WATTLETREE ROAD

88°52'10" 92.54

DORAN ROAD



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Planning Application: T180058-1
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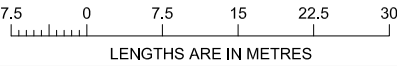
WARNING: This plan is unregistered.
See Sheet 1 for Explanatory Note

NOBELIUS LAND SURVEYORS



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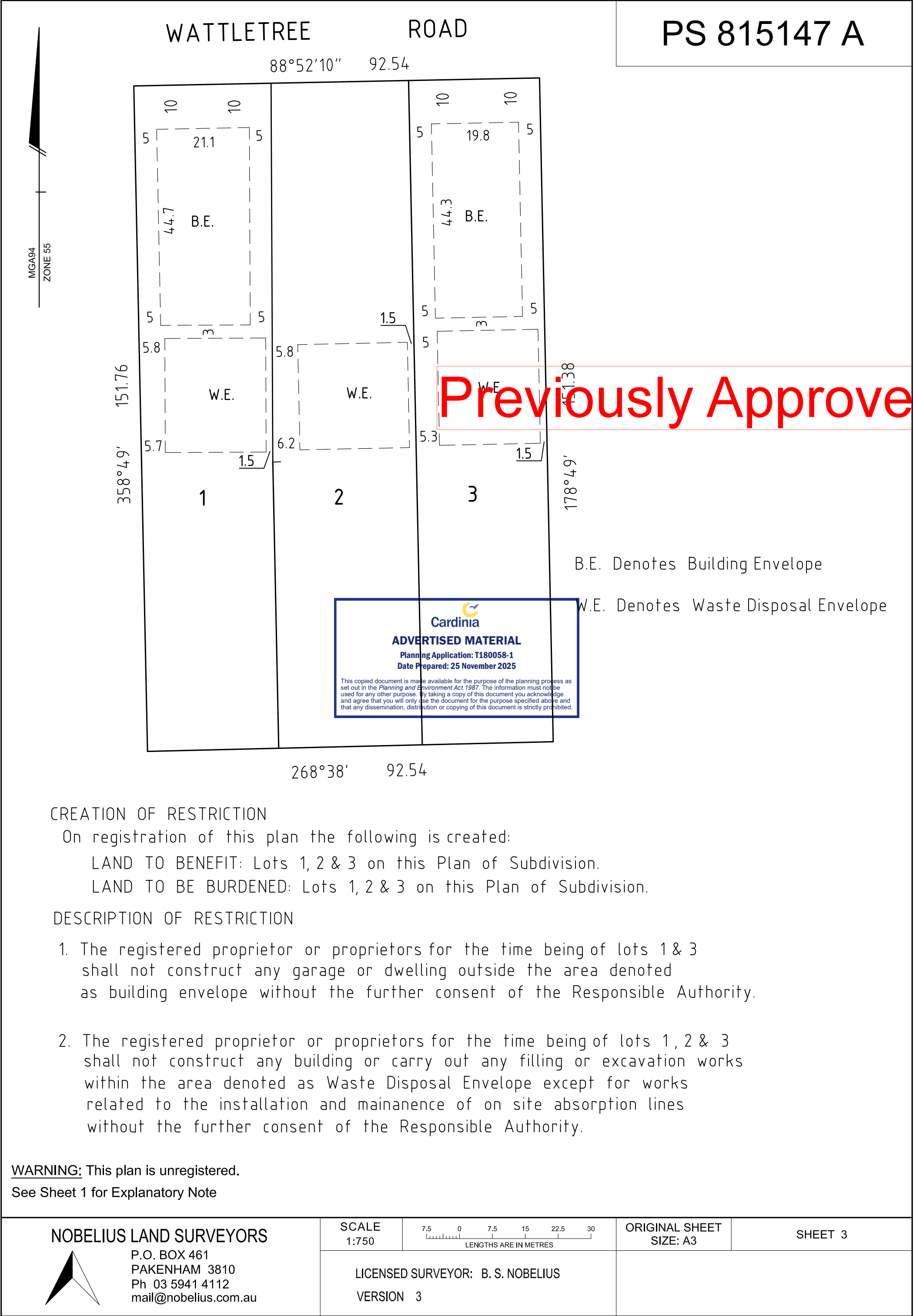
SCALE
1:750



ORIGINAL SHEET
SIZE: A3

SHEET 2

LICENSED SURVEYOR: B. S. NOBELIUS
VERSION 3



ARBORICULTURAL ASSESSMENT AND REPORT

Previously Approved

Site:

114-116 Wattle Tree Road, Bunyip

Commissioned by:



Report Prepared by:



B. App. Sci. (Hort)

M. Soc. Sci. (Environment and Planning)

May 2018

(updated 17/12/21 and 18/4/22)



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1. Introduction

- 1.1 Jardine Johnstone has been engaged by [REDACTED] to provide an arboricultural assessment and report regarding the tree protection zones of 48 existing trees located on the subject land and land adjoining the property at 114-116 Wattle Tree Road, Bunyip.
- 1.2 Recommendations regarding actions to minimise impacts of the proposed subdivision upon the subject trees are also required.

2. Brief

- 2.1 To inspect the site in question, namely 114-116 Wattle Tree Road, Bunyip, the road reserve, and adjoining properties.
- 2.2 To inspect existing trees on the subject site, with trees shown numbered on the site plan at page 3 of this report.
- 2.3 To provide the Tree Protection Zones of the above-mentioned trees.
- 2.4 To recommend actions to minimise any impacts upon the trees in question.

3. Methods

- 3.1 [REDACTED] of Jardine Johnstone carried out a site inspection on 9 May 2018.
- 3.2 The trees were inspected from the ground and observations of the surrounding area were made.
- 3.3 Tree trunk diameter was measured with a diameter tape. Height and canopy spreads were estimated.
- 3.4 Data collected on site was analysed by [REDACTED] collated into report format, and relevant recommendations were formulated.
- 3.5 Reference was made to the Site Context Plan by Nobelius Land Surveyors dated 18/4/18.

4. Observations

- 4.1 The site is a large rural-residential allotment on the south side of Wattle Tree Road, and features a detached dwelling in the front of the property, numerous outbuildings, a dense Eucalyptus plantation in the rear section of the land, and a number of indigenous and introduced trees, a number of lower storey shrubs, and otherwise with a cover of grass and weeds. The site is fenced with low post and wire on all boundaries.
- 4.2 It was observed that immediately adjacent to the west boundary is an open culvert drain, located approximately 0.8m-1.0m from the west boundary. This culvert is up to 1.0m deep and would restrict root growth from adjacent trees into the subject site beyond the culvert.
- 4.3 Surrounding properties are rural-residential allotments developed with dwellings and feature modest, mature gardens surrounding dwellings.
- 4.4 Forty-eight trees were assessed. Details of observations made and data recorded are found in Appendix 1.
- 4.5 Photographs of the assessed trees were taken and are available on request.

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The site plan illustrates three adjacent lots, Lot 1, Lot 2, and Lot 3, bounded by Wattle Tree Road to the north and a 9m offset line to the west. Lot 1 contains a large Eucalyptus tree plantation, several sheds, and a tank. Lot 2 features a single-storey brick house, a porch, and multiple sheds. Lot 3 is primarily grassland. The plan is detailed with 48 numbered points, boundary measurements, and various annotations regarding vegetation buffers, access roads, and proposed structures. A central notice from Cardinia Planning Application T180058-1 is overlaid on the plan.

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5. Proposed subdivision

- 5.1 The proposed subdivision will involve creation of three allotments each of which will be oriented on a north-south axis. Each will be accessed directly from Wattle Tree Road, and Lots 1 and 3 will mostly likely be developed with a dwelling and associated outbuildings in the future. It is possible future development with buildings, driveways, services etc may impact upon the root systems of trees within the subject site, road reserve and adjacent properties. Section 6 of this report examines the Tree Protection Zones for the subject trees, and recommends tree protection measures specific to this site.

6. Tree Protection Recommendations

- 6.1 If any of the trees in the road reserve and adjoining properties are to be retained, protective works will be required to ensure the health of the trees is not compromised. This section of the report sets out appropriate protective measures for any trees to be retained on the site. The Tree Protection Zone (TPZ) for each tree is provided in Table 1 below, and sets out an area around each tree to be retained (radius from the outside of the trunk of each tree) within which works are prohibited or are to be controlled according to the recommendations below.

Table 1. Tree Protection Zones

Tree No.	Botanical Name (Common Name)	TPZ (metres)
1	Cupressus × leylandii (Leyland Cypress)	6.2
2	Cupressus × leylandii (Leyland Cypress)	4.7
3	Cupressus × leylandii (Leyland Cypress)	5.3
4	Cupressus × leylandii (Leyland Cypress)	5.5
5	Cupressus × leylandii (Leyland Cypress)	5.1
6	Cupressus × leylandii (Leyland Cypress)	4.7
7	Cupressus × leylandii (Leyland Cypress)	4.1
8	Cupressus × leylandii (Leyland Cypress)	4.6
9	Cupressus × leylandii (Leyland Cypress)	3.6
10	Cupressus × leylandii (Leyland Cypress)	2.1
11	Eucalyptus botryoides (Bangalay)	4.68
12	Eucalyptus cypellocarpa (Mountain Grey-gum)	2.58
13	Melaleuca linariifolia (Snow in summer)	2.0
14	Melaleuca linariifolia (Snow in summer)	2.0
15	Melaleuca linariifolia (Snow in summer)	2.04
16	Eucalyptus cypellocarpa (Mountain Grey-gum)	4.92
17	Cupressus × leylandii (Leyland Cypress)	3.2
18	Acacia floribunda (Sallow Wattle)	2.0
19	Acacia floribunda (Sallow Wattle)	2.0
20	Quercus robur (English Oak)	2.0
21	Quercus robur (English Oak)	2.0
22	Feijoa sellowiana (Feijoa)	2.7
23	Paulownia tomentosa (Empress tree)	4.68
24	Brachychiton rupestris (Queensland Bottle tree)	5.16
25	Liquidambar styraciflua (American Sweet gum)	2.0
26	Pittosporum tenuifolium (Pittosporum 'Screenmaster')	5.8
27	Callistemon salignus (Willow Bottle-brush)	7.8
28	Callistemon salignus (Willow Bottle-brush)	7.8
29	Callistemon salignus (Willow Bottle-brush)	4.2

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30	Callistemon salignus (Willow Bottle-brush)	2.0
31	Callistemon salignus (Willow Bottle-brush)	8.5
32	Cupressus macrocarpa (Monterey Cypress)	9.2
33	Cupressus macrocarpa (Monterey Cypress)	9.7
34	Grevillea robusta (Silky Oak)	3.72
35	Corymbia ficifolia (Flowering Gum)	5.6
36	Kunzea ericoides (Burgan)	3.6
37	Kunzea ericoides (Burgan)	3.4
38	Eucalyptus sieberi (Silvertop Ash)	6.3
39	Corymbia maculata (Spotted Gum)	8.0
40	Eucalyptus sieberi (Silvertop Ash)	7.2
41	Eucalyptus sieberi (Silvertop Ash)	4.6
42	Eucalyptus sieberi (Silvertop Ash)	4.2
43	Eucalyptus sieberi (Silvertop Ash)	7.5
44	Eucalyptus sieberi (Silvertop Ash)	5.5
45	Melaleuca linariifolia (Snow in Summer)	3.3
46	Melaleuca linariifolia (Snow in Summer)	2.6
47	Eucalyptus globulus subsp. pseudoglobulus (Eurabbie)	12.0
48	Eucalyptus cypellocarpa (Mountain Grey-Gum)	4.6

Site Tree Protection Measures

6.2 The following measures apply to all trees to be retained on site.

Education: All persons involved in the development project must be informed verbally and in writing of the tree protection requirements for the site.

Fencing: Trees within the general work area (not just the footprint of the works) must be fenced off. The Tree Protection Zone (TPZ) of trees to be protected needs to be an effective barrier against root plate disturbance. The TPZ fencing must be installed according to the TPZ distances as set out in Table 1 of this report, and must be fenced with chain mesh panels inserted into concrete base blocks with the tops of the posts clamped together. It must be at least 1.7m in height above natural ground level. Where a boundary fence is within the TPZ of a tree to be retained, this fence will act as the TPZ fence, with internal TPZ fencing to abut with no gaps. Movement of the fence is strictly prohibited at all times. Fencing should be installed after initial tree removal operations and before any other works are commenced.

Signage: Clear signage stating 'Tree Protection Zone No Entry' shall be provided on at least three sides of the fence to ensure all contractors to the site understand the purpose of the fencing.

Mulching: The TPZ needs to be mulched to retain soil moisture and compensate for loss of absorbing roots outside of the TPZ. Left over time, the mulch assists in alleviating soil compaction. The mulch should be organic mulch free of weed seed. It is to be hand spread within the fenced area to a depth of 75mm, avoiding direct contact with the trunk of the tree.

Prohibited Activities: Within a Tree Protection Zone (TPZ) there must be:

- no alteration or disturbance to existing grade of any kind;
- no changes to the grade by adding fill, excavating or scraping;
- no storage of construction materials or equipment;
- no storage of soil, construction waste or debris;

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- no disposal of any liquids e.g. concrete sludge, gas, oil, paint; and
- no movement of vehicles, equipment or pedestrians.

These requirements should be used as guidelines for all other areas where tree roots are impacted.

Root Pruning: Pruning of roots consistent with an approved plan require the services of a qualified arborist or approved tree professional and must be done in accordance with AS4373-2007.

Above-Ground Pruning: Any pruning of branches must be carried out by a qualified arborist or other approved tree professional and must be done in accordance with AS4373-2007.

Service Installation: Installation of services can seriously damage root systems. Service installation needs to have regard for the protection and preservation of the critical root zone of a tree. Boring under a tree or a tree's root system will often prevent the need for open trench excavation and preserve tree roots within the specified critical root zone of a tree. There must be no root severance as a result of the installation for plumbing and electrical connections within the specified TPZs of any tree to be retained. Services under slabs or sub floors can also be clipped or suspended over critical root zones, or excavated outside critical root zones.

Temporary access within the TPZ: There may be instances where access is required within the TPZ. Protective measures should be implemented at the direction of the project arborist prior to access occurring. It is important that protective works in this case prevent root damage and soil compaction within the TPZ. Protective measures may include a permeable membrane such as geotextile fabric beneath a layer of mulch or crushed rock below rumble boards.

Retaining Walls: The construction of retaining walls should use the principles of pier and beam construction. Specifications for this type of wall must be confirmed by an architect or appropriately qualified engineer.

Irrigation: Providing supplemental irrigation for trees under water stress may be the single most important treatment. Irrigation should be designed to wet the soil within the TPZ to the depth of the root zone and to replace that water once it is depleted. Light, frequent irrigation should be avoided. Irrigation should completely wet the root zone within the TPZ and should then dry out prior to a subsequent watering. This should occur October through to April inclusive.

7. Conclusion

- 7.1 The subject trees located on the subject site, in the road reserve and on the adjoining property to the west vary in terms of condition, structure and health. Trees within the subject site and adjoining properties may be impacted by construction of proposed crossovers and future development within each of the lots. It is recommended that any works comply with the tree protection measures as set out in section 6 of this report.
- 7.2 If any on-site and off-site trees are to be retained, it is recommended that the protection works as outlined in section 6 of this report be implemented.

Jardine Johnstone,

30 May 2018

(updated 12/12/2021 and 18/4/2022)

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Appendix 1 – Definitions

Tree Protection Zone (TPZ)

The TPZ figure assigned to each tree pertains to the roots and represents the recommended minimum distance in metres from the centre of the trunk which should be kept intact in order for the tree to maintain current levels of health and stability. Within this zone are likely to be structural roots which anchor the tree to the soil, and roots which actively provide the tree with nutrition and hydration, and provide sites for respiration.

Unless otherwise indicated in this report, it is important that excavation and alteration of soil level be minimised within the TPZ as specified in Appendix 1.

For the purposes of this report, the TPZ has been calculated using the following formula:

$$TPZ = Diameter\ at\ Breast\ Height \times 12$$

If a measurement of the diameter at breast height is not possible, the following formula has been used:

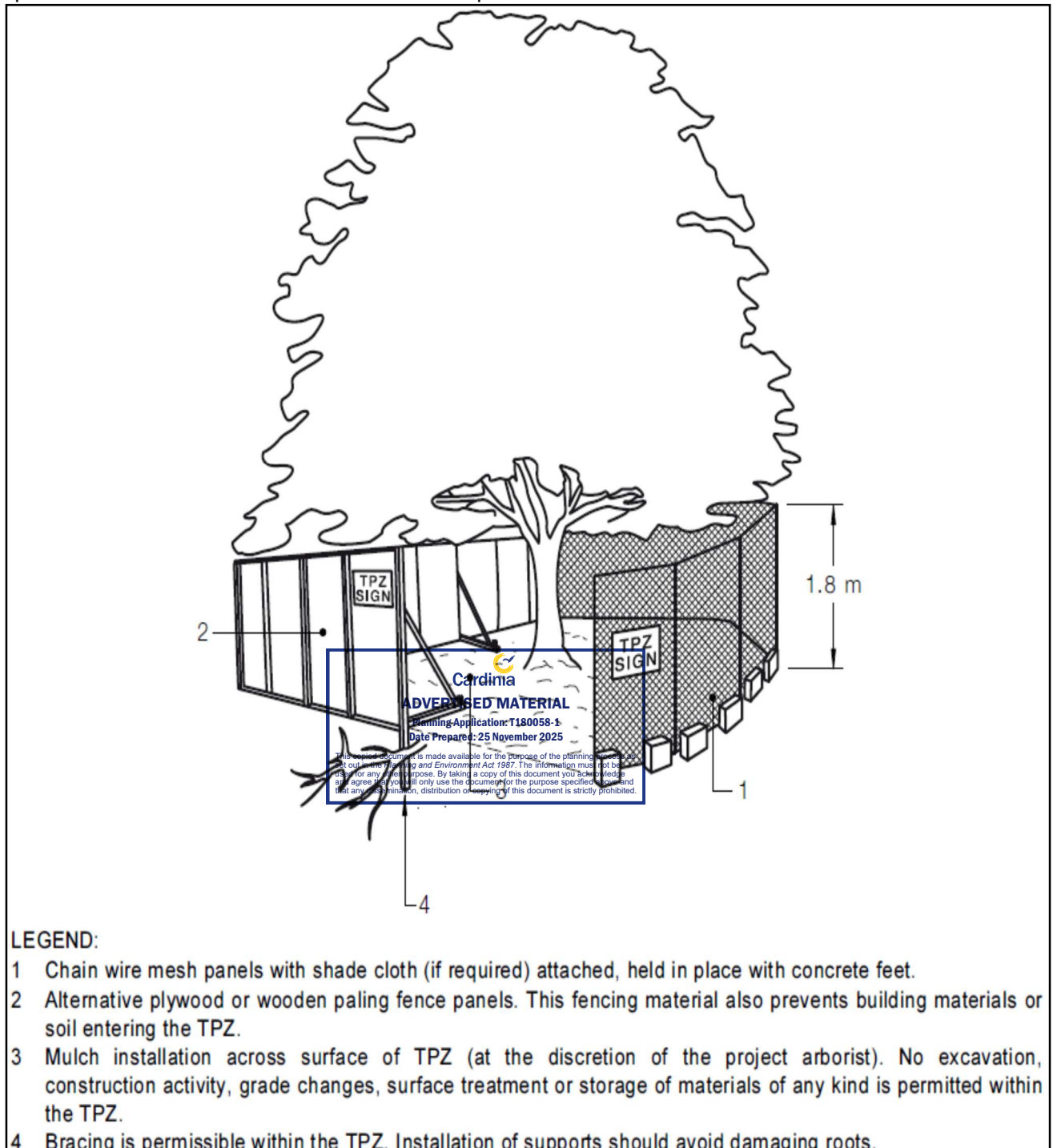
$$TPZ = Diameter\ at\ base \times 10$$



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Appendix 3 – Tree Protection examples

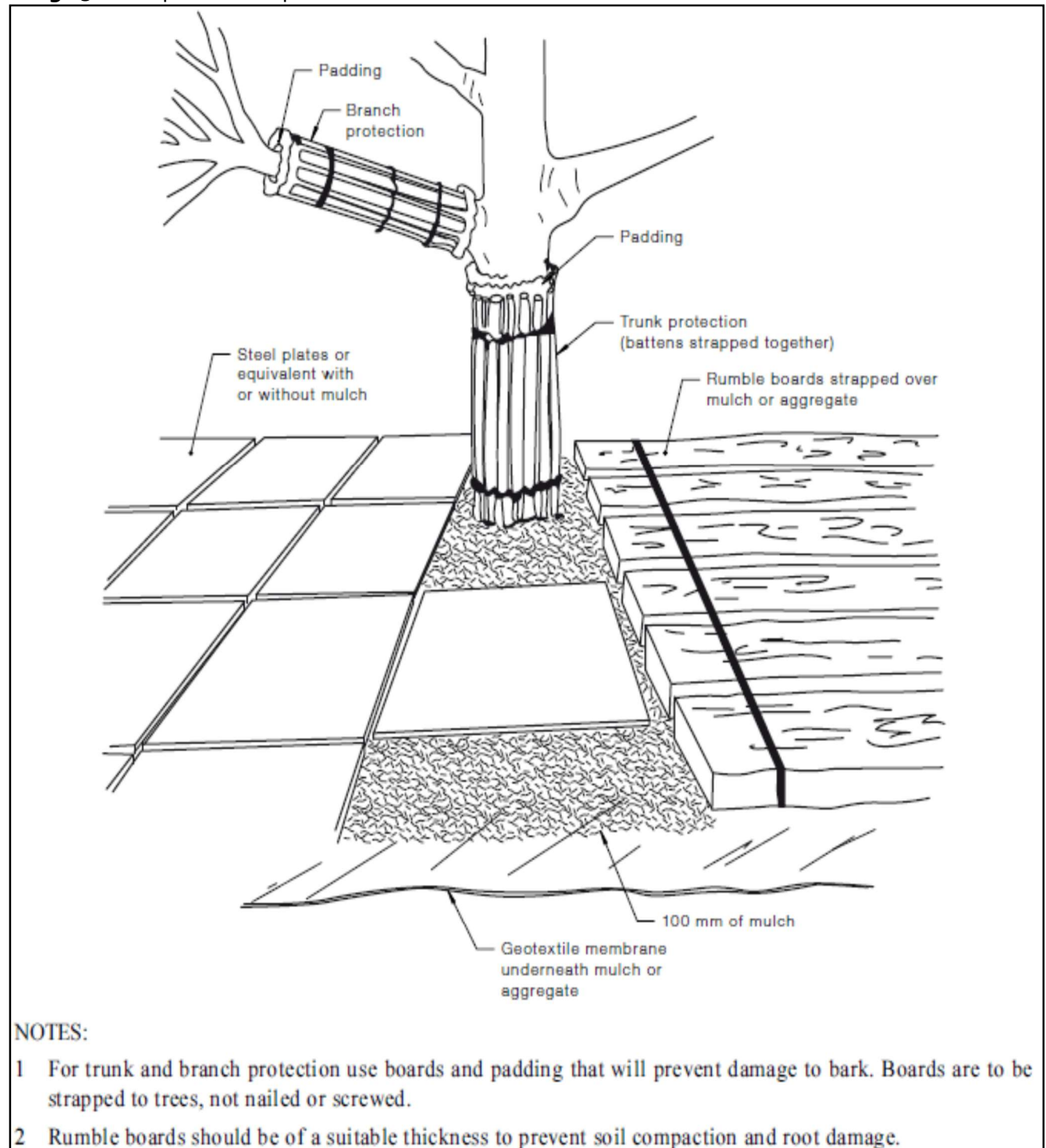
Image 1. Example of tree protection fencing. Tree protection fencing must meet the specifications as set out in section 6 of this report.



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Image 2. Example of signage to be displayed on all tree protection fencing.

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Image 3. Examples of tree protection measures within the TPZ.

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Assumptions and limiting conditions

Jardine Johnstone contracts to you on the basis that all legal documents and information provided to Jardine Johnstone is correct. The consultant is not responsible for verifying any legal documents and is not responsible for matters outside its control.

Jardine Johnstone assumes that all affected property complies with all applicable statutes and subordinate legislation.

Jardine Johnstone will take care to obtain all necessary information from reliable sources and to verify data. Jardine Johnstone neither guarantees nor is responsible for the accuracy of information provided by others.

Jardine Johnstone will not be required to attend court to give evidence or to prepare material for a hearing because of this report unless subsequent contractual arrangements are made. This will include additional payment at specified hourly rates.

Alteration of this report invalidates the entire report.

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The contents of this report represent the professional opinion of the report's author. Jardine Johnstone's fee for preparation of this report is in no way contingent upon the reporting of a particular result, value, finding, nor the occurrence of a subsequent event.

Photographs, sketches, graphs and diagrams presented in this report are intended as visual aids and are not necessarily to scale and must not be construed as architectural or engineering reports or surveys.

Unless stated otherwise:

- i. The information in this report covers only those items which were examined and reflects the condition of those items at the time of inspection; and
- ii. The inspection is limited to the visual examination of accessible components without dissection, excavation or probing.

Jardine Johnstone gives no guarantee or warranty that problems or deficiencies of the plants or subject site(s) may not arise in the future.

To the writer's knowledge all facts, matters and all assumptions upon which the report proceeds have been stated within the report and all opinion contained within the report will be fully researched and any such opinion not duly researched is based upon the writer's experience and observations.

This agreement supersedes all prior discussions and representations between Jardine Johnstone and the client on the subject, and is the entire agreement and understanding between us.

- End of report -

Previously Approved
Jardine Johnstone, May 2018