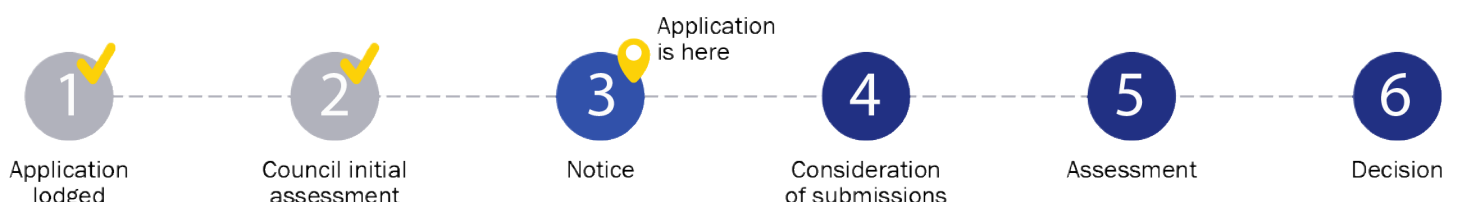


Notice of Application for a Planning Permit

The land affected by the application is located at:	L2 LP126087 V9552 F360 17 Station Road, Gembrook VIC 3783	
The application is for a permit to:	The construction of four (4) new dwellings to the rear of a lot, resulting in five dwellings on the lot	
A permit is required under the following clauses of the planning scheme:		
32.09-7	Construct two or more dwellings on a lot	
42.03-2	Construct a building or construct or carry out works	
43.02-2	Construct a building or construct or carry out works	
APPLICATION DETAILS		
The applicant for the permit is:	Sketch Building Design	
Application number:	T240700	
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809 This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.		
ADVERTISED MATERIAL Date Prepared: 21 November 2025 This notice document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that you will not disseminate or publish the document. This document is strictly prohibited. 		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		09 December 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application Summary

Portal Reference A42456VW

Basic Information

Proposed Use Single dwelling on a lot

Current Use Proposed multi dwelling development on a lot

Cost of Works \$1,200,000

Site Address 17 Station Road Gembrook 3783

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? **Not Applicable, no such encumbrances apply.**

Contacts

Type	Name	Address	Contact Details
Applicant	Sketch Building Design	1/241 Glen Huntly Road, Elsternwick VIC 3185	E: m.muir@sketchbuildingdesign.com.au
Owner			
Preferred Contact	Sketch Building Design	1/241 Glen Huntly Road, Elsternwick VIC 3185	W: 9523-9884 E: m.muir@sketchbuildingdesign.com.au

Cardinia
ADVERTISED MATERIAL
Planning Application: T240700
Date Prepared: 21 November 2025

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Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 13 More than \$1,000,000 but not more than \$5,000,000	\$3,764.10	100%	\$3,764.10
Total			\$3,764.10

Documents Uploaded

Date	Type	Filename
23-12-2024	A Copy of Title	24050 Title (Vol 9552 Fol 360).pdf
23-12-2024	Site plans	24050FL-A.pdf
23-12-2024	A proposed floor plan	No.17 Station Road_Town Planning_20.12.2024.pdf
23-12-2024	Proposed elevation plan	24050R-A.pdf



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	 Sketch Building Design	554-556 Glenhuntly Road, Elsternwick VIC 3185	W: 9523-9884 E: m.muir@sketchbuildingdesign.com.au
Submission Date	23 December 2024 - 12:01:PM		

Declaration

☒ By ticking this checkbox, I declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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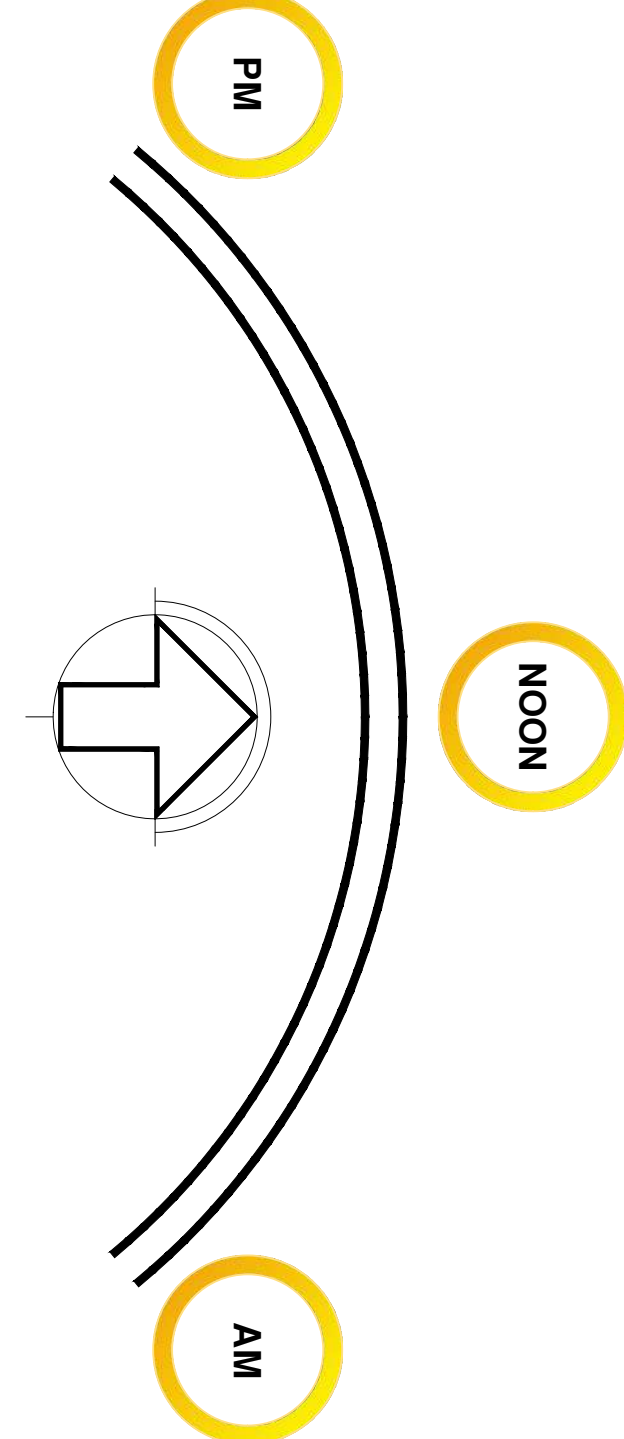
ISSUE: FURTHER INFORMATION REQUEST

Architectural Documentation
OCTOBER 2025

No. 17 Station Road,
Gembrook, VIC 3783

MULTI-UNIT

For any queries, contact
Sketch Building Design
03 9523 9884
admin@sketchbuildingdesign.com.au
sketchbuildingdesign.com.au



NOTE:
All levels are to A.H.D. Refer to site survey and site re-establishment for additional details.

NOTE:
There have been no significant trees removed from the site within the past 12 months.

NOTE:
There is no contaminated soils and/or filled areas to our knowledge on the subject site but would require investigation by a geotechnical engineer to assess.

LANDSCAPE LEGEND

DESIGN RESPONSE SITE LAYOUT, SITE CONTEXT AND NEIGHBORHOOD DESCRIPTION PLAN

SITE LOCATION
NOT TO SCALE

DIRECTORY REFERENCE: MELWAY 312 H9



Corner splay or area at least 50 per cent clear of visual obstructions extending at least 2m along the frontage road from the edge of an exit lane and 2.5m along the exit lane from the frontage.

The area clear of visual obstruction may include an adjacent entry or exit lane where more than one is provided, or adjacent landscaped areas, provided the landscaping or those areas are less than 900mm in height.

SITE AREA:	2775 sqm.	
SITE COVERAGE:	879.27 sqm.	31.69 %
DRIVEWAY:	430.23 sqm.	15.50 %
PERMEABILITY:	1895.73 sqm.	68.31 %
GARDEN AREA:	1205.4 sqm.	43.44 %

PORCH:	7.74 sqm.
GROUND FLOOR:	120.30 sqm.
GARAGE:	39.14 sqm.
ALFRESCO:	26.17 sqm.

PORCH:	7.103 sqm.
GROUND FLOOR:	113.27 sqm.
GARAGE:	23.91 sqm.
ALFRESCO:	10.89 sqm.

PORCH:	7.60 sqm.
GROUND FLOOR:	103.83 sqm.
GARAGE:	23.91 sqm.
ALFRESCO:	10.24 sqm.

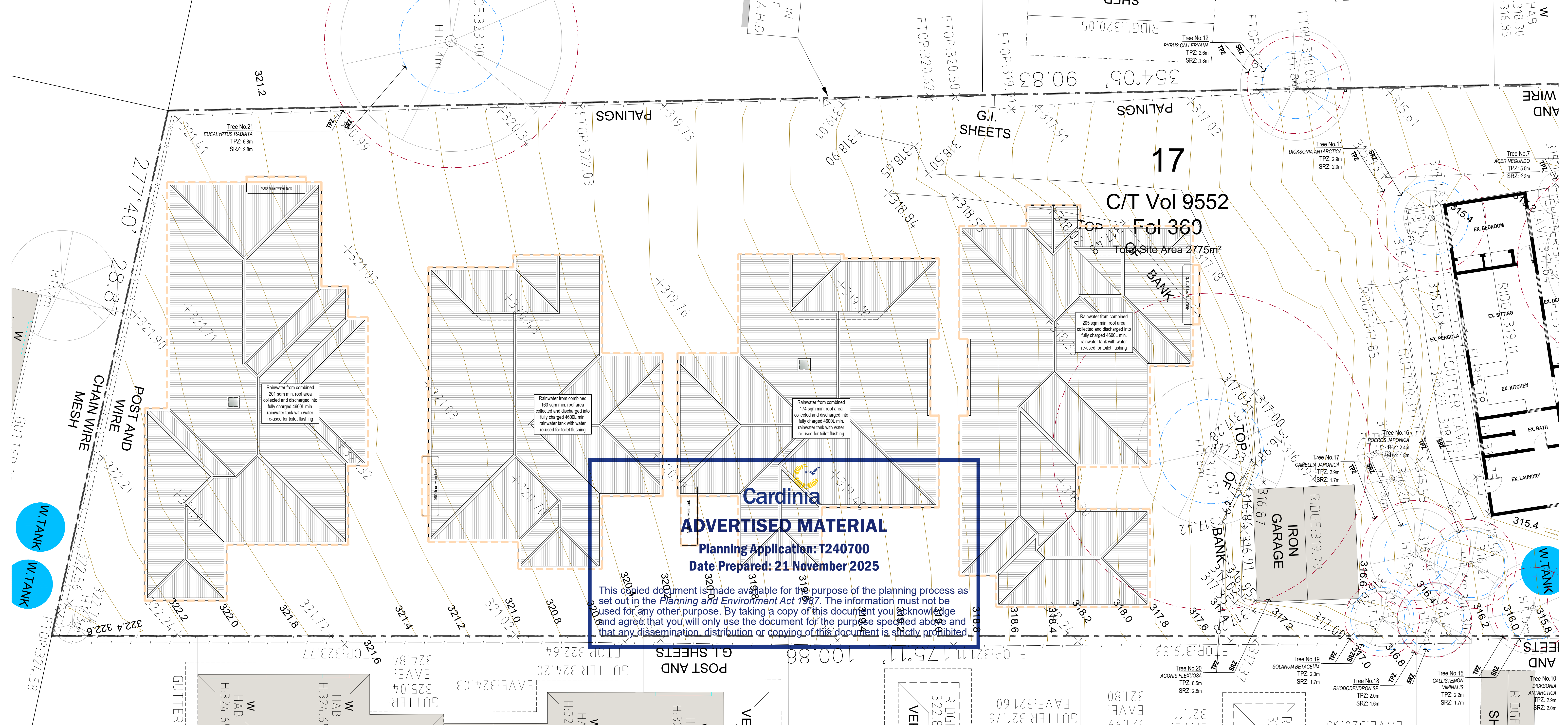
PORCH:	2.76 sqm.
GROUND FLOOR:	119.33 sqm.
GARAGE:	40.21 sqm.
ALFRESCO:	9.60 sqm.

BED 01:	3.7x3.3
BED 02:	3.0x3.2
BED 03:	3.0x3.0
LIVING:	5.0m min.

BED 01:	3.4x3.5
BED 02:	3.2x3.4
LIVING:	5.0m min.

DWELLING 04 INTERNAL ROOM DIMENSIONS

 Design Matters The peak body for the building design profession Member	Revision	Description	Date	Revision	Description	Date	Revision	Description	Date	Builder / Contractor shall verify all dimensions before any work commences. Dimensions shown are nominal, written dimensions shall take precedence over scale dimensions. Any discrepancies are to be made known to Sketch Building Design's office. All drSLings to be read accordance with engineering, detail drSLings, specifications and any relevant schedules.  © Copyright in whole or in part - Sketch Building Design	Client: Drawn: Scale: 1:150 @ A1 Checked: Date: 09/10/2025	Job Address: No.17 STATION ROAD GEMBROOK, VIC 3783			
	-	TOWN PLANNING SUBMISSION	20/12/2024						Type:			Issue:	Job / Dwg No:	04	
	A	REQUEST FOR FURTHER INFORMATION	14/07/2025						MU			TOWN PLANNING	P25049		

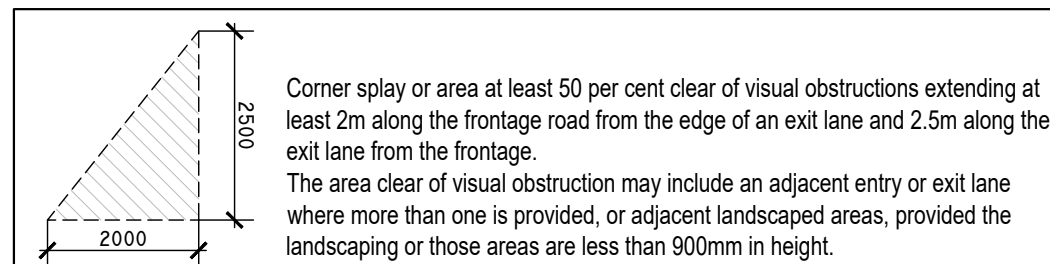
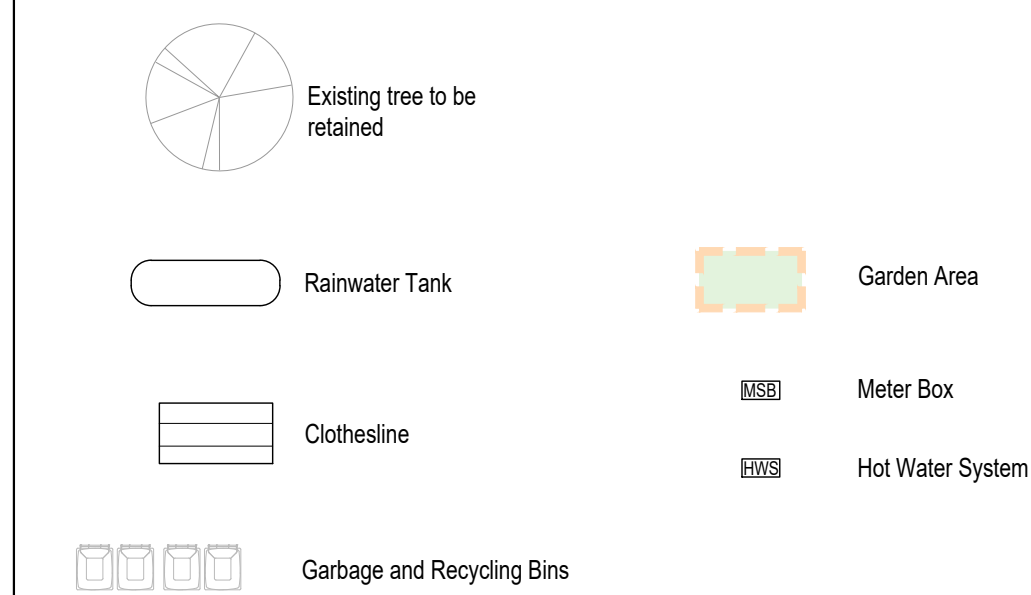


NOTE:
All levels are to A.H.D. Refer to site survey and site re-establishment for additional details.

NOTE:
There have been no significant trees removed from the site within the past 12 months.

NOTE:
There is no contaminated soils and/or filled areas to our knowledge on the subject site but would require investigation by a geotechnical engineer to assess.

LANDSCAPE LEGEND



DEVELOPMENT SUMMARY

SITE AREA:	2775 sqm.
SITE COVERAGE:	879.27 sqm. 31.69 %
DRIVEWAY:	430.23 sqm. 15.50 %
PERMEABILITY:	1895.73 sqm. 68.31 %
GARDEN AREA:	1205.4 sqm. 43.44 %

DWELLING 01 SITE AREA:	166.28 sqm.
DWELLING 02 SITE AREA:	152.84 sqm.
DWELLING 03 SITE AREA:	152.84 sqm.
DWELLING 04 SITE AREA:	152.84 sqm.

DWELLING 01 AREAS

PORCH:	7.74 sqm.
GROUND FLOOR:	120.30 sqm.
GARAGE:	39.14 sqm.
ALFRESCO:	26.17 sqm.

TOTAL DWELLING:	193.35 sqm.
SPOS:	116.05 sqm.
TOTAL POS:	116.05 sqm.

DWELLING 02 AREAS

PORCH:	7.103 sqm.
GROUND FLOOR:	113.27 sqm.
GARAGE:	23.91 sqm.
ALFRESCO:	10.89 sqm.

TOTAL DWELLING:	155.17 sqm.
SPOS:	110.29 sqm.
TOTAL POS:	110.29 sqm.

DWELLING 03 AREAS

PORCH:	7.60 sqm.
GROUND FLOOR:	103.83 sqm.
GARAGE:	23.91 sqm.
ALFRESCO:	10.24 sqm.

TOTAL DWELLING:	145.58 sqm.
SPOS:	110.98 sqm.
TOTAL POS:	110.98 sqm.

DWELLING 04 AREAS

PORCH:	2.76 sqm.
GROUND FLOOR:	119.33 sqm.
GARAGE:	40.21 sqm.
ALFRESCO:	9.60 sqm.

TOTAL DWELLING:	171.90 sqm.
SPOS:	136.15 sqm.
TOTAL POS:	136.15 sqm.

DWELLING 01 INTERNAL ROOM DIMENSIONS

BED 01:	3.7x3.3
BED 02:	3.0x3.2
BED 03:	3.0x3.0
LIVING:	5.0m min.

DWELLING 02 INTERNAL ROOM DIMENSIONS

BED 01:	3.7x3.5
BED 02:	3.6x3.0
BED 03:	3.0x3.0
LIVING:	5.0m min.

DWELLING 03 INTERNAL ROOM DIMENSIONS

BED 01:	3.4x3.5
BED 02:	3.2x3.4
LIVING:	5.0m min.

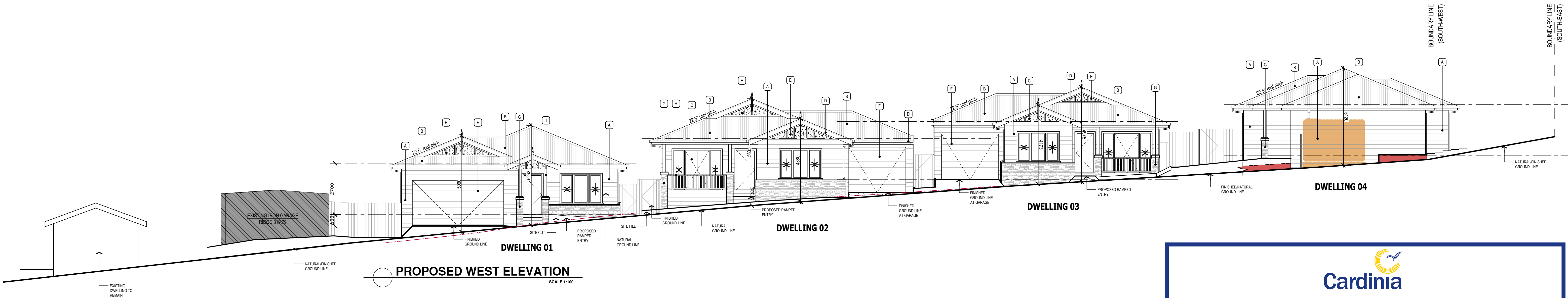
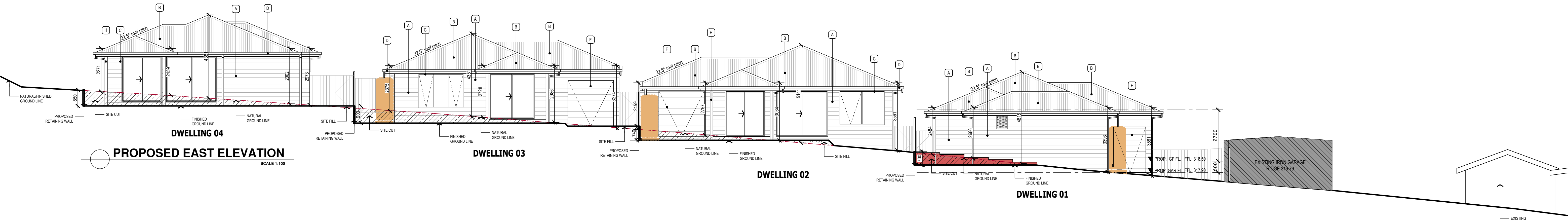
DWELLING 04 INTERNAL ROOM DIMENSIONS

BED 01:	3.7x3.6
BED 02:	3.6x3.0
BED 03:	3.0x3.0
LIVING:	5.0m min.

ROOF CATCHMENT PLAN

	Revision	Description	Date	Revision	Description	Date	Revision	Description	Date	Builder / Contractor shall verify all dimensions before any work commences. Dimensions shown are nominal, written dimensions shall take precedence over scale dimensions. Any discrepancies are to be made known to Sketch Building Design's office. All dimensions to be read in accordance with engineering, detail or SLings, specifications and any relevant schedules. © Copyright in whole or in part - Sketch Building Design		Client:		Job Address:		Type:		Issue:		Job / Dwg No:		
	-	TOWN PLANNING SUBMISSION	20/12/2024									Drawn:		Scale:		1:100 @ A1						
	A	REQUEST FOR FURTHER INFORMATION	14/07/2025									Checked:		Date:		09/10/2025						

BOUNDARY LINE





Cardinia

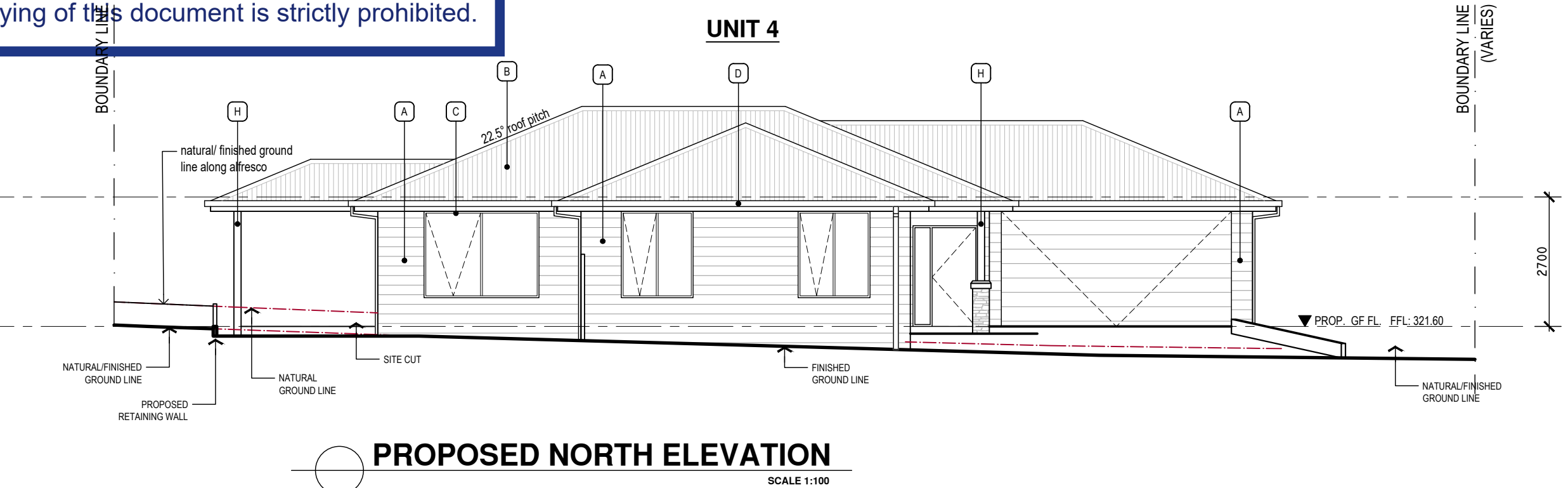
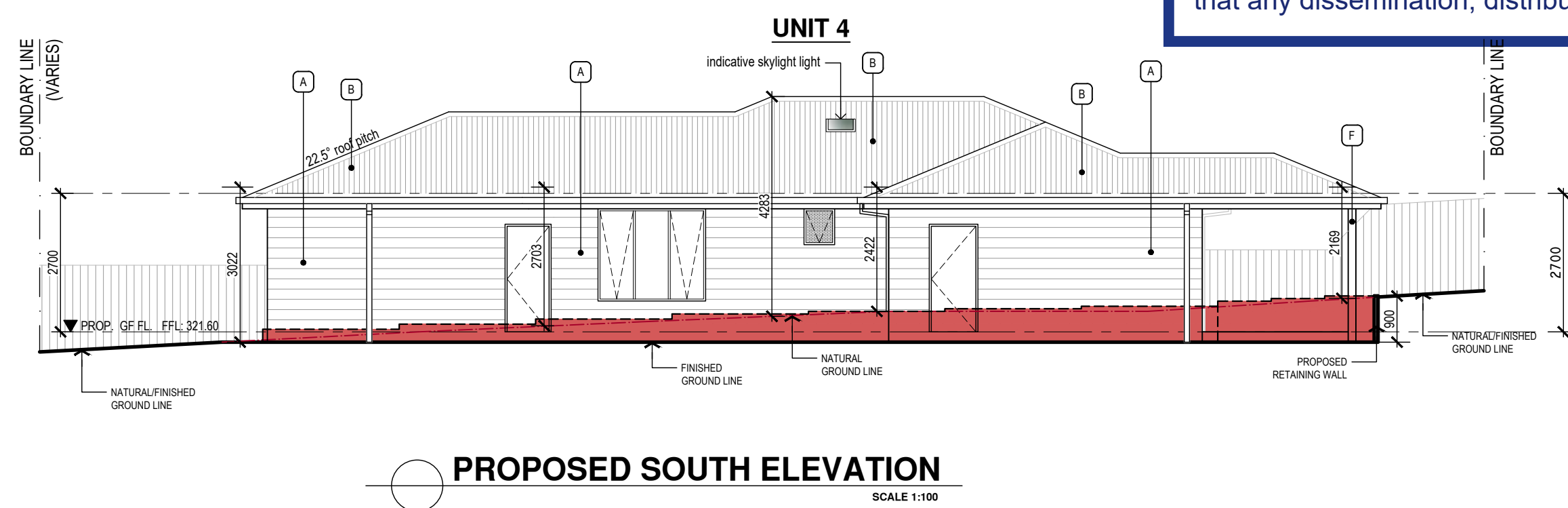
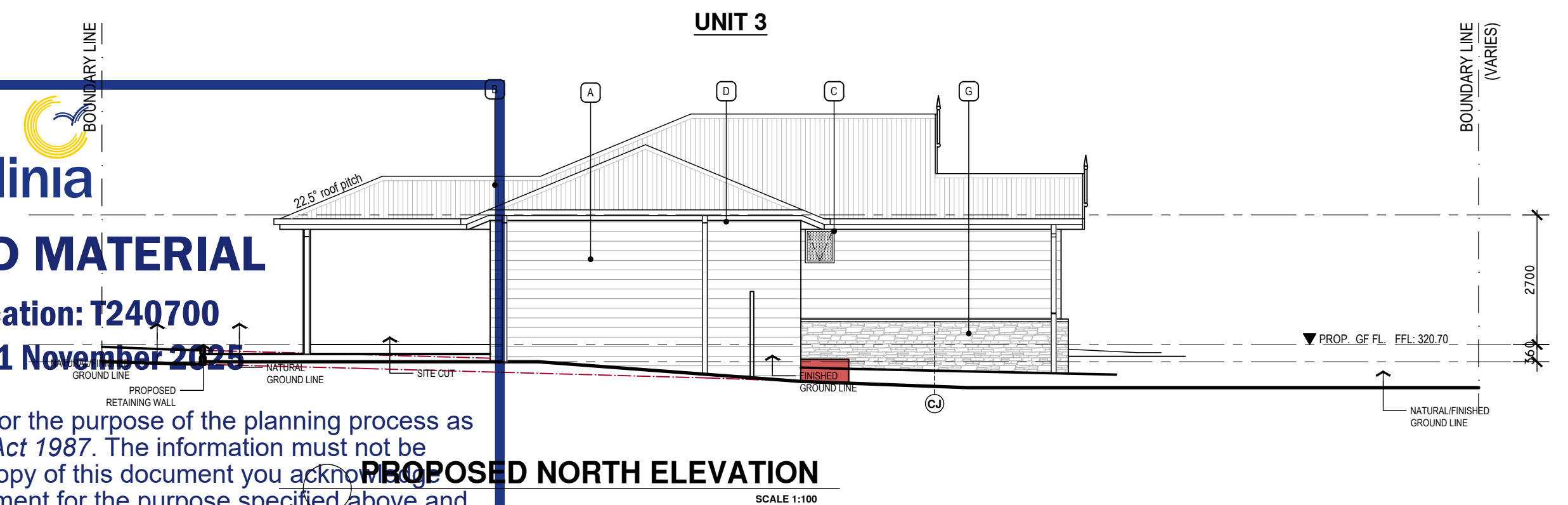
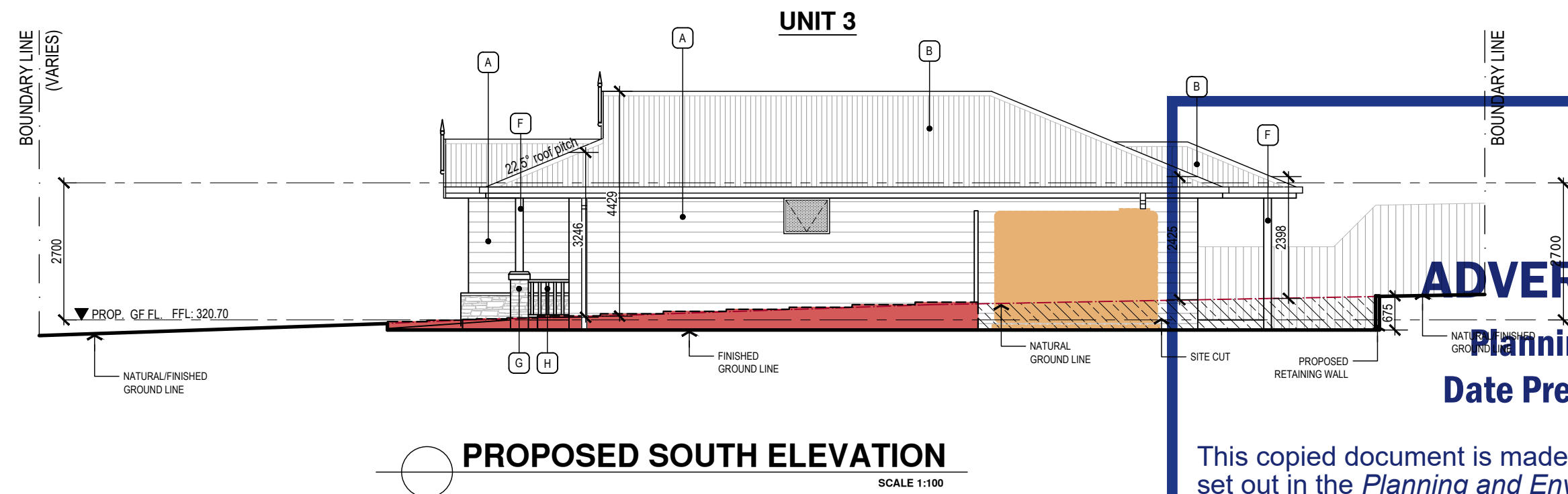
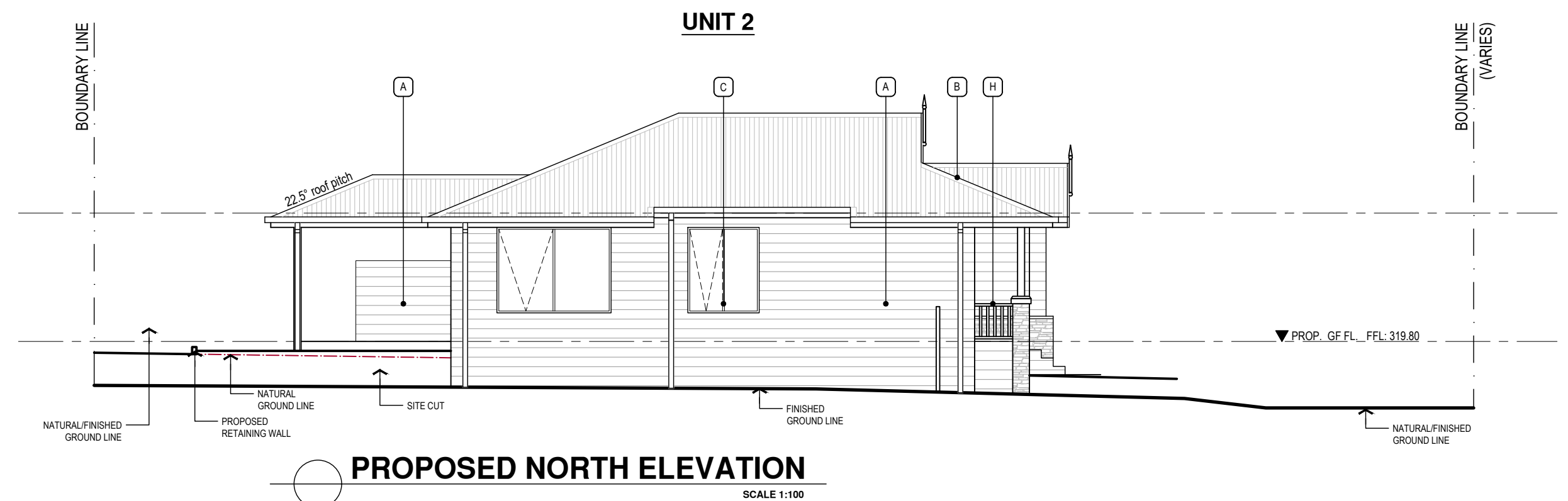
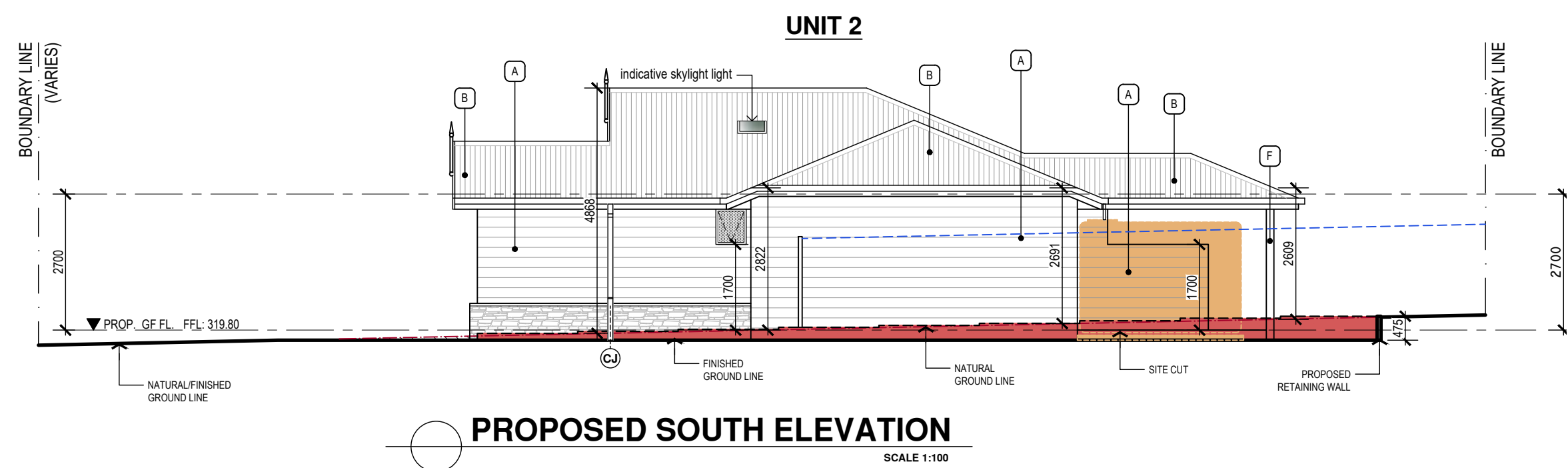
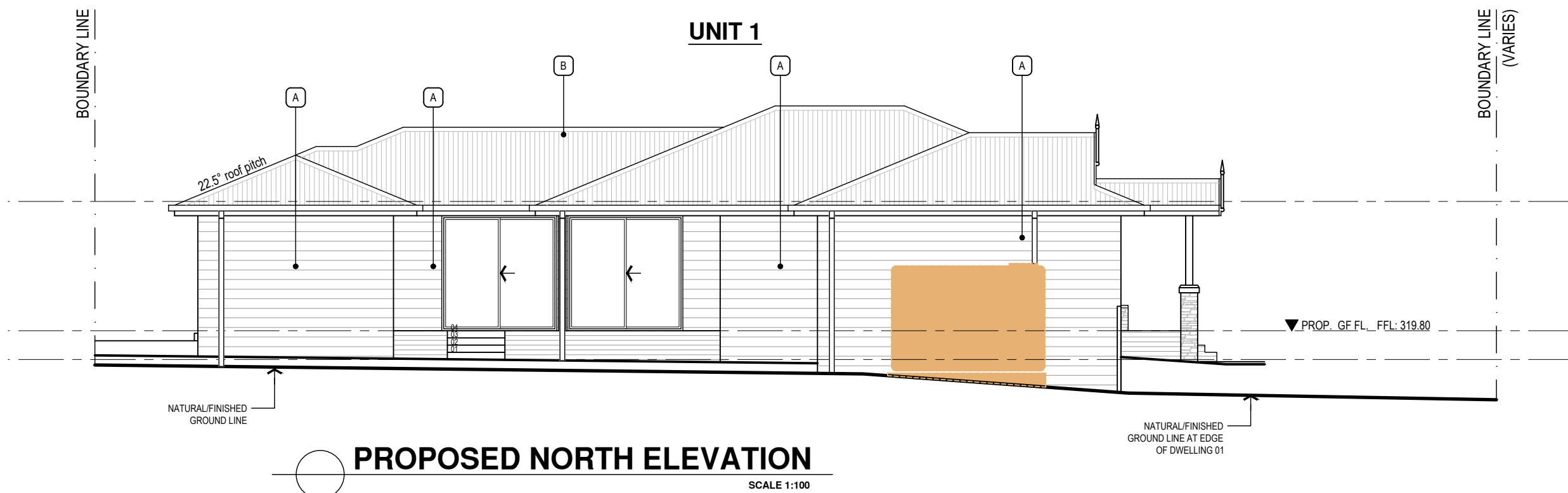
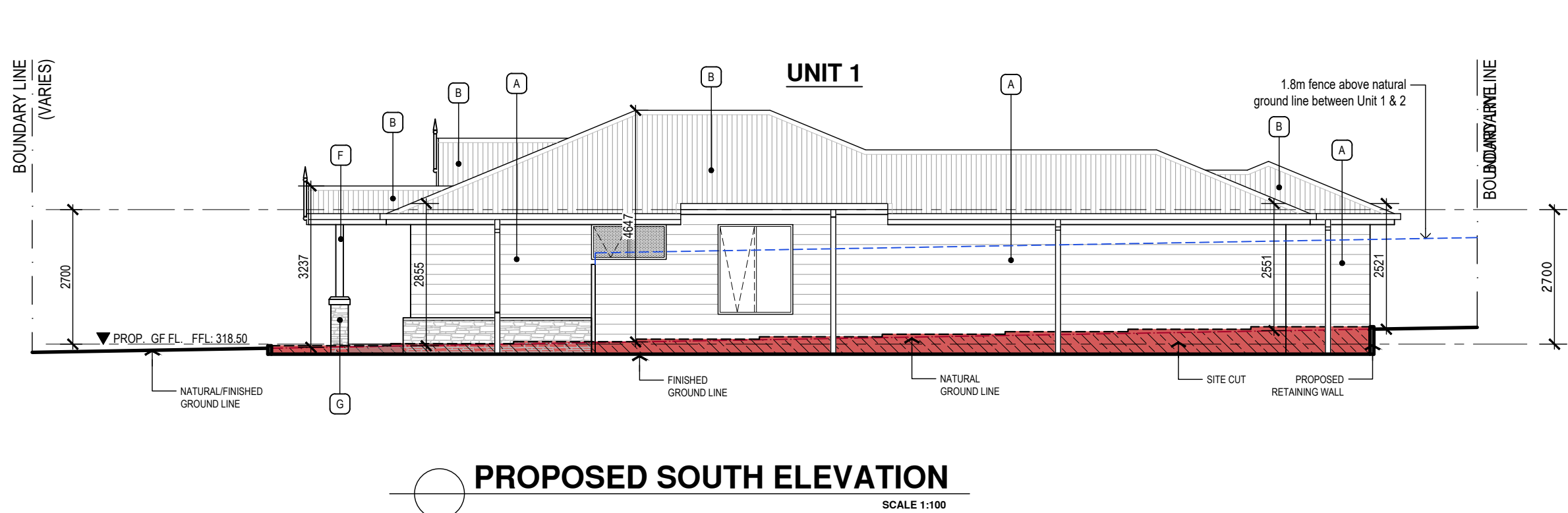
ADVERTISED MATERIAL

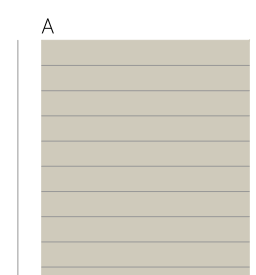
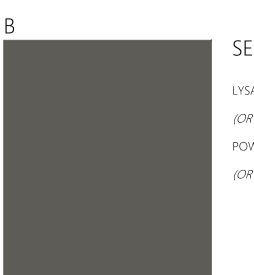
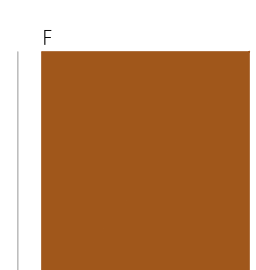
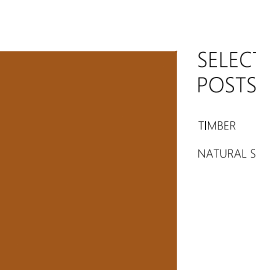
Planning Application: T240700
Date Prepared: 21 November 2025

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ELEVATIONS, STREETSCAPE, COLOURS
AND FINISHES SCHEDULE

	Revision	Description	Date	Revision	Description	Date	Revision	Description	Date	Builder / Contractor shall verify all dimensions before any work commences. Dimensions shown are nominal, written dimensions shall take precedence over scale dimensions. Any discrepancies are to be made known to Sketch Building Design's office. All drawings to be read accordance with engineering, detail drawings, specifications and any relevant schedules. © Copyright in whole or in part - Sketch Building Design	SKETCH BUILDING DESIGN	Client:			Job Address:		
	-	TOWN PLANNING SUBMISSION	20/12/2024									No.17 STATION ROAD GEMBROOK, VIC 3783			Type:	Issue:	Job / Dwg No:
	A	REQUEST FOR FURTHER INFORMATION	14/07/2025									MU			TOWN PLANNING	P25049	06
												Date:			09/10/2025		

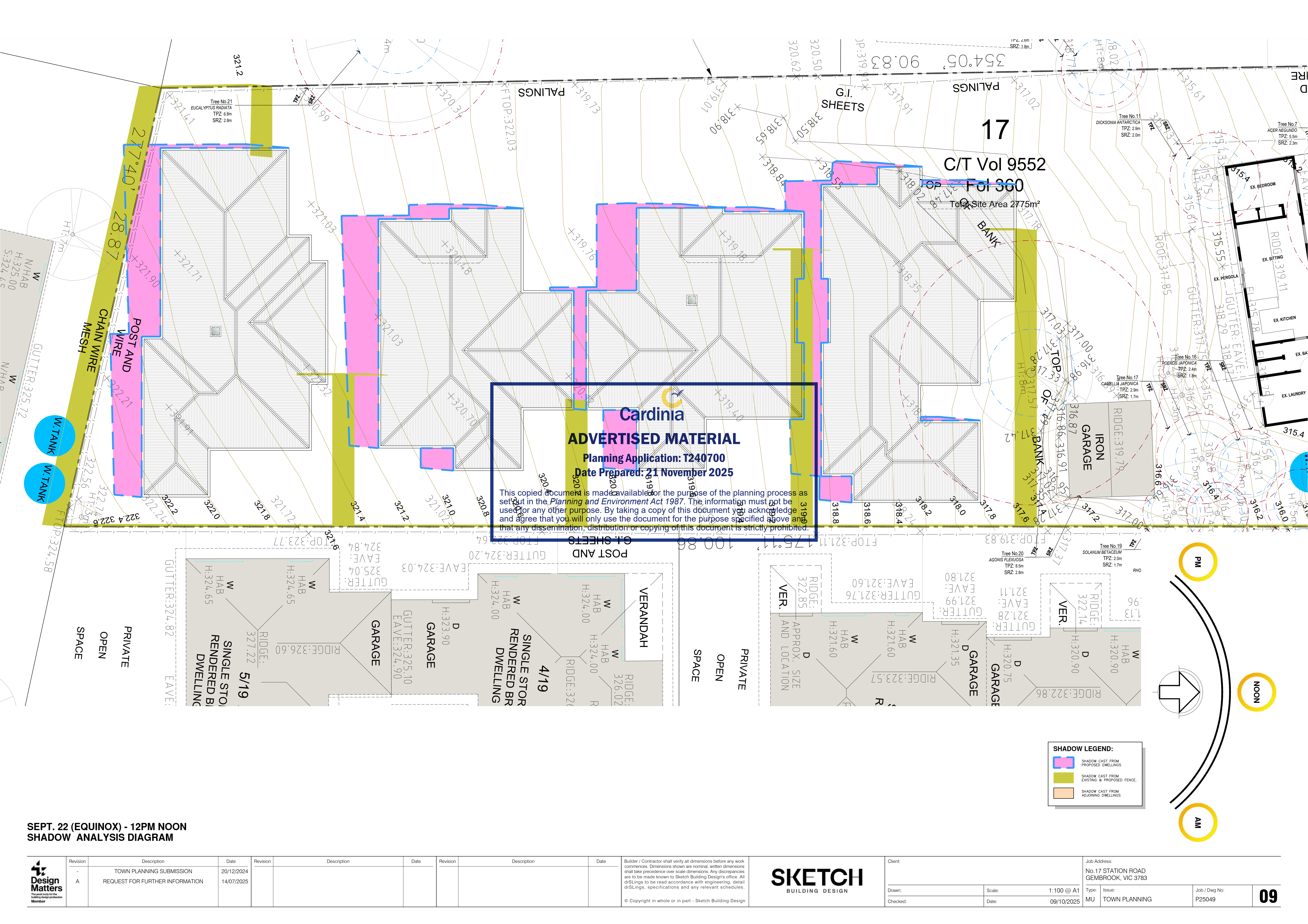


	SELECTED HORIZONTAL CLADDING JAMES HARRIS 'SHEEP' WATERBOARD (OR SIMILAR) PAINTED IN 'DULUX' WHITE DUCAT (OR SIMILAR)		SELECTED ROOFING VIRADIP CUSTOM ONE SHEET ROOFING (OR SIMILAR) POWDERCOATED WOODLAND GREY (OR SIMILAR)		SELECTED WINDOW/DOOR FRAME PAINTED IN 'COLORBOND' WOODLAND GREY (OR SIMILAR)		SELECTED CAPPINGS & GUTTERS COLORBOND WOODLAND GREY*		SELECTED RENDER LIGHT GREY ACETEX RENDER (OR SIMILAR)
	SELECTED GARAGE DOOR SECTIONAL TIMBER NATURAL STAIN LOOK		SELECTED STONE CLADDING STACK STONE TILE "NATURAL SAND STONE"		SELECTED TIMBER POSTS AND HANDRAILS TIMBER NATURAL STAIN		SELECTED CONCRETE DRIVEWAY LIGHT COLOURED CONCRETE DRIVEWAY		SELECTED FASCIAS AND DOWNPIPES PAINTED IN 'DULUX' WHITE DUCAT (OR SIMILAR)

ELEVATIONS, STREETSCAPE, COLOURS AND FINISHES SCHEDULE

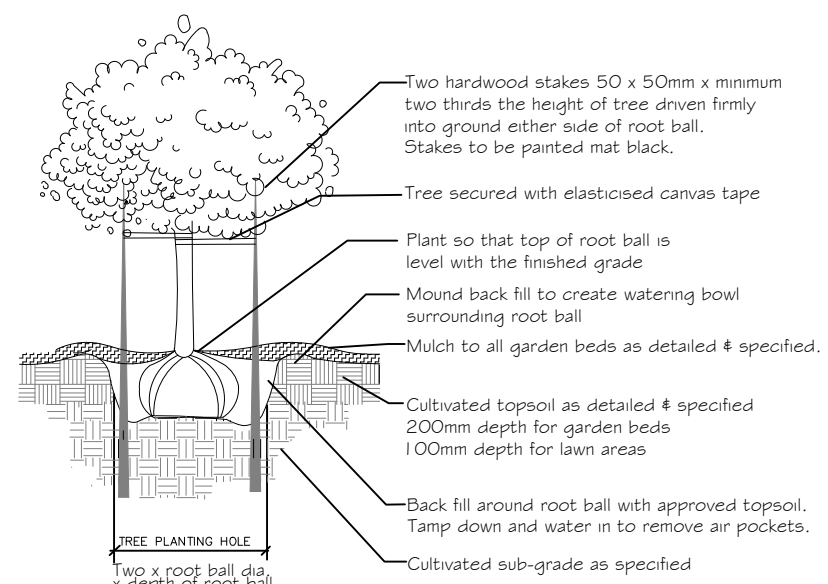
4 Design Matters The peak body for the building design profession Member	Revision	Description	Date	Revision	Description	Date	Revision	Description	Date	Builder / Contractor shall verify all dimensions before any work commences. Dimensions shown are nominal, written dimensions shall take precedence over scale dimensions. Any discrepancies are to be made known to Sketch Building Design's office. All drawings to be read accordance with engineering, detail drawings, specifications and any relevant schedules. © Copyright in whole or in part - Sketch Building Design	SKETCH BUILDING DESIGN	Client:			Job Address:		
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	A	REQUEST FOR FURTHER INFORMATION	14/07/2025									Scale:	1:100 @ A1	Type:	Issue:	Job / Dwg No:	07
												Checked:	Date:	09/10/2025	MU	TOWN PLANNING	



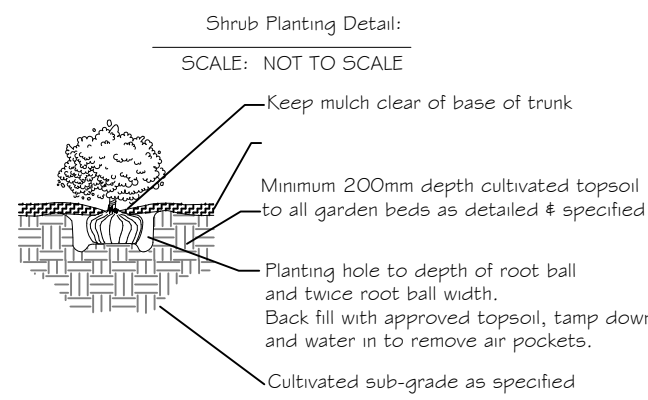


SEPT. 22 (EQUINOX) - 12PM NOON
SHADOW ANALYSIS DIAGRAM

 Design Matters The gold body for the building design profession Member	Revision	Description	Date	Revision	Description	Date	Revision	Description	Date	Builder / Contractor shall verify all dimensions before any work commences. Dimensions shown are nominal, written dimensions shall take precedence over scale dimensions. Any discrepancies are to be made known to Sketch Building Design's office. All drawings to be read accordance with engineering, detail drawings, specifications and any relevant schedules. SKETCH BUILDING DESIGN © Copyright in whole or in part - Sketch Building Design		Client:		Job Address:		Type:	Issue:	Job / Dwg No:	09
	-	TOWN PLANNING SUBMISSION	20/12/2024									Drawn:	Scale:	1:100 @ A1					
	A	REQUEST FOR FURTHER INFORMATION	14/07/2025									Checked:	Date:	09/10/2025					



Tree Planting Detail:
SCALE: NOT TO SCALE



TREE ROOT BARRIER
PROVIDE NYLON 60000MM TREE ROOT BARRIER ADJACENT TO FOOTING AND SERVICES WHERE THERE IS POTENTIAL FOR DAMAGE TO DWELLING OR SERVICES. REFER TO SOIL TEST REPORT.

NOTES:
Before landscaping the contractor must locate all services. Levels do not change significantly.
Established trees to be a minimum height of 1.5mt on installation.

FENCES:
All damaged or dilapidated fences to be repaired or replaced.
NATURESTRIP:
Reinstall naturestrip with grass if damaged at the cost of the owner to the satisfaction of the responsible authority.

SPRINKLER SYSTEM TO ALL OPEN SPACE AREAS:
Drip system will be used along garden beds, one drip per plant and 2 per established tree. Spray head pop ups in lawn area, 15mm polypipe. In-line filters must be inserted in lawn and garden bed pipes. Automatic sprinklers would be an advantage.

Soil Preparation:

Garden beds with existing soil can be prepared with addition of organic material such as rotten manures materials from plant and animal sources that are sold as soil improvers or compost prepared to Australian Standards. These can be just top dressed or dug lightly into the soil and then covered with mulch.

WEEKLY MAINTENANCE INCLUDES

Edge, Trim & Mow
Front lawn & kerb is edged, trimmed and mowed looking neat and sharp. The landscape is inspected for disease and pests. All clippings and debris are removed to achieve a polished finish.

Weed Control
Weeds are removed from garden beds and lawn area by the root to prevent re-growth occurring. They are sprayed and cleared to inhibit mould and leaf decay damage and to maintain weed control throughout the landscape setting.

Plant Maintenance
Plants are pruned and shaped to maintain healthy growth and a strong structure to manipulate spaces ensuring your landscape is primed to perfection. Decayed plant matter is removed and trimmed to promote new growth and poorly positioned plants are repositioned for optimum growth. All plant matter is inspected for disease and pests and treated if required.

Timber Edging
The gardens timber edging is inspected for bucking, displacement or rotting timber and repaired if required. This will ensure the landscape is framed within the structured sections providing a professional finish.

Site Clean
The front landscape is cleared of debris, rubbish and leaf matter. It is swept and tided to remove any split mulch or loose pebbles, then cleared with a blower for a fresh garden look.

QUARTERLY MAINTENANCE INCLUDES

Pest & Disease Treatment
Plants and lawn area is inspected for pests and disease and treated accordingly. By removing decayed leaf matter and debris through the weekly maintenance sessions the landscape will sustain healthy growth which will reduce unnecessary use of sprays and pesticides. Fertilising
For healthy growth plants are feed with a balanced nutrient formula and lawn area is feed with a balanced fertilizer. This will ensure the landscape receives appropriate nutrients to encourage a mature garden setting. Pruning
Based on individual species seasonal requirements plants are pruned and / or cut back after flourishing to promote healthy re-growth. Through seasonal pruning the landscape will produce thriving foliage and look it's best throughout the year.

PLANT TABLE
Cardinia plant list

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT mm	MATURE WIDTH mm	POT SIZE mm	NUMBER REQUIRED	
Pl	Prostanthera lasianthos var lasianthos	Victorian Christmas Bush	2000-8000	3500	1.5m (H) 40L	7	High Drought Tolerance
Rh	Rapanea howittiana	Muttonwood	3000-10000	3500	1.5m (H) 40L	1	High Drought Tolerance
Go	Goodenia ovata	Hop Goodenia	2000 -4000	1500	150mm	23	High Drought Tolerance
Ca	Cassima aculeata	Common Cassinia	2000 -4000	1500	150mm	45	High Drought Tolerance
Ke	Kunzea encoides	Burgan	4000	1500	150mm	40	High Drought Tolerance
Db	Dianella revoluta	Black anther	800	600	tubes	87	High Drought Tolerance
Cc	Convolvulus	Silver bush	600	600	tubes	56	High Drought Tolerance
Lt	Lomandra longifolia	Spiny-headed Mat-rush	800	800	tubes	64	High Drought Tolerance
Mp	Myoporum parvifolium	Myoporum	150	creeper	tubes	19	High Drought Tolerance

DIAL BEFORE YOU DIG ON PHONE 1100 OR www.1100.com.au

ALTERATION 9/10/2025
GROUND FLOOR PLAN AND LANDSCAPING

ABN: 12 002 199 851

FERNERY AND GARDEN DESIGN PTY LTD
24 CORRIE STREET YARRAVILLE 3013
PHONE - 9314-5315
0402 148 149
EMAIL - FGDESIGN@BIGPOND.NET.AU

drawn: J.D.
scale: 1:200
printed: 27/2/25
original sheet size A1
date: 27/2/25

job no
drg no

Client: Ranges Lifestyle Living
Location: 17 Station Rd Officer
Proposed: Townhouses

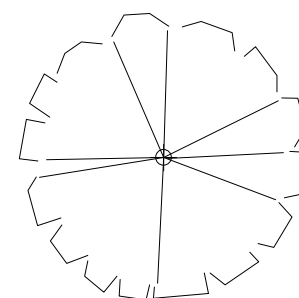
F & G
DESIGN
PTY. LTD.

Cardinia
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Planning Application: T240700
Date Prepared: 21 November 2025

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TREE LEGEND



NEW TREES

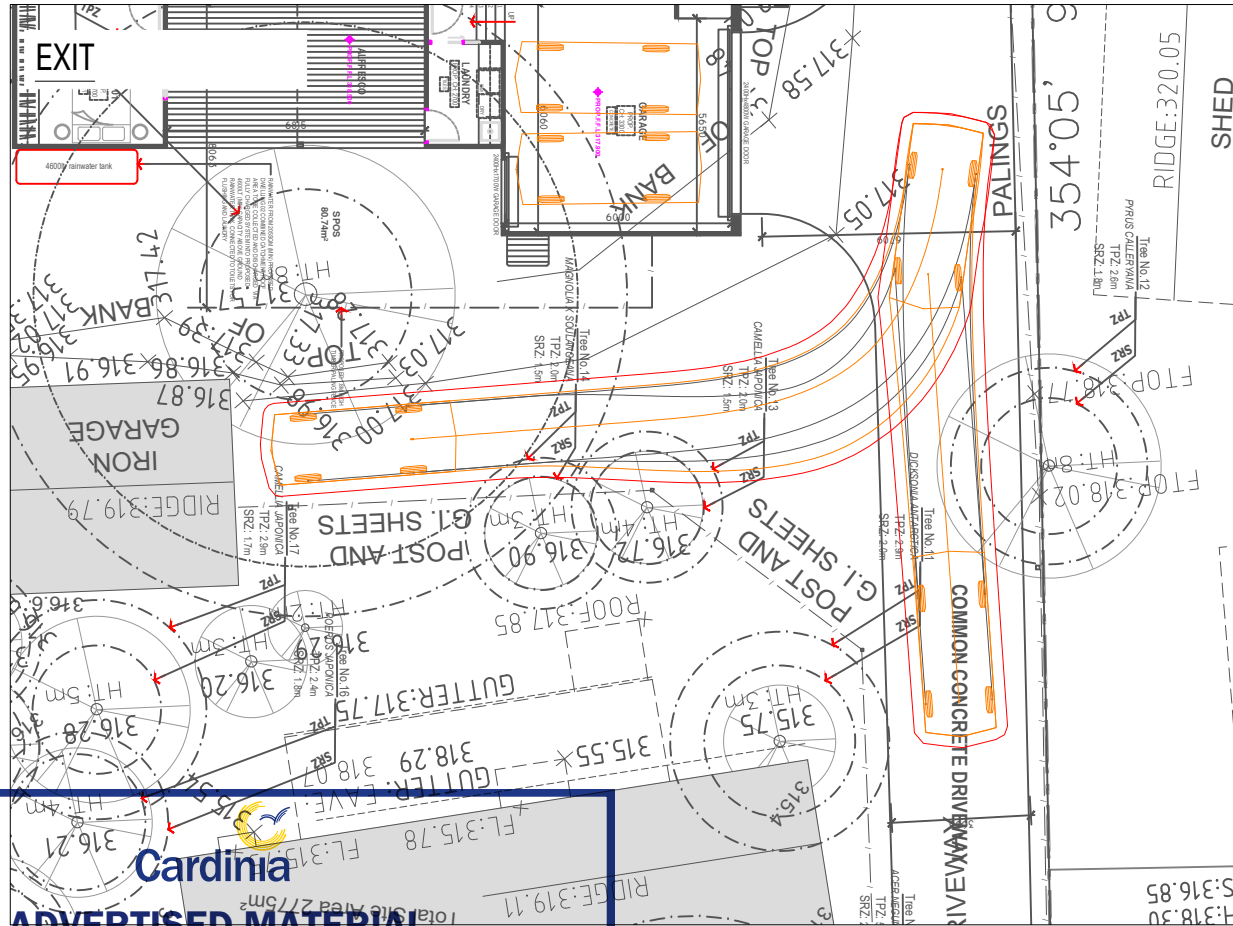
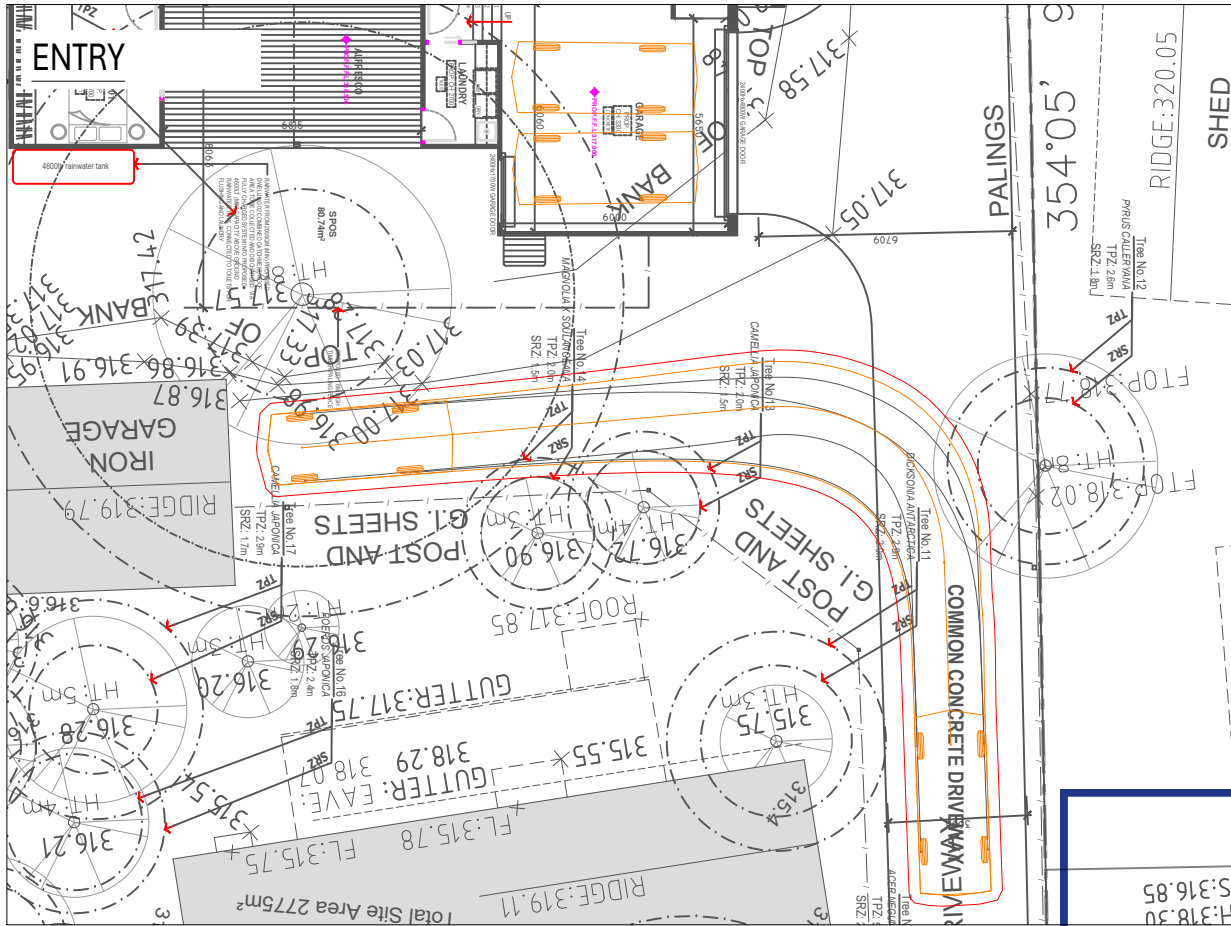
NEW SHRUBS

GROUNDCOVERS

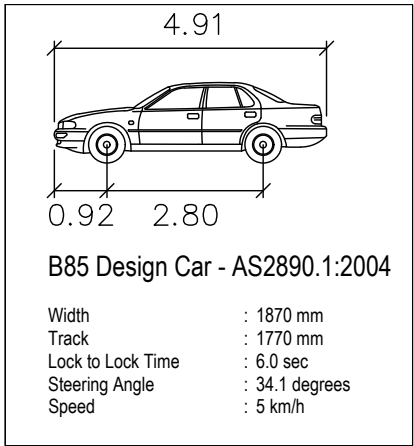
EXISTING TREES TO BE RETAINED APPROXIMATE LOCATION

TREES TO BE REMOVED APPROXIMATE LOCATION ON LANDSCAPE PLAN.

ALL VEGETATION TO BE REMOVED FROM SITE BEFORE CONSTRUCTION

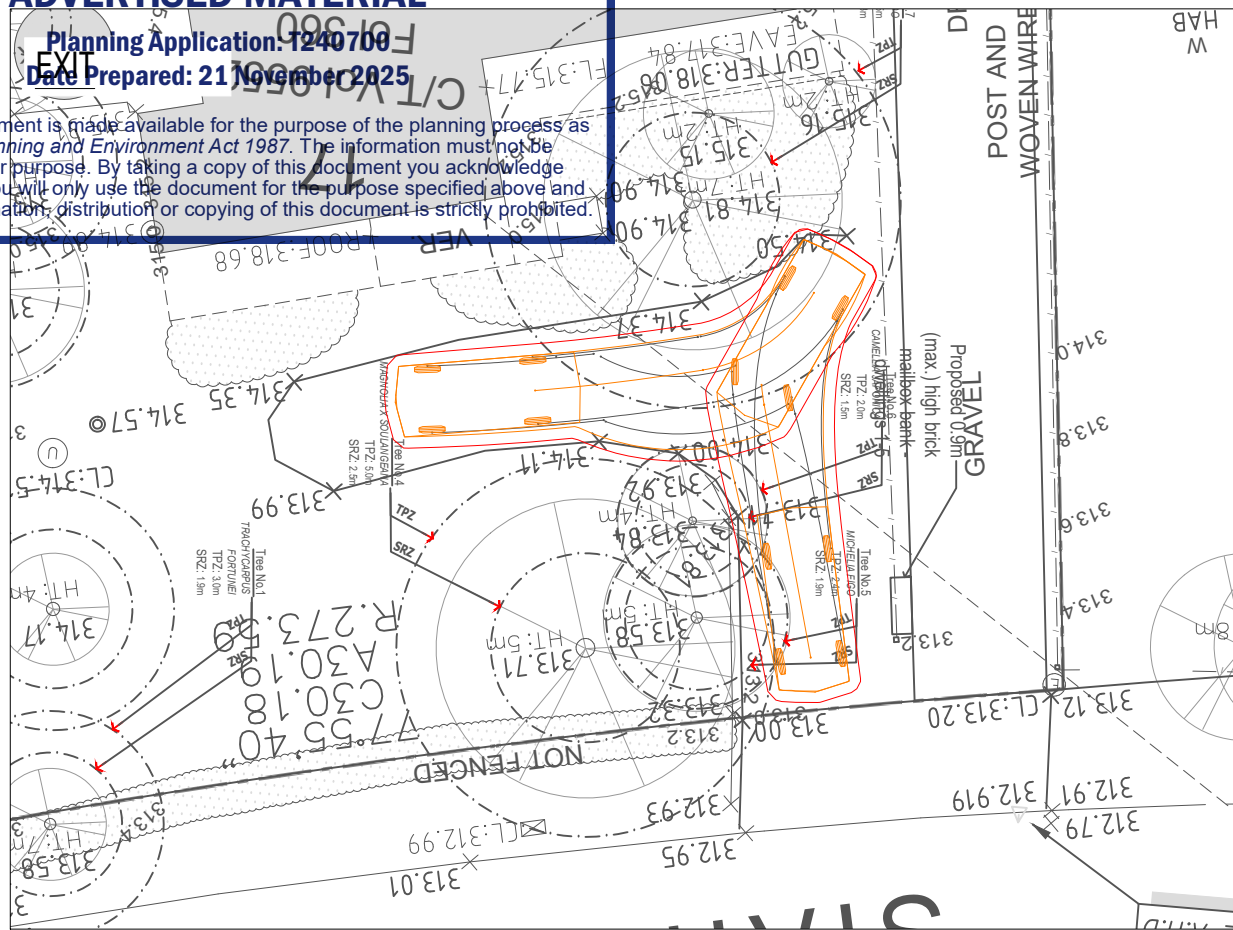
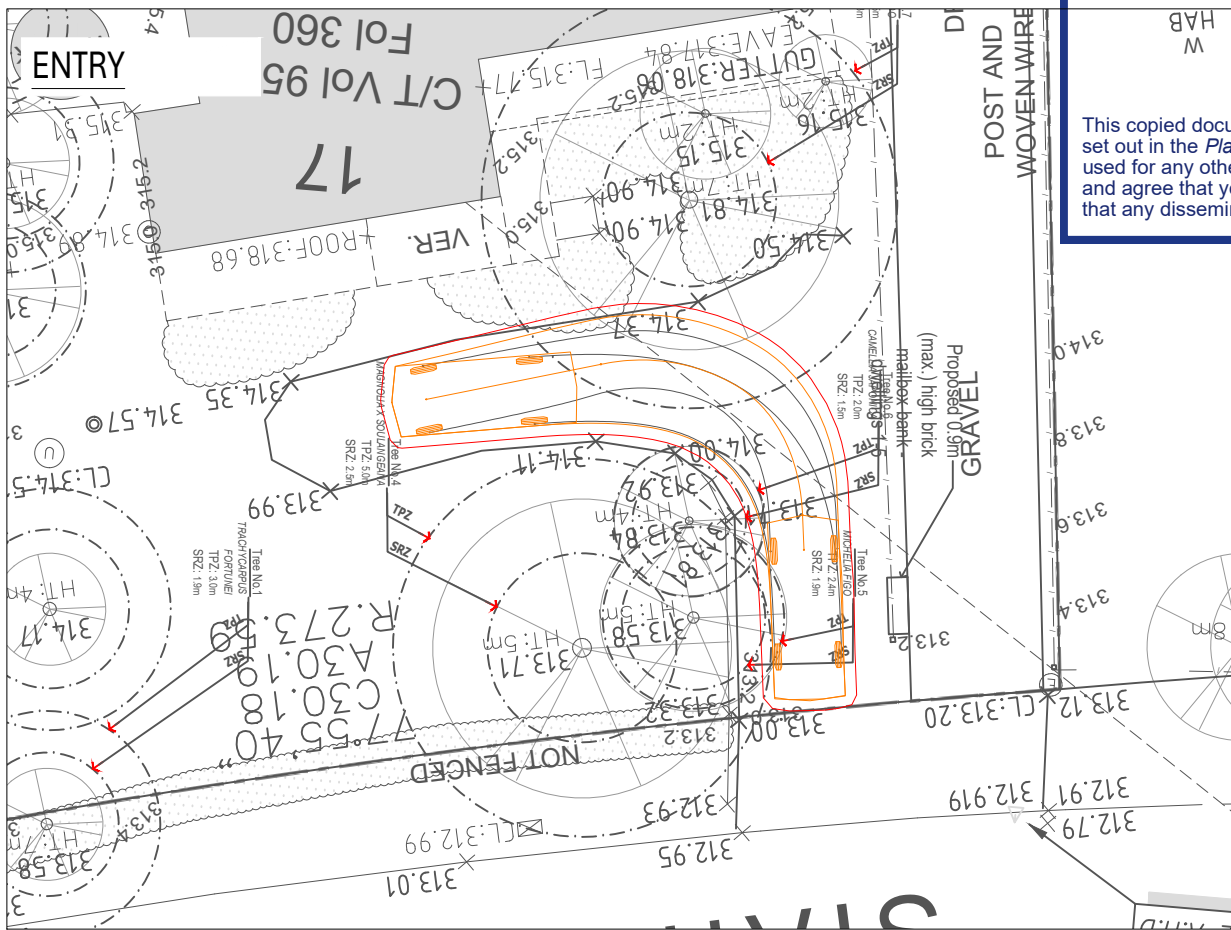


DESIGN VEHICLE USED IN SIMULATION



LEGEND

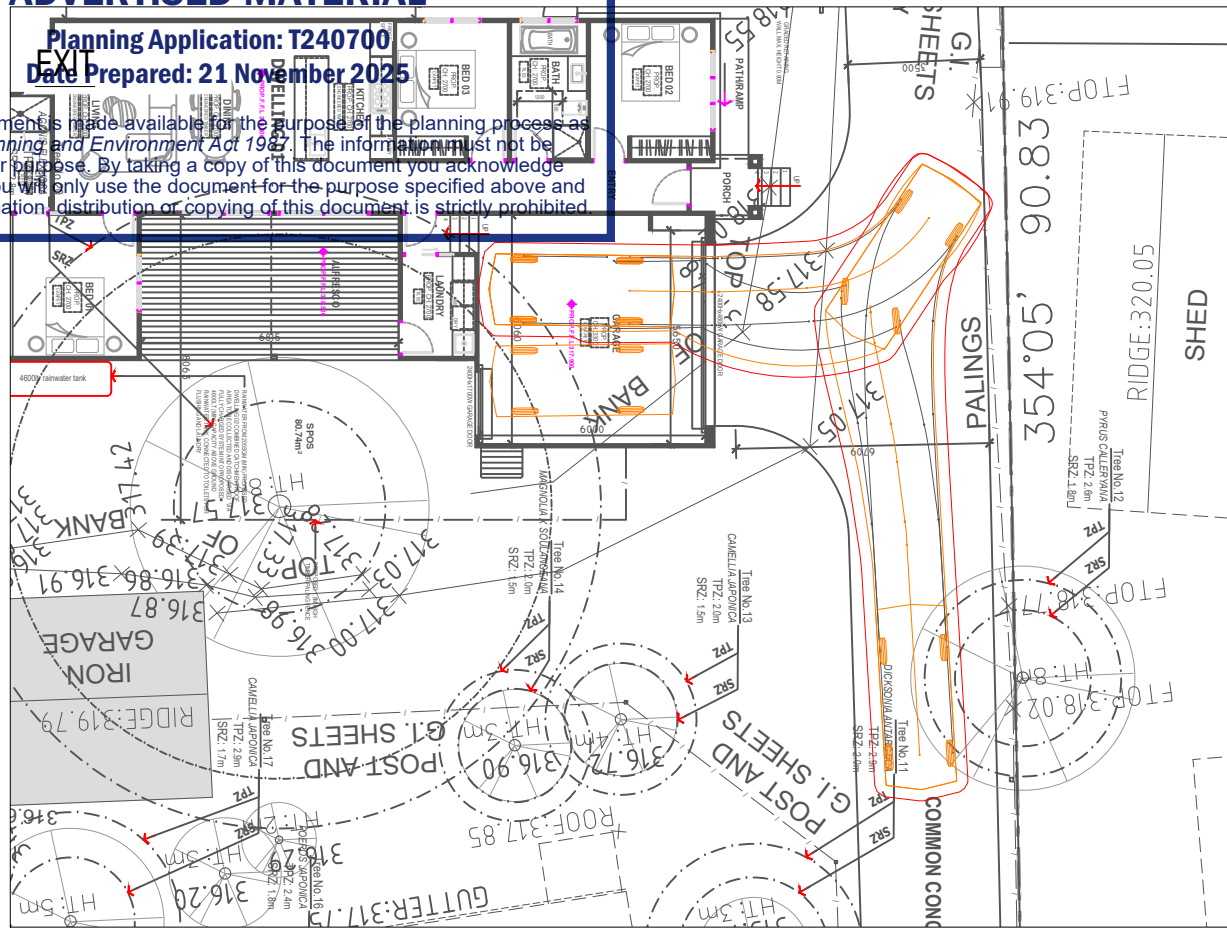
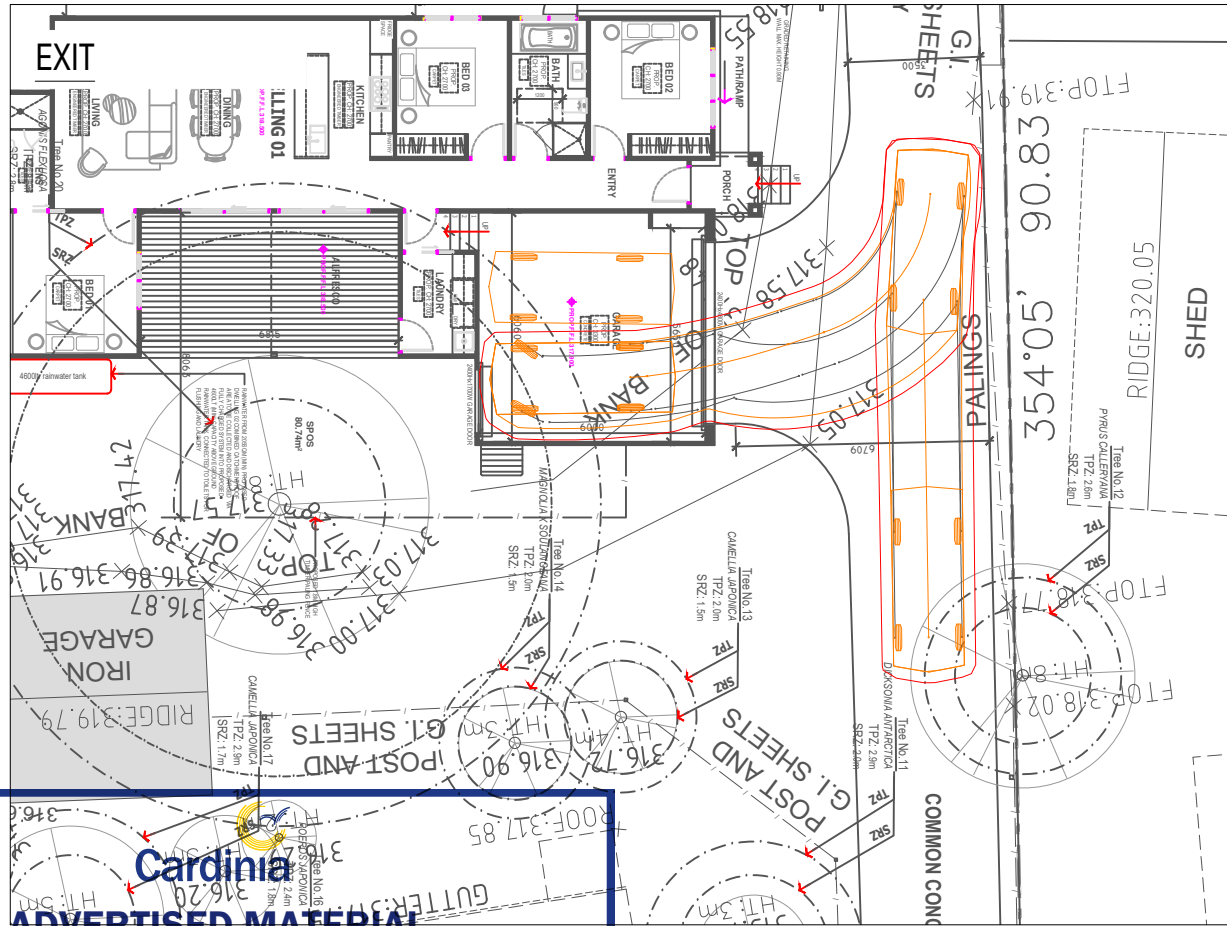
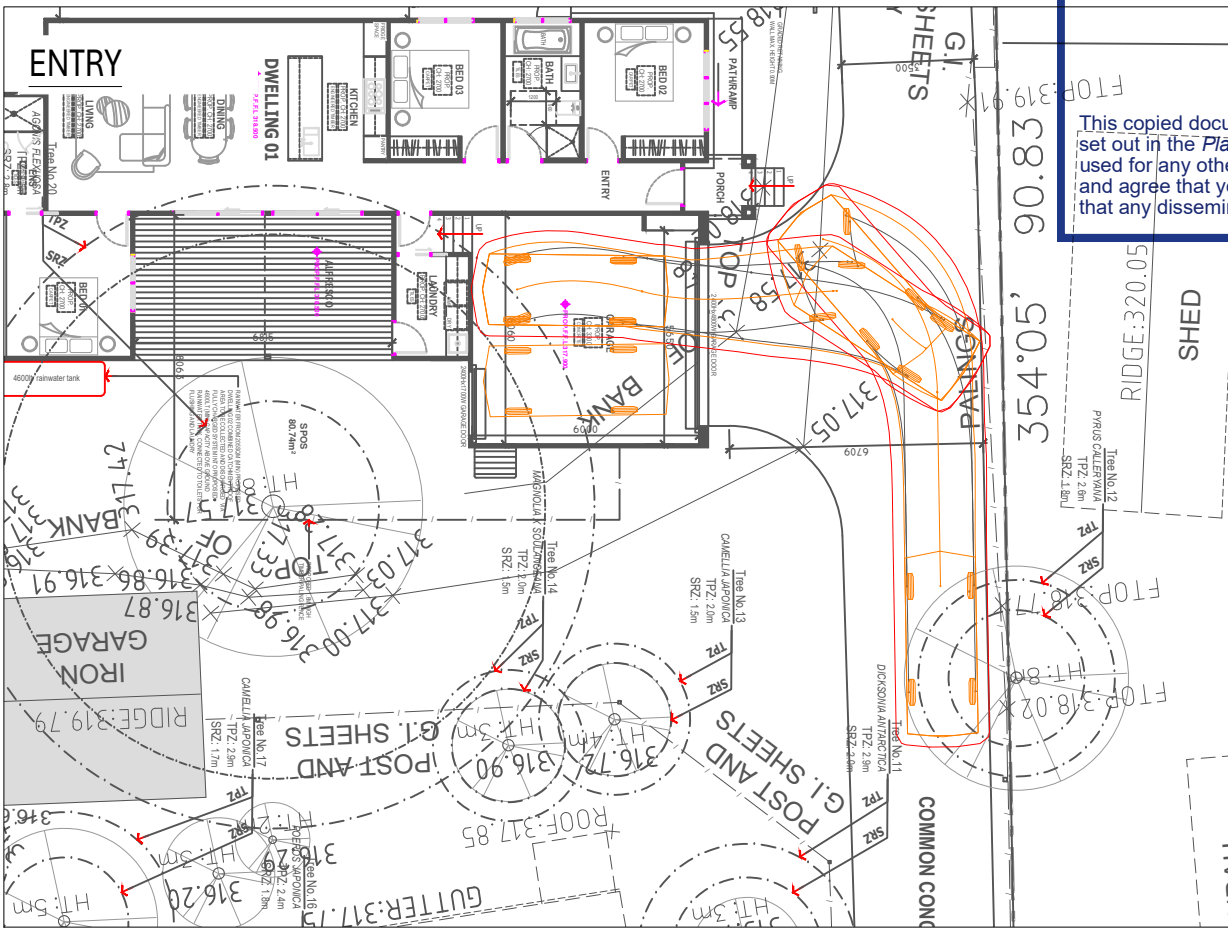
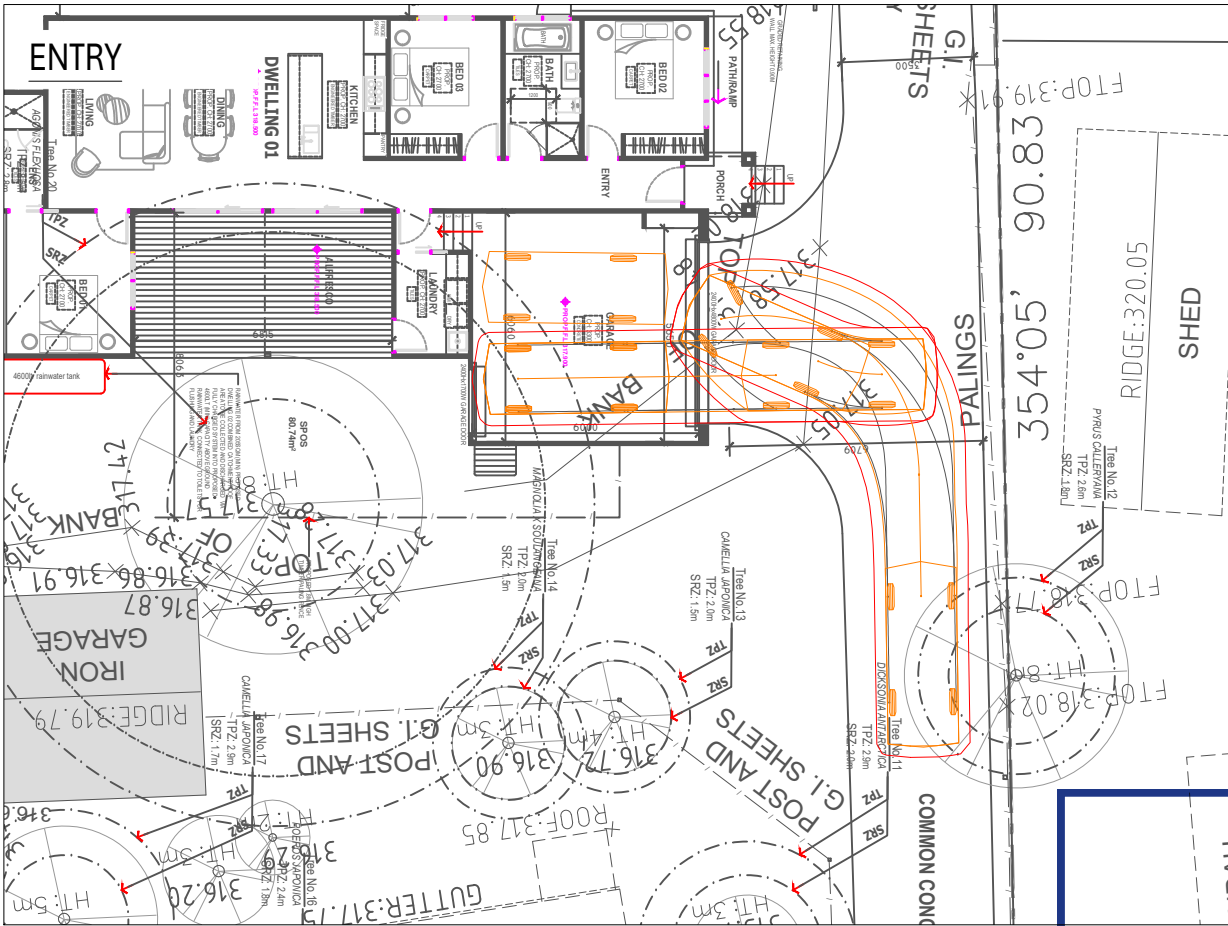
- Vehicle Body ————
- Wheel Tracks ————
- Clearance Lines (300mm) ————



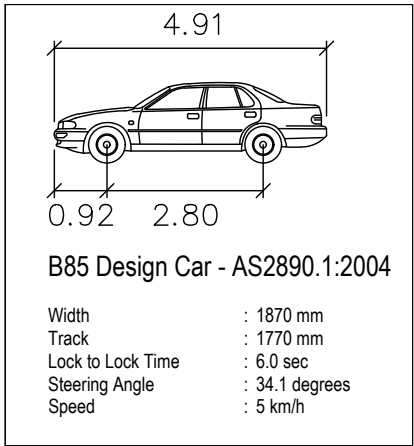
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REVISION	DATE	DESCRIPTION
A	25/08/25	SWEEP PATH DIAGRAMS - ORIGINAL ISSUE
B	31/10/25	SWEEP PATH DIAGRAMS - UPDATED ISSUE



DESIGN VEHICLE USED IN SIMULATION



LEGEND

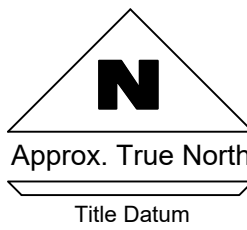
- Vehicle Body
- Wheel Tracks
- Clearance Lines (300mm)

Swept Path Diagrams

REVISION	DATE	DESCRIPTION
A	25/08/25	SWEPT PATH DIAGRAMS - ORIGINAL ISSUE
B	31/10/25	SWEPT PATH DIAGRAMS - UPDATED ISSUE

Feature & Level Survey

17 Station Road, Gembrook



- Legend
- 102 Top of Bank
 - 103 Toe of Bank
 - 104 Existing Surface
 - 107 Floor Level
 - 108 Roof Level
 - 201 Single Tree
 - 203 Group of Trees / Shrubs
 - 206 Dead Tree
 - 305 Box Culvert
 - 308 Side Entry Drainage Pit
 - 309 Grated Drainage Pit
 - 310 Junction Drainage Pit
 - 322 Kerb Outlet
 - 403 Edge of Bitumen
 - 407 Invert of Kerb / Channel
 - 408 Back of Kerb / Channel
 - 412 Track - Vehicular
 - 413 Track - Pedestrian
 - 419 Edge of Concrete
 - 423 Speed Hump
 - 503 Sign
 - 521 Bollard
 - 601 House
 - 602 Garage / Shed
 - 603 Major Building
 - 604 Verandah
 - 605 Window
 - 606 Door
 - 607 Water Tank
 - 611 Swimming Pool
 - 617 Wall
 - 618 Chimney
 - 628 Stairs / Steps
 - 632 Eave
 - 634 Ridge
 - 635 Gutter
 - 712 Electricity Pole only
 - 716 Electricity Pit
 - 717 Electricity Line Overhead
 - 721 Telecommunications Pit
 - 738 Gas Meter
 - 745 Vent Pipe
 - 751 Stop Valve
 - 762 Unclassified Pit
 - 903 Fence - General
 - 904 Gate
 - 905 Top of Fence
 - 910 Fence - Post
 - 950 Boundary
 - Cadastral Map Base

Notations

Date of Survey 13 August 2024

Direction of Photographs shown thus

Refer to drawing 24050PH for photos

Levels shown thus are to Australian Height Datum vide Gembrook PM188 with a stated value of RL 337.159

Tree heights shown thus HT:13m are approximate only

Contour Interval 0.2 metres

Property Information shown thus or is not based on Survey and has been obtained from the Digital Cadastral Map Base.

Location of buildings beyond site fences and shown as dashed lines are indicative only

* Windows noted HAB /NHAB UNCL (unclassified) have been determined by external visual appearance at the time of survey.

Land Dimensions Pty Ltd can accept no responsibility for any person or corporation who may rely on this for any purpose. All window types should be verified on site by a designer or planning consultant.

Services shown hereon have been located by field survey. Other hidden underground services may exist and prior to any demolition, excavation or construction on the site, the relevant authority or 'Dial before you Dig' should be contacted for possible location of further underground services.

This plan has been prepared for Gembrook Views Estate and is not to be reproduced for use by any other person or corporation without the prior written consent of Land Dimensions Pty Ltd.

Certification by Licensed Surveyor

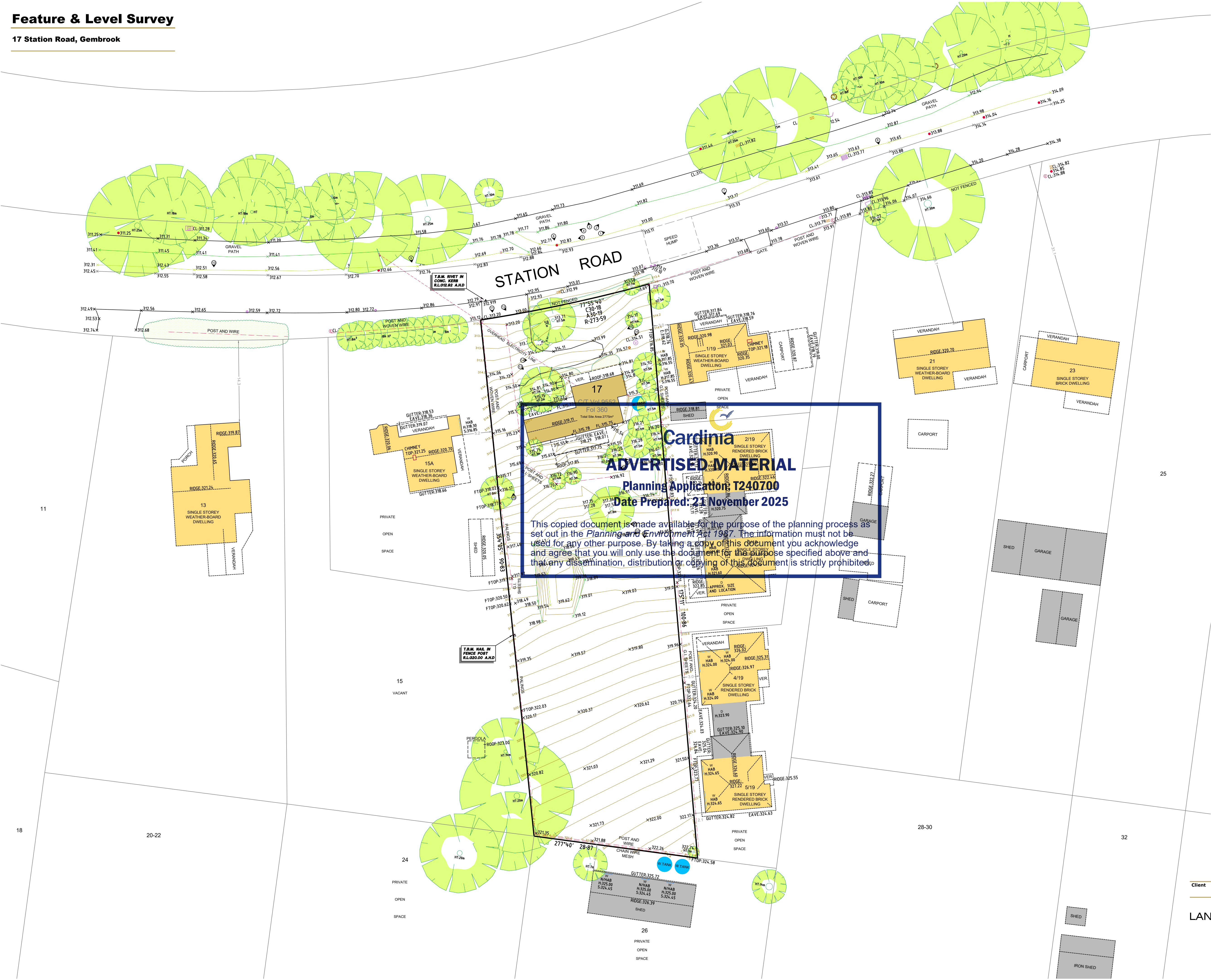
I, Jay Barfoot of Land Dimensions Pty Ltd certify that this plan has been prepared from a survey made under my direction and supervision in accordance with the **Surveying Act 2004** and completed on 13/8/2024, that this plan is accurate and correctly represents the adopted boundaries and the survey accuracy accords with that required by regulation 7(1) of the Surveying (Cadastral Surveys) Regulations 2015.

Date: _____ Licensed Surveyor
Surveying Act 2004

For Title Re-establishment Survey showing relationship between fences and Title Boundaries refer to survey drawing No. 24050R

Date	Version	Amendment
Job Reference No. 24050		
Scale 1:300 Lengths are in metres		
Drawn AK	Checked JB	Date 22/8/2024
Drawing number 24050FL	Version -	
Original sheet size A1	Sheet 1 of 1	

Client Gembrook Views Estate





ISSUE: PLANNING SUBMISSION

Town Planning Report
SEPTEMBER 2025

**No.17 STATION ROAD,
GEMBROOK VIC 3783**

MULTI-UNIT PROJECT

For any enquiries, contact
Sketch Building Design
(03) 9523 9884
admin@sketchbuildingdesign.com.au
sketchbuildingdesign.com.au

1.0 INTRODUCTION

This development summary and planning controls assessment has been prepared for:
No.17 Station Road, Gembrook 3783

This document is intended to be read in conjunction with the Neighbourhood and Site Description, Design Response and other accompanying documents.

The development is assessed against the requirements of the Cardinia Planning Scheme, including the State Planning Policy Framework, Municipal Strategic Statement and Local Policies, and Clause 55

2.0 DEVELOPMENT SUMMARY

TOTAL SITE AREA: **2,775 sqm**

Number of Dwellings: **5**

Building Site Coverage: **31.21 %**

Permeability: **52.77 %**

Number of on-site car spaces: **10**

Garden Area: **43.44 %**

Proposed Dwelling 1

Ground Floor Residence Area: 119.21 sqm

Garage Area: 38.98 sqm

Porch Area: 3.28 sqm

Alfresco Area: 26.17 sqm

Total Residence Area: 187.64 sqm

SPOS (≥3mx3m): 97.45 sqm approx.

Total POS: 97.45 sqm approx.

Proposed Dwelling 2

Ground Floor Residence Area: 111.45 sqm

Garage Area: 23.91 sqm

Porch Area: 6.49 sqm

Alfresco Area: 10.89 sqm

Total Residence Area: 152.74 sqm

SPOS (≥3mx3m): 118.59 sqm approx.

Total POS: 118.59 sqm approx.



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Proposed Dwelling 3

Ground Floor Residence Area:	102.14 sqm
Garage Area:	23.91 sqm
Porch Area:	5.23 sqm
Alfresco Area:	10.24 sqm
Total Residence Area:	141.52 sqm
SPOS (≥3mx3m):	101.92 sqm approx.
Total POS:	101.92 sqm approx.

Proposed Dwelling 4

Ground Floor Residence Area:	119.17 sqm
Garage Area:	44.74 sqm
Porch Area:	2.76 sqm
Alfresco Area:	9.60 sqm
Total Residence Area:	176.27 sqm
SPOS (≥3mx3m):	113.63 sqm approx.
Total POS:	113.63 sqm approx.

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3.0 SUBJECT SITE

The subject site is located at No.17 Station Road, Gembrook 3783 (Mel Ref: 312 H9) with a site frontage of approx. 30.18m and depth of approx. 101.86m. The overall site area is approx. 2775 sqm.

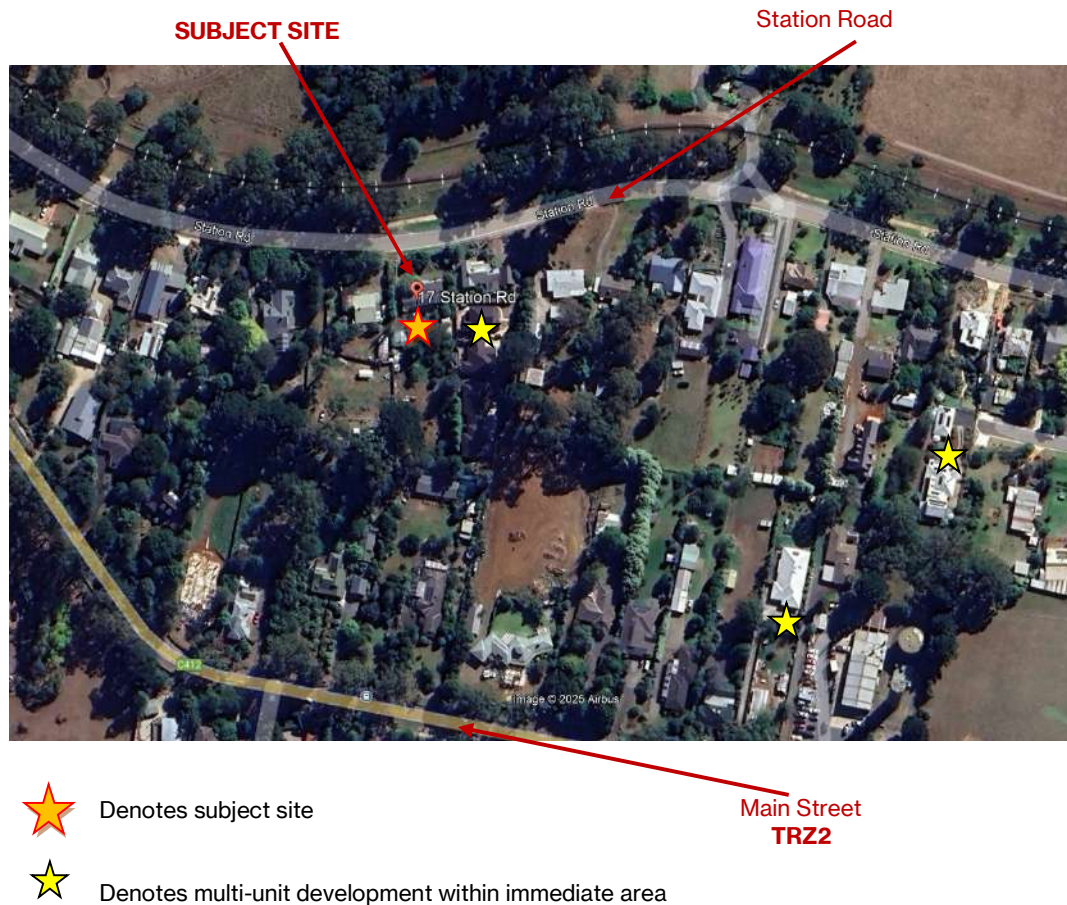
The site currently has a single storey weatherboard dwelling addressing Station Road, with a carport and detached garage/shed. The site has various low – medium scale vegetation scattered throughout the site, though none considered significant.

Vehicle access to the site is provided via the existing crossover near the north west boundary addressing Station Road.

The subject site sits within the Neighbourhood Residential Zone (Schedule 1) with Design and Development Overlay (DDO2), Significant Landscape Overlay (SLO1) and Vegetation Protection Overlay (VPO2) affecting the site.

There are multi-unit developments within close proximity to the subject site, as indicated below and over the page.

Map of Subject Site and Surrounding Area



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4.0 SITE CONTEXT

The surrounding area is primarily residential with a mix of original single dwellings and unit developments, including unit developments (No.19 Station Road) multi dwelling development abutting east of subject site.

The surrounding area is serviced by public transport and close to main roads with the nearest Bus Stop on Main Street just 450m away west of subject site (including multiple bus interchanges). Main Street is a quick 400m in distance from the subject site.

The subject site is also close to a number of Primary and Secondary Schools, Gembrook Primary School 470m south-east, Emerald Secondary College 9.5km west and Early Learning Gembrook 1.4km east of subject site.

Local shops including IGA Supermarket are just 1.1km east of the subject site.

Front fences vary in height though predominantly medium- high with minimal transparency, likely due to busy TR22 Station Road and Puffing Billy Railway Line north of site, to provide noise minimisation.



The existing crossover to be retained for access to all Dwellings.



No.19 Station Road
(recent 4 unit development)

SUBJECT SITE



Above: No.19 Station Road (abutting east boundary), single storey weatherboard dwelling, block of 5 units with pitched roofing (older streetview image to demonstrate built form)

Public Use – Service
and Utility Zone
(PUZ1)

Puffing Billy Railway Line
(PUZ27)

Green Wedge Zone
(GWZ2)



Above: Puffing Billy Railway Line, directly opposite subject site.



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5.0 THE PROPOSAL

The proposal includes the construction of four new single storey dwellings at No.17 Station Road, with associated garages, while retaining the existing dwelling at the front addressing Station Road.

The proposal includes retaining the existing crossover for the use of all dwellings, as well as retention of existing 'horseshoe' driveway to existing front dwelling.

The dwellings have been designed to fit comfortably within the neighbourhood character utilising a mix of rendered cladding, lightweight cladding and feature lightweight cladding, with hipped roofing and some with feature gable ends. The proposed single storey dwellings combine elements synonymous with newer and existing dwellings and developments within the area and adjoining the subject site. E.g. No.19 Station Road along with siting, height, setbacks, and some material e.g. render, consistent with nearby original and recent dwellings/developments as well as light tones to soften built form.

Due to the orientation of the site, the secluded private open space is located to the east of the site with direct connection to the living rooms of the proposed dwellings. These areas are of exceptional width and depth to allow for various new planting (including canopy trees), as well as being useable space for the occupants.

As demonstrated in the following section, the proposal satisfies the requirements of Clause 55 for the development of two or more dwellings on a lot, as well as other relevant planning requirements as set out by Cardinia Shire Council.

6.0 PLANNING CONTROLS ASSESSMENT

Planning Scheme: Cardinia

Responsible Authority: Cardinia

6.1 ZONING AND OVERLAYS

ZONING

32.09 NEIGHBOURHOOD RESIDENTIAL ZONE (NRZ1)

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To recognise areas of predominantly single and double storey residential development.
- To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Comments

The proposed use, construction of two dwellings on a lot, requires a planning permit as per the Neighbourhood Residential Zone (32.09-6).

The proposal is required to achieve a minimum garden area of 35% as per the Minimum Garden Area Requirement (32.09-4) for lot sizes above 650qm.

The proposal includes a minimum **43.44% Garden Area**, well above the required minimum stated above.



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OVERLAYS

43.02 DESIGN AND DEVELOPMENT OVERLAY (DDO2)

Objectives

- To retain and protect the special character of the hills townships.
- To maintain the diversity in lot sizes and ensure that subdivision of land has regard to the existing subdivisional characteristics of the area.
- To ensure that the location and design of buildings protects and enhances the character and natural environment of the area and does not cause detriment to surrounding residents.
- To ensure that any development has regard to the environmental features and constraints of the land.

Comments

The Design and Development Overlay (DDO2) is not triggered with the proposed development maximum height comfortably under 7m at 5.635m.

The proposed single storey development height ensures the existing low rise character of the area is maintained and strengthened by the proposal.

The proposal also includes large areas of open space 43.44% Garden Area) and reasonable side and rear setbacks to boundaries, providing separation between built form and reasonable areas for planting (including canopy trees).

42.03 SIGNIFICANT LANDSCAPE OVERLAY (SLO1)

Objectives

- To recognise the importance of the rural and natural landscape in the scenic corridor and views from the railway line as a significant attraction of the Puffing Billy Tourist Railway.
- To ensure that any development on land within the scenic corridor is appropriately sited and designed to have a minimal impact in the immediate corridor and viewlines.
- To encourage the retention of vegetation and, wherever possible, promote natural regeneration, revegetation, reforestation and long-term management of vegetation to prevent the incremental loss of vegetation.
- To support the biolink along the corridor.

Comments

A permit is not triggered under SLO1 - The height of any dwelling does not exceed 7 metres above natural ground level and the height of all other buildings does not exceed 4 metres above natural ground level. The proposed

The proposal ensures visual building bulk is minimised, allowing all existing vegetation and large setbacks to be retained and dominant of the subject site, by proposing a modest built form with a height of 5.635 metres that results in modest site works.

The proposed materials (sheet roof and lightweight cladding and muted tones) are used widely in the local area and sit well on the subject site within the well-vegetated landscape.



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Objectives

- To protect, and conserve existing vegetation as an important element of the character of residential areas in the Hills Townships by ensuring that this vegetation remains the predominant feature within the landscape.
- To avoid and minimise the removal of vegetation where it assists in the management of environmental hazards such as erosion, salinity, siltation of creeks and watercourses, and stormwater runoff.

Comments

The proposal ensures existing vegetation and large setbacks to be retained and dominant of the subject site, by proposing a modest single storey built form that results in modest site works.

Proposed vegetation removal is limited to minor low retention exotic trees to enable safe and practical vehicle movements to existing dwelling garage.

Refer to accompanying arborist report for further details.



6.2 STATE PLANNING POLICY FRAMEWORK

12.01 BIODIVERSITY

Relevant Objectives

- To protect and enhance Victoria's biodiversity

Comments

The proposed development includes planting of new vegetation, including new canopy trees, within reasonable sized open space areas (with 47.76% of Garden Area) able to maintain habitat for plants and animals.

14.02 WATER

Relevant Objectives

- To assist the protection and restoration of catchments, waterways, estuaries, bays, water bodies, groundwater, and the marine environment.

Comments

Despite having a maximum site coverage of 31.21%, ensuring that the existing authority resources are not put under excessive pressure.

The proposal incorporates such WSUD initiatives as:

- (1x) 4600L rainwater tank (connected to Dwelling 1 for toilet flushing)
- (1x) 4600L rainwater tank (connected to Dwelling 2 for toilet flushing)
- (1x) 4600L rainwater tank (connected to Dwelling 3 for toilet flushing)
- (1x) 4600L rainwater tank (connected to Dwelling 4 for toilet flushing)

15.01 BUILT ENVIRONMENT

Relevant Objectives

- To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.
- To create a distinctive and liveable city with quality design and amenity.
- To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.
- To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.
- To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.
- To achieve neighbourhoods that foster healthy and active living and community wellbeing.
- To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

Comments

The proposed development strives to respect and positively respond to the above objectives by:

- Proposing a greater diversity of housing types within Melbourne's suburbs to cater for a growing population.



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-
- Proposing reasonable areas of private open space to the side and rear of proposed dwellings that receive good solar access, direct connection to living areas and provide opportunity for the planting of a variety of vegetation.
 - Proposing development of four new single storey dwellings which will achieve a minimum 7-star energy rating, as well as include rainwater tanks to promote water and energy efficient living.
 - Proposing four liveable, family homes located in close proximity to community facilities and services.
 - Promoting higher housing densities in and around major activity centres and commercial precincts.

16.01

RESIDENTIAL DEVELOPMENT

Relevant Objectives

- To facilitate well-located, integrated and diverse housing that meets community needs.
- To deliver more affordable housing closer to jobs, transport and services.

Comments

The proposed development strives to meet the relevant objectives of the Residential Development Policy by:

- Increasing the proportion of housing in 'built-up' areas to be developed within the established urban area and reduce the share of new dwellings in dispersed development areas
- Proposing four new dwellings which will achieve a minimum 7-star energy rating, as well as, include rainwater tanks to promote water efficient living
- Proposing four liveable, family homes close to community facilities and services, designed for modern living (including open plan living and kitchen with private open space directly accessed from a living area)
- Proposing development of four affordable, liveable housing designs which are suitable for a wide range of family structures in well-serviced areas.
- Promoting higher housing densities in and around local activity centres and/or commercial precincts



6.4 CAR PARKING ASSESSMENT

52.06

CAR PARKING

Purpose

- To ensure that car parking is provided in accordance with the State Planning Policy Framework.
- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

Design standards for car parking

Plans prepared in accordance with Clause 52.06-7 must meet the design standards of Clause 52.06-8, unless the responsible authority agrees otherwise.

Design Standards

Design standards	Complies	Not applicable
Design standard 1 – Accessways	✓	
Design standard 2 – Car parking spaces	✓	
Design standard 3 – Gradients	✓	
Design standard 4 – Mechanical parking		✓
Design standard 5 – Urban design	✓	
Design standard 6 – Safety	✓	
Design standard 7 – Landscaping	✓	

Comments

The proposal includes the provision for two single garage 3.5m x 6.0m minimum, dwellings 2 & 3 garage accessible by the existing crossover and two double garage 5.5m x 6.0m minimum to dwellings 1 & 4 accessible by the existing 3.0m wide vehicle crossovers addressing Station Road.

The existing crossover has a minimum 3.0m width and include provision for visibility splays on either side of the driveway for vehicle egress.

The proposed garages incorporate varied design measures e.g. light colour garage doors, lightweight vertical cladding surrounding it and setback from primary dwelling elements to ensure the garages sit well within the streetscape and avoid being dominant.

The proposed design response allows for natural surveillance with habitable room windows appropriately located and the garages having convenient access to the respective dwellings and street.

The existing garage to rear of existing dwelling is to be retained and used for one vehicle with space for second vehicle parking in front.

Please refer accompanying traffic engineer swept path diagrams for further details.



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6.5 CLAUSE 55 ASSESSMENT (Two or More Dwellings on a Lot)

55.02 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE

55.02-1 Neighbourhood character objectives

- To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character
- To ensure that development responds to the features of the site and the surrounding area

Standard B1	Complies	Not applicable
The design response must be appropriate to the neighbourhood and site	✓	
The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site	✓	

Comments

The proposal satisfies the objectives of this clause through compliance with the requirements in this and the following standards. The proposed development fits in with the surrounding neighbourhood character in scale, materials and built form.

55.02-2 Residential policy objectives

- To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and the local planning policies
- To support medium densities in areas where development can take advantage of public transport and community infrastructure and services

Standard B2	Complies	Not applicable
An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies	✓	

Comments

See sections 6.2 and 6.3 of this report

55.02-3 Dwelling diversity objective

- To encourage a range of dwelling sizes and types in developments of ten or more dwellings

Standard B3	Complies	Not applicable
Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:		✓



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- Dwellings with a different number of bedrooms - At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level		
---	--	--

Comments

This standard is not applicable as the proposed development has less than 10 dwellings.

55.02-4

Infrastructure objectives

- To ensure development is provided with appropriate utility services and infrastructure
- To ensure development does not unreasonably overload the capacity of utility services and infrastructure

Standard B4	Complies	Not applicable
Developments should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available	✓	
Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads	✓	
In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on service or infrastructure		✓

Comments

The development is provided with appropriate utility services and infrastructure to support the development of two dwellings on a lot. The existing crossover to be retained to accommodate the proposed dwellings (including the existing) with common driveway access.

55.02-5

Integration with the street objective

- To integrate the layout of development with the street

Standard B5	Complies	Not applicable
Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility	✓	
Development should be oriented to front existing and proposed streets	✓	
High fencing in front dwellings should be avoided if practicable	✓	
High fencing in front dwellings should be avoided if practicable	✓	

Comments

The proposal satisfies the objectives of this clause through compliance with the above standards.



55.03 SITE LAYOUT AND BUILDING MASSING

55.03-1 Street Setback Objective

- To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site

Standard B6	Complies	Not Applicable
Walls of buildings should be set back from streets:		
At least the distance specified in the schedule to the zone, or		✓
If no distance is specified in the schedule to the zone, the distance specified in Table B1		✓

Comments

The proposed satisfies the objections of this clause through compliance with the above standards, the proposed dwellings are to be behind the existing dwelling.

55.03-2 Building height objectives

- To ensure that the height of buildings respects the existing or preferred neighbourhood character

Standard B7	Complies	None specified
The maximum building height should not exceed the maximum height specified in the schedule to the zone		✓
If no maximum height is specified in the schedule to the zone, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres	✓	
Changes of building height between existing buildings and new buildings should be graduated	✓	

Comments

The proposed dwellings have a modest maximum overall height above natural ground level of **5.635 metres** and is compliant of Standard B7 and the building height objective.

The proposed height is considered to sit well within the surrounding streetscape, within the building height objective, standard and Cardinia Shire Council local policy guidelines, including DDO2.

55.03-3 Site coverage objective

- To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site

Standard B8	Complies	Not applicable
The site area covered by buildings should not exceed:		
The maximum site coverage specified in the schedule to the zone, or		✓
If no maximum site coverage is specified in the schedule to the zone, 60%	✓	

Comments

The proposed development meets the requirement with the total proposed site coverage of **31.21%** for the development of four dwellings, which comfortably meets the maximum 60% requirement.

55.03-4

Permeability objectives

- To reduce the impact of increased stormwater run-off on the drainage system
- To facilitate on-site stormwater infiltration

Standard B9	Complies	Not applicable
The site area covered by the pervious surfaces should be at least:		
The minimum area specified in a schedule to the zone, or		✓
If no minimum is specified in a schedule to the zone, 20 per cent of the site.	✓	
The stormwater management system should be designed to:		
Meet the current best practice performance objectives for stormwater quality as contained in the <i>Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999)</i>	✓	
Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.	✓	

Comments

The total proposed site permeability is **52.77%** and sits well above the requirement of the 20% minimum, specified in Standard B9.

55.03-5

Energy efficiency objectives

- To achieve and protect energy efficient dwellings and residential buildings
- To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy

Standard B10	Satisfactory	Complies
Building(s) should be:		
Oriented to make appropriate use of solar energy	✓	
Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.		✓
Living areas and private open space should be located on the north side of the development if practicable		✓
Developments should be designed so that solar access to north-facing windows is maximised	✓	

Comments

The proposal has been designed to maximise solar access (where practical) and promote energy efficiency with secluded private open space located to the east of the site (with setbacks, ensuring reasonable northern solar access to secluded private open space



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areas) and primary family – dining room living areas located to the rear (east) of the dwellings receiving very good solar access.

Other proposed open space (incl. within front setback) have very good or reasonable solar access through various times of the day. These areas are considered suitable for planting of canopy trees and other vegetation, as well as being useable space to the occupants.

55.03-6 Open space objective

- To integrate the layout of development with any public and communal open space provided in or adjacent to the development

Standard B11	Complies	Not applicable
If any public or communal open space is provided on site, it should:		
Be substantially fronted by dwellings, where appropriate		✓
Provide outlook for as many dwellings as practicable		
Be designed to protect any natural features on the site		
Be accessible and useable		

Comments

The standard is not applicable as no public or communal open space is provided on site.

55.03-7 Safety Objective

- To ensure the layout of development provides for the safety and security of residents and property

Standard B12	Complies	Not applicable
Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways	✓	
Planting which creates unsafe spaces along streets and accessways should be avoided	✓	
Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.	✓	
Private spaces within developments should be protected from inappropriate use as public thoroughfares	✓	

Comments

Through compliance with the above standard, the development will create a safe and secure environment for the residents and property. Each dwelling's entries are easily identifiable and are located within safe distance of their proposed garages.

55.03-8 Landscaping objectives

- To encourage development that respects the landscape character of the neighbourhood
- To encourage development that maintains and enhances habitat for plants and animals in location of habitat importance
- To provide appropriate landscaping
- To encourage the retention of mature vegetation on the site



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StandardB13	Complies	Not applicable
The landscape layout and design should:		
Protect any predominant landscape features of the neighbourhood	✓	
Take into account the soil type and drainage patterns of the site	✓	
Allow for intended vegetation growth and structural protection of buildings	✓	
In locations of habitat importance, maintain existing habitat, and provide for new habitat for plants and animals	✓	
Provide a safe, attractive and functional environment for residents	✓	
Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood	✓	
Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made	✓	
The landscape design should specify landscape themes, vegetation (location and species), paving and lighting	✓	

Comments

The proposed areas of open space, including those within the front setback, are appropriate in meeting the character of the local neighbourhood landscape.

Through generous front and rear setbacks, the proposal allows for the planting of new and/or replacement indigenous canopy trees and vegetation with a minimum proposed garden area of **43.44%**.

There is a mix of low scale vegetation proposed to be removed from the subject site. Much of the existing vegetation to be removed are located close to / within the proposed building envelope or vehicle access ways and hinder the opportunity for development.

55.03-9

Access Objectives

- To ensure the number and design of vehicle crossovers respects the neighbourhood character

Standard B14	Complies	Not applicable
The width of accessways or car spaces should not exceed:		
33 per cent of the street frontage, or	✓	
If the width of the street frontage is less than 20 metres, 40 per cent of the street frontage		✓
No more than one single-width crossover should be provided for each dwelling fronting a street	✓	
The location of crossovers should maximise the retention of on-street car parking spaces	✓	
The number of access points to a Road Zone should be minimised	✓	
Developments must provide for access for service, emergency and delivery vehicles	✓	

Comments

The proposal satisfies the above objectives of this clause through largely complying with the relevant requirements in the above standard.

The proposal includes the retention of the existing crossover with no new proposed crossover.

- To provide convenient parking for resident and visitor vehicles
- To avoid parking and traffic difficulties in the development and the neighbourhood
- To protect residents from vehicular noise within developments

StandardB15	Complies	Not applicable
Car parking facilities should:		
Be reasonably close and convenient to dwellings and residential buildings	✓	
Be secure	✓	
Be designed to allow safe and efficient movements within the development	✓	
Be well ventilated if enclosed	✓	
Large parking areas should be broken up with trees, buildings or different surface treatments		✓
Shared access ways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the access way		✓

Comments

The proposed car parking has convenient access to the dwellings with natural surveillance to the garages being between the street and the proposed dwellings, in addition to entry windows.

- To ensure that the height and setback of buildings from a boundary respect the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings

StandardB17	Complies	Not applicable
A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:		
At least the distance specified in the schedule to the zone, or	✓	
If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres		✓
Sunblinds, verandas, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard	✓	
Landings having an area of not more than 2 squares metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard		✓

Comments

The proposal satisfies the above objectives of this clause through complying with the relevant requirements in the above standard.

The proposed setbacks are indicative of the neighbourhood character and immediate surrounds, whilst proposing a site responsive design that is respectful of the amenity of adjoining properties and streetscape.

55.04-2

Walls on boundaries objective

- To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings

Standard B18	Complies	Variation Sought
A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary for a length of more than:		
For a length of more than the distance specified in a schedule to the zone, or	✓	
If no distance is specified in a schedule to the zone, for a length of more than:		
10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or	✓	
Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed wall or carports whichever is the greater	✓	
A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary (A building on a boundary includes a building set back up to 200mm from a boundary)	✓	
The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall	✓	

Comments

The proposed does not include any new walls on boundary.

55.04-3

Daylight to existing windows objective

- To allow adequate daylight into existing habitable room windows

Standard B19	Complies	Not applicable
Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot	✓	
Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall	✓	



is within a 55 degree arc from the centre of the existing window		
Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window	✓	

Comments

The proposed is setback sufficiently from adjoining habitable room windows to have minimal or no impact and meets the above noted standards and objective.

55.04-4

North-facing windows objective

- To allow adequate solar access to existing north-facing habitable room windows

Standard B20	Complies	Not applicable
If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east	✓	

Comments

The proposal complies with above noted standard and objective, which has been further assisted with the proposed including no walls on the southern boundary.

55.04-5

Overshadowing open space objective

To ensure buildings do not significantly overshadow existing secluded private open space

Standard B21	Complies	Not applicable
Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 September	✓	
If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced		✓

Comments

The proposal has no impact on adjoining properties with regards to overshadowing private open space between the hours of 9am and 3pm on 22 September, as demonstrated in the accompanying Shadow Diagrams (Please refer Sheets 07-09).

With the orientation of the site and careful siting/design, the proposal ensures there is not significant overshadowing of existing surrounding secluded private open space areas.

- To limit views into existing secluded private open space and habitable room windows

Standard B22	Complies	Not applicable
A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level	✓	
A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either: - Offset a minimum of 1.5 metres from the edge of one window to the edge of the other - Have sill heights of at least 1.7 metres above floor level - Have fixed, obscure glazing in any part of the window below 1.7 metres above floor level - Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent	✓	
Screens used to obscure a view should be: - Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels - Permanent, fixed and durable - Designed and coloured to blend in with the development	✓	
This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary		✓

Comments

The proposed single storey dwellings comply with the above standards, where overlooking will be prevented by existing fences.

- To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development

Standard B23	Complies	Not applicable
Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the schedule private open space of a lower-level dwelling or residential building directly below and within the same development	✓	

Comments

Appropriate measures have been taken to reduce the internal overlooking within the proposed development to meet the above objective.

55.04-8

Noise impacts objectives

- To contain noise sources in developments that may affect existing dwellings
- To protect residents from external noise

Standard B24	Complies	Not applicable
Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings		✓
Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties	✓	
Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms	✓	

Comments

As the proposal is located within a residential area and has appropriate separation between dwellings and adjoining allotments. There are no concerns with any form of noise impact.

55.05

ON-SITE AMENITY AND FACILITIES

55.05-1

Accessibility objective

- To encourage the consideration of the needs of people with limited mobility in the design of developments

Standard B25	Complies	Not applicable
The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility	✓	

Comments

The dwelling entries are only minimally raised from the finished ground level and are thus considered accessible or can be easily made accessible to people with limited mobility.

In addition, by keeping the entire proposal single storey and meeting liveable housing requirements, the development is able to suit occupants of varying requirements.



55.05-2**Dwelling entry objective**

- To provide each dwelling or residential building with its own sense of identity

Standard B26	Complies	Not applicable
Entries to dwellings and residential buildings should: - Be visible and easily identifiable from streets and other public areas - Provide shelter, a sense of personal address and a transitional space around the entry	✓	

Comments

The proposed dwelling entries face the common driveway and are detached from one another. In addition, each dwelling incorporates a varied façade design (including varied materials), and feature gables ensuring each dwelling has its own sense of address.

55.05-3**Daylight to new windows objective**

- To allow adequate daylight into new habitable room windows

Standard B27	Complies	Not applicable
A window in a habitable room should be located to face: - An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or	✓	
- A verandah provided it is open for at least one third of its perimeter, or		✓
- A carport provided it has two or more open sides and is open for at least one third of its perimeter		✓

Comments

The proposal satisfies the objectives of this clause through compliance with the requirements in the above standard.

55.05-4**Private open space objective**

- To provide adequate private open space for the reasonable recreation and service needs of residents

Standard B28	Complies	Not applicable
A dwelling or residential building should have private open space of an area and dimensions specified in the schedule to the zone	✓	
If no area or dimensions are specified in the schedule to the zone, a dwelling or residential building should have private open space consisting of: - An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum	✓	

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dimension of 3 metres and convenient access from a living room, or; - A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or; - A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room		
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Comments

The proposed dwellings comfortably exceed the required private open space areas, enabling each dwelling with excellent landscaping opportunities (refer accompanying detailed landscape plan). In particular, all dwellings include purpose designed large areas of secluded private open space directly accessed from open plan living, living, dining and kitchen areas with additional practically sized secluded private open space for services and additional space for occupant use as well as, ensuring usable space for the occupants.

55.05-5 **Solar access to open space objective**

To allow solar access into the secluded private open space of new dwellings and residential buildings

Standard B29	Complies	Not applicable
The private open space should be located on the north side of the dwelling or residential building, if appropriate	✓	
The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2+0.9h) metres, where 'h' is the height of the wall	✓	

Comments

Both dwellings have large areas (≥ 25sqm) of secluded private open space located to the west of the subject site with excellent northern solar access to these areas.

55.05-6 **Storage objective**
55.05-7

- To provide adequate storage facilities for each dwelling

Standard B30	Complies	Not applicable
Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space	✓	

Comments

There is 6m³ storage provided for dwellings within their respective private open space areas.

55.06 **DETAILED DESIGN**

55.06-1 **Design detail objective**

- To encourage design detail that respects the existing or preferred neighbourhood character

Standard B31	Complies	Not applicable
The design of buildings, including: - Façade articulation and detailing, - Window and door proportions, - Roof form, and	✓	

- Verandas, eaves and parapets,		
Should respect the existing or preferred neighbourhood character	✓	
Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character	✓	

Comments

The design of the proposed dwellings respects the existing neighbourhood character in its materials, articulation and fenestration, as well as built form.

55.06-2

Front fences objectives

- To encourage front fence design that respects the existing or preferred neighbourhood character

Standard B32	Complies	Variation sought
The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties	✓	
A front fence within 3 metres of a street should not exceed: - The maximum height specified in the schedule to the zone, or - If no maximum height is specified in the schedule to the zone, the maximum height specified in Table B3	✓	

Comments

The proposal does not include a new front fence.

55.06-3

Common property objectives

- To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained
- To avoid future management difficulties in areas of common ownership

Standard B33	Complies	Not applicable
Developments should clearly delineate public, communal and private areas	✓	
Common property, where provided, should be functional and capable of efficient management	✓	

Comments

The proposed common driveway is functional while ensuring it can be easily maintained.

55.06-4

Site services objectives

- To ensure that site services can be installed and easily maintained
- To ensure that site facilities are accessible, adequate and attractive



Standard B34	Complies	Not applicable
The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required and facilities for services to be installed and maintained efficiently and economically)	✓	
Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development	✓	
Bin and recycling enclosures should be located for convenient access by residents	✓	
Mailboxes should be provided and located for convenient access as required by Australia Post	✓	

Comments

The proposal satisfies the objectives of this clause through compliance with the requirements in the above standard.

Appropriate bin storage areas have been proposed, meter boxes are located in proximity to dwelling entries and mailboxes at the entry of the subject site. (Refer Proposed Site Layout, Sheet 03).



7.0 CONCLUSION

It is submitted that the proposed development is appropriate for the subject site and is consistent with the future planning of the area. In support of this statement, the following points are noted:

- The proposed duplex development is consistent with the policy framework of the Cardinia Shire Council Planning Scheme and the State and Local Planning Policy Frameworks.
- The proposed development is largely compliant with Clause 55 standards and objectives.
- There is no amenity impact to both the subject site and adjoining properties, as well as, meeting the relevant objective(s).
- The subject site is appropriately located within close distance to essential services and forms of public transport and therefore appropriate for multi-unit development.
- This report demonstrates that the proposal provides a site responsive design that is sensitive to the amenity of adjoining properties and the character of the area.
- The proposed dwellings utilise varying materials, and articulation to provide an appropriate streetscape response
- The development has ample permeability at 52.77%, with private open space in excess of approx. 100 sqm (min.) for each dwelling and 43.44% min. Garden Area for all dwellings.
- The proposed development meets the future demands of residents of the subject site



Aja arboriculture



Preliminary Arboricultural Report and Impact Statement 17 Station Road, Gembrook



July 2025

1. Summary

The subject site has a low tree density cover that is composed primarily of planted exotic vegetation. There are notable planting towards the front of the site and limited number of trees towards the rear that have been identified as worthy of retention.

2. Objectives

In this Preliminary Arboricultural Report and Impact Statement (appraisal), the following objectives have been identified:

- 2.1. Inspect 17 Station Road, Gembrook (subject site) and adjacent land as directed by the client and assess the tree(s) for the purpose of determining merit within the landscape. A tree is defined in this appraisal as a perennial plant that is greater than 3 metres in height. Perennial plants smaller than 3 metres in height may be included contingent on landscape contribution. Trees in this appraisal are represented as Individual Trees, Hedge Rows or Grouped Trees.
- 2.2. Collect and report details concerning the identified tree(s) in accordance with the Australian Standard AS 4970 - 2025 'Protection of trees on development sites' (Standard) with specific reference to Clause 2.2.5, applicable local laws, statutory planning and other relevant documents.
- 2.3. Provide an unbiased arboricultural perspective within the aforementioned frameworks that clearly informs the client and associated stakeholders of tree merit, likely impacts of proposed works, impact mitigation strategies, and protection measures.

3. Method

The following methods were employed to inform the contents of this appraisal:

- 3.1. The site inspection was undertaken on Friday, 31 May 2024.
- 3.2. A thorough ground-based visual tree assessment using appropriate tools was conducted for all trees identified in this appraisal. Where access to a tree was limited, some characteristics may have been estimated or overlooked. Trees identified in this appraisal have been located and numbered in Appendix 1 - 'Site Plan'. Specific observations including relevant photographs have been included in Appendix 2 - 'Site Data'. Definitions of the information catalogued in Appendix 2 are contained in Appendix 3 - 'Tree Feature Descriptions'.
- 3.3. Notional Root Zones, Structural Root Zones and Tree Protection Zones identified in this appraisal have been determined in accordance with the Standard or as specified by a relevant authority. Please refer to Section 6.4 for a concise description of these terms and Appendix 1 for a diagrammatic representation of these requirements within and adjacent to the subject site.
- 3.4. Tree protection specifications (TPS) have been provided where applicable.

4. Documents and Literature

The following documents were reviewed in the preparation of this appraisal. The property title for the subject site was not inspected, and it is unknown if there are any specific tree protection controls under existing planning permits or Section 173 Agreements relevant to the subject site:

- 4.1. Planning Property Report from <https://mapshare.vic.gov.au/vicplan/> accessed on the Thursday, 26 June 2025 for the subject site.
- 4.2. 42.02 Vegetation Protection Overlay (VPO) and the associated Schedule VPO2 from the Cardinia Planning Scheme.
- 4.3. 42.03 Significant Landscape Overlay (SLO) and the associated Schedule SLO1 from the Cardinia Planning Scheme.

- 4.4. 52.17 Native Vegetation and the associated Schedule from the Cardinia Planning Scheme.
- 4.5. 52.12 Bushfire Protection Exemptions from the Cardinia Planning Scheme.
- 4.6. Bioregion Benchmark for Vegetation Quality Assessment Highlands - Southern Fall bioregion including EVC's 16, 29 and 45 published by the Department of Sustainability and Environment.
- 4.7. Job Ref No. 24050 Feature and Level Survey for 17 Station Road, Gembrook prepared by Land Dimensions dated 22 August 2024.
- 4.8. Job Ref No. 24050 Set-out Sketch for 17 Station Road, Gembrook prepared by Land Dimensions dated 17 June 2025.

5. Observations

The ensuing observations were made during the site inspection and have been included to summarise data, inform discussion, opinions and recommendations contained in this appraisal:

- 5.1. Twenty-one (21) Individual Trees and two (2) Hedge Rows as defined in this appraisal were identified during the site inspection. Four (4) trees and one hedge were located in the adjoining property to the west identified as 15 and 15A Station Road. The remaining eighteen (18) trees and one (1) hedge were located within the subject site.
Please refer to Appendix 1 for details concerning the location of trees identified in this appraisal.
- 5.2. Eleven (11) trees received Moderate Retention Values as defined in this appraisal. The remaining ten (10) trees and two (2) hedge rows received Low Retention Values.
Please refer to Section 6.1 for discussion on Retention Values and Appendix 2 for details of the trees identified.
- 5.3. Five (5) trees and one (1) hedge row are considered Protected Trees under VPO2 listed in Section 4.2 and SLO1 listed in Section 4.3. The remaining sixteen (16) trees and one (1) hedge row are considered exempt under 52.12 listed in Section 4.5 as they are within 4 metres of an existing fence line or 10 metres from an existing building.
Please refer to Section 6.2 for summaries of Local Laws and/or Statutory Planning relevant to these trees including Bushfire Exemptions relevant to the site.
- 5.4. Based on the EVC's listed in Section 4.6, four (4) trees are considered indigenous to the locale including Site ID. 21 identified as Narrow-leaved Peppermint (*Eucalyptus radiata*) and 3, 10 and 11 all identified as Soft Tree-fern (*Dicksonia antarctica*).
Please refer to Section 6.2 for a summary of the Native Vegetation provisions.
- 5.5. Additional shrubs and small and/or young trees were noted during the site assessment but have not been included in this appraisal as they do not provide any particular landscape significance or make a contribution to local amenity. Trees in adjoining properties where drip lines did not extend into the subject site were also observed during the site assessment but have not been included in this appraisal as they will not be affected by any proposed development within the subject site.

6. Discussion

- 6.1. In this appraisal and as required under the Standard; the virtues of a tree are expressed in its **Retention Value**. The benefits of tree retention within an evolving urban landscape are significant and quantifiable,

Aesthetic Qualities - the qualities of a tree that appeals to our sensory experiences and sense of beauty that encompasses how it looks, feels, sounds, or even smells.

Cultural and Heritage Values - represent the significance and meaning that a tree attaches to a place, object, tradition, and other aspects of culture.

Social, Health and Psychological Benefits - tree stature and longevity provide a sense of 'place' and a direct link with a sites past. They are living structures that instil serenity, soften vistas and provide cover from the harsh planes of surrounding concrete, glass, brick and asphalt.

Ecosystem Benefits - Trees contribute to privacy, emphasise views, reduce glare, moderate climate, improve air quality, conserve water and harbour wildlife.

Economic Benefits - Trees can provide direct economic benefit through increased property values and reduced energy costs.

Trees that receive a **High** or **Moderate** value express one or more of these qualities and can, with adequate design consideration and protection during construction, continue to contribute as viable landscape elements. Trees that receive a **Low** value add little to the site; may not respond well to changes in their environment, become hazardous or create an amenity nuisance in an evolving landscape. Low value trees should be excluded from retention considerations.

Acknowledging the value of trees and adopting a balanced perspective between a tree's **Retention Value** and protection status is an important design consideration in ensuring a successful outcome.

There are just as many reasons to remove a tree as there are to retain the very same. What an existing tree will bring to a renewing landscape is at the discretion of the imagination but at the very least, should be a representative symbol of a living and dynamic location where people, structures and trees can coexist in harmony.

- 6.2. In Victoria, tree protection is afforded through local planning, laws, policy, and other legal instruments. Vegetation located within the subject site and on adjoining land that may be impacted by proposed development and is subject to protection provisions must be managed in accordance with Standard and local policy where they exist. Tree protection provisions relevant to the subject site listed in Section 4 are outlined below.

The principal purpose of 42.02 Vegetation Protection Overlay (VPO) and the associated Schedule VPO2 from the Cardinia Planning Scheme is to protect areas of significant vegetation, to ensure that development minimises loss of vegetation, and to preserve existing trees and other vegetation. To that end, VPO2 requires the applicant to obtain a permit to remove or destroy any vegetation that is not exempt from the provisions of the overlay.

The primary objectives of 42.03 Significant Landscape Overlay (SLO) and the associated Schedule SLO1 are to identify, conserve, and enhance significant landscapes along the Puffing Billy Tourist Railway Scenic Corridor. To that end, SLO1 requires the applicant to obtain a permit for works that result in the removal, destruction, or lopping of any vegetation that is not exempt from the provisions of the overlay.

52.17 Native Vegetation applies to all living and dead Victorian native tree and plant species on contiguous land under single ownership equal to or greater than 4,000 square metres (≈1 acre) where there is no Native Vegetation Precinct Plan (52.16). The purpose of this provision is to ensure no net loss in biodiversity and to minimise land and water degradation as a result of the removal, destruction or lopping of native vegetation. These objectives are achieved through a three-step process detailed in Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017) that aims to avoid loss, minimise impact or provide an offset to compensate for outcomes where loss or impact cannot be circumvented.

52.12 Bushfire Protection Exemptions allow for the creation of defensible space around buildings used for accommodation. In this circumstance, trees that are within 4 metres of an existing fence line or 10 metres from an existing building are considered exempt.

Trees on adjoining property that are exempt from protection provisions and could potentially be impacted by proposed development should be managed in accordance with the Standard. Under the Building Act 1993, Building Regulations 2018 Part 7 – Protection of Adjoining Property, the Local Authority may require an applicant to implement tree protection measures on adjoining land. Neighbouring tree owners may pursue a claim under the common law tort of negligence where an act or omission leads to damage, loss or injury to a tree.

Failure to apply appropriate protection measures to a tree on adjoining land can result in project delays, unnecessary disputes, undermine good neighbourly relationships, or give rise to needless legal action.

- 6.3. The Notional Root Zone (NRZ) as defined under the Standard is a cylindrical area below ground, at a given distance from the trunk center, set aside for the viability of a tree's root system. The Structural Root Zone (SRZ) is the area within the NRZ where structural roots and soil cohesion are crucial to root plate stability.

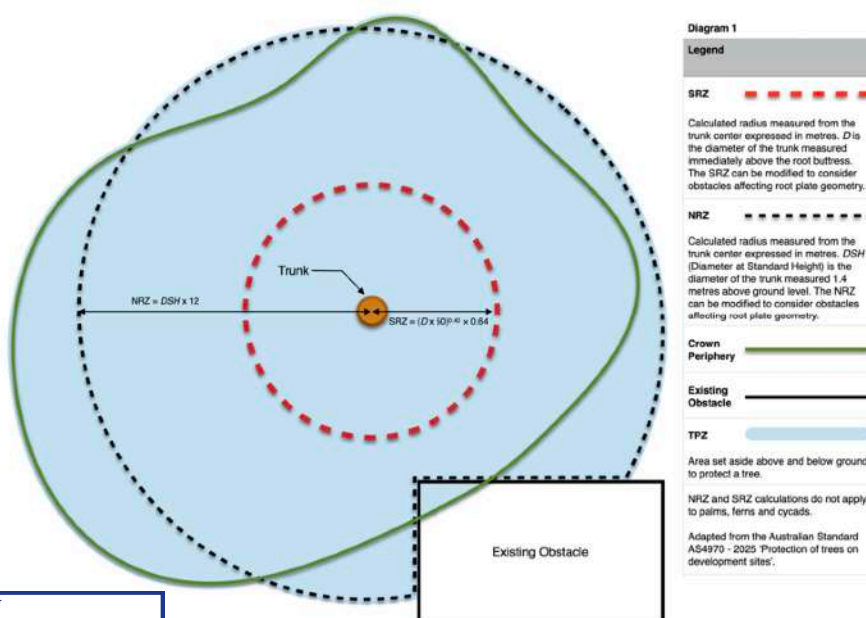
The Tree Protection Zone (TPZ) is the specified zone above and below ground at a given offset from the trunk set aside to protect a tree's parts from damage by site development. Please refer to Diagram 1 for details.

Proposed development encroachment into the NRZ is considered **Minor** if it is less than or equal to 10% of the total NRZ area and does not breach the SRZ. Minor encroachments are unlikely to have a significant impact on tree health, structure or longevity. Tree protection may be implemented during site works and an area equivalent to the encroachment may be added to the TPZ.

Proposed development encroachment into the NRZ is considered **Moderate** if it is greater than 10% and less than or equal to 20% of the total NRZ area and does not breach the SRZ. The impact of a moderate encroachment shall be determined based on considerations identified in the Standard that may include additional investigation. Tree protection shall be implemented during site works that may also include design measures and construction control. An area equivalent to the encroachment shall be added to the TPZ unless the project arborist can demonstrate that the tree will remain a viable landscape element.

Proposed development encroachment into the NRZ is considered **Major** if it is greater than 20% of the total NRZ area or breaches the SRZ. In these circumstances, the project arborist shall explore with the planning team alternative designs or clearly demonstrate that the tree will remain a viable landscape element through additional investigation with attention to the considerations identified in the Standard. An area equivalent to the encroachment shall be added to the TPZ unless the project arborist can demonstrate that the tree will remain a viable landscape element.

Proposed development that encroaches into the crown of the tree shall be assessed on a case-by-case basis with due attention to considerations identified in the Standard. Any proposed works to the crown of the tree shall be undertaken in accordance with AS4373-2007 'Pruning of amenity trees' and recognised best practice.



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7. Opinions and Guidance

The following opinions and guidance have been made within the context of the proposal listed in Section 4.8 of this appraisal:

- 7.1. The footprint of the proposed Unit 1 will encroach upon the NRZ for Site ID. 20 a Willow Myrtle (*Agonis flexuosa*) by 13%, which is considered a Moderate encroachment as discussed in Section 6.3.

As the tree received a Low Retention Value due to reduced vigour and poor structure, consideration should be given to the removal and replacement of the tree. However, should the tree be retained, root pruning as detailed in Appendix 4 - Tree Protection Specifications, [Root Sensitive Excavation and Pruning](#) will need to be undertaken in advance of [Bulk Earthworks](#) to isolate the root plate of the tree, thus avoiding damage to the retained sections of the root plate.

[Ground Protection](#) to permit construction access to the north side of the proposed unit and [TPZ Fencing](#) will also be required.

- 7.2. Permanent site access assumed to run parallel to the western boundary of the site will encroach upon the NRZ for Site ID. 7 a Ghost Maple (*Acer negundo 'Variegatum'*) by less than 5%, 8 a Callery Pear (*Pyrus calleryana*) by 20%, 11 a Soft Tree Fern (*Dicksonia antarctica*) by less than 5%, 12 a Callery Pear by 38%, 21 a Narrow-leaved Peppermint (*Eucalyptus radiata*) by 9%, 22 a Narrow-leaved Peppermint by 19% and 24 a hedge of Kohuhu (*Pittosporum tenuifolium*) by 22%.

Limiting the impacts of the site access in particular to those trees with a Moderate or Major encroachment into their respective NRZ could be achieved through retention of the existing driveway of crushed rock over a geotextile laid at natural grade. A more permanent wearing surface will need to be constructed in accordance with the requirements specified under [Pavement Construction within a TPZ](#) and be permeable in particular where the driveway intersects the NRZ for SiteID.s' 8, 12, 22 and 24.

A service corridor should be situated along the eastern edge of the permanent site access thus avoiding the NRZ for those trees located in the adjoining property of 15 and 15A Station Road.

- 7.3. Standard tree protection measures including [Restricted Activities within the TPZ](#) and [Infrastructure Demolition Works](#) will also be applicable.
- 7.4. No other tree identified in this appraisal should be impacted by the proposed development.



Attachments

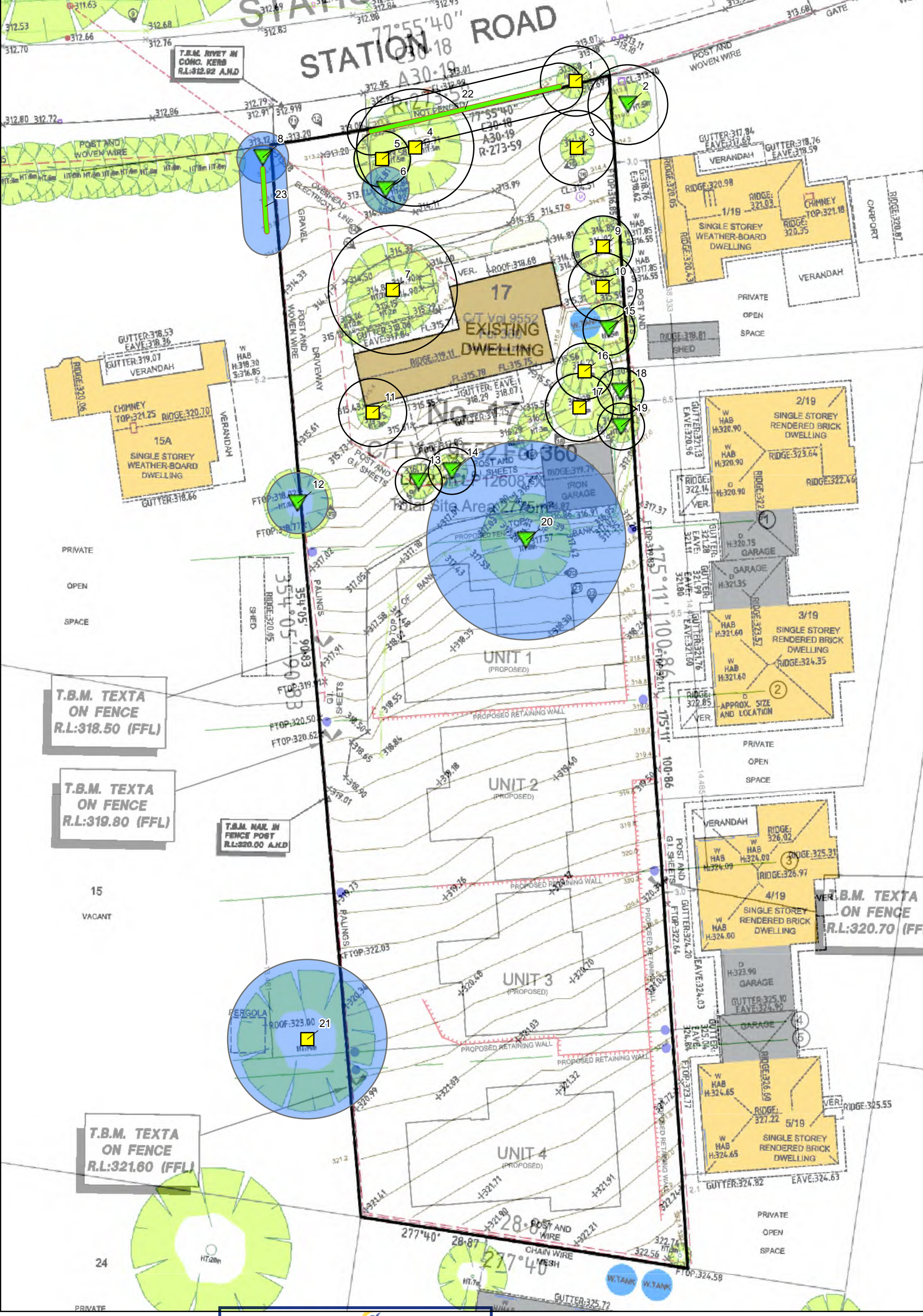
- Appendix 1 - Site Plan
- Appendix 2 - Site Data
- Appendix 3 - Tree Feature Descriptions
- Appendix 4 - Tree Protection Specifications

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Aja

17 Station Road, Gembrook



Legend

- Trees

Retention Value

High (0)

Moderate (11)

Low (10)
- Hedges

Retention Value

High (0)

Moderate (0)

Low (2)
- TPZ

Protection Status

Protected (6)

Exempt (17)

Cardinia

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Scale: 1:400

Date: 09/07/2025

0 2 4 8 12 16 20 24 28 32

Meters

Aja Arboriculture | 0407-625-121 | aja.arbor@gmail.com

PO Box 547 Leongatha VIC 3953 | ABN 89 647 282 446

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere. Trees represented as points, polylines or polygons not identified in the underlying feature survey have been plotted by Aja Arboriculture using a GNSS receiver with Ntrip correction, available field references and/or aerial imagery. Location accuracy and dimensional characteristics associated with points, polylines and polygons can be assumed to not exceed one (1) metre from true position. Layers and attributes listed in the Legend are georeferenced in this plan and can be accessed in CAD using the PDFIMPORT command.

Appendix 2 - Site Data with Images
17 Station Road, Gembrook

Site #: 1
Species: ***Trachycarpus fortunei***
Common Name: Chinese Windmill Palm
Origin: Exotic
Height (m): 6
Width (m): 2
DSH Field Measurements (cm): 25
AS4970 DSH Calculation (cm): 25
Basal Diameter (cm): 28
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Major Limitation
Landscape Viability: Medium
AS4970 NRZ Calculation (m): 3
AS4970 SRZ Calculation (m): 1.9
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 2
Species: ***Ilex aquifolium***
Common Name: English Holly
Origin: Exotic
Height (m): 6
Width (m): 4
DSH Field Measurements (cm): 28
AS4970 DSH Calculation (cm): 28
Basal Diameter (cm): 34
Life Stage: Semi-mature
Vigour: Excellent
Structure: Acceptable
Growth Space: Optimal
Landscape Viability: Long
AS4970 NRZ Calculation (m): 3.4
AS4970 SRZ Calculation (m): 2.1
Retention Value: **Low**
Comments:

Land Use and Social Contribution

ADVERTISED MATERIAL
Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Weed

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Site #: 3
Species: ***Dicksonia antarctica***
Common Name: Soft Tree Fern
Origin: Australian Native
Height (m): 3
Width (m): 2
DSH Field Measurements (cm): 27
AS4970 DSH Calculation (cm): 27
Basal Diameter (cm): 33
Life Stage: Semi-mature
Vigour: Poor
Structure: Acceptable
Growth Space: Optimal
Landscape Viability: Medium
AS4970 NRZ Calculation (m): 3.2
AS4970 SRZ Calculation (m): 2.1
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Indigenous



Appendix 2 - Site Data with Images
17 Station Road, Gembrook

Site #: 4
Species: ***Magnolia X soulangeana***
Common Name: Saucer Magnolia
Origin: Exotic
Height (m): 6
Width (m): 10
DSH Field Measurements (cm): 18,15,14,17,14,12,10,13,9
AS4970 DSH Calculation (cm): 42
Basal Diameter (cm): 53
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Minor Limitation
Landscape Viability: Long
AS4970 NRZ Calculation (m): 5
AS4970 SRZ Calculation (m): 2.5
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Notable
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 5
Species: ***Michelia figo***
Common Name: Port Wine Magnolia
Origin: Exotic
Height (m): 4
Width (m): 4
DSH Field Measurements (cm): 7,7,6,8,7,8,7,6
AS4970 DSH Calculation (cm): 20
Basal Diameter (cm): 27
Life Stage: Semi-mature
Vigour: Excellent
Structure: Acceptable
Growth Space: Minor Limitation
Landscape Viability: Long
AS4970 NRZ Calculation (m): 2.4
AS4970 SRZ Calculation (m): 1.9
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen

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Site #: 6
Species: ***Camellia japonica***
Common Name: Camellia
Origin: Exotic
Height (m): 4
Width (m): 3
DSH Field Measurements (cm): 8,10,9
AS4970 DSH Calculation (cm): 16
Basal Diameter (cm): 16
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Major Limitation
Landscape Viability: Medium
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.5
Retention Value: **Low**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Specimen



Appendix 2 - Site Data with Images
17 Station Road, Gembrook

Site #: 7
Species: ***Acer negundo 'Variegatum'***
Common Name: Ghost Maple
Origin: Exotic
Height (m): 8
Width (m): 11
DSH Field Measurements (cm): 16,24,25,16,19
AS4970 DSH Calculation (cm): 46
Basal Diameter (cm): 44
Life Stage: Semi-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Minor Limitation
Landscape Viability: Medium
AS4970 NRZ Calculation (m): 5.5
AS4970 SRZ Calculation (m): 2.3
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 8
Species: ***Pyrus calleryana***
Common Name: Callery's Pear
Origin: Exotic
Height (m): 2
Width (m): 1
DSH Field Measurements (cm): 18
AS4970 DSH Calculation (cm): 18
Basal Diameter (cm): 23
Life Stage: Semi-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Optimal
Landscape Viability: Short
AS4970 NRZ Calculation (m): 2.2
AS4970 SRZ Calculation (m): 1.8
Retention Value: **Low**
Comments: Tree has been topped.

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
Minimal
Ecosystem Contribution
Specimen

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Site #: 9
Species: ***Camellia japonica***
Common Name: Camellia
Origin: Exotic
Height (m): 4
Width (m): 4
DSH Field Measurements (cm): 10,10,9,14
AS4970 DSH Calculation (cm): 22
Basal Diameter (cm): 22
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Optimal
Landscape Viability: Long
AS4970 NRZ Calculation (m): 2.6
AS4970 SRZ Calculation (m): 1.8
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen



Appendix 2 - Site Data with Images
17 Station Road, Gembrook

Site #: 10
Species: ***Dicksonia antarctica***
Common Name: Soft Tree Fern
Origin: Australian Native
Height (m): 2
Width (m): 2
DSH Field Measurements (cm): 24
AS4970 DSH Calculation (cm): 24
Basal Diameter (cm): 31
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Minor Limitation
Landscape Viability: Long
AS4970 NRZ Calculation (m): 2.9
AS4970 SRZ Calculation (m): 2
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Indigenous



Site #: 11
Species: ***Dicksonia antarctica***
Common Name: Soft Tree Fern
Origin: Australian Native
Height (m): 2
Width (m): 2
DSH Field Measurements (cm): 24
AS4970 DSH Calculation (cm): 24
Basal Diameter (cm): 31
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Minor Limitation
Landscape Viability: Long
AS4970 NRZ Calculation (m): 2.9
AS4970 SRZ Calculation (m): 2
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Indigenous



Site #: 12
Species: ***Pyrus calleryana***
Common Name: Callery's Pear
Origin: Exotic
Height (m): 9
Width (m): 4
DSH Field Measurements (cm): 22
AS4970 DSH Calculation (cm): 22
Basal Diameter (cm): 25
Life Stage: Semi-mature
Vigour: Good
Structure: Major Correction
Growth Space: Optimal
Landscape Viability: Short
AS4970 NRZ Calculation (m): 2.6
AS4970 SRZ Calculation (m): 1.8
Retention Value: **Low**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Specimen



Appendix 2 - Site Data with Images
17 Station Road, Gembrook

Site #: 13
Species: **Camellia japonica**
Common Name: Camellia
Origin: Exotic
Height (m): 3
Width (m): 3
DSH Field Measurements (cm): 7,7,7,6,8
AS4970 DSH Calculation (cm): 16
Basal Diameter (cm): 16
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Optimal
Landscape Viability: Long
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.5
Retention Value: **Low**
Comments:

Land Use and Social Contribution

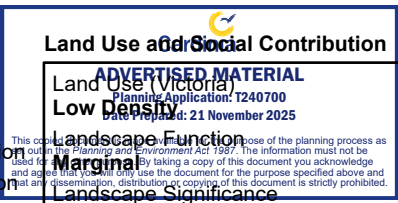
Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 14
Species: **Magnolia X soulangeana**
Common Name: Saucer Magnolia
Origin: Exotic
Height (m): 3
Width (m): 3
DSH Field Measurements (cm): 8,9,5
AS4970 DSH Calculation (cm): 13
Basal Diameter (cm): 14
Life Stage: Semi-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: Short
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.5
Retention Value: **Low**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 15
Species: **Callistemon viminalis**
Common Name: Weeping Bottlebrush
Origin: Australian Native
Height (m): 4
Width (m): 4
DSH Field Measurements (cm): 18
AS4970 DSH Calculation (cm): 18
Basal Diameter (cm): 21
Life Stage: Semi-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Minor Limitation
Landscape Viability: Short
AS4970 NRZ Calculation (m): 2.2
AS4970 SRZ Calculation (m): 1.7
Retention Value: **Low**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen



Appendix 2 - Site Data with Images
17 Station Road, Gembrook

Site #: 16
Species: ***Pieris japonica***
Common Name: Japanese Andromeda
Origin: Exotic
Height (m): 5
Width (m): 5
DSH Field Measurements (cm): 10,12,9,8
AS4970 DSH Calculation (cm): 20
Basal Diameter (cm): 24
Life Stage: Semi-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Minor Limitation
Landscape Viability: Medium
AS4970 NRZ Calculation (m): 2.4
AS4970 SRZ Calculation (m): 1.8
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 17
Species: ***Camellia japonica***
Common Name: Camellia
Origin: Exotic
Height (m): 5
Width (m): 5
DSH Field Measurements (cm): 12,11,10,8,6,8,6
AS4970 DSH Calculation (cm): 24
Basal Diameter (cm): 21
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Optimal
Landscape Viability: Long
AS4970 NRZ Calculation (m): 2.9
AS4970 SRZ Calculation (m): 1.7
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen

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Site #: 18
Species: ***Rhododendron sp.***
Common Name: Rhododendron sp.
Origin: Exotic
Height (m): 3
Width (m): 3
DSH Field Measurements (cm): 8,8,6
AS4970 DSH Calculation (cm): 13
Basal Diameter (cm): 17
Life Stage: Semi-mature
Vigour: Fair
Structure: Acceptable
Growth Space: Major Limitation
Landscape Viability: Medium
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.6
Retention Value: **Low**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen



Appendix 2 - Site Data with Images
17 Station Road, Gembrook

Site #: 19
Species: ***Solanum betaceum***
Common Name: Tamarillo
Origin: Exotic
Height (m): 2
Width (m): 2
DSH Field Measurements (cm): 15
AS4970 DSH Calculation (cm): 15
Basal Diameter (cm): 21
Life Stage: Mature
Vigour: Fair
Structure: Major Correction
Growth Space: Major Limitation
Landscape Viability: Remove
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.7
Retention Value: **Low**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 20
Species: ***Agonis flexuosa***
Common Name: Willow Myrtle
Origin: Australian Native
Height (m): 11
Width (m): 8
DSH Field Measurements (cm): 47,26,15,14
AS4970 DSH Calculation (cm): 71
Basal Diameter (cm): 68
Life Stage: Semi-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Optimal
Landscape Viability: Medium
AS4970 NRZ Calculation (m): 8.5
AS4970 SRZ Calculation (m): 2.8
Retention Value: **Low**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen

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Planning Application: T240700
Date Prepared: 21 November 2025
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Site #: 21
Species: ***Eucalyptus radiata***
Common Name: Narrow-leaved Peppermint
Origin: Victorian Native
Height (m): 22
Width (m): 9
DSH Field Measurements (cm): 57
AS4970 DSH Calculation (cm): 57
Basal Diameter (cm): 65
Life Stage: Semi-mature
Vigour: Fair
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: Short
AS4970 NRZ Calculation (m): 6.8
AS4970 SRZ Calculation (m): 2.8
Retention Value: **Moderate**
Comments:

Land Use and Social Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Indigenous



Appendix 2 - Site Data with Images

17 Station Road, Gembrook

Site #:	22	
Primary Species:	<i>Pittosporum tenuifolium</i>	Kohuhu
Secondary Species:	<i>Photinia serratifolia</i>	
Other Species:		
Average Height (m):	2	
Average Width (m):	2	
Average DBH Measurements (cm):	8,8,8	
AS4970 DBH Calculation (cm):	14	
Average Basal Diameter (cm):	14	
Life Stage:	Semi-mature	Land Use and Social Contribution Land Use (Victoria) Low Density Landscape Function Adequate Landscape Significance None Ecosystem Contribution Specimen
Vigour:	Good	
Structure:	Minor Correction	
Growth Space:	Optimal	
Landscape Viability:	Medium	
AS4970 TPZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.5	
Retention Value:	Low	
Comments:Partially maintained screen from the road.		



Site #:	23	
Primary Species:	<i>Pittosporum tenuifolium</i>	Kohuhu
Secondary Species:		
Other Species:		
Average Height (m):	2	
Average Width (m):	1	
Average DBH Measurements (cm):	8	
AS4970 DBH Calculation (cm):	8	
Average Basal Diameter (cm):	11	
Life Stage:	Semi-mature	Land Use and Social Contribution Land Use (Victoria) Low Density Landscape Function Marginal Landscape Significance None Ecosystem Contribution Specimen
Vigour:	Good	
Structure:	Acceptable	
Growth Space:	Minor Limitation	
Landscape Viability:	Long	
AS4970 TPZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.5	
Retention Value:	Low	
Comments:		



Appendix 3 - Tree Feature Descriptors

Feature Classes - Trees are classified into three groups, Individual Trees, Grouped Trees or Hedge Rows.

Category	Description
Individual Tree	An individual tree with one or more trunks that is represented in the Site Plan as a point. This may include two or more trees growing in close proximity where all trees are engaged in mutual structural support.
Grouped Trees	Multiple trees of one or more species that are represented in the Site Plan as a polygon. Grouped trees are generally managed as a discrete unit.
Hedge Row	Multiple trees of one or more species in a linear arrangement that are represented in the Site Plan as a polyline. Hedge Rows are generally managed as a discrete unit.

Site ID. ## - textural reference to the location of an Individual Tree, Grouped Trees or Hedge Row within the attached Site Plan appendix.

Species and Common Name - Defines the botanical name including genus, species, sub-species, variety and cultivar (if known) according to taxonomical classifications as published in current literature. The common name will be that that is familiar to the arboricultural assessor, the local community or referenced literature. This is a consideration of AS4970.

Origin - Identifies the general geographic origins of the tree species identified.

Category	Description
Victorian Native	Occurs naturally within some part of the State of Victoria.
Australian Native	Occurs naturally within Australia but is not a Victorian native.
Exotic	Does not occur naturally within Australia.
Mixed	Applies to Hedge Rows and Grouped Trees only where the feature is comprised of multiple species that have multiple places of origin.

Dimensional Characteristics

Diameter, circumference and other dimensional measurements not considered by AS4970 are determined and included as required by the relevant Local Authority.

Height and Width - Dimensions are expressed in metres (m). Defines the estimated height and width of a tree crown or combined crown for Grouped Trees or Hedge Rows. Crown heights are measured with a clinometer where possible. Crown width is paced and estimated at the widest axis or as an average of multiple radius in highly asymmetric crowns unless otherwise stated. Measurements rounded to the nearest metre.

Diameter at Standard Height (DSH) - Identifies the trunk diameter expressed in centimetres (cm) of a tree measured at 1.4m above the site grade unless otherwise stated. The methods used to determine this measurement are described in Appendix A of the Australian Standard AS 4970-2025 'Protection of trees on development sites'. Measurements undertaken using a diameter tape or builders tape. In the case of multi-stem (> 1 stem) Individual Trees, DSH field measurements are shown and a single DSH calculated value provided in accordance with the aforementioned Standard. DSH calculations are rounded to the nearest centimetre.

Stem Diameter - Identifies the diameter of the trunk expressed in centimetres (cm) of a tree immediately above the root buttress. Measurements undertaken using a diameter tape or builders tape and rounded to the nearest centimetre.

Crown Area - Calculated value of the crown area using the formula πr^2 , where 'r' is the average radius of the crown.

Life Stage - Identifies the physiological stage of the Features life cycle.

Category	Description
Young	Sapling tree and/or recently planted that is not yet established in the landscape.
Semi-mature	The tree is established in the landscape. Tree rapidly increasing in size and yet to achieve expected size in situation.
Early Mature	Specimen approaching expected size in situation.
Mature	Specimen has reached expected size in situation, with reduced incremental growth.
Over-mature	Tree may be senescent and in decline or crown area substantially reduced relative to trunk size.

Vigour - Describes the overall health and vigour of a Feature and is derived from the Condition variables identified in the iTree Eco v6.0 model. Category selection is based on the Feature displaying one or more of the criteria listed in the corresponding Description. This is a consideration of AS4970 and may be referred to elsewhere as Health.

Category	Description
Excellent	100% live crown. Leaf size and colour is consistent with that of a healthy example of the species. Shoot tips are healthy and display excellent extension. Buds are swollen.
Good	97% - 92% live crown. Leaf size and colour is consistent with that of a healthy example of the species. Shoot tips are healthy and display adequate extension. Buds are swollen.
Fair	87% - 77% live crown. Leaf size and colour is generally consistent with that of a healthy example of the species although some foliage (less than 20% of total crown volume) displays discolouration or reduced leaf size. Some shoot tips may display reduced extension and buds may show signs of damage or desiccation.
Poor	72% - 52% live crown. Leaf size and colour is not consistent with that of a healthy example of the species. Foliage (greater than 20% but less than 40% of total crown volume) displays discolouration or reduced leaf size. Shoot tips may display reduced extension and buds may show signs of damage or desiccation.
Critical	47% - 27% live crown. Leaf size and colour is not consistent with that of a healthy example of the species. Foliage (greater than 40% but less than 60% of total crown volume) displays discolouration or reduced leaf size. Shoot tips display reduced extension and buds show signs of damage or desiccation.
Dying	22% - 2% live crown. Leaf size and colour is not consistent with that of a healthy example of the species. Foliage (greater than 60% but less than 95% of total crown volume) displays discolouration or reduced leaf size. Shoot tips display limited extension and buds show distinct signs of damage or desiccation.
Dead	0% live crown. Leaf size and colour is not consistent with that of a healthy example of the species. Foliage (greater than 95% of total crown volume) displays discolouration or reduced leaf size. Shoot tips display no extension and buds are damage or desiccated.

Structure - Adapted in part from the Quantified Tree Risk Assessment (QTRA) manual and a consideration of AS4970, the descriptor is designed to inform planners, architects and arborists of the overall structural capacity of a Feature and provide a concise description of the input required to maintain a Feature within the landscape.

Category	Description
Acceptable	Minimal or no damage, disease or decay visible in the root plate, trunk, primary scaffold limbs or outer crown. No works are required to relieve structural faults or remedy conflict with adjoining edifices. The probability of failure is generally considered to be less than 1/1M
Minor Correction	Minimal to moderate damage, disease or decay visible in primary scaffold limb(s), outer crown or peripheral root(s) that could be corrected through appropriate treatment that would moderately improve Landscape Viability. Adjoining edifices may benefit from treatment. The probability of failure is generally considered to be less than 1/10K but greater than 1/M.
Major Correction	Moderate to major damage, disease or decay visible in primary scaffold limb(s), outer crown or peripheral root(s) that could be corrected through appropriate treatment that would significantly improve Landscape Viability. Adjoining edifices would benefit from treatment. The probability of failure is generally considered to be less than 1/1K but greater than 10/K.
Unacceptable	Moderate to major damage, disease or decay visible in the root plate or lower trunk. Major damage, disease or decay in primary scaffold limb(s) that cannot be corrected through appropriate treatments. Landscape Viability unlikely to be improved by treatment. The probability of failure is generally considered to be greater than 1/1K.

Appendix 3 - Tree Feature Descriptors

Available Growth Space - Describes the space above and below ground that can be reasonably assumed based on visual inspection of the site that the Feature can exploit for future crown and root development.

Category	Description
Optimal	Open, level or gently sloping ground. Minimal competition for available light, water and nutrient. Part of a group of similar species that is suitably spaced and likely to provide mutual support. Species genetically suited or adapted to the existing environment.
Minor Limitation	Moderately constrained location. Long standing built form present on one side of Features root zone. Surrounding trees are competing for available space, light, water or nutrients. Feature is regularly pruned to meet clearance requirements.
Major Limitation	Heavily constrained location. Root zone has been compacted by continuous and on-going traffic movements or built over with impervious surfaces. Crown crowded by surrounding larger trees or structures that impede natural form development.

Landscape Viability - Referred to in AS4970 as Estimated Life Expectancy after Barrell in Tree AZ, describes how long it could be reasonably expected that a tree feature will remain viable in an evolving landscape. Landscape Viability is informed by Life Stage, Vigour, Structure and Available Growth Space.

Category	Description
Long	Feature will likely contribute to the landscape for forty (40) or more years.
Medium	Feature will likely contribute to the landscape for between fifteen (15) to forty (40) years.
Short	Feature will likely contribute to the landscape for between five (5) to fifteen (15) years.
Remove	Feature will likely require removal within five (5) years.

Land Use and Environmental Contribution - Describes the contribution a tree feature provides to an existing landscape and is derived from MISS06 (2022) 'Tree Valuation' published by Arboriculture Australia and the Council of Tree and Landscape Appraisers (CTLA) 10th Edition 2018. Landscape Function, Landscape Significance and Ecosystem Contribution are considerations of AS4970.

Land Use (Victoria)	
Category	Description
Legal Instrument	Legal Instrument. Section 173 agreements that contain conditions on the property title requiring the retention and/or protection of vegetation.
Local Law	Local laws protecting vegetation on all land within a municipal area. Exempt trees are attributed according to designated land use for the site.
Statutory Planning	Statutory planning scheme overlays that protect vegetation on private and public land. Existing planning permits requiring the retention of trees. Exempt trees are attributed according to designated land use for the site.
Native Vegetation	Property subject to the provisions of 52.16 or 52.17 Native Vegetation. Exempt trees are attributed according to designated land use for the site.
Public Space	Public Space. Public Park and Recreation Zones. Public Conservation and Resource Zones.
High Density	High Density Mixed Use Zones. Township Zones.
Medium Density	Medium Density. Residential Growth Zone. General Residential Zone.
Low Density	Low Density Residential Zones. Neighbourhood Residential Zones. Green Wedge Zones. Rural Conservation Zones.
Special Purpose	Special Purpose Zones. Public Use Zones. Transport Zones. Commercial Zones.

Land Use (Victoria)	
Category	Description
Industrial/Farming	Industrial and Farming Zones.
Exempt Land	Exempt Land. Land not subject to statutory land zoning, native vegetation provisions, legal instruments or local laws.

Landscape Function	
Category	Description
Minimal	Nondescript tree, hedge or grouped planting in a poorly designed and/or maintained landscape. Planting contributes minimally to positive architectural, engineering, aesthetic or climate function. Canopy intersecting another tree
Marginal	Tree, hedge or grouped planting in a poorly designed and/or maintained landscape. Planting contributes marginally to positive architectural, engineering, aesthetic or climate function. One of a group of close plantings
Adequate	Tree, hedge or grouped planting of moderate value that contributes as a positive architectural, engineering, aesthetic or climate function. Wide plantings. Irregular spacing between trees; regular spacing one side (not hard surface)
Notable	Tree, hedge or grouped planting of moderate to high value that contributes as a positive architectural, engineering, aesthetic or climate function in a built environment. Hard surface planting (street or pathway), or plantings with regular spacing both sides
Exceptional	Individual feature specimen tree, hedge or grouped planting of significant value as a positive architectural, engineering, aesthetic or climate modifier. Avenue, park, reserve or other green space feature planting.

Landscape Significance	
Category	Description
None	The tree(s) is not considered significant within the landscape.
Important private property	The tree(s) represents a significant feature within the subject site or adjoining properties.
Important public space	The tree(s) represents a significant feature within the public realm as viewed from the subject site, adjoining properties and/or streetscapes.
Horticultural Rarity	Outstanding horticultural or genetic value; could be an important source of propagating stock, including specimens that are particularly resistant to disease or exposure. Any tree of a species or variety that is rare.
Local/state significant tree	Tree is listed in either a local or state significant tree register.
National significant tree	Tree is listed in a national significant tree register.

Ecosystem Contribution	
Category	Description
Weed	The tree(s) is a listed weed species.
Specimen	A typical garden specimen of a species commonly found in the urban context.
Indigenous	Remnant, regenerated or planted indigenous vegetation that contributes to biological diversity.

Appendix 3 - Tree Feature Descriptors

Ecosystem Contribution	
Category	Description
Habitat	Tree(s) could have value as habitat for indigenous wildlife, including providing breeding, foraging or roosting habitat, or is a component of a wildlife reserve.

Retention Value - Provides a concise rating of the Features value within the context of an evolving landscape that may include built form. Retention Value is informed by Landscape Viability, Landscape Contribution, published literature and the experience of the surveyor on the capacity of the Feature to tolerate and adapt to change.

Category	Description
High 	A tree of good quality that displays acceptable vigour and structure. The tree contributes to the existing landscape and has the potential to be long-term component in an evolving one if appropriately managed. The species is known to perform well within its given context and has desirable aesthetic traits. Retention of this tree is highly desirable.
Moderate 	A tree of reasonable quality that displays acceptable vigour and structure. The tree may have a condition, and or structural problem that can be corrected with arboricultural treatment. The species is known to perform within its given context. The tree has the potential to be a medium to long-term component of the landscape if managed appropriately. Retention of these trees is generally desirable.
Low 	A tree of poor quality that displays unacceptable vigour or structure. The tree may present an unacceptable hazard to existing and future users of the site. The tree is not considered significant within the landscape. These tree is easily replaceable. The species is functionally inappropriate given the context and may demand excessive management if retained. The cost to maintain this tree within the given context may exceed the benefit it provides to the landscape.

Tree Asset Value - Conforming with MIS506 'Tree Valuation' published by Arboriculture Australia and NZArb 2022, this adaptation of the minimum industry standard provides the shadow and actual monetary value for a tree feature. The values provided should be considered a guide to the value of a tree feature and are not suitable for cost recovery purposes without further consideration.

Shadow Value (B) - derived from MIS506 and tables published by Andrew Strauss (2022), the baseline shadow value is determined by the DSH of the tree feature.

Land Use Factor (Z) - determined by the Planning Property Report with reference to Local Laws, Section 173 agreements, existing planning permits, legal instruments and relevant documents listed in Section 4 of the appraisal.

Landscape Factors (T) - derived from field assessments. Population Densities are not considered in this component of the valuation;

Landscape Function (Tp) - adapted from location and proximity considerations in MIS506 and CTLA, the variable provides a concise description of the tree's function within landscape.

Ecosystem (Te) - adopted from MIS506, the variable provides a concise description of the tree's contribution to the ecosystem. Climate suitability is not considered.

Landscape Significance (Tg) - adopted from MIS506, the variable provides a concise description of the tree's significance within the landscape.

$$S \text{ Score} = (Tp + Te + Tg) / (6 + 6 + 0)$$

Quality Factors (Q) - derived from field assessments;

Vigour (V) - adapted from MIS506 and iTree Eco, the variable provides a concise description of the tree's vigour or health.

Structure (F) - adapted from MIS506 and QTRA, the variable provides a concise description of the tree's structure and form.

Landscape Viability (L) - adapted from MIS506 after Barrell, the variable provides a concise description of the anticipated life expectancy of a tree feature within a given landscape.

$$Q \text{ Score} = (V + F + L) / (24 + 28 + 28)$$

$$\text{Actual Value} = B \times Z \times T \times Q$$

Comments - Provides additional information concerning the Feature.

Notional Root Zone (NRZ) - Dimensions are expressed in metres (m) to one decimal place as a radius measured from the center of the trunk. Defined under the Standard as a specified area below ground and at a given distance from the trunk set aside for the protection of a tree's roots to provide for the viability and stability of a tree to be retained where it is potentially subject to damage by development.

Structural Root Zone (SRZ) - Dimensions are expressed in metres (m) to one decimal place as a radius measured from the center of the trunk. Defined under the Standard as the area around the base of a tree required for the tree's stability in the ground. Woody root growth and soil cohesion in this area is necessary to hold the tree upright.



ADVERTISED MATERIAL

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Date Prepared: 21 November 2025

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Appendix 4 - Tree Protection Specifications

1. General

The following specifications have been adapted from the Standard and current industry best practice and include processes designed to protect the trees identified for retention within and adjacent to the subject site.

2. Restricted Activities within the TPZ

The listed activities are not permitted in the TPZ for a retained tree located in the subject site or adjacent land:

- 2.1. The disturbance of soil profiles including excavation, cultivation or compaction of soil grades. Exceptions to this clause identified in Section 7 of this appraisal are specified under Clauses 9 or 10 of this Appendix.
- 2.2. Changes to soil grades including the placement of fill. Exceptions to this clause identified in Section 7 are specified under Clause 8 of this Appendix.
- 2.3. Waste, plant and material storage regardless of duration.
- 2.4. The preparation or use of chemicals including cement and fuels.
- 2.5. The cleaning or storage of equipment.
- 2.6. Vehicle, plant or pedestrian access or egress. Exceptions to this clause identified in Section 7 are specified under Clauses 4 and 5 of this Appendix.
- 2.7. The lighting of fires.
- 2.8. Physical damage to the tree including the affixing of temporary services cables, nails, screws or any other fixing device.

Important: Site workers and sub-contractors must be advised of the tree protection requirements identified for the subject site and adjacent land as part of the site induction process. Successful tree preservation requires a commitment from all parties involved including design, construction and management.

3. TPZ Fencing and Signs

- 3.1. Fencing must be constructed in accordance with AS 4687.2 and be erected prior to commencement of any works, including demolition. Fencing should ideally be placed in a manner that corresponds with the outside edge of the TPZ. Shade cloth or similar should be attached to reduce the transport of particulate matter into the protected area. Existing perimeter fencing and other structures may be suitable as part of the protective fencing. Please refer to Figure 1 for detail.
- 3.2. Signs should be affixed to the fencing that provides clear and accessible information concerning the establishment of the TPZ and should be a minimum A3 size. The lettering on the sign should comply with AS 1319. Please refer to Figure 2 for detail.
- 3.3. Once erected, fencing must not be removed or altered without approval by the project arborist until such time as the project is completed.
- 3.4. Fencing must be secured in a manner to restrict access or unauthorised relocation.

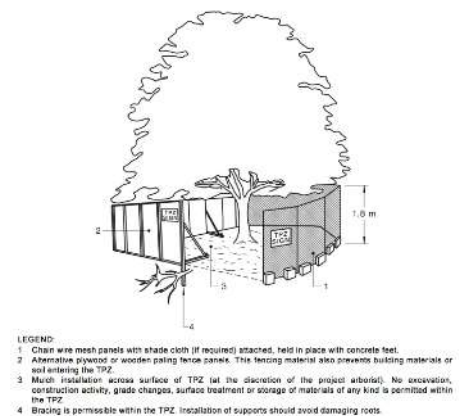


Figure 1 - from AS4970, Protective Fencing



Figure 2 - from AS4970, TPZ sign example



Appendix 4 - Tree Protection Specifications

4. Trunk and Branch Protection

Where tree protection fencing cannot be practicably installed to prevent damage to a tree's crown or requires temporary removal, the following measures must be applied.

- 4.1. Impact damage to trunks and/or limbs that could result from the slewing action of plant must be avoided by appropriate positioning of machinery. Passing construction traffic must follow traffic routes outside the drip line of the tree or height restrictions placed on passing vehicles if the access route passes within the drip line.
- 4.2. Trunk protection material should not be maintained for prolonged periods and should be removed from the tree as soon as the threat ceases.
- 4.3. Where necessary, install protection to the trunk and branches of trees as shown in Figure 3. The materials and positioning of protection are to be specified by the project arborist. A minimum height of 2 metres above site grade is recommended.
- 4.4. Do not attach temporary power lines, stays, guys and the like to the tree unless specifically permitted. Do not drive nails into the trunks or branches.
- 4.5. If required, flexible branches should be tied back rather than pruned. If the branch is not sufficiently flexible, then pruning in accordance with local requirements and AS 4373-2007 Pruning of amenity trees shall be applied.

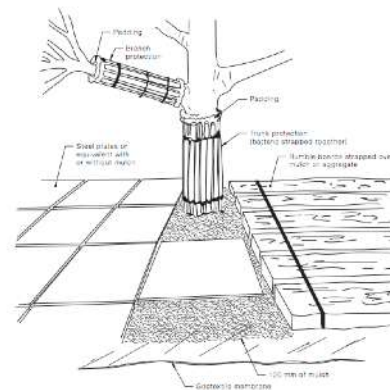


Figure 3 - from AS4970, Trunk and Ground Protection Measures

5. Ground Protection

Where tree protection fencing cannot be practicably installed or where construction access cannot be avoided and is required within a TPZ, ground protection to prevent root damage and soil compaction within the TPZ must be applied:

- 5.1. Temporary measures may include a permeable membrane such as geotextile fabric beneath a layer of mulch below rumble boards, steel plates or ground (bog) mats as per Figure 3.
- 5.2. Temporary or more permanent measures may include the use of a permeable ground stabilisation technology such as [GeoHex™](#).
- 5.3. Ground protection within a TPZ must be used for construction access or egress only. Restrictions identified in Clause 2 must be applied in TPZ areas where ground protection is applied.

6. Mulching

Mulch where required must be applied to a depth of between 50 - 100 millimetres over the entire soil area within the TPZ. The area must be weed-free and lightly moistened prior to the application of mulch. Composted organic mulches with a low fine content are preferred as they will contribute to organic matter, nutrient availability, limit the 'sponge' effect, and reduce the loss of soil moisture. Mulches will comply with AS4454.

7. Infrastructure Demolition Works

Works that have been identified and approved to occur within or adjacent to the TPZ identified in [Section 7](#) of this appraisal will be subject to the following clauses:

- 7.1. Where existing infrastructure is scheduled for demolition, care should be taken not to disturb tree roots that may be present beneath. Handheld tools or appropriate machinery must be used to carefully remove any existing infrastructure without unduly disturbing underlying soil profiles.
- 7.2. If machinery equipped with a bucket or blade is used for the demolition of existing infrastructure, the bucket or blade must be orientated to work radially away from the trunk of a retained tree rather than across the root plate. This will avoid longitudinal root shattering. Machinery will ideally

Appendix 4 - Tree Protection Specifications

operate from outside the TPZ or temporary ground protection as detailed under [Ground Protection](#) will be applied where machinery access to the TPZ cannot be avoided.

- 7.3. Scalping of soil grades within the TPZ is only permitted to uppermost strata (AO) for the removal of accumulated debris, loose organic matter and/or turf. Lowering of grades within the TPZ deeper than the AO is not permitted. Scalping undertaken within the TPZ should be undertaken by hand. Machinery with a bucket or blade can be used if that machinery will not impact upon unprotected above-ground tree parts or the NRZ and must be orientated to work radially away from the trunk and may not operate closer than 2 metres from the trunk edge of a retained tree.
- 7.4. Underground services located within the TPZ that are to be decommissioned are to be severed outside the TPZ and underground infrastructure located within the TPZ left in situ. Above-ground connections to the decommissioned services located within the TPZ may be removed without unduly disturbing soil profiles.
- 7.5. Pruning of roots greater than 25 millimetres in diameter within or at the edge of the TPZ must be undertaken using a sharp saw or secateurs. Any machinery not specifically designed to prune woody plant material must not be used. No roots greater than 50 millimetres will be cut without the consent of the project arborist.
- 7.6. Exposed roots must not be allowed to desiccate. Exposed roots must be immediately covered with a sandy loam as defined by AS4419 to a depth of no less than 20 millimetres and the media thoroughly moistened. Alternately, a pre-moistened thick hessian or jute matting covering may be pinned over the exposed roots as a temporary measure until an approved media is installed. Matting or similar must be kept damp until such time as the roots are permanently covered.

8. Root Sensitive Excavation and Pruning

Root sensitive excavation, sometimes referred to as non-destructive digging (NDD), is used when further investigation is required to determine the extent of the obscured root plate within the NRZ. The same method is also be applied where open trench excavation or preliminary root pruning is required in advance of bulk earthworks that cannot be avoided within the TPZ and shall be conducted using the following methods:

- 8.1. No mechanical machinery is to be used for excavation works. Vacuum (hydraulic or pneumatic) excavation or excavation by hand are considered suitable methods for opening ground within an NRZ.
- 8.2. Adapted from archaeological methods; excavation works must be conducted from the known (visible roots) to the unknown from the top down in incremental shifts (strata) of between 50 - 100 millimetres. Care must be taken not to damage coarse roots (roots that have undergone secondary thickening). Fine roots (generally less than 5 millimetres in diameter) may be severed for the purpose of gaining access to lower soil profiles. Fine root severance must be restricted to only that necessary to accommodate the desired dimensions which will be specified prior to the commencement of works. Following completion of excavation works, exposed roots shall be appropriately covered with a sandy loam as defined by AS4419. Backfill will be installed in 100 millimetre shifts, lightly moistened and tamped to remove voids. A temporary covering of pre-moistened thick hessian or jute matting may be pinned over the exposed roots until the approved media is installed. Matting or similar must be kept damp until such time as the roots are permanently covered.
- 8.3. Pruning of coarse roots within or at the edge of the TPZ must be undertaken using a sharp saw or secateurs. Any machinery not specifically designed to prune woody plant material must not be used. No roots greater than 50 millimetres will be cut without the consent of the project arborist.
- 8.4. Works will be undertaken by suitably competent persons, supervised and documented by the project arborist.



Appendix 4 - Tree Protection Specifications

9. Bulk Excavation

Excavation that has been identified and approved to occur within or adjacent to the TPZ identified in [Section 7](#) of this appraisal will be subject to the following clause:

- 9.1. Bulk excavation works within a TPZ may only occur once specialist excavation works identified in [Section 7](#) and detailed under [Root Sensitive Excavation](#) have isolated the root plate from the excavation.
- 9.2. Machinery will not impact upon unprotected above-ground tree parts and will ideally operate from outside the TPZ or on temporary ground protection as detailed under [Ground Protection](#) where machinery access over the TPZ cannot be avoided.

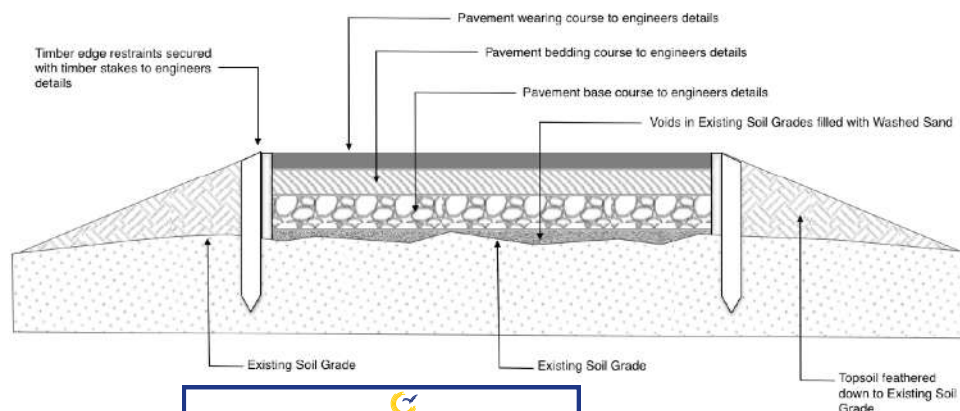
10. Pavement Construction within a TPZ

The construction of load-bearing pavements within a TPZ can be achieved using a variety of methods that preserve the underlying roots and the volumes of soils whilst maintaining a trafficable surface. Section of paving within a TPZ ideally should be permeable to allow for continued water percolation and gaseous diffusion or be constructed to cantilever or bridge the TPZ.

- 10.1. The design of a 'No Dig' pavement system within a TPZ must be developed by an engineer to meet site conditions and load-bearing requirements. Please refer to Figure 4 for detail. 'No Dig' pavement systems disburse load over the entire structure, limiting the potential for underlying natural soils to become compacted.
- 10.2. The following principles are provided to guide an engineer in the design and construction of a 'No Dig' permeable paving surface.
 - A minimum clearance of 2 metres should be provided from the trunk edge to the inflexible ground-laid pavement to avoid potential radial root expansion damage to the surface. Flexible pavement systems may be employed where clearances are less than 2 metres; however, a minimum 500 millimetre clearance from the trunk edge should be permitted to allow for trunk girth and buttress root development.
 - Pavement construction within the TPZ of Retained Trees must be laid above the A horizon following the removal of the AO or pre-existing pavement systems.
 - Paving must be sufficiently porous so as to have a saturated hydraulic conductivity equal to or greater than that of the natural soils (sub-grade) on which the pavement is laid.
 - Paving must have a functional longevity that will not over time permit ponding between layers or silting that will reduce the saturated hydraulic conductivity of the pavement system to below that of the underlying natural soils (sub-grade).
 - Simple wearing surface can be constructed using ground stabilising grid mat systems that are load-bearing, permeable, low-profile surface (<50mm height) that is laid at existing grade and can be filled with either turf or granitic gravel. The AO horizon (surface organic materials) is generally removed and the grid mat laid to closely match existing grades.

Typical 'No Dig' Pavement Profile Section (Not to Scale)

Figure 4



Appendix 4 - Tree Protection Specifications

11. Project Arborist Responsibilities

- 11.1. To ensure compliance with tree protection measures during the pre-construction and construction stages, the project arborist should specify the minimum number or frequency of site inspections. Matters to be monitored and reported should include any changes to the tree's condition, tree protection measures, and the impact of site works that can arise from changes to the approved development documentation.
- 11.2. During pre-construction and construction stages, the construction manager may consult with the project arborist to modify tree protection measures due to unforeseen circumstances that delay the orderly progress of works. The project arborist will, in consultation, investigate and recommend alternative measures where possible. Alternative measures may require the approval of the relevant authority.
- 11.3. Non-compliance with the tree protection measures or consent conditions shall be assessed by the project arborist and remedial works specified where required. Where stipulated in the consent conditions, the relevant authority shall be notified of non-compliance issues. Monitoring, reporting, and certification should be carried out as detailed in the Tree Protection Specifications (TPS), Tree Protection Plan (TPP), and consent conditions.
- 11.4. Structural failure, serious decline or death of a retained tree shall be assessed and documented by the project arborist. Remedial actions, where required, will be identified. Where stipulated in the consent conditions, the relevant authority shall be notified of the change to tree condition.
- 11.5. The project arborist shall respond to matters arising in an agreed manner and timeframe as determined within the terms of engagement.



REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

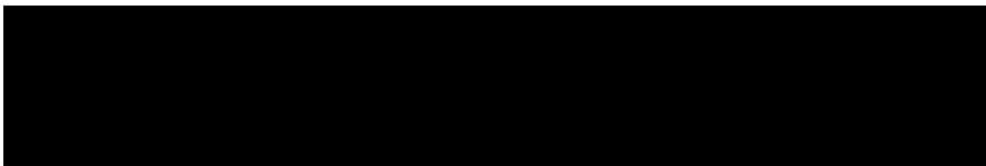
VOLUME 09552 FOLIO 360

Security no : 124112463762J
Produced 07/02/2024 03:56 PM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 126087.
PARENT TITLE Volume 03505 Folio 889
Created by instrument K756609 14/02/1984

REGISTERED PROPRIETOR




ADVERTISED MATERIAL
Planning Application: T240700
Date Prepared: 21 November 2025

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ENCUMBRANCES, CAVEATS AND NOTICES



Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP126087 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 17 STATION ROAD GEMBROOK VIC 3783

ADMINISTRATIVE NOTICES

NIL

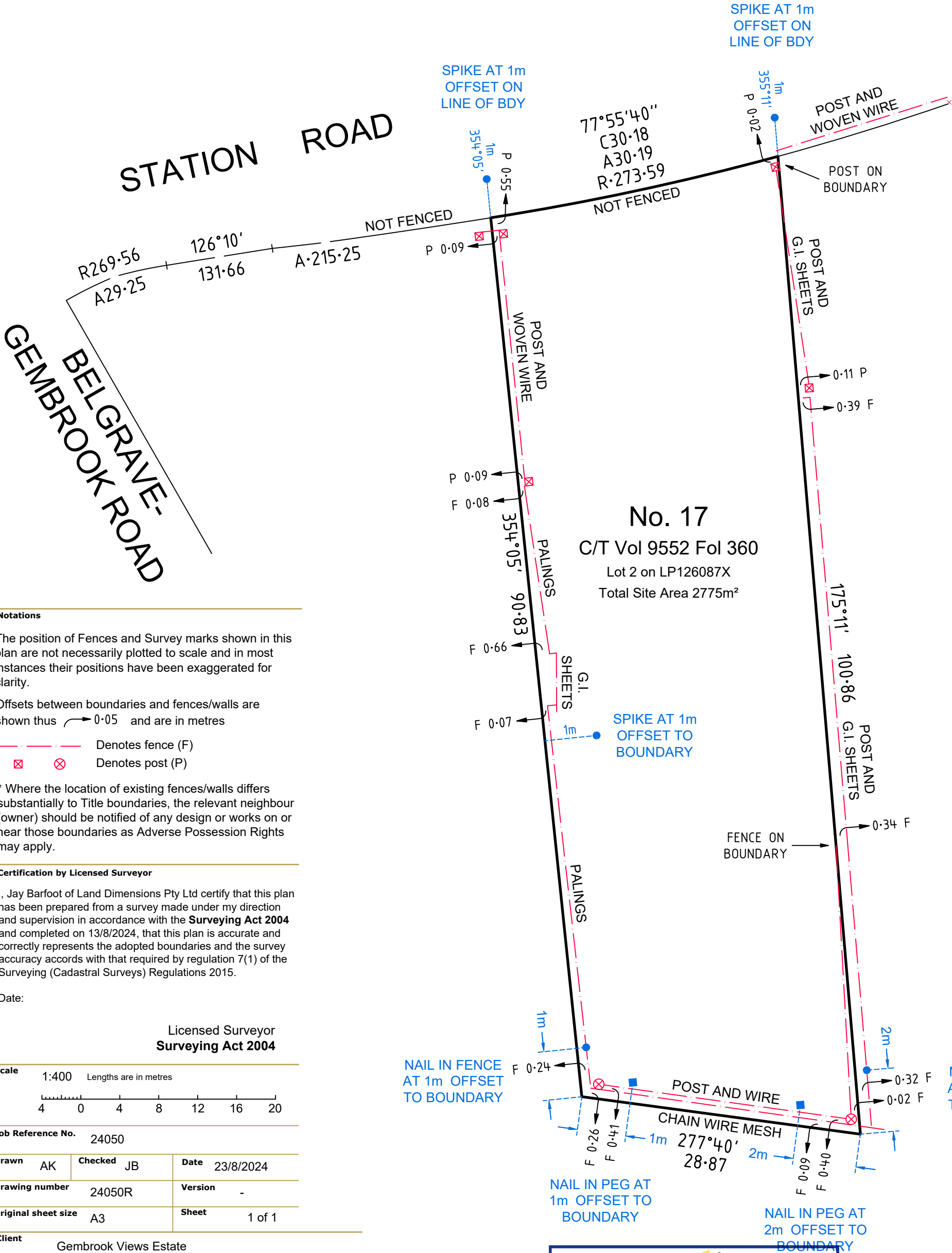


DOCUMENT END

Title Re-establishment Survey

17 Station Road, Gembrook

Certificate of Title Vol 9552 Fol 360
Lot 2 on Plan of Subdivision 126087



Notations

The position of Fences and Survey marks shown in this plan are not necessarily plotted to scale and in most instances their positions have been exaggerated for clarity.

Offsets between boundaries and fences/walls are shown thus $\curvearrowright$ 0.05 and are in metres

- $\text{---} \text{---} \text{---}$ Denotes fence (F)
- $\boxtimes$ $\boxtimes$ Denotes post (P)

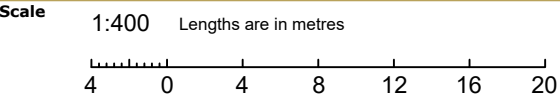
* Where the location of existing fences/walls differs substantially to Title boundaries, the relevant neighbour (owner) should be notified of any design or works on or near those boundaries as Adverse Possession Rights may apply.

Certification by Licensed Surveyor

I, Jay Barfoot of Land Dimensions Pty Ltd certify that this plan has been prepared from a survey made under my direction and supervision in accordance with the **Surveying Act 2004** and completed on 13/8/2024, that this plan is accurate and correctly represents the adopted boundaries and the survey accuracy accords with that required by regulation 7(1) of the Surveying (Cadastral Surveys) Regulations 2015.

Date:

Licensed Surveyor
Surveying Act 2004



Job Reference No. 24050			
Drawn	AK	Checked	JB
Date		23/8/2024	
Drawing number		24050R	
Version		-	
Original sheet size		A3	
Sheet		1 of 1	

Client Gembrook Views Estate

LAND DIMENSIONS



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**Cardinia**

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Adverse Possession Rights may apply to fence or building encroachments which are in excess of 15 years of age (see notations)*

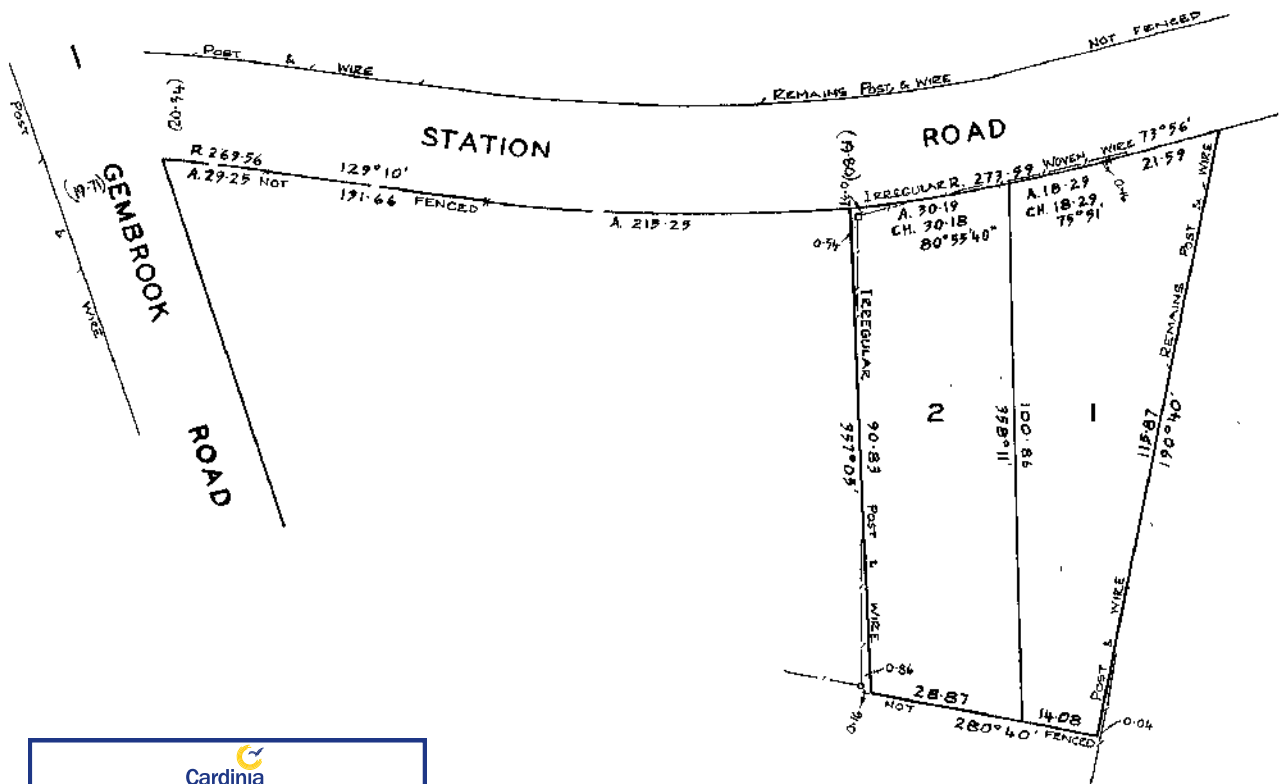
LP126087X
EDITION 1
APPROVED 12/4/78

PLAN OF SUBDIVISION
PART OF CROWN ALLOTMENT A 17
PARISH OF GEMBROOK
COUNTY OF EVELYN

SCALE 1 4 8 0 20 40
LENGTHS ARE IN METRES
CHART No. 10

REF. 2034

BELGRAVE



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