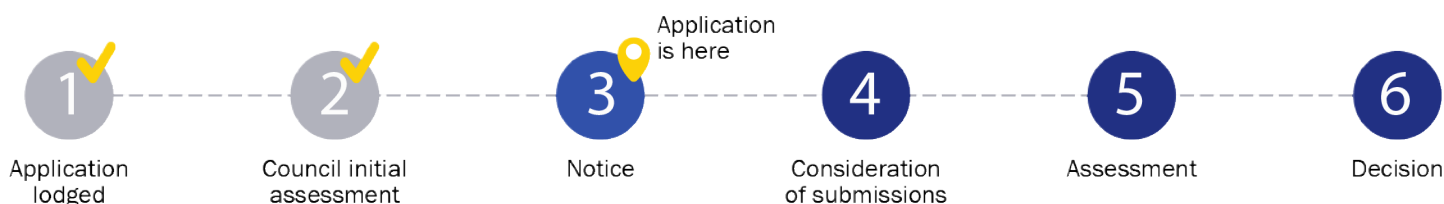


Notice of Application for a Planning Permit

The land affected by the application is located at:	L4 LP32602 V8359 F986 15 Garfield Road, Garfield VIC 3814
The application is for a permit to:	Construction of six (6) dwellings on a lot and alterations and additions to an existing dwelling
A permit is required under the following clauses of the planning scheme:	
32.08-7	Construct two or more dwellings on a lot
APPLICATION DETAILS	
The applicant for the permit is:	ARD Investments Pty Ltd c/o Human Habitats
Application number:	T250120
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	
09 December 2025	
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.





Planning Enquiries
Phone: 1300 787 624
Web: www.cardinia.vic.gov.au

Clear Form

Office Use Only

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

Questions marked with an asterisk (*) must be completed.

If the space provided on the form is insufficient, attach a separate sheet.

Click for further information.

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:

St. No.: 15

St. Name: Garfield Road

Suburb/Locality: Garfield

Postcode: 3814

Formal Land Description *

Complete either A or B.

This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A ☐ Lodged Plan ☐ Title Plan ☒ Plan of Subdivision No.: 032602

OR

B

The Proposal

You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

For what use, development or other matter do you require a permit? *

Development of six (6) residential dwellings and the retention of the existing dwelling on the land

Cardinia
ADVERTISED MATERIAL

Planning Application: T250120
Date Prepared: 21 November 2025

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Estimated cost of any development for which the permit is required *

Cost \$1,500,000.00

You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

one (1) single storey dwelling and double garage. Vegetation identified within the site.

 Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☒ No
- ☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:

Title:

First Name:

Surname:

Organisation (if applicable): ARD Investments P/L c/o Human Habitats

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No. 424

St. No. 838

St. Name: Collins Street

Suburb/Locality: Docklands

State: VIC

Postcode: 3008

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details*

Same as applicant ☒

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Same as applicant ☐

Name:

Title:

First Name:

Surname:

Organisation (if applicable): ARD Investments Pty Ltd

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.: 235

St. Name: Pearcedale Road

Suburb/Locality: Cranbourne South

State: VIC

Postcode: 3977

Owner's Signature (Optional):

Date:

day / month / year



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Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:

Date: 19/02/2025

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

☒ No

☐ Yes

If 'Yes', with whom?:

Date:

day / month / year

Checklist

Have you:

☒ Filled in the form completely?

☒ Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

☒ A full, current copy of title information for each individual parcel of land forming the subject site.

☒ A plan of existing conditions.

☒ Plans showing the layout and details of the proposal.

☒ Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

☒ If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

☒ If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

☒ Completed the relevant council planning permit checklist?

☒ Signed the declaration?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact information:

Telephone: 1300 787 624

Email: mail@cardinia.vic.gov.au

DX: 81006

Deliver application in person, by post or by electronic lodgement.





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proposed unit development

Unit Development
no.15 Garfield Rd
Garfield

client

ARD INVESTMENTS PTY LTD

DRAWING SCHEDULE

SHEET	TITLE
01	SURVEY PLAN
02	SITE CONTEXT
03	DESIGN RESPONSE PLAN
04	GARDEN AREA PLAN
05	SITE PLAN
06	AREA ANALYSIS
07	EXISTING RESIDENCE 1
08	UNITS 2 + 3
09	UNITS 4 + 5
10	UNITS 6 + 7
11	SITE ELEVATIONS
12	SHADOW DIAGRAM 9am
13	SHADOW DIAGRAM 12pm
14	SHADOW DIAGRAM 3pm



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PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
SURVEY PLAN

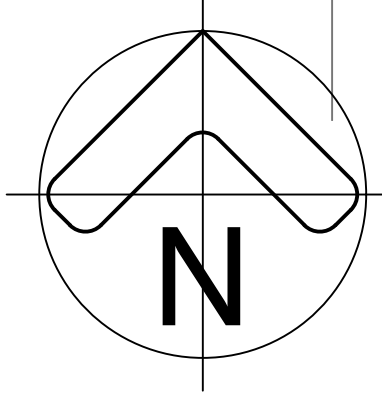
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Ronnie Whitton
Design
Shop 4, 35 Woods Street
Beaconsfield
Vic 3807
• ABN: 83 711 332 500
• phone: 0414 730 997

REVISION	DATE	DESCRIPTION
A	15/3/24	FIRST ISSUE
B	18/8/25	RFI RESPONSE

DATE: MARCH 2024
SCALE: 1 : 200
REV: - B

JOB No:
4249.TP
SHEET NO.
TP 01





Cardinia

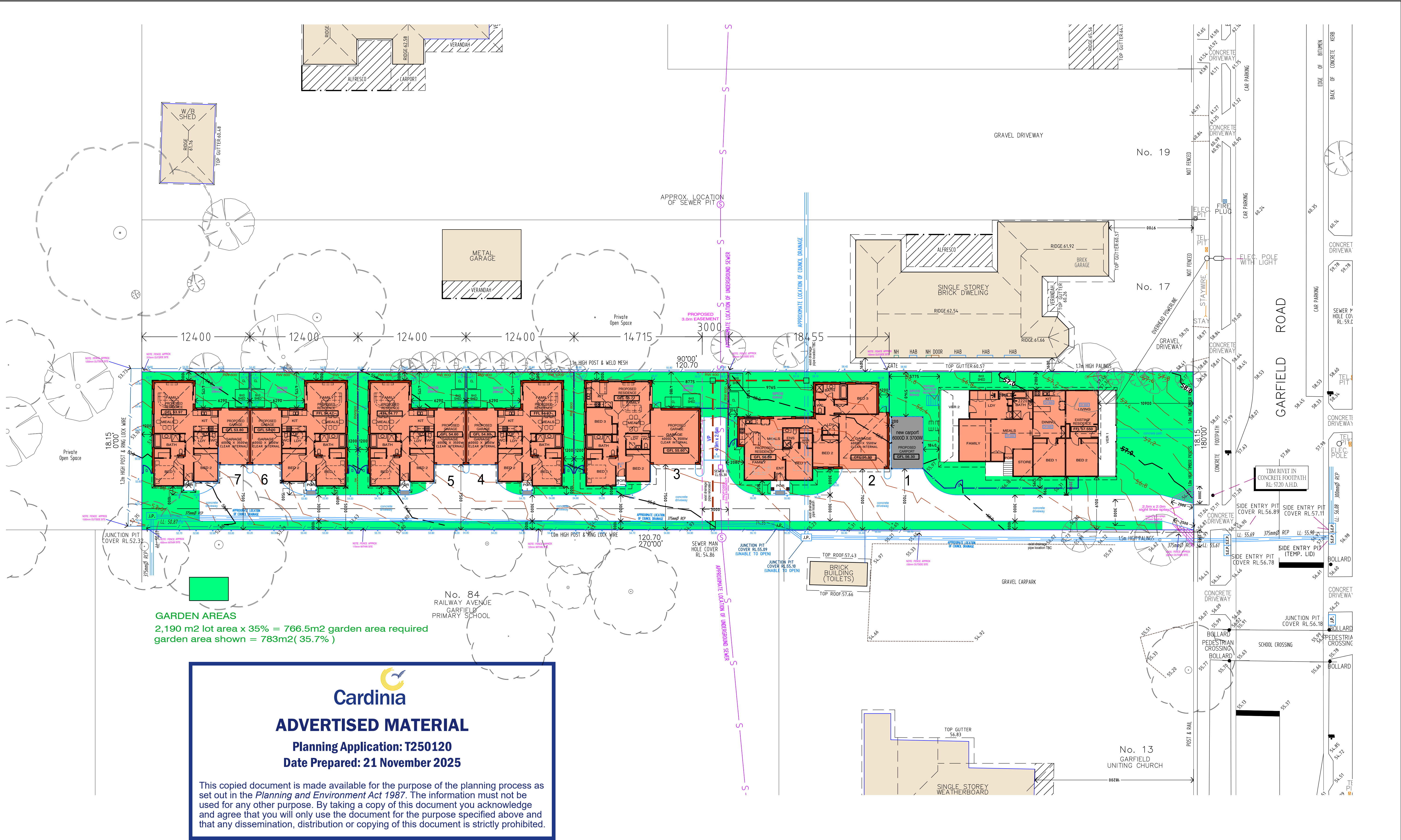
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PROJECT CLIENT ADDRESS	PROPOSED UNIT DEVELOPMENT ARD INVESTMENTS PTY LTD No.15 GARFIELD ROAD GARFIELD	DRAWING TITLE DESIGN RESPONSE	These plans have been prepared by Ronnie Whitton Design for the exclusive use by its client, on the allotment nominated in the title block. These plans form part of a town planning application and are not to be used for purposes of construction Written dimensions shall take precedence over any scale. Do not scale from plan	Ronnie Whitton Design Shop 4, 35 Woods Street Beaconsfield Vic 3807 • ABN: 83 711 332 500 • phone: 0414 730 997	REVISION	DATE	DESCRIPTION	DATE: MARCH 2024 SCALE: 1 : 200 REV: - B	JOB No: 4249.TP SHEET NO. TP 03
					A	15/3/24	FIRST ISSUE		
					B	18/8/25	RFI RESPONSE		



GARDEN AREAS
2,190 m2 lot area x 35% = 766.5m2 garden area required
garden area shown = 783m2(35.7%)

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ADVERTISED MATERIAL
Planning Application: T250120
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PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
GARDEN AREA PLAN

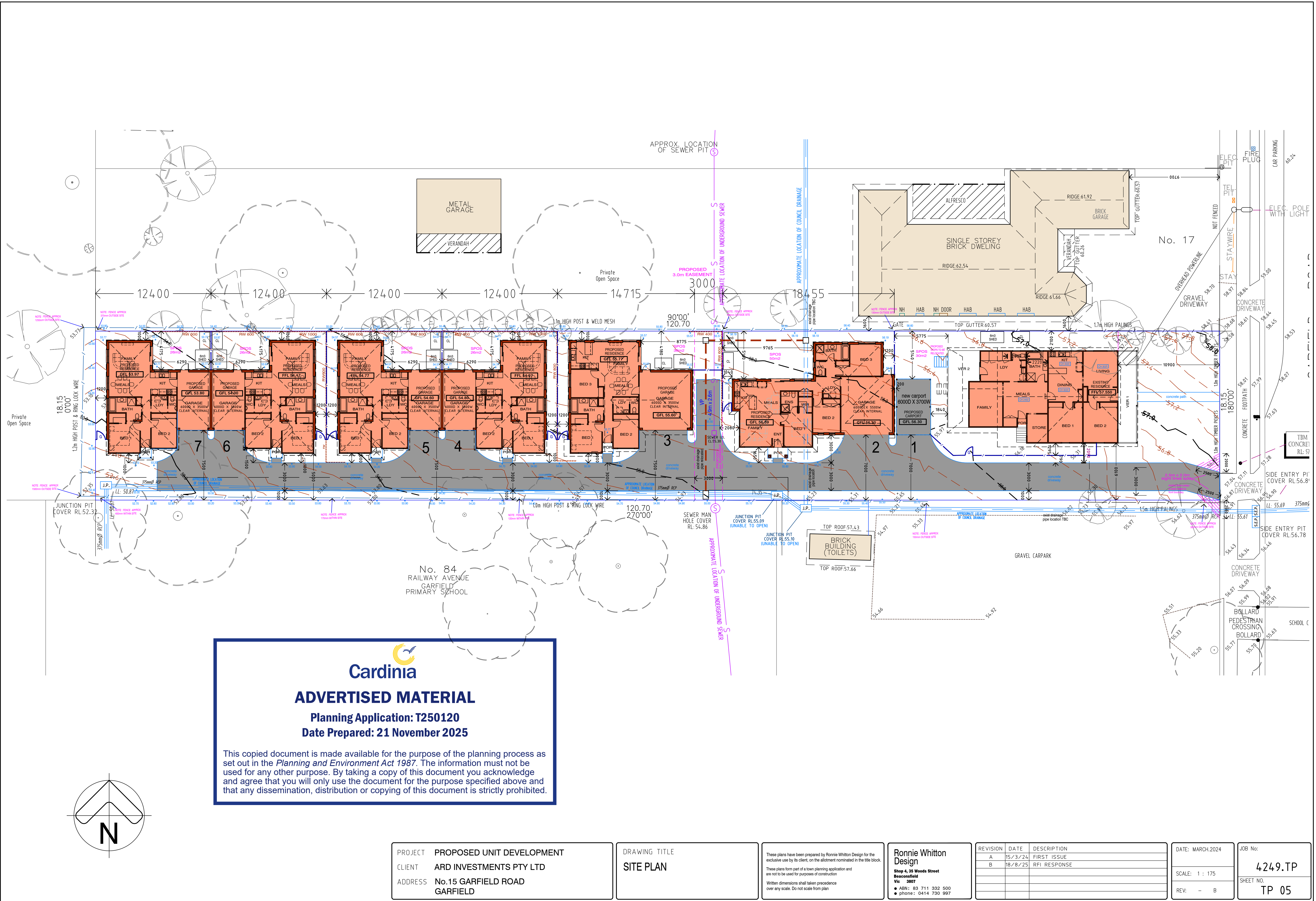
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JOB No:
4249.TP
SHEET NO.
TP 04

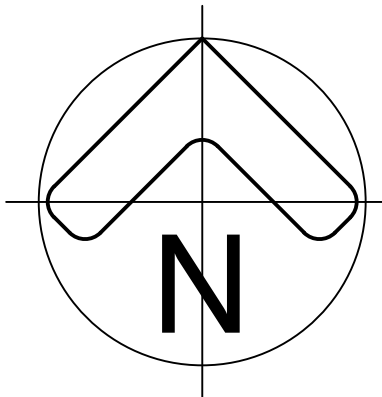


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PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
SITE PLAN

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REVISION	DATE	DESCRIPTION
A	15/3/24	FIRST ISSUE
B	18/8/25	RFI RESPONSE

DATE: MARCH 2024
SCALE: 1 : 175
REV: - B

JOB No:
4249.TP
SHEET NO.
TP 05

AREA ANALYSIS

UNIT NUMBER	NO. 8+10 SITE AREA	RESIDENCE FLOOR AREA	GARAGE / CARPORT FLOOR AREA	PORCH/ VERANDAH AREA	TOTAL BUILDINGS AREA RESIDENCE , GARAGE VER/PORCHES		OUTDOOR PAVED AREAS	DRIVEWAYS	TOTAL HARD SURFACE COVERAGE	UNIT NUMBER	SECLUDED PRIVATE OPEN SPACE - SPOS MIN. 3m WIDE	PRIVATE OPEN SPACE - TOTAL
EXIST RESIDENCE 1		144.43m2	22.20m2	45.76m2	212.39m2					EXIST RESIDENCE 1	30m2	106m2
2		107.22m2	35.98m2	2.50m2	145.70m2					2	50m2	68m2
3		89.66m2	37.01m2	1.25m2	127.92m2					3	36m2	57m2
4		81.20m2	23.32m2	1.35m2	105.87m2					4	26m2	44m2
5		81.20m2	23.32m2	1.35m2	105.87m2					5	26m2	44m2
6		81.20m2	23.32m2	1.35m2	105.87m2					6	26m2	44m2
7		81.20m2	23.32m2	1.35m2	105.87m2					7	26m2	44m2
TOTALS		2,190m2				909.49m2 41.5% SITE COVERAGE					56m2	490m2



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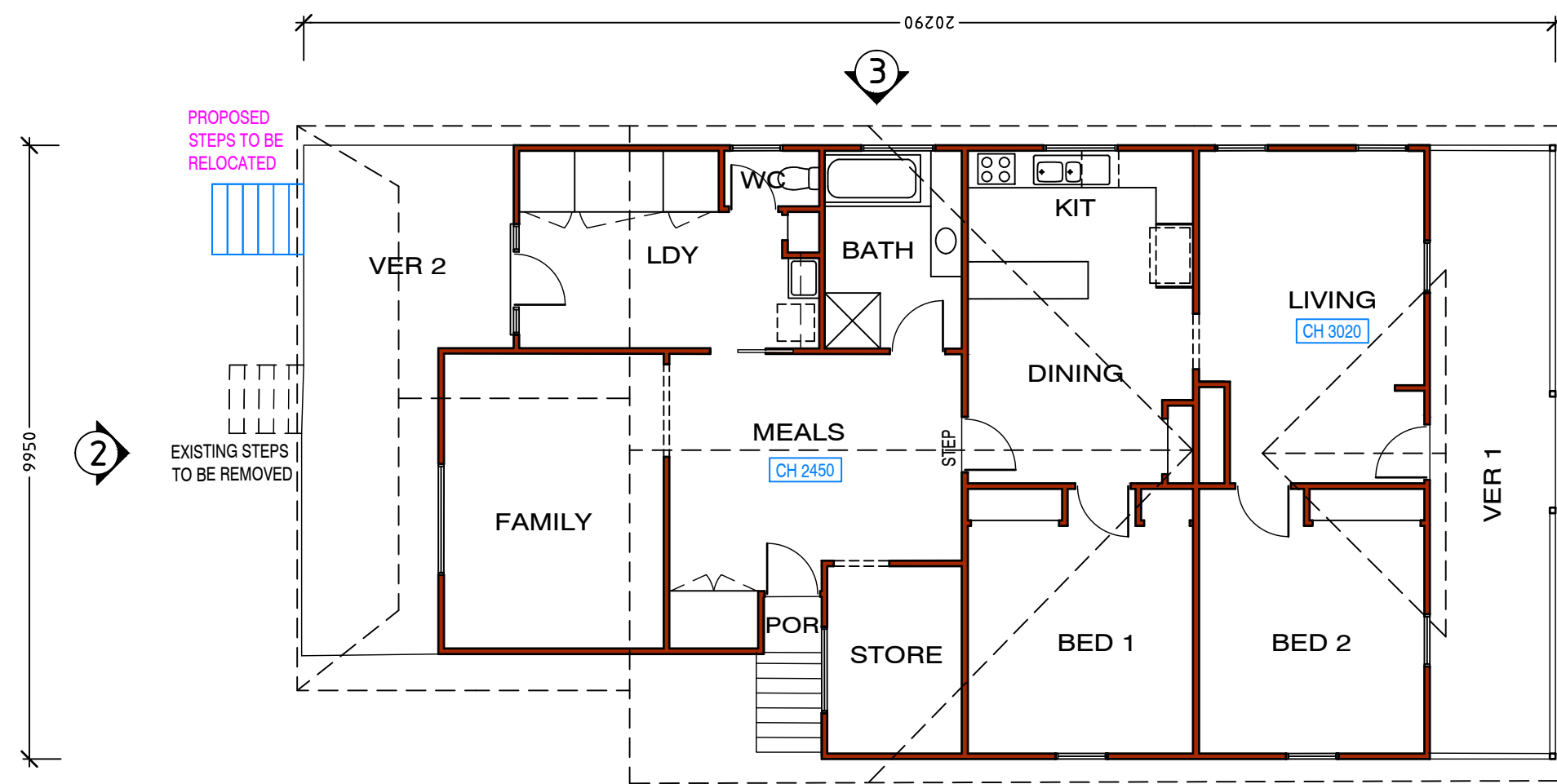
PROJECT	PROPOSED UNIT DEVELOPMENT	DRAWING TITLE	These plans have been prepared by Ronnie Whittton Design for the exclusive use by its client, on the allotment nominated in the title block. These plans form part of a town planning application and are not to be used for purposes of construction Written dimensions shall taken precedence over any scale. Do not scale from plan	Ronnie Whittton Design Shop 4, 35 Woods Street Beaconsfield Vic 3807 ● ABN: 83 711 332 500 ● phone: 0414 730 997	REVISION	DATE	DESCRIPTION	DATE: MARCH.2024	JOB No:
CLIENT	ARD INVESTMENTS PTY LTD	AREA ANALYSIS PLAN			A	15/3/24	FIRST ISSUE	SCALE: N/A	4249.TP
ADDRESS	No.15 GARFIELD ROAD GARFIELD				B	18/6/25	RFI RESPONSE		



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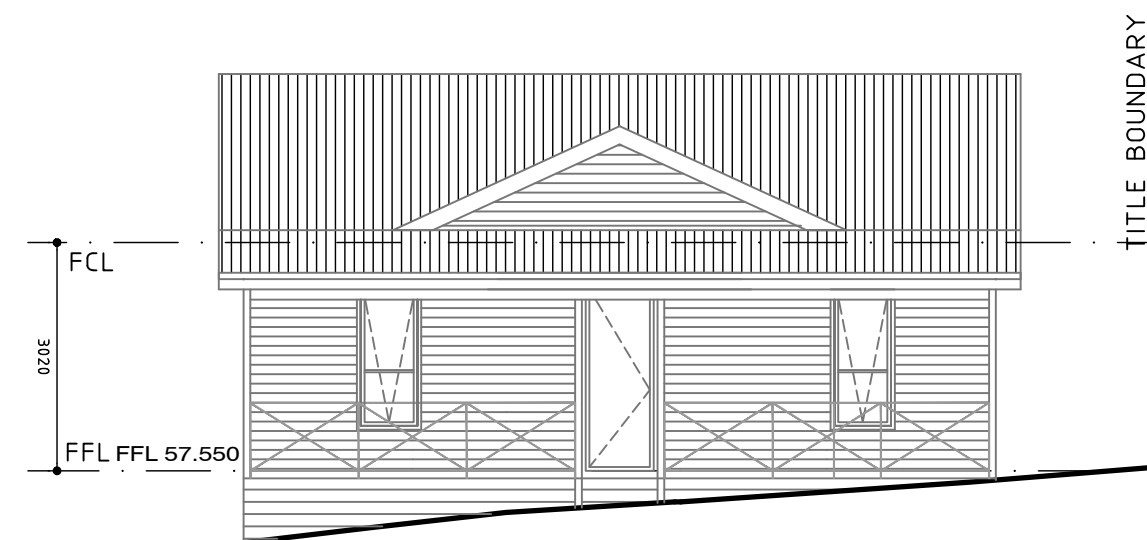
EXISTING UNIT 1

UNIT 1

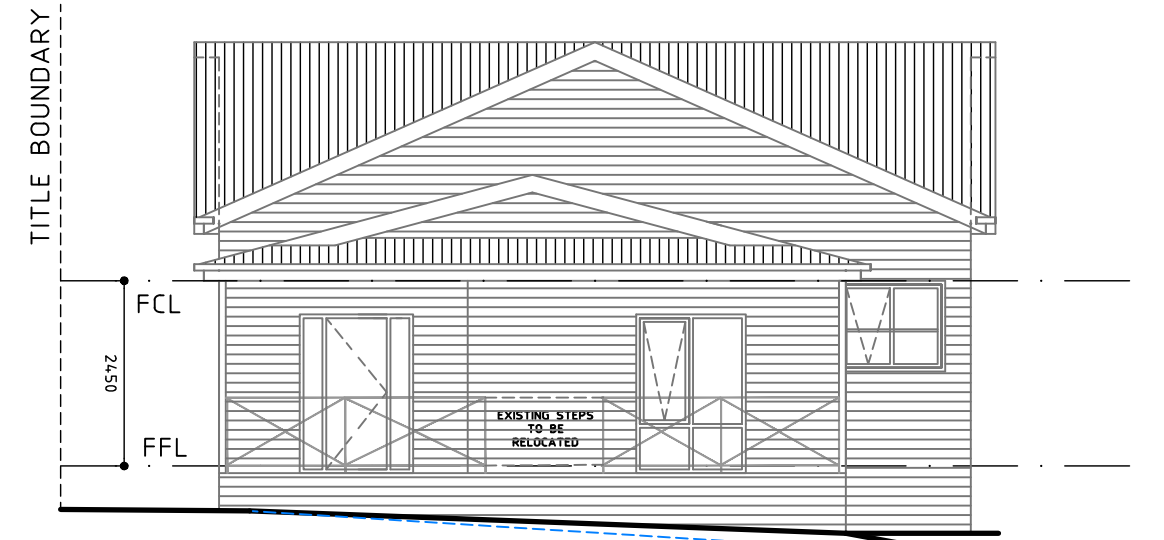
AREA ANALYSIS			
RESIDENCE	144.43m2	-	15.55sq
CARPORT	22.20m2	-	2.39sq
PORCH	5.39m2	-	0.58sq
VER 1	20.32m2	-	2.19sq
VER 2	20.05m2	-	2.16sq
TOTAL AREA	212.39m2	-	22.87sq



elevation 2
SCALE 1 TO 100



elevation 1
SCALE 1 TO 100



elevation 2
SCALE 1 TO 100



elevation 3
SCALE 1 TO 100

PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
FLOOR PLANS -
EXISTING UNIT 1

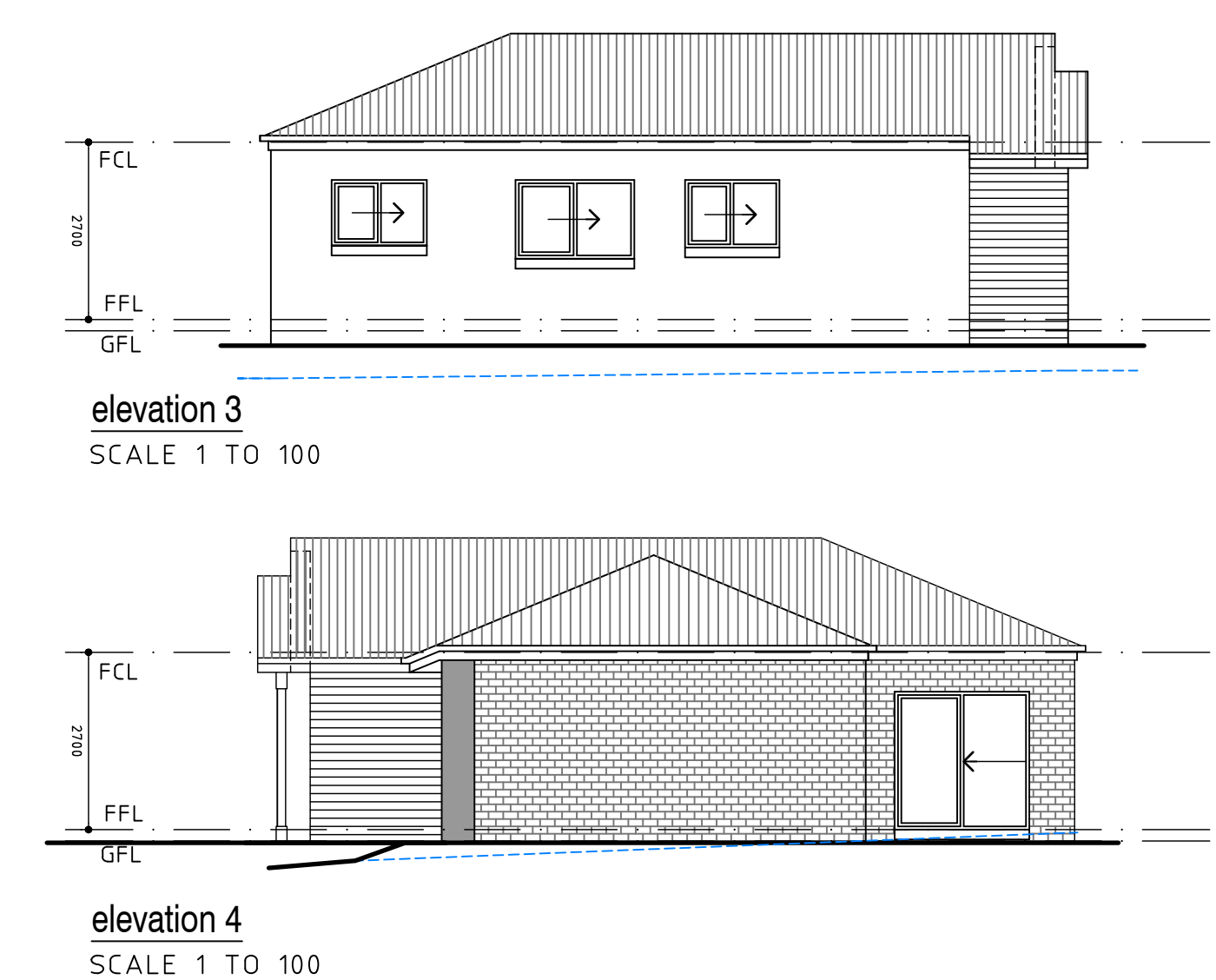
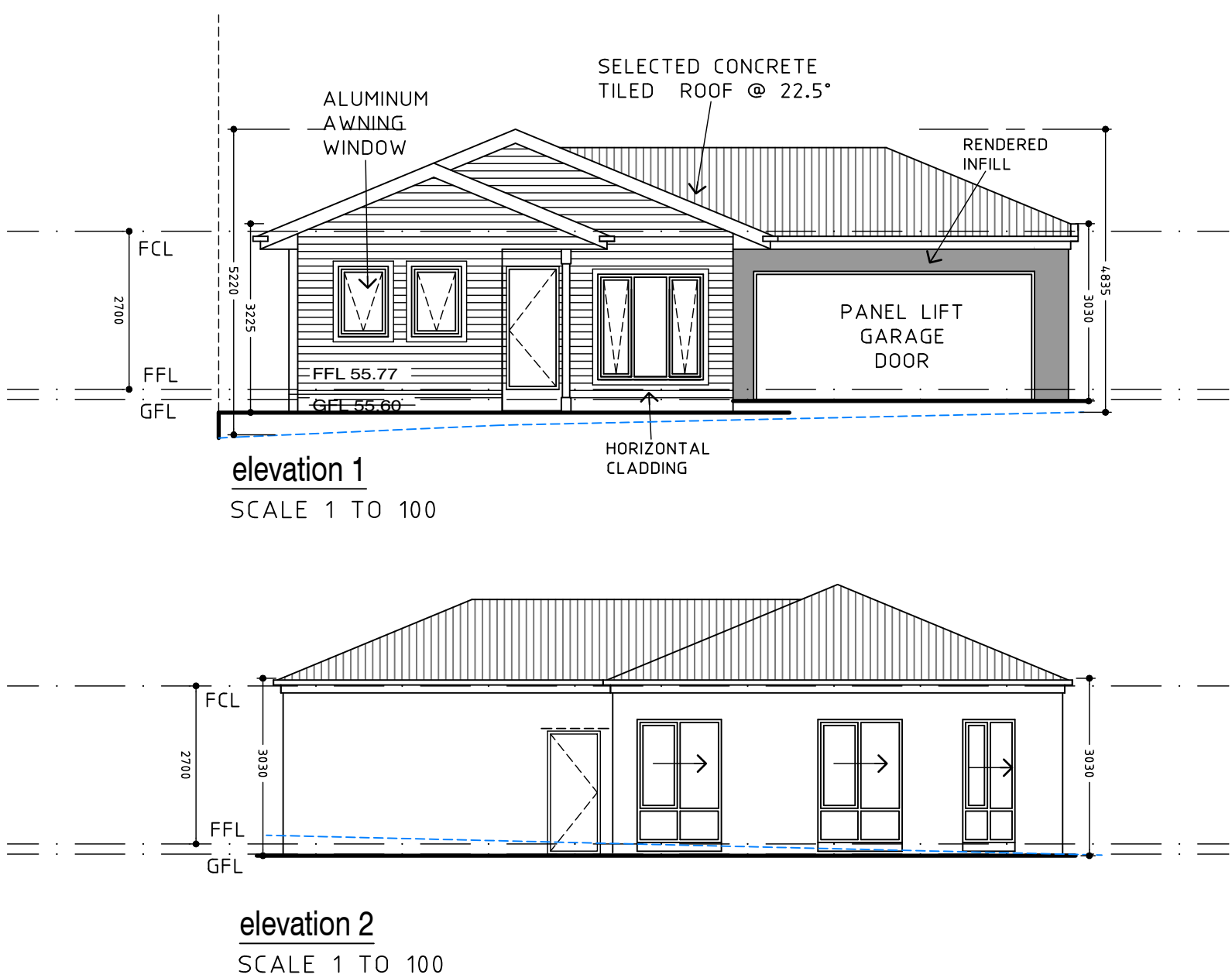
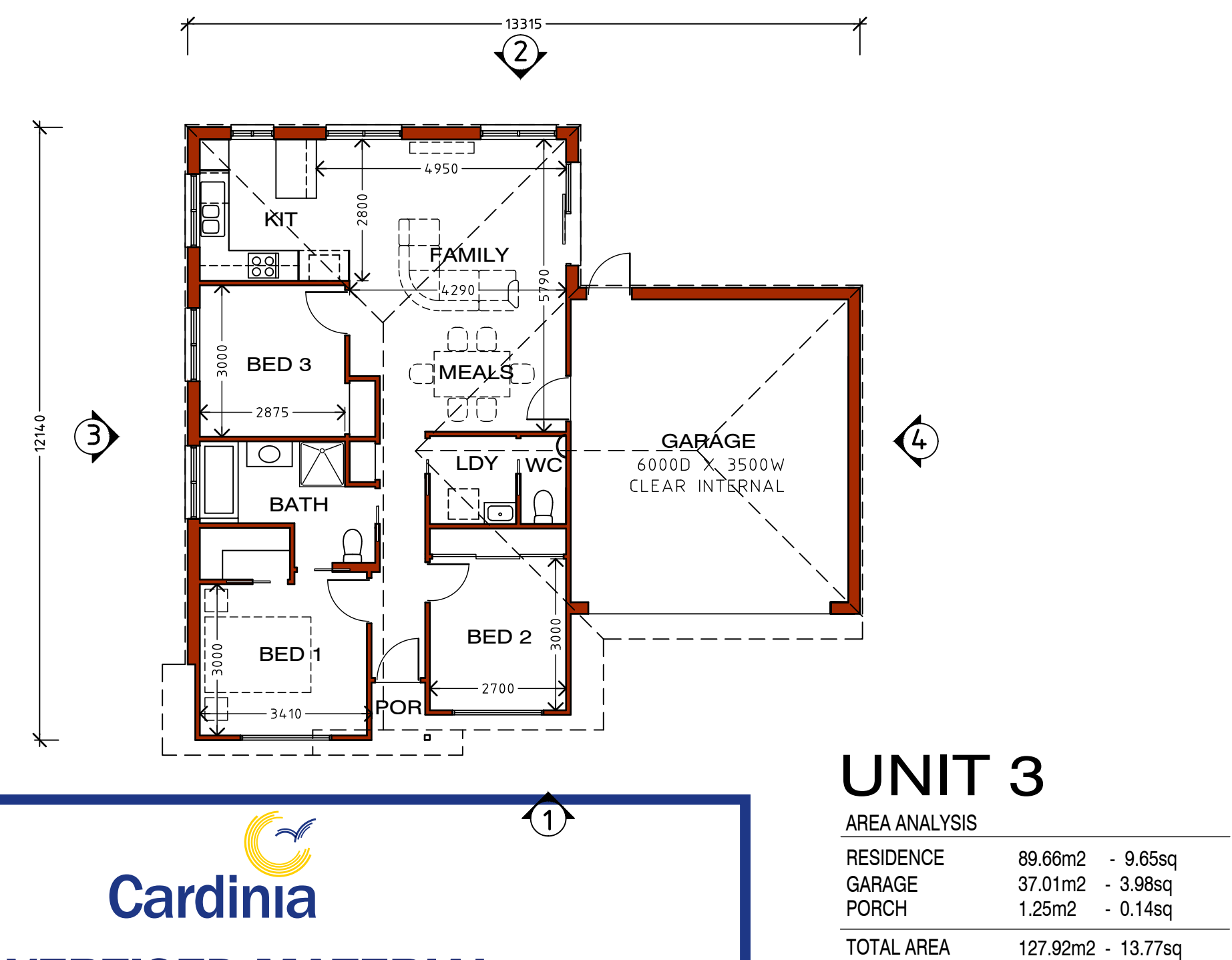
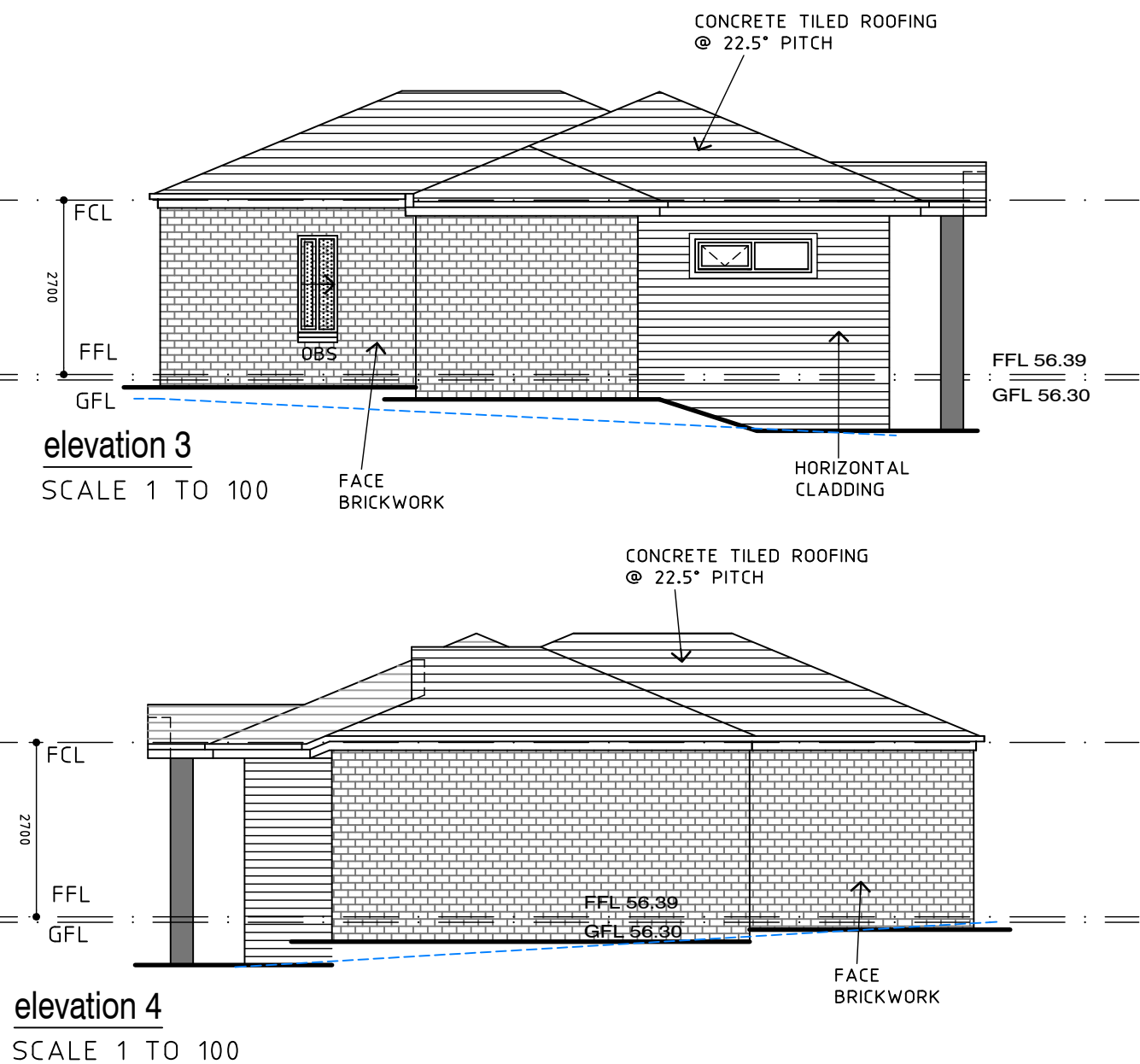
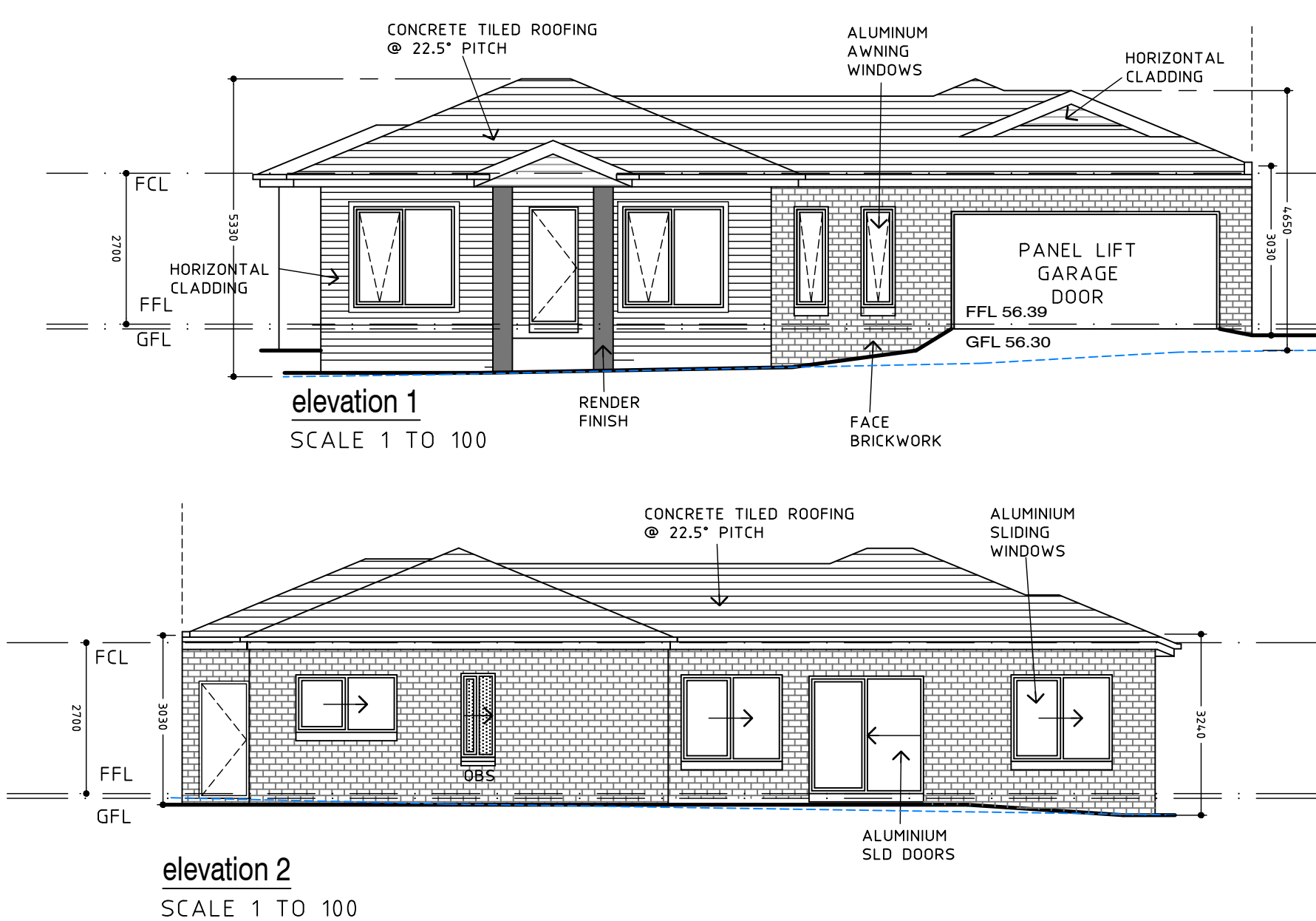
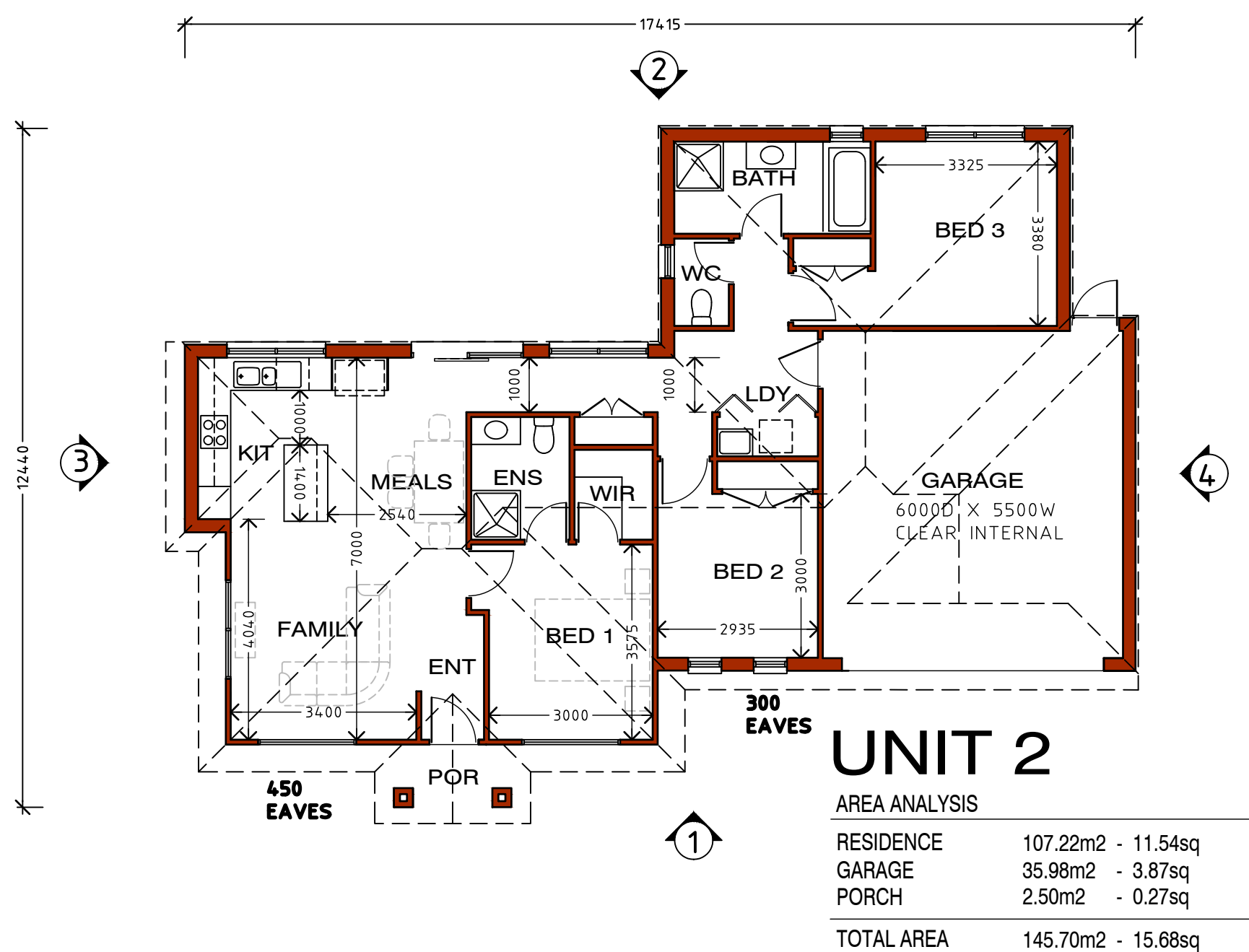
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Ronnie Whitton
Design
Shop 4, 35 Woods Street
Beaconsfield
Vic 3807
• ABN: 83 711 332 500
• phone: 0414 730 997

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DATE: MARCH 2024
SCALE: 1 : 100
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4249.TP
SHEET NO.
TP 07



Cardinia

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PROJECT PROPOSED UNIT DEVELOPMENT

CLIENT ARD INVESTMENTS PTY LTD

ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE

PROPOSED UNITS 2 + 3

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Ronnie Whitton Design

Shop 4, 35 Woods Street
Beaconsfield
Vic 3807

• ABN: 83 711 332 500
• phone: 0414 730 997

REVISION	DATE	DESCRIPTION
A	15/3/24	FIRST ISSUE
B	18/8/25	RFL RESPONSE

DATE: MARCH 2024

SCALE: 1 : 100

REV: - B

JOB No:

4249.TP

SHEET NO.

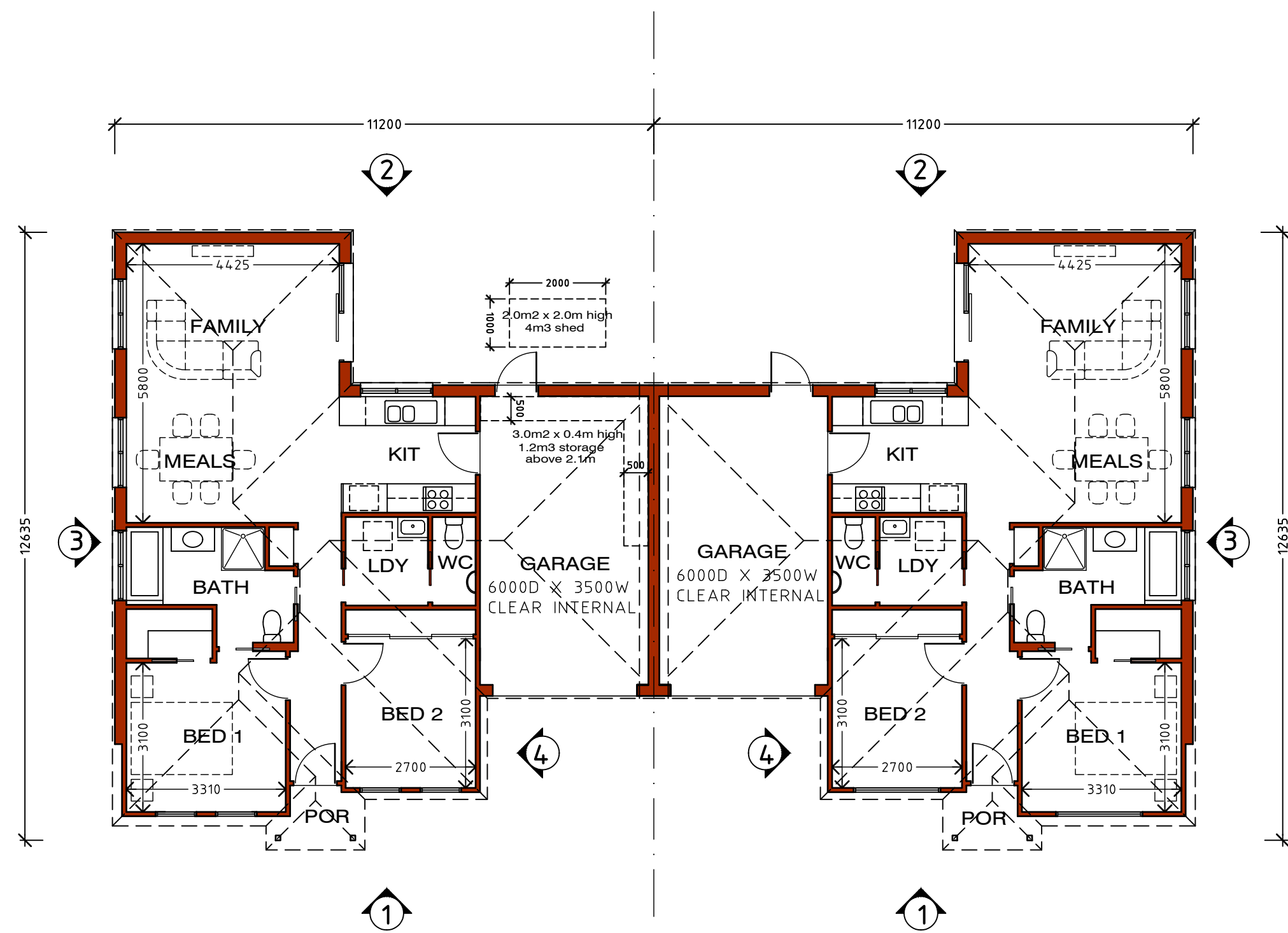
TP 08



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Date Prepared: 21 November 2025

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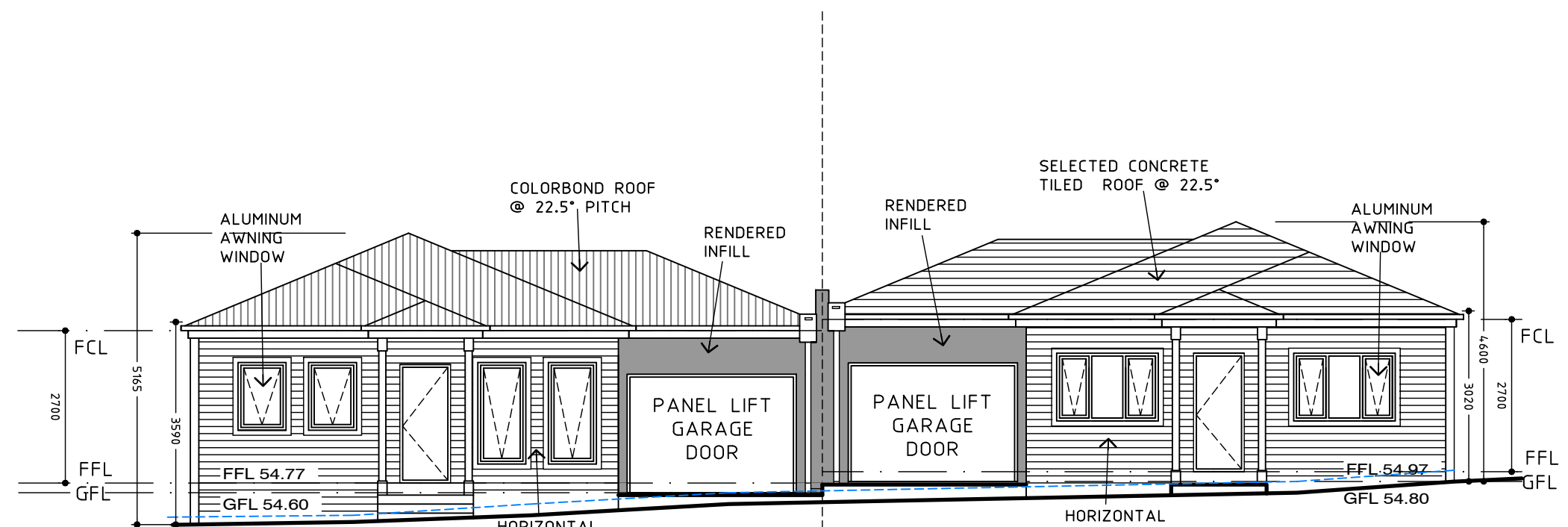


UNIT 5

AREA ANALYSIS		
RESIDENCE	81.20m2	- 8.74sq
GARAGE	23.32m2	- 2.51sq
PORCH	1.35m2	- 0.15sq
TOTAL AREA	105.87m2	- 11.40sq

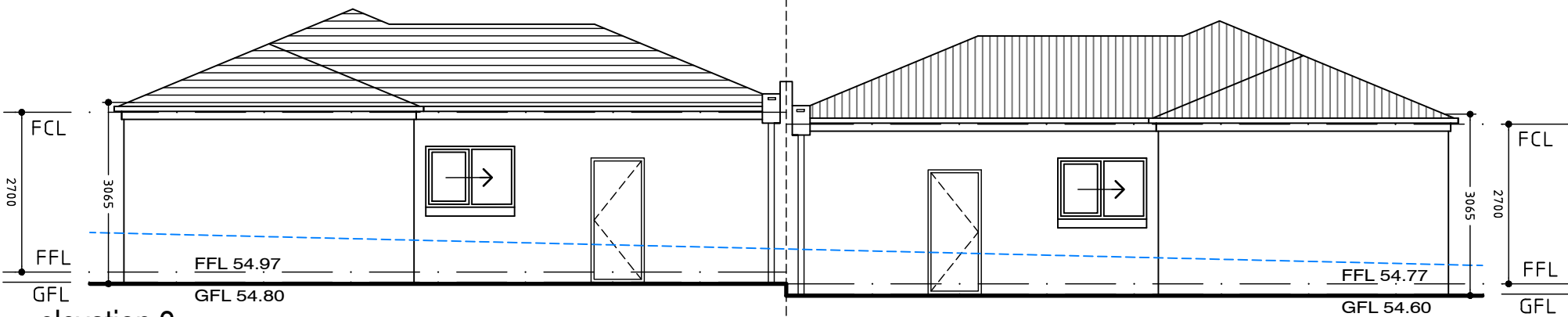
UNIT 4

AREA ANALYSIS		
RESIDENCE	81.20m2	- 8.74sq
GARAGE	23.32m2	- 2.51sq
PORCH	1.35m2	- 0.15sq
TOTAL AREA	105.87m2	- 11.40sq



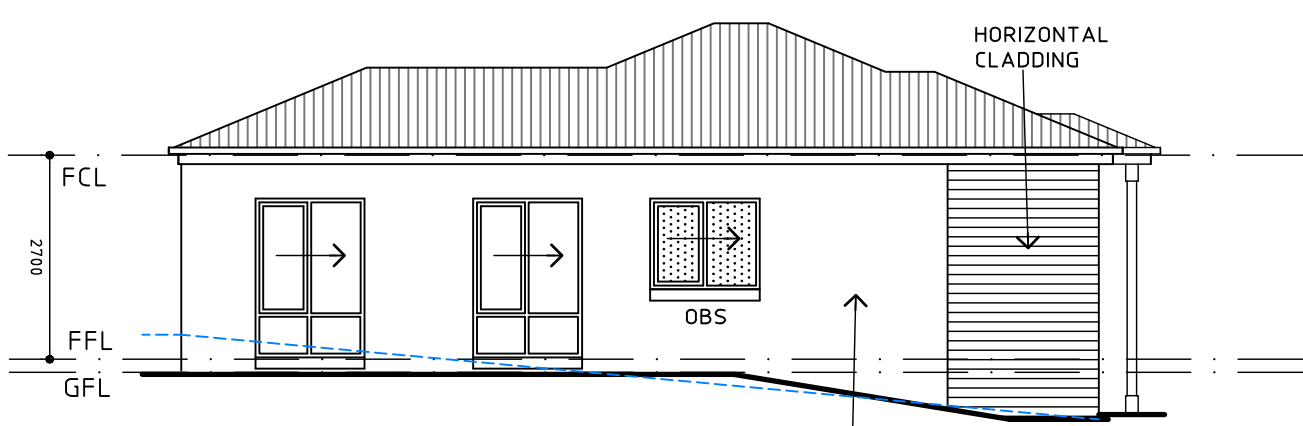
elevation 1
SCALE 1 TO 100
unit 5

elevation 1
SCALE 1 TO 100
unit 4

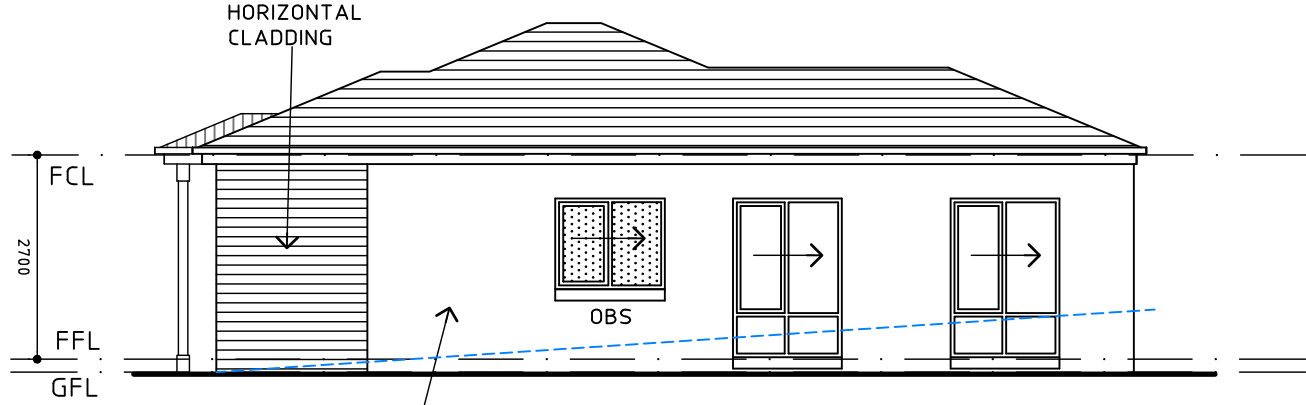


elevation 2
SCALE 1 TO 100
UNIT 4

elevation 2
SCALE 1 TO 100
UNIT 5



elevation 3
SCALE 1 TO 100
UNIT 5



elevation 3
SCALE 1 TO 100
UNIT 4

PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
PROPOSED UNITS 4 + 5

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Ronnie Whitton Design
Shop 4, 35 Woods Street
Beaconsfield
Vic 3087
• ABN: 83 711 332 500
• phone: 0414 730 997

REVISION	DATE	DESCRIPTION
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B	18/8/25	RFI RESPONSE

DATE: MARCH 2024
SCALE: 1 : 100
REV: - B

JOB No:
4249.TP
SHEET NO.
TP 09

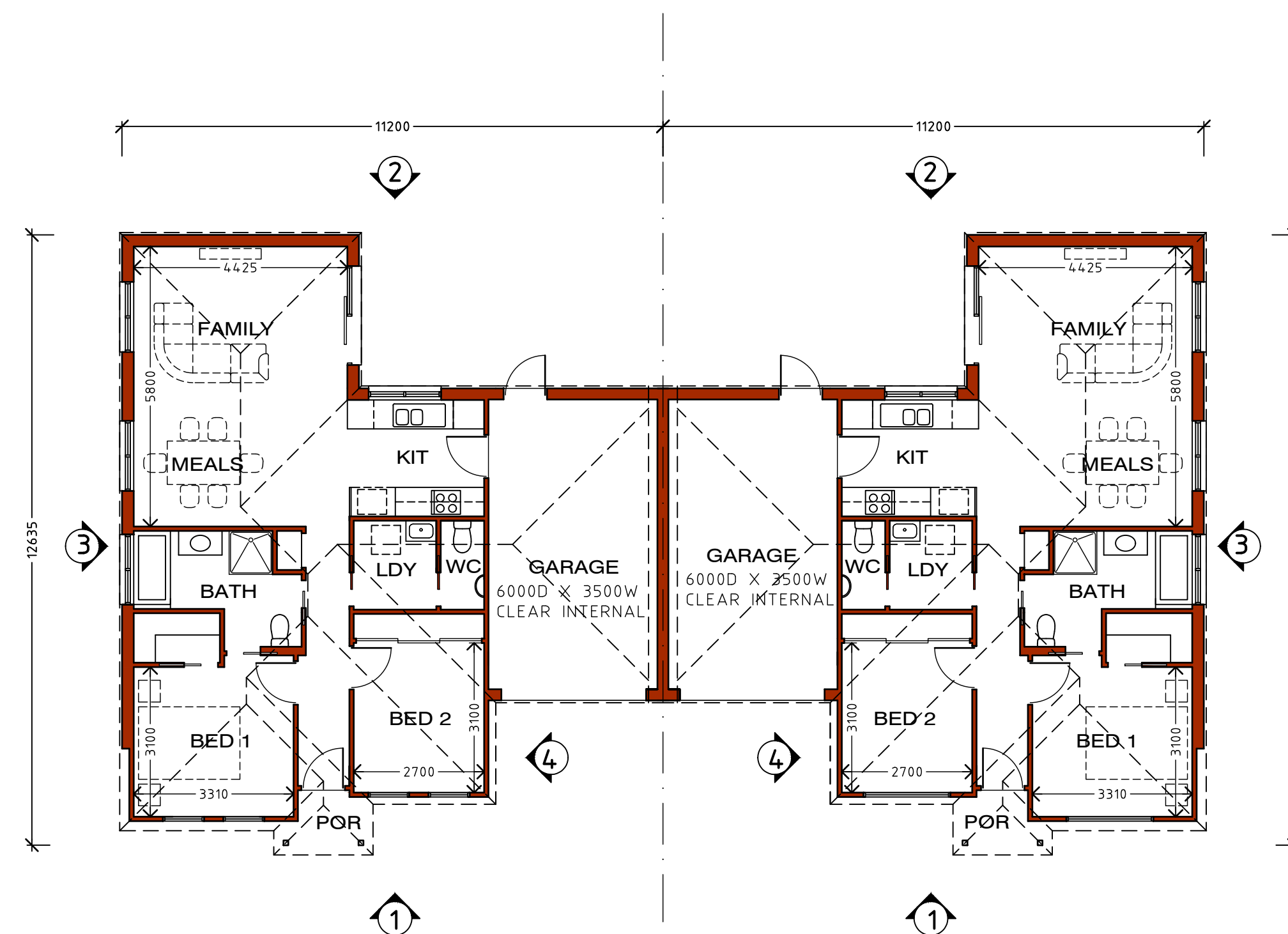


ADVERTISED MATERIAL

Planning Application: T250120

Date Prepared: 21 November 2025

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UNIT 7

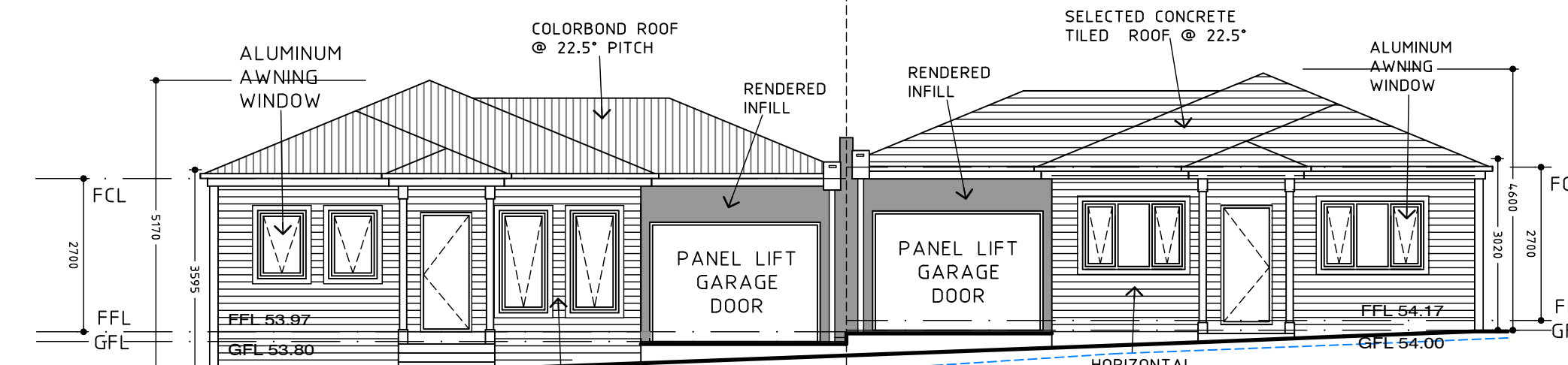
AREA ANALYSIS

RESIDENCE	81.20m2	- 8.74sq
GARAGE	23.32m2	- 2.51sq
PORCH	1.35m2	- 0.15sq
TOTAL AREA	105.87m2	- 11.40sq

UNIT 6

AREA ANALYSIS

RESIDENCE	81.20m2	- 8.74sq
GARAGE	23.32m2	- 2.51sq
PORCH	1.35m2	- 0.15sq
TOTAL AREA	105.87m2	- 11.40sq



elevation 1

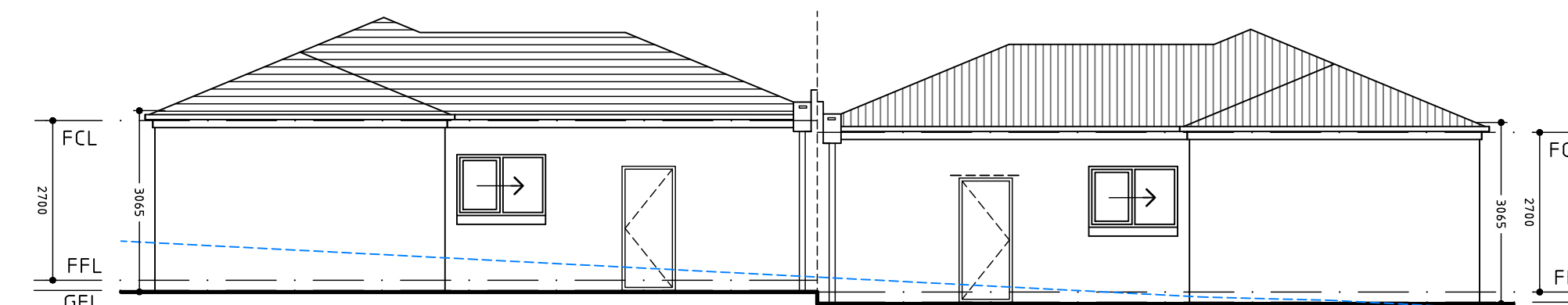
SCALE 1 TO 100

unit 7

elevation 1

SCALE 1 TO 100

unit 6



elevation 2

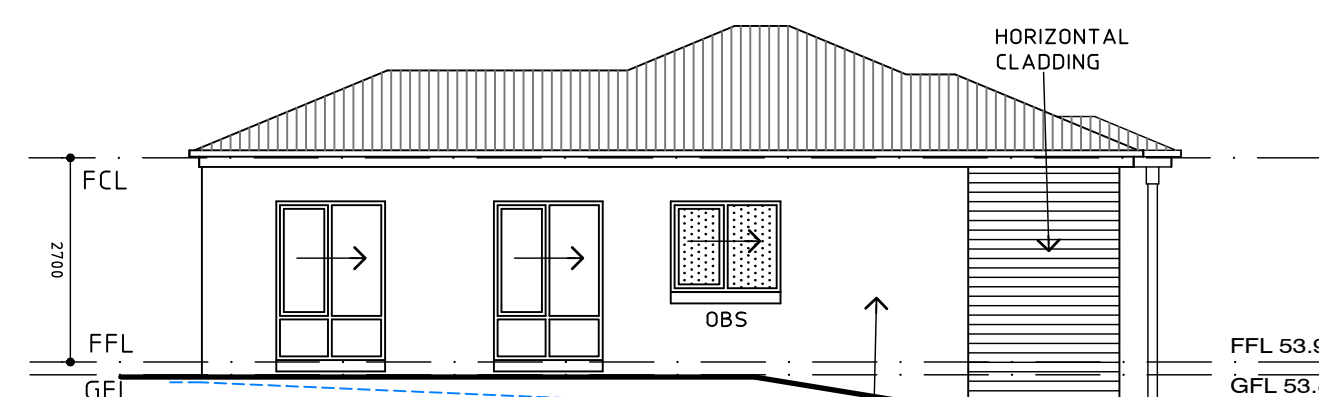
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UNIT 6

elevation 2

SCALE 1 TO 100

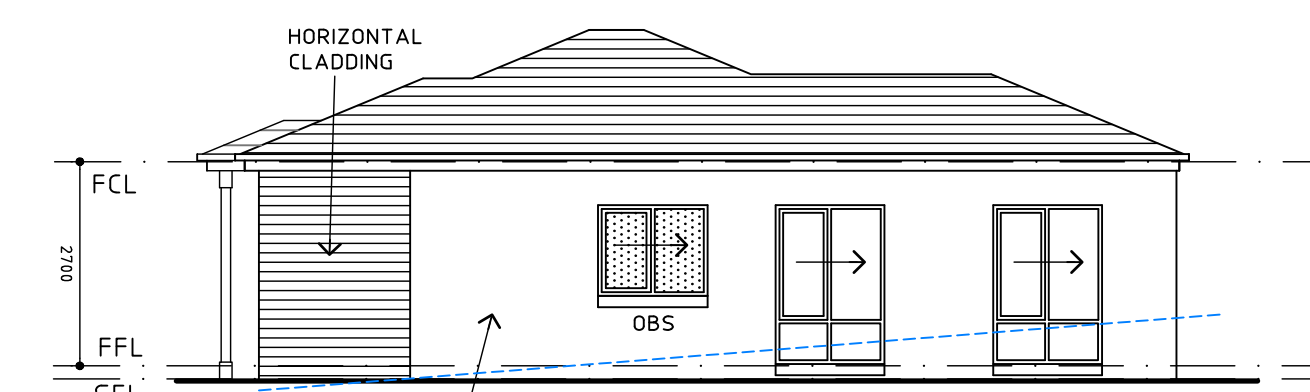
UNIT 7



elevation 3

SCALE 1 TO 100

UNIT 7



elevation 3

SCALE 1 TO 100

UNIT 6

PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
PROPOSED UNITS 6 + 7

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Ronnie Whitton
Design
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Beaconsfield
Vic 3087
• ABN: 83 711 332 500
• phone: 0414 730 997

REVISION	DATE	DESCRIPTION
A	15/3/24	FIRST ISSUE
B	18/8/25	RFI RESPONSE

DATE: MARCH 2024
SCALE: 1 : 100
REV: - B

JOB No:
4249.TP
SHEET NO.
TP 10

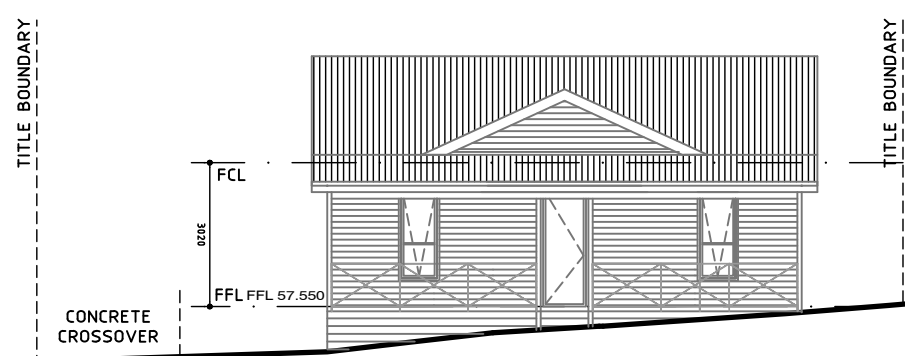


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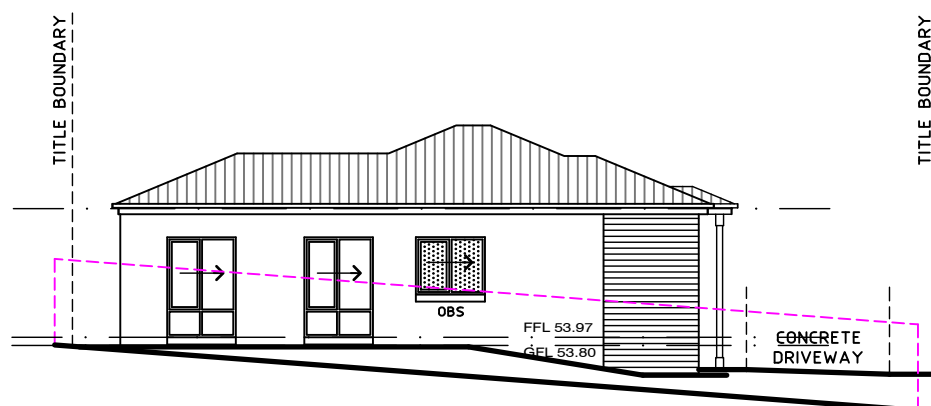
Planning Application: T250120

Date Prepared: 21 November 2025

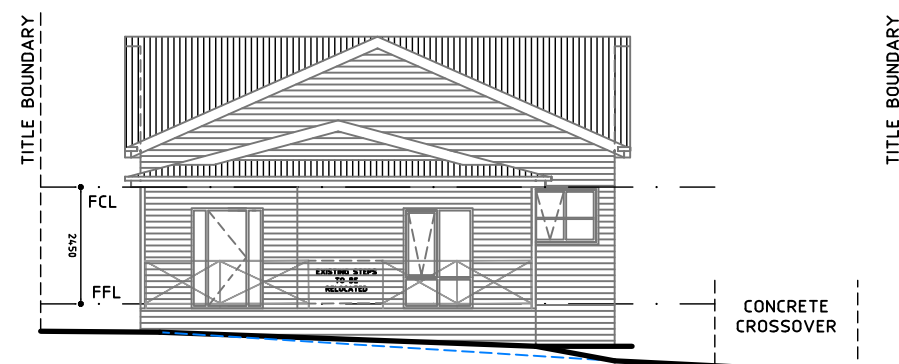
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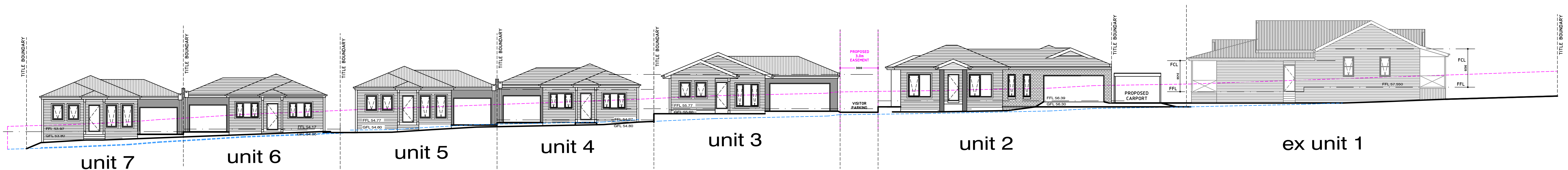
east existing street elevation



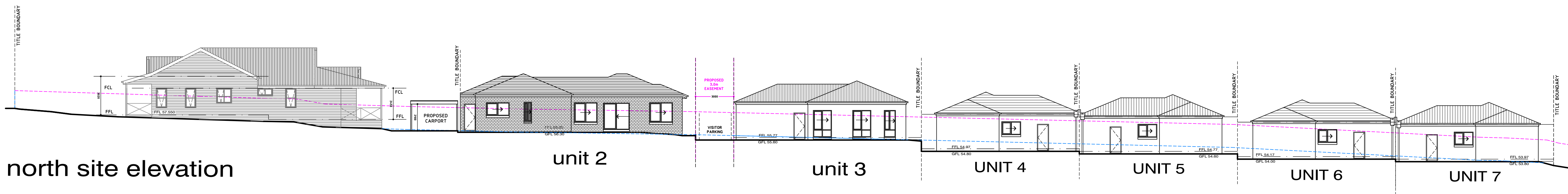
west site elevation



west existing street elevation

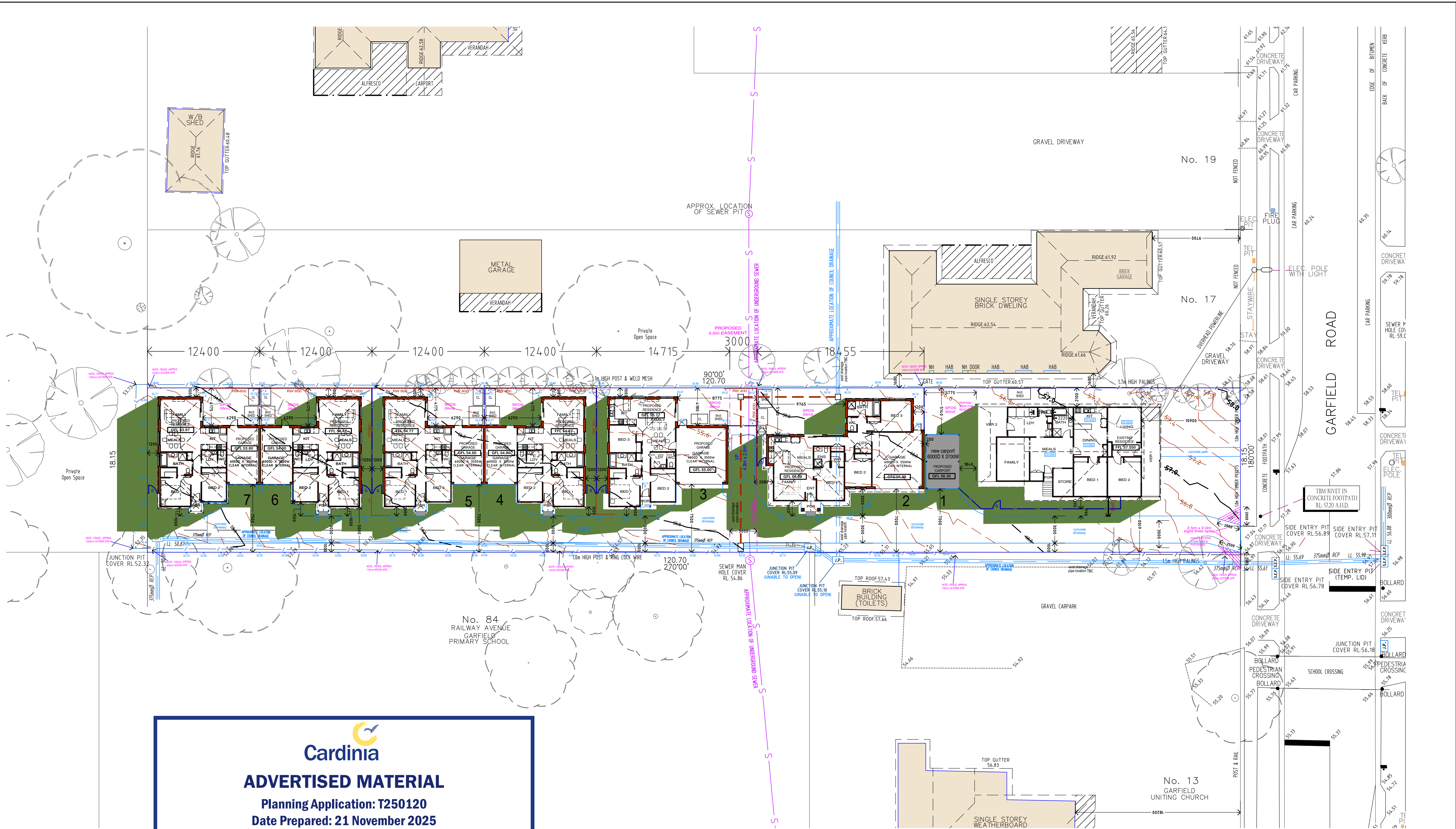


south site elevation



north site elevation

PROJECT CLIENT ADDRESS	PROPOSED UNIT DEVELOPMENT	DRAWING TITLE SITE ELEVATIONS	These plans have been prepared by Ronnie Whitton Design for the exclusive use by its client, on the allotment nominated in the title block. These plans form part of a town planning application and are not to be used for purposes of construction Written dimensions shall taken precedence over any scale. Do not scale from plan	Ronnie Whitton Design Shop 4, 35 Woods Street Beaconsfield Vic 3807 ● ABN: 83 711 332 500 ● phone: 0414 730 997	REVISION	DATE	DESCRIPTION	DATE: MARCH.2024	JOB No: 4249.TP				
					A	15/3/24	FIRST ISSUE			SCALE: 1 : 100	SHEET NO. TP 11		
					B	18/8/25	RFI RESPONSE						
								REV: - B					



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Date Prepared: 21 November 2025

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PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
SHADOWS 9am
SEPTEMBER 22nd

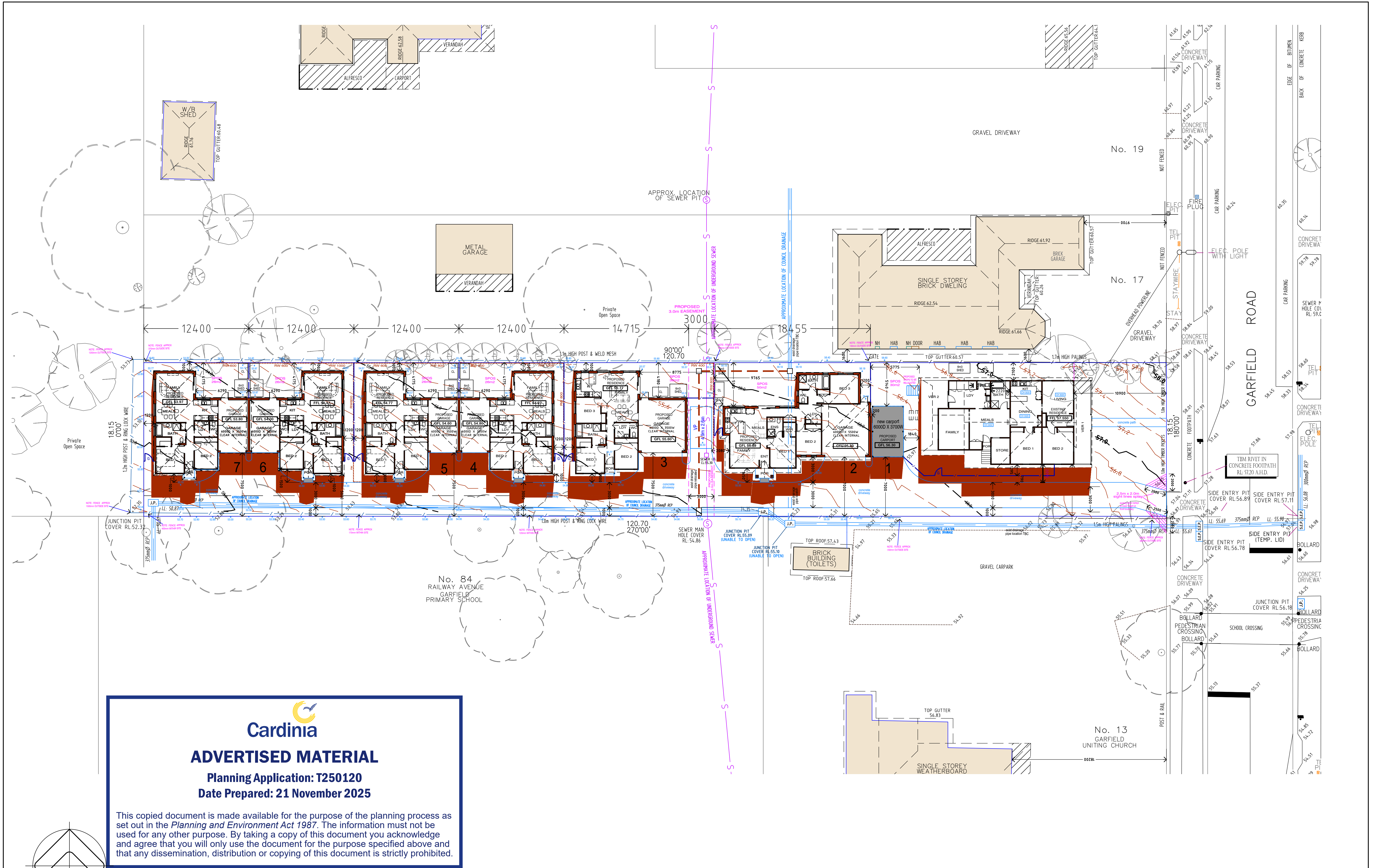
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REVISION	DATE	DESCRIPTION
A	15/3/24	FIRST ISSUE
B	18/8/25	RFI RESPONSE

DATE: MARCH 2024
SCALE: 1 : 200
REV: - B

JOB No:
4249.TP
SHEET NO.
TP 12



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Planning Application: T250120
Date Prepared: 21 November 2025

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PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
SHADOWS 12pm
SEPTEMBER 22nd

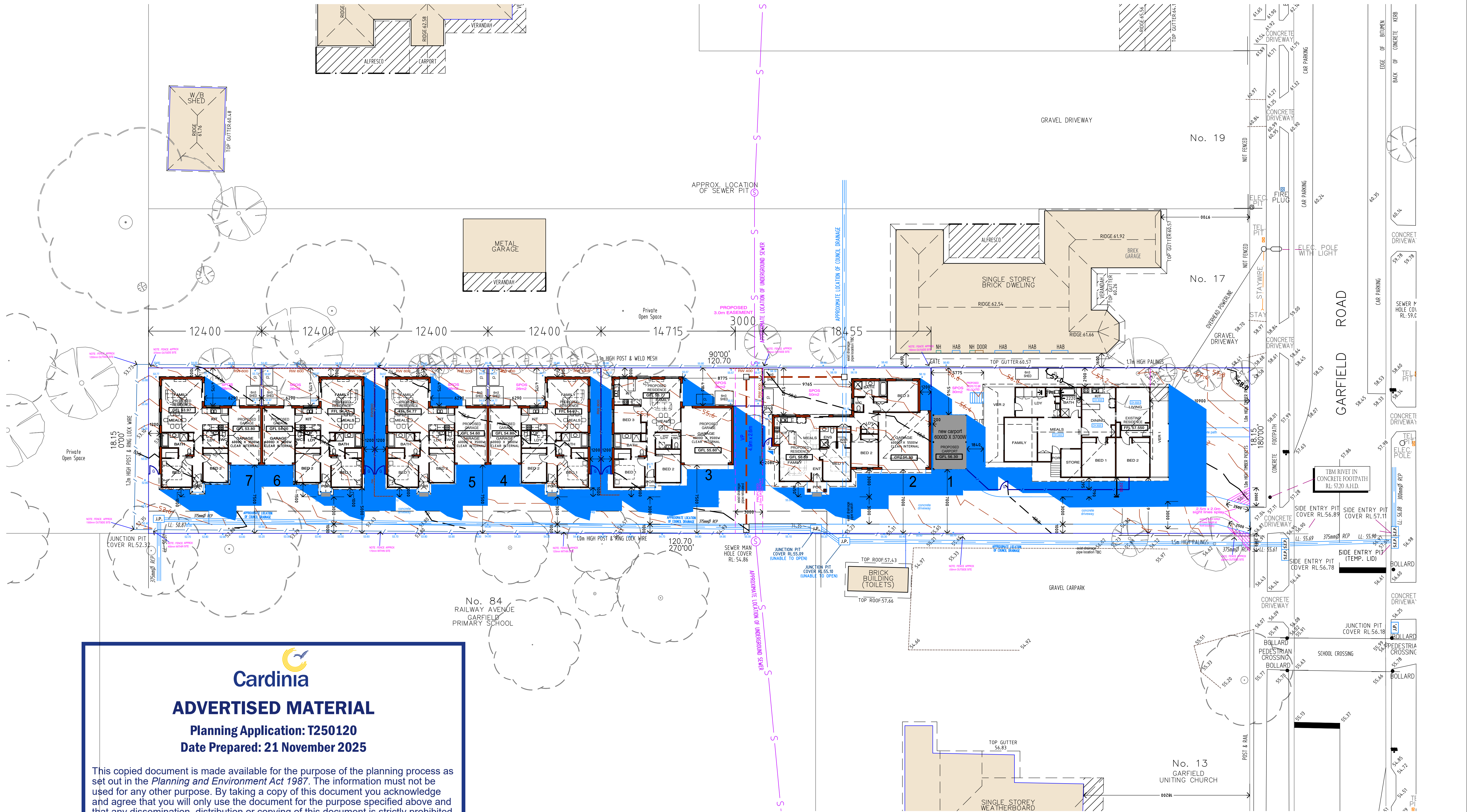
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REVISION	DATE	DESCRIPTION
A	15/3/24	FIRST ISSUE
B	18/8/25	RFI RESPONSE

DATE: MARCH 2024
SCALE: 1 : 200
REV: - B

JOB No:
4249.TP
SHEET NO.
TP 13



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Planning Application: T250120
Date Prepared: 21 November 2025

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PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
SHADOWS 3pm
SEPTEMBER 22nd

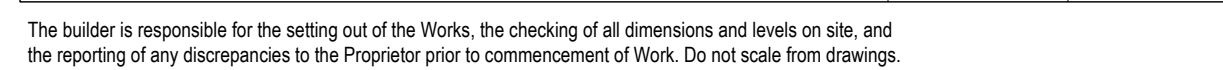
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REVISION	DATE	DESCRIPTION
A	15/3/24	FIRST ISSUE
B	18/8/25	RFI RESPONSE

DATE: MARCH 2024
SCALE: 1 : 200
REV: - B

JOB No:
4249.TP
SHEET NO.
TP 14



B99	meters	B85	meters
Width	: 1.94	Width	: 1.77
Track	: 1.84	Track	: 1.77
Lock to Lock Time	: 6.0	Lock to Lock Time	: 6.0
Steering Angle	: 33.9	Steering Angle	: 34.1

Cardina

ADVERTISED MATERIAL

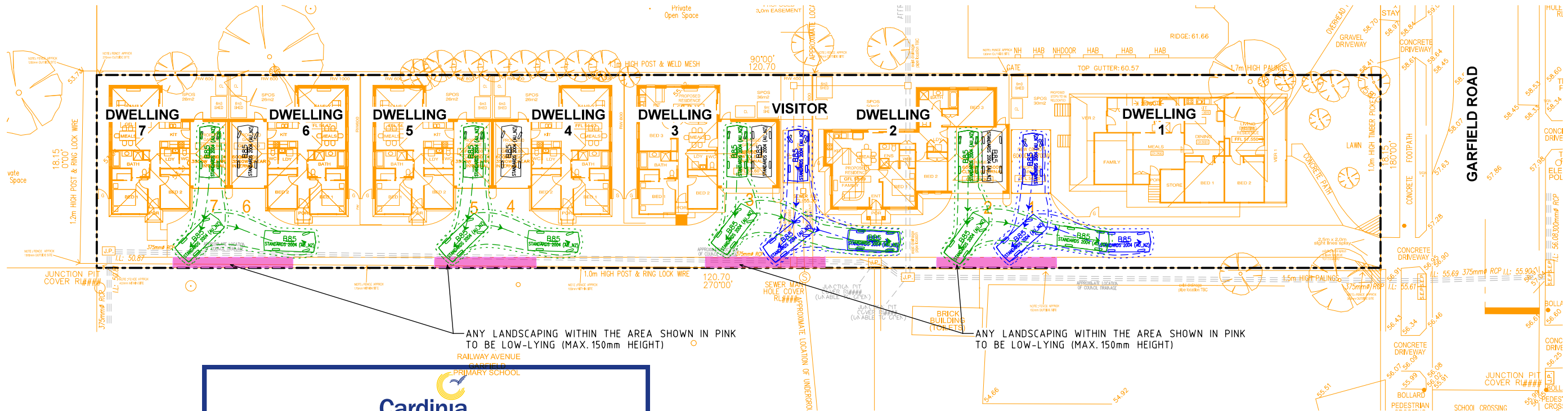
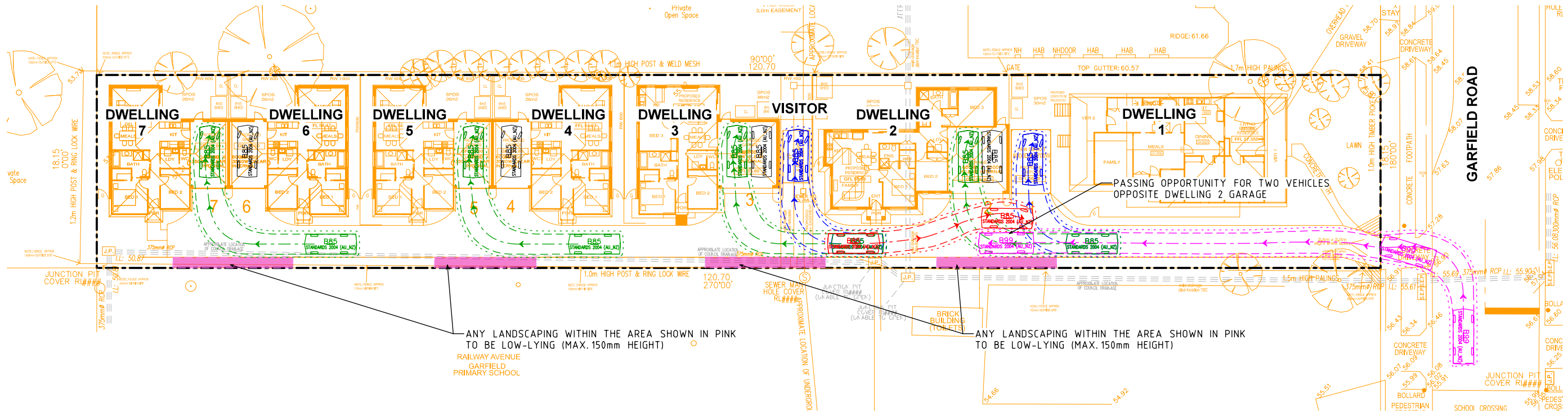
Planning Application: T250120

Date Prepared: 21 November 2025

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onemilegrid operates from Wurundjeri Woiwurrung Country of the Kulin nation. We acknowledge and extend our appreciation to the Wurundjeri People, the Traditional Owners of the land. We pay our respects to leaders and elders past, present and emerging for they hold the memories, the traditions, the culture, and the hopes of all Wurundjeri Peoples.

Aerial Photography
Aerial photography provided by Nearmap



Wurundjeri Woiwurrung Country
56 Down Street, Collingwood, VIC 3066
Email: info@onemilegrid.com.au Web: www.onemilegrid.com.au
Phone: (03) 9939 8250

Scale
1:400 @ A3

0 2 4 8

Drawing Title
15 GARFIELD ROAD, GARFIELD
SITE ACCESS (1 OF 2)
SWEPT PATH ANALYSIS

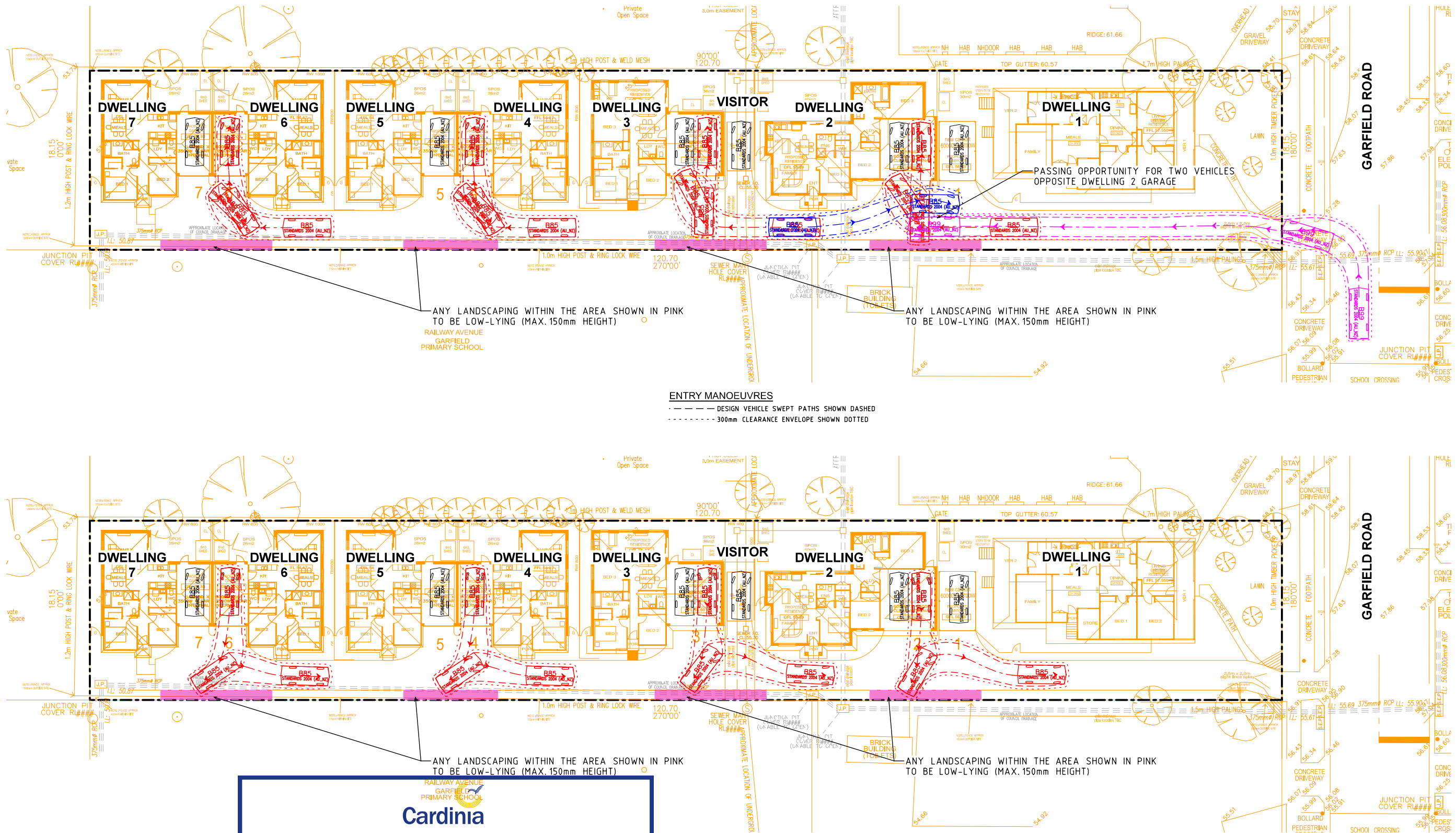
Designed DJW	Approved RBH	Metway Ref NA
Project Number 240466	Drawing Number SPA100	Revision B



B99	meters	B85	meters
Width	: 1.94	Width	: 1.87
Track	: 1.77	Track	: 1.77
Lock to Lock Time	: 6.0	Lock to Lock Time	: 6.0
Steering Angle	: 33.9	Steering Angle	: 34.1

Cardinia
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Planning Application: T250120
Date Prepared: 21 November 2025

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Phone (03) 9939 8250

Scale
1:400 @ A3

Drawing Title
15 GARFIELD ROAD, GARFIELD
SITE ACCESS (2 OF 2)
SWEEP PATH ANALYSIS

Designed DJW	Approved RBH	Metway Ref NA
Project Number 240466	Drawing Number SPA101	Revision B

TOWN PLANNING REPORT

ADDRESS: 15 GARFIELD ROAD, GARFIELD
PREPARED FOR: ARD INVESTMENTS P/L
DATE: 10 OCTOBER 2025



ADVERTISED MATERIAL

Planning Application: T250120

Date Prepared: 21 November 2025

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1 Introduction

Human Habitats is pleased to provide this town planning report on behalf of ARD Investments Pty Ltd (the permit applicant) in support of a planning application for the development of six (6) residential dwellings and the retention of the existing dwelling on the land at 15 Garfield Road, Garfield (the subject site). This planning report assesses the proposed development against the relevant provisions of the Cardinia Planning Scheme.

1.1 Permit Triggers

A permit is required under the following provisions of the Cardinia Planning Scheme:

- Pursuant to Clause 32.08-7 (General Residential Zone), a permit is required to construct two or more dwellings on a lot.

1.2 Assessment

It is our assessment that the proposal provides an appropriate response to the objectives of State & Local Policy and the residential land use objectives for Garfield and Cardinia more broadly. In coming to this conclusion, we have considered the following key questions:

- **Planning Policy** – Does the proposal demonstrate an appropriate outcome considering the strategic planning drivers of Cardinia?
- **Built Form and Amenity** – Does the design response demonstrate high quality built form and provide high levels of internal and off-site amenity?
- **Traffic and Access** – Will the proposal layout provide for efficient and safe vehicle and pedestrian circulation throughout the site?
- **Vegetation** – Has the proposal considered its impact on existing vegetation?

1.3 Supporting Documentation

This application is supported by the following documentation:

#	Document	Prepared By
1.	Cover Letter	Human Habitats
2.	Application Form	-
3.	Certificate of Title Information	Landata
4.	Town Planning Report	Human Habitats (this document)
5.	Development Plans	Ronnie Whitton Design
6.	Landscape Plan	Zenith Concept Design
7.	Swept Path Assessment	One Mile Grid
8.	Waste Management Plan	One Mile Grid
9.	Metropolitan Planning Levy Certificate	SRO
10.	Arborist Report	ITS
11.	Tree Protection Management Plan	ITS
12.	STORM Report	SWM Consulting



2 Subject Site and Surrounding Context

2.1 The Site

The Site is located at 15 Garfield Road, Garfield and is formally identified as Lot 4 on Lodged Plan 32602. Rectangular in shape, the site has a frontage to Garfield Road along its eastern interface of 18 metres, a depth of 121 metres and an overall land area of 2,191m². The land is currently improved with a single-storey weatherboard 2-bedroom dwelling and double garage situated at the front of the site, as well as a shed along the western boundary. Vegetation is identified within and surrounding the site, particularly prominent along the northern and southern boundaries.



Figure 1 – Aerial Map of Site – Site Identified in Red

2.2 Site Interface and Character



Figure 2 – Image of Site from Garfield Road



2.2.1 North Interface

The site is bound by a residential lot on its northern interface at 17 Garfield Road. The adjoining site comprises a single-storey brick dwelling and shed structure and is heavily vegetated. Further north is similar General Residential Zoned land comprising similarly sized lots with single dwellings. Notable features to the North of the site include Garfield Kindergarten located approximately 200m North of the site and beyond this Princes Freeway running east to west approximately 1.5km from the site.

2.2.2 East Interface

The site abuts Garfield Road on its eastern interface; a two-lane arterial road. Across the road, land is made up of similarly sized residential lots predominately made up of single storey brick dwellings, within the General Residential Zone – Schedule 1 (GRZ1). The GRZ1 makes up the vast majority of land east of the site, up to Jefferson Road where land is within the Low Density Residential Zone – Schedule 2 (LDRZ2) beyond this.

2.2.3 South Interface

The southern interface of the site is bound by two properties. To the east of the southern boundary, the site abuts the Garfield Uniting Church at 13 Garfield Road, within the General Residential Zone – Schedule 1 (GRZ1). On the western side of the southern interface, the site is bound by Garfield Primary School within the Public Use Zone – Schedule 2 (PUZ2). Garfield Railway Station and the railway line running in a north-west to south-east direction is located approximately 200m south of the site, within the Transport Zone 1 (TRZ2).

2.2.4 West Interface

The site is bound by the residential lot located at 17 Barker Road, Garfield. This lot features a single storey brick dwelling located at the north of the property, where the subject site abuts the adjoining rear garden in which is heavily vegetated. Residential land makes up land further west of the site, within the General Residential Zone – Schedule 1 (GRZ1) and Low Density Residential Zone – Schedule 2 (LDRZ2). Land beyond this is within the Green Wedge Zone – Schedule 1 (GWZ1).

2.2.5 Surrounding Context

The area surrounding the site is predominantly low density residential land use typically comprising of large lots with single storey dwellings. The site is located in close proximity to the Garfield main area being located approximately 200m north of the Garfield Railway station and 250m north of the Garfield main street which comprises of commercial land uses. The site benefits from a range of services within this town centre including shops, restaurants, health care services, schools and a recreation reserve. Extending further, the site benefits from access to two major arterial roads via Garfield Road; Princes Highway to the North, and Nar Nar Goon Longwarry Road to the south. Beyond this, Green Wedge Zoned land broadly circulates the subject site area.



3 Certificate of Title

We have obtained and reviewed the relevant Title documents. Notably, the details are:

- Lot 4 on Plan of Subdivision 032602
- A drainage easement is located along the western portion of the southern boundary. This is in favour of Council.

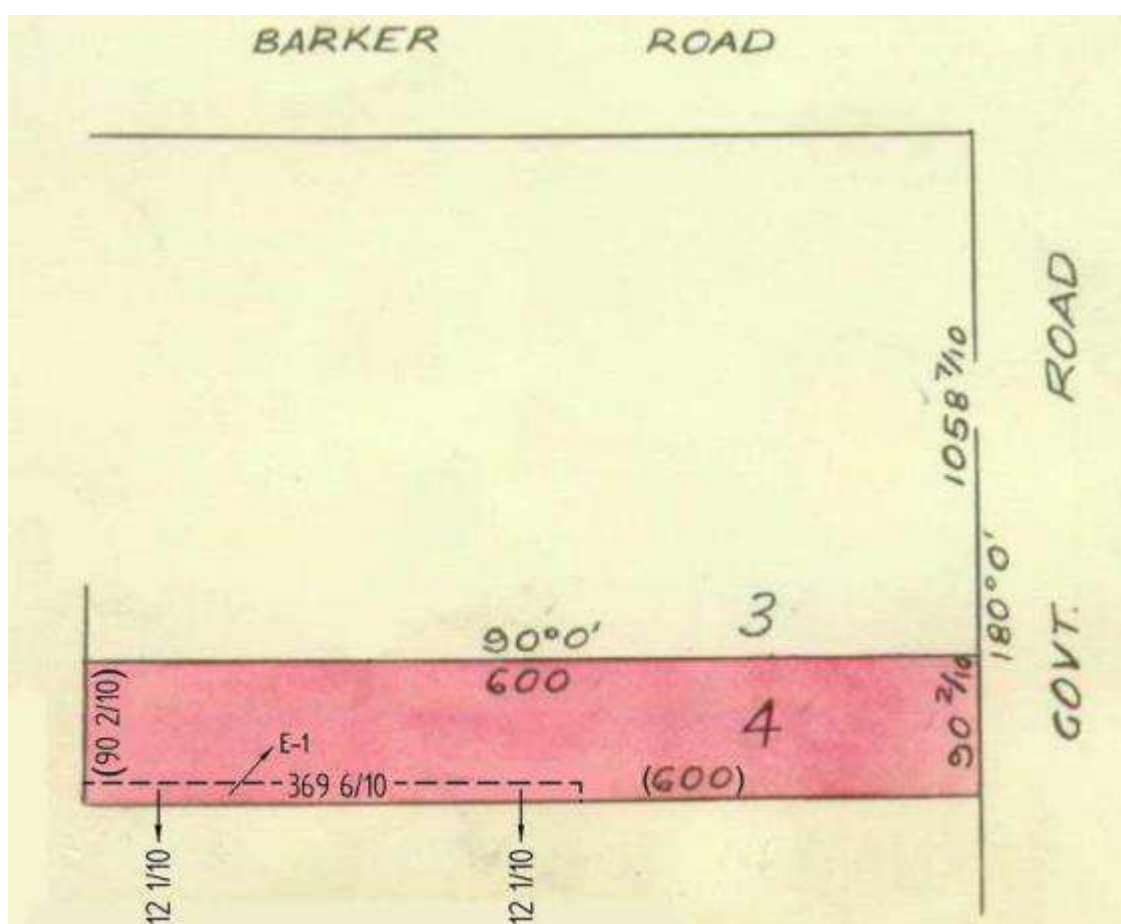


Figure 3 – Title Plan 653062V



Cardinia

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Planning Application: T250120
Date Prepared: 21 November 2025

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4 The Proposal

The proposal seeks to develop the site for a multi-unit development, comprising six (6) new single-storey dwellings and the retention of the existing dwelling on the land. All units will be accessed via a shared driveway from Garfield Road. Key features of the proposal are as follows:

- The seven single-storey dwellings include:
 - 6 x 2-bedroom dwellings (including existing dwelling) provided with a single garage. A new carport is proposed for the existing dwelling; and
 - 1 x 3-bedroom dwellings provided with a double garage;
- One (1) visitor car parking space is provided in the centre of the site;
- Sufficient landscaping is provided for each dwelling within the private open space and along the shared driveway;
- All units will incorporate external storage;
- Removal of all trees on site. All trees on adjoining sites are to be retained;
- Development of a shared driveway from Garfield Road to provide access to all dwellings; and
- All units are to be made with the following material schedule, as shown below:
 - Concrete roof tiles: 'Colorbond monument'
 - Horizontal cladding along façade
 - Face brickwork: 'Austral – Access Stone'
 - Garage door: 'Panelift monument'



4.1 Development Summary

Element	Detail
Total Site Area	2,190m ²
Dwellings	7 (Including retention of the existing dwelling)
Car Parking	10 Car Parks (Including one visitor car park)
Site Coverage	909.49m ² or 41.5%
Permeable Area	1,455.49m ² or 66.4%
Maximum Building Height	5.3 metres
Total Garden Area	783m ² or 35.7%

4.2 Proposed Plans and Elevations

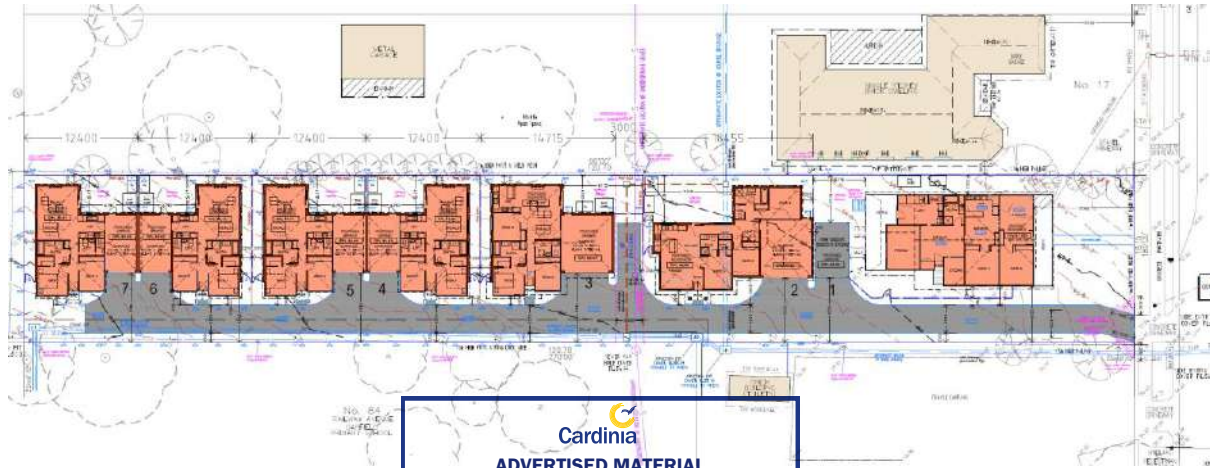


Figure 4 - Proposed Site Plan

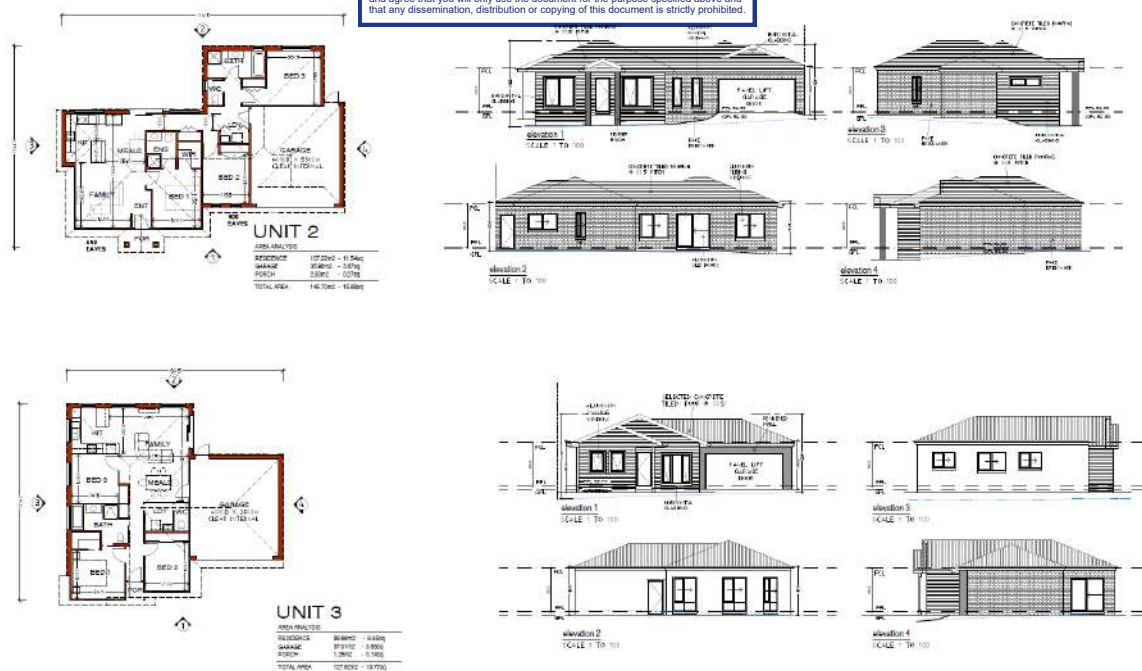


Figure 5 - Proposed Unit 2 and 3 Layout and Elevations

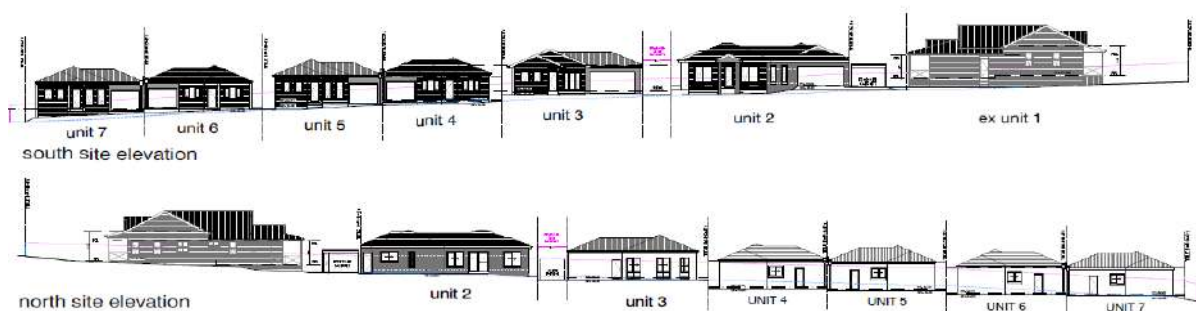


Figure 6 - Southern and Northern Elevation

5 Planning Policy Framework/Controls

5.1 Planning Policy Framework

The following section provides a summary of the key state and local planning policy relevant to the proposed development:

- **Clause 11.01-S – Settlement** - Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, recreation and open space among other infrastructure.
- **Clause 11.02-1S – Supply of Urban Land** – To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.
- **Clause 11.02-1S – Managing Growth** - To facilitate the orderly development of urban areas that ensures a sufficient supply of land is available for residential, commercial among other land use.
- **Clause 11.03 – Planning for Places** - To locate urban growth close to transport corridors and services and provide efficient and effective infrastructure to create sustainability benefits while protecting primary production, major sources of raw materials and valued environmental areas.
- **Clause 13.07 – Land Use Compatibility** – Planning should ensure that use or development of land is compatible with adjoining and nearby land uses.
- **Clause 15.01-1S – Urban Design** - Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.
- **Clause 5.01-2S – Building Design** - Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
- **Clause 15.01-5S – Neighbourhood Character** - To recognise, support and protect neighbourhood character, cultural identity, and sense of place.
- **Clause 15.01-6S – Design for Rural Areas** - To ensure development respects valued areas of rural character.
- **Clause 16.01-S – Housing Supply** - To facilitate well-located, integrated and diverse housing that meets community needs.
- **Clause 21.01 – Cardinia Shire Key Issues and Strategic Vision** - The City of Cardinia is located on the south-east fringe of Melbourne. The City of Cardinia covers an area of 1,280 square kilometres and forms the perimeter of metropolitan Melbourne, providing a transition between urban and rural areas. The population of the Shire is expected to grow 82% from a current population of around 109,000 people (2018) to approximately 198,000 people in 2041.
- **Clause 21.02-2 – Landscape** – To recognise and protect the diverse landscape and areas of significant landscape value.
- **Clause 21.02-4 – Bushfire management** - To recognise that areas in the municipality are prone to bushfire and to minimise the potential risk to life, property and the environment.

5.2 Particular Provisions

The following provisions are considered relevant to the proposal:

- Clause 52.06: Car Parking
- Clause 55: Two or More Dwellings on a Lot
- Clause 65: Decision Guidelines

5.3 Land Use Zoning

5.3.1 General Residential Zone – Schedule 1 (GRZ1)

The site is within the General Residential Zone – Schedule 1. The purpose of this zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

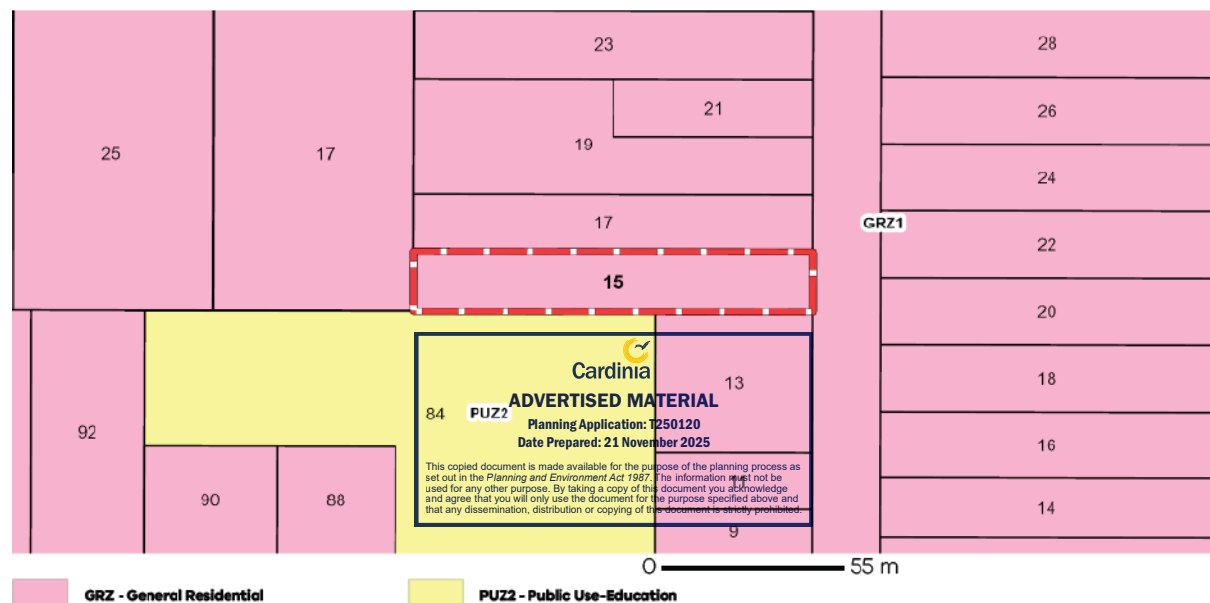


Figure 7 – Land Use Zoning – Site Identified in Red

5.3.2 Permit Requirements

- Pursuant to Clause 32.08-7, a permit is required to construct two or more dwellings on a lot.

The Zone outlines a minimum percentage of 35% of a lot must be set aside as garden area on the site.

The schedule to this Zone does not prescribe any variations to the minimum garden area and Clause 55 requirements.

An application to construct two or more dwellings on a lot must meet the requirements of all of 55 except Clause 55.07-1 to Clause 55.07-19 [inclusive].

Please refer to **Appendix A** for an assessment against the Decision Guidelines.

5.4 Overlays

The site is not affected by any overlays.

5.5 Other Planning Matters

5.5.1 Bushfire Prone Area

The Site is identified within a Bushfire Prone Area. As per *Building Regulations 2018*, additional considerations must be made in the design and construction of buildings within areas identified as bushfire prone.

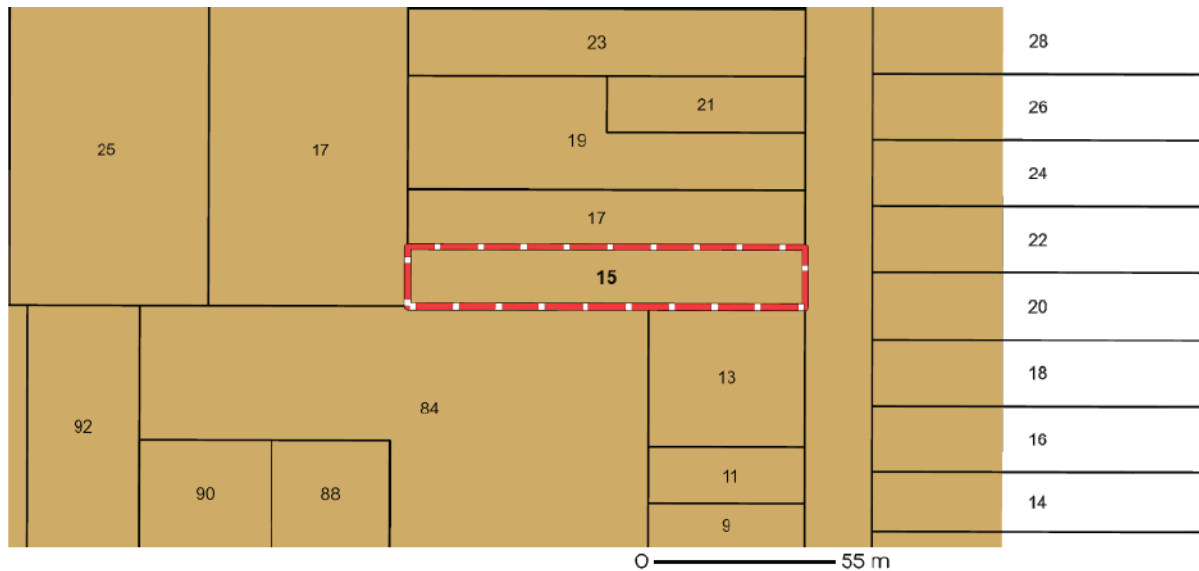


Figure 8 – Bushfire Prone Area Map – Site Identified in Red

5.6 Strategic Documents

5.6.1 Garfield Township Strategy

Garfield Township Strategy (Township Strategy) was prepared by Cardinia Shire Council and was adopted by Council in August 2022. This is a Reference Document in the Cardinia Planning Scheme, providing long term land use vision to guide development and change in the area. As per the Township Strategy, the vision for Garfield township is:

Ensure the long term sustainability of the township, retain its identity as a rural rail town and an attractive place in which to live. Provide for a basic level of commercial and community service provision and build on the heritage values of the township to promote tourism opportunities.

In achieving the above vision, the following residential objectives of the Township Strategy have been established:

- Ensure that the long term residential capacity and township boundaries are clearly defined.
- Ensure the long term sustainability of the community by providing residential development for a range of lifestyle opportunities.
- Ensure that infill residential development is integrated and respects the existing character of the township
- Ensure that new residential development is environmental, economically and socially sustainable.

In addition, the following strategies/actions are outlined:

- Promote the integration of residential subdivisions through the preparation of a Development Plan Overlay for the land east of Garfield Road.
- Promote the integration of infill residential sites through the identification of key roads, pedestrian linkages and work in a collaborative manner with developers.
- Promote the creation and development of residential lots based on the following design guidelines:



	Urban Residential	Large Lot Residential	Larger Lot Residential
Lot size range	700-1000m ²	1000-2000m ²	2000-4000 m ²
Lot width (minimum)	18m, & frontage to depth ratio not to exceed 1:2.5	20m, & frontage to depth ratio not to exceed 1:2.5	30m, & frontage to depth ratio not to exceed 1:2.5
Minimum frontage setback	7m	10m	10m
Maximum site coverage	50%	40%	40%
Tree retention	Lot layout to maximise retention of existing trees	Lot layout to maximise retention of existing trees	Lot layout to maximise retention of existing trees

- *Protection of ridgelines through the preparation of Siting and Design Guidelines for residential development in Cardinia.*
- *Protect existing pockets of vegetation identified in the Framework Plan by supporting larger lot sizes and sensitive siting of dwellings.*
- *Encourage medium density residential development behind the existing commercial precinct as part of a mixed use commercial/residential precinct.*
- *All residential development, including low density development should be connected to reticulated sewerage.*
- *Enhance and protect Ti Tree Creek environs through the creation of a reserve, revegetation and water quality management in conjunction with existing landowners and Melbourne Water.*
- *Promote street and lot layout that maximises potential solar orientation of residential dwellings.*
- *Promote pedestrian permeability throughout the town by linking existing and proposed pedestrian pathways.*

The Site

It is noted the site is identified as 'existing residential development' within the Township Strategy Plan, as shown in the Figure below. Specific to the site, the Township Strategy outlines that the following:

- Urban development potential is identified for the area west of Garfield Road between Railway Avenue extending beyond Barker Road to the north to a proposed collector road.
- There is development opportunity within the existing residential zoned areas, particularly in the area bounded by Campbell Street, Archer Road, Jefferson Road and Railway Avenue, in which the site is within this area.

Please refer to Section 6.2.1 of this report for an assessment of the proposal against the Garfield Township Strategy.



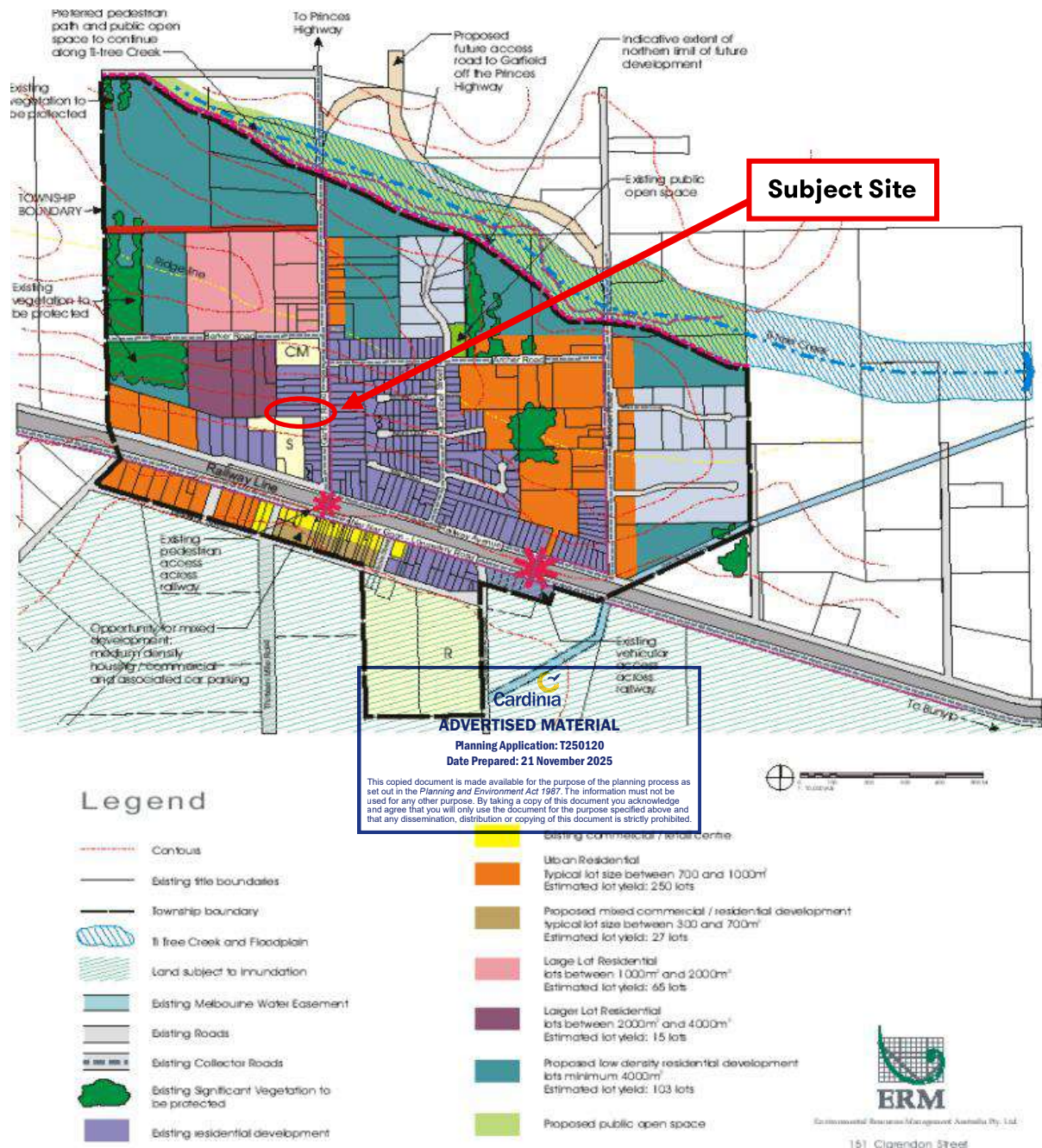


Figure 9 – Garfield Township Strategy Plan – Site circled in red

6 Planning Considerations

6.1 Overview

In order to assess the appropriateness of the proposal, we consider the following questions:

- **Planning Policy** – Does the proposal demonstrate an appropriate outcome considering the strategic planning drivers of Cardinia?
- **Built Form and Amenity** – Does the design response demonstrate high quality built form and provide high levels of internal and off-site amenity?
- **Traffic and Access** – Will the proposal layout provide for efficient and safe vehicle and pedestrian circulation throughout the site?
- **Vegetation** – Has the proposal considered its impact on existing vegetation?
- **Landscaping** – Will the proposal provide sufficient landscaping?
- **Waste Management** – Can the proposal appropriately manage waste generation?

6.2 Planning Policy

We submit that the proposal responds well to the key policy drivers of the Cardinia Planning Scheme.

Cardinia's settlement and urban growth is influenced by the existing character of the municipality's townships, its access to pristine natural areas, agriculture and its central location in linking Melbourne, the Latrobe Valley and Gippsland. It is estimated that the population in Cardinia will grow from 109,000 in 2018 to approximately 198,000 people in 2041, with a growth of 82% (Clause 21.01).

At a state level, the above-mentioned policies seek to encourage well located, integrated and diverse housing that meets community needs (Clause 15.01-2S: Housing Supply). The proposal delivers a total of 7 dwellings, including the retention of the existing dwelling providing diversity in scale, design and siting of each area. The proposal responds well to the strategic planning drivers by increasing housing supply in a growing area to meet projected housing demands whilst also maintaining the low-density character of the area.

Furthermore, Clause 11.03-2S (Growth Area) seeks to locate urban growth close to transport corridors and services. The site's location facilitates convenient access to both goods and transport services which makes it an ideal area for multi-dwelling residential development.

The framework also seeks to ensure a range of architectural outcomes are achieved that contribute positively to local character whilst minimising amenity impacts to neighbouring properties (Clause 15: Built Environment and Heritage). The proposal responds well to this objective through a low-scale built outcome with single-storey dwellings proposed on the lots, which are consistent with the character of the area (Clause 15.01-5S: Neighbourhood Character). The siting, scale, and appearance of the development is appropriate for the area (Clause 15.01-6S: Design for Rural Areas). The dwellings employ materials typical to the area, such as brick and weatherboard, with each dwelling sitting comfortably on the lot with secluded private open spaces offered for each. Furthermore, Clause 15.01: Building Design seeks to ensure design and siting outcomes contribute positively to the local context and enhance the public realm. The proposal aligns with these objectives by delivering a functional residential layout offering a sense of place through habitable windows facing the street and shared driveway. Porches and dwelling entries complimented by landscaping add visual amenity to each site with a spacious front garden area for dwelling one enhancing the streetscape. Additionally, open living designs for the dwellings will provide appropriate amenity for future residents. This state policy also seeks to support environmentally sustainable development. The proposal achieves a 100% STORM rating, providing 3,500L water tank per dwelling and 4sqm of raingarden within the shared driveway.

Given the above, it is considered that there is a high level of policy support for the multi-unit development on the land, noting the proposal:

- Seeks to realise the intensification of an existing rural township at a scale that is in keeping with the neighbourhood character, providing a total of 7 dwellings on the lot;



- Seeks to accommodate the expected population growth through diverse housing (mix of two and three bedroom dwellings) within an appropriately located urban area; and
- The proposal provides residential development, which is a high-quality form outcome on an underutilised site in a growing area with existing infrastructure and services available to service the new development.

The design response confirms the consistency with strategic planning policy, which demonstrates an outcome consistent with the area's existing and preferred character.

6.2.1 Garfield Township Strategy

The proposal appropriately aligns with the overall vision, and objectives of the Garfield Township Strategy, as the development:

- Provides 7 diverse residential houses, *for a range of lifestyle opportunities*;
- Provides modest, single-storey dwellings which have been appropriately designed, sited and of a scale that *respects the existing character of the township*;
- Provides sufficient landscaping, rainwater tanks to each dwelling and a raingarden along the shared driveway achieving a100% STORM rating score, to ensure the *residential development is environmentally sustainable*;
- Provides residential development on a site in which is flagged for residential growth;

Please see below an assessment against the strategies/actions as detailed in the Township Strategy.

Strategy	Response																								
Promote the integration of residential subdivisions through the preparation of a Development Plan Overlay for the land east of Garfield Road.	Cardinia ADVERTISED MATERIAL Planning Application: 1250/126 Date Prepared: 21 November 2012 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of the document is strictly prohibited. Not applicable – this is a development application, not a subdivision.																								
Promote the integration of infill residential sites through the identification of key roads, pedestrian linkages and work in a collaborative manner with developers.	The proposal seeks to deliver 7 dwellings on the site, which represents an appropriate form of infill development. The design has been informed by the existing street network and provides for strong integration with its surrounds. In particular, the layout ensures direct vehicle access from Garfield Road.																								
Promote the creation and development of residential lots based on the following design guidelines	Not applicable – the site is identified as ‘existing residential’ where the following design guidelines do not apply. Nonetheless, the Township Strategy outlines that significant residential development growth should be contained in areas, in which the site is within. The proposal provides 6 dwellings and retains an existing dwelling, within a large lot site flagged for residential growth.																								
<table><tr><th></th><th>Urban Residential</th><th>Large Lot Residential</th><th>Larger Lot Residential</th></tr><tr><td>Lot size range</td><td>700-1000m²</td><td>1000-2000m²</td><td>2000-4000 m²</td></tr><tr><td>Lot width (minimum)</td><td>18m, & frontage to depth ratio not to exceed 1:2.5</td><td>20m, & frontage to depth ratio not to exceed 1:2.5</td><td>30m, & frontage to depth ratio not to exceed 1:2.5</td></tr><tr><td>Minimum frontage setback</td><td>7m</td><td>10m</td><td>10m</td></tr><tr><td>Maximum site coverage</td><td>50%</td><td>40%</td><td>40%</td></tr><tr><td>Tree retention</td><td>Lot layout to maximise retention of existing trees</td><td>Lot layout to maximise retention of existing trees</td><td>Lot layout to maximise retention of existing trees</td></tr></table>		Urban Residential	Large Lot Residential	Larger Lot Residential	Lot size range	700-1000m ²	1000-2000m ²	2000-4000 m ²	Lot width (minimum)	18m, & frontage to depth ratio not to exceed 1:2.5	20m, & frontage to depth ratio not to exceed 1:2.5	30m, & frontage to depth ratio not to exceed 1:2.5	Minimum frontage setback	7m	10m	10m	Maximum site coverage	50%	40%	40%	Tree retention	Lot layout to maximise retention of existing trees	Lot layout to maximise retention of existing trees	Lot layout to maximise retention of existing trees	
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Tree retention	Lot layout to maximise retention of existing trees	Lot layout to maximise retention of existing trees	Lot layout to maximise retention of existing trees																						
Protection of ridgelines through the preparation of Siting and Design Guidelines for residential development in Cardinia.	Not applicable to the site – The strategy outlines that this is applicable to lots northern of Barkers Road.																								
Protect existing pockets of vegetation identified in the Framework Plan by supporting larger lot sizes and sensitive siting of dwellings.	The site does not contain pockets of vegetation identified in the Framework Plan, nor does the proposed development have impact on these identified pockets.																								

Strategy	Response
Encourage medium density residential development behind the existing commercial precinct as part of a mixed use commercial/residential precinct.	The site is located north of the existing commercial precinct and therefore it is appropriate to provide 6 dwellings and retain 1 dwelling on the site.
All residential development, including low density development should be connected to reticulated sewerage.	The proposed development will be connected to reticulated sewerage.
Enhance and protect Ti Tree Creek environs through the creation of a reserve, revegetation and water quality management in conjunction with existing landowners and Melbourne Water.	The proposal will not impact the Ti Tree Creek environs. The development has proposed sufficient landscaping and trees within the site to respond to the surrounding environment.
Promote street and lot layout that maximises potential solar orientation of residential dwellings.	All dwellings have been oriented to maximise solar orientation, where practical. The private open space area for each dwelling are located in the northern part of the site.
Promote pedestrian permeability throughout the town by linking existing and proposed pedestrian pathways.	A pedestrian link is proposed along Garfield Road which will link the development to the town centre and railway.

6.3 Built Form and Amenity

6.3.1 Built Form

The proposal provides a high-quality architectural response to the site and surrounds, seeking to respect the existing and preferred neighbourhood character. Upon review of the Cardinia Planning Scheme, we note that there are a number of planning aspirations that emerge for the site:

Scale

The proposed development sits comfortably on the site, having regard for its physical characteristics. Each dwelling is located to allow for sufficient private open space and landscaping. The proposal comprises single-story dwellings, which respect the single-story nature of the surrounding properties. The proposed design response has been carefully considered to ensure it will not present unreasonable visual bulk to adjoining properties and streetscape along Garfield Road. The proposed side and rear setbacks, and substantial landscaping will also aid in reducing visual bulk and facilitate an acceptable scale.

Interfaces

The site is bound by residential interfaces to the north, east and south-east. Appropriate setbacks incorporating landscaping have been provided throughout the proposal to ensure a high level of residential amenity for future residents. The internal accessway in the development acts as an additional setback to the south.

Further, there will not be any unreasonable overshadowing of residential dwellings within the proposed development. Landscape has been incorporated throughout the design to ensure the proposal maintains consistency with the existing neighbourhood character.

The proposal responds appropriately to the objectives and requirements of Clause 55 (Two or More Dwellings on a Lot). Please refer to **Appendix B** for an assessment of the proposal against clause 55.

6.3.2 Amenity

The proposal has undergone a detailed design process to ensure that the site is accommodated by a best-practice architectural outcome. The following outlines design elements that will ensure all future residents/occupants will enjoy high levels of amenity and will facilitate the protection of offsite amenity.

Internal Amenity



The following elements of the design will ensure that all future residents will enjoy high levels of amenity:

- Each dwelling features a minimum of 26m² of secluded private open space and 44m² of private open space complying with standard B28;
- A total of 783m² (35.7%) of garden area is provided which is above the minimum requirement of 35%;
- Landscaping has been provided to each dwelling setback and frontage;
- The internal accessway has been designed to ensure safe and efficient traffic movements throughout the site;
- Given the single storey scale of the development, no internal overlooking will occur within the development; and
- As evident in the shadow diagrams, built form has been appropriately designed to ensure internal shadowing impacts are acceptable.

Protection of Offsite Amenity

Noting the site's location within a residential area, it is important to protect the amenity of the surrounding properties. Therefore, the design response includes a range of internal and external design features to protect the amenity of neighbours. It is noted that each dwelling is single storey. This ensures that adjacent dwellings are not unreasonably impacted by the proposal. The proposal appropriately mitigates offset amenity impacts and achieves a high level of compliance with Clause 55.04: Amenity Impacts, exceeding the Standard of Objectives B18 to B21.

Further design details include:

- The proposal achieves full compliance with the standard of B17 and incorporates generous side and rear setbacks;
- The proposed built form exceeds the setback requirements of B19, ensuring substantial setbacks from neighbouring dwellings and minimising overshadowing impacts to existing habitable room windows;
- The residential land use is compatible with adjoining and surrounding land uses;
- As evident in the submitted shadow diagrams, overshadowing of neighbours will not be unreasonable, complying with Standard B21;
- Dwelling siting allows for substantial vegetation planting and screening opportunity along the boundary. Each dwelling has a minimum of 26m² of secluded private open space and 44m² of private open space, complying with Standard B28; and



The proposal provides an appropriate response to the site's context and abutting residential uses, protecting offset amenity and providing for a high level of internal amenity for future residents.

6.4 Traffic and Access

6.4.1 Access

Access to the site is provided via a shared accessway which will serve vehicle access to all dwellings via the existing crossover to Garfield Road in the Southeast corner of the site. The internal accessway will have a 3m wide entry with the largest setback being 7.5m from dwelling garages to allow for vehicle passing opportunities within the site. The site's access complies with the design standards for accessways set out in Clause 52.06-9 of the Planning Scheme.

6.4.2 Clause 52.06 – Car Parking

Car parking requirements for dwellings are identified in Clause 52.06 of the Cardinia Planning Scheme and are outlined in the below table.



Use	Statutory Parking Rate	Required	Provided
Dwelling	One (1) to each one or two bedroom dwelling, plus	5	5
	Two (2) to each three or more bedroom dwelling	4	4
	One visitor car space for every five dwellings	1	1
Total		10	10

A total number of 10 car spaces are provided to service the proposed dwellings, thus meeting the requirements of Clause 52.06. The car parking provision is therefore considered appropriate to satisfy the parking demands generated by the development.

6.4.3 Clause 52.34 – Bicycle Parking

Bicycle parking requirements for dwellings are outlined in Clause 52.34 of the Cardinia Planning Scheme. As this proposal is only single storey, Clause 52.34 does not apply. It is assumed that, if required, bicycles can be sufficiently stored in the garages provided for each dwelling, where the dimension requirements are met.

6.5 Vegetation

As discussed, the site and surrounds comprise vegetation such as canopy trees and shrubs. This is particularly prominent along the northern and southern boundaries, and within the centre of the site.

It is noted, however, that the removal of any native vegetation on site is exempt from requiring a planning permit under Clause 52.17: Native Vegetation due to the exemption in Clause 52.17 states that the requirement to obtain a planning permit does not apply to:

Native vegetation that is to be removed, destroyed or topped on land, together with all contiguous land in one ownership, which has an area of less than 0.4 hectares.



All vegetation on site is proposed for removal, as recommended within the enclosed Arborist Report prepared by iClimb Tree Services. All trees on neighbouring sites are to be retained, with appropriate tree protection measures to be implemented. As the site area is 2,191m² or 0.219 hectares, the removal of any native vegetation on site is exempt from requiring planning permission. Considerable landscaping is proposed, in which will replace the lost vegetation on site and integrate with the surrounding environment, particularly to the west. Please refer to Section 6.6 in which details the landscaping response.

6.6 Landscaping

The proposal seeks to develop 7 dwellings (including the retention of the existing dwelling) and the construction and use of a shared driveway. The design has been carefully considered to accommodate sufficient landscaping opportunities. As per the enclosed landscape Plan prepared by Zenith Concepts, landscaping and a canopy tree is proposed for each dwelling POS. The shared driveway comprises further trees and low-level shrubs to allow for efficient and safe vehicle movements. It is considered that the proposed landscaping will positively contribute to the existing character of Garfield.



Figure 10 – Proposed Landscape Plan (Dwelling 1 and 2)

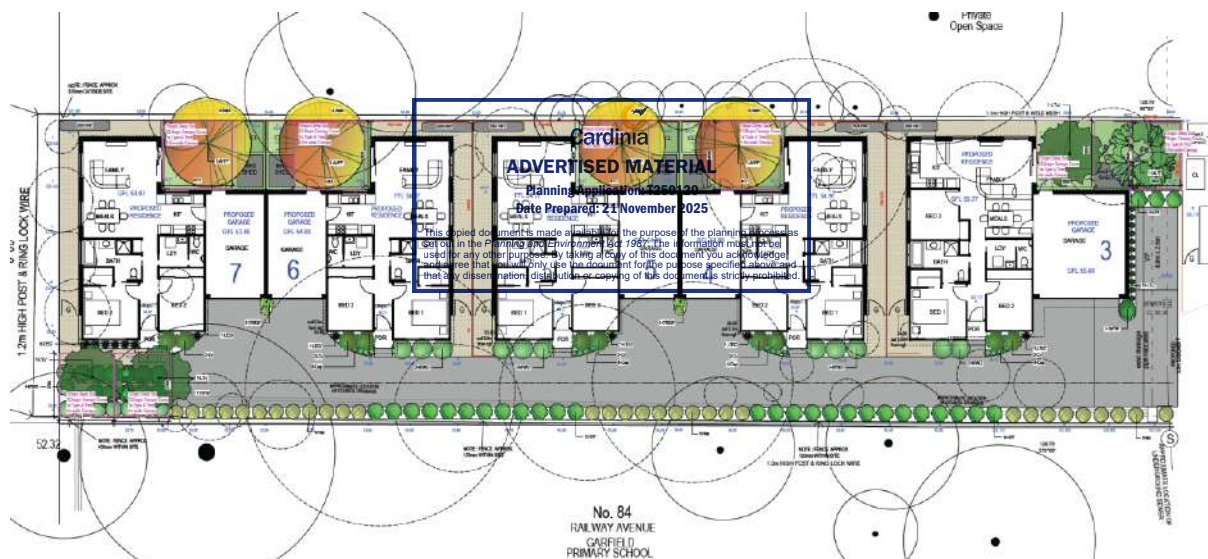


Figure 11 – Proposed Landscape Plan (Dwelling 3-7)

6.7 Waste Management

It is proposed that Municipal Waste Collection services be utilised to manage the collection and disposal of all waste streams associated with the development.

Residential waste bins are to be stored within the open space areas or garages for each dwelling. Residents will be responsible for transferring bins to the Garfield Road frontage prior to collection periods and for returning bins to their respective storage location, post collection.

The collection location and expected transfer route is shown in the image below.



Figure 12 – Insert from enclosed Waste Management Plan noting the sites bin storage locations and collection details (Onemilegrid).

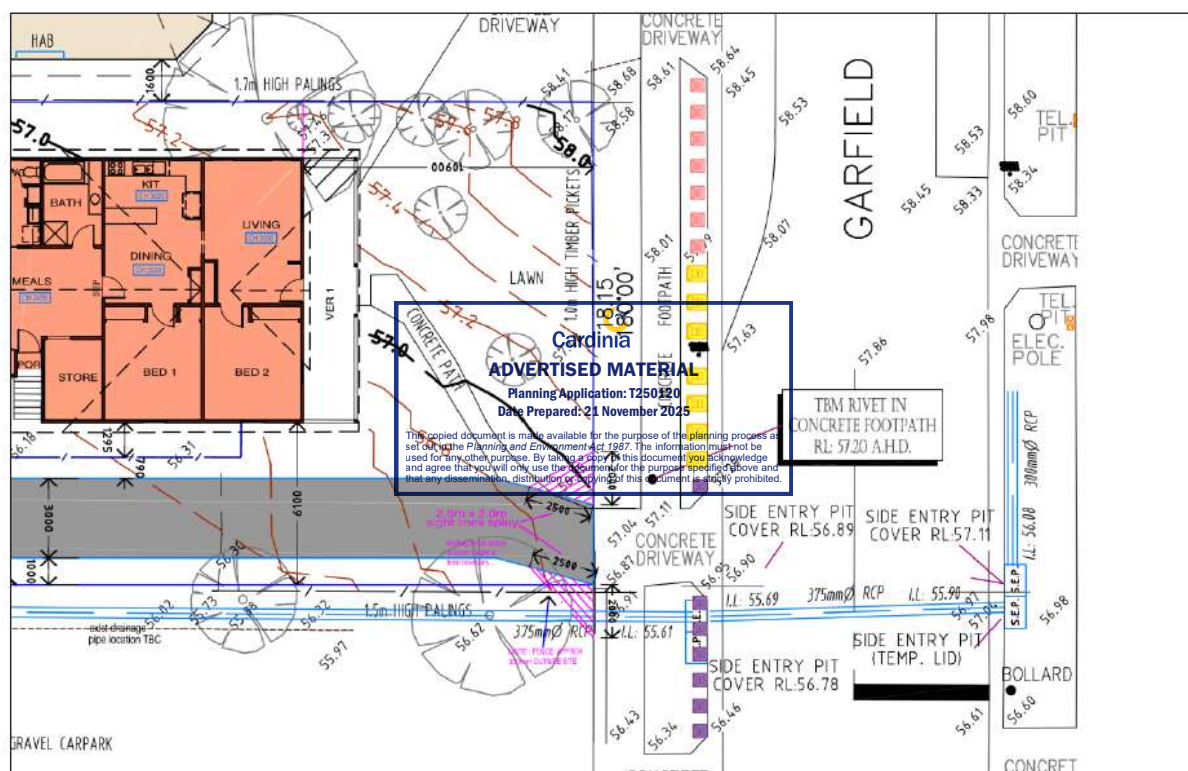


Figure 13 – Insert from enclosed Waste Management Plan noting bin presentation plan

Please refer to the enclosed Waste Management Report prepared by Onemilegrid for further details about waste management for the site.



7 Conclusion

This Planning Report has demonstrated the proposal is consistent with the relevant policies and requirements of the Cardinia Planning Scheme. The proposal will deliver a multi-unit development which will cater for seven dwellings with associated landscaping.

It is therefore considered the proposal is an appropriate outcome for the following reasons:

- The proposal is consistent with the purpose and intent of the relevant Planning Policy Framework, including the Municipal Planning Strategy and the Local Planning Policy;
- The proposal achieves all relevant objectives of Clause 55 and demonstrates a high level of compliance with the standards to ensure an appropriate built form design response;
- The proposed layout has been designed to ensure each dwelling has a sense of address and excellent internal amenity and the amenity of adjoining properties is protected;
- The proposed layout provides for efficient and safe vehicle and pedestrian circulation throughout the site;
- The proposed lots are consistent with that of existing residential development surrounding the site; and
- The development employs landscaping and a design outcome that enhances the streetscape and positively contributes to the existing character of the area.

For the reasons outlined in this report we believe the proposal is worthy of Council support, subject to standard conditions.

Human Habitats Pty Ltd



APPENDIX A – Decision Guidelines

Clause 32.08-14 General Residential Zone

Decision Guideline	Response
General	
<i>The Municipal Planning Strategy and Planning Policy Framework</i>	As outlined in Section 6.2 of the report, the proposed development responds well to state and local planning policy.
<i>The purpose of this zone.</i>	The proposed development responds well to the purpose of this zone. The general residential zone seeks to encourage development that respects the neighbourhood character of the area and to encourage a diversity of housing types and housing growth in locations offering good services and transport. The proposal responds well to these objectives as the site is ideally located in proximity to goods and transport services. Further, the proposal for single storey dwellings is well suited to the character of the area.
<i>The objectives set out in a schedule to this zone.</i>	There are no objectives set out in a schedule to this zone.
<i>Any other decision guidelines specified in a schedule to this zone.</i>	There are no decision guidelines specified in the schedule.
<i>The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.</i>	The proposed development will not have an impact of overshadowing on existing rooftop solar energy systems on adjoining lots.
Dwellings, small second dwellings and residential buildings	
<i>For the construction and extension of one dwelling on a lot and a small second dwelling, the applicable objectives, standards and decision guidelines of Clause 54.</i>	N/A – This proposal is for the construction of two or more dwellings
<i>For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55. This does not apply to an apartment development of five or more storeys, excluding a basement.</i>	Please refer to Appendix B which provides a comprehensive assessment of the proposed development against the relevant objectives and standards of Clause 55.
<i>For the construction and extension of an apartment development of five or more storeys, excluding a basement, the objectives, standards and decisions guidelines of Clause 58.</i>	N/A – This proposal is for the construction of two or more dwellings



APPENDIX B - Clause 55 Assessment

Pursuant to Clause 32.08-7, construction and extension of two or more dwellings within the General Residential Zone are required to meet the objectives and should meet the standards of All of Clause 55 except Clause 55.07-1 to 55.07-19 (inclusive).

Clause 55.02 - Neighbourhood Character

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B1 Neighbourhood Character To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character. To ensure that development responds to the features of the site and the surrounding area.	The design response must be appropriate to the neighbourhood and the site.	✓ Complies As evidenced in this planning report, the subject proposal provides an appropriate response to the site and surrounding context.
	The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.	✓ Complies As discussed in this report, the proposal aligns with and enhances the neighbourhood character. This is demonstrated through the development delivering modest single-storey dwellings equipped with brick materiality.
B2 Residential Policy To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework. To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.	 Cardinia ADVERTISED MATERIAL Planning Application T250120 Date Prepared: 21 November 2025 This document is for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will use the information for the purpose intended and that you will not disclose the information to any other person without the written consent of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.	✓ Complies As discussed in Section 6.2 of the report, the proposal provides a positive response to the planning controls and policies of the Cardinia Planning Scheme.
B3 Dwelling Diversity To encourage a range of dwelling sizes and types in developments of ten or more dwellings.	Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: ▪ Dwellings with a different number of bedrooms. ▪ At least one dwelling containing a kitchen, bath or shower, and a toilet and wash basin at ground floor level.	Not Applicable The proposal is for 7 dwellings.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B4 Infrastructure To ensure development is provided with appropriate utility services and infrastructure. To ensure development does not unreasonably overload the capacity of utility services and infrastructure.	Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.	✓ Complies The proposed development is connected to a full range of services and infrastructure and does not cause for the capacity of these services to be exceeded.
B5 Integration with the Street Integrate the layout of development with the street.	Developments should provide adequate vehicle and pedestrian links that will maintain or enhance local accessibility. ADVERTISED MATERIAL Planning Application: T250120 Date Issued: 21 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and warrant that you will not disseminate or copy this document in any way, and that any dissemination, distribution or copying of this document is strictly prohibited. Development should be oriented to front existing and proposed streets.	✓ Complies All dwellings are accessed from the shared driveway, in which links to Garfield Road.
	High fencing in front of dwellings should be avoided if practicable.	✓ Complies Dwelling 1 is oriented to Garfield Road and all other dwellings are proposed to front the internal shared driveway.
	Development next to existing public open space should be laid out to complement the open space.	N/A The subject site does not adjoin public open space.
		✓ Complies 1.0m high timber picket fencing is proposed to be retained on the site. This is consistent with the rest of street as many dwellings particularly opposite and to the south of the site, also employ similarly styled fencing. No high fencing is proposed in front of the remaining dwellings.



Clause 55.03 - Site Layout and Building Massing

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B6 Street Setback To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	✓ Complies The setback requirement is 9 metres. The proposed setback to dwelling 1 from Garfield Road is 10.9m which complies.
B7 Building Height To ensure that the height of buildings respects the existing or preferred neighbourhood character.	A building must have a maximum building height of no more than 9 metres and must contain no more than 2 storeys above natural ground level.	✓ Complies Proposed buildings will all be single storey and has a maximum overall building height of 5.6m.
B8 Site Coverage To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.	The site area covered by buildings should not exceed: ▪ The advertised site coverage specified in a schedule to the zone, or ▪ If no maximum site coverage is specified in a schedule to the zone, 60 per cent. This copied document is not available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.	✓ Complies The proposal will have a site coverage of the total buildings area of 41.5%.
B9 Permeability To reduce the impact of increased stormwater run-off on the drainage system. To facilitate on-site stormwater infiltration. To encourage stormwater management that maximises the retention and reuse of stormwater.	The site area covered by the pervious surfaces should be at least: ▪ The minimum area specified in a schedule to the zone, or ▪ If no minimum is specified in a schedule to the zone, 20 percent of the site. The stormwater management system should be designed to: ▪ Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).	✓ Complies The proposed development dedicates 33.6% of the site area to pervious surfaces.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.	
B10 Energy Efficiency To achieve and protect energy efficient dwellings and residential buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy	Orientation of buildings should make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Sited and designed to ensure that the performance of existing rooftop solar energy facilities on dwellings on adjoining lots in a general Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy facility must exist at the date the application is lodged. Living areas and private open space should be located on the north side of the development, if practicable. Developments should be designed so that solar access to north-facing windows is maximised.	✓ Complies The dwellings have been designed and sited to harness the potential solar energy. The buildings also incorporate open spaces which have multiple aspects, or on different sides of the building, to provide for a choice of spaces which provides access to sunlight throughout the day. ✓ Complies The development will not reduce the energy efficiency of neighbouring lots. ✓ Complies The solar energy facilities performance of any neighbouring dwellings will not be unreasonably reduced as a result of the proposal. ✓ Complies The proposal maintains the northern orientation of living areas and private open space for all dwellings.
B11 Open Space Integrate layout of development with any public and communal open space provided in or adjacent to the development.	If any public or communal open space is provided on site, it should: - Be substantially fronted by dwellings. - Provide outlook for dwellings. - Be designed to protect natural features.	✓ Complies The shared driveway fronts all dwellings and provides access to all dwellings.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	Be accessible and usable.	
B12 Safety To ensure the layout of development provides for the safety and security of residents and property.	Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.	✓ Complies The proposed dwellings are oriented to provide unobscured views onto the street.
	Planting which creates unsafe spaces along streets and accessways should be avoided.	✓ Complies No proposed planting will hinder accessway safety.
	Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.	✓ Complies The dwellings all provide opportunities for passive surveillance to and from the street.
	Private spaces within developments should be protected from inappropriate use as public thoroughfares.	✓ Complies Private spaces are clearly delineated through design and materiality of the building and landscaping.
B13 Landscaping To encourage development that respects the landscape character of the neighbourhood. To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance. To provide appropriate landscaping. To encourage the retention of mature vegetation on the site.	 ADVERTISED MATERIAL Planning Application: T250120 Date Prepared: 21 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purposes. By taking a copy of this document you acknowledge and agree that you will not disseminate, distribute or copy this document and that any dissemination, distribution or copying of this document is strictly prohibited. The landscape layout and design should: - Protect and predominate landscape features of the neighbourhood. - Take into account the soil type and drainage patterns of the site. - Allow for intended vegetation growth and structural protection of buildings. - In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. - Provide a safe, attractive and functional environment for residents. Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood. Development should provide for the replacement of any significant trees	✓ Complies Landscaping will be provided in the private open space for each dwelling and along the shared driveway. Please refer to the Landscape Plan prepared by Zenith Concepts.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	that have been removed in the 12 months prior to the application being made. The landscape design should specify landscape themes, vegetation (location and species), paving and lighting. Development should meet any additional landscape requirements specified in a schedule to the zone.	
B14 Access To ensure the number and design of vehicle crossovers respects the neighbourhood character.	The width of accessways or car spaces should not exceed: 33 per cent of the street frontage, or - if the width of the street frontage is less than 20 metres, 10 per cent of the street frontage. ADVERTISED MATERIAL Cardinal Planning Application: T250120 Date Prepared: 21 November 2025 No more than one single-width crossover should be provided for each dwelling fronting a street.	✓ Complies All proposed accessways will be single width. and will not exceed 33 per cent of the street frontage.
	The location of crossovers should maximise the retention of on-street car parking spaces.	✓ Complies Proposed crossovers will not affect any on-street car parking spaces noting that the existing crossover will be retained.
	The number of access points to a road in a Road Zone should be minimised.	Not applicable There is no access points to a road in a Road Zone.
	Developments must provide for access for service, emergency and delivery vehicles.	✓ Complies There is sufficient space for larger service, emergency and delivery vehicles to access the site, from the internal shared driveway.
B15 Parking Location To provide convenient parking for resident and visitor vehicles.	Car parking facilities should: - Be reasonably close and convenient to dwellings and residential buildings. - Be secure.	✓ Complies Each garage will be internally accessible from each dwelling, with the exception of Dwelling 1. The proposed garages ensures a secure and well-ventilated design and will allow for safe and efficient



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
To protect residents from vehicular noise within developments.	- Be designed to allow safe and efficient movements within the development. - Be well ventilated if enclosed.	movements within the development.
	Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.	✓ Complies All car parks of other dwellings are located 1.5 metres from the windows of habitable rooms.

Clause 55.04 – Amenity Impacts

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B17 Side and Rear Setbacks To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.	 ADVERTISED MATERIAL Planning Application: T250120 This covered document is made available for the purpose of the planning process as set out in the relevant legislation. It is not to be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, reproduction or copying of this document is strictly prohibited. A new building not more than 200mm of boundary setback from side or rear boundaries. - At least the distance specified in a schedule to the zone, or - If not, distance is specified in a schedule to the zone, 1 metre plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard. Landings having an area of not more than 2 square metres and less than 1 metre high, stairways,	✓ Complies The exterior wall heights of the proposed dwellings are 2.4 metres high, therefore a distance of 1 metre is required for the dwellings side and rear setbacks. This is achieved for all dwellings.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.	
B18 Walls on Boundaries To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.	A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary: ▪ For a length of more than the distance specified in a schedule to the zone; or ▪ If no distance is specified in a schedule to the zone, for a length of more than: - 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports whichever is the greater. A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary. A building on a boundary includes a building set back up to 200mm from a boundary. The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1	N/A There are no walls constructed on or within 200mm of an adjoining boundary.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.	
B19 Daylight to Existing Windows To allow adequate daylight into existing habitable room windows.	Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.	✓ Complies The proposal does not compromise the amount of light that will reach any existing habitable rooms.
	Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.	✓ Complies No walls or carports more than 3 metres in height are proposed.
	Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.	
B20 North Facing Windows To allow adequate solar access to existing north-facing habitable room windows.	If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.	✓ Complies No existing north-facing habitable room windows are located within 3 metres of a boundary.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B21 Overshadowing Open Space To ensure buildings do not significantly overshadow existing secluded private open space.	Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.	✓ Complies The proposal will not interrupt any secluded private open space of an existing dwelling.
B22 Overlooking To limit views into existing secluded private open space and habitable room windows.	A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level. A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either: Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.	✓ Complies The proposal will not allow for any overlooking potential. The development has been designed that habitable room windows are minimised along the northern boundary and avoid direct views to an existing dwelling.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	▪ Have sill heights of at least 1.7 metres above floor level. ▪ Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level. ▪ Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard. Screens used to obscure a view should be: ▪ Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. ▪ Permanent, fixed and durable. ▪ Designed and coloured to blend in with the development. This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.	N/A No screening is proposed.
B23 Internal Views To limit views into the secluded private open space and habitable	Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential	✓ Complies The proposal will not allow for views into secluded private open space or habitable room windows of attached dwellings.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
room windows of dwellings and residential buildings within a development.	building directly below and within the same development.	
B24 Noise Impacts To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise.	Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.	✓ Complies As surrounding properties are residential, noise sources will be what are common and expected in a residential area. Noise sources such as plant equipment will be located away from noise sensitive rooms.
	Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.	✓ Complies Same as above.
	Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.  Cardinia ADVERTISED MATERIAL For Public Use Only - Design Date Prepared: 21 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.	✓ Complies The subject site is not within proximity of busy roads.

Clause 55.05 - On-Site Amenities and Facilities

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B25 Accessibility To encourage the consideration of the needs of people with limited mobility in the design of developments.	The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	✓ Complies Entrances can be easily modified to boost accessibility for those with limited mobility. Entrances on the ground floor are well defined and secure.
B26 Dwelling Entry To provide each dwelling or residential building with its own sense of identity.	Entries to dwellings and residential buildings should: - Be visible and easily identifiable from streets and other public areas. - Provide shelter, a sense of personal address and a transitional space around the entry.	✓ Complies The entrances of the proposed dwellings are clearly visible and identifiable, and provided with a sheltered transitional space/porch at the entrance to the building.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B27 Daylight to New Windows To allow adequate daylight into new habitable room windows.	A window in a habitable room should be located to face: ▪ An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or ▪ A verandah provided it is open for at least one third of its perimeter, or ▪ A carport provided it has two or more open sides and is open for at least one third of its perimeter.	✓ Complies Dwelling siting and window placement ensures that all windows have sufficient views clear to the sky and solar access.
B28 Private Open Space To provide adequate private open space for the reasonable recreation and service needs of residents.	A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone, if no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of: ▪ An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or ▪ A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or ▪ A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.	✓ Complies All dwellings will significantly exceed the 40sqm requirement for private open space and 25sqm requirement for secluded open space. A minimum of 44sqm of private open space and 26sqm for secluded private open space is provided for each dwelling. Please refer to TP05 of the Architectural Plan for the Area Analysis.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B29 Solar Access to Open Space To allow solar access into the secluded private open space of new dwellings and residential buildings.	The private open space should be located on the north side of the dwelling or residential building, if appropriate.	✓ Complies Each dwelling will have access to private open space oriented to the north where the site allows. This will excellent solar access to open space.
	The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.	✓ Complies The proposal ensures secluded open space for each dwelling is provided with an adequate setback to allow solar access.
B30 Storage To provide adequate storage facilities for each dwelling.	Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	✓ Complies All dwellings are provided with the necessary storage shed, conveniently located outside adjacent to the dwelling.

Clause 55.06 Detailed Design

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B31 Design Detail To encourage design detail that respects the existing or preferred neighbourhood character.	The design of buildings, including: ▪ Facade articulation and detailing, ▪ Window and door proportions, ▪ Roof form, and Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character.	✓ Complies As discussed throughout this Planning Report, the proposal constitutes an appropriate response to neighbourhood character.
	Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	✓ Complies Garages are located on the ground floor which have been integrated into the design of the dwellings and are visually compatible with it. A new carport is proposed for dwelling 1 in which will be of the same design and form of the remaining garages.



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B32 Front Fences To encourage front fence design that respects the existing or preferred neighbourhood character.	The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties. A front fence within 3 metres of a street should not exceed: ▪ The maximum height specified in a schedule to the zone, or ▪ If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3 (1.5m given the site is not on a street in Road Zone, Category 1).	✓ Complies 1.0m high timber picket fencing is proposed to be retained on the site, thus meeting the standard B3. This is consistent with the rest of street as many dwellings particularly opposite and to the south of the site, also employ similarly styled fencing.
B33 Common Property Ensure car parking, access areas and other communal open space is practical, attractive and easily maintained. Avoid future management difficulties in common ownership areas.	Should be functional and capable of efficient management.  ADVERTISED MATERIAL Planning Application: T250120 Date Prepared: 21 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1967. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.	✓ Complies The visitor car park is easily accessible in the central area of the site. The proposal will deliver an internal road network which satisfies the vehicle accessway requirements. This private road will be functional for future users and will be managed by the Owners Corporation.
	Public, communal and private areas should be clearly delineated. Common property should be functional and capable of efficient management.	✓ Complies As mentioned above, the visitor car park is easily accessible in the central area of the site. The proposal will deliver an internal road network which satisfies the vehicle accessway requirements. This private road will be functional for future users and will be managed by the Owners Corporation.
B34 Site Services Ensure site services and facilities can be installed and easily maintained and are accessible, adequate and attractive.	Dwelling layout and design should provide for sufficient space and facilities for services to be installed and maintained.	✓ Complies The dwelling layout is functional and allows for services and facilities to be installed and maintained as per good design practice.
	Bin and recycling enclosures, mailboxes and other site facilities	✓ Complies



Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	should be adequate in size, durable, waterproof and should blend in with the development.	There is sufficient space for bins storage within Private Open Spaces areas. The area set for Bin Storage is noted on the Plans.
	The site facilities including mailboxes should be located for convenient access. Bin and recycling enclosures located for convenient access. Mailboxes provided and located for convenient access as required by Australia Post.	✓ Complies Mailboxes will be located adjacent to the street frontage at the entrance to each dwelling.



Cardinia

ADVERTISED MATERIAL

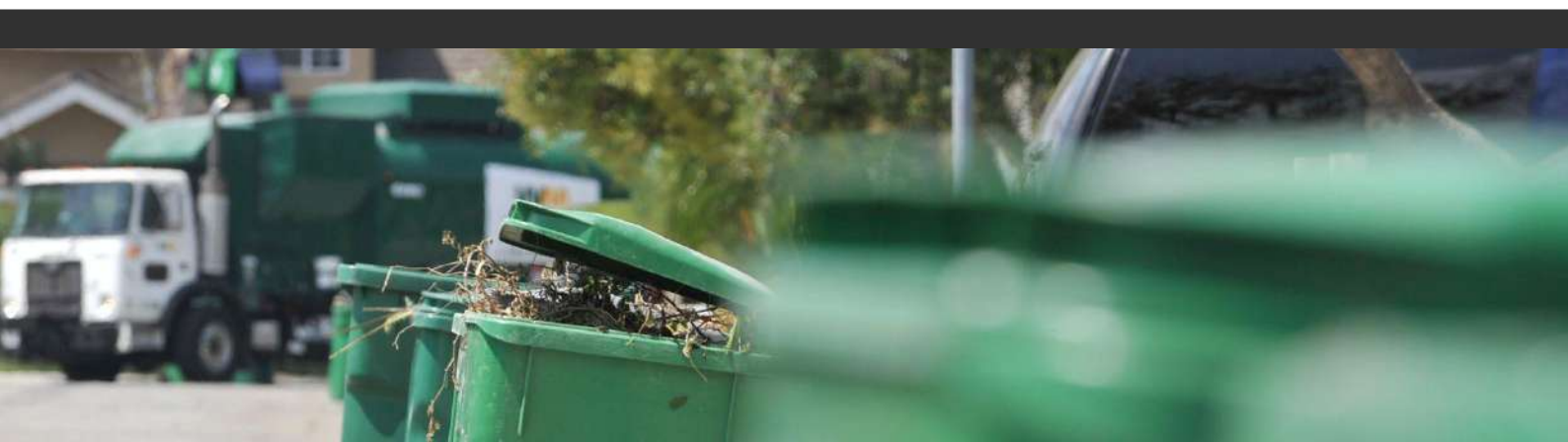
Planning Application: T250120

Date Prepared: 21 November 2025

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15 Garfield Road, Garfield

Waste Management Plan



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6 May 2025

1 INTRODUCTION

onemilegrid has been requested by Human Habitats to prepare a Waste Management Plan for the proposed residential development at 15 Garfield Road, Garfield.

The preparation of this management plan has been undertaken with due consideration of the Sustainability Victoria Better Practice Guide for Waste Management and Recycling in Multi-unit Developments and relevant Council documentation.

2 PURPOSE

The purpose of the waste management plan is to:

- Demonstrate the development of an effective waste management system that is compatible with the design of the proposed residential development and the adjacent built environment. An effective waste management system is hygienic, clean and tidy, minimises waste going to landfill, and maximises recycling;
- Provide a waste management system that is supported by scale drawings to ensure the final design and construction of the development is compliant with the WMP and is verifiable;
- Form a document that achieves effective communication of the waste management system so that all stakeholders can be properly informed of its design, and the roles and responsibilities involved in its implementation. Stakeholders are defined (but not limited to): owners, occupiers, owners corporations, property managers/real estate agents, Council, neighbours and collection contractors;
- Ensure residents are not disadvantaged in their access to recycling and other responsible waste management options;
- Avoid existing legacy issues that plague many developments due to poor design and insufficient consideration for waste management; and
- Improve outcomes for compliance with regulatory tools and state Planning Strategies (where applicable), such as:
 - + Recycling Victoria;
 - + Town planning Permits;
 - + Cardinia Planning scheme;
 - + Clause 19.03-5 of the state planning policy framework;
 - + Direction 6.7 of Plan Melbourne;
 - + Clause 55 Standard B34 of the Planning Scheme; and
 - + Clause 55.07 and Clause 58.06 of the Planning Scheme.



3 POLICIES, STRATEGIES AND GUIDELINES

3.1 Recycling Victoria – Best Practice Waste Management

Best Practice Waste Management is an initiative designed to reduce the amount of waste generated, through encouraging a change of behaviour and action on waste management and moreover recycling.

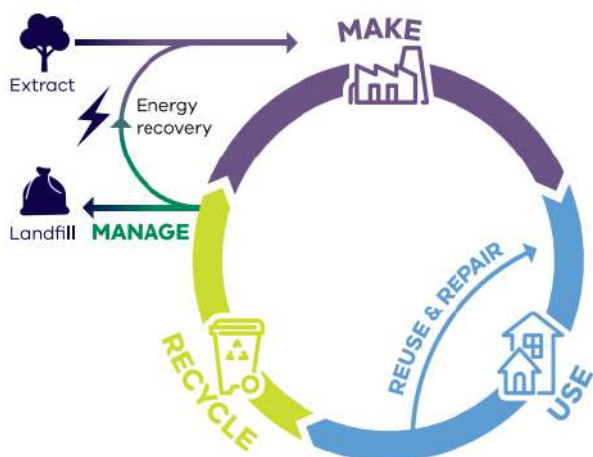
The benefits of reducing waste generation are far reaching and have been identified as significantly important by Council and the Victorian Government.

Recycling Victoria: A New Economy is a policy and 10-year action plan, prepared by the Victoria Government, to “deliver a cleaner, greener Victoria, with less waste and pollution, better recycling, more jobs and a stronger economy”.

Four overarching goals have been identified in order to achieve a circular economy in relation to waste, as below:

1. MAKE – Design to last, repair and recycle;
2. USE – Use products to create more value;
3. RECYCLE – Recycle more resources;
4. MANAGE – Reduce harm from waste and pollution.

Figure 1 Resource Flows in a Circular Economy



3.2 Sustainability Victoria

Sustainability Victoria has developed the Guide to Better Practice for Waste Management and Recycling in Multi-Unit Developments (MUDs) to improve waste management practices and increase recycling in MUDs and commercial developments.

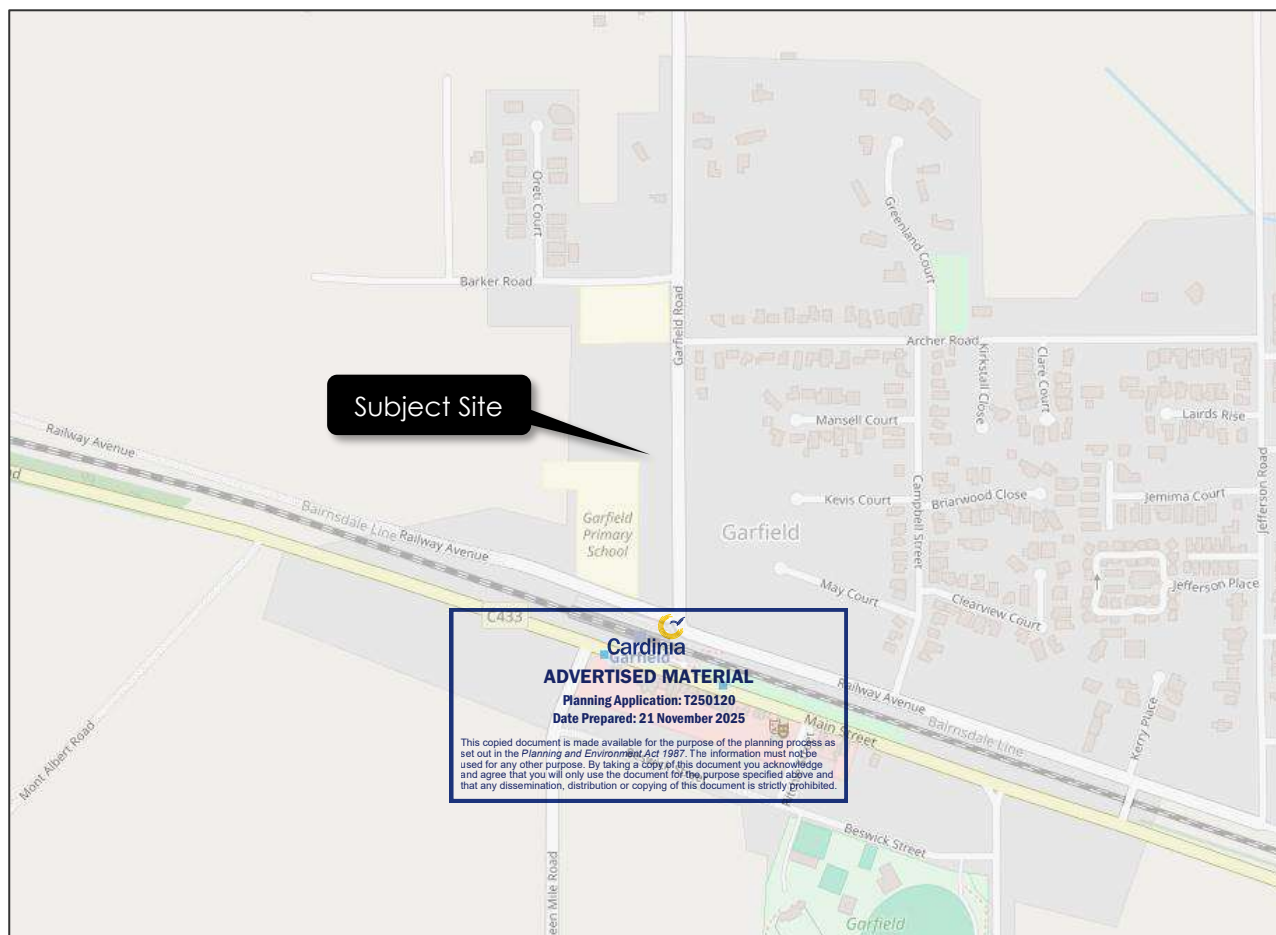
This guide is a stand-alone resource providing guidance for architects, building designers, developers, building managers, residents, planners, and waste management officers to incorporate effective waste and recycling systems into all stages of a development's life.

It outlines essential points of consideration when designing a waste management system for medium or high-density residential, mixed-use, and precinct-scale developments, with some guidance and better practice options applicable to a broader range of developments.

4 EXISTING SITE CONDITIONS

The [subject site](#) is located at 15 Garfield Road, Garfield, and is located on the west side of Garfield Road as shown in Figure 2.

Figure 2 Site Location



Source: OpenStreetMap

The site is rectangular in shape and has a frontage of approximately 18 m to Garfield Street, and a depth of approximately 120 m.

The site is currently occupied by a single dwelling with vehicular access from Garfield Road.

5 PROPOSED DEVELOPMENT

It is proposed to retain the existing dwelling on the site and develop the rear of the site with an additional 6 dwellings (4x two-bedroom dwellings and 2x three-bedroom dwellings), equating to a total of 7 dwellings on-site.

It is proposed to provide a shared accessway to serve vehicle access to all dwellings, via the existing crossover to Garfield Road in the southeast corner of the site.

6 WASTE MANAGEMENT

6.1 General

It is proposed to utilise Cardinia Council's municipal waste collection services to manage the collection and disposal of all waste streams associated with the development.

Residential waste bins will be stored within the open space areas or garages for each dwelling, with residents responsible for transferring bins to the Garfield Road frontage prior to collection periods. Following collections, residents will be responsible for returning bins to their respective storage location.

The collection location and expected transfer route is shown in, as shown in Figure 3.

Figure 3 Bin Storage Locations and Collection Details



6.2 Waste Streams

6.2.1 Garbage

The garbage stream comprises of non-recyclable material, which is to be disposed of in landfill, and is one of the four primary waste streams identified by Recycling Victoria and forms part of the standard commercial collection system.

A mobile bin will be provided for the collection and disposal of garbage.

6.2.2 Organic (Food) Waste

A proportion of waste generated by the proposed use is anticipated to comprise of organic (food) waste, which is one of the four primary waste streams identified by Recycling Victoria and forms part of the standard commercial collection system.

A mobile bin will be provided to residents for the collection and disposal of organic (food) waste and garden waste.

6.2.3 Recycling

The commingled recycling stream is a mixed material stream consisting of paper, cardboard, cans, plastics, and glass (where not collected as part of a separate glass collection service) and is one of the four primary waste streams identified by Recycling Victoria and forms part of the standard commercial collection system.

A mobile bin will be provided for the collection and disposal of recycling.



6.2.4 Glass Recycling

It is understood that Cardinia will transition to the provision of a separate glass recycling in the future, as part of the State Government's Recycling Victoria Policy. The provision of separate glass waste collection would result in the reduction of weekly recycling generation.

It is understood that a mobile bin will be provided to residents for the collection and disposal of glass in the future.

6.2.5 Container Deposit Scheme (CDS)

On 1 November 2023, Victoria's Container Deposit Scheme (CDS) commenced, which marked a significant milestone towards Victoria achieving its Circular Economy goal.

The CDS rewards Victorians with a 10 c refund for all eligible cans, cartons and bottles that are returned. Most aluminium, glass, plastic, and liquid paperboard (carton) drink containers, between 150 mL and 3 L are eligible, with a 10 c mark provided on the drink container label, often located near the barcode. Container lids are able to be kept on, as they can also be recycled.

There are multiple ways to receive the 10 c refund, including vouchers, which can be spent at participating shops, cash, electronic payment, and the option to donate the refund to charities and community groups.

The eligible containers can be returned to several different types of container refund points, in many locations across Victoria, with the number of locations expected to continue to grow. Typical refund points include the following:

- Reverse Vending Machines (RVMs) – Typically located in shopping centre and supermarket car parks, eligible containers are inserted into the machine, where the containers are scanned and verified;
- Depots – Larger refund points which typically offer a walk-in or drive-through services to get containers counted and refunded on the spot. Best suited for larger loads;
- Over the counter (OTC) – Some small businesses or organisations provide over-the-counter services, which essentially work like a miniature depot; and
- Pop-ups – Zone operators may offer pop-up services or events, that will have set times and locations that drinks containers can be returned.

The locations of the CDS refund points are provided at <https://cdsvic.org.au/locations>.

6.2.6 Hard Waste

Cardinia Shire Council provides two hard waste or bundled garden waste collections per year across the municipality. Hard waste will be stored within individual dwellings between collections, with collection to occur via the Garfield Road frontage. Sufficient landscaping space is provided between the footpath and site boundary for the temporary storage of hard waste.

Hard waste will not be moved to the kerbside collection location until the evening before the hard waste collection.

Hard waste must not exceed two cubic metres in volume (2 metres x 1 metre x 1 metre). Hard waste must not be too heavy for two people to safely carry.

Additional to the above, hard waste may be disposed of independently by residents, at Council's Recycling Centre/Transfer Station.



6.2.7 Electronic Waste (E-Waste)

E-waste includes all manner of electronic waste, such as televisions, computers, cameras, phones, household electronic equipment, batteries and light bulbs. E-waste contains valuable materials that can be recovered and reused such as tin, nickel, zinc, aluminium, copper, silver and gold.

On 1st July 2019, the disposal of E-waste to landfill was banned by the Victorian Government.

A large number of e-waste collection points are available in Victoria and private contractors are equipped with the resources to undertake E-waste collections.

E-waste can be taken by residents to the appropriate collection centre, as described below:

- Planet Ark operate a number of e-waste recycling drop-off locations throughout Victoria (<https://recyclingnearyou.com.au/electrical>);
- Officeworks stores accept small amounts of personal E-waste;
- Aldi stores accept batteries; and
- Some Bunnings Warehouse stores accept batteries.

Additional recycling locations are provided at www.recyclamate.com.au, or <https://recyclingnearyou.com.au/>.

6.2.8 Re-Useable Items

Residents should be encouraged to offer items which are still in good usable condition to be offered to local charity organisations or for free pickup on social media, before being sent for disposal.

7 WASTE DISPOSAL AND COLLECTION REQUIREMENTS

7.1 Bin Provision and Specifications

It is proposed to utilise Council's municipal waste collection for all waste services for the proposed development. Council offers either an 80 or 120 litre bin for garbage, a 240 litre bin for recycling and a 120 or 240 litre food and garden waste bin for each dwelling.

As a conservative assessment, it is assumed that the larger of the garbage bins (120 litre) and food and garden waste bins (240 litres) will be provided for each dwelling. In addition, it is expected that the glass bin will be 120 litres in size, though may be a smaller 80 litre bin.

Table 1 Bin Specifications

Stream	Capacity	Width	Depth	Height	Colour
Garbage	120 litres	0.50m	0.55m	0.95m	Dark green lid and body
Recycling	240 litres	0.60m	0.75m	1.10m	Yellow lid and dark green body
Food and Garden	240 litres	0.60m	0.75m	1.10m	Light green lid and dark green body
Glass (TBC)	120 litres	0.50m	0.55m	0.95m	Purple lid and dark green body

7.2 Bin Storage

All bins are to be kept within the secure garages or open space areas of each lot. Each lot will be capable of storing up to four bins including two 240 litre bins (garbage and future glass bins) and two 240 litre bins (recycling and food/garden bins).



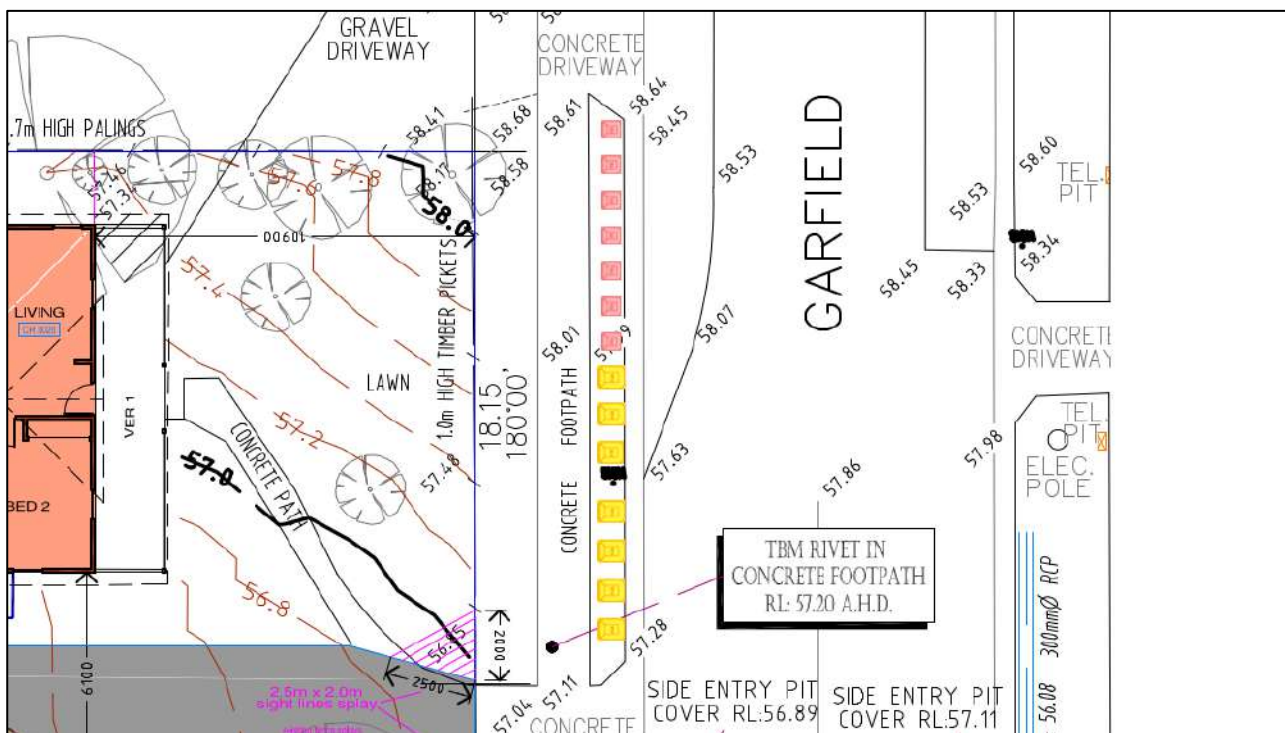
7.3 Bin Collection

Bins shall be placed in accordance with the following Council requirements:

- Place bins out the night before your collection day;
- Bins should be returned to your property within 24 hours after collection;
- Place bins near the kerb with handles away from the road;
- Leave 50 cm between bins and other obstacles;
- Bins must not weigh over 40kg each; and
- Do not over fill bins - lid must be able to be closed.

Currently, Cardinia Shire Council provides a three-stream service with garbage collected weekly, and recycling and food/organics collected fortnightly. Therefore, a maximum of two bins will be collected each week, including one 240 litre bin and one 120 litre bin per dwelling. Allowing for approximately 500 mm between bins, a kerbside length of 1.6 m for one dwelling will be required and an additional 2.1 m per dwelling thereafter when lined up alongside one another, equating to a kerbside requirement of approximately 14.2 m for the 7 dwellings proposed. This can generally be accommodated along the site frontage, as shown in Figure 4 and in the bin presentation plan attached in Appendix A.

Figure 4 Bin Presentation Plan – Two streams collected at a time



It is understood that Cardinia will transition to the provision of a separate glass recycling in the future, as part of the State Government's Recycling-Victoria Policy. While Council's proposed future collection arrangements are unknown, a maximum of three bins could be collected on certain weeks, including one 240 litre bin and two 120 litre bins per dwelling.

Allowing for approximately 500 mm between bins, a kerbside length of 2.6 m for one dwelling will be required and an additional 3.1 m per dwelling thereafter when lined up alongside one another, equating to a kerbside requirement of approximately 21.2 m.

If Council was to implement a collection arrangement with a maximum of three bins collected once glass collection starts, due to the narrow configuration of the site, some dwellings may need to place bins partially along the frontage of the neighbouring site to the south at 13 Garfield Road, as shown in Figure 4 and Figure 5, and in the bin presentation plan attached in Appendix A.

The site at 13 Garfield Road is currently occupied by a church and is provided with a wide frontage (approximately 42 m). Therefore, it is expected that the placement of additional bins along the frontage of the neighbouring property would not impact the adjacent site.

It should also be noted that not all residents may choose to place all three bins out on collection days.

Additionally, there is the potential that Council may adopt another waste collection strategy when a fourth bin is introduced, and no more than 2 bins per week may be placed kerbside for collection.

Considering the above, the placement of bins along the adjacent property frontage considers an absolute worst-case scenario.

Figure 5 Bin Presentation Plan – Three streams collected at a time

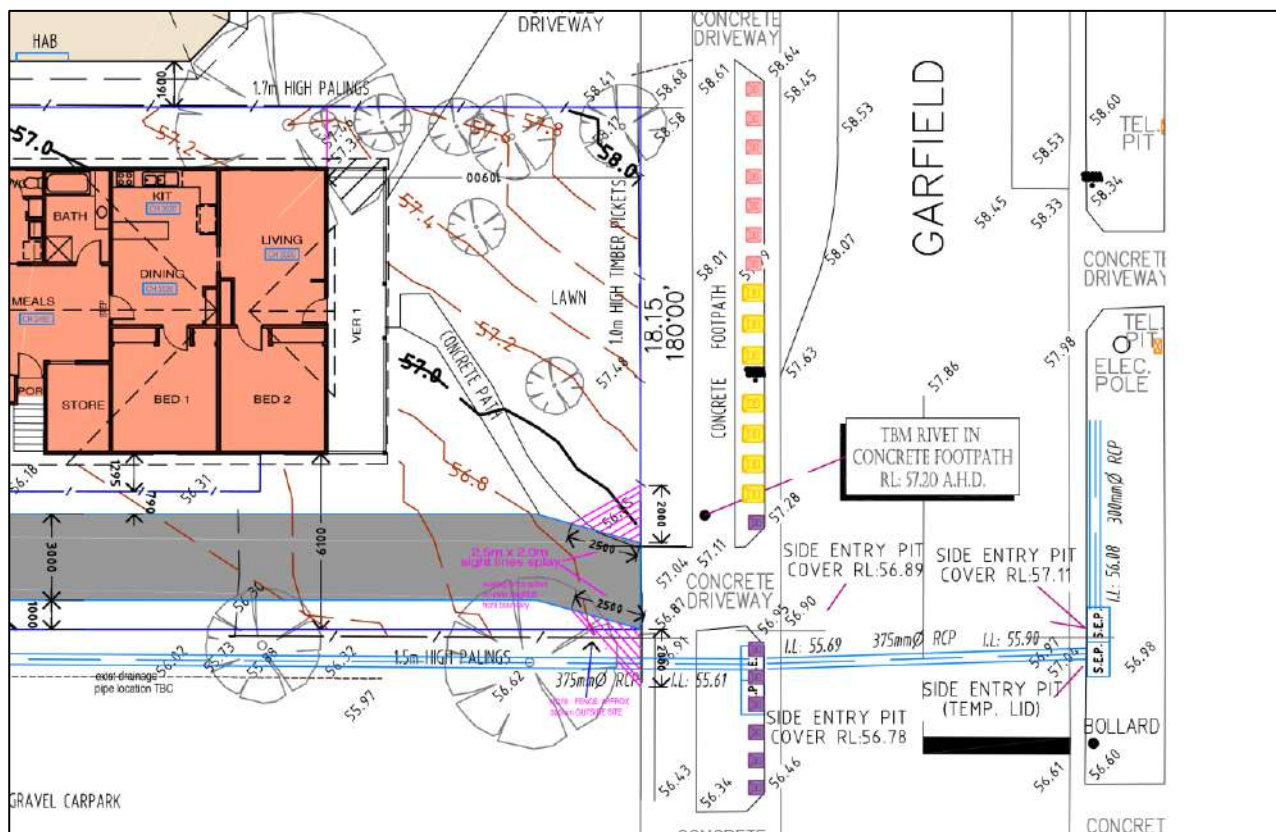


Figure 6 Kerbside Bin Placement Locations



7.4 Bin Cleaning

Residents should ensure that bins are kept in a clean state, to minimise odours and to discourage vermin.

8 MANAGEMENT

8.1 General

In relation to the proposed development, recycling is of key importance, and in this regard, the Owners Corporation shall encourage residents to participate in minimising and reducing solid waste production by:

- Promoting the waste hierarchy, which in order of preference seeks to:
 - + Avoid waste generation in the first place;
 - + Increase the reuse and recycling of waste when it is generated;
 - + Recover, treat or contain waste preferentially to; and
 - + Its disposal in Land Fill (which is least desirable).
- Providing information detailing recyclable materials to ensure that non-recyclable materials do not contaminate recycling collections;
- Providing information regarding safe chemical waste disposal methods and solutions, including correct battery and electronics disposal methods;
- Encouraging composting for residents; and
- Providing tips for recycling and reusing waste, including encouraging the disposal of reusable items in good condition via donations to Opportunity Shops and Charities.

A three bin system is provided within each dwelling, providing separate bins for garbage, recycling, and organics. It is understood that a separate bin will be provided to residents for the collection and disposal of glass in the future.

8.2 Resident Information

To ensure all residents are aware of their responsibilities with regard to waste and bin management, an information package will be provided by the Owners Corporation to all residents, including the following information:

- A copy of this Waste Management Plan;
- Methods and techniques for waste reduction and minimisation;
- Information regarding bin collection days and requirements;
- Resident responsibilities with regard to bin usage, storage, and collection; and
- Resident responsibilities with regard to litter and waste removal from the common property.

8.3 Common Property Litter and Waste Removal

Given the small number of dwellings, it is considered appropriate that the removal of litter and waste from common areas is undertaken by residents, under the management of the Owners Corporation.



8.4 Noise Control

To minimise the disturbance to residents during waste collection, the collection should follow the criteria specified by the EPA, as below:

- Collections occurring once a week should be restricted to the hours 6:00am to 6:00pm, Monday to Saturday;
- Collections occurring more than once a week should be restricted to the hours 7:00am to 6:00pm, Monday to Saturday;
- Compaction should only be carried out while on the move;
- Bottles should not be broken up at the point of collection;
- Routes that service entirely residential areas should be altered regularly to reduce early morning disturbance; and
- Noisy verbal communication between operators should be avoided where possible.

9 OCCUPATIONAL HEALTH & SAFETY RESPONSIBILITIES

The Owners Corporation shall ensure compliance to all relevant OH&S regulations and legislation, including the following:

- Worksafe Victoria Guidelines for Non-Hazardous Waste and Recyclable Materials.

10 CONTACT INFORMATION

10.1 Council

Cardinia Shire Council

Phone: 1300 787 624 (Customer Service)

Web: www.cardinia.vic.gov.au

Email: mail@cardinia.vic.gov.au

10.2 Others

Sustainability Victoria

Services: Sustainable Waste Management initiatives and information

Phone: 1300 363 744 (Energy, Waste and Recycling)

Web: www.sustainability.vic.gov.au

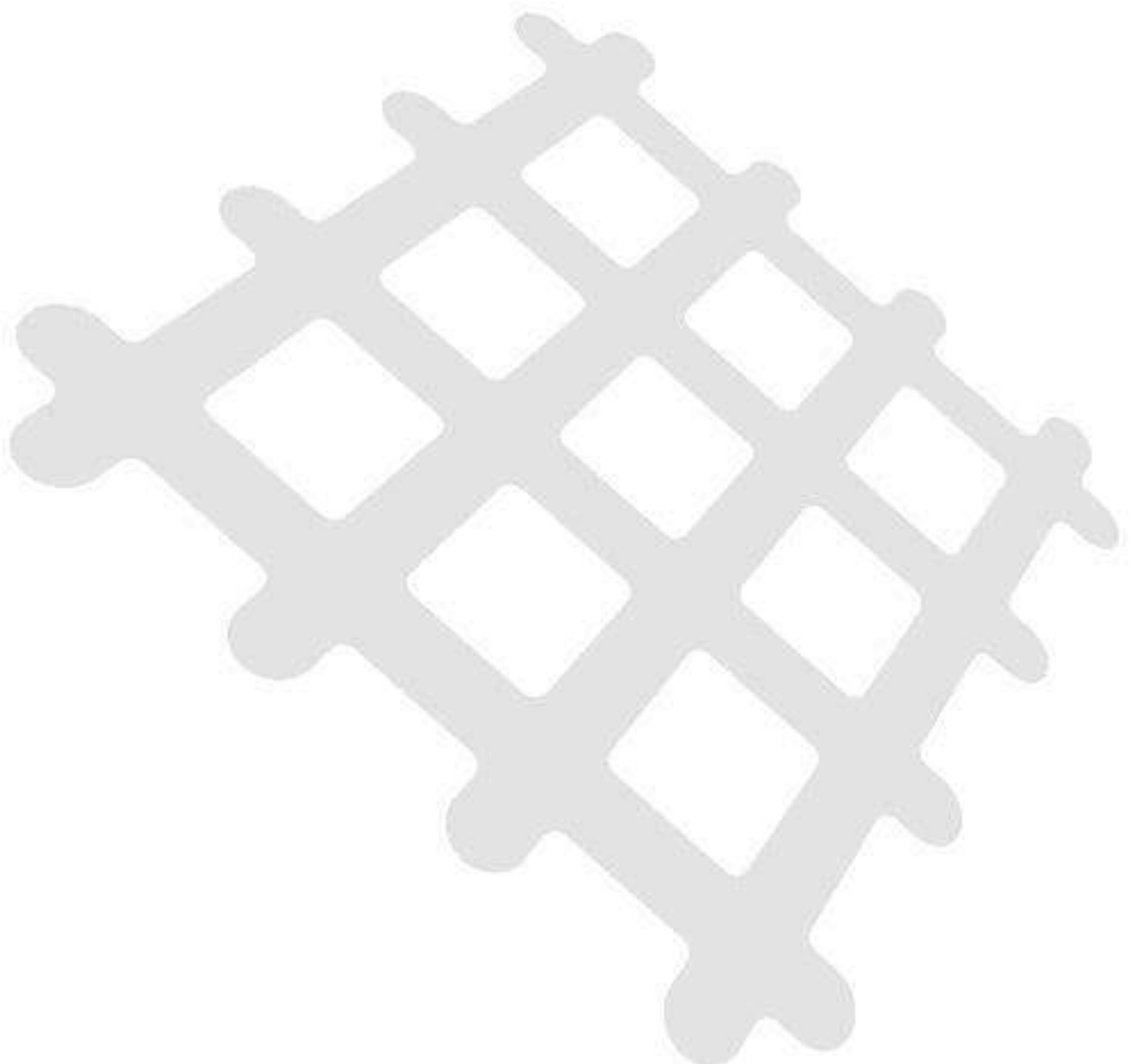
Email: info@sustainability.vic.gov.au

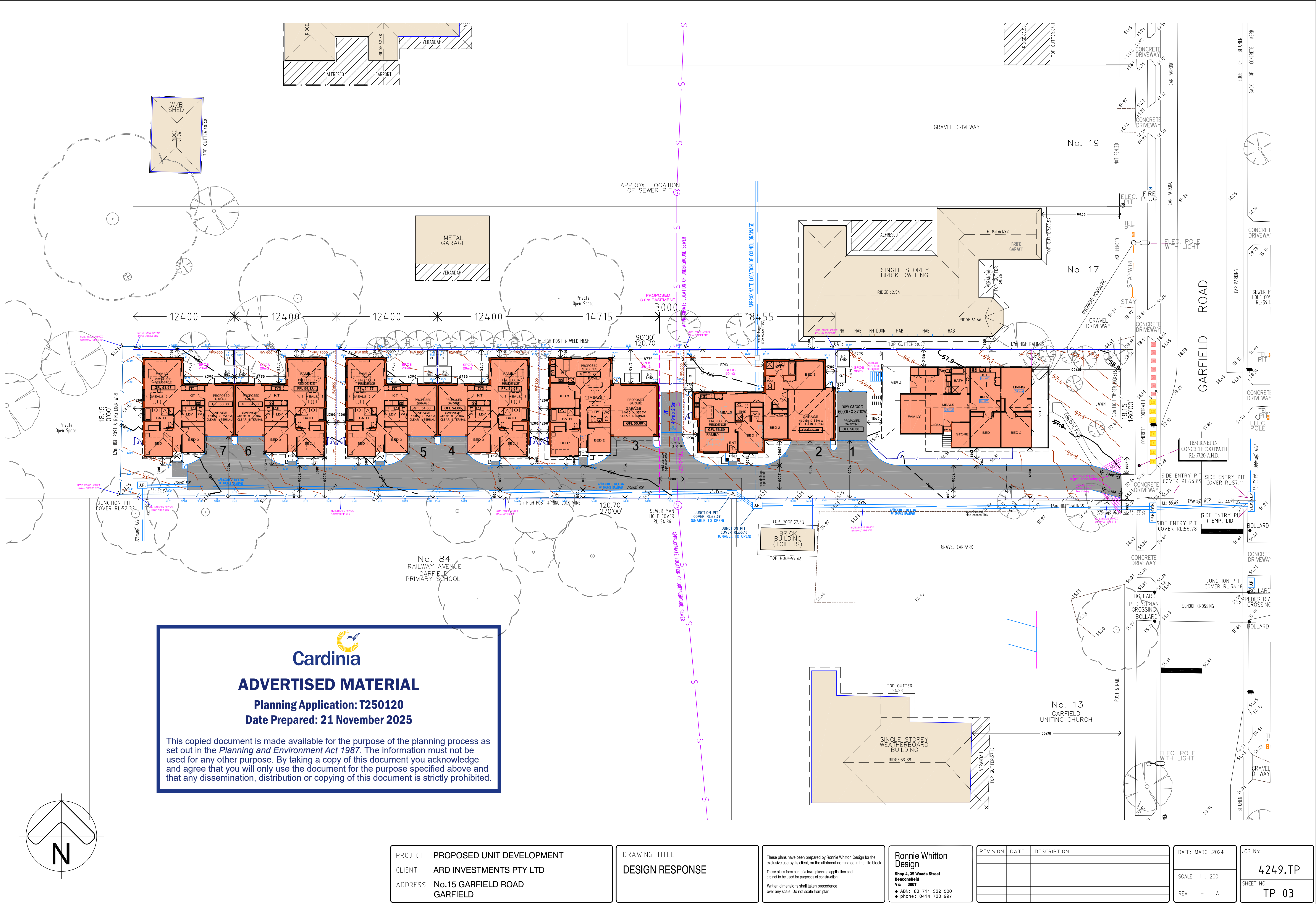


Appendix A *Bin Presentation Plan*


Cardinia
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Planning Application: T250120
Date Prepared: 21 November 2025

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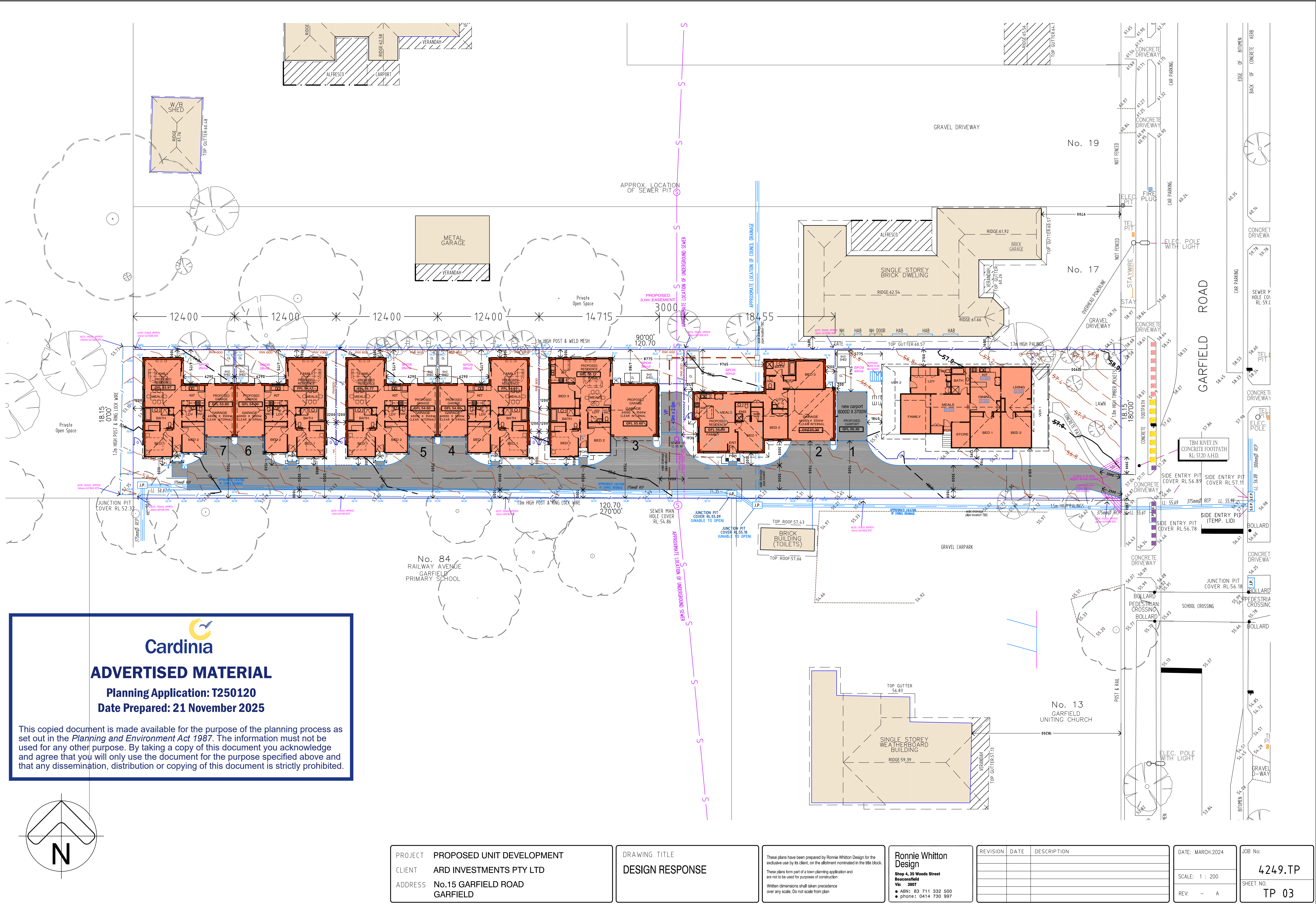
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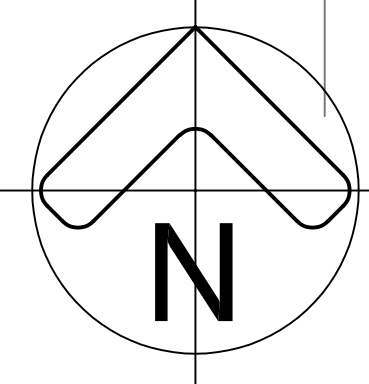
PROJECT PROPOSED UNIT DEVELOPMENT		DRAWING TITLE	These plans have been prepared by Ronnie Whitton Design for the exclusive use by its client, on the allotment nominated in the title block. These plans form part of a town planning application and are not to be used for purposes of construction Written dimensions shall taken precedence over any scale. Do not scale from plan	Ronnie Whitton Design Shop 4, 35 Woods Street Beaconsfield Vic 3807 ● ABN: 83 711 332 500 ● phone: 0414 730 997	REVISION	DATE	DESCRIPTION	DATE: MARCH 2024	JOB No:
CLIENT	ARD INVESTMENTS PTY LTD	DESIGN RESPONSE						SCALE: 1 : 200	4249.TP
ADDRESS	No.15 GARFIELD ROAD GARFIELD							REV: - A	SHEET NO. TP 03



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PROJECT PROPOSED UNIT DEVELOPMENT
CLIENT ARD INVESTMENTS PTY LTD
ADDRESS No.15 GARFIELD ROAD
GARFIELD

DRAWING TITLE
DESIGN RESPONSE

These plans have been prepared by Ronnie Whitton Design for the exclusive use by its client, on the allotment nominated in the title block. These plans form part of a town planning application and are not to be used for purposes of construction. Written dimensions shall take precedence over any scale. Do not scale from plan.

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• phone: 0414 730 997

REVISION	DATE	DESCRIPTION

DATE: MARCH 2024
SCALE: 1 : 200
REV: - A

JOB No:
4249.TP
SHEET No.
TP 03

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ARBORICULTURAL CONSULTANCY & REPORTS



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Preliminary Tree Assessment & Proposed Impact Summary – V1.00

15 Garfield Road, Garfield, Vic, 3814

m.0483 210 605

e. elliott@iclimbtreeservices.com.au

Report Prepared By

██████████ AQF Level 5,
Dip. Arb, ISA TRAQ Certified)

Report Commissioned By



Date Prepared

2nd July 2025

1. Introduction

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1.1 Background

Iclimb Tree Services Melbourne was engaged by Olivia Sharp to undertake a Preliminary Tree Assessment and Impact Summary of twenty-three (23) trees (greater than 3 m in height) located throughout the subject site at 15 Garfield Rd, Garfield, Vic, 3814, as well as on the adjoining properties of 13 & 17 Garfield Rd, 84 Railway Ave and 17 Barker Rd. This assessment is in preparation for the construction six (6) proposed dwellings and additions to the existing dwelling on the subject site.

1.2 Report Objectives

- Assess all trees (greater than 3 m in height) within the subject site and off-site within close proximity to the proposed works, where any part of the TPZ falls within the subject site.
- Provide information on species, origin, age, useful life expectancy (ULE), retention value (RV), arboricultural value, health, structure, and dimensions.
- Determine the tree protection zone (TPZ) and structural root zone (SRZ) for each tree.
- Provide information for planning controls specific to the site.
- Calculate (if any) TPZ encroachment percentages for relevant trees.
- Determine which trees are to be removed for the development.

1.3 Assessment Methodology

- On the 18th of June 2025, Elliot Callas (AQF Level 5) and Dylan Nacamuli (AQF Level 5) attended 15 Garfield Road, Garfield, Vic, 3814 to undertake a preliminary tree assessment of twenty-three (23) trees in total, located throughout the subject site and the adjoining properties of 13 & 17 Garfield Rd, 84 Railway Ave and 17 Barker Rd. Each tree assessed was assigned a unique identification number ranging from 1 – T23. E.g. Tree 1 will be referred to as 'T1', Tree 2 will be referred to as 'T2' etc. T6G refers to a group of trees.
- Tree height was estimated to the nearest 1m. The canopy spread for each tree was stepped out at the widest axis following north-south and east-west the averaged to the nearest 1m.
- DBH (trunk diameter at breast height) was determined by measuring the circumference of the tree stem(s) at 1.4 metres above ground level and dividing by Pi (π).
- The inspection was limited to a superficial, ground-based Level 2 assessment. The trees were **NOT** climbed and root exploratory excavation was **NOT** carried out.
- Tree protection zones (TPZ) and structural root zones (SRZ) were calculated as per Australian Standards – *Protection of trees on development sites (AS 4970-2009)*.
- Observations regarding tree height and average canopy spread were estimated to the nearest one metre. Canopy spread orientation was used using compass cardinal directions such as North – South and East – West.
- No soil analysis was done, nor soil or tree samples collected.
- Photographs for each tree were captured using an iPhone 14 Pro Max.

2 Statutory Controls

Address of the land	15 Garfield Road, Garfield, Vic, 3814	
Municipality	Cardinia Shire Council	
Zone	General Residential Zone 1	GRZ1
Local planning overlays	NIL	NIL
Bushfire prone area?	Yes	
Permit required to remove trees?	No	
The following information pertains to relevant clauses from the <i>Cardinia Planning Scheme</i> for this site and if applicable, permit triggers: NIL OVERLAYS OR RELEVANT CLAUSES APPLY TO THIS SUBJECT SITE		

2.1 Permit Assessment Summary

Table 2.1 below summarises the above forementioned statutory controls.

Vegetation Controls/ Exemptions	Permit required to remove tree(s)	Applies to subject site	Applies to Tree(s)	Reason
Clause 52.12 “Bushfire Protection/ Exemptions”	✗	Yes	Yes	Site is in a Bushfire Prone Area (BPA).
Clause 52.17 “Native Vegetation”	✗	No	Nil	As per Clause 52.17-7, Table of exemptions, the site area for this property is less than 0.4 hectares (4000m ²), therefore no permit is required to remove Native vegetation under this control.
Local Law	✗	No	Nil	N/A

Table 2.1 - Permit Assessment Summary Table

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3 Site Maps

3.1 Aerial Imagery with Trees Numbered



Figure 3.1 - Aerial imagery with approximate title boundaries in white, on-site trees circled in yellow and off-site trees circled in red. Not to scale (E.Callas, Landchecker 2025).

4 Site Overview

The subject site is approximately 2191m² in size containing a total of twenty-three (23) located throughout the property and the adjoining properties of 13 & 17 Garfield Rd, 84 Railway Ave and 17 Barker Rd. The terrain is level and the site is orientated East – West with Garfield Rd located to the East. The tree population consisted of mostly native vegetation.

The overall condition of the tree population was assessed to be **mostly** fair to poor health with poor structure with an OS retention value. Off-site trees have their own retention value (OS) as per *Appendix B – Definition of Terms*.

The following tables outline pertinent information with regards to the trees being assessed.

4.1 On-Site Tree Data (15 Garfield Road, Garfield)

Table 4.1 below relates to trees T1 – T4 which are located on the subject site of 15 Garfield Rd, Garfield. Trees T1 and T2 will be required to be retained and protected throughout the construction process. All other remaining trees will be required to be removed due to the proposed development.

#	Botanical Name	Common Name	TPZ (m)	SRZ (m)	Origin	Health	Arb Value	RV
1	<i>Betula pendula</i>	Silver Birch	2.52	1.94	Exotic	Poor	Low	Low
2	<i>Betula pendula</i>	Silver Birch	4.56	2.37	Exotic	Fair	Low	Low
3	<i>Pittosporum undulatum</i>	Sweet Pittosporum	3.48	1.97	Australian Native	Poor	Low	Low
4	<i>Viburnum tinus</i>	Laurustinus	2.00	1.50	Exotic	Poor	Low	Low

Table 4.1 - On-site tree data with calculated TPZ/SRZ (15 Garfield Rd, Garfield)

4.2 Off-Site Tree Data (13 Garfield Road, Garfield)

Table 4.2 below relates to trees T22 and T23 which were located to the south on the adjoining property of 13 Garfield Rd, Garfield. These trees will be required to be retained as they're not on the subject site and must be offered protection from construction activities.

#	Botanical Name	Common Name	TPZ (m)	SRZ (m)	Origin	Health	Arb Value	RV
22	<i>Angonis flexuosa</i>	Willow Myrtle	2.64	1.94	Australian Native	Fair	Low	OS
23	<i>Angonis flexuosa</i>	Willow Myrtle	7.68	2.88	Australian Native	Poor	Low	OS

Table 4.2 - Off-site tree data with calculated TPZ/SRZ (13 Garfield Rd, Garfield)



Site Overview (continued)

4.3 Off-Site Tree Data (17 Garfield Road, Garfield)

Table 4.3 below relates to trees T5 – T14 which were located to the north on the adjoining property of 17 Garfield Rd, Garfield. These trees will be required to be retained as they're not on the subject site and must be offered protection from construction activities.

#	Botanical Name	Common Name	TPZ (m)	SRZ (m)	Origin	Health	Arb Value	RV
5	<i>Banksia spinulosa</i>	Hairpin Banksia	2.28	1.72	Australian Native	Fair	Medium	OS
TG6	<i>Melaleuca styphelioides</i>	Prickly-leaved Paperbark	2.88	1.53	Australian Native	Fair	Low	OS
7	<i>Fraxinus excelsior</i>	European Ash	2.88	1.97	Exotic	Fair	Low	OS
8	Unidentified species	Unidentified species	3.36	2.25	N/A	Poor	Low	OS
9	<i>Eucalyptus viminalis</i>	Manna Gum	15.00	4.24	Victorian Native	Fair	High	OS
TG10	<i>Pittosporum tenuifolium</i>	James Stirling	2.00	1.50	Exotic	Fair	Low	OS
11	<i>Eucalyptus</i> sp.	Gum Tree	7.08	2.90	Native	Fair	High	OS
12	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	11.88	3.53	Victorian Native	Poor	Medium	OS
TG13	<i>Yucca gigantea</i>	Spineless Yucca	2.16	1.85	Exotic	Poor	Low	OS
14	<i>Robinia pseudoacacia</i>	Black Locust	2.28	2.02	Exotic	Poor	Low	OS

Table 4.3 - Off-site tree data with calculated TPZ/SRZ (17 Garfield Rd, Garfield)

4.4 Off-Site Tree Data (17 Barker Rd, Garfield)

Table 4.4 below relates to trees T15 and T16 which were located to the east on the adjoining property of 17 Barker Rd, Garfield. These trees will be required to be retained as they're not on the subject site and must be offered protection from construction activities.

#	Botanical Name	Common Name	TPZ (m)	SRZ (m)	Origin	Health	Arb Value	RV
15	<i>Eucalyptus globulus</i>	Blue Gum	15.00	3.83	Victorian Native	Poor	Medium	OS
16	<i>Eucalyptus obliqua</i>	Messmate Stringybark	8.16	3.01	Victorian Native	Poor	Low	OS

Table 4.4 - Off-site tree data with calculated TPZ/SRZ (17 Barker Rd, Garfield)



Site Overview (continued)

4.5 Off-Site Tree Data (84 Railway Ave, Garfield)

Table 4.5 below relates to trees T17 – T21 which were located to the south on the adjoining property of 84 Railway Ave Rd, Garfield. These trees will be required to be retained as they’re not on the subject site and must be offered protection from construction activities.

#	Botanical Name	Common Name	TPZ (m)	SRZ (m)	Origin	Health	Arb Value	RV
17	<i>Eucalyptus nicholii</i>	Willow Peppermint	9.48	3.17	Australian Native	Good	High	OS
18	<i>Eucalyptus nicholii</i>	Willow Peppermint	8.40	2.93	Australian Native	Fair	High	OS
19	<i>Corymbia maculata</i>	Spotted Gum	2.00	1.50	Australian Native	Fair	Low	OS
20	<i>Eucalyptus sp.</i>	Gum Tree	3.60	2.61	Native	Fair	Medium	OS
21	<i>Eucalyptus obliqua</i>	Messmate Stringybark	7.68	2.85	Victorian Native	Poor	Low	OS

Table 4.5 - Off-site tree data with calculated TPZ/SRZ (84 Railway Ave, Garfield)


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5 Discussion

A preliminary tree assessment has been performed at 15 Garfield Rd and the adjoining properties of 13 & 17 Garfield Rd, 84 Railway Ave and 17 Barker Rd. This report is to provide quantitative and qualitative information on these trees.

15 trees are native species. These trees were: T3, T5, TG6, T9, T11, T12, T15 – T23.

7 trees are exotic species. These trees were: T1, T2, T4, T7, TG10, TG12, T14.

1 tree was an unidentified species. This tree was: T8

1 tree had good health. This tree was: T17.

11 trees have fair health. These were trees: T2, T5 – T7, T9 – T11, T18 – T20, T22.

11 trees have poor health. These were trees: T1, T3, T4, T8, T12 – T16, T21, T23.

1 tree had good structure. This tree was: T11.

8 trees have fair structure. These trees were: T1, TG6, T7, T9, T17, T18, T20, T22.

13 trees have poor structure. These were trees: T2, T4, T5, T8, TG10, T12 – T16, T19, T21, T23.

1 tree had very poor structure. This tree was: T3.

Below indicates the quantity, assessed Retention Value Rating for each tree and reasons as to why trees were allocated their respective rating:

OS (Off-site) Retention Value Rating

19 trees which were T5 – T23. A tree(s) which is dedicated for off-site trees that are either owned by adjoining property to the subject site, road reserves or council trees. Trees that reached this retention value **MUST** be afforded protection from all construction activities as per the Australian Standards – AS 4970 2009 (*Protection of Trees on Development Sites*)

Low Retention Value Rating

4 trees which were T1 – T4. These trees provide minimal contribution to the surrounding landscape and/or may be in poor or declining health. Some of these trees have poor structure and/or poor form. These trees are not worthy of being a constraint to a development design proposal.



6 Introduction To TPZ & SRZ

6.1 Tree Protection Zone (TPZ)

Purpose: The Tree Protection Zone (TPZ) is an area afforded to the tree to protect both the above-ground and below-ground parts of a tree, including its roots and crown.

Components and Calculation: The TPZ encompasses both the root and crown areas of a tree that require protection. It is intended to be an undisturbed area where construction activities are restricted, ensuring the tree's continued health and stability. The TPZ is an area radiating out from centre of the trees trunk and is calculated based on the Australian Standard AS 4970 – 2009, using the formula: **TPZ Radius = 12 × DBH (Min diameter of 2 meters, Max diameter of 15 meters)**

Encroachments: as per the Australian Standard AS 4970 – 2009, encroachments into the TPZ by construction activates, greater than 10% of the calculated TPZ area will be considered a major encroachment and often require further investigation and/or considerations.

TPZ Fencing: TPZ fencing is a critical component in protecting the Tree Protection Zone during construction and development activities. (see figure 5.1) The fencing acts as a physical barrier to prevent access and activities that could harm the tree's roots, trunk, or canopy. It should be installed prior to the commencement of any site work and remain in place until the project is completed. For more detailed protection requirements, (refer to Appendix A. Tree Protection Guidelines)



Figure 6.1 tree protection fencing example

$$\text{TPZ} = \text{DBH} \times 12 \text{ radius}$$

DBH = trunk diameter measured at 1.4m above ground



6.2 Structural Root Zone (SRZ)

Purpose: The structural root zone (SRZ) is an area that must be afforded to the tree to ensure the trees structural integrity of the root system remains viable into the future.

Encroachments: as per the Australian Standard AS 4970 – 2009, any encroachments into the SRZ by construction activates are considered to be a major encroachment and almost always require further investigations, such as non-destructive root explorations.

Components and Calculation: The SRZ focuses specifically on the roots vital for a tree's structural support, rather than its overall health. It is a smaller area compared to the TPZ, as it targets the essential roots that keep the tree anchored. The SRZ radius is calculated using the Australian Standard AS 4970 – 2009, with the formula: **SRZ radius = (DARB x 50) 0.42 x 0.64 (Min diameter of 1.5 meters)**

7 Proposed Impact Assessment

Figure 7.1 below shows the proposed impact assessment for the future development as per AS 4970 – 2009 *Protection of Trees on Development Sites*.

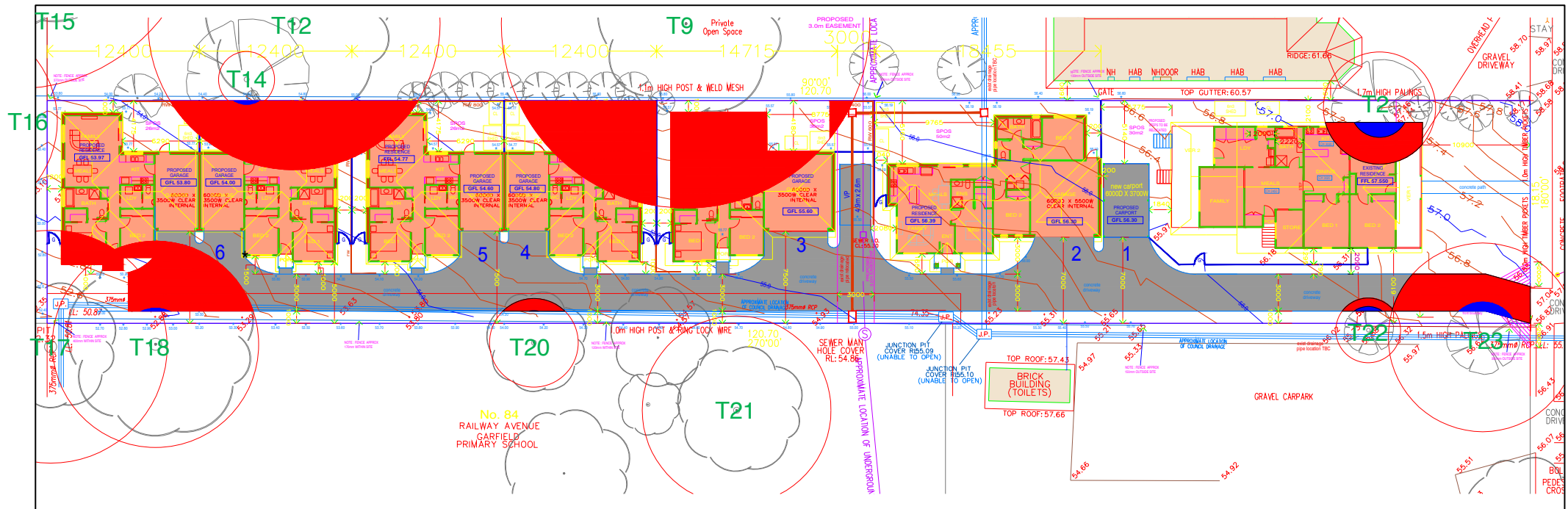


Figure 7.1 – Feature and level survey showing relevant trees (greater than 3m) with shaded encroachments. TPZ rings are shown as red. SRZ rings aren't able to be shown. TPZ encroachments are shaded red. SRZ encroachments are shaded blue.

Notes:

- Some trees may be shown on this survey without TPZ rings around the tree, which indicates that such a tree was not relevant to be impact assessed during site visitation.
- The encroachment for T2 already exists given the existing dwelling.
- The encroachments for T9, T12 and T14 begin at the proposed retaining wall which is a conservative assumption given retaining walls require some level of excavation depth.

Proposed Impact Assessment (continued)

To facilitate the development and assuming compliance with the aforementioned statutory controls and approval of council planning permits, the following impact assessment is summarised below.

7.1 Impact Summary

Table 7.1 below shows the encroachment percentages and associated encroachment level as per AS 4970 – 2009 for the relevant trees assessed.

Tree #	TPZ Encroachment	SRZ Encroachment	Encroachment level
2	32.42%	20.00%	MAJOR
9	18.70%	0.00%	MAJOR
12	17.88%	0.00%	MAJOR
14	6.00%	2.46%	MAJOR
15	0.00%	0.00%	NIL
16	0.00%	0.00%	NIL
17	6.12%	0.00%	MINOR
18	21.41%	1.25%	MAJOR
20	8.69%	0.08%	MAJOR
21	0.00%	0.00%	NIL
22	14.66%	5.02%	MAJOR
23	17.09%	9.43%	MAJOR

Table 7.1 – Impact Summary Table for relevant trees only.

7.2 Impact management

- T2 is already co-existing with the current dwelling therefore no further assessment is required for development.
- As T9, T12, T14, T18, T20, T22 and T23 have either a TPZ encroachment greater than 10% and/or within the SRZ, this is classed as a MAJOR encroachment as per AS 4970 - 2009 *Protection of Trees on Development Sites*, 3.3.3, thus the project arborist must demonstrate that the tree would remain viable and be able to co-exist with the proposed development. Works within the relevant encroached areas will require supervised excavation under the direction of at least an AQF Level 5 Arborist. The area lost to this encroachment should be compensated for elsewhere and contiguous with the TPZ. Refer to Figure 7.2 overleaf.

Proposed Impact Assessment (continued)

- As **T17** has an encroachment which is less than 10%, this is classed as a **MINOR** encroachment as per AS 4970 - 2009 *Protection of Trees on Development Sites*, 3.3.2, thus detailed root investigations should not be required. The area lost to this encroachment should be compensated for elsewhere and contiguous with the TPZ as per Figure 7.2 below.

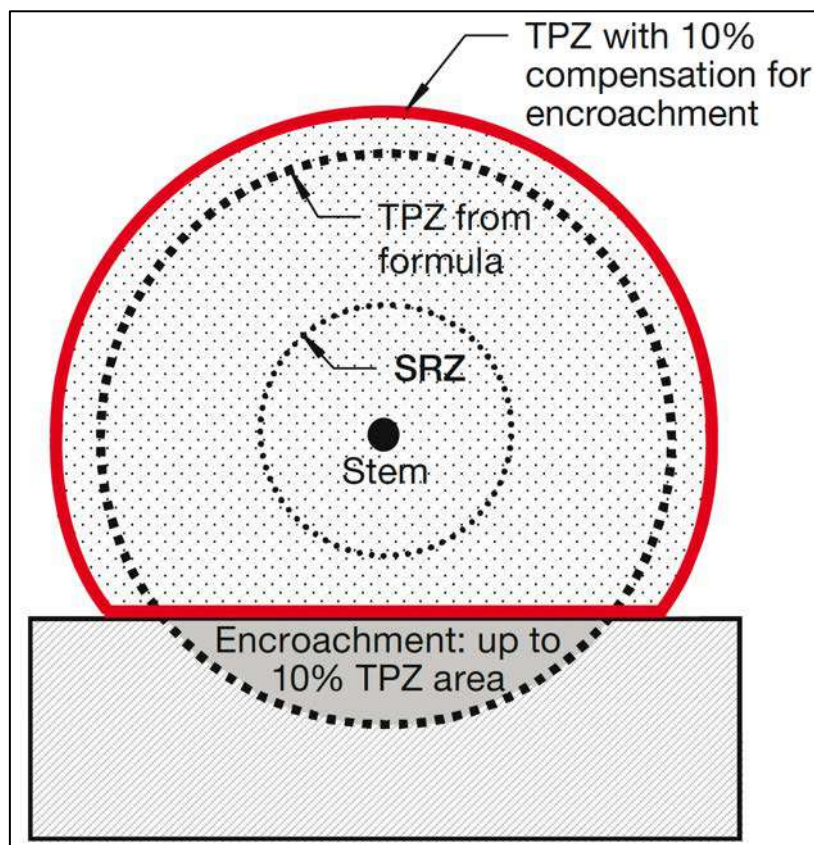


Figure 7.2 - TPZ encroachment compensation

- T15, T16** and **T21** have **NIL** encroachments by the proposed development and therefore aren't a constraint.
- All remaining trees that weren't relevant to be impact assessed and not mentioned within this section have **NIL** encroachments by the proposed development and therefore aren't a constraint on the future development.



8 Conclusions and Recommendations

8.1 Conclusions

- A total of twenty-three (23) trees have been assessed at 15 Garfield Rd and the adjoining properties of 13 & 17 Garfield Rd, 84 Railway Ave and 17 Barker Rd.
- **15** trees are native species.
- **7** trees are exotic species.
- **1** tree was an unidentified species.
- **1** tree had good health.
- **11** trees have fair health.
- **11** trees have poor health.
- **1** tree had good structure.
- **8** trees have fair structure.
- **13** trees have poor structure.
- **1** tree had very poor structure.



Retention value ratings found:

- **OS (Off-site): 19** trees
- **Low: 4** trees
- **Permits are not required** for the removal of vegetation (including trees).
- Trees classified with “Good” structure may have a trunk and/or scaffold branches that show good taper and attachment with minor or no structural defects. Tree is a good example of the species with a well-developed form showing no obvious root problems or pests and diseases.
- Trees classified with “Fair” structure may have minor structural defects or minor damage to trunk e.g. bark missing, there could be cavities present. Minimal damage to structural roots. Tree could be seen as typical for this species (refer to *Appendix B – Definition of Terms*).
- Trees classified with “Poor” structure may have major structural defects, damage to trunk or bark missing. Poor structure with likely points of failure. Girdling or damaged roots may be visible (refer to *Appendix B – Definition of Terms*).
- Trees classified with “Very Poor” structure may have significant defects related to its primary stem or secondary scaffold limbs that cannot be rectified with pruning or other measures. The removal of this tree may be required in the short term.
- Trees **T5 – T23** have a “OS” retention rating which is dedicated for off-site trees that are either owned by adjoining property to the subject site, road reserves or council trees. Trees that reached this retention value **MUST** be afforded protection from all construction activities as per the Australian Standards – AS 4970 2009 (*Protection of Trees on Development Sites*).
- Trees **T1 – T4** have a “Low” retention rating and shouldn’t be a constraint on future development.

8.2 Recommendations

- Trees **T3** and **T4** are required to be removed to facilitate the development.
- The proposed development can be supported if the guidelines and content of this report, impact management strategies and feature and levels survey are adhered to with no alterations or variations.



9 References

Standards

AS 4373 – 2007 *Pruning of amenity trees*

AS 4970 – 2009 *Protection of Trees on Development Sites*

Websites

<https://app.landchecker.com.au/property/VIC-1514141/info> (Accessed: 2nd July 2025)

<https://planning-schemes.app.planning.vic.gov.au/Cardinia/ordinance?f.Scheme%7CplanningSchemeName=Garfield>
(Accessed: 2nd July 2025)

Documents

Feature Survey and drawings supplied by Olivia Sharp from Human Habitats.



Appendix A. Tree Protection Guidelines

a. General Guidelines

a.a. Tree protection involves various practices and installations to safeguard the Tree Protection Zone (TPZ) (refer to section c). Structures are essential to delineate and secure the TPZ.

a.b. The TPZ is a designated no-go area, typically marked with protective barriers like fencing (or existing barriers such as walls or fences). These barriers should be installed before site activities begin and remain in place until all work is completed.

a.c. Certain activities within the TPZ may be permitted by the relevant authority and must be overseen by the project arborist. If additional access to the TPZ becomes necessary during the project, the project arborist must review and obtain approval from the relevant authority before proceeding.

b. Prohibited Activities within the TPZ

b.a. The following activities are generally prohibited within the TPZ, including but not limited to:

- Machine excavation and trenching
- Excavation for fencing
- Soil cultivation
- Storage of materials
- Preparation of chemicals, including cement
- Parking of vehicles and equipment
- Refuelling
- Waste disposal
- Equipment wash-down
- Placement of fill
- Lighting fires
- Altering soil levels
- Installing utilities or signs
- Causing physical damage to the tree



c. Protective Fencing

c.a. Protective fencing must be erected before any equipment or materials are brought on site and before work begins, including demolition. Once installed, the fencing should not be removed or modified without the project arborist's consent. The TPZ should be secured to prevent unauthorised access.

c.b. Fencing must adhere to AS 4687 standards. Shade cloth or similar materials should be used to minimise dust, particulate matter, and liquid intrusion into the protected area.

c.c. Fence posts and supports should have a diameter of more than 20mm and be placed away from tree roots.

c.d. Existing perimeter barriers and other structures can serve as part of the protective fencing.

d. Signage

d.a. Signs indicating the TPZ should be placed around its perimeter and visible from within the construction site. The signs should comply with AS 1319 standards. Each fence should prominently display a warning sign stating: "WARNING – Tree Protection Zone – This fence must not be removed without authorisation."

Tree Protection Guidelines (Continued)

e. Additional Tree Protection Measures

e.a. When protective fencing cannot be installed or needs temporary removal, alternative measures should be employed as outlined below.

f. Trunk and Branch Protection

f.a. Protection should be provided for the tree's trunk and branches as necessary. The project arborist should specify the materials and placement. Do not attach any temporary structures or utilities to the tree, and avoid driving nails into the trunk or branches.

g. Ground Protection

g.a. If machinery access is required within the TPZ, ground protection measures are necessary to prevent root damage and soil compaction. These measures may include a geotextile fabric layer beneath mulch or crushed rock, topped with rumble boards. These precautions may extend beyond the TPZ as needed.

h. Root Protection during Works in the TPZ

h.a. Approved activities within the TPZ, such as regrading or installing piers, may pose a risk to roots.

h.b. If soil levels are raised, the new material should be coarser or more porous than the existing soil. The project arborist should oversee manual excavation to identify and protect critical roots. If necessary, adjust the project design to accommodate root preservation.

h.c. When root pruning is required, it should be done with sharp tools, making clean cuts to undamaged wood. Do not apply any dressings or paints to pruning wounds.

h.d. Mechanical pruning with equipment like backhoes or excavators is unacceptable within the TPZ.



Appendix B. Definitions of Terms

Botanical Name

The botanical name or binominal name of a plant, consists of the *genus* name followed by the *species* name.

Genus is the classificational term used for grouping one/or a number of closely related species, all of which share the generic name.

Species is the basic unit in the classification of plants. A species is the specific type of plant within the larger grouping of a genus.

Common Name

The colloquial and informal name of a plant.

Origin

The naturally occurring origin of the plant.

Indigenous	The plant occurs naturally within the area it was found.
Vic Native	The plant is native to the state of Victoria
Native	The plant is native to Australia but does not occur naturally within the state of Victoria.
Exotic	The plant does not occur naturally within Australia
N/A	The plant is dead and/or the species was not identified

Age

The age class of the plant.

Juvenile	The plant is developing rapidly and is still establishing itself in the current location.
Semi-Mature	The plant has established itself in the current location and is still actively growing.
Mature	The plant has reached the expected size for the species and location.
Early Maturity	The plant has not reached the expected size for the species and location and is in a state of decline.
Senescent	The plant is mature and in a state of decline.
Dead	The plant is dead.

Health

The overall health and vigour of the plant.

Good	Foliage of plant is entire, with good colour, very little sign of pathogens and of good density. Growth indicators are good, with minimal or no canopy dieback
Fair	The plant is showing one or more of the following symptoms: < 25% dead wood, minor canopy dieback, foliage generally with good colour, though some imperfections may be present. Minor pathogen damage present, with growth indicators such as leaf size, canopy density and twig extension growth typical for the species in this location.
Poor	Tree is in decline; > 50% deadwood, minimal live foliage, possibly epicormic shoots, minimal extension growth.
Dead	The plant is dead.

Definitions Of Terms (Continued)

Structure

The overall form and structural integrity of the plant.

Good	Trunk and scaffold branches show good taper and attachment with minor or no structural defects. Tree is a good example of the species with a well-developed form showing no obvious root problems or pests and diseases.
Fair	Tree shows some minor structural defects or minor damage to trunk e.g. bark missing, there could be cavities present. Minimal damage to structural roots. Tree could be seen as typical for this species.
Fair-Poor	The tree or a part thereof is identified as having an increased likelihood of failure. This may include but is not limited to poor formation of a major union, brittle deadwood, stem decay or a history of limb failures.
Poor	There are major structural defects, damage to trunk or bark missing. Poor structure with likely points of failure. Girdling or damaged roots obvious.
Very Poor	A tree with significant defects related to its primary stem or secondary scaffold limbs that cannot be rectified with pruning or other measures. The removal of this tree may be required in the short term.
Hazardous	A tree with major defects that is likely to fail and should be removed as soon as possible.

Arboricultural Value (Arb Value)

The subjective value of the plant.

High	The tree can be described by one or more of the following statements; - The tree is rare, ecologically important or botanically significant. - The tree is associated with historical, commemorative or sentimental values. - The tree is a prominent feature of the site and is visually remarkable.
Moderate	The tree does not fulfil the criteria for high or low arboricultural value and can be described by <u>all</u> of the following statements; - The tree is a desirable species for the area and/or fulfills a useful purpose. - The tree is established in an appropriate location. - The tree is in reasonable health/vigour and of sound structure.
Low	The tree does not fulfil the criteria for high significance and can be described by one or more of the following statements; - The tree could be replaced within ten years with an advanced nursery specimen. - The tree is an undesirable and/or weed species in the area. - The tree is a common species to the area and its removal would have a minimal, negligible or positive impact on the immediate and greater landscape. - The tree is in an inappropriate location, or requires onerous management to merit its inclusion within the landscape. - The tree is creating a nuisance or impacting on a fixed asset. - The tree is dead, declining or adversely affected by pest/disease. - The tree has developed a defective form or structural fault(s) that cannot be rectified by cost proportionate and industry accepted methods. - The risk presented by the tree exceeds the benefit that the tree provides.



Definitions Of Terms (Continued)

Useful Life Expectancy (ULE)

The extent of time that the plant is expected to make a positive contribution to the landscape.

20 + Years	The plant appears to be retainable for more than 20 years.
10-20 Years	The plant appears to be retainable for a further 10 – 20 years.
5-10 Years	The plant appears to be retainable for a further 5 – 10 years.
< 5 Years	The plant is approaching the end of its ULE and will require removal within 5 years.
0 Years	The plant no longer contributes to the landscape in a positive way or is a weed species.

Retention Value (RV)

High	A mature tree that contributes positively to a site due to its botanical, historical or local significance in combination with good physiological characteristics such as health, form, structure and future development. Significant efforts should be made to retain this tree and it should be considered for retention within a proposed development.
Medium	A semi-mature to mature tree which exhibits fair or good characteristics of health, structure or form and/or may provide some amenity value to the surrounding area or habitat value. Should be considered for retention, if possible, within a development design proposal and may be modified to allow for construction (eg: canopy pruning, root pruning etc). May be of exotic origin
Low	A tree that provides minimal contribution to the surrounding landscape and/or may be in poor or declining health. This tree may have a poor structure, poor form, be a noxious/poisonous or listed weed species or a combination of these characteristics. The tree may be of an undesirable exotic species. It may be juvenile or young in age, there for being replaced easily. It may be in an inappropriate location. This tree is not worthy of being a constraint to a development design proposal.
Nil	A tree with no landscape significance and its retention is inappropriate. The removal of this tree would be of benefit to the landscape.
OS	(Off-Site) A retention value dedicated for off-site trees that are either owned by adjoining property to the subject site, road reserves or council trees. Trees that reached this retention value MUST be afforded protection from all construction activities as per the Australian Standards – AS 4970 2009 (<i>Protection of Trees on Development Sites</i>)

Hazard Rating (HR)

High	Tree(s) typically have very poorly developed crowns and/or excessive canopy bias. Underground defects affecting the root system such as root heaving may be suspected. Health and structure may be very poor nature. This tree must be removed. Timeline for action is one (1) month from report publish date for rectification for works to be completed.
Medium	Tree(s) may have hangers present. Pruning is required for the purposes of; canopy uplift, evidence of previous limb failures requiring pruning to branch collars and/or overextended limbs present requiring pruning. Deadwood may be present and requiring removal. Retain and monitor annually. Timeline for action is three (3) months from report publish date for rectification for works to be completed.
Low	Tree(s) may have defects such as poorly developed crowns or some canopy bias, however, given the low severity of these defects they are deemed to not pose a hazard in the short term. Deadwood may be present but doesn't require short term intervention. May have evidence of past limb failures not causing great concern. Retain and monitor annually.

Definitions Of Terms (Continued)

Height x Spread (HxS)

Height describes the height of the tree in metres from the ground height.

Spread describes the crown spread across the north-south and east-west axis which is multiplied and divided by 2.
Eg. (3m + 4m = 7m) (7m/2 = 3.5m)

DBH (Diameter At Breast Height)

DBH (trunk diameter at breast height) was determined by measuring the circumference of the trees stem(s) at 1.4 metres above ground level and dividing by Pi (π).

Calculated DBH (Calc DBH)

Used to calculate the total DBH for multi-stemmed trees only.

Formula used: $DBH = \sqrt{s1^2 + s2^2 + s3^2 + s4^2 + s5^2}$. Tables displaying multiple measurements will include a calculated total DBH below their corresponding figures.

Diameter at Root Buttress (DARB)

The trunk diameter measured from the point at which the tree's root buttressing/flare initiates.

Tree Protection Zone (TPZ)

Tree Protection Zone (TPZ). A circular area radiating from the tree trunk set aside for the protection of a tree's roots and canopy where it is potentially subject to damage from development works. The prescribed TPZ dimensions were calculated as per Australian Standards – AS 4970 2009 (*Protection of Trees on Development Sites*) using diameter at breast height (DBH) X 12 = TPZ radius

Structural Root Zone (SRZ)

Usually, a smaller area than the TPZ, theoretically encompassing the roots required for the tree's stability in the ground. The prescribed SRZ dimensions were calculated as per Australian Standards – AS 4970 2009 (*Protection of Trees on Development Sites*) using diameter at root buttress (DARB) SRZ radius = (DARB x 50) 0.42 x 0.64



Appendix C. Glossary

Bifurcated union

A junction where a single stem splits into two distinct branches or leaders.

Co-dominant stem

Two or more main stems or branches of nearly equal size and relative importance, typically emerging from a common point on the trunk.

Crown

The term crown', refers to the upper part of a tree, encompassing all of its branches and foliage

Decurrent

A tree form where the leading shoot does not dominate, resulting in a broad, spreading crown. The growth of lateral branches is more pronounced, leading to a more rounded or irregular shape without a clearly defined central trunk.

Defect

An injury, growth pattern/habit, decay or other conditions that may reduce the tree's structural integrity or affect its health.

Dieback

The progressive death of shoots or roots starting at the extremities.

Encroachment

An incursion into a tree's TPZ or SRZ from a proposed development or existing structure or buildings.

Epicormic shoots

Shoots arising from dormant buds in a tree's main stem or framework branches.

Excurrent

Tree form which develops when a dominant leading shoot outgrows the lateral branches. This results in a narrow, cone-shaped crown with a clearly defined central trunk.

Genus

A rank in biological classification (or taxonomy). It stands above species, and below families. The first part of the botanical name.

Included bark

Inclusion refers to the presence of bark or other material within the crotch or union of two branches.

Pruning

The process of removing branches or occasionally roots from a tree using approved arboricultural practices, to achieve a specified objective.



Glossary (Continued)

Remedial pruning

A pruning operation which aims to address issues relating to loss of a tree's natural form due to damage, vandalism, poor pruning practices or disease.

Signs

Objective physical evidence of a causal agent (eg: insect eggs, borer holes, frass).

Stress

A factor that negatively affects the health of a tree and stimulates a physiological response.

Symptoms

Subjective reactions to a disease or disorder (eg: wilting, dieback, defoliation).

Vigour

The overall health, condition and resilience of a tree, reflected in the ability of the whole tree to grow.

VTA (Visual Tree Assessment)

Visual Tree Assessment is a ground-based method for assessing tree health and structure through visual inspection. It focuses on identifying signs of disease, decay, or structural issues in the trunk, branches, and root zone.

Work(s)

Any physical activity in relation to land that is specified by the determining authority.

Wound Response

New wood developing in response to a wound.

Wound wood

Strong woody tissue that grows behind a callus which replaces it in that location. Wound wood closes wounds, then normal wood continues to form. After wounding, a callus forms around the margins of the wound. Wound wood forms later as the cells become lignified. It is not meristematic but is high in lignin.



Appendix D. Tree Data Table

T#	Botanical Name	Common Name	Origin	Age	DBH (cm)	Calc. DBH (cm)	DARB (cm)	Height (m)	Width (m)	Health	Structure	RV	ULE	Arb Value	Comments
1	<i>Betula pendula</i>	Silver Birch	Exotic	Mature	21	21	28	8	3	Poor	Fair	Low	< 5 Years	Low	Apical meristem has decay. Evidence of prior pruning. Deadwood <120mm. RECOMMENDATIONS: Remove.
2	<i>Betula pendula</i>	Silver Birch	Exotic	Mature	38	38	45	10	9	Fair	Poor	Low	5 - 10 Years	Low	Evidence of prior pruning. Canopy bias to the north. Deadwood < 100mm. RECOMMENDATIONS: Remove.
3	<i>Pittosporum undulatum</i>	Sweet Pittosporum	Australian Native	Mature	29	29	29	5	9	Poor	Very Poor	Low	< 5 Years	Low	Crown has been topped. Epicormic growth. RECOMMENDATIONS: Remove.
4	<i>Viburnum tinus</i>	Laurustinus	Exotic	Mature	5, 5	7	8	4	3	Poor	Poor	Low	< 5 Years	Low	Sooty mould. RECOMMENDATIONS: Remove.
5	<i>Banksia spinulosa</i>	Hairpin Banksia	Australian Native	Mature	19	19	21	7	7	Poor	Poor	OS	5 - 10 Years	Medium	Tree is on adjoining property to the north (17 Garfield Rd). Canopy bias to the north. Evidence of prior pruning. RECOMMENDATIONS: Retain and protect.
TG6	<i>Melaleuca styphelioides</i>	Prickly-leaved Paperbark	Australian Native	Mature	24	24	16	7	3	Fair	Fair	OS	5 - 10 Years	Low	Tree is on adjoining property to the north (17 Garfield Rd). Group of four trees. RECOMMENDATIONS:
7	<i>Fraxinus excelsior</i>	European Ash	Exotic	Mature	24	24	29	9	5	Fair	Fair	OS	5 - 10 Years	Low	Tree is on adjoining property to the north (17 Garfield Rd). Typical of the species. Tree is 1.9m north of boundary fence. RECOMMENDATIONS: Retain and protect.
8	Unidentified species	Unidentified species	N/A	Mature	18, 17, 14	28	40	7	11	Poor	Poor	OS	5 - 10 Years	Low	Tree is on adjoining property to the north (17 Garfield Rd). Three co-dominant trunks. Dieback present. Evidence of prior pruning. Tree is 1.9m north of boundary fence. Deadwood <40mm. RECOMMENDATIONS: Retain and protect.
9	<i>Eucalyptus viminalis</i>	Manna Gum	Victorian Native	Mature	156	156	180	24	19	Fair	Fair	OS	10 - 20 Years	High	Tree is on adjoining property to the north (17 Garfield Rd). Major deadwood < 100mm. Dieback in upper crown. Lateral branch encroaching on subject site by 4m. RECOMMENDATIONS: Retain and protect.

T#	Botanical Name	Common Name	Origin	Age	DBH (cm)	Calc. DBH (cm)	DARB (cm)	Height (m)	Width (m)	Health	Structure	RV	ULE	Arb Value	Comments
TG10	<i>Pittosporum tenuifolium</i>	James Stirling	Exotic	Mature	10	10	14	8	2	Fair	Poor	OS	5 - 10 Years	Low	Tree is on adjoining property to the north (17 Garfield Rd). Typical of the species. Canopy encroaching on subject site. RECOMMENDATIONS: Retain and protect.
11	<i>Eucalyptus sp.</i>	Gum Tree	Native	Mature	59	59	73	16	11	Fair	Good	OS	> 20 Years	High	Tree is on adjoining property to the north (17 Garfield Rd). Epicormic growth. Evidence of kino. Lateral branches encroaching on subject site by 2m. Deadwood < 30mm. RECOMMENDATIONS: Retain and protect.
12	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Victorian Native	Mature	99	99	117	19	14	Poor	Poor	OS	5 - 10 Years	Medium	Tree is on adjoining property to the north (17 Garfield Rd). Evidence of previous limb failure. Epicormic growth. Phellinus sp. on east side of trunk. Deadwood < 60mm. RECOMMENDATIONS: Retain and protect.
TG13	<i>Yucca gigantea</i>	Spineless Yucca	Exotic	Mature	18	18	25	7	1	Poor	Poor	OS	< 5 Years	Low	Tree is on adjoining property to the north (17 Garfield Rd). Typical of the species. Tree group is 30cm north of boundary fence. RECOMMENDATIONS: Retain and protect.
14	<i>Robinia pseudoacacia</i>	Black Locust	Exotic	Mature	19	19	25	5	1	Poor	Poor	OS	< 5 Years	Low	Tree is on adjoining property to the north (17 Garfield Rd). Decay above root buttress. RECOMMENDATIONS: Retain and protect.
15	<i>Eucalyptus globulus</i>	Blue Gum	Victorian Native	Mature	136	136	142	20	19	Poor	Poor	OS	5 - 10 Years	Medium	Tree is on adjoining property to the west (84 Railway Ave). Phellinus sp. on west side of trunk. Major deadwood <200mm. RECOMMENDATIONS: Retain and protect.
16	<i>Eucalyptus obliqua</i>	Messmate Stringybark	Victorian Native	Mature	68	68	80	14	11	Poor	Poor	OS	5 - 10 Years	Low	Tree is on adjoining property to the west (84 Railway Ave). RECOMMENDATIONS: Retain and protect.
17	<i>Eucalyptus nicholii</i>	Willow Peppermint	Australian Native	Mature	79	79	90	14	11	Good	Fair	OS	10 - 20 Years	High	Tree is on adjoining property to the south (13 Garfield Rd). Epicormic growth. Lateral branches encroaching on subject site by 7m. RECOMMENDATIONS: Retain and protect.
18	<i>Eucalyptus nicholii</i>	Willow Peppermint	Australian Native	Mature	70	70	75	14	11	Fair	Fair	OS	10 - 20 Years	High	Tree is on adjoining property to the south (13 Garfield Rd). Epicormic growth. Lateral branches encroaching on subject site by 7m. RECOMMENDATIONS: Retain and protect.



T#	Botanical Name	Common Name	Origin	Age	DBH (cm)	Calc. DBH (cm)	DARB (cm)	Height (m)	Width (m)	Health	Structure	RV	ULE	Arb Value	Comments
19	<i>Corymbia maculata</i>	Spotted Gum	Australian Native	Young	7	7	9	5	2	Fair	Poor	OS	10 - 20 Years	Low	Tree is on adjoining property to the south (13 Garfield Rd). Mechanical damage approximately 1m above NGL. Tree is 1m south of the boundary fence. RECOMMENDATIONS: Retain and protect.
20	<i>Eucalyptus sp.</i>	Gum Tree	Native	Mature	19, 23	30	57	11	12	Fair	Fair	OS	10 - 20 Years	Medium	Tree is on adjoining property to the south (13 Garfield Rd). Co-dominant trunk 1m above NGL. Kino present on north side of trunk. Branches encroaching into subject site by 2m. Deadwood <50mm. RECOMMENDATIONS: Retain and protect.
21	<i>Eucalyptus obliqua</i>	Messmate Stringybark	Victorian Native	Mature	64	64	70	11	11	Poor	Poor	OS	5 - 10 Years	Low	Tree is on adjoining property to the south (13 Garfield Rd). Dieback. Epicormic growth. Canopy bias due to the north. Branches encroaching into subject site by 3m. Deadwood <50mm. RECOMMENDATIONS: Retain and protect.
22	<i>Angonis flexuosa</i>	Willow Myrtle	Australian Native	Mature	22	22	28	5	5	Fair	Fair	OS	5 - 10 Years	Low	Tree is on adjoining property to the south (13 Garfield Rd). Evidence of prior pruning. Decay in trunk above ground level. Canopy encroaching on subject site by 2m. RECOMMENDATIONS: Retain and protect.
23	<i>Angonis flexuosa</i>	Willow Myrtle	Australian Native	Mature	10, 63	64	72	6	6	Poor	Poor	OS	5 - 10 Years	Low	Tree is on adjoining property to the south (13 Garfield Rd). Evidence of prior pruning. Canopy encroaching on subject site by 1m. RECOMMENDATIONS: Retain and protect.

Table D - Tree data table.



Cardinia

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Appendix E. Photographic Catalogue

TREE #1



TREE #2



TREE #3



TREE #4




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Photographic Catalogue (Continued)

TREE GROUP #6

TREE #7



TREE #8

TREE #9





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Photographic Catalogue (Continued)

TREE GROUP #10



TREE #11



TREE #12



TREE GROUP #13



Gardiner
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Photographic Catalogue (Continued)

TREE #15



TREE #16



TREE #17



TREE #18





Cardinia
COUNCIL

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Photographic Catalogue (Continued)

TREE #19



TREE #20



TREE #21



TREE #22





Cardinal

ADVERTISED MATERIAL

Planning Application: 1250120

Date Prepared: 21 November 2025

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Photographic Catalogue (Continued)

TREE #23



SITE LOOKING EAST




Cardinia

ADVERTISED MATERIAL
Planning Application: T250120
Date Prepared: 21 November 2025

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Appendix F. Assumptions & Limitations

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ITS

ARBORICULTURAL CONSULTANCY & REPORTS



Tree Protection Management Plan – V1.00



ADVERTISED MATERIAL

Planning Application: T250120

Date Prepared: 21 November 2025

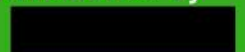
15 Garfield Rd, Garfield 3814

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Report Prepared By

██████████ (AQF Level 5,
Dip. Arb, ISA TRAQ Certified)

Report Commissioned By



m.0483 210 605

e. elliott@iclimbtreeservices.com.au

Date Prepared

26th September 2025

1. Introduction

1.1 Background

IClimb Tree Services Melbourne has been engaged by Olivia Sharp to prepare a Tree Protection Management Plan (TPMP) to direct suitable tree protection measures within the subject site at 15 Garfield Rd, Garfield, 3814, as per **Condition 4** of the applicable request for further information document. Nine (9) trees **T9, T12, T14, T17, T18, T20, T21, T22** and **T23** require protection throughout the proposed development. Four (4) trees are required for removal which were T1 – T4, as per the Preliminary Tree and Proposed Impact Assessment Report. This TMP shall be enforce from a period prior to any demolition to post-construction.

This TMP references the following documents provided to or prepared by IClimb Tree Services Melbourne:

1. Preliminary Tree Assessment and Proposed Impact Assessment Report

- **Prepared by:** IClimb Tree Services Melbourne
- **Arborist:** Elliot Callas (AQF Level 5, ISA TRAQ Certified)
- **Report Date:** 02/07/25
- **Rev:** V1

2. Design response Plan

- **Prepared by:** Ronnie Whitton
- **Plan Date:** March 2024
- **Site Address:** 15 Garfield Rd, Garfield, 3814
- **Sheet Title:** Design response
- **Job No:** 4249.TP
- **Sheet:** TP 03
- **Rev:** N/A

3. Planning Permit

- **Permit Number:** T250120 PA
- **Responsible Authority:** Cardinia Shire Council
- **Planning Scheme:** Cardinia Planning Scheme
- **Address on permit:** 15 Garfield Rd, Garfield, 3814
- **Permit consents:** N/A



2 Protected Trees

The following trees are subject to this TPMP.

Any trees shaded in **grey** are offsite.

Tree (T#)	Botanical Name	Common Name	Location	DBH (cm)	TPZ radius (m)	SRZ radius (m)	TPZ Area (m ²)
9	<i>Eucalyptus viminalis</i>	Manna Gum	Offsite	156	15.00	4.24	706.86
12	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	Offsite	99	11.88	3.53	443.39
14	<i>Robinia pseudoacacia</i>	Black Locust	Offsite	19	2.28	2.02	16.33
17	<i>Eucalyptus nicholii</i>	Willow Peppermint	Offsite	79	9.48	3.17	282.34
18	<i>Eucalyptus nicholii</i>	Willow Peppermint	Offsite	70	8.40	2.93	221.67
20	<i>Eucalyptus sp.</i>	Gum Tree	Offsite	30	3.60	2.61	40.72
21	<i>Eucalyptus obliqua</i>	Messmate Stringybark	Offsite	64	7.68	2.85	185.30
22	<i>Angonis flexuosa</i>	Willow Myrtle	Offsite	22	2.64	1.94	21.90
23	<i>Angonis flexuosa</i>	Willow Myrtle	Offsite	64	7.68	2.88	185.30

Table 1 - Protected Trees



3 Project Arborist

A project arborist of suitable qualification must be appointed for the duration of the development at 15 Garfield Rd, Garfield, 3814.

The project arborist will:

- Hold a minimum qualification of an AQF Level 5 in Arboriculture and/or have acquired equivalent experience with knowledge and skills to enable completion of all tasks required by AS 4970 – 2009 *Protection of trees on development sites*.
- Ensure specific tree protection measures are implemented throughout the development, including periodic inspections for TMP compliance.
- Supervise and/or certify relevant tasks outlined within this TPMP.
- Review any alterations to the endorsed plans that may arise that would impact a retained tree.
- Maintain written and photographic records of all site inspections as required.



4 Site Induction

Prior to the commencement of any works on this site, this TPMP must be:

- Printed on A2 weatherproof paper.
- Made highly visible on the site.
- Must be displayed at the site entry.
- Acknowledged by all site personnel by means of written and electronic documentation. This shall include, but not limited to, an individual's name, signature, date and time of acknowledgement of this TPMP. This will deem that they have fully understood and will comply with all sections herein this TPMP.

All workers entering the site must be:

- Notified during their site induction of the location of all TPZ's.
- Notified of all tree protection measures that are being implemented and their restrictions.

The project manager must:

- Ensure all induction records are stored appropriately via electronic and physical means.
- Obtain a briefing from the Project Arborist regarding the conditions and requirements of this TPMP.
- Ensure that all works within the TPZ must be undertaken in consultation with and under supervision of the Project Arborist.
- Ensure that all Tree Protection Fencing and Ground Protection must not be altered or moved without supervision of the Project Arborist.
- Notify the Project Arborist immediately in the event of any damage to trees (branches, trunks or roots) or a protected tree becomes compromised by means of displacement or damage to tree protections devices, such as fencing, branch and ground protection.
- Notify the Project Arborist immediately in the event of any noticeable change in the appearance of a tree including dieback, discolouration or wilting of foliage, excessive exudation of fluids, pest infestation, branch failure, root plate movement or noticeable trunk lean.
- Notify the Project Arborist immediately in the event of any confusion or uncertainty about any protected trees or this TPMP.



NOTE:

In the event of any damage or displacement of any tree protection devices, all works on site must cease until the Project Arborist has conducted an inspection and approval is given to recommence.

NOTE:

It is the responsibility of the relevant contractor to be aware of all TPZ restrictions and tree sensitive construction methods when carrying out permitted works within a TPZ.

5 Supervision & Certification

Table 2 below indicates which tasks are to be supervised and/or certified by the project arborist.

Task	Arborist Supervision Required	Arborist Certification Required	Timing	Liaison
Installation of TPZ fencing and signage	No	Yes	Prior to Demolition/site clearance	Project Manager
Print TPP and display	No	Yes	Prior to Demolition/site clearance	Project Manager
TPP induction	No	No	All workers entering the site	Project Manager and relevant contractors
Vegetation removal within TPZ of retained tree	Yes	Yes	Prior to Demolition/site clearance	Project Manager and relevant contractors
Tree removal within the site	No	Yes	Prior to Demolition/site clearance	Project Manager and relevant contractors
Clearance pruning (if deemed appropriate by the project arborist subject to Council approval)	Yes	Yes	Construction	Project Manager and relevant contractors
Access into a TPZ for permitted works	No	Yes	Construction	Project Manager and relevant contractors
Relocation of TPZ fencing for permitted works	No	Yes	Construction	Project Manager and relevant contractors
Replacement of TPZ fencing with ground protection system	No	Yes	As required	Project Manager and relevant contractors
Final Tree Inspection (if required)	Yes	Yes	Practical Completion	Project Manager

Table 2 - Supervision & Certification



6 Certification

The project arborist will maintain written and photographic records of all site inspections and tree protection measures as listed in *Table 3* below. Refer to *Appendix E – TPMP Certification Template* for in depth certification requirements.

Stage	Works to be certified
Pre-Demolition/Site clearance/Pre-Construction	• TMP and TPP displayed at site entry, within site and at induction to all site personnel. • Installation of TPZ fencing and signage. • Onsite tree(s): NIL • Offsite tree(s): T9, T12, T14, T17, T18, T20, T21, (T22, T23). • One continuous line from the eastern boundary of the TPZ of T9 to the western boundary of the TPZ for T12 as a minimum for this northern boundary. • One continuous line from the southwestern corner boundary to the eastern end of the TPZ of T18. • One continuous line of the TPZ for T20 where the TPZ encroaches the proposed driveway (most western point) along the existing post and rail fence to the end of the eastern boundary of the TPZ for T21. • One continuous line from the western boundary of the TPZ of T22 to the foot path along Garfield Rd. This is to be run along the existing post and rail fence. This TPZ fencing (for trees T22 & T23) can be exempt from installation as the existing paling fence remains. • Street tree(s): NIL • Tree removal within the site: T1 – T4 • Sensitive removal of this tree. • Installation of ground protection: • Onsite tree(s): NIL • Offsite tree(s): T9, T12, T14, T17, T18 (Truck/Bog mats only required) • Street tree(s): NIL
Construction	• Proposed units #3 and #4 are within the TPZ of T9. • Proposed unit #5 is within the TPZ of T12. • Proposed unit #6 is within the TPZ of T12. • Proposed unit #7 is within the TPZ's of T17 and T18. • Proposed retaining wall is within the TPZ's of T9, T12 and T14. • Proposed retaining wall is within the SRZ of T14. • Proposed driveway is within the TPZ's of T18, T20, T22 and T23. • Excavation or any earthworks that may disturb or penetrate the natural ground surface within a TPZ or SRZ of any tree. This includes but is not limited to service routing, drainage and irrigation.
Post-Construction/Landscape Construction/Practical Completion	• Final tree inspection and assessment (if required by the responsible authority).

Table 3 – Certification

7 Pre-Demolition

7.1 Tree Protection Fencing

Fencing shall be erected before any machinery or materials are brought onto the site and **before** the commencement of **any** works including demolition. Once erected, protective fencing must not be removed or altered without the approval of the project arborist. The TPZ shall be secured to restrict access.

Tree protection fencing must be installed around the TPZ's of:

- Onsite tree(s): **NIL**
- Offsite tree(s): **T9, T12, T14, T17, T18, T20, T21, (T22, T23).**
 - One continuous line from the eastern boundary of the TPZ of T9 to the western boundary of the TPZ for T12 as a minimum for this northern boundary.
 - One continuous line from the southwestern corner boundary to the eastern end of the TPZ of T18.
 - One continuous line of the TPZ for T20 where the TPZ encroaches the proposed driveway (most western point) along the existing post and rail fence to the end of the eastern boundary of the TPZ for T21.
 - One continuous line from the western boundary of the TPZ of T22 to the foot path along Garfield Rd. This is to be run along the existing post and rail fence. This TPZ fencing (for trees T22 & T23) can be exempt from installation only if the existing paling fence remains.
- Street tree(s): **NIL**

Refer to the TPP as this will provide locations of TPZ fencing.



7.2 Tree Protection Fencing Specifications

AS 4687.1 – 2022 *Temporary fencing and hoardings, Part 1: General requirements*, specifies applicable fencing specifications, however, the following criteria **must** be adhered to when installing fencing on the site (refer to *Figure 1* overleaf):

- Shade cloth or similar should be attached to reduce the transport of dust, other particulate matter and liquids into the TPZ.
- Fence posts and supports should have a diameter greater than 20 mm and be located clear of roots.
- Constructed by means of chain wire mesh panels secured to weighed bases. Alternatively, constructed by plywood or a wooden paling fence, which would prevent building materials from entering the TPZ.
- To be a minimum height of 1.8m.
- No excavation for fence post holes unless outside the TPZ.
- All fencing panels to be secure to deter easy entry.
- TPZ fencing must not be fastened, nailed, screed or tied to the tree.
- At least one (1) weatherproof TPZ sign per side of each fenced TPZ including the contact details of the project arborist and site foreman/project manager. This sign must be compliant with AS 1319 – 1994 *Safety signs for the occupational environment*. Refer to *Figure 2* overleaf.
- Once erected fencing must be maintained to a standard which is compliant with AS 4687.1 – 2022 for the duration of development.

Pre-Demolition (continued)

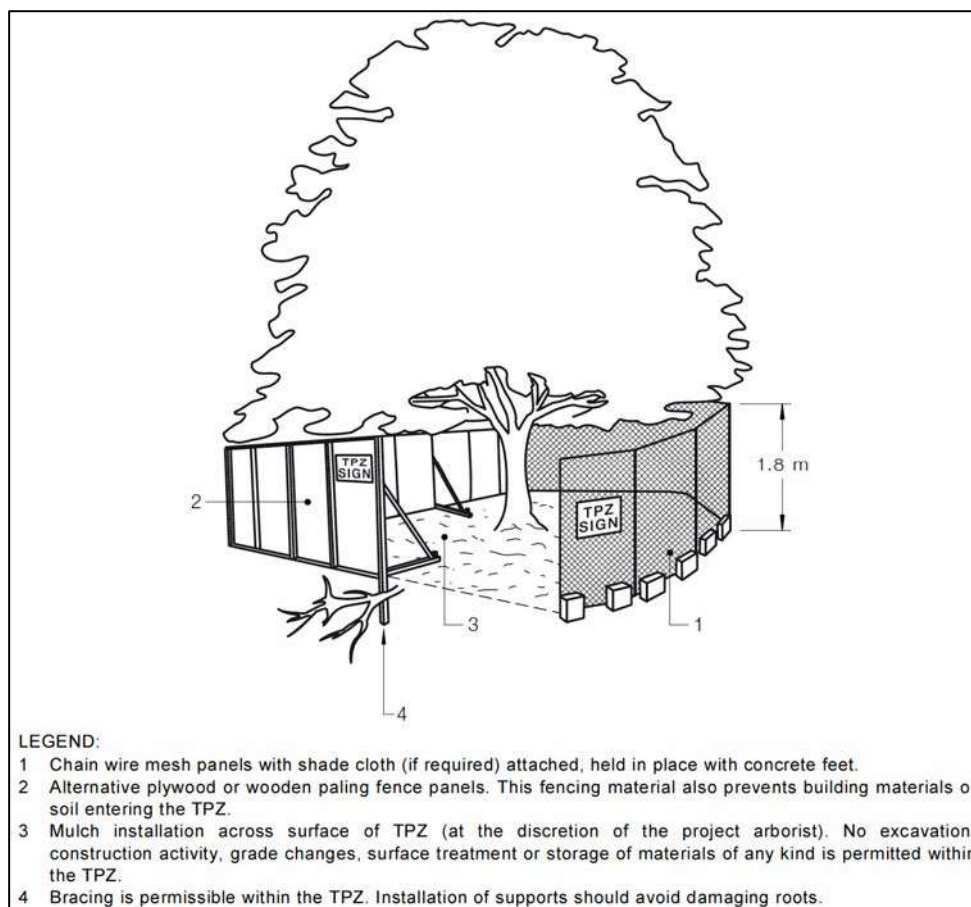


Figure 1 - Diagram showing fencing specifications for AS 4970 - 2009 compliance



Figure 2 - Signage on TPZ that must be displayed and compliant with AS 1319 - 1994

Pre-Demolition (continued)

7.3 Tree Removal, Pruning & Stump Grinding

All trees that are to be removed shall be marked with spray paint (or similar) and must be annotated on the Tree Protection Plan (TPP). The project arborist shall confirm trees marked for removal on site also correlate with the same trees marked for removal on the TPP.

Tree removal and pruning shall be done **prior** to the erection of protection fencing and the installation of other tree protection devices. Contractors should be instructed to avoid damage to trees within TPZ's when removing or pruning trees.

All tree works must be carried out by a suitably qualified person (who's insured with public liability) with a minimum certification of AQF 3 in in Arboriculture pursuant with AS 4373 – 2007 *Pruning of amenity trees* and shall be supervised with such works certified by the project arborist upon completion.

Stumps to be removed from within a TPZ must be removed sensitively that avoids damaging or disturbing roots of trees to be retained.

Grinding of stumps from all removed trees must be carried out prior to any construction works commencing on the site.

Stump grinding must be carried out using appropriate Arboricultural techniques.

Stump grinding must be to an appropriate depth to remove as much root mass as practically possible and must not adversely impact the health, condition, or stability of any retained tree.

Appropriate steps must be taken prior to stump grinding to locate any underground utilities or services to avoid any damage occurring.

Any pruning of an offsite tree will require consultation with the respective landowner(s) and/or comply with local law.

Where pruning is required for clearance purposes, only the minimum amount required is to be pruned.

Under no circumstances should any vegetation or trees be removed with the use of an excavator or similar.

Under no circumstances should herbicide be used to control or remove any vegetation or weeds.

The following tree(s) are to be removed from the site:

- **T1 – T4**



Pre-Demolition (continued)

7.4 Ground, Trunk & Branch Protection System

Should TPZ fencing be required to be removed or cannot be installed then suitable protection of the root plate, trunk and branches **must** be installed to minimise soil compaction, protect the subject tree and its growing environment. This will allow long term egress for pedestrians, vehicles and construction equipment whilst still offering the tree and its surroundings protection.

The ground, trunk & protection 'system' **must** have the following requirements:

- Ground protection system is to consist of a permeable layer such as geotextile fabric beneath a layer (at least 100 mm) of mulch or no-fines crushed rock (not compacted). Lopped with rumble boards or steel plates (see *Figure 3* overleaf).
- Ground protection system is to remain in place until works or access inside the TPZ are completed or practical completion of the site is reached.
- Where TPZ fencing is to be re-installed, this must happen immediately after ground protection has been removed and under the direct supervision of the project arborist.
- Initial installation and relocation of ground, trunk & branch protection system must be certified by the project arborist.
- To protect the trunk and branches the positioning of protective padding is to be determined by the project arborist (see *Figure 3* below), however a minimum height of two (2) meters is recommended.
- Under no circumstances is anything allowed to be fixed temporarily such as powerlines, stays, guys, nails and the like to the subject tree including its trunk or branches.
- The following onsite tree(s) will require a ground, trunk & protection system and consequential project arborist certification: **NIL**. For further information refer to *Section 8.2 – Specific Tree Protection Measures*.

NOTE:

For any ground protection that is **NOT** long term and only required for short-term momentary egress throughout the development, then the above ground protection may not be suitable/practical. This will depend on a case-by-case basis and is dependent on the type of machinery being used within the TPZ and the ground/tree environment for a given site. Given this, an alternative method such as installing Truck/Bog mats can be suitable for favourable ground/tree conditions (E.g. No root plate lifting, no exposed roots etc), where egress into a TPZ is very short-term/momentary. Refer to *Figure 4 – Truck/Bog mats* overleaf.



Pre-Demolition (continued)

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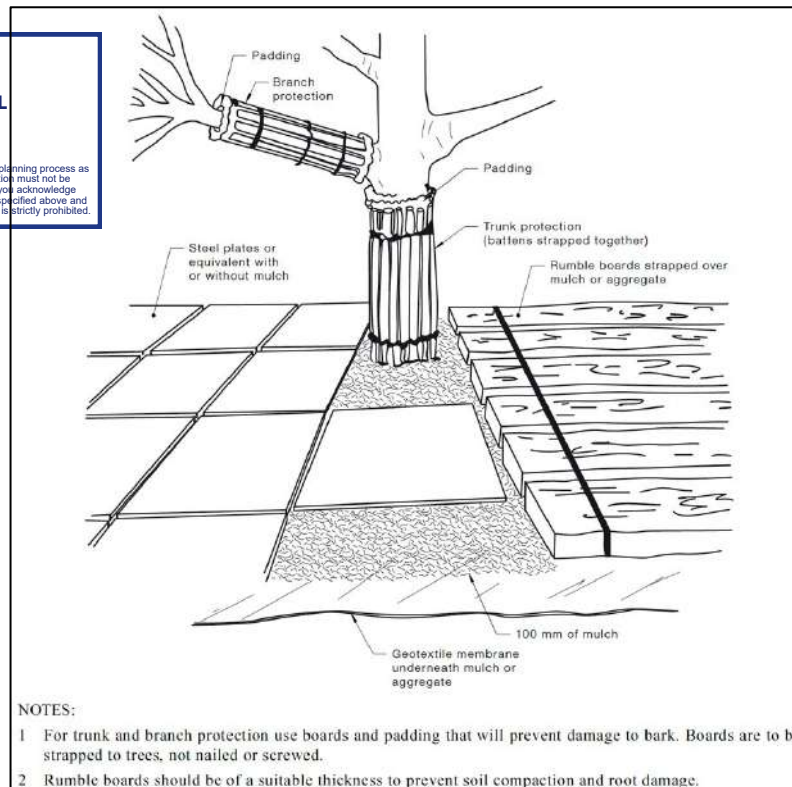


Figure 3 - Ground, Trunk & Branch protection as per AS 4970 - 2009



Figure 4 - Scissor lift using truck/bog mats which can protect the ground.

8 Construction

8.1 General Tree Protection Requirements

To preserve tree viability the following requirements apply within a TPZ. Deviations from these requirements are only permitted or specifically articulated in the report or with the permission of the project arborist or responsible authority.

The following requirements apply throughout all staged of development:

- No heavy machinery such as vehicles or plant is to enter any fenced area of the TPZ without the prior permission of the project arborist and under their direct control (excludes emergency vehicles).
- No lighting of fires.
- No trenching, placement of fill or removal of soil. Existing levels must be maintained.
- All services should be routed outside the TPZ. If underground services must be routed within the TPZ, they should be installed by directional drilling using air-excavation or high-pressure hydro-excavation tool (100 psi – 120 psi), or alternatively in manually excavated trenches to a depth of at least 600 mm below natural ground level (NGL). Such works shall be undertaken under the direct control and supervision of the project arborist.
- No drainage or sub-surface irrigation lines are to be installed.
- No fuel, chemicals or cement products shall be allowed in or stored in the TPZ.
- No cleaning of equipment of any kind inside the TPZ.
- No servicing or re-fuelling of equipment or vehicles inside the TPZ.
- No storage of material, waste, equipment or temporary buildings/infrastructure is to take place within a TPZ.
- No fixtures of any kind are to be attached to any tree for any reason.
- All machinery is to be kept clear of any tree canopy to prevent impact damage occurring.
- All relevant trees should be watered as deemed necessary by the project arborist.
- Fencing to be installed to protect other site trees from potential construction impact such as a boundary fence running along the car park adjacent to garden beds.



Construction (continued)

8.2 Specific Tree Protection Measures

Table 4 below indicates the different types of tree protections measures to protect relevant trees.

Tree (T#)	Botanical Name	Comments	Refer to Appendix #
9	<i>Eucalyptus viminalis</i>	TPZ fencing and signage to be installed where the TPZ encroaches the boundary fence. Truck/Bog mats to be used as a temporary ground cover within the TPZ between the development and the TPZ fencing. The only allowable heavy machinery in this area is a scissor lift or the like, unless approved by the Project Arborist. These mats are only for immediate short-term/momentary egress through this area.	A, D
12	<i>Eucalyptus radiata</i>	As per T9 comments.	A, D
14	<i>Robinia pseudoacacia</i>	As per T9 comments.	A, D
17	<i>Eucalyptus nicholii</i>	As per T9 comments.	A, D
18	<i>Eucalyptus nicholii</i>	As per T9 comments and additionally implement branch protection on stem to the north which protrudes over boundary.	A, D
20	<i>Eucalyptus sp.</i>	As per T18 comments. No bog mats required.	A, D
21	<i>Eucalyptus obliqua</i>	TPZ fencing and signage installed. No bog mats required due to distance from tree.	A, D
22	<i>Angonis flexuosa</i>	TPZ fencing and signage to be installed where the TPZ encroaches the boundary fence. If existing fence remains, then this TPZ fencing can be exempt for this tree along the boundary.	A, D
23	<i>Angonis flexuosa</i>	As per T22 comments.	A, D

Table 4 - Specific Tree Protection Measures

Construction (continued)

8.3 Accessing a TPZ

Persons wishing to gain access into a fenced TPZ shall only be approved by the project arborist or the responsible authority.

Any requests for TPZ access shall be directed to the project arborist and such access must be in accordance with any conditions imposed by the project arborist.

Should TPZ access be granted, restrictions on works shall apply and only approved works/activities mentioned herein this TPZ are permitted.

It is the responsibility of the relevant contractor(s) to ensure that adequate notice is given to the project arborist so they can be present on site to supervise access. Adequate notice is a **minimum of two (2) full business days**.

If the project arborist considers that the requested access poses an unacceptable risk to a tree, the project arborist can:

1. Stipulate that access be delayed until they can be present to supervise such access.
2. Stipulate the additional protection requirements which must be adhered to during the requested access.
3. Stipulate changes to construction/work methods during the requested access.

8.4 Design Alterations

Any alterations to the development design which alter the surface or below ground works within a fenced TPZ are subject to the approval of the project arborist and the responsible authority prior to proceeding.

If the project arborist considers the design change poses an unacceptable risk to a tree, they are to recommend modifications to the proposed design to reduce the risk. In some situations, the proposed alterations may not be able to proceed.

Any design alteration within a TPZ is to be recorded and included in certification reporting by the project arborist.

8.5 Landscape Works

Should a landscape plan be relevant to this site then it should be checked for compliance with the TPP. The project arborist may need to approve the staged removal of protection measures required to allow for landscape works. The project arborist should supervise any works within TPZs, including retaining walls, irrigation and lighting installation, topdressing, planting and paving. The project arborist should specify any remedial works above and below ground. Monitoring is to be recorded for inclusion in certification at practical completion.



Construction (continued)

8.6 Post-Construction

Once practical completion of the site is reached and all heavy machinery has left the site, TPZ fencing may be removed.

TPZ fencing may be relocated for permitted landscaping works.

Upon conclusion of all site works, the project arborist shall conduct a final tree inspection and assessment of the retained subject trees, details of any deviations from the approved tree protection measures and their impacts on trees.

Remedial pruning and/or any soil or organic layer enhancements that is required is to be recorded by the project arborist.

A final certification report will be issued. Refer to *Appendix E – TPMP Certification Template*.



9 Development Timeline of Events

Should the development proposal of the subject site be undertaken, the following processes illustrate the timeline of events that need to be achieved in order of compliance with Australian Standards AS 4970 – 2009 *Protection of trees on development sites*. This process further ensures tree health and stability for long-term retention in the landscape and any future development to operate effortlessly.

1. Preliminary Tree Assessment prepared by Arborist – **COMPLETED**
2. Calculate TPZs and SRZs for those trees suitable for retention – **COMPLETED**
3. Use the Preliminary Tree Assessment to aid the design process and determine which trees should be retained – **COMPLETED**
4. Consult with the Arborist to determine suitable tree protection measures – **COMPLETED**
5. Submit the design to the Arborist who will prepare the Tree Management Plan & Tree Protection Plan – **COMPLETED**
6. Establish TPZ's and other tree protection measures on site – **NOT COMPLETED**
7. Site induction, supervision of works and tree protection certification by Project Arborist over course of project – **NOT COMPLETED**



10 References

Standards

AS 4373 – 2007 *Pruning of amenity trees*

AS 4970 – 2009 *Protection of Trees on Development Sites*

Websites

Heavy Duty Ground Protection mats BOGMAT. Available at: <https://www.bogmat.com.au/>. (Accessed: 26th September 2025).

Documents

Preliminary Tree Assessment and Proposed Impact Assessment Report

- **Prepared by:** IClimb Tree Services Melbourne
- **Arborist:** Elliot Callas (AQF Level 5, ISA TRAQ Certified)
- **Report Date:** 02/07/25
- **Rev:** V1

Design response Plan

- **Prepared by:** Ronnie Whitton
- **Plan Date:** March 2024
- **Site Address:** 15 Garfield Rd, Garfield, 3814
- **Sheet Title:** Design response
- **Job No:** 4249.TP
- **Sheet:** TP 03
- **Rev:** N/A



Planning Permit

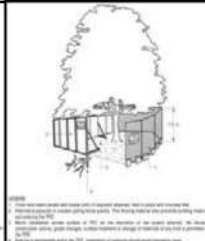
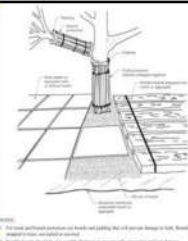
- **Permit Number:** T250120 PA
- **Responsible Authority:** Cardinia Shire Council
- **Planning Scheme:** Cardinia Planning Scheme
- **Address on permit:** 15 Garfield Rd, Garfield, 3814
- **Permit consents:** N/A

Appendix A. Tree Protection Plan (TPP)

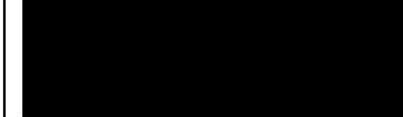
Tree Protection Plan (TPP)
15 Garfield Rd, Garfield, 3814
iClimb Tree Services Melbourne
26/09/25 – Version 1.0
Permit No: T250120 PA

Legend

- Temporary Fencing
- Truck/Bog mats only for momentary egress
- 📍 Signage Location



Authorised by:



Dip. Arboriculture (AQF 5)
26/09/25

T9, T12, T14, T17, T18, T20 – T23
TPZ fencing to be installed as per TMP and at the location shown in this TPP.

Truck/Bog mats (as described in the TMP) to be placed at locations as shown in the TPP. This is not a permanent fixture throughout the entire development. They are only required for momentary egress throughout the development to this location for nominated heavy machinery to transit through the TPZ.

Ground Protection System

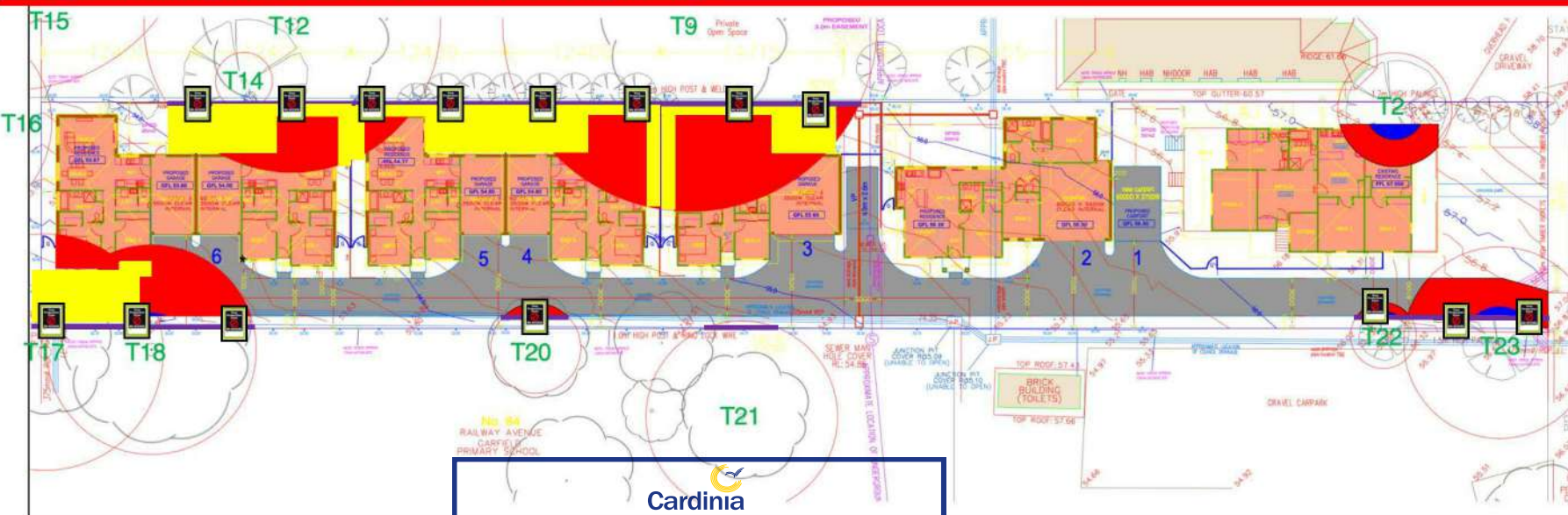
Not required – Only Truck/Bog mats are required due to the short-term momentary egress to TPZ areas.

Vehicular access

Emergency vehicles are exempt from entering the TPZ without permission from the Project Arborist.

Storage of materials

A designated area away from TPZ's shall be designated by the Site Project Manager.



Cardinia

ADVERTISED MATERIAL

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Tree Protection Zone Restrictions

The following restrictions apply throughout all stages of the development

No heavy machinery (excluding a nominated scissor lift or the like), such as vehicles or plant is to enter any fenced area of the TPZ without the permission of the project arborist and under their direct control (excludes emergency vehicles).

No lighting of fires.

No trenching, placement of fill or removal of soil. Existing levels must be maintained.

All services should be routed outside the TPZ. If underground services must be routed within the TPZ, they should be installed by directional drilling using air-excitation or high-pressure hydro-excitation tool (100 psi – 120 psi), or alternatively in manually excavated trenches to a depth of at least 600 mm below natural ground level (NGL).

No drainage or sub-surface irrigation lines are to be installed.

No fuel, chemicals or cement products shall be allowed in or stored in the TPZ.

No cleaning of equipment of any kind inside the TPZ.

No servicing or re-fuelling of equipment or vehicles inside the TPZ.

No storage of material, waste, equipment or temporary buildings/infrastructure is to take place within a TPZ.

No fixtures of any kind are to be attached to any tree for any reason.

All machinery is to be kept clear of any tree canopy to prevent impact damage occurring.

Appendix B. Definitions of Terms

Botanical Name

The botanical name or binominal name of a plant, consists of the *genus* name followed by the *species* name.

Genus is the classificational term used for grouping one/or a number of closely related species, all of which share the generic name.

Species is the basic unit in the classification of plants. A species is the specific type of plant within the larger grouping of a genus.

Common Name

The colloquial and informal name of a plant.

Origin

The naturally occurring origin of the plant.

Indigenous	The plant occurs naturally within the area it was found.
Vic Native	The plant is native to the state of Victoria
Native	The plant is native to Australia but does not occur naturally within the state of Victoria.
Exotic	The plant does not occur naturally within Australia
N/A	The plant is dead and/or the species was not identified

Age

The age class of the plant.

Juvenile	The plant is developing rapidly and is still establishing itself in the current location.
Semi-Mature	The plant has established itself in the current location and is still actively growing.
Mature	The plant has reached the expected size for the species and location.
Early Maturity	The plant has not reached the expected size for the species and location and is in a state of decline.
Senescent	The plant is mature and in a state of decline.
Dead	The plant is dead.

Health

The overall health and vigour of the plant.

Good	Foliage of plant is entire, with good colour, very little sign of pathogens and of good density. Growth indicators are good, with minimal or no canopy dieback
Fair	The plant is showing one or more of the following symptoms: < 25% dead wood, minor canopy dieback, foliage generally with good colour, though some imperfections may be present. Minor pathogen damage present, with growth indicators such as leaf size, canopy density and twig extension growth typical for the species in this location.
Poor	Tree is in decline; > 50% deadwood, minimal live foliage, possibly epicormic shoots, minimal extension growth.
Dead	The plant is dead.

Definitions Of Terms (Continued)

Structure

The overall form and structural integrity of the plant.

Good	Trunk and scaffold branches show good taper and attachment with minor or no structural defects. Tree is a good example of the species with a well-developed form showing no obvious root problems or pests and diseases.
Fair	Tree shows some minor structural defects or minor damage to trunk e.g. bark missing, there could be cavities present. Minimal damage to structural roots. Tree could be seen as typical for this species.
Fair-Poor	The tree or a part thereof is identified as having an increased likelihood of failure. This may include but is not limited to poor formation of a major union, brittle deadwood, stem decay or a history of limb failures.
Poor	There are major structural defects, damage to trunk or bark missing. Poor structure with likely points of failure. Girdling or damaged roots obvious.
Very Poor	A tree with significant defects related to its primary stem or secondary scaffold limbs that cannot be rectified with pruning or other measures. This removal of this tree may be required in the short term.
Hazardous	A tree with major defects that is likely to fail and should be removed as soon as possible.

Arboricultural Value (Arb Value)

The subjective value of the plant.

High	The tree can be described by one or more of the following statements; - The tree is rare, ecologically important or botanically significant. - The tree is associated with historical, commemorative or sentimental values. - The tree is a prominent feature of the site and is visually remarkable.
Moderate	The tree does not fulfil the criteria for high or low arboricultural value and can be described by <u>all</u> of the following statements; - The tree is a desirable species for the area and/or fulfills a useful purpose. - The tree is established in an appropriate location. - The tree is in reasonable health/vigour and of sound structure.
Low	The tree does not fulfil the criteria for high significance and can be described by one or more of the following statements; - The tree could be replaced within ten years with an advanced nursery specimen. - The tree is an undesirable and/or weed species in the area. - The tree is a common species to the area and its removal would have a minimal, negligible or positive impact on the immediate and greater landscape. - The tree is in an inappropriate location, or requires onerous management to merit its inclusion within the landscape. - The tree is creating a nuisance or impacting on a fixed asset. - The tree is dead, declining or adversely affected by pest/disease. - The tree has developed a defective form or structural fault(s) that cannot be rectified by cost proportionate and industry accepted methods. - The risk presented by the tree exceeds the benefit that the tree provides.



Definitions Of Terms (Continued)

Useful Life Expectancy (ULE)

The extent of time that the plant is expected to make a positive contribution to the landscape.

20 + Years	The plant appears to be retainable for more than 20 years.
10-20 Years	The plant appears to be retainable for a further 10 – 20 years.
5-10 Years	The plant appears to be retainable for a further 5 – 10 years.
< 5 Years	The plant is approaching the end of its ULE and will require removal within 5 years.
0 Years	The plant no longer contributes to the landscape in a positive way or is a weed species.

Retention Value (RV)

High	A mature tree that contributes positively to a site due to its botanical, historical or local significance in combination with good physiological characteristics such as health, form, structure and future development. Significant efforts should be made to retain this tree and it should be considered for retention within a proposed development.
Medium	A semi-mature to mature tree which exhibits fair or good characteristics of health, structure or form and/or may provide some amenity value to the surrounding area or habitat value. Should be considered for retention, if possible, within a development design proposal and may be modified to allow for construction (eg: canopy pruning, root pruning etc). May be of exotic origin
Low	A tree that provides minimal contribution to the surrounding landscape and/or may be in poor or declining health. This tree may have a poor structure, poor form, be a noxious/poisonous or listed weed species or a combination of these characteristics. The tree may be of an undesirable exotic species. It may be juvenile or young in age, there for being replaced easily. It may be in an inappropriate location. This tree is not worthy of being a constraint to a development design proposal
Nil	A tree with no landscape significance and its retention is inappropriate. The removal of this tree would be of benefit to the landscape.
OS	(Off-Site) A retention value dedicated for off-site trees that are either owned by adjoining property to the subject site, road reserves or council trees. Trees that reached this retention value MUST be afforded protection from all construction activities as per the Australian Standards – AS 4970 2009 (<i>Protection of Trees on Development Sites</i>)

Hazard Rating (HR)

High	Tree(s) typically have very poorly developed crowns and/or excessive canopy bias. Underground defects affecting the root system such as root heaving may be suspected. Health and structure may be very poor nature. This tree must be removed. Timeline for action is one (1) month from report publish date for rectification for works to be completed.
Medium	Tree(s) may have hangers present. Pruning is required for the purposes of; canopy uplift, evidence of previous limb failures requiring pruning to branch collars and/or overextended limbs present requiring pruning. Deadwood may be present and requiring removal. Retain and monitor annually. Timeline for action is three (3) months from report publish date for rectification for works to be completed.
Low	Tree(s) may have defects such as poorly developed crowns or some canopy bias, however, given the low severity of these defects they are deemed to not pose a hazard in the short term. Deadwood may be present but doesn't require short term intervention. May have evidence of past limb failures not causing great concern. Retain and monitor annually.

Definitions Of Terms (Continued)

Height x Spread (HxS)

Height describes the height of the tree in metres from the ground height.

Spread describes the crown spread across the north-south and east-west axis which is multiplied and divided by 2.
Eg. (3m + 4m = 7m) (7m/2 = 3.5m)

DBH (Diameter At Breast Height)

DBH (trunk diameter at breast height) was determined by measuring the circumference of the trees stem(s) at 1.4 metres above ground level and dividing by Pi (π).

Calculated DBH (Calc DBH)

Used to calculate the total DBH for multi-stemmed trees only.

Formula used: $DBH = \sqrt{s1^2 + s2^2 + s3^2 + s4^2 + s5^2}$. Tables displaying multiple measurements will include a calculated total DBH below their corresponding figures.

Diameter at Root Buttress (DARB)

The trunk diameter measured from the point at which the tree's root buttressing/flare initiates.

Tree Protection Zone (TPZ)

Tree Protection Zone (TPZ). A circular area radiating from the tree trunk set aside for the protection of a tree's roots and canopy where it is potentially subject to damage from development works. The prescribed TPZ dimensions were calculated as per Australian Standards – AS 4970 2009 (*Protection of Trees on Development Sites*) using diameter at breast height (DBH) X 12 = TPZ radius

Structural Root Zone (SRZ)

Usually, a smaller area than the TPZ, theoretically encompassing the roots required for the tree's stability in the ground. The prescribed SRZ dimensions were calculated as per Australian Standards – AS 4970 2009 (*Protection of Trees on Development Sites*) using diameter at root buttress (DARB) SRZ radius = (DARB x 50) 0.42 x 0.64



Appendix C. Glossary

Bifurcated union

A junction where a single stem splits into two distinct branches or leaders.

Co-dominant stem

Two or more main stems or branches of nearly equal size and relative importance, typically emerging from a common point on the trunk.

Crown

The term crown', refers to the upper part of a tree, encompassing all of its branches and foliage

Decurrent

A tree form where the leading shoot does not dominate, resulting in a broad, spreading crown. The growth of lateral branches is more pronounced, leading to a more rounded or irregular shape without a clearly defined central trunk.

Defect

An injury, growth pattern/habit, decay or other conditions that may reduce the tree's structural integrity or affect its health.

Dieback

The progressive death of shoots or roots starting at the extremities.

Encroachment

An incursion into a tree's TPZ or SRZ from a proposed development or existing structure or buildings.

Epicormic shoots

Shoots arising from dormant buds in a tree's main stem or framework branches.

Excurrent

Tree form which develops when a dominant leading shoot outgrows the lateral branches. This results in a narrow, cone-shaped crown with a clearly defined central trunk.

Genus

A rank in biological classification (or taxonomy). It stands above species, and below families. The first part of the botanical name.

Included bark

Inclusion refers to the presence of bark or other material within the crotch or union of two branches.

Pruning

The process of removing branches or occasionally roots from a tree using approved arboricultural practices, to achieve a specified objective.



Glossary (Continued)

Remedial pruning

A pruning operation which aims to address issues relating to loss of a tree's natural form due to damage, vandalism, poor pruning practices or disease.

Signs

Objective physical evidence of a causal agent (eg: insect eggs, borer holes, frass).

Stress

A factor that negatively affects the health of a tree and stimulates a physiological response.

Symptoms

Subjective reactions to a disease or disorder (eg: wilting, dieback, defoliation).

Vigour

The overall health, condition and resilience of a tree, reflected in the ability of the whole tree to grow.

VTA (Visual Tree Assessment)

Visual Tree Assessment is a ground-based method for assessing tree health and structure through visual inspection. It focuses on identifying signs of disease, decay, or structural issues in the trunk, branches, and root zone.

Work(s)

Any physical activity in relation to land that is specified by the determining authority.

Wound Response

New wood developing in response to a wound.

Wound wood

Strong woody tissue that grows behind a callus which replaces it in that location. Wound wood closes wounds, then normal wood continues to form. After wounding, a callus forms around the margins of the wound. Wound wood forms later as the cells become lignified. It is not meristematic but is high in lignin.



Appendix D. Photographic Catalogue

TREE #1



TREE #2



TREE #3



TREE #4




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Photographic Catalogue (Continued)

TREE #9



TREE #12



TREE #14



TREE #17





Cardinal Tree Services

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Photographic Catalogue (Continued)

TREE #18



TREE #20



TREE #21



TREE #22





Cardinal

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Photographic Catalogue (Continued)

TREE #23





Cardinia

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Appendix E. TPMP Certification Template

This Appendix allows the project arborist to certify that all works throughout the development stages have been validated and to ensure compliance with AS 4970 – 2009 *Protection of trees on development sites*.

Subsequently, the project arborist **shall** certify the following **four (4)** stages of development:

1. Pre-Demolition (may not be required depending on circumstances).
2. Pre-Construction
3. Construction
4. Post-construction

The project arborist only shall complete all tables within this Appendix and is thus unable to delegate this responsibility to another person on their behalf.

Contact Information			
Site Address:			
Project Arborist Name:		Contact Number:	
Project Manager/ Builder/Owner Name:		Contact Number:	


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Pre-Demolition

Site Induction – All contractors	
Meeting on Site Held: Yes / No	Date/Time of Meeting: __/__/__
Persons Present:	
TPMP printed on A2 weatherproof paper and highly visible on site?	Yes / No
TPMP copy given to all parties?	Yes / No
TPMP acknowledged by all site personnel?	Yes / No
All TPZ areas shown to all site personnel?	Yes / No

All tree protection measures and their restrictions shown to all site personnel?	Yes / No
Project manager has appropriate means to store induction records?	Yes / No
Site access	
Site access determined and acceptable?	Yes / No
Modification Required to Tree Protection Plan?	Yes / No
Pruning and Vegetation/ Infrastructure Clearance within the TPZ	
Tree Pruning required?	Yes / No / NA
Tree Pruning compliant with AS 4373 – 2007?	Yes / No / NA
Tree Pruning undertaken in accordance with TMP recommendations?	Yes / No / NA
Vegetation cleared from TPZ in accordance with TMP recommendations?	Yes / No / NA
Infrastructure cleared from TPZ in accordance with TPMP recommendations?	Yes / No / NA
Fencing/ Trunk & Branch Protection/ Ground Protection/ Mulching	
Fencing installed in correct location as per TPP?	Yes / No / NA
Ground protection installed correctly as per TPP?	Yes / No / NA
Trunk & Branch Protection installed correctly as per TMP?	Yes / No / NA
Has/have the relevant TPZ(s) been mulched to 100mm depth?	Yes / No / NA
Is mulch type in accordance with the TMP?	Yes / No / NA
Signage	
Signage present?	Yes / No
Signage complies with TMP?	Yes / No
Signage has Project Arborist contact details?	Yes / No
Root Pruning	
Has root pruning been undertaken in accordance with TMP?	Yes / No / NA
Supplementary Measures (list as needed)	
Has the Tree Protection Area been watered in accordance with the TMP?	Yes / No / NA
Other:	

Stage 1 Certification – Comments:

Photographs Taken:	Yes / No
Date(s) Inspected:	
Compliance Date: __ / __ / __	Signed:

Pre-Construction**Site Induction – All contractors**

Meeting on Site Held: Yes / No		Date/Time of Meeting: __ / __ / __
Persons Present:		
TPMP printed on A2 weatherproof paper and highly visible on site?	Yes / No	
TPMP copy given to all parties?	Yes / No	
TPMP acknowledged by all site personnel?	Yes / No	
All TPZ areas shown to all site personnel?	Yes / No	
All tree protection measures and their restrictions shown to all site personnel?	Yes / No	
Project manager has appropriate means to store induction records?	Yes / No	

Site access	
Site access determined and acceptable?	Yes / No
Modification Required to Tree Protection Plan?	Yes / No
Storage of Materials	
Has an area been designated on site for the storage of materials/ waste?	Yes / No / NA
Does the storage area for materials etc. comply with the TMP?	Yes / No / NA
Utility Service Locations	
Have all the utility services been marked out on site?	Yes / No / NA
Are all services located outside of the TPZ?	Yes / No / NA
Are services required to be bored under TPZ?	Yes / No / NA
Maintenance of Tree Protection Area	
Is all tree protection fencing in the correct location?	Yes / No / NA
Does the TPP need to be modified?	Yes / No / NA
Is all trunk and branch protection or ground protection in place?	Yes / No / NA
Has the Tree Protection Area been mulched to 100mm depth?	Yes / No / NA
Is mulch type in accordance with the TMP?	Yes / No / NA
Has the Tree Protection Area been watered in accordance with the TMP?	Yes / No / NA
Stage 2 Certification – Comments:	

Photographs Taken:	Yes / No
Date(s) Inspected:	
Compliance Date: _ _ / _ _ / _ _	Signed:

Construction

Footings	
Are all footings and installation in accordance with the TMP?	Yes / No / NA
Maintenance of Tree Protection Area	
Is all tree protection fencing in the correct location?	Yes / No / NA
Does the TPP need to be modified?	Yes / No / NA
Is all trunk and branch protection or ground protection in place?	Yes / No / NA
Has the Tree Protection Area been mulched to 100mm depth?	Yes / No / NA
Is mulch type in accordance with the TMP?	Yes / No / NA
Has the Tree Protection Area been watered in accordance with the TMP?	Yes / No / NA
Stage 3 Certification – Comments:	

Photographs Taken:	Yes / No
Date(s) Inspected:	
Compliance Date: _ _ / _ _ / _ _	Signed:



Post-Construction/Landscape Construction

Site Induction – All contractors	
Meeting on Site Held: Yes / No	Date/Time of Meeting: _ _ / _ _ / _ _
Persons Present:	
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TPMP printed on A2 weatherproof paper and highly visible on site?	Yes / No
TPMP copy given to all parties?	Yes / No
TPMP acknowledged by all site personnel?	Yes / No
All TPZ areas shown to all site personnel?	Yes / No
All tree protection measures and their restrictions shown to all site personnel?	Yes / No
Project manager has appropriate means to store induction records?	Yes / No
Site Access	
Site Access acceptable for landscape construction?	Yes / No
Modification Required to Tree Protection Plan?	Yes / No
Storage of Materials	
Has an area been designated on site for the storage of materials/ waste?	Yes / No / NA
Does the storage area for materials etc. comply with the TMP?	Yes / No / NA
Removal of Tree Protection Fencing	
Can tree protection fencing and/or ground protection be removed?	Yes / No / NA
Is some specialised tree protection measures required?	Yes / No / NA
Landscape Construction	
Do all works within the Tree Protection Area comply with the TMP?	Yes / No / NA
Has the Tree Protection Area been watered in accordance with the TMP?	Yes / No / NA

Photographs Taken:	Yes / No
Date(s) Inspected:	
Compliance Date: __ / __ / __	Signed:

Iclimb Tree Services Melbourne

PROJECT ARBORIST FINAL CERTIFICATION

I, _____ (insert full name of project arborist) _____, was engaged by _____ (insert project company/owner) _____, to fulfill the role of Project Arborist at _____ (insert site address) _____.

I, _____ (insert full name of project arborist) _____, declare that I've complied with this Tree Protection Management Plan (TPMP) and thus have inspected the site throughout all stages as outlined within this TPMP. Any action that has not complied has been rectified and approved by the me. All works as noted within the approved TPMP have been undertaken and any modifications to the TPMP have been approved in writing by the local responsible authority.

Final Certification Approved	Yes / No
Photographs taken:	Yes / No
Date of final Inspection:	__ / __ / __
Project Arborist Name:	Project Arborist Signature:



Cardinia

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Appendix F. Assumptions & Limitations

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant / appraiser can neither guarantee nor be responsible for the accuracy of the information provided by others.

Possession of this report or a copy thereof does not imply right of publication or use for any purpose by other than the person to whom it is addressed, without the prior expressed written or verbal consent.

Loss or alteration of any part of this report invalidates the entire report.

The consultant / appraiser shall not be required to give testimony or attend court by reason of this report unless subsequent contractual agreements are made, including payment of a negotiated additional fee for such services.

Neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressed written or verbal consent.

Diagrams, sketches, graphs and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.

Unless expressed otherwise, the information contained in this report covers only those items that were inspected / examined and reflects the condition of those items at the time of inspection; and the inspection is limited to visual examination of accessible items without dissection, excavation, probing or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants of property in question may not arise in the future.

This report and values expressed herein represent the opinion of the consultant / appraiser, and the consultant / appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of subsequent event, nor upon any finding to be reported.



REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 08359 FOLIO 986

Security no : 124121686770A
Produced 03/02/2025 01:40 PM

LAND DESCRIPTION

Lot 4 on Plan of Subdivision 032602.
PARENT TITLE Volume 08101 Folio 222
Created by instrument B365345 15/02/1962



REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
ARD INVESTMENTS PTY LTD of 235 PEARCEDALE ROAD CRANBOURNE SOUTH VIC 3977
AY528180W 24/10/2024

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY528181U 24/10/2024
RMBL INVESTMENTS LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP653062V FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AY518472P (E)	NOMINATION OF ECT TO LC	Completed	22/10/2024
AY520916Q (E)	TRANSMISSION APPLICATION	Registered	22/10/2024
AY528179F (E)	DISCHARGE OF MORTGAGE	Registered	24/10/2024
AY528180W (E)	TRANSFER	Registered	24/10/2024
AY528181U (E)	MORTGAGE	Registered	24/10/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

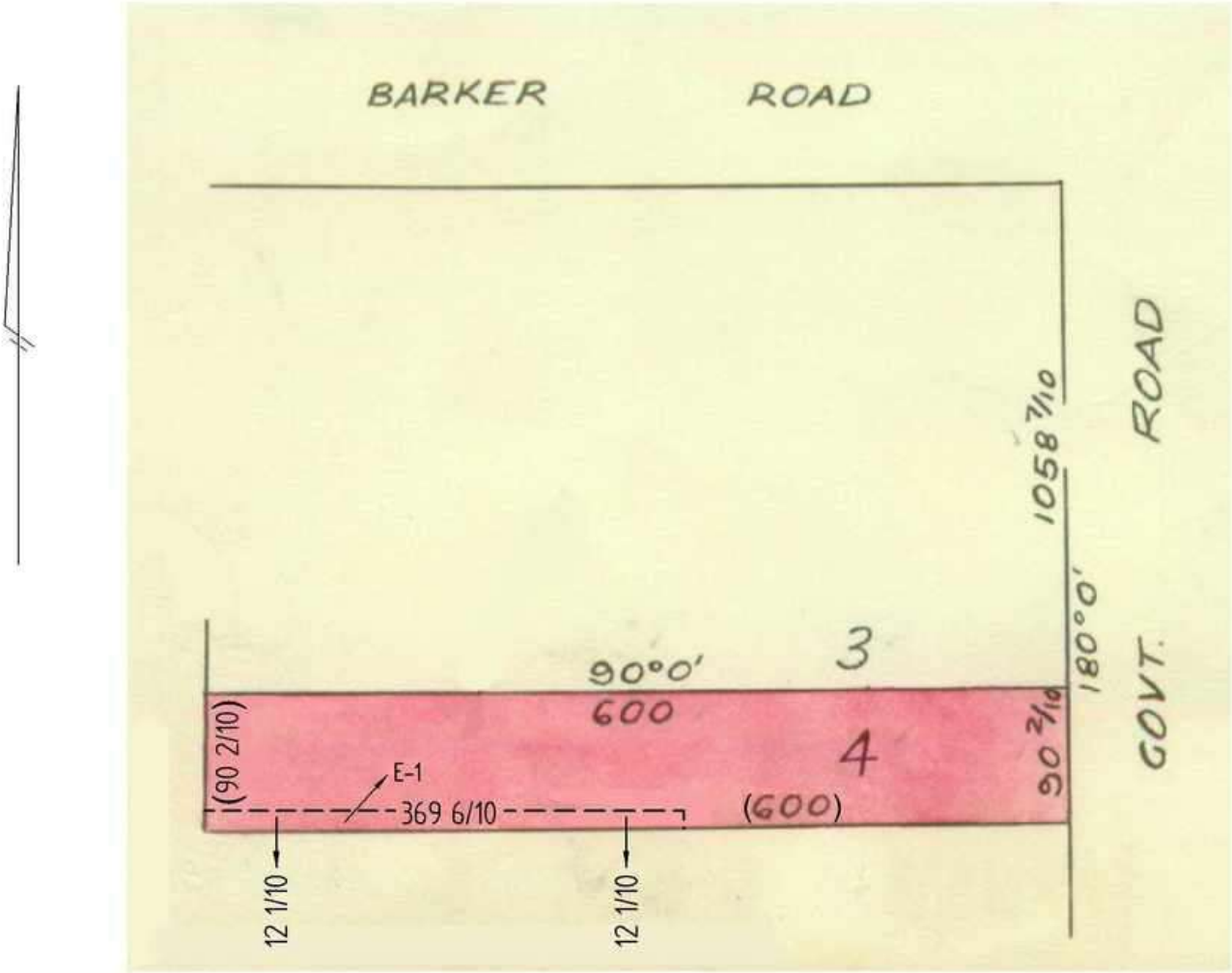
Street Address: 15 GARFIELD ROAD GARFIELD VIC 3814

ADMINISTRATIVE NOTICES

NIL

eCT Control 22187E MASON PROPERTY LAW
Effective from 24/10/2024

DOCUMENT END

TITLE PLAN		EDITION 1	TP 653062V
Location of Land Parish: BUNYIP Township: Section: Crown Allotment: Crown Portion: Last Plan Reference: LP32602 Derived From: VOL 8359 FOL 986 Depth Limitation: NIL		Notations  Cardinia ADVERTISED MATERIAL Planning Application: T250120 Date Prepared: 21 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.	
Description of Land / Easement Information E-1 = EASEMENT TO SHIRE OF PAKENHAM CREATED BY C/E G343450		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 13/10/2000 VERIFIED: GB	
			
LENGTHS ARE IN LINKS		Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 1 sheets