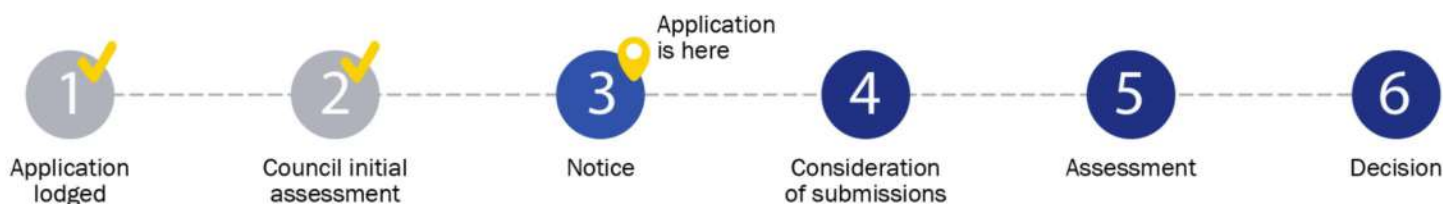


Notice of Application for a Planning Permit

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

The land affected by the application is located at:	L119 PS848743 V12580 F409 12 Scenic Rise, Pakenham VIC 3810	
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works,	
42.01-2	Construct a fence	
APPLICATION DETAILS		
The applicant for the permit is:		
Application number:	T250332	
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		05 December 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application Summary

Portal Reference A22544RX

Basic Information

Proposed Use Planning Permit
Current Use Stand alone residential dwelling
Cost of Works \$450,000
Site Address 12 Scenic Rise Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.



ADVERTISED MATERIAL
Planning Application: T250332
Date Prepared: 19 November 2025

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Contacts

Type	Name	Address	Contact Details
------	------	---------	-----------------

Regulation Fee Condition

	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,420.70	100%	\$1,420.70
Total			\$1,420.70

Meetings

Meeting Type	Officer Name	Date of Meeting
Enforcement	Jennifer Fallu	30 May 2025



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



ADVERTISED MATERIAL

Planning Application: T250332
Date Prepared: 19 November 2025

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Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
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Monday to Friday 8.30am–
5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250332
Address of the Land:	LOT 119, 12 SCENIC RISE, PAKENHAM - 3810

APPLICANT DETAILS

Name:	
Organisation:	
Address:	
Phone:	
Email:	

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 - Amendment to application at request of applicant before notice:	☒
Section 50A - Amendment to application at request of responsible authority before notice:	☐
Section 57A - Amendment to application after notice is given:	☐

ADVERTISED MATERIAL
Planning Application: T250332
Date Prepared: 19 November 2025

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AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for ☒	Plans / other documents ☐	Applicant / owner details ☐
Land affected ☐	Other ☐	
Describe the changes. If you need more space, please attach a separate page.		
Clause 42.01-2 a Permit is required to Construct a dwelling and a fence.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable ☒	Unchanged ☐	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/ If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.	 ADVERTISED MATERIAL Planning Application: T250332 Date Prepared: 19 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.
--	--

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application. Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed. No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information. The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant. Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made. Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.
--

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12580 FOLIO 409

Security no : 124128655162L
Produced 03/10/2025 12:30 PM

LAND DESCRIPTION

Lot 119 on Plan of Subdivision 848743W.
PARENT TITLE Volume 12330 Folio 801
Created by instrument PS848743W 31/10/2024

REGISTERED PROPRIETOR



ADVERTISED MATERIAL

Planning Application: T250332
Date Prepared: 19 November 2025

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ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY595063W 14/11/2024
COMMONWEALTH BANK OF AUSTRALIA

COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 SCENIC RISE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 18601V BANKWEST
Effective from 31/01/2025

DOCUMENT END

Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	PS848743W
Number of Pages (excluding this cover sheet)	4
Document Assembled	06/11/2024 09:38

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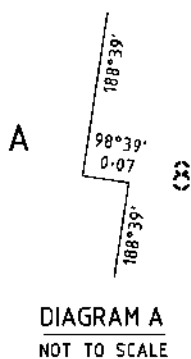
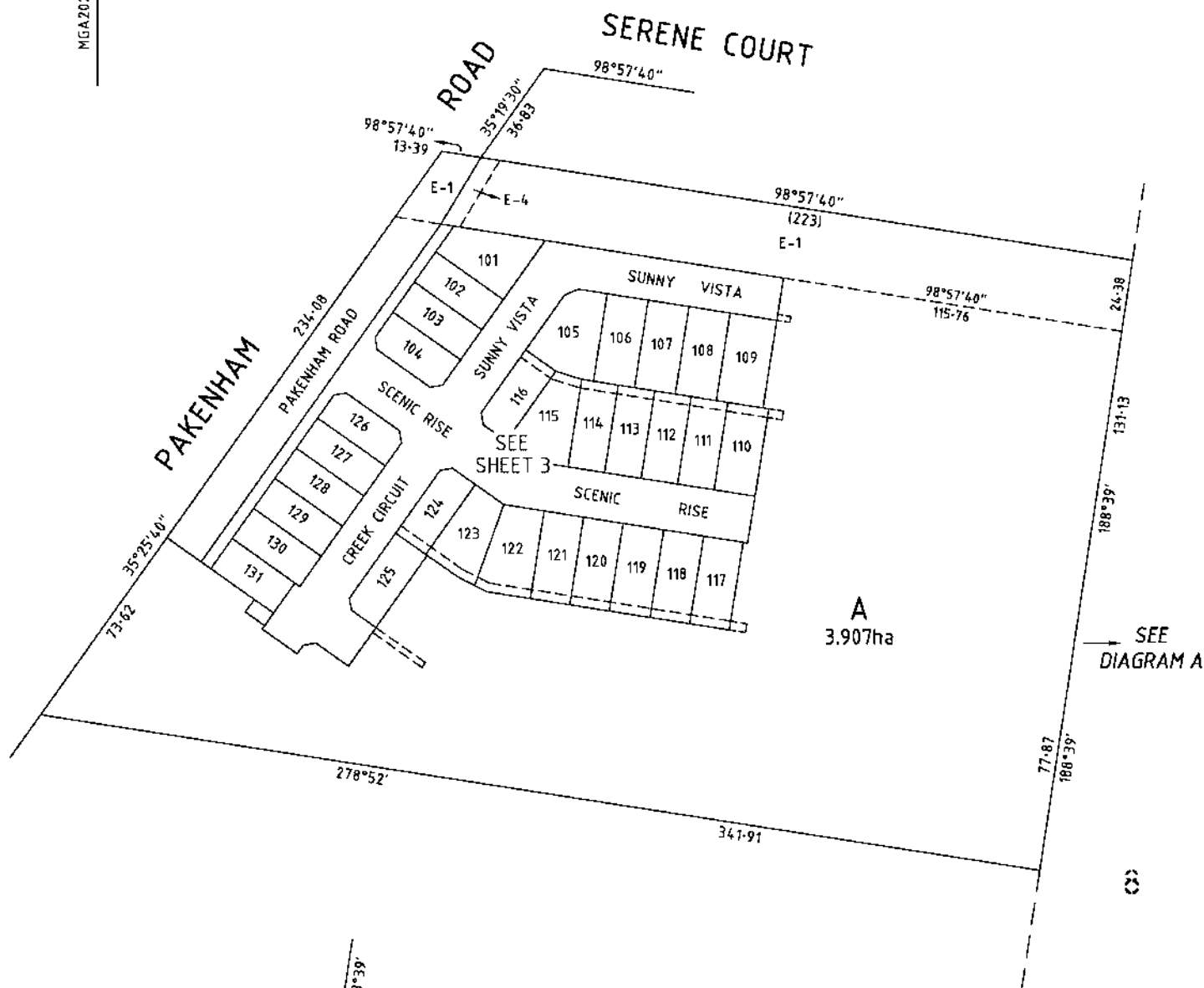
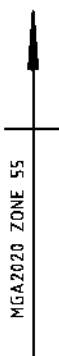
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PLAN OF SUBDIVISION			EDITION 1	PS848743W
LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT) & 33(PT) TITLE REFERENCE: VOL. 12230 FOL. 801 LAST PLAN REFERENCE: LP6710 (LOT 3) POSTAL ADDRESS: 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 366 250 ZONE: 55 (of approx centre of land in plan) N: 5 786 580 GDA 2020			Council Name: Cardinia Shire Council Council Reference Number: S21-146 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182115M Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024 Statement of Compliance issued: 28/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance	
VESTING OF ROADS AND/OR RESERVES			NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON		LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4. WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958	
ROAD R1 ROAD R2 RESERVE No.1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD			
NOTATIONS			 Cardinia ADVERTISED MATERIAL Planning Application: T250332 Date Prepared: 15 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.	
DEPTH LIMITATION: DOES NOT APPLY This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675 Estate: The Rise - Pakenham Phase No.: 01 No. of Lots: 31 + Lot A PHASE AREA: 2.142ha				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4	PIPELINE	24.38	INST. D613929	VICTORIA PIPELINES COMMISSION
E-2	DRAINAGE	3	THIS PLAN	CARDINIA SHIRE COUNCIL
E-2, E-3	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	THIS PLAN	SOUTH EAST WATER CORPORATION
Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		SURVEYORS FILE REF: 2000490/01 2000490-01-PS-V11.DWG Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M		ORIGINAL SHEET SIZE: A3 Land Use Victoria Plan Registered 02:18 PM 31/10/2024 Assistant Registrar of Titles

PS848743W



Cardinia
ADVERTISED MATERIAL
 Planning Application: T250332
 Date Prepared: 19 November 2025

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Beveridge Williams
 development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

SURVEYORS REF
 2000490/01

SCALE
 1 : 1500

15 0 15 30 45 60
 LENGTHS ARE IN METRES

ORIGINAL SHEET
 SIZE: A3

SHEET 2

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
 Surveyor's Plan Version (11),
 24/05/2024, SPEAR Ref: S182115M

Digitally signed by:
 Cardinia Shire Council,
 30/05/2024,
 SPEAR Ref: S182115M

PS848743W

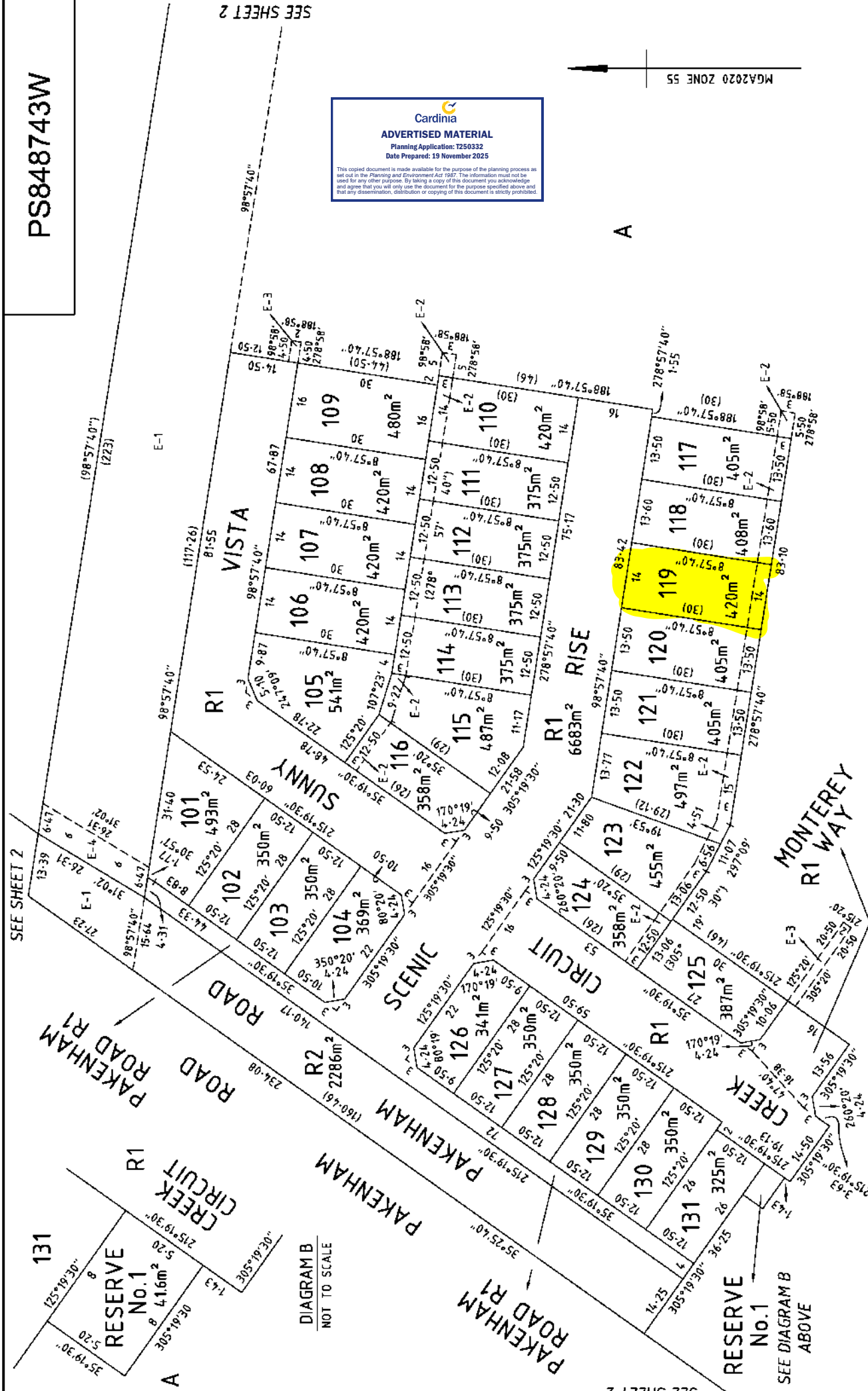
Cardinia

ADVERTISED MATERIAL

Planning Application: T250332

Date Prepared: 19 November 2025

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 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /01						SCALE 1 : 750	7.5 0 7.5 15 22.5 30 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 3
		Digitally signed by: ADRIAN JAMES FREEMAN, Licenced Surveyor, Surveyor's Plan Version (11) 24/05/2024, SPEAR Ref: S182115M					Digitally signed by: Cardinia Shire Council, 30/05/2024, SPEAR Ref: S182115M			

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

Cardinia
ADVERTISED MATERIAL
Planning Application: T250332
Date Prepared: 19 November 2025

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CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



Beveridge Williams
development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

SURVEYORS REF
2000490/01

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Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

ORIGINAL SHEET
SIZE: A3

SHEET 4

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 24/10/2025 09:55:52 AM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code
Name
Address
Lodger Box
Phone
Email
Reference



Cardinia (12330/801)



ADVERTISED MATERIAL

Planning Application: T250332
Date Prepared: 19 November 2025

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APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction VICTORIA

Privacy Collection Statement

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC
Postcode	3809



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

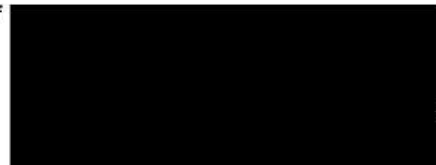
Executed on behalf of

Signer Name

Signer Organisation

Signer Role

Execution Date



File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



ADVERTISED MATERIAL

Planning Application: T250332

Date Prepared: 19 November 2025

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Document Identification	AX385769J
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HWL
EBSWORTH
LAWYERS

Deed of Agreement

Under s173 of the *Planning and Environment Act 1987*

Cardinia Shire Council

and



ADVERTISED MATERIAL

Planning Application: T250332

Date Prepared: 19 November 2025

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Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 447 Collins Street, Melbourne VIC 3000 Australia
PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

Table of contents

1.	Definitions and interpretation clauses	2
2.	Owner's obligations	5
3.	Further obligations	5
4.	Agreement under Section 173 of the Act	6
5.	Owner's warranties	7
6.	Successors in title	7
7.	Notices	7
8.	Miscellaneous	8
	Schedule	10
	Executed as a deed	11
	Schedule 1	12
	Schedule 2	13



Cardinia

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Deed of Agreement

Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*



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Date Prepared: 19 November 2025

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plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*



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- F. The Parties have agreed to enter into this Agreement:
- (a) to give effect to the requirements of the Amended Planning Permit;
 - (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
 - (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act	means the <i>Planning and Environment Act 1987</i> (Vic).
Agreement	means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.
Building Design Guidelines	means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.



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Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.



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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
- (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
- (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.



8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.



8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.



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Schedule

Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001:



.....
Signature of Director
~~Secretary~~

Susumu Handa

.....
Print full name



.....
Signature of Director/Company Secretary

Dean Stanford

.....
Print full name



Executed as a deed

**Signed, sealed and delivered as a deed by
the parties**

Signed sealed and delivered by **Luke Connell**,)

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation)
in the presence of:)

in accordance with the requirements for witnessing by
audio-visual link under section 12 of the Electronic
Transactions (Victoria) Act 2000.
(Strike out if inapplicable)

Vanessa Neep

.....
Name of witness
(BLOCK LETTERS)

**Executed by BNG (PAKENHAM) PTY LTD
(ACN 640125686) in accordance with
section 127 of the Corporations Act 2001 (Cth)
by:**



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Schedule 1

Building Envelope Plan

AX385769J



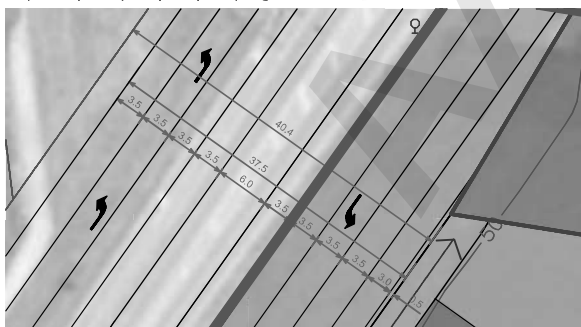
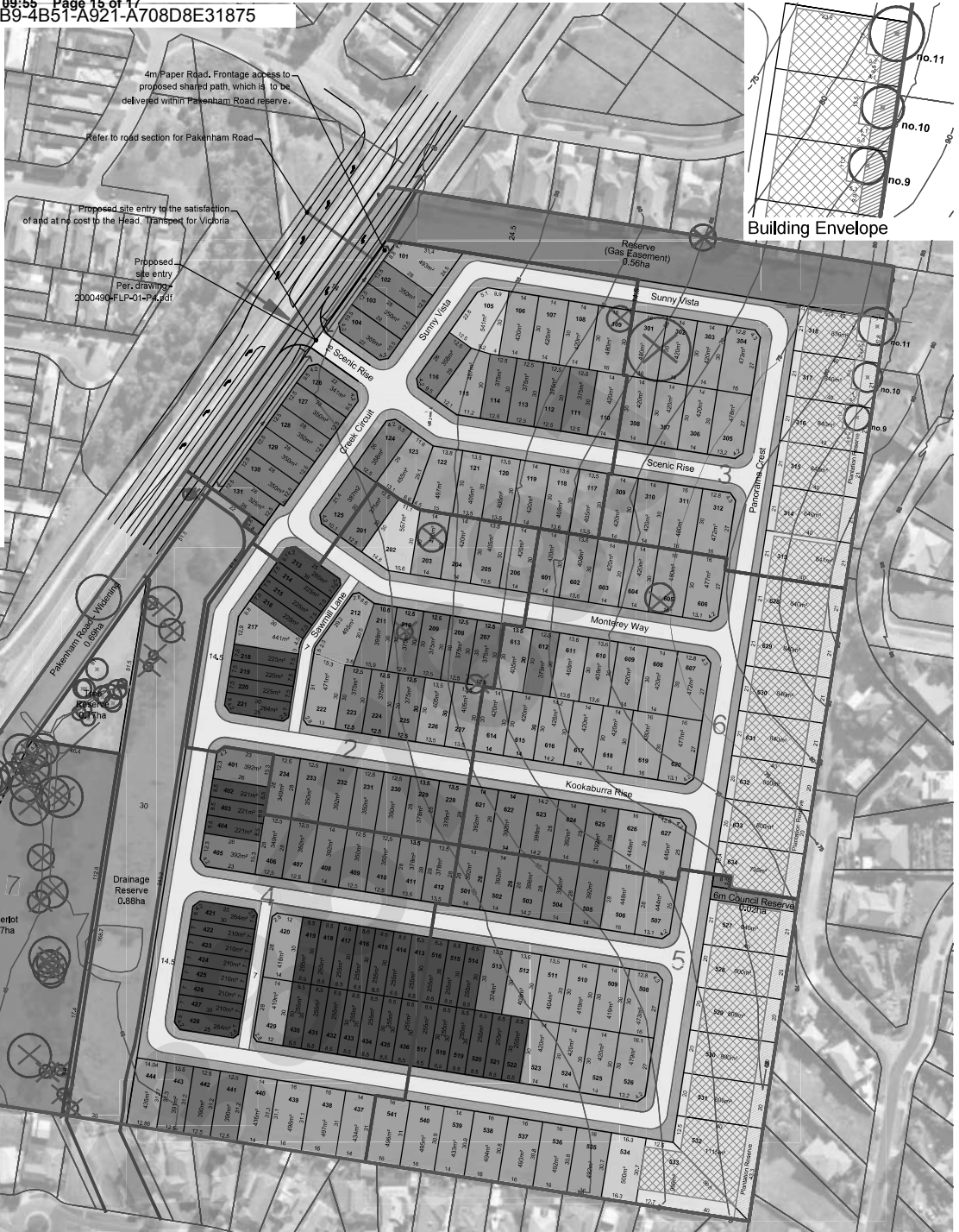
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LEGEND

- Title boundary (approx.)
- Pedestrian path
- Shared path
- Stage boundary
- Stage numbers
- Entry point
- Existing contours (5m interval)
- Lots
- Substation kiosk
- Superlot
- Pakenham road widening
- Naturestrip (indicative)
- Road pavement (indicative)
- Reserve (Council easement)
- Tree reserve
- Drainage reserve
- Plantation Reserve (back of lot) - 7m
- Turning direction
- Trees & TPZ - via Ecolink
- Trees to be removed
- 4m Paper Road
- Building Envelope



Pakenham Road - Cross Section

- Notes:
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final computations.
 - The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
 - All roads are 16m local access level 1 unless noted otherwise.
 - Road pavement is indicative only and subject to detailed engineering design.
 - Arc dimensions shown are length of arc (not chord).

Cardinia ADVERTISED MATERIAL Planning Application: T250332 Date Prepared: 19 November 2025

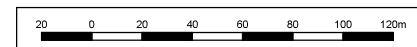
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Lot Schedule by Area		
Lot Size	Number of Lots	%
0-299m ²	42	20.8
300-399m ²	56	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9
Total	202	100

* Table does not include superlot

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	180 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

* Indicates inclusion in NDA



Schedule 2

Vegetation Plan

AX385769J



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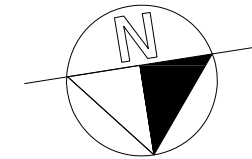
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NOTE:

- DIRECTION FROM THE SURVEYORS REGISTRATION BOARD OF VICTORIA STATES FULLY DIMENSIONED TITLE & EASEMENTS ARE NOT ALLOWED TO BE SHOWN UNLESS VERIFIED BY A LICENSED SURVEYOR CONDUCTING A TITLE RE-ESTABLISHMENT SURVEY.
- AN APPROXIMATE SITE OUTLINE HAS BEEN SHOWN IN THIS INSTANCE.
- THIS IS NOT A FULL FEATURE SURVEY - SOME DETAILS HAVE BEEN OMITTED AT THE CLIENT'S REQUEST.



LOT 206
VACANT
AS OF 17.05.24

LOT 119
420 m²

LOT 120
VACANT
AS OF 17.05.24

LOT 118
VACANT
AS OF 17.05.24

CONCRETE SLEEPER
RETAINING WALL

CONCRETE SLEEPER
RETAINING WALL

SCENIC RISE

TBM: TOP OF
ELECTRICITY PIT
RL 100.00m

SURVEY LEGEND

	Building (Ground Floor)		Electricity Pit
	Building (Upper Floor)		Power Pole
	Window		Light Pole
	Veranda, Porch Alfresco etc.		Street Sign
	Gutter Line		Tree
	Fence Line		Telstra Pit
	Stormwater Junction Pit		NBN Pit
	Grated Pit		Side Entry Pit
	Sewer Manhole		Stormwater Discharge
	Sewer Inspection Pit		Sewer Maint. Shaft
	Fire Plug or Hydrant		Pit (Unknown)
	Elec/Telstra Kerb Marker		Stop Valve
	Pipe		Gas/Water Kerb Marker
	Survey Peg		Water Meter
	Telstra/Elec. Pillar		Permanent Survey Mark
	Habitable Window		Bollard
	Non-Habitable Window		
	Door		

IT IS THE RESPONSIBILITY OF THE PARTY USING THIS DRAWING, TO CHECK ALL EASEMENT WIDTHS/DIMENSIONS WITH A FULL COPY OF TITLE / PLAN OF SUBDIVISION.

LEVELS ARE TO
AN ARBITRARY DATUM
200mm CONTOUR INTERVAL

THIS IS NOT A TITLE RE-ESTABLISHMENT SURVEY

FEATURE SURVEY

LOT 119 SCENIC RISE

PAKENHAM

PDSTUDIO

Date:
17.05.24

Job Number

21744

Scale:
1:200 @ A3

Revision



Geotechnical Investigations, Feature Surveys, BAL Assessments, Inspections

A.B.N. 50 472 835 276

PO Box 308, Keilor VIC, 3036
Ph: 9336 3545

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PROPOSAL:

SINGLE STOREY DWELLING & BASEMENT

These drawings are to be read and used in conjunction with specification, details, Structural Engineers and other consultants drawings and computations, endorsed planning drawings and permits if and as applicable.

Figured dimensions must take preference over scaling of drawings.

C.O.S. denotes 'check on site' the Builder shall check all dimensions and levels prior to commencing any works or items to be fabricated, with any discrepancies to be reported immediately.

All dimensions and levels to be verified on site prior to the start of works.

It is the responsibility of all persons concerned with the project contained in these drawings - to notify the registered building practitioner concerned in the event of alterations being required or discrepancies being found - prior to works being carried out - as no responsibility can be taken for unauthorized alteration or lack of builders supervision.

Ground under building to be graded to the outside of the building. Finished surface to fall away from building min 1 in 20 for a min. of 1000 mm.

SOIL CLASSIFICATION:

All foundations shall be prepared and maintained in accordance to A.S. 2870.1 and/or Structural Engineer's Design, as required therein, and which is referred to in the soil investigation report.

STRUCTURAL ITEMS:

Refer to Structural Drawings and Computation for all sizes and detailing of structural timber, steel and concrete, elements such as beams, columns, slabs, footings, lintels, holding-down details etc.

Provide all 'holding down' straps, rods, bolts etc, as required to be built into the frame, brickwork, steelwork and/or concrete.

SARKING:

Shall have a flammability index of not more than five where required.

BALUSTRADES:

Balustrading to high decks or terraces - where a deck exceeds 4.0 m above ground level the balustrade must be non-climbable between the heights of 150 and 750 mm above that deck or terrace. All balustrades to be a minimum of 1000 mm high.

DOORS & EXTERNAL DOORS:

Shall be fitted with weather -strips or draft excluders.

W.C. doors must be removable from the outside if 1200 mm or closer to the pan.

BRICKWORK CONTROL JOINTS:

A.J. - Denotes articulation joints. Builder must provide brick control joints located to comply with recommendations in Geo-Technical site report. (If prepared) Otherwise in accordance with cement and concrete Assoc. Note: CN9 - Articulated walls. (Specifying joints at 5.0 M ctrs.) and/or the NCC 2022.

Provide weep holes at 900 mm max. ctrs. with continuous cavity flashings at base of cavity, above & below openings.

INSULATION:

Refer to Energy Rating Assessment Report.

SMOKE DETECTORS:

Provide smoke detectors located and as shown on plan, as per manufacturers' specifications - Type 83 R1 mains connected.

Smoke alarms must comply with AS 3786 and be hardwired and also be interlinked where more than one smoke alarm is installed.

SEWER DRAINAGE:

Refer to Hydraulics Drawings if applicable and/or connect to designated connection point in accordance to the requirements of the Relevant Authority and all relevant Australian Standards and Codes. Sub-Contractor to provide a Compliance Certificate.

STORM WATER:

Connect S.W.D. 90mm dia. UPVC or as otherwise noted to existing S.W.D system and/or if new installation connect to legal point of discharge as designated by the local Authority.

Refer to Civil Drawings if applicable and connect and lay all drains in accordance to the requirements of the Relevant Authority and all relevant Australian Standards and Codes. Sub-Contractor to provide a Compliance Certificate.

OVERLOOKING:

In accordance with Reg. 82, Build. Reg's 2018 as part of decks and/or terraces, where finished floor level is greater than 800 mm above ground level, provide to a min. height of 1700 mm above the deck floor, a timber slatted screen with a max. of 25% gap in elevational area, to prevent overlooking into the neighbouring property, or as outlined in the Planning Permit Drawings if applicable.

STAIR REQUIREMENTS:

Risers: 190 max - 115 min.

Going: 355 max - 240 min

Risers & treads to be constant in size throughout flight.

Provide non-slip finish: NOSING STRIP - P3 DRY / P4 WET

Provide continuous handrail 1000 mm min height to balconies & decks which are 1000 mm or more above finished ground level.

Max. openings between balusters not to exceed 125 mm.

Landings must be a minimum length of 750mm measured from the inside edge where it changes direction.

Handrail to extend the full length of the stair flight.

GLAZING:

All glazing panels to 500 mm above F.F.L. to be safety glass as per A.S. 1288. All other glazing to A.S. 1288.

SPECIFICATIONS:

If a specification forms part of these contract documents, it shall take precedence over and above these general notes as contained herein if & where applicable.

STANDARDS:

All works shall comply but not be limited to the following Australian Standards and their respective most recent updates and amendments as applicable:

A.S. 1684 - 2010 national timber framing code

Part 2 2006 non-cyclonic areas

Part 3 2006 cyclonic area

Part 4 2006 simplified non-cyclonic areas

A.S. 2047 - 2014 windows in buildings - selection and installation

A.S. 1288 - 2006 Glass in buildings, selection and installation

A.S. 1562 - 1997 Design and installation of sheet roof and wall cladding part 1 Metal

- amendment 1 1993

- amendment 2 1995

A.S. 2870 - 2011 residential slabs and footings - Part 1 construction - amendment 1 1997

- amendment 2 1999

- amendment 3 2002

- amendment 4 2003

A.S. 2904 - 1995 damp proof courses and flashings

A.S./ N.Z.S. 3013 - 2005 electrical installations

A.S. 3700 - 2011 masonry in buildings

- amendment 1 2002

- amendment 2 2003

A.S. 3740 - 2004 waterproofing of wet areas in residential buildings

A.S. 3786 - 2014 Smoke alarms

- amendment 1 1994

- amendment 2 1995

- amendment 3 2001

- amendment 4 2004

A.S. 1860 - 1998 Code of practice for the installation of particleboard flooring

A.S. 3600 - 2001 Concrete structures

- amendment 1 2002

- amendment 2 2004

A.S. 3660 - 2000 Protection of buildings from subterranean termites

A.S. 4256 - 1994 -1996 Plastic roof and wall cladding materials

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NOTE:

ALL HOMES MUST INSTALL OR MAKE ALLOWANCE FOR OPTIC FIBRE CABLING (OPTICOMM)

NOTE:

RECYCLED WATER IS NOT AVAILABLE IN THE RISE PAKENHAM STATE

DRAWING LIST		
PAGE	DRAWING	SCALE
A100	GENERAL NOTES & SITE PLAN	1:200
A101	SITE CUT PLAN	1:100
A200	BASEMENT FLOOR PLAN & DOOR SCHEDULE	1:100
A201	GROUND FLOOR PLAN & WINDOW SCHEDULE	1:100
A202	ROOF PLAN & SECTION A-A	1:100
A203	LANDSCAPE PLAN	1:100
A300	ELEVATIONS	1:100
A400	LIGHTING PLAN	1:100
A500	3D VIEW	
A501	3D VIEW	

AREA SUMMARY	
TOTAL SITE AREA	420m ²
BASEMENT	55.65m ²
GROUND FLOOR LIVING	212.36m ²
ALFRESCO	17.68m ²
PORCH	6.69m ²
GRAND TOTAL:	292.38m ²
SQ	325SQ
% SITE COVERAGE	59.87%
% IMPERMEABLE AREA	67%
% PERMEABLE AREA	33%

LEGEND

EXPOSED AGG. CONC. DRIVEWAY

EVAP. COOLING UNIT

ANTENNA

SOLAR HOT WATER PANEL

DOWNSPIPE

GAS METER

ELECTRICAL METER BOX

HOT WATER SYSTEM

FOLD-DOWN CLOTHES LINE

NOTE

- THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION. NOTIFY ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT.
- DO NOTE SCALE DRAWINGS.
- LEGAL POINT OF DISCHARGE TO BE VERIFIED BY THE BUILDER AND APPROVED BY THE RESPONSIBLE AUTHORITY

SURFACE DRAIN

GRADE SURFACE AWAY FROM HOUSE FOR A MINIMUM DISTANCE OF 2000mm AT 1in20 MINIMUM FALL COLLECT STORMWATER WITH 115w x 95d PVC CHANNEL OR SPOON DRAIN AND CONNECT TO STORMWATER SYSTEM

DRAIN
N.G.L.
FALL 1:20
DWELLING

WARNING

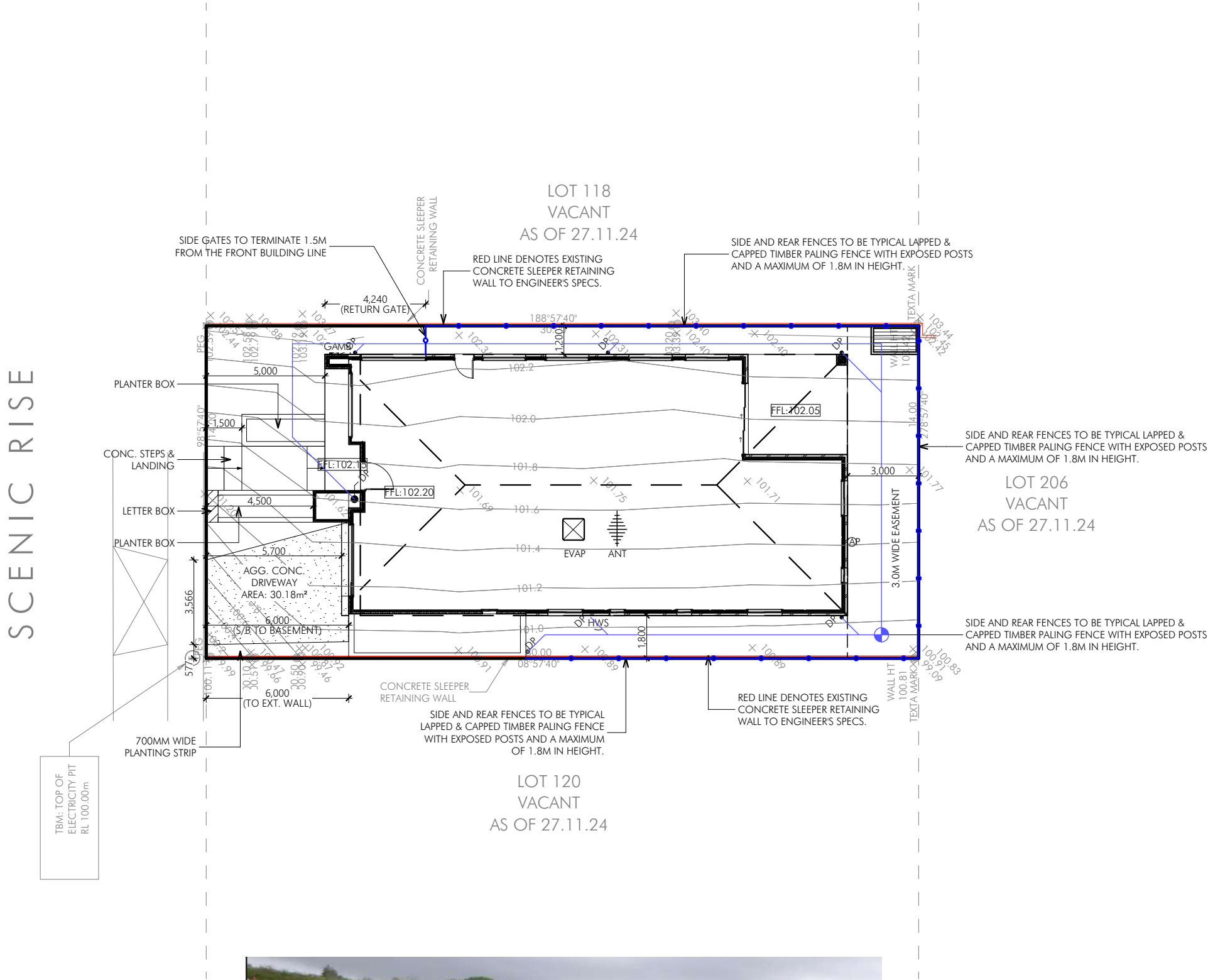
BEWARE OF UNDERGROUND SERVICES
THE BUILDER IS TO DETERMINE EXACT LOCATIONS OF EXISTING UNDERGROUND SERVICES BEFORE COMMENCING CONSTRUCTION ON SITE.

LEGAL POINT OF DISCHARGE NOTE:

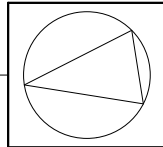
ALL DOWN PIPES TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE (LPD)

NOTE:

EXISTING FENCE AND RETAINING WALLS WILL BE RETAINED AND WILL NOT PULLED DOWN DURING CONSTRUCTION



EXISTING CONDITIONS





Planning Application: T250332
Date Prepared: 19 November 2025

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SCENIC RISE

TBM: TOP OF
ELECTRICITY PIT
RL 100.00m

SITE ADDRESS
LOT 119 SCENIC RISE
PAKENHAM

PROPOSAL

SINGLE STOREY DWELLING & BASEMENT FOR RS CABINETS

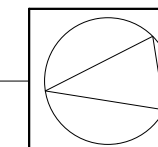
SITE CUT PLAN

REV A: AMENDMENT AS PER RBS RFI - CONSTRUCTION ISSUE

REV B: AMENDMENT AS PER COUNCIL'S RFI - CONSTRUCTION ISSUE - 03/10/2025

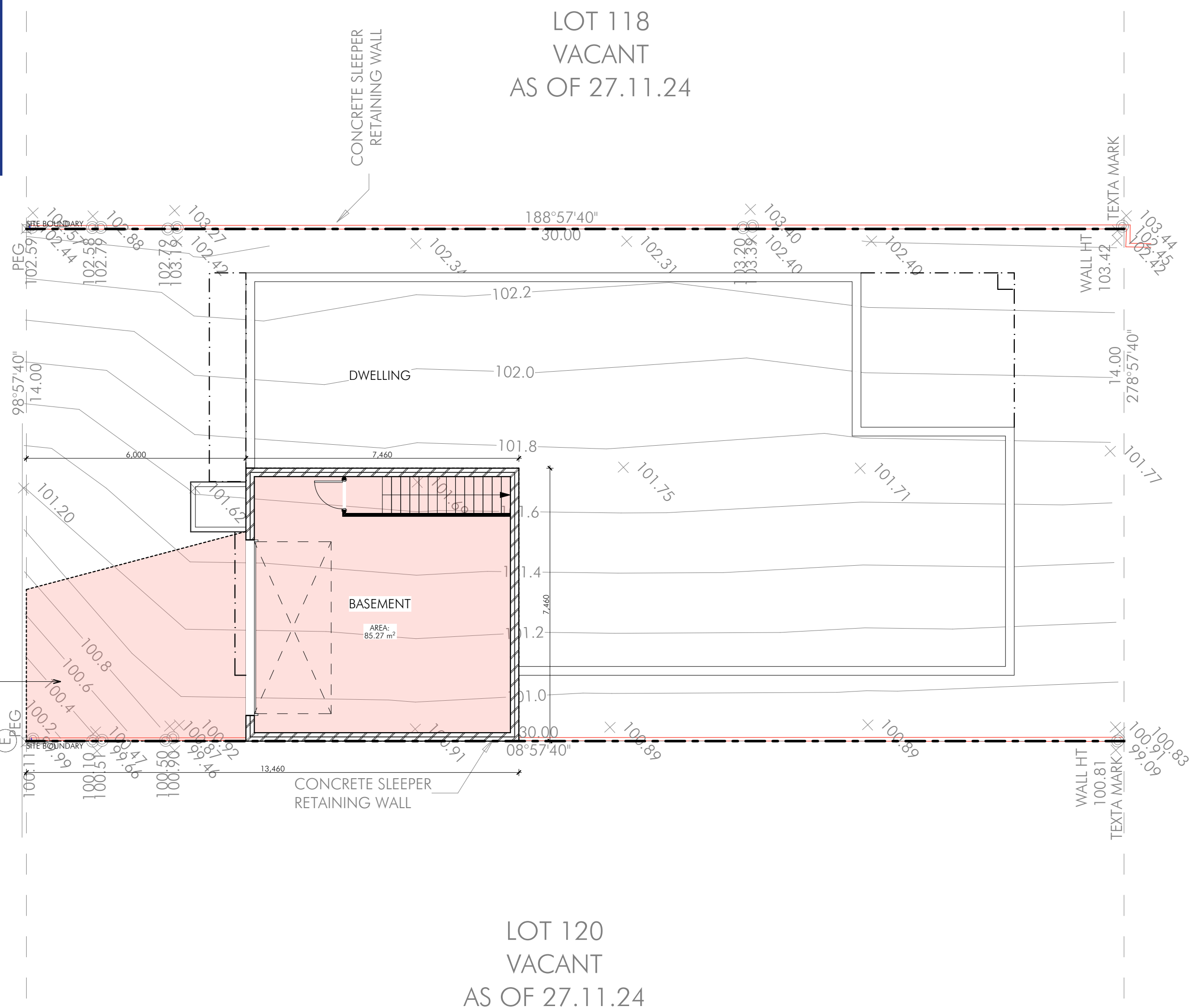
REV C: AMENDMENT AS PER COUNCIL'S RFI - CONSTRUCTION ISSUE - 24/10/2025

DRAWING DETAILS



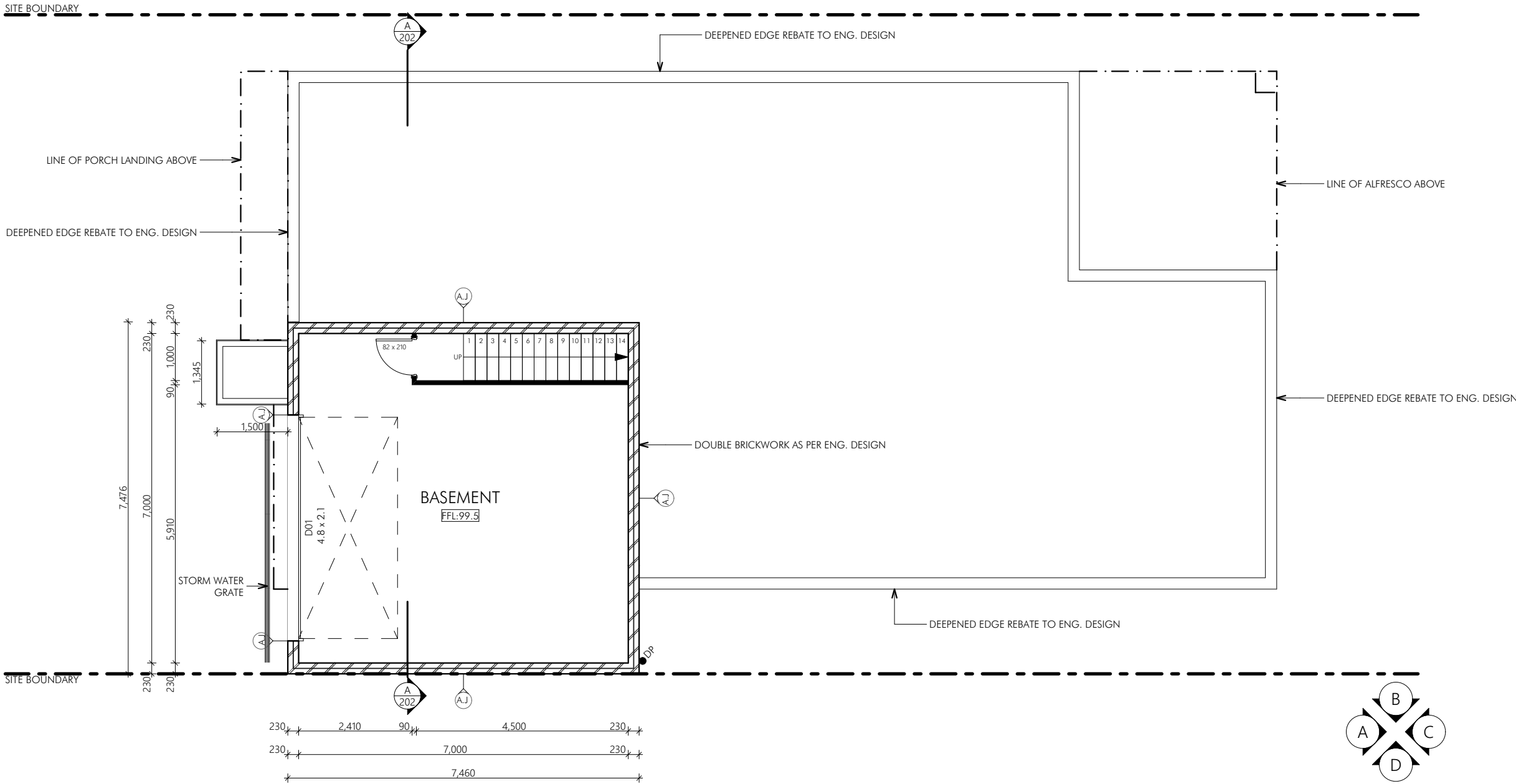
DRAWING NO.
A101

242475



AREA SUMMARY	
TOTAL SITE AREA	420m ²
BASEMENT	55.65m ²
GROUND FLOOR LIVING	212.36m ²
ALFRESCO	17.68m ²
PORCH	6.69m ²
GRAND TOTAL:	292.38m ²
SQ	325Q
% SITE COVERAGE	59.87%
% IMPERMEABLE AREA	67%
% PERMEABLE AREA	33%

LEGEND	
	ARTICULATION JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2001
	GAS METER
	METER BOX
	HOT WATER SYSTEM
	DOWN PIPE
	MICROWAVE PROVISION
	DISH WASHER PROVISION
	MAN HOLE ACCESS (750 x 580)
	INTERCONNECTED SMOKE ALARM WITH BATTERY BACK-UP
	WATER TAP
	EXHAUST FAN
W01 D05 WINDOW & DOOR SIZES (W) x (H)	
	TILES TO WET AREAS, AS PER BUILDERS SPECIFICATIONS



DOORS SCHEDULE				
ID	D01	D02	D03	D04
HEIGHT	2,100	2,400	2,400	2,400
WIDTH	4,800	1,200	820	3,000
PLAN VIEW				
EXTERNAL VIEW				



ADVERTISED MATERIAL

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SITE ADDRESS

LOT 119 SCENIC RISE,
PAKENHAM

PROPOSAL

SINGLE STOREY DWELLING &
BASEMENT
FOR RS CABINETS

BASEMENT FLOOR PLAN & DOOR SCHEDULE

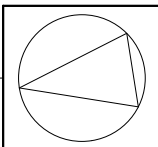
REV A: AMENDMENT AS PER RBS RFI - CONSTRUCTION ISSUE
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REV C: AMENDMENT AS PER COUNCIL'S RFI - CONSTRUCTION ISSUE - 24/10/2025

DRAWING DETAILS

24/10/2025

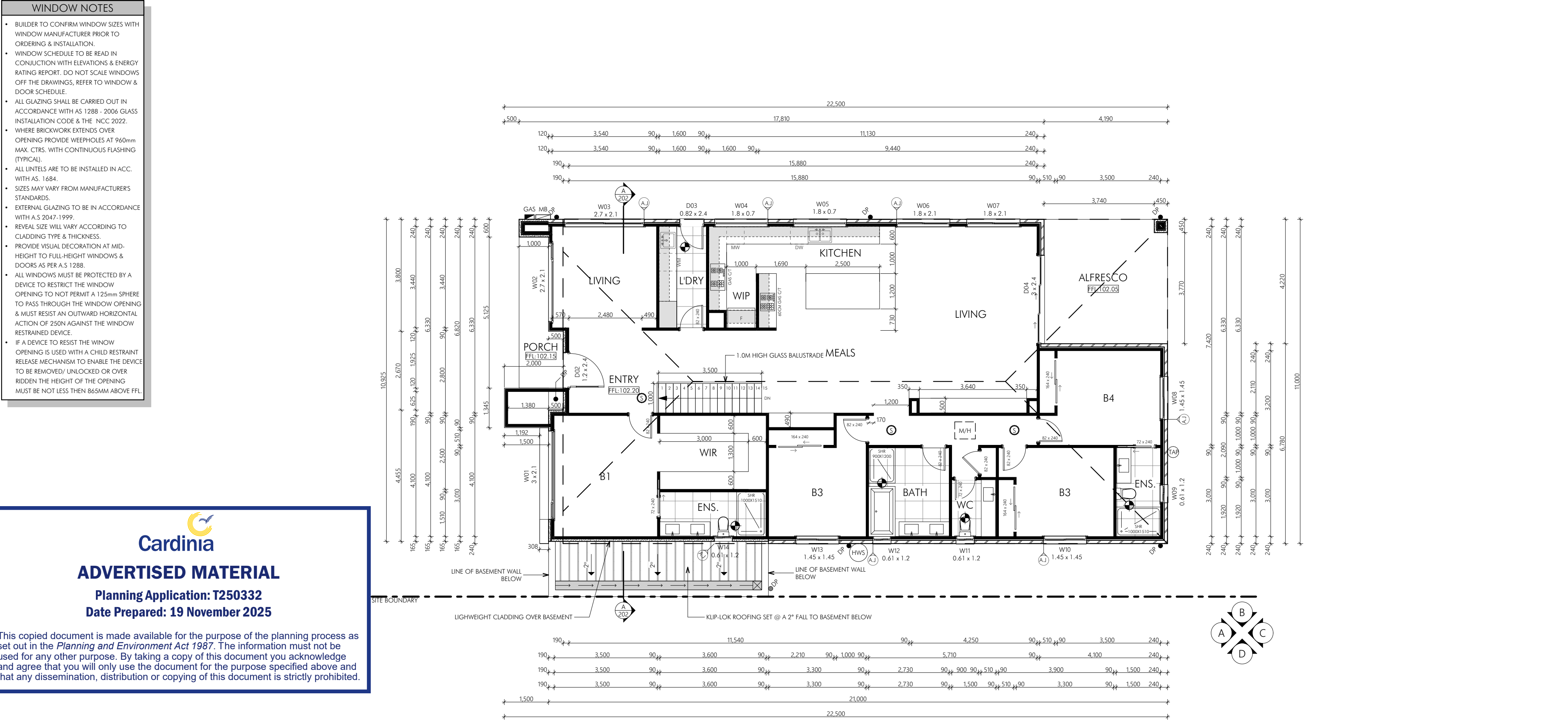
1:100 @ A2

Z.K



DRAWING NO.

A200



ROOF STORM WATER DRAINAGE NOTE:

A) ROOF STORMWATER DRAINAGE SHALL COMPLY WITH AS3500.3-2015.

B) MINIMUM DOWNPIPE DIMENSIONS SHALL BE 100MM x 50MM OR 90MM DIAMETER.

C) RAIN WATER HEAD TO SERVE BOX GUTTER.

D) DISPERSERS TO FIRST FLOOR DOWNPIPES DICHARGING TO GROUND ROOF BELOW.

E) MINIMUM BOX GUTTER DEPTH TO BE 100MM

FLASHING NOTES:

THE FOLLOWING FOR FLASHING REQUIREMENTS:

A) ROOF TILE FLASHING SHALL BE IN ACCORDANCE WITH NCC 2022.

B) FLASHINGS TO WALL OPENINGS SHALL BE IN ACCORDANCE WITH NCC 2022.

ANTI-PONDING DEVICE/BOARD:

ANTI-PONDING DEVICE/BOARD TO BE IN ACCORDANCE WITH NCC 2022.

VAPOUR PERMEABLE MEMBRANE NOTE:

VAPOUR PERMEABLE MEMBRANE MUST BE INSTALLED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING IN ACCORDANCE WITH NCC 2022.

WINDOW COMPLIANCE:

ALL NEW GLAZING AND WINDOWS ARE TO COMPLY WITH AS 1288 & AS 2047

EXHAUST FAN NOTES:

EXHAUST FAN DISCHARGE RATES:

A) SANITARY COMPARTMENTS AND BATHROOMS: 25l/s

B) KITCHEN AND LAUNDRY : 40l/s

C) WHERE EXHAUST FANS DISCHARGE INTO VENTILATED ROOF SPACE THAT THEY SHALL COMPLY WITH NCC 2022.

D) FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS IN ACCORDANCE WITH NCC 2022.

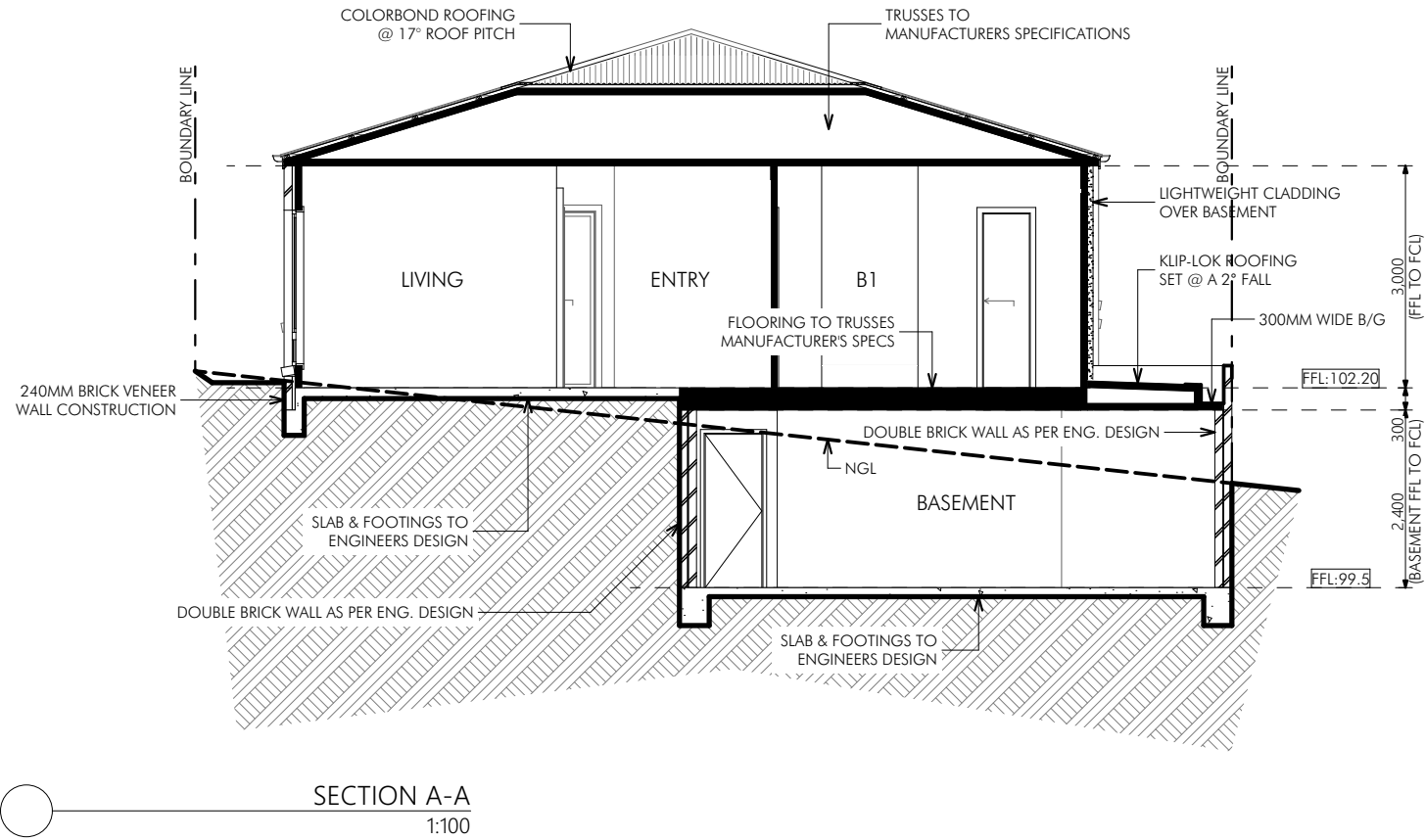
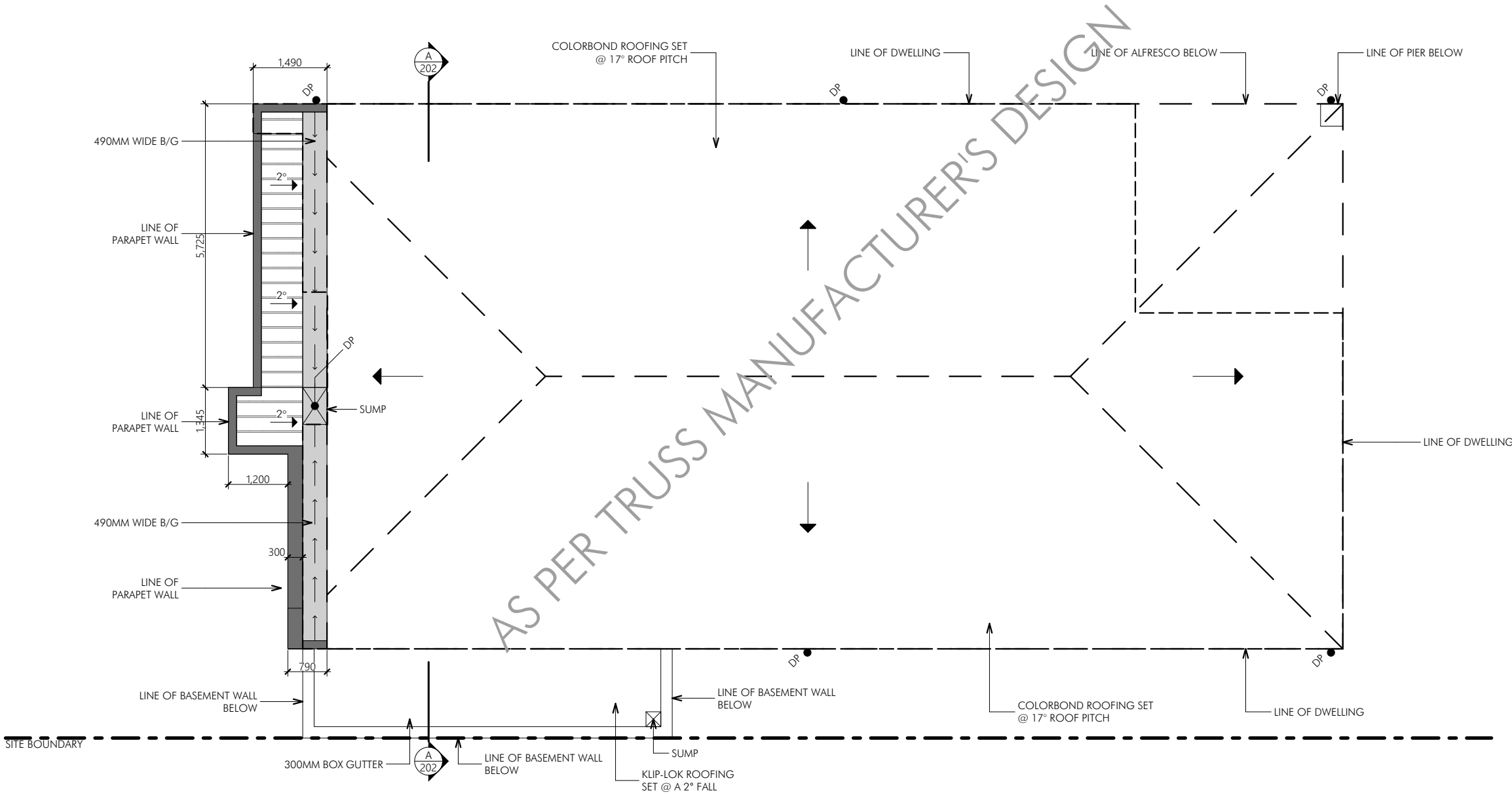
LEGAL POINT OF DISCHARGE NOTE:

ALL DOWN PIPES TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE (LPD)

ALL CONDITIONS/SERVICES ARE TO BE CONFIRMED ON-SITE BY THE APPLICANT PRIOR TO THE COMMENCEMENT OF DEVELOPMENT.

WATERPROOFING NOTE:

WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS 4654 PARTS 1 AND 2.





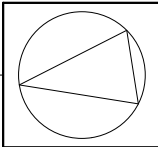
Cardinia

ADVERTISED MATERIAL

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NOTE:
AT LEAST ONE CANOPY TREE MUST BE PROVIDED
IN THE FRONT YARD

NOTE:
LIMIT THE AMOUNT OF HARD SURFACES AND
UTILISE 'SOFT' COVERINGS SUCH AS GARDEN
BEDS, SHRUBS, GROUND COVER AND TREES

NOTE:
LANDSCAPE ELEMENTS CAN ALSO HAVE
FUNCTIONAL ASPECTS. CONSIDER USING
FOLIAGE IN APPROPRIATE LOCATIONS AND
HEIGHTS TO PROVIDE SCREENING TO
WINDOWS AND OPENINGS

LEGEND

- TIMBER SLEEPER RETAINING WALL
- NATURAL TAN BARK (PERMEABLE)
IRRIGATION SYSTEM TO BE
INSTALLED TO ALL GARDEN BEDS
- EXPOSED AGGREGATE CONCRETE
(NON-PERMEABLE)
- SIR WALTER BUFFALO GRASS (PERMEABLE)

SELECTED LETTERBOX

FRONT GARDEN AREA: 86.23m²
-SOFTSCAPE: 45.05m² (52.25%)
-HARDSCAPE: 41.18m² (47.75%)

PLANTING LEGEND

- 1 X SILVER LEAF
- 6 X SWAMP WALLABY GRASS
- 25 X BRISTLY WALLABY GRASS
- 30 X DOG ROSE

EUCALYPTUS CEPHALOCARPA I SILVER
LEAF OR MEALY STRINGYBARK
MEDIUM SIZED TREE WITH THICK FIBROUS
BARK TO SMALLER BRANCHES
SIZE (WxH): 5-15m x 8-20m
COLOUR: CREAM
FLOWER TIME: MARCH TO AUGUST

AMPHIBROMUS NERVOSUS I COMMON
SWAMP WALLABY - GRASS
TUFTED PERENNIAL GRASS
SIZE (WxH): TO 25cm HIGH STEMS TO
1.2M HIGH
COLOUR: GREEN
FLOWER TIME: OCTOBER TO JANUARY

AUSTRODANTHONIA SETACEA I SMALL-
FLOWERED OR BRISTLY WALLABY GRASS
SLENDER ERECT TUFTED PERENNIAL GRASS
SIZE (WxH): UP TO 0.4m x 0.3m WITH
STEM UP TO 0.6m HIGH
COLOUR: GREEN OR PURPLISH
FLOWER TIME: OCTOBER TO JANUARY

BAUERA RUBIODES I WIRY BAUERA, RIVER
OR DOG ROSE
WIRY, DENSELY SCRAMBLING HAIRY SHRUB
SIZE (WxH): 1-2m x 1-2m
COLOUR: PINK TO WHITE
FLOWER TIME: MOST OF THE YEAR
ESPECIALLY SPRING SUMMER

RED LINE DENOTES EXISTING CONCRETE SLEEPER
RETAINING WALL TO ENGINEER'S SPECS.

CONCRETE SLAB

RED LINE DENOTES EXISTING CONCRETE SLEEPER
RETAINING WALL TO ENGINEER'S SPECS.

BAUERA RUBIODES I WIRY BAUERA, RIVER
OR DOG ROSE
WIRY, DENSELY SCRAMBLING HAIRY SHRUB
SIZE (WxH): 1-2m x 1-2m
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FLOWER TIME: MOST OF THE YEAR
ESPECIALLY SPRING SUMMER

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SLENDER ERECT TUFTED PERENNIAL GRASS
SIZE (WxH): UP TO 0.4m x 0.3m WITH
STEM UP TO 0.6m HIGH
COLOUR: GREEN OR PURPLISH
FLOWER TIME: OCTOBER TO JANUARY



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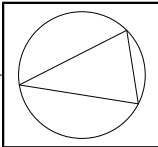
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LANDSCAPE PLAN

REV A: AMENDMENT AS PER RBS RFI - CONSTRUCTION ISSUE
REV B: AMENDMENT AS PER COUNCIL'S RFI - CONSTRUCTION ISSUE - 03/10/2025
REV C: AMENDMENT AS PER COUNCIL'S RFI - CONSTRUCTION ISSUE - 24/10/2025

DRAWING DETAILS

24/10/2025 1:100 @ A2 Z.K



DRAWING NO.

A203

SITE ADDRESS

LOT 119 SCENIC RISE,
PAKENHAM

PROPOSAL

SINGLE STOREY DWELLING &
BASEMENT
FOR RS CABINETS

SITE ADDRESS

LOT 119 SCENIC RISE,
PAKENHAM

PROPOSAL

SINGLE STOREY DWELLING &
BASEMENT
FOR RS CABINETS

ELEVATIONS

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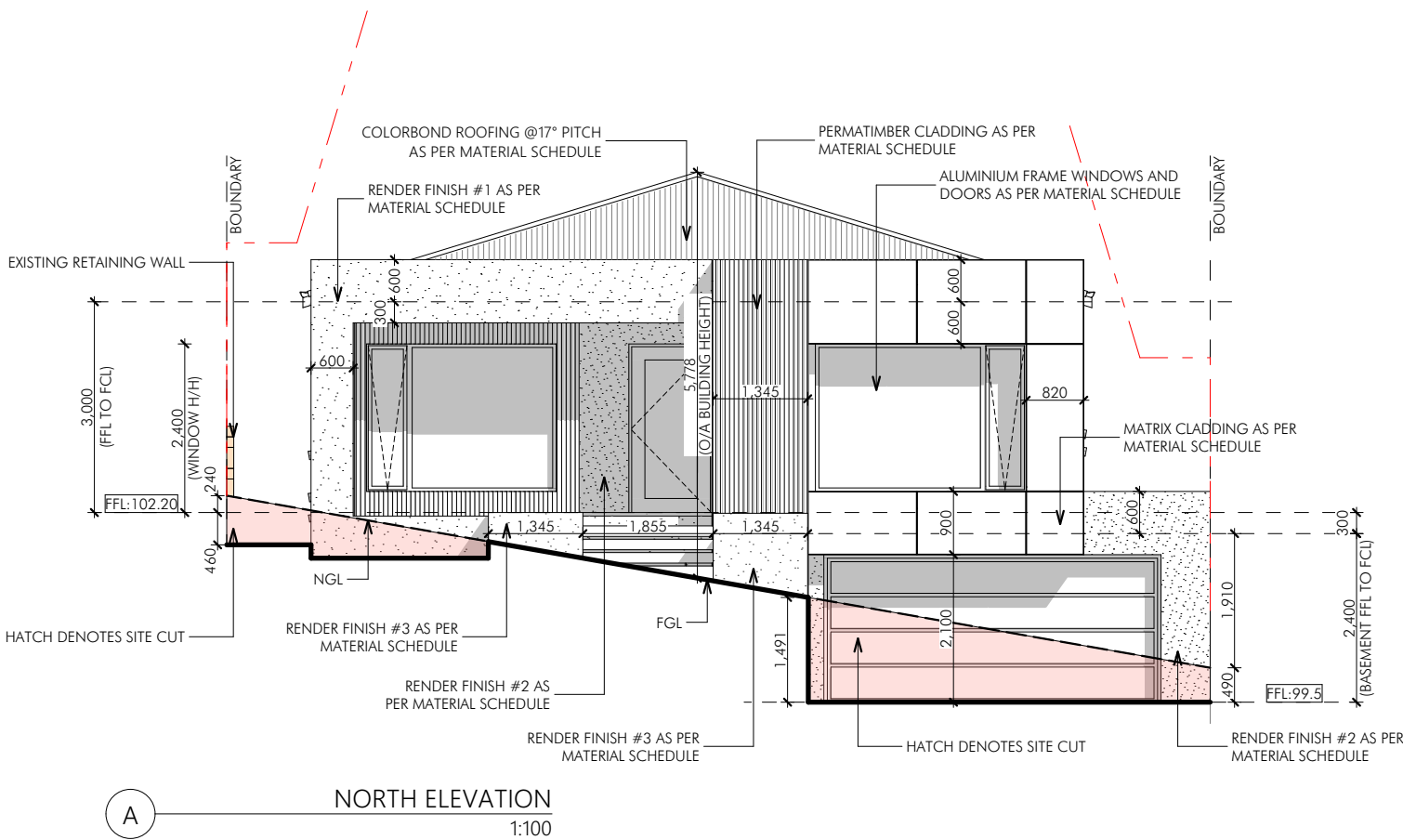
24/10/2025

1:100 @ A2

Z.K

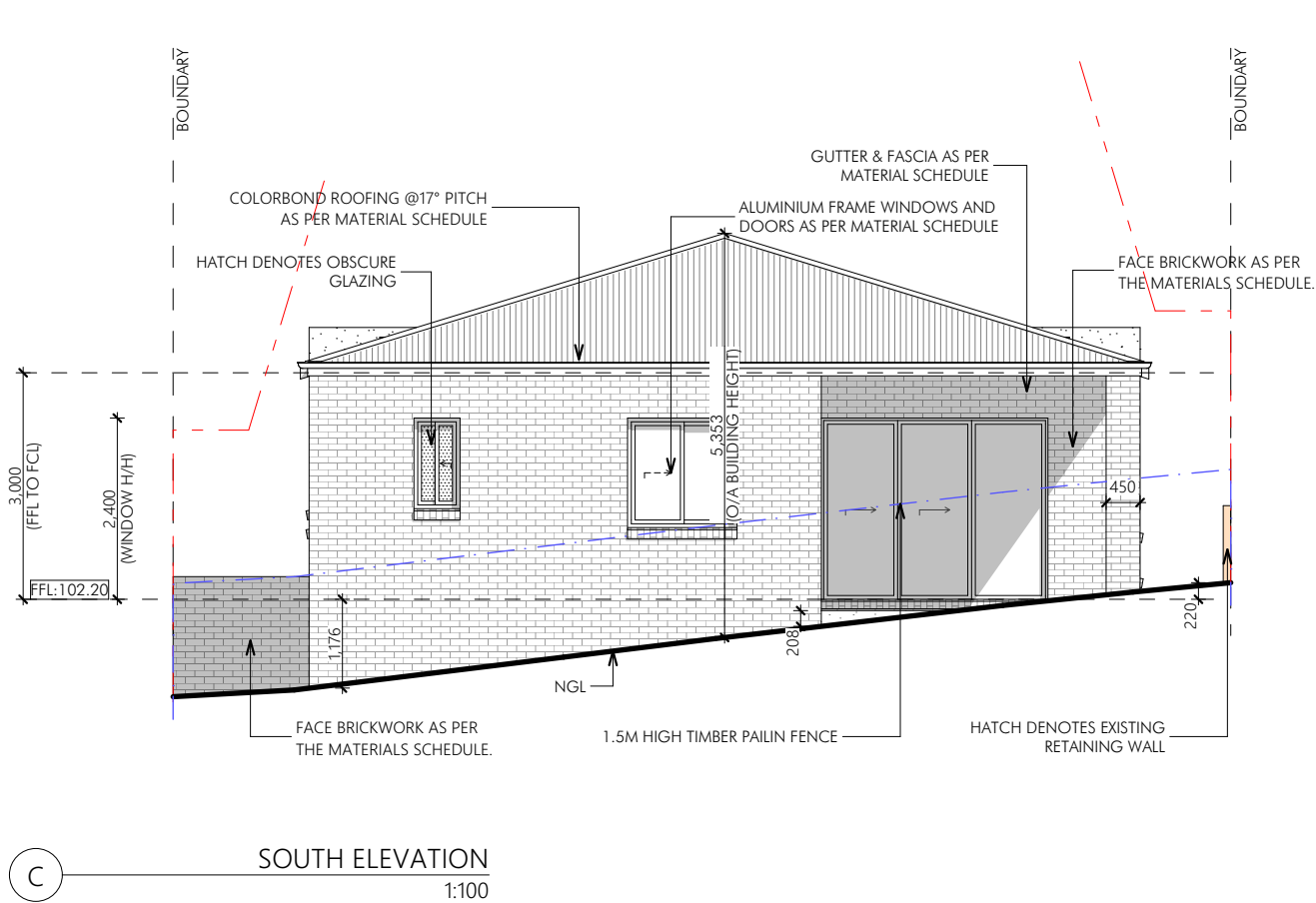
DRAWING NO.

A300



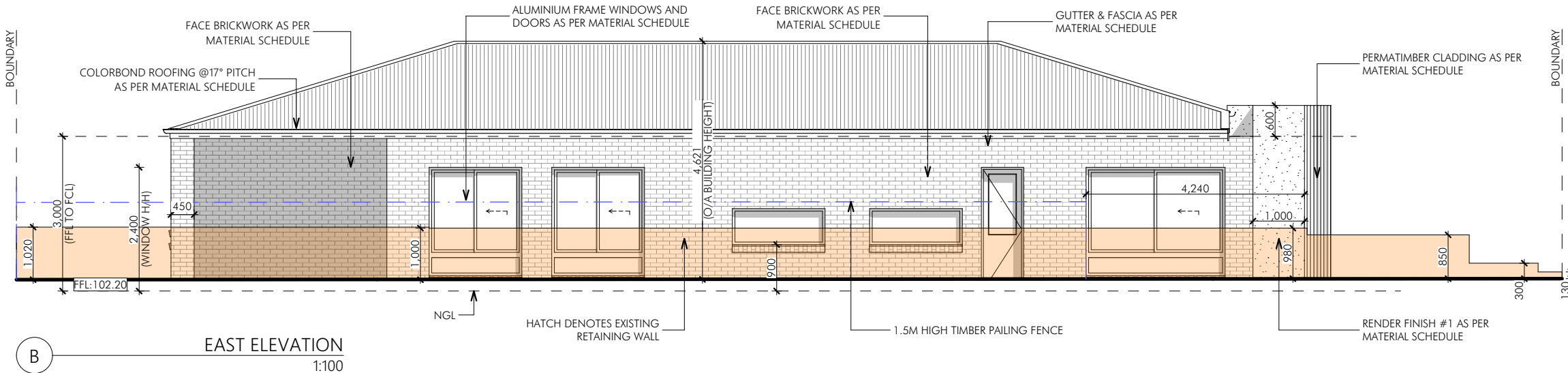
NORTH ELEVATION

1:100



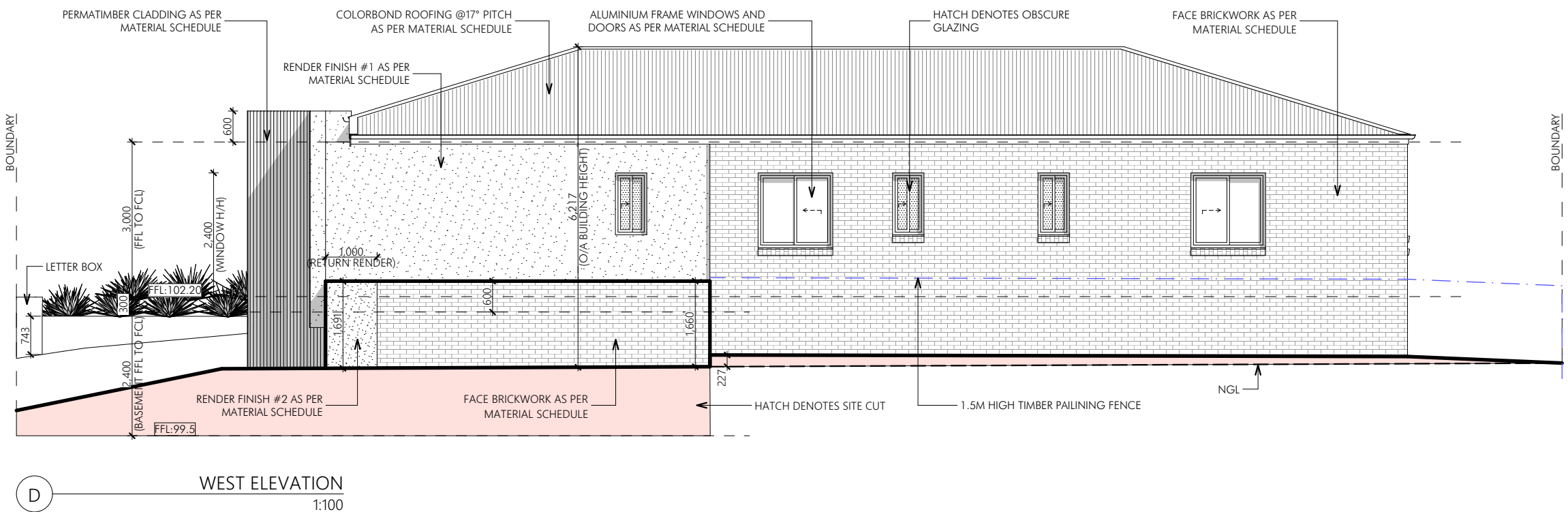
SOUTH ELEVATION

1:100



EAST ELEVATION

1:100



WEST ELEVATION

1:100

MATERIALS SCHEDULE

DESCRIPTION	COLOUR SAMPLE
BRICK WORK - 'TAWNY HERITAGE' BY SELKIRK OR SIMILAR	
PERMATIMBER CLADDING TO FACADE - 'TASMANIAN OAK' FINISH	
RENDER FINISH #1 - 'VIVID WHITE' FINISH BY COLORBOND	
RENDER FINISH #2 - 'MONUMENT' FINISH BY COLORBOND	
RENDER FINISH #3 - 'SURFMIST' FINISH BY COLORBOND	
JAMES HARDIE MATRIX 'WHITE' FINISH	
ENTRY DOOR - 'MONUMENT' FINISH BY COLORBOND OR SIMILAR	
GARAGE PANEL LIFT DOOR - 'MONUMENT' FINISH	
ALUMINIUM FRAMED WINDOW & DOORS - 'MONUMENT' FINISH BY COLORBOND OR SIMILAR	
COLORBOND ROOFING - 'CHARCOAL' FINISH BY COLORBOND OR SIMILAR	
FASCIA & GUTTER - 'CHARCOAL' FINISH BY COLORBOND OR SIMILAR	
CONCRETE AGGREGATE - 'CHARCOAL' FINISH OR SIMILAR	



ADVERTISED MATERIAL

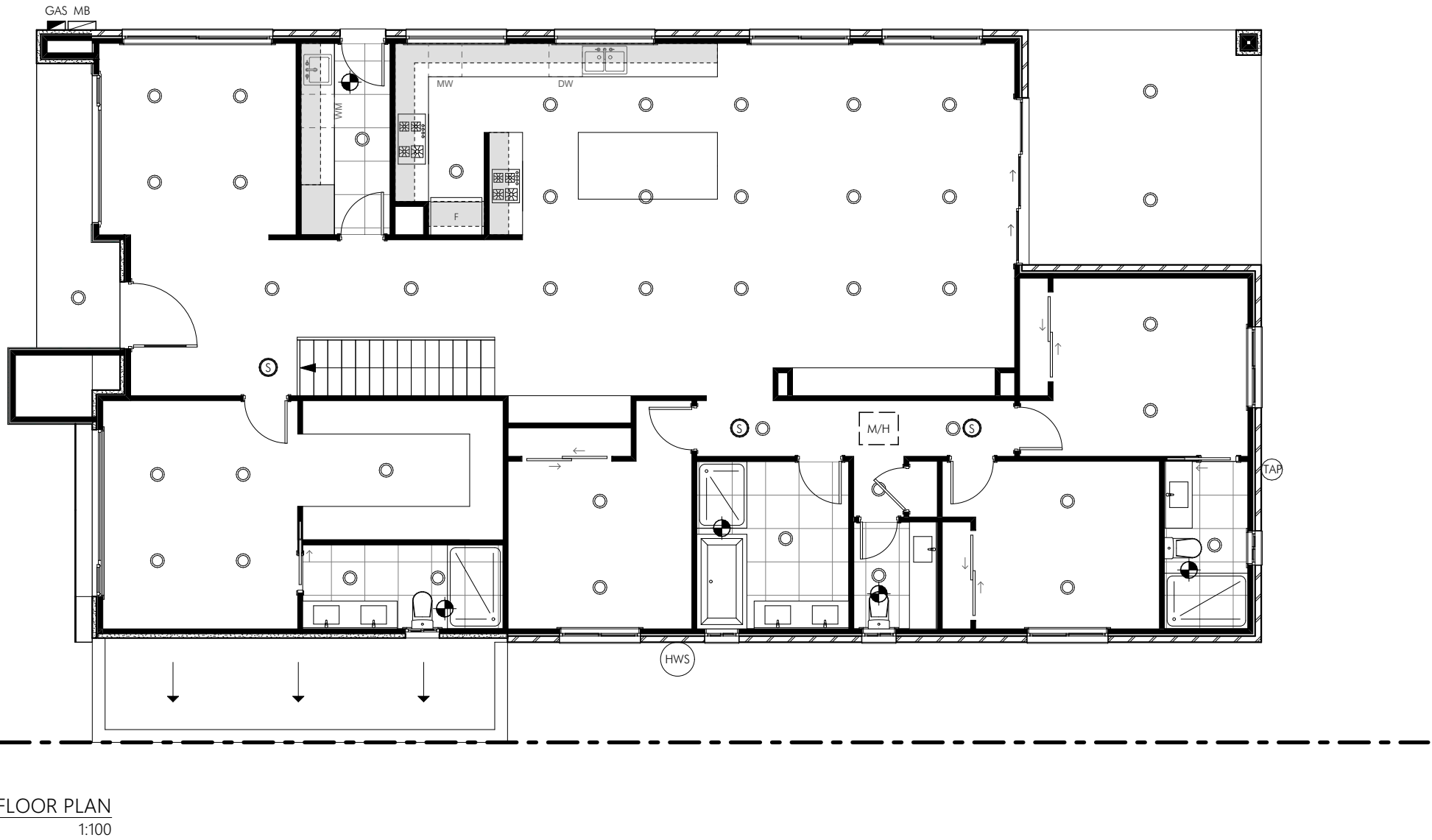
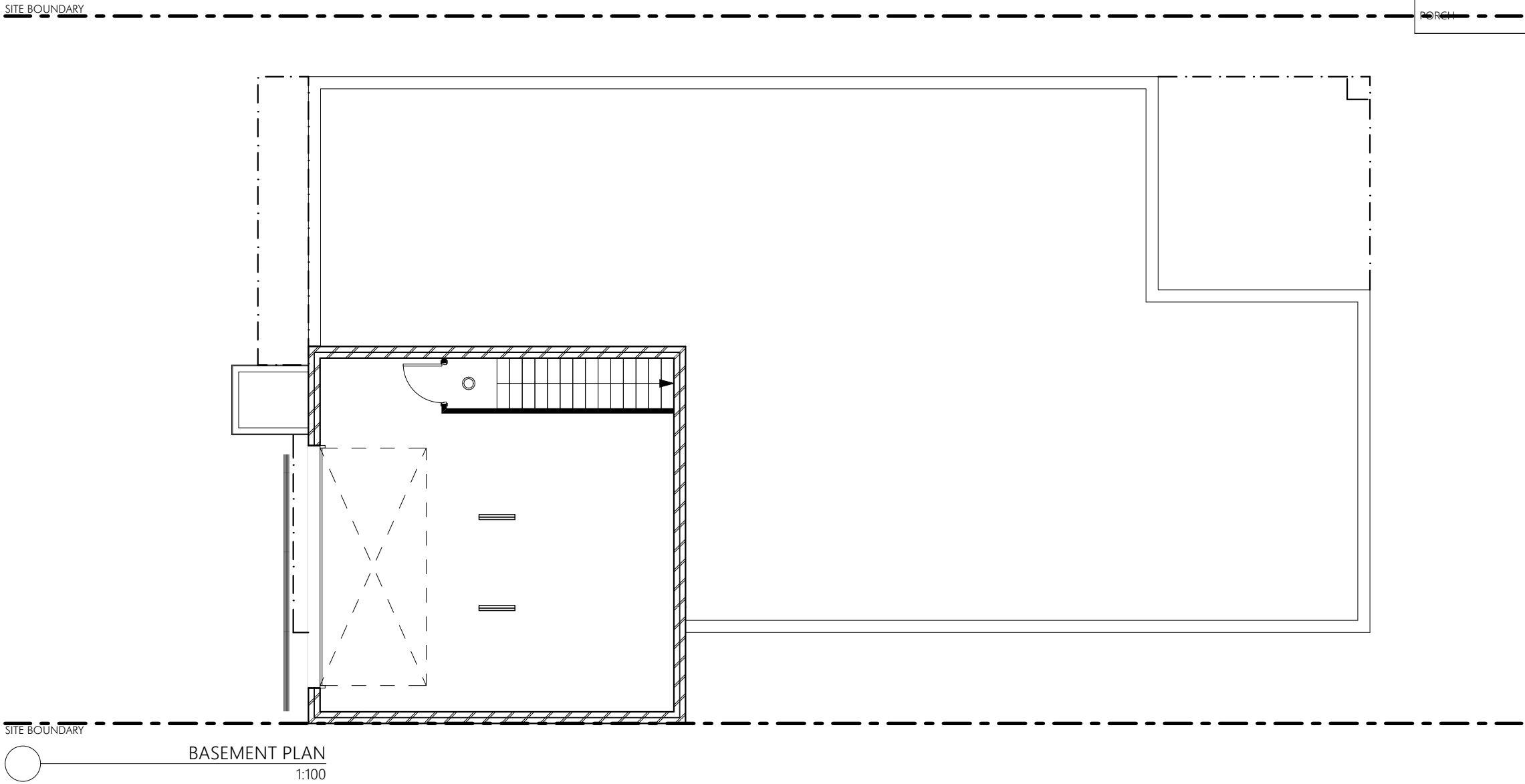
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ELECTRICAL LIGHTING TABLE			
LOCATION	WATTAGE ALLOWANCE	MAX NO. OF LIGHTS	NO. OF LIGHTS / WATTAGE USED
GF TOTAL	171.75m² X 5w/sqm= 858.75 WATTS	13W	43 X 13W LED'S TOTAL 559 WATT'S
BASEMENT	55.65m² X 3w/sqm= 166.95 WATTS	28W	2 X 28W FLUORECENT TOTAL 56 WATT'S
ALFRESCO	17.68m² X 4w/sqm= 70.72 WATTS	6W	2 X 6W LED'S TOTAL 12 WATT'S
PORCH	6.09m² X 4w/sqm= 24.36 WATTS	6W	1 X 6W LED'S TOTAL 6 WATT'S

AREA SUMMARY	
TOTAL SITE AREA	420m²
BASEMENT	55.65m²
GROUND FLOOR LIVING	212.36m²
ALFRESCO	17.68m²
PORCH	6.69m²
GRAND TOTAL:	292.38m²
SQ	32SQ
% SITE COVERAGE	59.87%
% IMPERMEABLE AREA	67%
% PERMEABLE AREA	33%





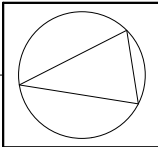
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MATERIALS SCHEDULE

DESCRIPTION	COLOUR SAMPLE
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SITE ADDRESS

LOT 119 SCENIC RISE,
PAKENHAM

PROPOSAL

SINGLE STOREY DWELLING &
BASEMENT
FOR RS CABINETS

3D VIEW

REV A: AMENDMENT AS PER RBS RFI - CONSTRUCTION ISSUE
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DRAWING DETAILS

24/10/2025

@ A2

Z.K

DRAWING NO.

A500





Cardinia

ADVERTISED MATERIAL

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Our Ref: 2000490
23 July 2024

Applicant: Fran Santulan
Company/Builder: PD STUDIO
Email: admin@pd.net.au



ACN 006 197 235
ABN 38 006 197 235

Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

beveridgewilliams.com.au

Dear Sir/Madam,

**RE: Lot 119 Scenic Rise, Pakenham
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. Please refer to any other conditions marked-up on the plans and ensure they are suitably addressed.

Please note;

- **All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.**
- **Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.**
- **Any lot under 300m2 in size, requires a planning permit for being under 300m2 in addition to the ESO planning permit.**
- **There is no connections to Recycled Water (purple taps) in the estate, therefore, other water saving requirements are to be met as per the current building regulations.**

Should you have any queries, please contact the undersigned on 9524 8888 or via email planlodgement@bevwill.com.au All new submissions, re-submissions, amendment submissions or supplemental submissions, please use www.portal.beveridgewilliams.com.au

Kind Regards,



Belinda Blythe
Design Approvals Coordinator
BEVERIDGE WILLIAMS

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 23.07.2024

REVIEWED BY: Belinda Blythe

BW



MATERIALS SCHEDULE	
DESCRIPTION	COLOUR SAMPLE
BRICK WORK - 'TAWNY HERITAGE' BY SELKIRK OR SIMILAR	
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FASCIA & GUTTER - 'CHARCOAL' FINISH BY COLORBOND OR SIMILAR	
CONCRETE AGGREGATE - 'CHARCOAL' FINISH OR SIMILAR	



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Planning Application: T250332
Date Prepared: 19 November 2025

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SITE ADDRESS

LOT 119 SCENIC RISE,
PAKENHAM

PROPOSAL

SINGLE STOREY DWELLING &
BASEMENT
FOR RS CABINETS

3D VIEW

DRAWING DETAILS

22/07/2024

@ A3

Z.K

DRAWING NO.

A500

PROPOSAL:

SINGLE STOREY DWELLING & BASEMENT

These drawings are to be read and used in conjunction with specification, details, Structural Engineers and other consultants drawings and computations, endorsed planning drawings and permits if and as applicable.

Figured dimensions must take preference over scaling of drawings.

C.O.S. denotes 'check on site' the Builder shall check all dimensions and levels prior to commencing any works or items to be fabricated, with any discrepancies to be reported immediately.

All dimensions and levels to be verified on site prior to the start of works.

It is the responsibility of all persons concerned with the project contained in these drawings - to notify the registered building practitioner concerned in the event of alterations being required or discrepancies being found - prior to works being carried out - as no responsibility can be taken for unauthorized alteration or lack of builders supervision.

Ground under building to be graded to the outside of the building. Finished surface to fall away from building min 1 in 20 for a min. of 1000 mm.

SOIL CLASSIFICATION:

All foundations shall be prepared and maintained in accordance to A.S. 2870.1 and/or Structural Engineer's Design, as required therein, and which is referred to in the soil investigation report.

STRUCTURAL ITEMS:

Refer to Structural Drawings and Computation for all sizes and detailing of structural timber, steel and concrete, elements such as beams, columns, slabs, footings, lintels, holding-down details etc.

Provide all 'holding down' straps, rods, bolts etc, as required to be built into the frame, brickwork, steelwork and/or concrete.

SARKING:

Shall have a flammability index of not more than five where required.

BALUSTRADES:

Balustrading to high decks or terraces - where a deck exceeds 4.0 m above ground level the balustrade must be non-climbable between the heights of 150 and 750 mm above that deck or terrace. All balustrades to be a minimum of 1000 mm high.

DOORS & EXTERNAL DOORS:

Shall be fitted with weather -strips or draft excluders.

W.C. doors must be removable from the outside if 1200 mm or closer to the pan.

BRICKWORK CONTROL JOINTS:

A.J. - Denotes articulation joints. Builder must provide brick control joints located to comply with recommendations in Geo-Technical site report. (If prepared) Otherwise in accordance with cement and concrete Assoc. Note: CN9 - Articulated walls. (Specifying joints at 5.0 M ctrs.) and/or the NCC 2022.

Provide weep holes at 900 mm max. ctrs. with continuous cavity flashings at base of cavity, above & below openings.

INSULATION:

Refer to Energy Rating Assessment Report.

SMOKE DETECTORS:

Provide smoke detectors located and as shown on plan, as per manufacturers' specifications - Type 83 R1 mains connected.

Smoke alarms must comply with AS 3786 and be hardwired and also be interlinked where more than one smoke alarm is installed.

SEWER DRAINAGE:

Refer to Hydraulics Drawings if applicable and/or connect to designated connection point in accordance to the requirements of the Relevant Authority and all relevant Australian Standards and Codes. Sub-Contractor to provide a Compliance Certificate.

STORM WATER:

Connect S.W.D. 90mm dia. UPVC or as otherwise noted to existing S.W.D system and/or if new installation connect to legal point of discharge as designated by the local Authority.

Refer to Civil Drawings if applicable and connect and lay all drains in accordance to the requirements of the Relevant Authority and all relevant Australian Standards and Codes. Sub-Contractor to provide a Compliance Certificate.

OVERLOOKING:

In accordance with Reg. 82, Build. Reg's 2018 as part of decks and/or terraces, where finished floor level is greater than 800 mm above ground level, provide to a min. height of 1700 mm above the deck floor, a timber slatted screen with a max. of 25% gap in elevational area, to prevent overlooking into the neighbouring property, or as outlined in the Planning Permit Drawings if applicable.

STAIR REQUIREMENTS:

Risers: 190 max - 115 min.

Going: 355 max - 240 min

Risers & treads to be constant in size throughout flight.

Provide non-slip finish: NOSING STRIP - P3 DRY / P4 WET

Provide continuous handrail 1000 mm min height to balconies & decks which are 1000 mm or more above finished ground level.

Max. openings between balusters not to exceed 125 mm.

Landings must be a minimum length of 750mm measured from the inside edge where it changes direction.

Handrail to extend the full length of the stair flight.

GLAZING:

All glazing panels to 500 mm above F.F.L. to be safety glass as per A.S. 1288. All other glazing to A.S. 1288.

SPECIFICATIONS:

If a specification forms part of these contract documents, it shall take precedence over and above these general notes as contained herein if & where applicable.

STANDARDS:

All works shall comply but not be limited to the following Australian Standards and their respective most recent updates and amendments as applicable:

A.S. 1684 - 2010 national timber framing code

Part 2 2006 non-cyclonic areas

Part 3 2006 cyclonic area

Part 4 2006 simplified non-cyclonic areas

A.S. 2047 - 2014 windows in buildings - selection and installation

A.S. 1288 - 2006 Glass in buildings, selection and installation

A.S. 1562 - 1997 Design and installation of sheet roof and wall cladding part 1 Metal

- amendment 1 1993

- amendment 2 1995

A.S. 2870 - 2011 residential slabs and footings - Part 1 construction - amendment 1 1997

- amendment 2 1999

- amendment 3 2002

- amendment 4 2003

A.S. 2904 - 1995 damp proof courses and flashings

A.S./ N.Z.S. 3013 - 2005 electrical installations

A.S. 3700 - 2011 masonry in buildings

- amendment 1 2002

- amendment 2 2003

A.S. 3740 - 2004 waterproofing of wet areas in residential buildings

A.S. 3786 - 2014 Smoke alarms

- amendment 1 1994

- amendment 2 1995

- amendment 3 2001

- amendment 4 2004

A.S. 1860 - 1998 Code of practice for the installation of particleboard flooring

A.S. 3600 - 2001 Concrete structures

- amendment 1 2002

- amendment 2 2004

A.S. 3660 - 2000 Protection of buildings from subterranean termites

A.S. 4256 - 1994 -1996 Plastic roof and wall cladding materials

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DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 23.07.2024

REVIEWED BY: Belinda Blythe

BW

NOTE:

ALL HOMES MUST INSTALL OR MAKE ALLOWANCE FOR OPTIC FIBRE CABLING (OPTICOMM)

NOTE:

RECYCLED WATER IS NOT AVAILABLE IN THE RISE PAKENHAM STATE

DRAWING LIST		
PAGE	DRAWING	SCALE
A000	GENERAL NOTES & SITE PLAN	1:200
A200	BASEMENT FLOOR PLAN & DOOR SCHEDULE	1:100
A201	GROUND FLOOR PLAN & WINDOW SCHEDULE	1:100
A202	ROOF PLAN & SECTION A-A	1:100
A203	LANDSCAPE PLAN	1:50
A300	ELEVATIONS	1:100
A400	LIGHTING PLAN	1:100
A500	3D VIEW	

AREA SUMMARY	
TOTAL SITE AREA	420m²
BASEMENT	55.65m²
GROUND FLOOR LIVING	212.36m²
ALFRESCO	17.68m²
PORCH	6.69m²
GRAND TOTAL:	292.38m²
SQ	32SQ
% SITE COVERAGE	59.87%
% IMPERMEABLE AREA	67%
% PERMEABLE AREA	33%

LEGEND

EXPOSED AGG. CONC. DRIVEWAY

EVAP. COOLING UNIT

ANTENNA

SOLAR HOT WATER PANEL

DOWNPipe

GAS METER

ELECTRICAL METER BOX

HOT WATER SYSTEM

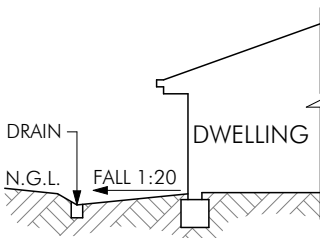
FOLD-DOWN CLOTHES LINE

NOTE

- THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO CONSTRUCTION. NOTIFY ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT.
- DO NOTE SCALE DRAWINGS.
- LEGAL POINT OF DISCHARGE TO BE VERIFIED BY THE BUILDER AND APPROVED BY THE RESPONSIBLE AUTHORITY

SURFACE DRAIN

GRADE SURFACE AWAY FROM HOUSE FOR A MINIMUM DISTANCE OF 2000mm AT 1in20 MINIMUM FALL COLLECT STORMWATER WITH 115w x 95d PVC CHANNEL OR SPOON DRAIN AND CONNECT TO STORMWATER SYSTEM



WARNING

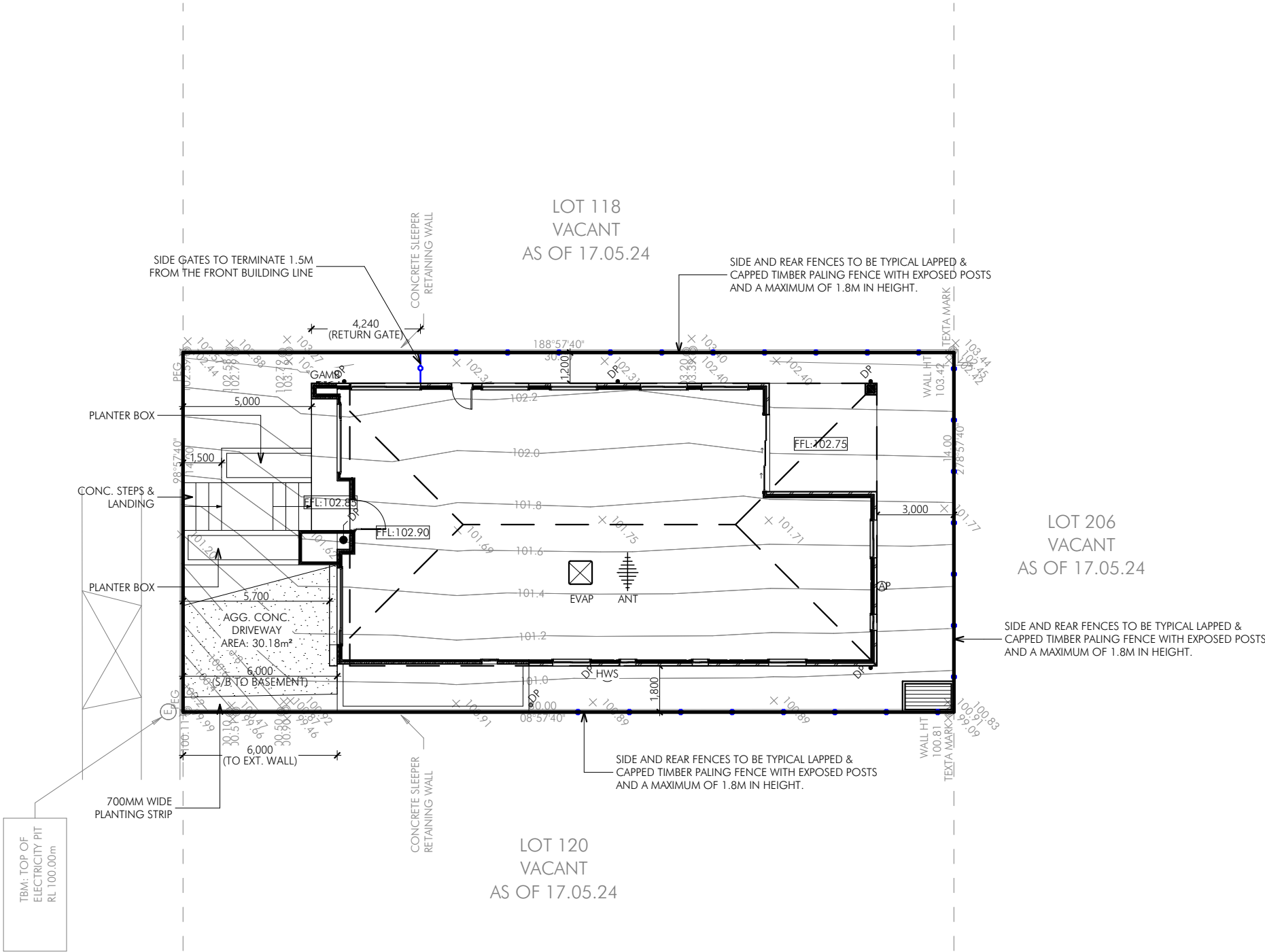
BEWARE OF UNDERGROUND SERVICES

THE BUILDER IS TO DETERMINE EXACT LOCATIONS OF EXISTING UNDERGROUND SERVICES BEFORE COMMENCING CONSTRUCTION ON SITE.

LEGAL POINT OF DISCHARGE NOTE:

ALL DOWN PIPES TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE (LPD)

SCENIC RISE

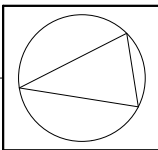


ADVERTISED MATERIAL

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Date Prepared: 19 November 2025

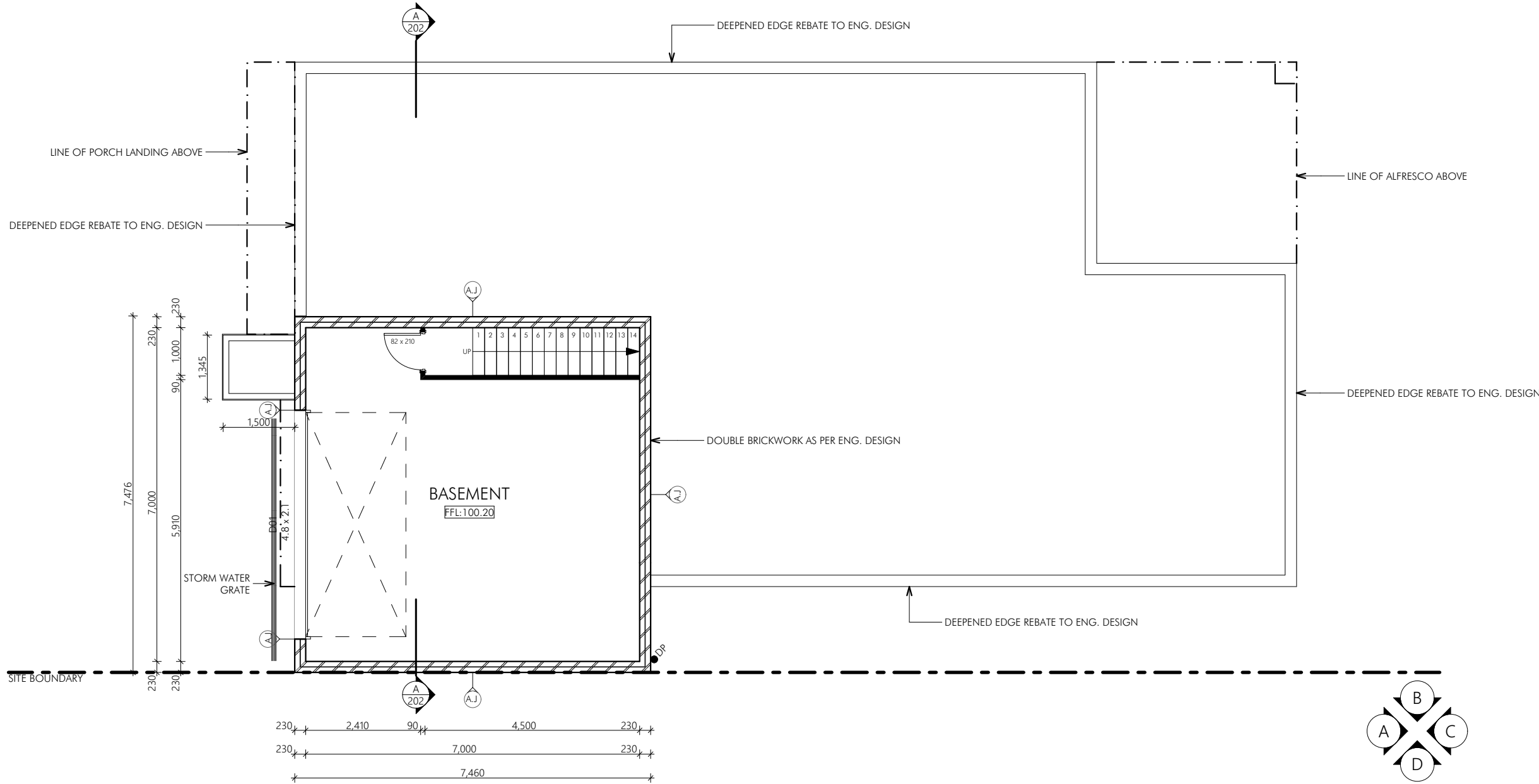
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AREA SUMMARY	
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ALFRESCO	17.68m ²
PORCH	6.69m ²
GRAND TOTAL:	292.38m ²
SQ	32SQ
% SITE COVERAGE	59.87%
% IMPERMEABLE AREA	67%
% PERMEABLE AREA	33%

LEGEND	
	ARTICULATION JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2001
	GAS METER
	METER BOX
	HOT WATER SYSTEM
	DOWN PIPE
	MICROWAVE PROVISION
	DISH WASHER PROVISION
	MAN HOLE ACCESS (750 x 580)
	INTERCONNECTED SMOKE ALARM, WITH BATTERY BACK-UP
	WATER TAP
	EXHAUST FAN
W01 D05 WINDOW & DOOR SIZES (W) x (H)	
	TILES TO WET AREAS, AS PER BUILDERS SPECIFICATIONS

Cardinia

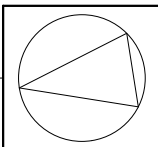
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DOORS SCHEDULE				
ID	D01	D02	D03	D04
HEIGHT	2,100	2,400	2,400	2,400
WIDTH	4,800	1,200	820	3,000
PLAN VIEW				
EXTERNAL VIEW				



WINDOW NOTES

- BUILDER TO CONFIRM WINDOW SIZES WITH WINDOW MANUFACTURER PRIOR TO ORDERING & INSTALLATION.
- WINDOW SCHEDULE TO BE READ IN CONJUNCTION WITH ELEVATIONS & ENERGY RATING REPORT. DO NOT SCALE WINDOWS OFF THE DRAWINGS, REFER TO WINDOW & DOOR SCHEDULE.
- ALL GLAZING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1288 - 2006 GLASS INSTALLATION CODE & THE NCC 2022.
- WHERE BRICKWORK EXTENDS OVER OPENING PROVIDE WEEPHOLES AT 960mm MAX. CTRS. WITH CONTINUOUS FLASHING (TYPICAL).
- ALL LINTELS ARE TO BE INSTALLED IN ACC. WITH AS. 1684.
- SIZES MAY VARY FROM MANUFACTURERS STANDARDS.
- EXTERNAL GLAZING TO BE IN ACCORDANCE WITH A.S 2047-1999.
- REVEAL SIZE WILL VARY ACCORDING TO CLADDING TYPE & THICKNESS.
- PROVIDE VISUAL DECORATION AT MID-HEIGHT TO FULL-HEIGHT WINDOWS & DOORS AS PER A.S 1288.
- ALL WINDOWS MUST BE PROTECTED BY A DEVICE TO RESTRICT THE WINDOW OPENING TO NOT PERMIT A 125mm SPHERE TO PASS THROUGH THE WINDOW OPENING & MUST RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE WINDOW RESTRAINED DEVICE.
- IF A DEVICE TO RESIST THE WINOW OPENING IS USED WITH A CHILD RESTRAINT RELEASE MECHANISM TO ENABLE THE DEVICE TO BE REMOVED/ UNLOCKED OR OVER RIDDEN THE HEIGHT OF THE OPENING MUST BE NOT LESS THEN 865MM ABOVE FFL.

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LEGAL POINT OF DISCHARGE NOTE:

ALL DOWN PIPES TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE (LPD)

ALL CONDITIONS/SERVICES ARE TO BE CONFIRMED ON-SITE BY THE APPLICANT PRIOR TO THE COMMENCEMENT OF DEVELOPMENT.

ROOF STORM WATER DRAINAGE NOTE:

A) ROOF STORMWATER DRAINAGE SHALL COMPLY WITH AS3500.3-2015.

B)MINIMUM DOWNPIPE DIMENSIONS SHALL BE 100MM x 50MM OR 90MM DIAMETER.

C)RAIN WATER HEAD TO SERVE BOX GUTTER.

D)SPREADERS TO FIRST FLOOR DOWNPIPES DICHARGING TO GROUND ROOF BELOW.

E)MINIMUM BOX GUTTER DEPTH TO BE 100MM

FLASHING NOTES:

THE FOLLOWING FOR FLASHING REQUIREMENTS:

A) ROOF TILE FLASHING SHALL BE IN ACCORDANCE WITH NCC 2022.

B) FLASHINGS TO WALL OPENINGS SHALL BE IN ACCORDANCE WITH NCC 2022.

EXHAUST FAN NOTES:

EXHAUST FAN DISCHARGE RATES:

A) SANITARY COMPARTMENTS AND BATHROOMS: 25I/S

B) KITCHEN AND LAUNDRY : 40I/S

C) WHERE EXHAUST FANS DISCHARGE INTO VENTILATED ROOF SPACE THAT THEY SHALL COMPLY WITH NCC 2022.

D) FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS IN ACCORDANCE WITH NCC 2022.

WINDOWS SCHEDULE														
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11	W12	W13	W14
HEIGHT	2,100	2,100	2,100	700	700	2,100	2,100	1,450	1,200	1,450	1,200	1,200	1,450	1,200
WIDTH	3,000	2,700	2,700	1,800	1,800	1,800	1,800	1,450	610	1,450	610	610	1,450	610
EXTERNAL VIEW														
COMMENTS				(FIXED GLAZING)	(FIXED GLAZING)				(OBSCURE GLAZING)		(OBSCURE GLAZING)	(OBSCURE GLAZING)		(OBSCURE GLAZING)

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SITE ADDRESS

LOT 119 SCENIC RISE, PAKENHAM

PROPOSAL

SINGLE STOREY DWELLING & BASEMENT FOR RS CABINETS

GROUND FLOOR PLAN & WINDOW SCHEDULE

DRAWING DETAILS

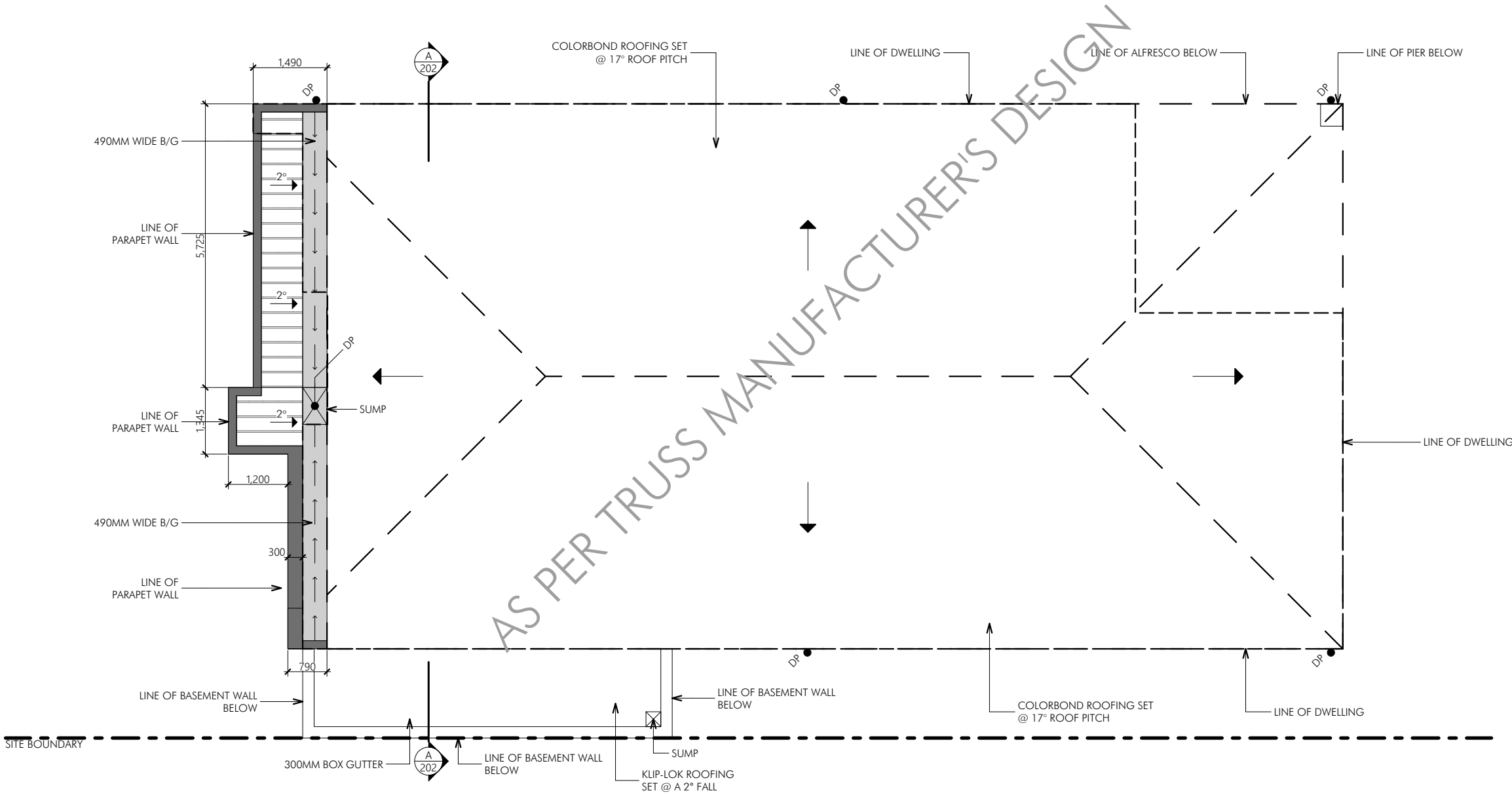
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A201

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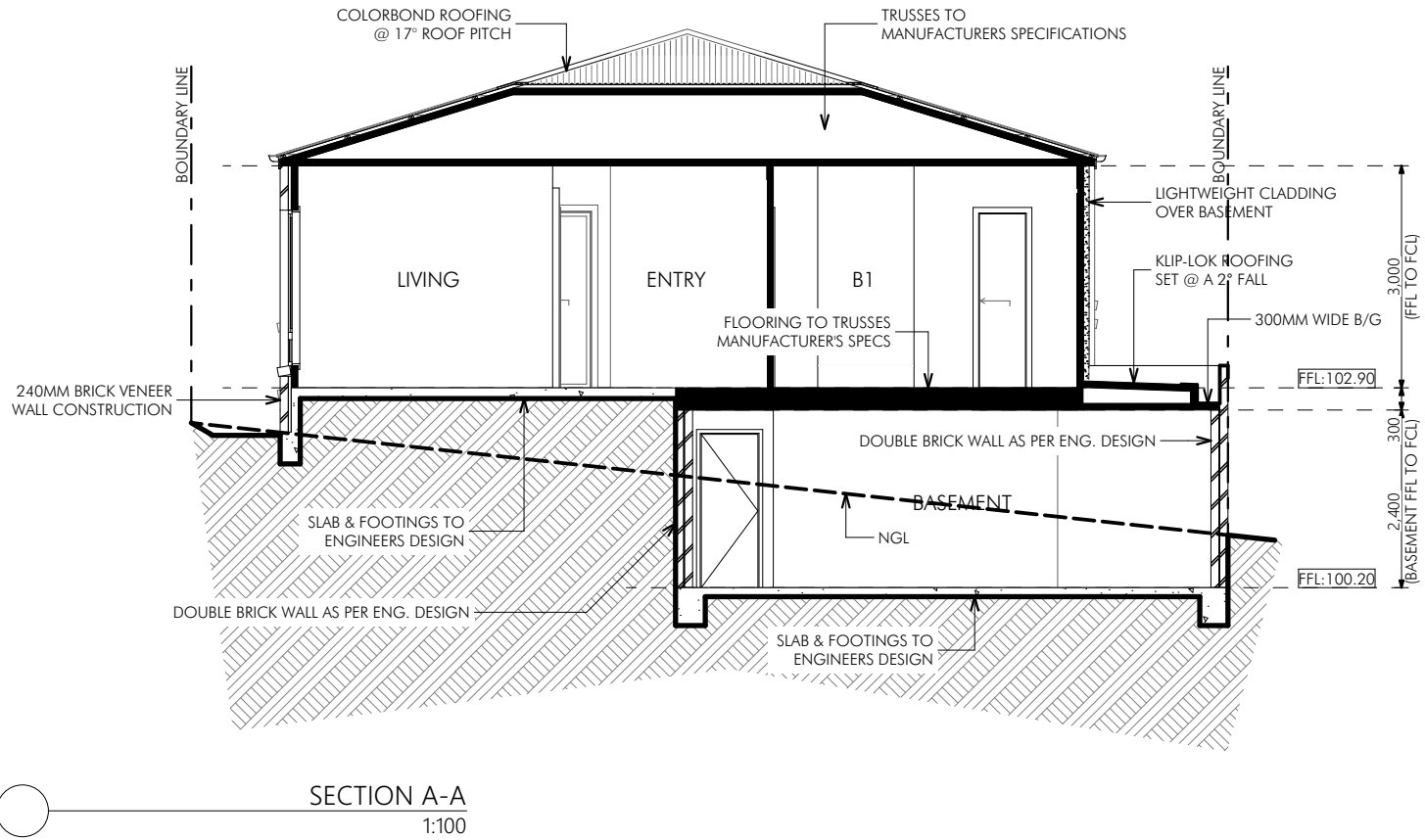
ROOF STORM WATER DRAINAGE NOTE: A) ROOF STORMWATER DRAINAGE SHALL COMPLY WITH AS3500.3-2015. B) MINIMUM DOWNPIPE DIMENSIONS SHALL BE 100MM x 50MM OR 90MM DIAMETER. C) RAIN WATER HEAD TO SERVE BOX GUTTER. D) SPREADERS TO FIRST FLOOR DOWNPIPES DICHARGING TO GROUND ROOF BELOW. E) MINIMUM BOX GUTTER DEPTH TO BE 100MM	FLASHING NOTES: THE FOLLOWING FOR FLASHING REQUIREMENTS: A) ROOF TILE FLASHING SHALL BE IN ACCORDANCE WITH NCC 2022. B) FLASHINGS TO WALL OPENINGS SHALL BE IN ACCORDANCE WITH NCC 2022.	VAPOUR PERMEABLE MEMBRANE NOTE: VAPOUR PERMEABLE MEMBRANE MUST BE INSTALLED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM THE EXTERNAL ENVELOPE OF A BUILDING IN ACCORDANCE WITH NCC 2022.	EXHAUST FAN NOTES: EXHAUST FAN DISCHARGE RATES: A) SANITARY COMPARTMENTS AND BATHROOMS: 25l/s B) KITCHEN AND LAUNDRY : 40l/s C) WHERE EXHAUST FANS DISCHARGE INTO VENTILATED ROOF SPACE THAT THEY SHALL COMPLY WITH NCC 2022. D) FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS IN ACCORDANCE WITH NCC 2022.	LEGAL POINT OF DISCHARGE NOTE: ALL DOWN PIPES TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE (LPD) ALL CONDITIONS/SERVICES ARE TO BE CONFIRMED ON-SITE BY THE APPLICANT PRIOR TO THE COMMENCEMENT OF DEVELOPMENT.
	ANTI-PONDING DEVICE/BOARD: ANTI-PONDING DEVICE/BOARD TO BE IN ACCORDANCE WITH NCC 2022.	WINDOW COMPLIANCE: ALL NEW GLAZING AND WINDOWS ARE TO COMPLY WITH AS 1288 & AS 2047	WATERPROOFING NOTE: WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS 4654 PARTS 1 AND 2.	



DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 23.07.2024

REVIEWED BY: Belinda Blythe



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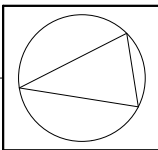
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SITE ADDRESS LOT 119 SCENIC RISE, PAKENHAM	PROPOSAL SINGLE STOREY DWELLING & BASEMENT FOR RS CABINETS
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ROOF PLAN & SECTION A-A

DRAWING DETAILS

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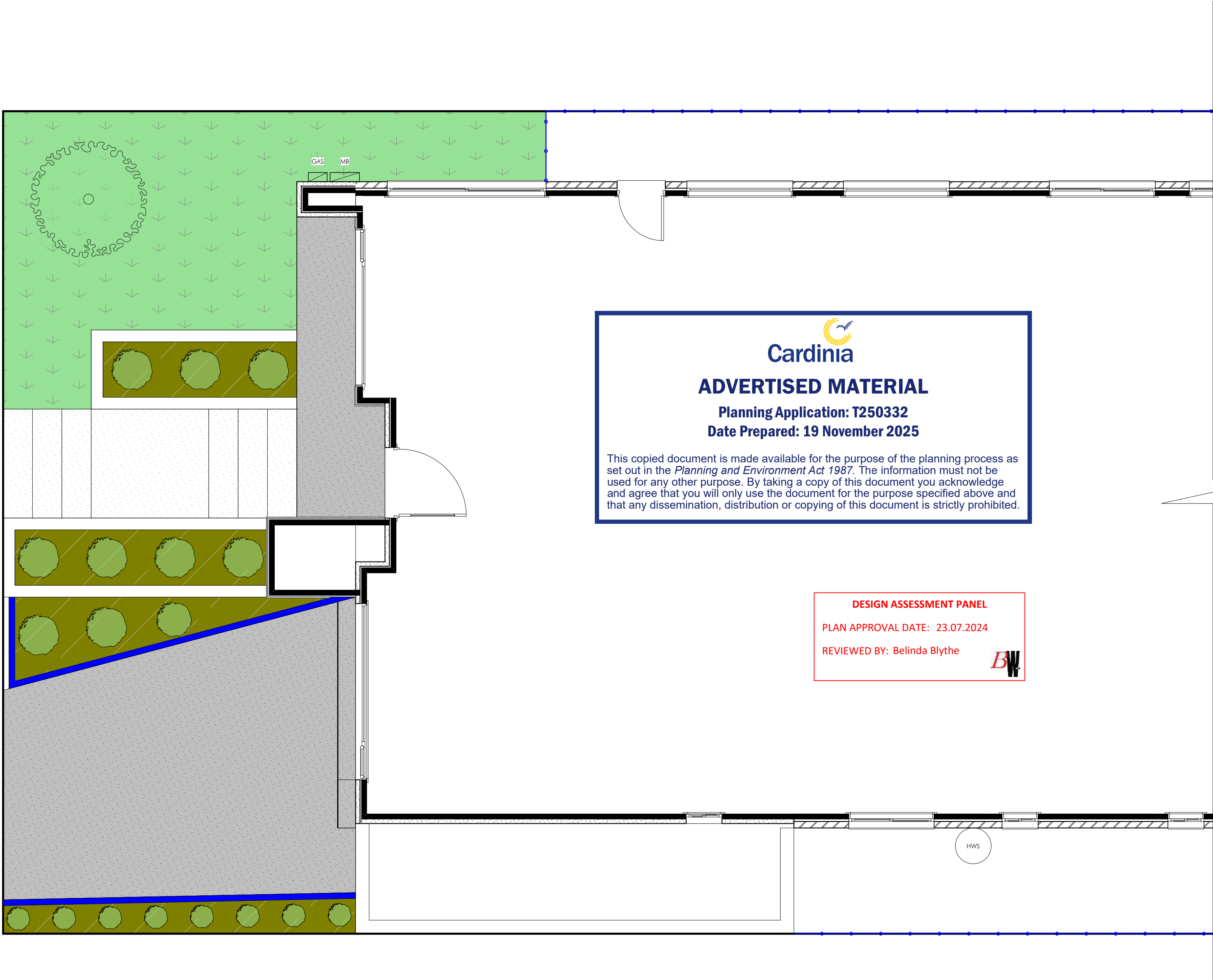


DRAWING NO. A202

LEGEND

- TIMBER SLEEPER RETAINING WALL
- NATURAL TAN BARK (PERMEABLE)
IRRIGATION SYSTEM TO BE
INSTALLED TO ALL GARDEN BEDS
- EXPOSED AGGREGATE CONCRETE
(NON-PERMEABLE)
- SIR WALTER BUFFALO GRASS (PERMEABLE)

FRONT GARDEN AREA: 86.23m²
- SOFTSCAPE: 45.05m² (52.25%)
- HARDSCAPE: 41.18m² (47.75%)



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ADVERTISED MATERIAL
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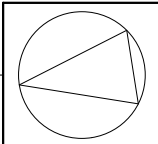
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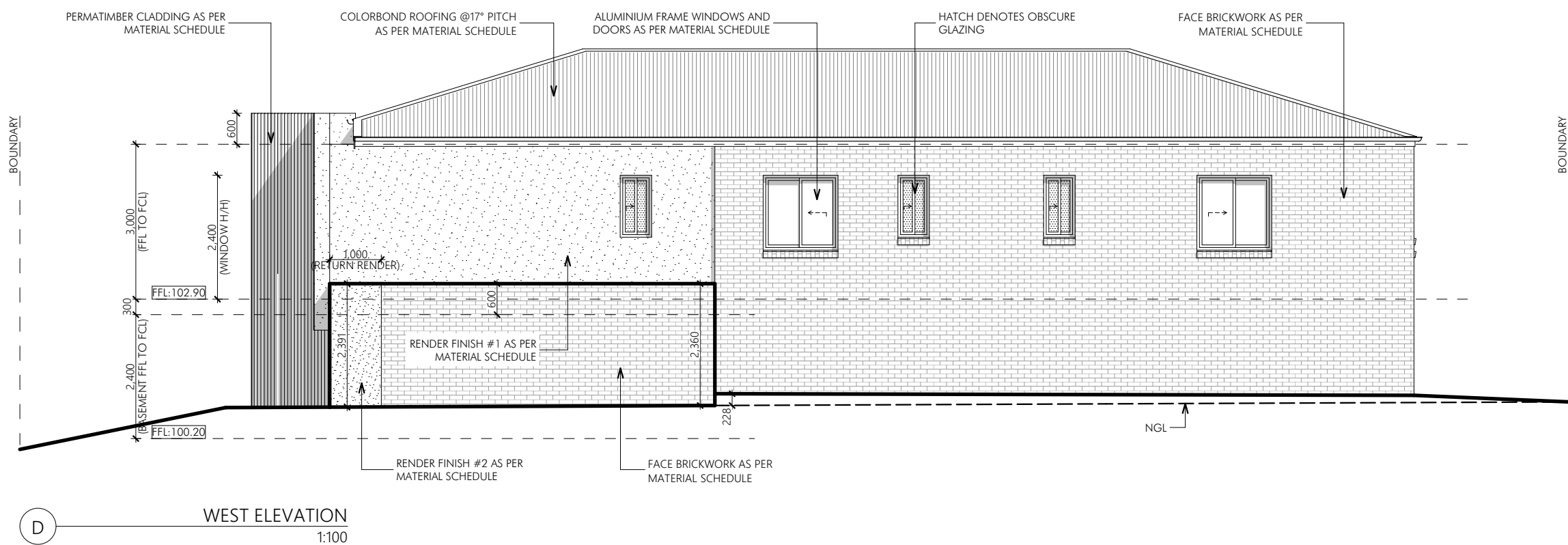
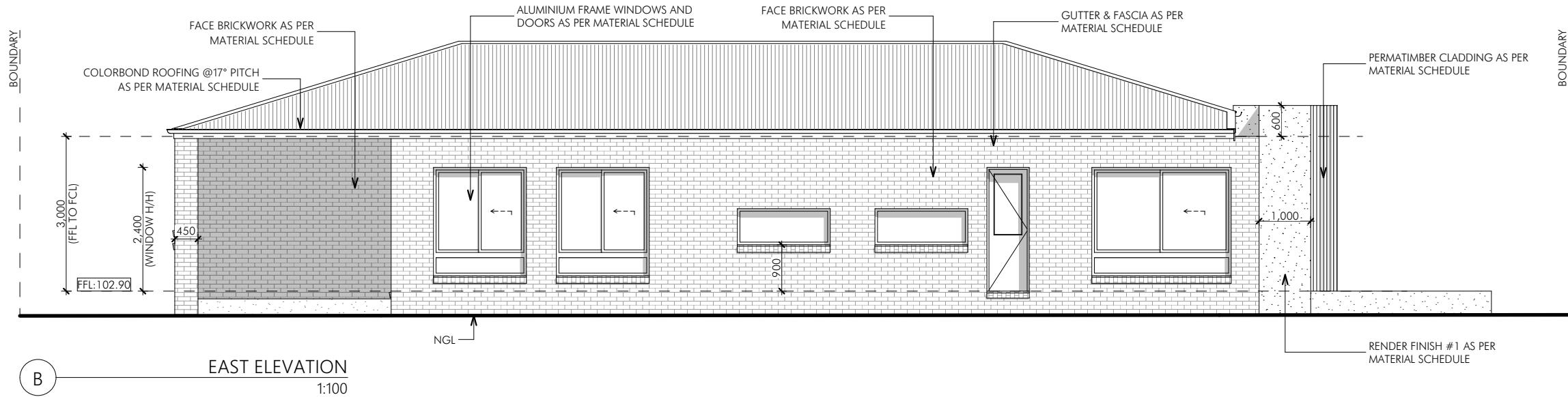
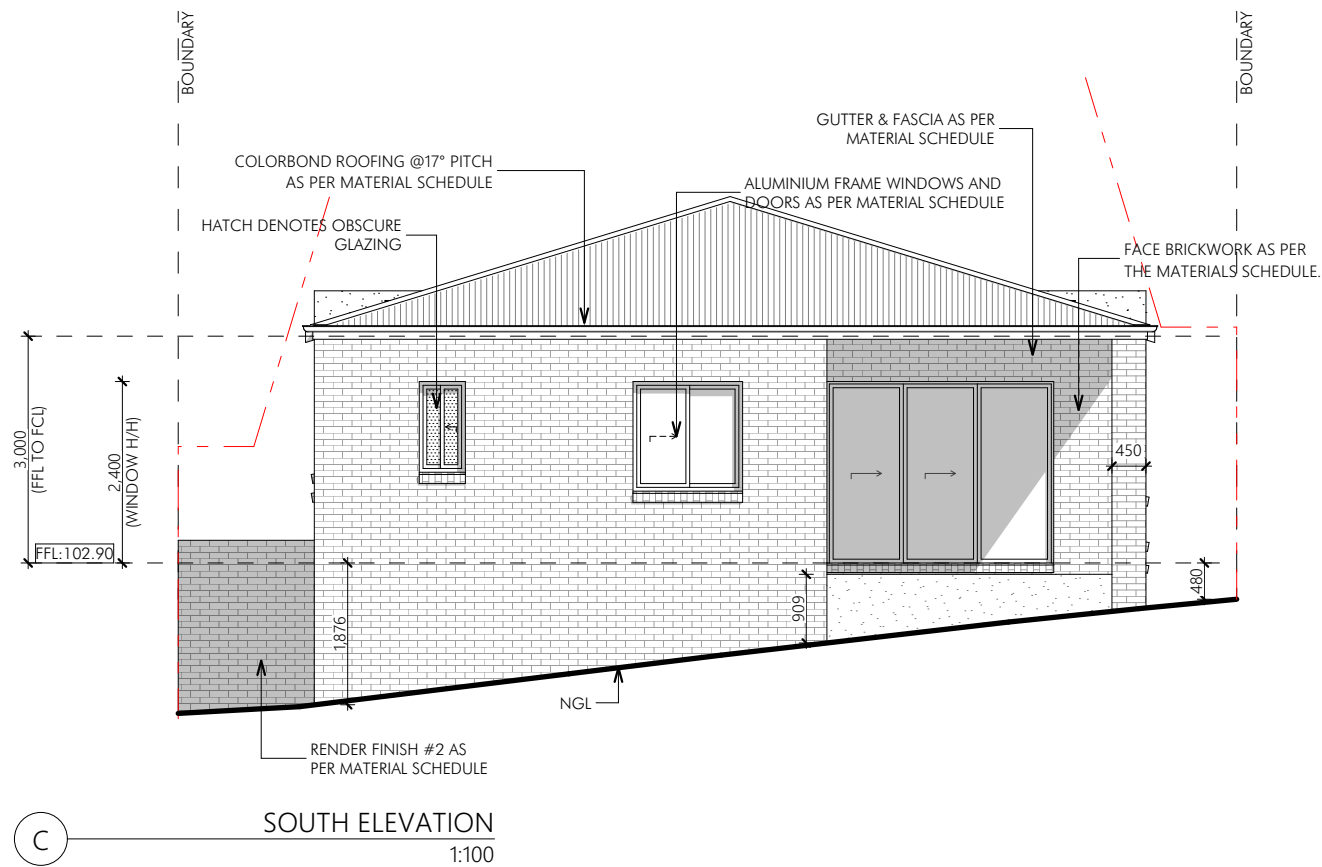
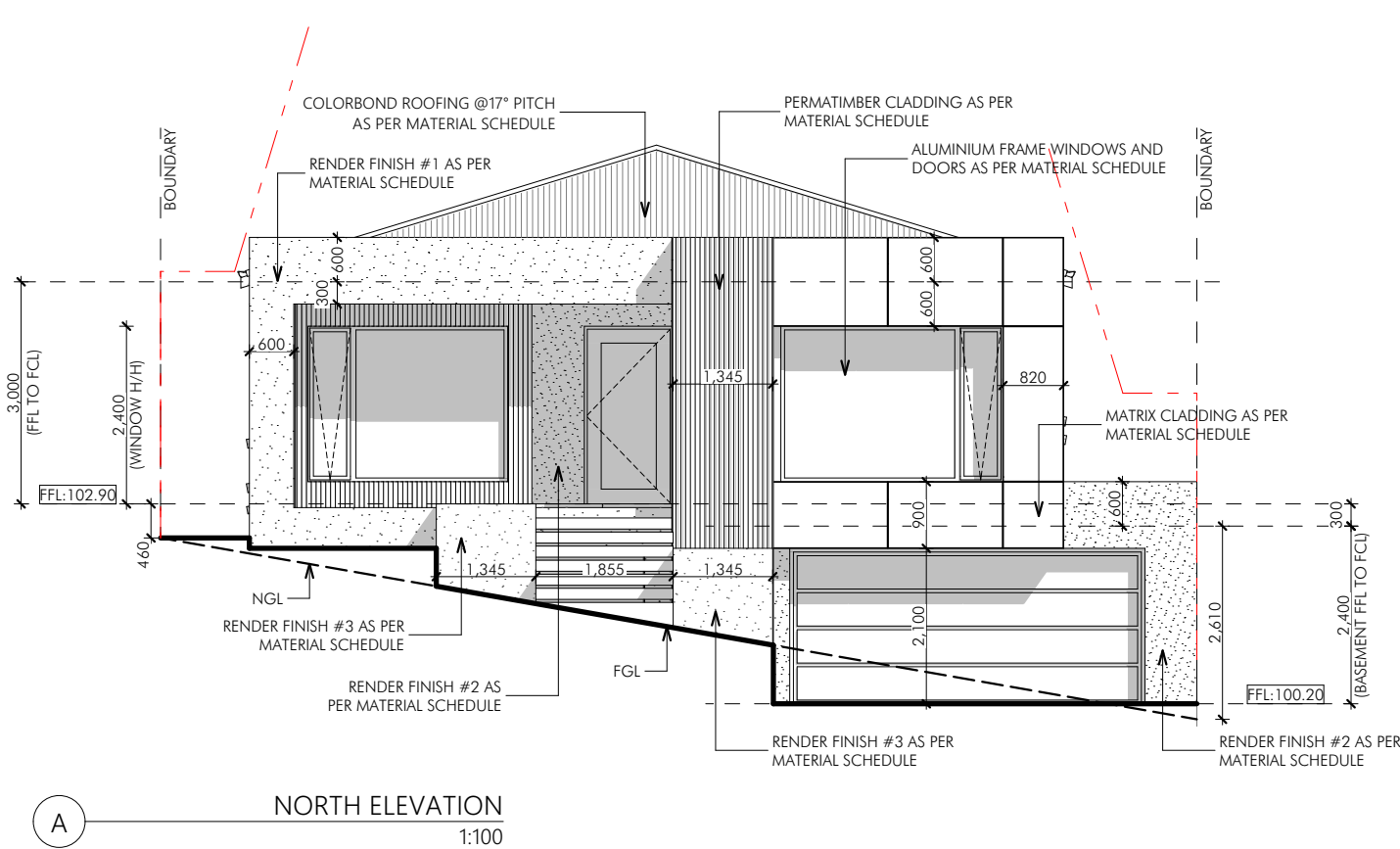
DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 23.07.2024
REVIEWED BY: Belinda Blythe **BW**

NOTE:
AT LEAST ONE CANOPY TREE MUST BE PROVIDED IN THE FRONT YARD

NOTE:
LIMIT THE AMOUNT OF HARD SURFACES AND UTILISE 'SOFT' COVERINGS SUCH AS GARDEN BEDS, SHRUBS, GROUND COVER AND TREES

NOTE:
LANDSCAPE ELEMENTS CAN ALSO HAVE FUNCTIONAL ASPECTS. CONSIDER USING FOLIAGE IN APPROPRIATE LOCATIONS AND HEIGHTS TO PROVIDE SCREENING TO WINDOWS AND OPENINGS





MATERIALS SCHEDULE

DESCRIPTION	COLOUR SAMPLE
BRICK WORK - 'TAWNY HERITAGE' BY SELKIRK OR SIMILAR	
PERMATIMBER CLADDING TO FACADE - 'TASMANIAN OAK' FINISH	
RENDER FINISH #1 - 'VIVID WHITE' FINISH BY COLORBOND	
RENDER FINISH #2 - 'MONUMENT' FINISH BY COLORBOND	
RENDER FINISH #3 - 'SURFMIST' FINISH BY COLORBOND	
JAMES HARDIE MATRIX 'WHITE' FINISH	
ENTRY DOOR - 'MONUMENT' FINISH BY COLORBOND OR SIMILAR	
GARAGE PANEL LIFT DOOR - 'MONUMENT' FINISH	
ALUMINIUM FRAMED WINDOW & DOORS - 'MONUMENT' FINISH BY COLORBOND OR SIMILAR	
COLORBOND ROOFING - 'CHARCOAL' FINISH BY COLORBOND OR SIMILAR	
FASCIA & GUTTER - 'CHARCOAL' FINISH BY COLORBOND OR SIMILAR	
CONCRETE AGGREGATE - 'CHARCOAL' FINISH OR SIMILAR	

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BW



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SITE ADDRESS

LOT 119 SCENIC RISE,
PAKENHAM

PROPOSAL

SINGLE STOREY DWELLING &
BASEMENT
FOR RS CABINETS

ELEVATIONS

DRAWING DETAILS

22/07/2024

1:100 @ A3

Z.K

DRAWING NO.

A300

Geotechnical Investigation

DATE: 20.05.24

INVESTIGATION DATE: 08.05.24

JOB No: 21744

SITE ADDRESS: Lot 119 Scenic Rise
Pakenham

CLIENT: PDStudio

SITE CLASSIFICATION: "P"

Due to non-sand fill in excess of 400 mm.

This site has been classified in accordance with AS2870-2011, Section 2.

ABH Soil Testing & Surveying



Andrew Ryan
BE (Civil)



1.0 INTRODUCTION

ABH Soil Testing & Surveying has been engaged to assess the subsurface conditions at the site address mentioned above, with a view to report on the Site Classification and Footing Recommendations for a proposed single/double storey articulated brick veneer dwelling to be constructed on this property.

2.0 FIELDWORK

The fieldwork consisted of the drilling of **Three (3)** boreholes by means of a **Mechanical Auger** to the depths indicated in the borehole logs. The relatively disturbed cores obtained were logged and then classified in accordance with AS2870-2011. Full details of the observed soil profile have been recorded in the borehole logs.

Additional site features such as slope, trees, and existing buildings (if present) have been presented on the site plan. In addition, the site plan shows the locations of the boreholes.

3.0 GEOLOGY

The Geological Survey Maps show the site to be underlain by **QUATERNARY aged ALLUVIAL deposits**. The geology in this region usually consists of moderately-highly reactive clays which have a moderate-high potential to shrink or swell depending on changes in moisture.

4.0 SITE CLASSIFICATION

The site is classified **“P”** in accordance with AS2870-2011 (Section 2), which represents a **PROBLEM** site. The site is a problem site due to:

- Non-sand fill in excess of 400 mm in depth on this site



The designing engineer should recognise that the reactivity of the site is equivalent to a site classification of **“H1”**.

This site classification is based on the proposed construction outlined in the introduction, the plans supplied by the client, and the site conditions at the time of the investigation. Should any of these elements alter prior to construction, this report must be reviewed and further investigation may be required.

5.0 FOOTING RECOMMENDATIONS

OVERVIEW

There was found to be 400 - 900 mm of fill on this site. It is therefore recommended that the adopted footing system be deepened. This will likely require fully suspending the footings by means of bored concrete piers. The requirement for piers will depend on the extent of cut and fill works, the location and depth of the fill, and finished floor levels.

If the existing fill on site is **“Controlled Fill”** in accordance with AS2870-2011 Cl.6.4.2 (a), a **“slab-on-fill”** design may be adopted where the slab footings are founded entirely on the existing fill material. However, this office must undertake an assessment of the fill or be supplied with a suitable compaction report to utilise this design approach.

BORED PIERS:

Bored piers may be required for the purpose of designing for; abnormal moisture conditions, building near an easement, or building on fill. If bored piers are used as part of the design, bored piers of 450 mm diameter should be founded a minimum of **600 mm** into the **SILTY CLAY**. At this depth, an allowable end bearing pressure of **250 kPa** may be assumed. WEATHERED ROCK may be encountered at these depths which is also a suitable founding material for bored piers.

It should be noted that this recommended founding depth is a minimum depth for achieving a sufficient bearing capacity only. The designing engineer may adopt much greater depths due to the potential factors mentioned above.

The scope of this investigation is limited to drilling to the depths shown in the borehole logs – if deepened footings are required, further testing may be necessary to determine the type of soil and/or rock beyond the depths reached in this investigation.

5.1 WAFFLE RAFT

A waffle footing system suitable to a site classification of **“H1”** (385 mm overall depth, 300 mm boxes, 85 mm slab thickness) may be appropriate for an articulated brick veneer dwelling on this site. **The waffle raft should be fully supported by means of bored concrete piers.**

For single storey construction, the location of piers and reinforcement is to be in accordance with AS2870-2011 Cl. 3.4.5.

For double-storey construction, the location and spacing of piers, reinforcement is to be determined during design by a qualified engineer.

5.1.1 Construction Techniques

The following construction techniques shall in general be followed in constructing the waffle raft:

1. Scrape a minimum depth of 100 mm and remove vegetation and roots off the building area.
2. Cut site to form a level bench.
3. Place the layer of quarry product over the building area which shall extend at least 1.0m outside the building line.
4. Set up string lines, edge boards and formwork.
5. Plumber shall lay waste pipes below ground surface at minimum grade. Risers are to be staked firmly.
6. Prepare waffle raft within formwork in accordance with the footing plan and details. Use minimum of 0.2 mm approved plastic membrane under waffle pods & ribs. Waffle pods shall be cut and taped around plumbing pipes.

Proper site drainage is very important in reactive sites such as this site. It is therefore recommended that the ground surface immediately next to the perimeter footings be graded away at approximately 1:50 within at least 1500 mm. A concrete path around the perimeter of the slab is further recommended.



5.2 STIFFENED RAFT SLAB

A stiffened raft footing system suitable to a class "H1" classification may be appropriate for this site. Refer to AS 2870-2011 Fig. 3.1. **The stiffened raft slab should be fully supported by means of bored concrete piers.**

Edge and internal beams should be suspended by bored concrete piers with the following recommended founding depths.

Note: The following recommended founding depths are for bored piers as per the recommendations in section 5.0 of this report.

Borehole No	Minimum Founding Depth for Slab Edge Beams & Heavily Loaded Internal Beams (mm) (BORED PIERS)	Founding Material	Allowable Bearing Capacity (kPa) *
1	1500	SILTY CLAY / WEATHERED ROCK	250
2	1000	SILTY CLAY / WEATHERED ROCK	250
3	1500	SILTY CLAY / WEATHERED ROCK	250

* Higher bearing capacities may be available at greater depths – refer to borehole logs.

6.0 CONSTRUCTION TECHNIQUES / ISSUES

6.1 GENERAL

- The presence of groundwater with surface soils may lead to construction difficulties during wet winter and spring months.
- Surface filling or natural sands may cause collapse of side of excavations.
- Any filling placed across the site to assist in levelling prior to slab construction should conform with requirements for either "Controlled or Rolled fill" as outlined in clause 6.4.2 AS 2870-2011.
- Scrape a minimum depth of **100 mm** unless otherwise specified and remove vegetation and roots from the building area.
- Plumber shall lay waste pipes below ground surface at minimum grade. Risers are to be staked firmly.
- Care shall be taken with surface drainage of the allotment from the start of construction and the site must be well drained so that water cannot pond beside or adjacent to footings. The drainage system shall be completed by the finish of construction of the house in accordance with AS2870-2011 Clause 5.6.3.

6.2 SITE SPECIFIC

- Due to the slope of this site it is likely significant excavations will be undertaken to achieve a level site. As a result, the founding material may differ across the site. The designing engineer should take into account the effect of differential movement as a result of differing founding materials.
- This site contains between 400 - 800 mm of fill - depending on cut and fill works, and the adopted footing system, footings may need to be deepened in areas where the fill exceeds 300 mm and/or does not meet the requirements outlined in AS2870-2011 Cl. 6.4.2.
- This site contains a retaining wall along the western boundary. The designing engineer should check whether this retaining wall can support any additional loading which it may be subject to due to the dwelling to be constructed on this site.
- Trees may be planted on this property's nature strip. With future growth, these trees may create abnormal moisture conditions as defined in AS 2870-2011, Clause 1.3.3. The designing engineer may be required to make provisions for an effective root barrier and/or deepening/stiffening of the footings to compensate the potential ground movements caused by the trees. For more detail on the potential impact these trees may have (if planted) with future growth, it is recommended an Arborist is engaged to undertake an assessment.

7.0 ARTICULATION OF BUILDINGS

Amongst others, foundation movement may be a cause of visible cracks in buildings. It is therefore important to ensure flexibility of the structure by providing full height openings (doors and corridors) or construction joints at suitable spacings.

Brickwork should be in accordance with industry guidelines and articulation of masonry walls should be provided as per details contained in the "Cement & Concrete Association-TN61. However, construction joints should also be incorporated for buildings on other sites, particularly at locations where changes in foundation materials occur.

8.0 FOUNDATION MAINTENANCE

The footing recommendations outlined in section 5.0 assume that aspects of site drainage, paving and landscaping are taken into consideration and implemented in accordance with CSIRO Building Technology File, BTF 18 "Foundation Maintenance and Footing Performance: A Homeowner's Guide". The agent of the homeowner (builders, designers or any person(s) acting on behalf of the homeowner) should ensure that the rightful owner of the property (as registered on the Certificate of Title) receives a copy of this document.

AS2870-2011 embraces the philosophy that optimum performance of rational and economical footing designs can only be achieved with the co-operation of informed owners who pay attention to maintaining a stable condition of the foundation soils as recommended in the above referenced CSIRO Notes.

9.0 CONDITIONS OF USE OF THIS REPORT

9.1 COPYRIGHT

This Geotechnical Investigation report has been prepared expressly for the client for the sole purpose of constructing the building described in the plans and specifications. This report is copyright to ABH Soil Testing & Surveying. No part of this report including the whole or same shall be used for any other purpose or by any third party without the prior written consent of ABH Soil Testing & Surveying.

The *client* is defined as the person or persons named in this report or the person or persons for whom the named building company is acting as agent.

9.2 REPORT LIMITATIONS

- The recommendations made in this report may need to be reviewed should any site works disturb any soil 200 mm below the proposed founding depth.
- The descriptions of the soils encountered in the boreholes closely follow those outlined in AS1726-1993; Geotechnical Site Investigations. Colour descriptions can vary with soil moisture content and individual interpretation. It should be noted that colour and shade descriptions outlined in this report are made when the soil is in a moist condition, colour alone should not be used to identify soils.
- If there is any doubt in relation to the depth of fill, founding material and bearing capacity of such, the owner, builder or Engineer must contact ABH Soil Testing & Surveying for a site inspection prior to any footing being poured. The owner/builder will be responsible for any fees associated with this additional work.
- This report assumes that the soil profile observed in the boreholes is representative of the entire site. If the soil profile and site conditions appear to differ substantially from those reported, ABH Soil Testing & Surveying should be contacted immediately and this report may need to be reviewed and revised if necessary.
- It is expected that all relevant information regarding the site, for example previous filling, old water courses etc, has been investigated by the client and this information has been supplied to ABH, even if it is after the report has been written. Consequently, ABH Soil Testing & Surveying reserves the right to amend the initial report on receipt of supplementary and relevant information. In the event of an amended report for such reasons, ABH Soil Testing & Surveying will not accept responsibility for any financial loss consequential or otherwise.



- The user of this report must take into account that soil and fill depths are given to a tolerance of +/- 200 mm.
- Whilst every effort is made to identify fill material across the site, the difficulties in determining fill material when utilising a small diameter auger, which is standard geotechnical practice, must be understood and accepted. Consequently ABH Soil Testing & Surveying emphasises again that we will not be responsible for any financial losses, consequently or otherwise, that may occur as a result of not accurately determining the depth of fill across the site.

9.3 LOSS OR DAMAGES

Subject to the limitations of this report as expressed in Section 9.2, ABH Soil Testing & Surveying will not accept liability for loss or damage from any activity undertaken based on the recommendations. Should a more detailed geotechnical assessment be required, ABH Soil Testing & Surveying can provide such a report. Please contact ABH Soil Testing & Surveying to discuss this further.

9.4 VARIATIONS FROM THIS REPORT

It is neither economically feasible nor practical to determine every subsurface feature on the site. Studies have shown that a large number of boreholes leads to only a slight increase in probability of detecting hidden site features (such as a filled well or cellar) in the foundation soils. As such, any variations, or discrepancies in soil type, colour, or horizon depth must be reported to the Engineer immediately so that their potential influence on the footings may be assessed.



10.0 BOREHOLE LOGS

 PO Box 308 Keilor VIC 3036 P: 03 9336 3545 E: info@abhsoil.com.au				Site Address: Lot 119 Scenic Rise Pakenham		Date: 08.05.24	Job No: 21744		
Borehole No. 1				Borehole No. 2					
Depth (mm)	Horiz.	Description	Q _a (kPa)	Depth (mm)	Horiz.	Description	Q _a (kPa)		
0		FILL (TOPSOIL) – CLAYEY SILT, moist, grey, moderately compacted.		0		FILL (TOPSOIL) – CLAYEY SILT, moist, grey, moderately compacted.			
100									
200									
300									
400									
500		FILL – SILTY CLAY, SILT, moist, brown-grey, moderately compacted.		500		SILTY CLAY (CI) – moist, medium-high strength, brown-white-orange, very stiff, medium plasticity.	100		
600									
700									
800									
900									
1000		SILTY CLAY (CI) – moist, medium-high strength, brown-white-orange, very stiff, medium plasticity.	100	1000		WEATHERED ROCK – slightly moist, high strength, light brown-yellow, hard-friable.	300		
1100									
1200									
1300									
1400									
1500									
1600									
1700									
1800									
1900									
2000		WEATHERED ROCK – slightly moist, high strength, light brown-yellow, hard-friable.	300	2000		Refusal on Hard Weathered Rock			
2100				End of Borehole – No Refusal				2100	
2200								2200	
Borehole No. 3				 ADVERTISED MATERIAL Planning Application: T250332 Date Prepared: 19 November 2025 This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.					
Depth (mm)	Horiz.	Description	Q _a (kPa)						
0		FILL (TOPSOIL) – CLAYEY SILT, moist, grey, moderately compacted.							
100									
200									
300									
400									
500		FILL – SILTY CLAY, SILT, moist, brown-grey, moderately compacted.							
600									
700									
800									
900									
1000		SILTY CLAY (CI) – moist, medium-high strength, brown-white-orange, very stiff, medium plasticity.	100						
1100									
1200									
1300									
1400									
1500									
1600									
1700									
1800									
1900									
2000		End of Borehole – No Refusal							
2100									
2200									

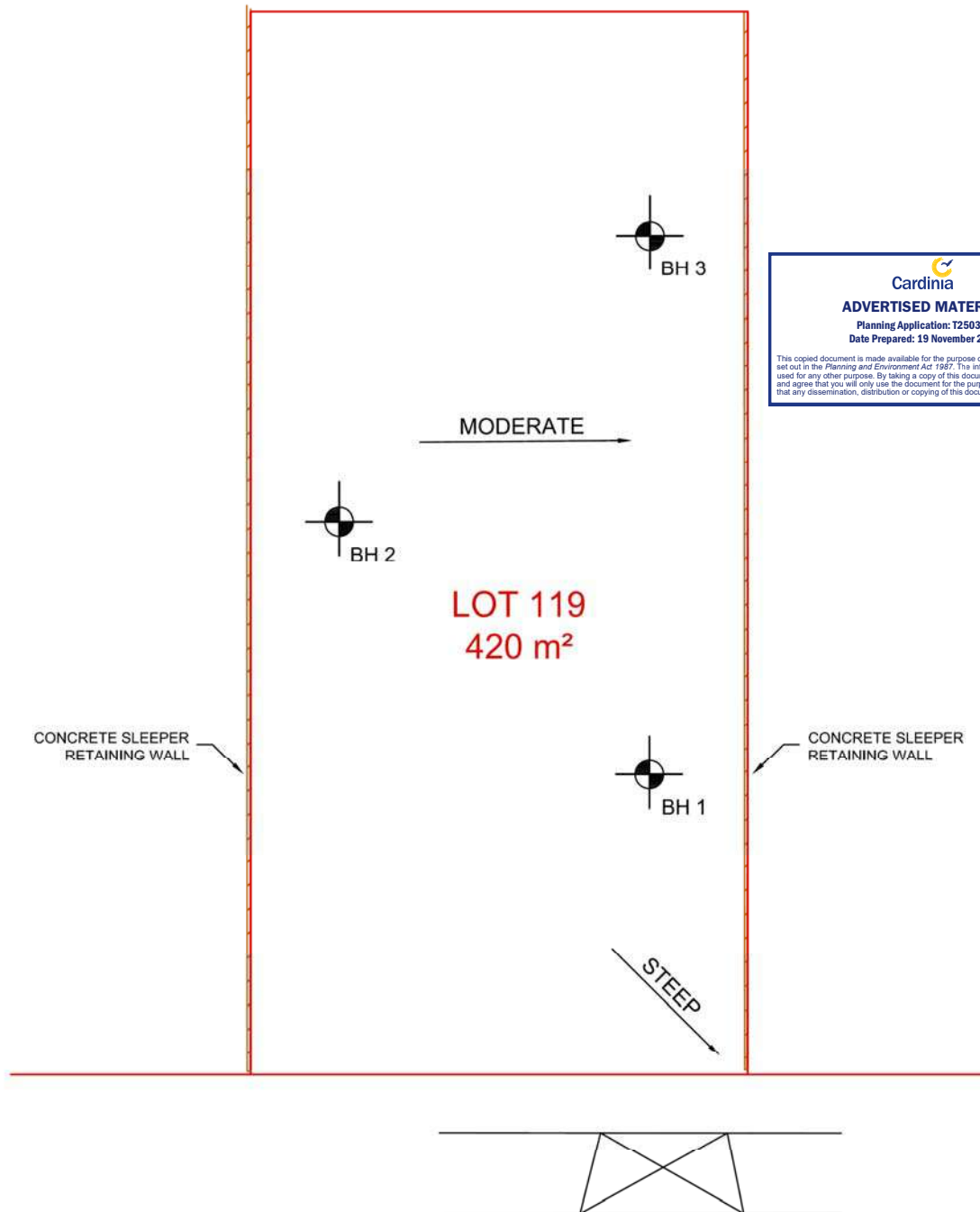


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11.0 SITE PLAN**NOTES:**

- Site Plan is not to scale
- Locations of trees are approximate – refer to a feature survey plan for an accurate location
- Tree heights and canopies are approximate – a full tree survey is required for an accurate assessment
- For accurate tree type/species, an Arborist should be engaged.
- Borehole locations are approximate



Cardinia
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 Planning Application: T250332
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SCENIC RISE



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