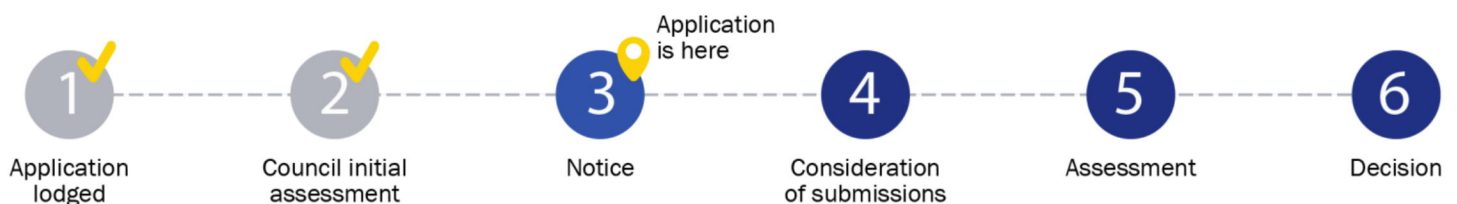


# Notice of Application for a Planning Permit

|                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| The land affected by the application is located at:                                                                                                                                                                                                                                                                                                                                                                                                      | L3 PS500074<br>215 School Road, Bayles VIC 3981                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| The application is for a permit to:                                                                                                                                                                                                                                                                                                                                                                                                                      | Buildings and Works (Construction of an Agricultural Shed)                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| A permit is required under the following clauses of the planning scheme:                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 35.03-4                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Construct a building within nominated setbacks,                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 44.04-2                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Construct a building or construct or carry out works                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>APPLICATION DETAILS</b>                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| The applicant for the permit is:                                                                                                                                                                                                                                                                                                                                                                                                                         | [REDACTED]                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| Application number:                                                                                                                                                                                                                                                                                                                                                                                                                                      | T250415                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.</p> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>HOW CAN I MAKE A SUBMISSION?</b>                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>05 December 2025</b>                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>WHAT ARE MY OPTIONS?</b><br>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.<br>If you object, the Responsible Authority will notify you of the decision when it is issued.                                                                                                                                                                                            | <p>An objection must:</p> <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul> <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p> |





Planning Enquiries  
Phone: 1300 787 624  
Web: [www.cardinia.vic.gov.au](http://www.cardinia.vic.gov.au)

Clear Form

## Office Use Only

Application No.:

Date Lodged: / /

# Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

**Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.**

**Questions marked with an asterisk (\*) must be completed.**

**If the space provided on the form is insufficient, attach a separate sheet.**

**Click for further information.**

## The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

### Street Address \*

|                         |              |                       |
|-------------------------|--------------|-----------------------|
| Unit No.:               | St. No.: 215 | St. Name: School Road |
| Suburb/Locality: BAYLES |              | Postcode: 3981        |

### Formal Land Description \*

Complete either A or B.

**This information can be found on the certificate of title.**

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

|                       |                      |                                   |                                  |                                           |              |
|-----------------------|----------------------|-----------------------------------|----------------------------------|-------------------------------------------|--------------|
| A                     | Lot No.:             | <input type="radio"/> Lodged Plan | <input type="radio"/> Title Plan | <input type="radio"/> Plan of Subdivision | No.: 500074H |
| OR                    |                      |                                   |                                  |                                           |              |
| B                     | Crown Allotment No.: | Section No.:                      |                                  |                                           |              |
| Parish/Township Name: |                      |                                   |                                  |                                           |              |

## The Proposal

**You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.**

**For what use, development or other matter do you require a permit? \***

Development of land for the construction of a replacement agricultural outbuilding (shed), including an increase in size from 20m x 6m to 20m x 12m, and associated works

Cardinia  
**ADVERTISED MATERIAL**  
Planning Application: T250415  
Date Prepared: 19 November 2025

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**Estimated cost of any development for which the permit is required \***

Cost \$ 32,000.00

**You may be required to verify this estimate. Insert '0' if no development is proposed.**

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for information.

## Existing Conditions

### Describe how the land is used and developed now \*

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Single Dwelling and outbuildings

 Provide a plan of the existing conditions. Photos are also helpful.

## Title Information

### Encumbrances on title \*

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☐ No
- ☒ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

## Applicant and Owner Details

Provide details of the applicant and the owner of the land.

### Applicant \*

The person who wants the permit.

Please provide at least one contact phone number \*

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

### Contact person's details\*

Same as applicant ☒

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

### Owner \*

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

## Declaration

This form must be signed by the applicant \*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

information in this application is true and notified of the permit application.

Date: 12/7/25

day / month / year

## Need help with the Application?

General information about the planning process is available at [planning.vic.gov.au](http://planning.vic.gov.au)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

☐

No

☐

Yes

If 'Yes', with whom?:

Date:

day / month / year

## Checklist

Have you:

☐

Filled in the form completely?

☐

Paid or included the application fee?



Most applications require a fee to be paid. Contact Council to determine the appropriate fee.



Provided all necessary supporting information and documents?

☐

A full, current copy of title information for each individual parcel of land forming the subject site.

☐

A plan of existing conditions.

☐

Plans showing the layout and details of the proposal.

☐

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

☐

If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

☐

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

☐

Completed the relevant council planning permit checklist?

☐

Signed the declaration?



### ADVERTISED MATERIAL

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Date Prepared: 19 November 2025

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## Lodgement

Lodge the completed and signed form, the fee and all documents with:

Cardinia Shire Council  
PO Box 7  
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

### Contact information:

Telephone: 1300 787 624

Email: [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

DX: 81006

Deliver application in person, by post or by electronic lodgement.

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 10658 FOLIO 998

Security no : 124125380027Q  
Produced 17/06/2025 07:37 AM

### LAND DESCRIPTION

Lot 3 on Plan of Subdivision 500074H.

PARENT TITLES :

Volume 08780 Folio 489 to Volume 08780 Folio 490

Volume 09832 Folio 119

Created by instrument PS500074H 01/07/2002

### REGISTERED PROPRIETOR

  
**ADVERTISED MATERIAL**  
Planning Application: T250415  
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### ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AZ199884D 29/05/2025  
HERITAGE AND PEOPLE'S CHOICE LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE PS500074H FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

| NUMBER        |                       | STATUS     | DATE       |
|---------------|-----------------------|------------|------------|
| AZ199883F (E) | DISCHARGE OF MORTGAGE | Registered | 29/05/2025 |
| AZ199884D (E) | MORTGAGE              | Registered | 29/05/2025 |

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 215 SCHOOL ROAD BAYLES VIC 3981

### ADMINISTRATIVE NOTICES

NIL

eCT Control 25280Y HERITAGE BANK  
Effective from 29/05/2025

DOCUMENT END

# Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

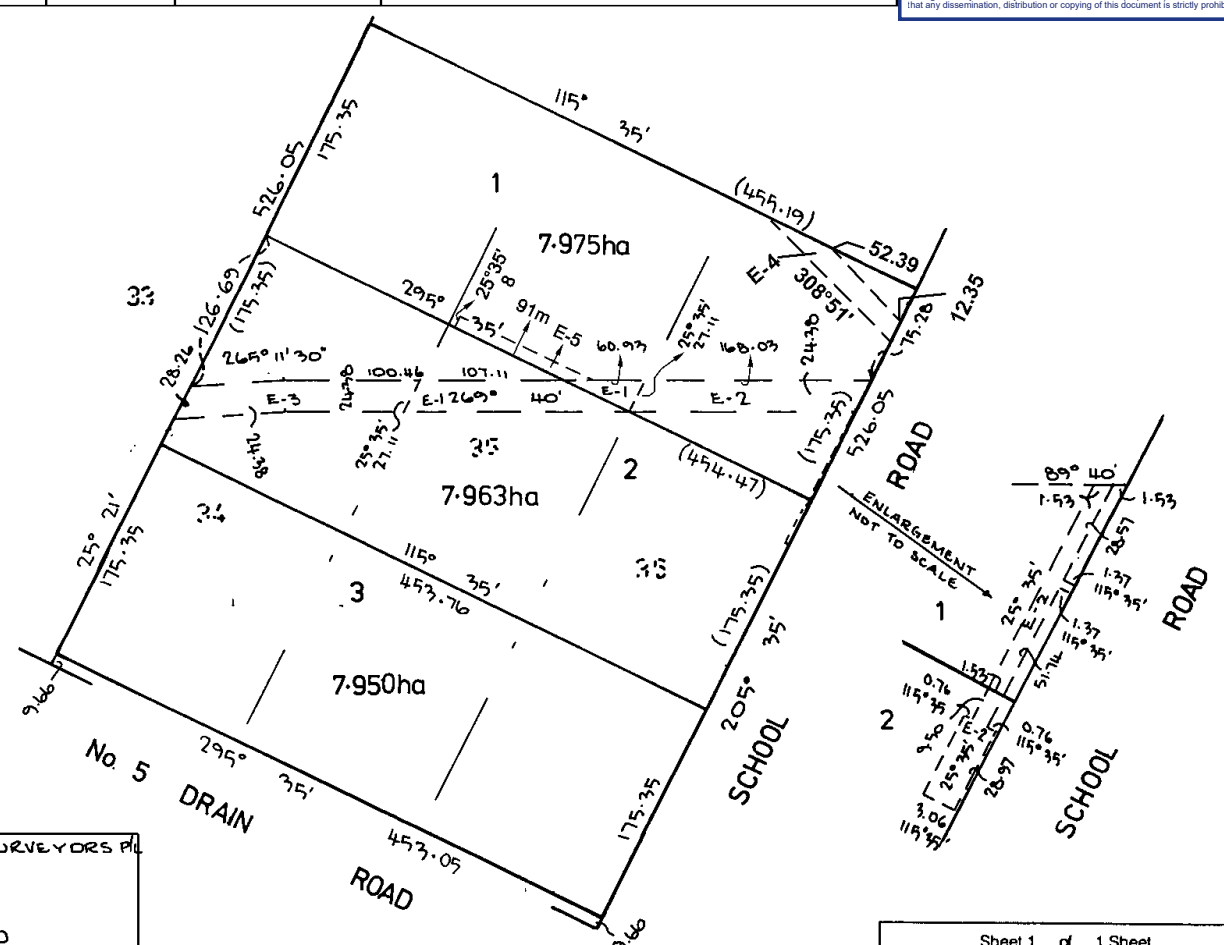
|                                                 |                         |
|-------------------------------------------------|-------------------------|
| Document Type                                   | <b>Plan</b>             |
| Document Identification                         | <b>PS500074H</b>        |
| Number of Pages<br>(excluding this cover sheet) | <b>2</b>                |
| Document Assembled                              | <b>17/06/2025 07:37</b> |

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The document is invalid if this cover sheet is removed or altered.



| PLAN OF SUBDIVISION                                                                                                                                                                                                                                                                                                                                                                                              |              |                                           | STAGE No.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | LTO USE ONLY<br><b>EDITION 3</b> | PLAN NUMBER<br><b>PS 500074H</b>       |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|-------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|----------------------------------------|
| <b>LOCATION OF LAND</b><br>PARISH: Yallock<br>TOWNSHIP: —<br>SECTION: —<br>CROWN ALLOTMENT: 34, 35, & 36<br>CROWN PORTION: —<br><br>LTO BASE RECORD: DCMB<br>TITLE REFERENCES: Vol. 9232 Fol. 119<br>VOL FOL Vol. 8780 Fol. 1489<br>LAST PLAN REFERENCE: Vol. 8780 Fol. 490<br><br>POSTAL ADDRESS: 275 No. 5 Drain Road<br>AMG Co-ordinates BAYLES<br>N 5771150 ZONE: 55<br>(of approx. centre of plan) E 375200 |              |                                           | <b>COUNCIL CERTIFICATION AND ENDORSEMENT</b><br>COUNCIL NAME: <i>CARDINA</i> REF: <i>S02/024</i><br>1. This plan is certified under section 6 of the Subdivision Act 1988<br>2. <del>This plan is certified under section 11(7) of the Subdivision Act 1988</del><br><del>Date of original certification under section 6</del> / /<br>3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.<br>OPEN SPACE<br>(i) A requirement for public open space under section 18 of the Subdivision Act 1988 <del>has</del> has not been made.<br>(ii) <del>The requirement has been satisfied.</del><br>(iii) <del>The requirement is to be satisfied in Stage</del> .....<br><br>Council Delegate<br><del>Council Seal</del><br>Date <i>26/3/02</i><br><del>Re-certified under section 11(7) of the Subdivision Act 1988</del><br><del>Council Delegate</del><br><del>Council Seal</del><br><del>Date</del> / / |                                  |                                        |
| <b>VESTING OF ROADS OR RESERVES</b>                                                                                                                                                                                                                                                                                                                                                                              |              |                                           | LTO USE ONLY<br>STATEMENT OF COMPLIANCE/<br>EXEMPTION STATEMENT<br>RECEIVED <input checked="" type="checkbox"/> DATE: <i>11/6/02</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                  |                                        |
| IDENTIFIER COUNCIL/BODY/PERSON                                                                                                                                                                                                                                                                                                                                                                                   |              |                                           | LTO USE ONLY<br>PLAN REGISTERED<br>TIME <i>3.23pm</i><br>DATE <i>1/7/02</i><br><br>Assistant Registrar of Titles                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                  |                                        |
| Nil. Nil.                                                                                                                                                                                                                                                                                                                                                                                                        |              |                                           | <b>NOTATIONS</b><br>DEPTH LIMITATION: 15.24<br>STAGING:<br>This is/is not a staged subdivision.<br>Planning Permit No. <i>T010647</i><br>SURVEY:<br>This plan is/is not based on survey.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                  |                                        |
| <b>EASEMENT INFORMATION</b>                                                                                                                                                                                                                                                                                                                                                                                      |              |                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                  |                                        |
| LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)                                                                                                                                                                                                                                                                                                                         |              |                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                  |                                        |
| Easement Reference                                                                                                                                                                                                                                                                                                                                                                                               | Purpose      | Width (Metres)                            | Origin                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Land Benefitted/In Favour Of     |                                        |
| E-1                                                                                                                                                                                                                                                                                                                                                                                                              | Pipeline     | See Plan                                  | C/E D 386 325                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Esso Exploration & Production    |                                        |
| E-2                                                                                                                                                                                                                                                                                                                                                                                                              | Pipeline     | "                                         | C/E D 386 327                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Australia Inc. and Hamatite      |                                        |
| E-3                                                                                                                                                                                                                                                                                                                                                                                                              | Pipeline     | "                                         | C/E D 377 142                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Petroleum Pty. Ltd.              |                                        |
| E-4                                                                                                                                                                                                                                                                                                                                                                                                              | Pipeline     | 20                                        | AC241619S                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Lot 1 on LP89200                 |                                        |
| E-5                                                                                                                                                                                                                                                                                                                                                                                                              | OIL PIPELINE | 8                                         | AM098036B                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | ESSO AUSTRALIA RESOURCES PTY LTD |                                        |
|                                                                                                                                                                                                                                                                                                                              |              |                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                  |                                        |
| NOBELIUS LAND SURVEYORS PT.<br>P.O. BOX 4401<br>PAKENHAM 3810<br>PHONE 59414112<br>FAX 59414330                                                                                                                                                                                                                                                                                                                  |              |                                           | Sheet 1 of 1 Sheet                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                  |                                        |
| SCALE<br>40 0 50 100 150 200<br>LENGTHS ARE IN METRES                                                                                                                                                                                                                                                                                                                                                            |              | ORIGINAL<br>SCALE SHEET SIZE<br>1:4000 A3 | LICENSED SURVEYOR (PRINT) <i>R. P. NOBELIUS</i><br>SIGNATURE ..... DATE / /<br>REF <i>B 3239</i> VERSION A                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                  | DATE / /<br>COUNCIL DELEGATE SIGNATURE |

**Cardina**  
ADVERTISED MATERIAL  
Planning Application: T250415  
Date Prepared: 19 November 2025

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# Planning Permit

Development of land for the construction of a replacement agricultural outbuilding (shed), including an increase in size from 20 m × 6 m to 20 m × 12 m, and associated works  
215 School Road. Bayles 3981



© Copyright

The report has been prepared by MASS Construction & Consulting for a planning permit application for the Cardinia Shire Council for the Replacement Agricultural outbuilding at 215 School Road, Bayles. Mass cc and its associates and representatives have taken all necessary precautions to the authenticity of this report based on supplied information and the current overlays. Mass CC will not be held accountable for any misinformation supplied to the company or its representatives at the time of completing the quotation application or plans. Furthermore the intellectual property contained within the associated documents remains the property of MASS Construction & Consulting.

Date:16<sup>th</sup> June 2025  
Project No: N20240333/25 DF

| Revision | Revision Description        | Date      | Authorised |
|----------|-----------------------------|-----------|------------|
| 1        | Town Planning DRAFT         | 16/6/2025 | DF/OK      |
| 2        | Town Planning amendment 2.2 | 18/8/2025 | DF         |
|          |                             |           |            |



**Cardinia**

**ADVERTISED MATERIAL**

Planning Application: T250415

Date Prepared: 19 November 2025

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## Planning Policy Summary

|                       |                                                                                                                                                                                                                         |
|-----------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Address               | Lot 3 215 School Road Bayles                                                                                                                                                                                            |
| Zoning                | GWZ                                                                                                                                                                                                                     |
| Overlays              | GREEN WEDGE ZONE (GWZ)<br>LAND SUBJECT TO INUNDATION OVERLAY (LSIO)                                                                                                                                                     |
| Particular Provisions | No particular provisions are triggered by the proposal, no Clause 52.17 no vegetation is affected. Clause 52.06 does not apply as the building is a non-habitable rural outbuilding and generates no car parking demand |
| Proposal              | Development of land for the construction of a replacement agricultural outbuilding (shed), including an increase in size from 20 m × 6 m to 20 m × 12 m, and associated works                                           |
| Total Lot Area        | 7.950 ha                                                                                                                                                                                                                |



### 1. Overview

A review of the Cardinia Planning Scheme provisions and a detailed inspection of the subject site and surrounding rural context have been undertaken in preparation of this assessment.

This written submission demonstrates that:

- The proposal meets the relevant objectives of the State and Local Planning Policy Frameworks, including the Municipal Strategic Statement; and
- The proposal complies with the purpose and decision guidelines of the Green Wedge Zone – Schedule 1 (GWZ1) and Clause 65.

It is submitted that the proposal provides an appropriate planning response to the opportunities and constraints of the land and broader rural setting. On this basis, the application warrants Council's support.

### 2. Site and Surrounds

#### 2.1. Subject site and Surrounds

The subject site is located approximately 2.4 kilometres south of the Bayles town centre and 6.58 kilometres from Koo Wee Rup. The parcel of land sits to the east of School Road in Bayles. It comprises a single allotment within the Green Wedge Zone (GWZ), with a total area of approximately [insert area] m<sup>2</sup> and a frontage of approximately 175 metres.

This part of Bayles is zoned Green Wedge (GWZ) and is surrounded by other GWZ allotments, consistent with the rural and agricultural character of the area.

## 2.2 Agricultural Use Statement

The subject land is currently used for agricultural purposes, specifically the keeping of horses **and the associated** storage of fodder, hay, equipment, horse floats, and general rural goods.

The proposed shed will not be used for accommodation or commercial purposes and is intended solely to support the ongoing rural use of the land.

In accordance with Clause 73.03 of the Cardinia Planning Scheme, the land use is most appropriately defined as:

*“Agriculture” – the use of land for animal keeping (including horses), whether or not for sale, use, or private purposes.*

The proposed shed is considered ancillary to this agricultural activity, and no change of land use is proposed as part of this application.

## 3. Proposal

This application seeks a planning permit for buildings and works to construct a replacement agricultural outbuilding (shed) at 215 School Road, Bayles. The proposed development includes the removal of the existing shed and the construction of a larger rural outbuilding to support the ongoing agricultural use of the land.

The subject land is zoned Green Wedge Zone – Schedule 1 (GWZ1) under the Cardinia Planning Scheme. The existing agricultural use does not require a planning permit; however, a permit is required under Clause 35.04-5 for buildings and works, and due to the presence of the Land Subject to Inundation Overlay (LSIO).

The proposed shed will be used for general farm storage purposes. It will not be used for accommodation or commercial activity. No vegetation removal is proposed, and no changes to access or car parking are required.

Development summary (m<sup>2</sup>):

- Existing shed (to be removed): 120 m<sup>2</sup> (20 m × 6 m)
- Proposed shed: 240 m<sup>2</sup> (20 m × 12 m)
- Proposed height: 3.6 m
- Concrete Floor

A copy of the site plan and floor plan is included in Attachment 2.



#### 4. Planning Policy Framework:

This application is consistent with the relevant provisions of the State Planning Policy Framework (SPPF) and the Local Planning Policy Framework (LPPF), including the Municipal Strategic Statement (MSS) of the Cardinia Planning Scheme.

The proposal supports key policy objectives relating to:

- Protecting and supporting agricultural land uses within rural areas (Clause 14.01)
- Encouraging sustainable land management and development that reinforces rural character (Clause 11.01 and Clause 21.03)
- Supporting appropriate development within the Green Wedge that is compatible with rural land use and environmental values (Clause 12.05 and Clause 21.06)

The replacement of the outbuilding maintains the ongoing use of the land for agriculture and reflects the strategic intent for rural areas, both in terms of land use and built form. The proposal is appropriate within the context of the surrounding Green Wedge landscape.

#### 5. Zoning Controls – Green Wedge Zone

The subject site is located in the GW1 Zone; a zoning map is shown below.



##### 5.1. Clause 33.01 INDUSTRIAL 1 ZONE

##### Clause 35.04 – Green Wedge Zone (GWZ)

###### Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To recognise, protect and conserve green wedge land for its agricultural, environmental, historic, landscape, recreational and tourism opportunities, and mineral and stone resources.
- To encourage use and development that is consistent with sustainable land management practices.

- To encourage sustainable farming activities and provide opportunity for a variety of productive agricultural uses.
- To protect, conserve and enhance the cultural heritage significance and the character of open rural and scenic non-urban landscapes
- To protect and enhance the biodiversity of the area.

The proposed development is consistent with the purpose of the zone. It supports the ongoing agricultural use of the land and does not introduce any inappropriate use or form of development. The replacement shed will provide improved functionality for rural storage and operations without adversely affecting landscape character, environmental values, or neighbouring properties.

## 5.2 . Clause 35.04-1 – Green Wedge Zone

The existing use of the land is agriculture, which is a Section 1 (as-of-right) use in the Green Wedge Zone. The proposed shed is for rural storage purposes and is ancillary to the ongoing agricultural use of the land.

In accordance with Clause 35.04-5, a planning permit is required for buildings and works associated with a Section 1 use. Therefore, this application seeks approval for the construction of the replacement agricultural outbuilding under that provision.

## 5.3. Clause 52.17 – Native Vegetation

No native vegetation removal is proposed as part of this application. Clause 52.17 is not triggered.

## 6 Overlay Controls

### 6.1. 44.04 LAND SUBJECT TO INUNDATION OVERLAY



The subject land is affected by the Land Subject to Inundation Overlay (LSIO), which applies to areas identified as being liable to flooding in a 1% AEP (1-in-100 year) flood event.

A planning permit is required under Clause 44.04-2 to construct a building or carry out works on land covered by the overlay. Accordingly, this application seeks approval for the replacement of the existing outbuilding under this provision.

The site is located within the Koo Wee Rup and Longwarry Flood Protection District and falls within **Mitigation Area 5**, as identified by Melbourne Water. Within this category, assessment is generally based on ensuring the proposed works do not obstruct flood flows or reduce flood storage. Finished floor levels are not required to be set to a specified AHD, but should be located on the highest natural ground point within the development footprint.

The proposed shed will be located to minimise flood impact and maintain overland flow paths. No cut or fill is proposed, and the structure will be of non-habitable use only. The application will be referred to Melbourne Water for assessment and advice, in accordance with the LSIO provisions.

## 6.2. Particular Provisions

### Clause 52.17 – Native Vegetation

No native vegetation removal is proposed as part of this application. As such, Clause 52.17 does not apply.

No other particular provisions are triggered by the proposal.

## 6.5 Decision Guidelines

### 6.5.1 Clause 35.04- 6 – Decision Guidelines



| Decision Guidelines                                                                                                                                                                                  | Comment                                                                                                                                                                                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>General</b> <small>that any dissemination, distribution or copying of this document is strictly prohibited.</small>                                                                               |                                                                                                                                                                                                    |
| <ul style="list-style-type: none"> <li>The Municipal Planning Strategy and the Planning Policy Framework.</li> </ul>                                                                                 | <p>The proposal is consistent with the MPS and PPF, particularly with objectives supporting rural land use, sustainable agriculture, and protection of non-urban land for productive purposes.</p> |
| <ul style="list-style-type: none"> <li>Any Regional Catchment Strategy and associated plan applying to the land.</li> </ul>                                                                          | <p>The proposal does not conflict with any Regional Catchment Strategy. The site contains no waterways, and no native vegetation or runoff risk is involved.</p>                                   |
| <ul style="list-style-type: none"> <li>The capability of the land to accommodate the proposed use or development.</li> </ul>                                                                         | <p>The land is flat, cleared, and currently in agricultural use. It is fully capable of supporting the replacement outbuilding with no land stability or servicing constraints.</p>                |
| <ul style="list-style-type: none"> <li>How the use or development relates to rural land use, rural diversification, natural resource management, natural or cultural heritage management,</li> </ul> | <p>The proposed shed directly supports rural land use and natural resource management. It does not impact cultural heritage, and is not</p>                                                        |

|                                                                                                                                                                                                                                             |                                                                                                                                                                |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|
| recreation or tourism.                                                                                                                                                                                                                      | related to recreation or tourism.                                                                                                                              |
| <ul style="list-style-type: none"> <li>Whether the site is suitable for the use or development and the compatibility of the proposal with adjoining land uses.</li> </ul>                                                                   | The site is suitable for the development. The new shed replaces an existing structure and is compatible with all surrounding rural and agricultural land uses. |
| <ul style="list-style-type: none"> <li>Whether the use or development is essential to the health, safety or well-being of the State or area but is not appropriate to locate in an urban area...</li> </ul>                                 | Not applicable. The development is agricultural in nature and appropriately located within a rural zone.                                                       |
| <ul style="list-style-type: none"> <li>The need to minimise adverse impacts on the character and appearance of the area or features of architectural, scientific or cultural heritage significance, or of natural scenic beauty.</li> </ul> | There are no such features on the site. The structure is rural in form and located to minimise visual and landscape impacts.                                   |
| <ul style="list-style-type: none"> <li>The potential for accommodation to be adversely affected by vehicular traffic, noise, blasting, dust and vibration from an existing or proposed extractive industry operation.</li> </ul>            | Not applicable. The proposal does not involve accommodation and is not within 500 metres of an extractive industry or work authority area.                     |
| <b>Rural issues</b>                                                                                                                                                                                                                         |                                                                                                                                                                |
| <ul style="list-style-type: none"> <li>The maintenance of agricultural production and the impact on the rural economy.</li> </ul>                                                                                                           | The proposal supports continued agricultural activity and has no adverse impact on the rural economy.                                                          |
| <ul style="list-style-type: none"> <li>The environmental capacity of the site to sustain the rural enterprise.</li> </ul>                                                                                                                   | The site is already used for agriculture. No intensification of use is proposed.                                                                               |
| <ul style="list-style-type: none"> <li>The need to prepare an integrated land management plan.</li> </ul>                                                                                                                                   | Not required. The works are minor and consistent with existing land use.                                                                                       |
| <ul style="list-style-type: none"> <li>The impact on the existing and proposed rural infrastructure.</li> </ul>                                                                                                                             | No impact. No new services or infrastructure are required.                                                                                                     |
| <ul style="list-style-type: none"> <li>The potential for the future expansion of the use or development and the impact of this on adjoining and nearby agriculture and other land uses.</li> </ul>                                          | The structure is appropriately sited and will not affect the future use or expansion of agriculture on this or adjoining lots.                                 |
| <ul style="list-style-type: none"> <li>The protection and retention of land for future sustainable agricultural activities.</li> </ul>                                                                                                      | The land remains fully available for ongoing and future agriculture.                                                                                           |
| <b>Environmental issues</b>                                                                                                                                                                                                                 |                                                                                                                                                                |
| <ul style="list-style-type: none"> <li>The impact of the use or development on the flora and fauna on the site and its surrounds.</li> </ul>                                                                                                | There is no impact. The site is cleared and contains no native habitat or significant vegetation.                                                              |
| <ul style="list-style-type: none"> <li>The need to protect and enhance the biodiversity of the area...</li> </ul>                                                                                                                           | The proposal does not interfere with biodiversity. No vegetation removal or new disturbance is proposed.                                                       |
| <ul style="list-style-type: none"> <li>How the use or development relates to sustainable land management and the need to prepare an integrated land management plan.</li> </ul>                                                             | The proposal supports long-term agricultural use. No land management plan is required due to the minor and low-impact nature of the works.                     |

|                                                                                                                                                                                                                                                    |                                                                                                                                                                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>• The location of on-site effluent disposal areas to minimise impact of nutrient loads on waterways and native vegetation.</li> </ul>                                                                       | Not applicable. The shed does not generate effluent or wastewater.                                                                                                           |
| <b>Design and siting issues</b>                                                                                                                                                                                                                    |                                                                                                                                                                              |
| <ul style="list-style-type: none"> <li>• The need to minimise any adverse impacts of siting, design, height, bulk, and colours and materials to be used...</li> </ul>                                                                              | The structure is typical of rural outbuildings and is appropriately sited. It is not visible from any sensitive vantage points and will use muted, non-reflective materials. |
| <ul style="list-style-type: none"> <li>• The location and design of existing and proposed infrastructure services which minimises the visual impact on the landscape.</li> </ul>                                                                   | No infrastructure upgrades are proposed. The design is in keeping with rural character.                                                                                      |
| <ul style="list-style-type: none"> <li>• The need to minimise adverse impacts on the character and appearance of the area or features of archaeological, historic or scientific significance or of natural scenic beauty or importance.</li> </ul> | The proposal does not impact any heritage or scenic features. The area is agricultural in character and the design is appropriate.                                           |
| <ul style="list-style-type: none"> <li>• The need to locate and design buildings used for accommodation.</li> </ul>                                                                                                                                | Not applicable. The proposal does not involve accommodation.                                                                                                                 |
| <b>Primary school or secondary school issues</b>                                                                                                                                                                                                   | Not applicable                                                                                                                                                               |



### 6.5.2 Clause 65 – Decision Guidelines

Before deciding on an application, the responsible authority must consider, as appropriate:

- The matters set out in Section 60 of the Planning and Environment Act 1987
- The State and Local Planning Policy Frameworks
- The purpose of the Green Wedge Zone
- The objectives and requirements of the Land Subject to Inundation Overlay
- Any comments or conditions provided by the relevant floodplain management authority

The proposal is consistent with these requirements and has been designed to respond appropriately to the zoning, overlay controls, and the rural character of the area.

| Decision Guidelines                                                                                                                                                 | Comment                                                                                                                                                                                                                        |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>General</b>                                                                                                                                                      |                                                                                                                                                                                                                                |
| <ul style="list-style-type: none"> <li>The matters set out in section 60 of the Act.</li> </ul>                                                                     | <p>The application has been assessed in accordance with the Planning and Environment Act 1987. All relevant planning provisions, policies, and applicable documentation have been considered in preparing this assessment.</p> |
| <ul style="list-style-type: none"> <li>Any significant effects the environment, including the contamination of land, may have on the use or development.</li> </ul> | <p>There is no known land contamination. The land is in long-term agricultural use and the replacement of the outbuilding will not introduce new environmental risks.</p>                                                      |
| <ul style="list-style-type: none"> <li>The Municipal Planning Strategy and the Planning Policy Framework.</li> </ul>                                                | <p>The proposal is consistent with both the State and Local Planning Policy Frameworks, which support rural land use, agricultural structure, and sustainable land management in Green Wedge areas.</p>                        |
| <ul style="list-style-type: none"> <li>The purpose of the zone, overlay or other provision.</li> </ul>                                                              | <p>The development supports the ongoing agricultural use of the land, is appropriate within the Green Wedge Zone – Schedule 1, and respects the LSIO requirements.</p>                                                         |
| <ul style="list-style-type: none"> <li>Any matter required to be considered in the zone, overlay or other provision.</li> </ul>                                     | <p>Relevant decision guidelines under Clause 35.04 (GWZ1) and Clause 44.04 (LSIO) have been addressed. The proposal does not impact landscape character, vegetation, or flood storage capacity.</p>                            |
| <ul style="list-style-type: none"> <li>The orderly planning of the area.</li> </ul>                                                                                 | <p>The proposal represents a logical and appropriate form of rural development that supports the existing land use and aligns with the planning scheme's vision for</p>                                                        |



|                                                                                                                                                                                                                              |                                                                                                                                                                                                                                       |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                              | the area.                                                                                                                                                                                                                             |
| <ul style="list-style-type: none"> <li>The effect on the environment, human health and amenity of the area.</li> </ul>                                                                                                       | The proposal is low-impact, non-habitable, and does not introduce noise, emissions, or other off-site effects. It will not adversely affect the environment or human health.                                                          |
| <ul style="list-style-type: none"> <li>The proximity of the land to any public land.</li> </ul>                                                                                                                              | The site does not adjoin any public land. There is no anticipated impact on access, use, or enjoyment of nearby public assets.                                                                                                        |
| <ul style="list-style-type: none"> <li>Factors likely to cause or contribute to land degradation, salinity or reduce water quality.</li> </ul>                                                                               | No works are proposed that would lead to land degradation, salinity, or water quality impacts. The development maintains existing ground levels and drainage patterns.                                                                |
| <ul style="list-style-type: none"> <li>Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.</li> </ul>                                                 | <p>The shed will be constructed on existing cleared ground, with no additional hardstand proposed.</p> <p>Stormwater will be managed in accordance with standard on-site rural drainage practices.</p>                                |
| <ul style="list-style-type: none"> <li>The extent and character of native vegetation and the likelihood of its destruction.</li> </ul>                                                                                       | No native vegetation is proposed to be removed. The structure is sited away from any significant trees or habitat features.                                                                                                           |
| <ul style="list-style-type: none"> <li>Whether native vegetation is to be or can be protected, planted or allowed to regenerate.</li> </ul>                                                                                  | The development avoids all native vegetation. No clearing is proposed, and existing vegetation can continue to regenerate undisturbed.                                                                                                |
| <ul style="list-style-type: none"> <li>The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.</li> </ul> | The site is affected by the Land Subject to Inundation Overlay. The building will be sited on the highest natural ground within the shed footprint, in accordance with Mitigation Area 5 guidance, to ensure flood risk is minimised. |
| <ul style="list-style-type: none"> <li>The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.</li> </ul>                                                         | As the building is for rural storage only and not for commercial operations, no loading or unloading facilities are required. There will be                                                                                           |

|                                                                                                                                                                            |                                                                                                                               |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                            | no impact on traffic flow or road safety.                                                                                     |
| <ul style="list-style-type: none"> <li>The impact the use or development will have on the current and future development and operation of the transport system.</li> </ul> | The proposal will not increase vehicle movements or impact the transport network. Existing access arrangements are unchanged. |

#### Clause 65.02 – Approval of an Application to Subdivide Land

This clause is not applicable as the proposal does not include a subdivision.

#### Summary

The proposal has been reviewed against all relevant decision guidelines and is found to represent an orderly, appropriate, and policy-supported form of development within an established industrial area. Approval is recommended.

## Conclusion

The proposed replacement of the agricultural outbuilding at 215 School Road, Bayles is an appropriate and low-impact form of rural development that supports the ongoing agricultural use of the land. The proposal has been carefully designed to respond to the relevant provisions of the Cardinia Planning Scheme, including the Planning Policy Framework, the Green Wedge Zone, and the Land Subject to Inundation Overlay.

The new shed is modest in scale, consistent with surrounding land use and built form, and sited to minimise environmental and visual impacts. No vegetation removal, changes to access, or infrastructure upgrades are required. The building is located on cleared ground and is aligned with flood mitigation expectations for Mitigation Area 5.

The proposal maintains the productive capacity of the land and supports sustainable rural land management. It will not result in any adverse impacts on the amenity, functionality, or strategic intent of the area.

On this basis, the proposal is considered to have sound planning merit, and it is respectfully submitted that Cardinia Shire Council issue a planning permit for the proposed development.



ATTACHMENT 1: Title

  
**Cardinia**

**ADVERTISED MATERIAL**  
**Planning Application: T250415**  
**Date Prepared: 19 November 2025**

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## ATTACHMENT 2: Site Plan and Elevations



SITE INFORMATION

|                      |                   |
|----------------------|-------------------|
| Municipality         | <u>Cardinia</u>   |
| Property No          | <u>4756900900</u> |
| Soil Classification  | <u>M</u>          |
| Wind Classification  | <u>"N 3"</u>      |
| Climate Zone         | <u>6</u>          |
| Bushfire Proned Area | <u>12.5</u>       |
| Zoning               | <u>GWZ, LSIO,</u> |

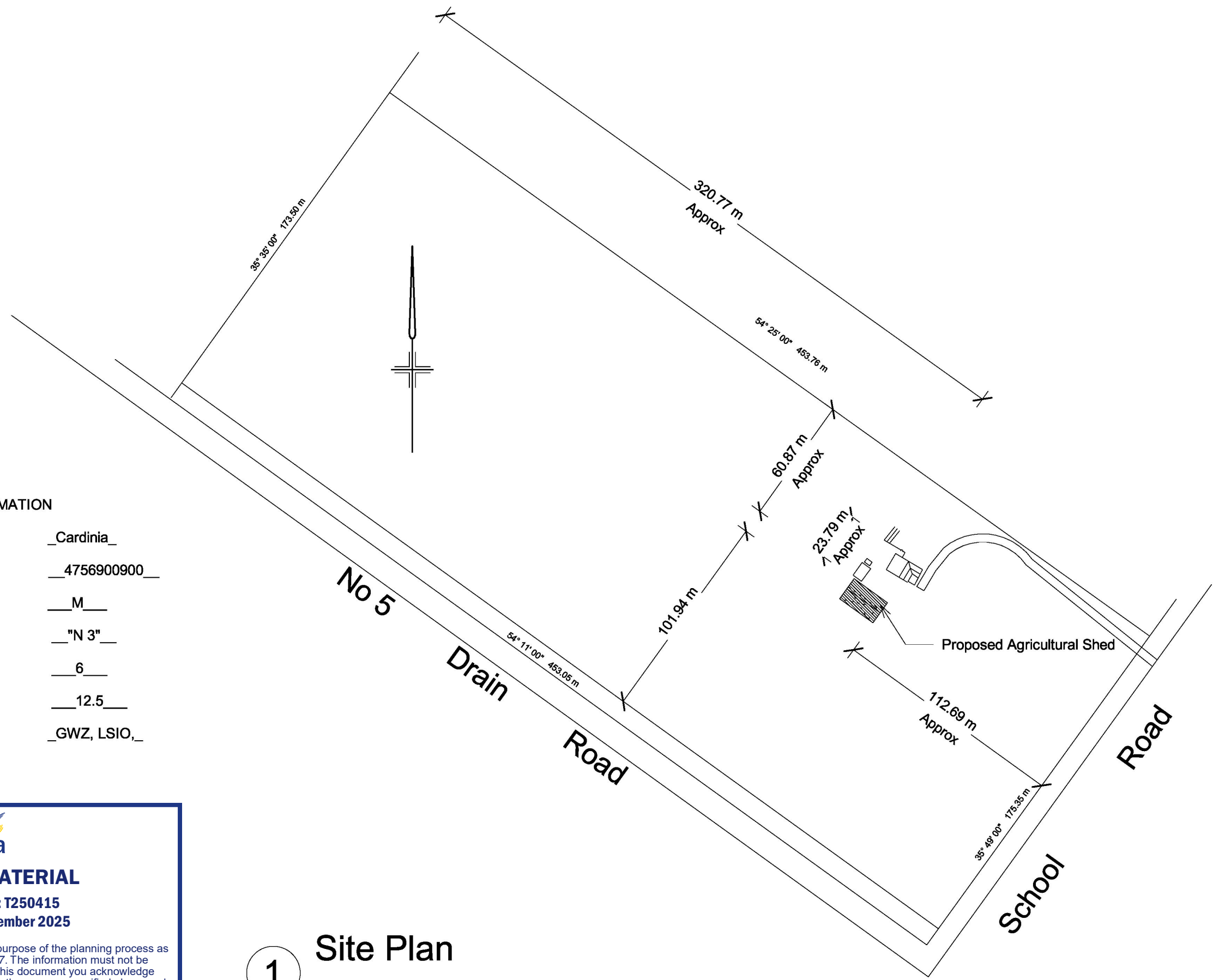


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Planning Application: T250415  
Date Prepared: 19 November 2025

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1 Site Plan  
1 : 2000



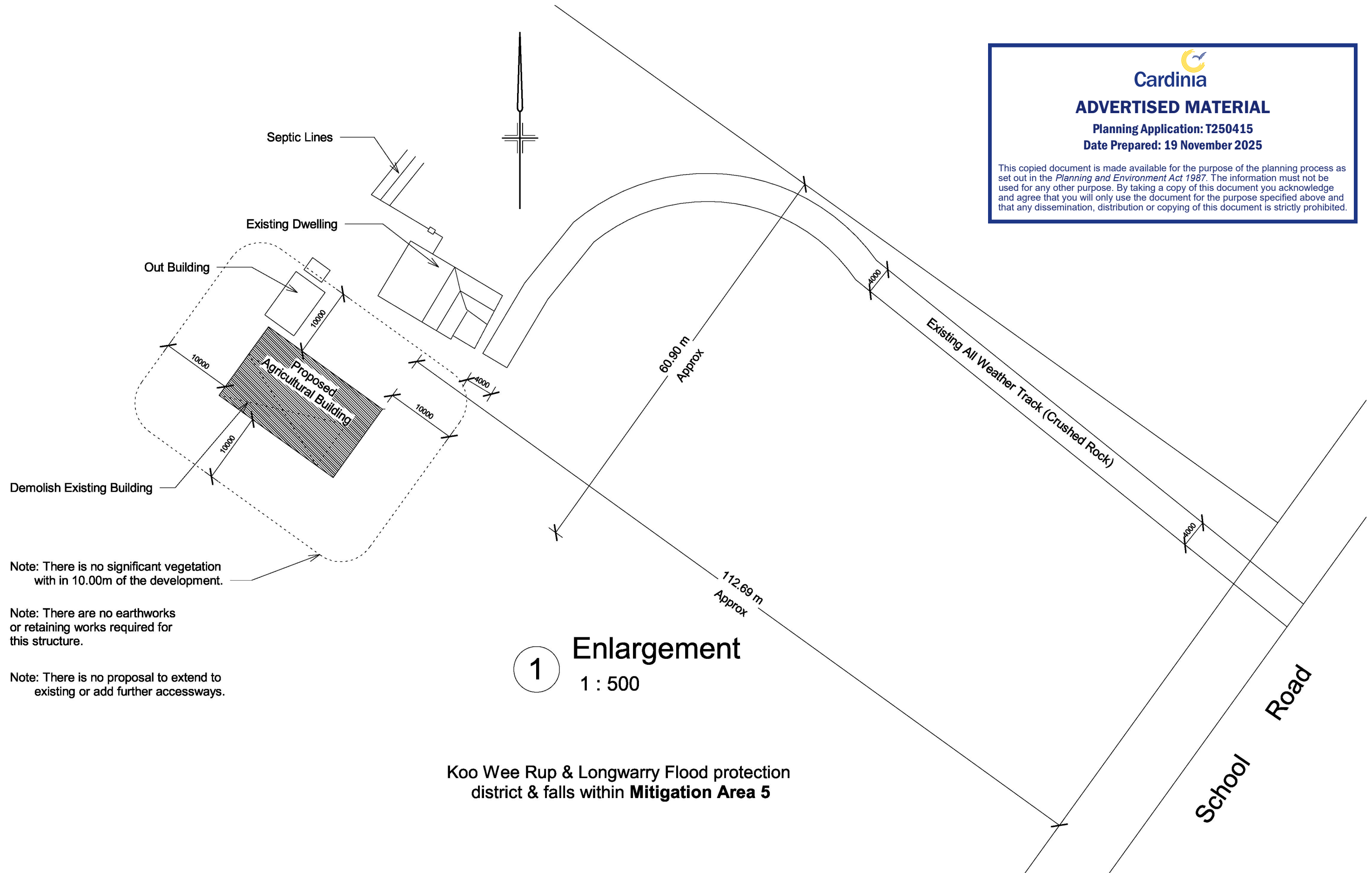


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Planning Application: T250415

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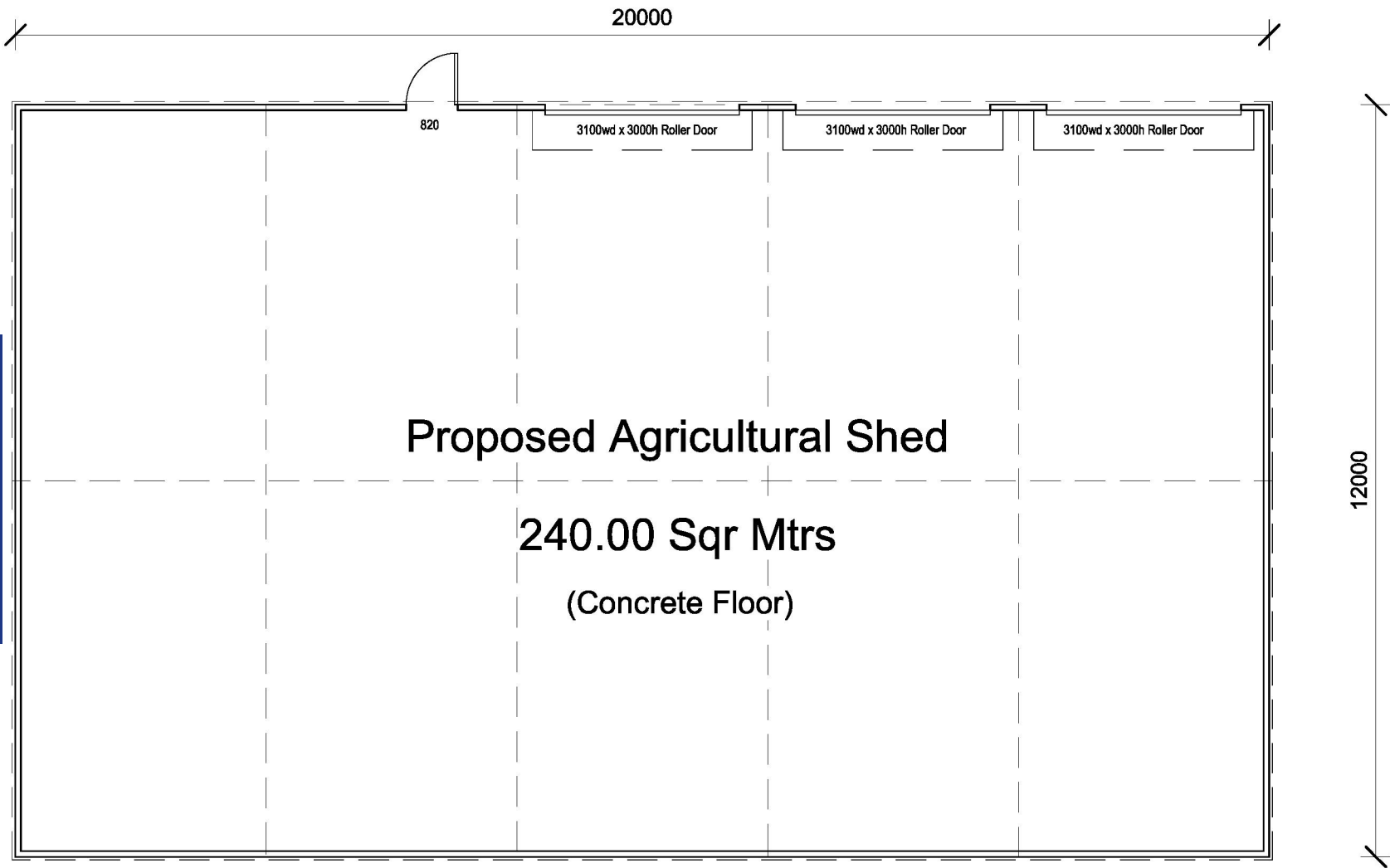




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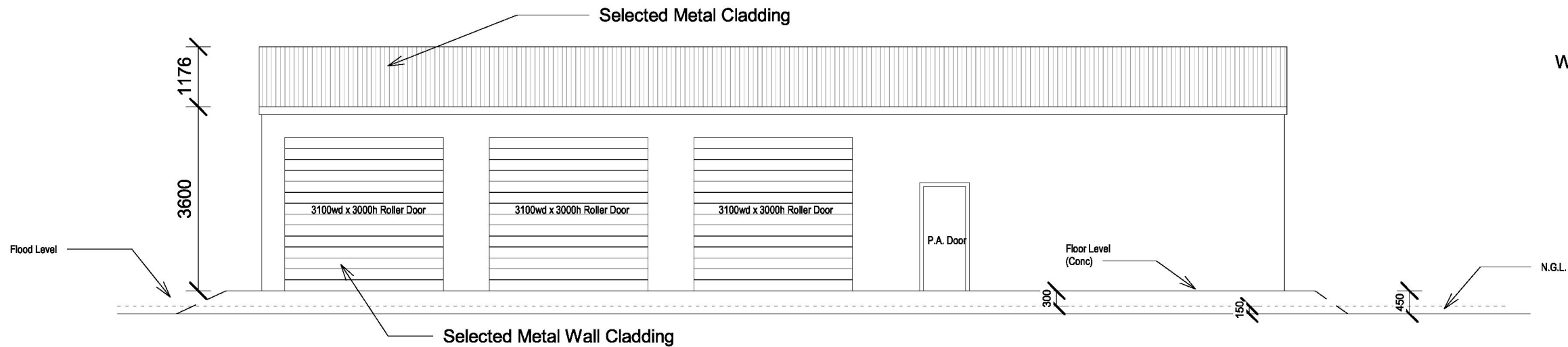
Planning Application: T250415  
Date Prepared: 19 November 2025

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1

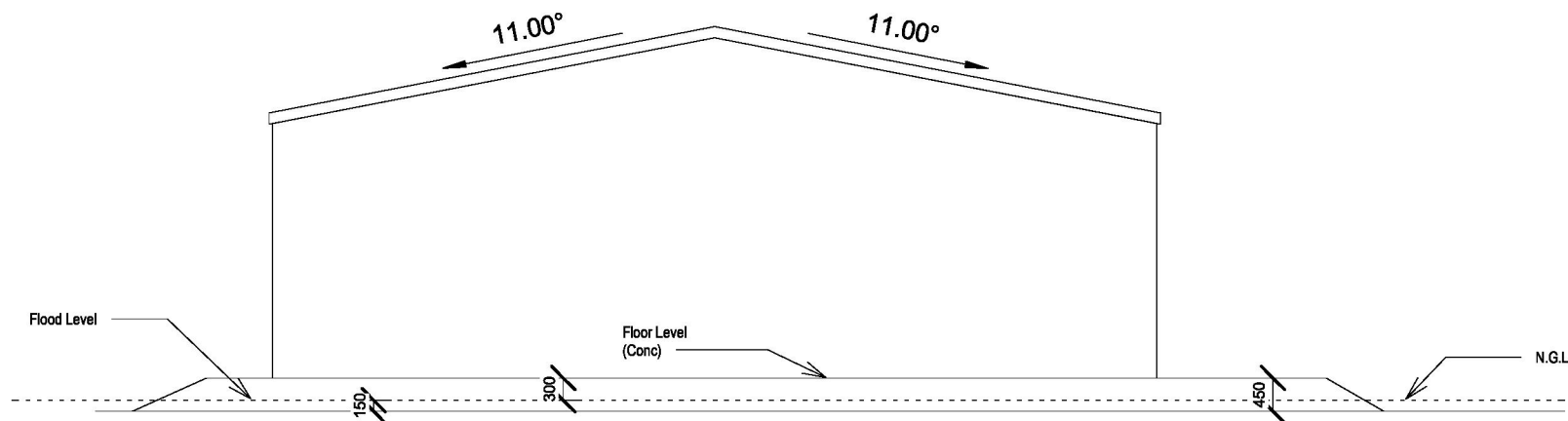
Floor Plan  
1 : 100



**Colour Legend**  
Walls, Roof, Doors, Window, & Trims

  
Pale Eucalypt

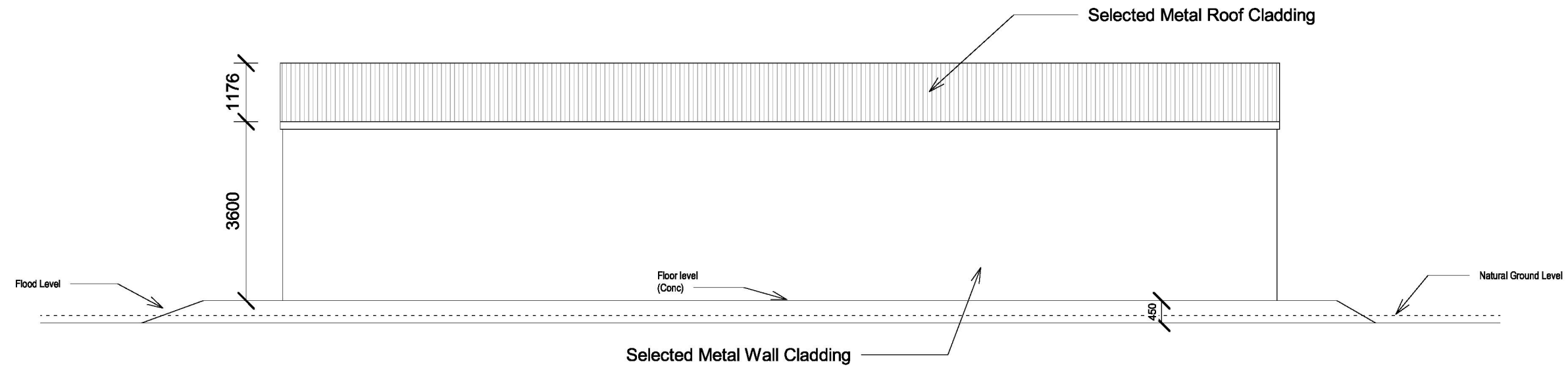
**North Elevation**  
1 : 100



**East Elevation**  
1 : 100

  
**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250415  
Date Prepared: 19 November 2025

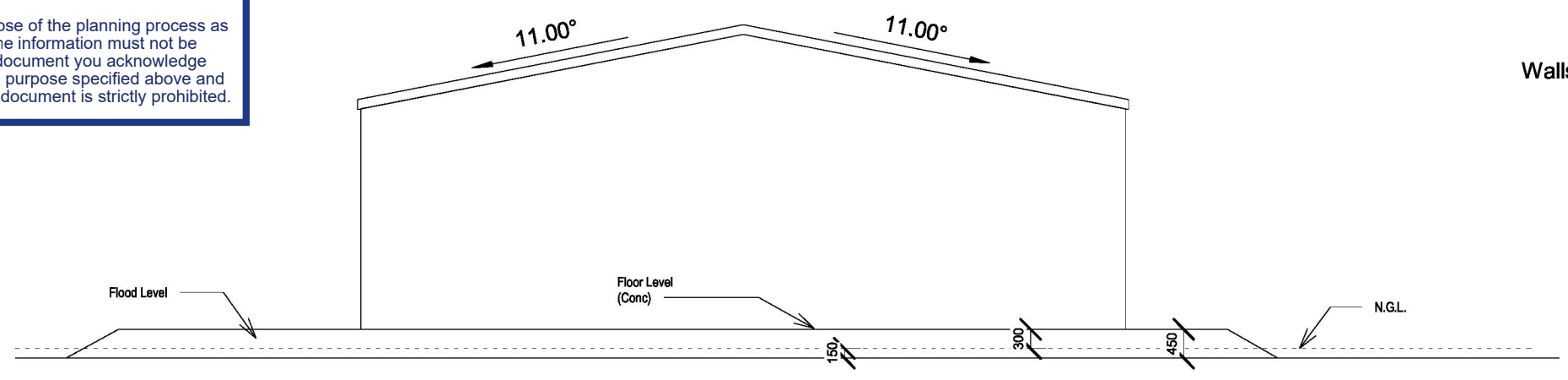
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1 South Elevation  
1 : 100

**Cardinia**  
**ADVERTISED MATERIAL**  
Planning Application: T250415  
Date Prepared: 19 November 2025

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2 West Elevation  
1 : 100

**Colour Legend**  
Walls, Roof, Doors, Window, & Trims  
  
Pale Eucalypt