

# Notice of Application for a Planning Permit

|                                                     |                                                                                                                     |
|-----------------------------------------------------|---------------------------------------------------------------------------------------------------------------------|
| The land affected by the application is located at: | CP174792 V10087 F270<br>10 Carcoola Street, Cockatoo VIC 3781                                                       |
| The application is for a permit to:                 | Buildings and works (extension to existing dwelling, construction of a deck, verandah, and associated alterations). |

A permit is required under the following clauses of the planning scheme:

|         |                                                      |
|---------|------------------------------------------------------|
| 43.02-2 | Construct a building or construct or carry out works |
| 42.02-2 | Remove, destroy or lop vegetation                    |

## APPLICATION DETAILS

|                                  |                        |
|----------------------------------|------------------------|
| The applicant for the permit is: | Inline Building Design |
| Application number:              | T240567                |

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

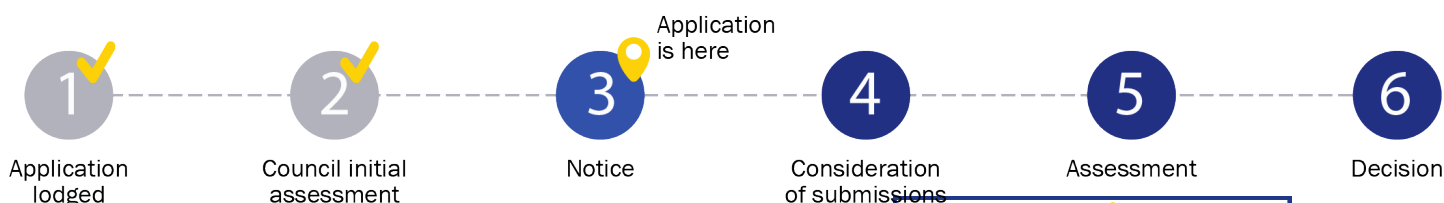
This can be done during office hours and is free of charge.

Documents can also be viewed on Council's website at [cardinia.vic.gov.au/advertisedplans](http://cardinia.vic.gov.au/advertisedplans) or by scanning the QR code.



## HOW CAN I MAKE A SUBMISSION?

|                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                     |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:                                                                                  |                                                                                                                                                                                                                          | <b>28 November 2025</b>                                                                                                                                                                                                                                             |
| <b>WHAT ARE MY OPTIONS?</b><br>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.<br>If you object, the Responsible Authority will notify you of the decision when it is issued. | An objection must: <ul style="list-style-type: none"><li>be made to the Responsible Authority in writing;</li><li>include the reasons for the objection; and</li><li>state how the objector would be affected.</li></ul> | The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application. |



# Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

## PERMIT APPLICATION DETAILS

|                      |                                       |
|----------------------|---------------------------------------|
| Application No.:     | T240567 PA                            |
| Address of the Land: | 10 Carcoola Street, Cockatoo VIC 3781 |

## APPLICANT DETAILS

|               |                                       |
|---------------|---------------------------------------|
| Name:         |                                       |
| Organisation: | Inline Building Design                |
| Address:      | 10 Carcoola Street, Cockatoo VIC 3781 |
| Phone:        | (03) 9008 4524                        |
| Email:        | info@inlinedesign.com.au              |

## AMENDMENT TYPE

| Under which section of the Act is this amendment being made? (select one)                        |                                     |
|--------------------------------------------------------------------------------------------------|-------------------------------------|
| Section 50 – Amendment to application at request of applicant <b>before</b> notice:              | <input type="checkbox"/>            |
| Section 50A – Amendment to application at request of responsible authority <b>before</b> notice: | <input type="checkbox"/>            |
| Section 57A – Amendment to application <b>after</b> notice is given:                             | <input checked="" type="checkbox"/> |

## AMENDMENT DETAILS

| What is being amended? (select all that apply)                                                               |                                                             |                                                    |
|--------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|----------------------------------------------------|
| What is being applied for <input type="checkbox"/>                                                           | Plans / other documents <input checked="" type="checkbox"/> | Applicant / owner details <input type="checkbox"/> |
| Land affected <input type="checkbox"/>                                                                       | Other <input type="checkbox"/>                              |                                                    |
| Describe the changes. If you need more space, please attach a separate page.                                 |                                                             |                                                    |
| The existing retaining wall and terrace is being removed and a new proposed retaining wall has been proposed |                                                             |                                                    |
|                                                                                                              |                                                             |                                                    |
|                                                                                                              |                                                             |                                                    |

|                                                                                        |                                               |               |
|----------------------------------------------------------------------------------------|-----------------------------------------------|---------------|
|                                                                                        |                                               |               |
|                                                                                        |                                               |               |
|                                                                                        |                                               |               |
| <b>Specify the estimated cost of any development for which the permit is required:</b> |                                               |               |
| Not applicable <input type="checkbox"/>                                                | Unchanged <input checked="" type="checkbox"/> | New amount \$ |

## DECLARATION

|                                                                                                                                                                  |            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|
| I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application. |            |
| <b>Name:</b>                                                                                                                                                     |            |
| <b>Signature:</b>                                                                                                                                                |            |
| <b>Date:</b>                                                                                                                                                     | 16.10.2025 |

## LODGEMENT

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>Please submit this form, including all amended plans/documents, to <a href="mailto:mail@cardinia.vic.gov.au">mail@cardinia.vic.gov.au</a></p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at <a href="https://eplanning.cardinia.vic.gov.au/">https://eplanning.cardinia.vic.gov.au/</a></p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## IMPORTANT INFORMATION

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p style="text-align: center;"> <br/> <b>Cardinia</b><br/> <b>ADVERTISED MATERIAL</b><br/>         Planning Application: T240567<br/>         Date Prepared: 12 November 2025       </p> <p><small>This copied document is made available for the purpose of the planning process as set out in the <i>Planning and Environment Act 1987</i>. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small></p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

# PROPOSED ADDITIONS & ALTERATIONS

10 CARCOOLA STREET, COCKATOO 3781

## DRAWING LIST

1. TITLE SHEET
2. PROPOSED SITE PLAN & PARTIAL SITE PLAN
3. EXISTING / DEMOLITION PLAN
4. PROPOSED FLOOR PLAN
5. NORTH & WEST ELEVATIONS
6. SOUTH & EAST ELEVATIONS
7. EXISTING / PROPOSED WINDOW SCHEDULE
8. PROPOSED ELECTRICAL PLAN
9. GENERAL NOTES



**Cardinia**

### **ADVERTISED MATERIAL**

**Planning Application: T240567**

**Date Prepared: 12 November 2025**

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NO.5

NEIGHBOURING DWELLING IS MORE THAN  
9m AWAY FROM PROPOSED WORKS

101° 24' 65.53m

CARCOOLA  
STREET

NO.3  
11° 24' 60.35m

LOCATION OF DENSE VEGETATION

EXISTING GRAVEL DRIVEWAY

NO.10  
3954 m<sup>2</sup>

SHED

APPROXIMATE  
LOCATION OF  
DISPERSION  
TRENCH SHOWN  
HATCHED

APPROX. 30m

281° 24' 65.53m

APPROXIMATE LOCATION  
OF SUBSIDIARY OF  
COCKATOO CREEK

PROPOSED SITE PLAN

SCALE 1 - 500

## SITE NOTES

- ROOT BARRIER SYSTEMS TO ENGINEER'S DESIGN ARE REQUIRED FOR ANY FOOTINGS IN CLOSE PROXIMITY TO ON SITE AND NEIGHBOURING TREES.
- CONNECT ALL STORM WATER TO EXISTING STORM WATER SYSTEM ON SITE OR TO LEGAL POINT OF DISCHARGE FROM THE RESPONSIBLE AUTHORITY. 90mm DIAMETER STORM WATER DRAINS FOR UP TO 250M<sup>2</sup> OF ROOF AREA OR 100mm DIAMETER PIPES THEREAFTER.
- STORM WATER PIPES TO HAVE A MIN. GRADE OF 1:100
- RETAINING WALLS (IF NEEDED) TO BE A MAXIMUM HEIGHT OF 900mm OR TO BE ENGINEER'S DESIGN. IF POSSIBLE KEEP ALL RETAINING WALLS 600mm OF ANY BOUNDARIES.
- ALL STORM WATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE.
- SOME TREES ARE TO BE REMOVED AS PART OF THIS BUILD.
- AG DRAINS TO BE PROVIDED TO THE BASE OF ALL SITE CUTS AND ARE TO BE CONNECTED TO STORMWATER SYSTEM VIA SLIT PITS.
- THIS PROPERTY IS IN A DESIGNATED BUSH FIRE PRONE AREA, THEREFORE SPECIAL BUSH FIRE REQUIREMENTS APPLY.
- DUE TO THE LOCATION AND ORIENTATION OF THE PROPOSAL ADDITIONAL SHADOWING ONLY OCCURS TO THE VACANT LAND.

## LEGEND

- HATCH AREA INDICATES LOCATION OF PROPOSED ADDITIONS
- DENOTES LOCATION OF CUT & FILL BATTERS
- DENOTES LOCATION OF FLATTENED GROUND
- EXISTING TREE TO BE REMOVED
- DENOTES TPZ (TREE PROTECTION ZONE) OF A TREE
- DENOTES SRZ (STRUCTURAL ROOT ZONE) OF A TREE

## SITE ANALYSIS

|                            |                        |
|----------------------------|------------------------|
| AREA OF LAND               | 3954.73 m <sup>2</sup> |
| TOTAL BUILDING FOOTPRINT   | 215.98 m <sup>2</sup>  |
| BUILDING SITE COVERAGE     | 5.46 %                 |
| PERMEABILITY AREA          | 3738.75 m <sup>2</sup> |
| PERMEABILITY SITE COVERAGE | 94.54 %                |

PROPOSED SEPTIC TANK.  
LOCATION TO BE CONFIRMED  
ON SITE PRIOR TO WORKS.

PROPOSED AND EXISTING  
WORKS ENTERS 8.32% OF  
TREES TPZ

APPROXIMATE LOCATION OF  
DISPERSION TRENCH SHOWN  
HATCHED

NO.10  
3954 m<sup>2</sup>

FL 10.00

FL 9.30

FL 10.00

2H

FL 10.00

PROPOSED AND EXISTING  
WORKS ENTERS 4.74% OF  
TREES TPZ

281° 24' 65.53m

EXISTING SEPTIC  
TANK TO BE REMOVED

RESERVE

EXISTING 1.2m(H) POST & WIRE FENCE

PROPOSED AND EXISTING  
WORKS ENTERS 0.29% OF  
TREES TPZ

MAX. 2.5m(H) PROPOSED  
RETAINING WALL TO  
ENGINEERS DESIGN

EXISTING RETAINING WALL  
(SHOWN DASHED) TO BE  
DEMOLISHED AND REMOVED

PROPOSED PARTIAL SITE PLAN

SCALE 1 - 200

PLANNING

BAL

### AMENDMENTS

| ISSUE | DATE   | CHANGE                                       | BY  |
|-------|--------|----------------------------------------------|-----|
| A     | SEP.24 | TOWN PLANNING DRAWING                        | J.C |
| B     | SEP.25 | ANSWERED COUNCILS FURTHER INFORMATION LETTER | J.C |
|       |        |                                              |     |
|       |        |                                              |     |

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### TITLE:

PROPOSED ADDITIONS & ALTERATIONS  
AT 10 CARCOOLA STREET, COCKATOO 3781

### SCALE:

1 : 200 & 500

### SIZE:

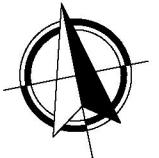
A3

### REVISION:

A



TP02



### SHEET:

2 OF 9



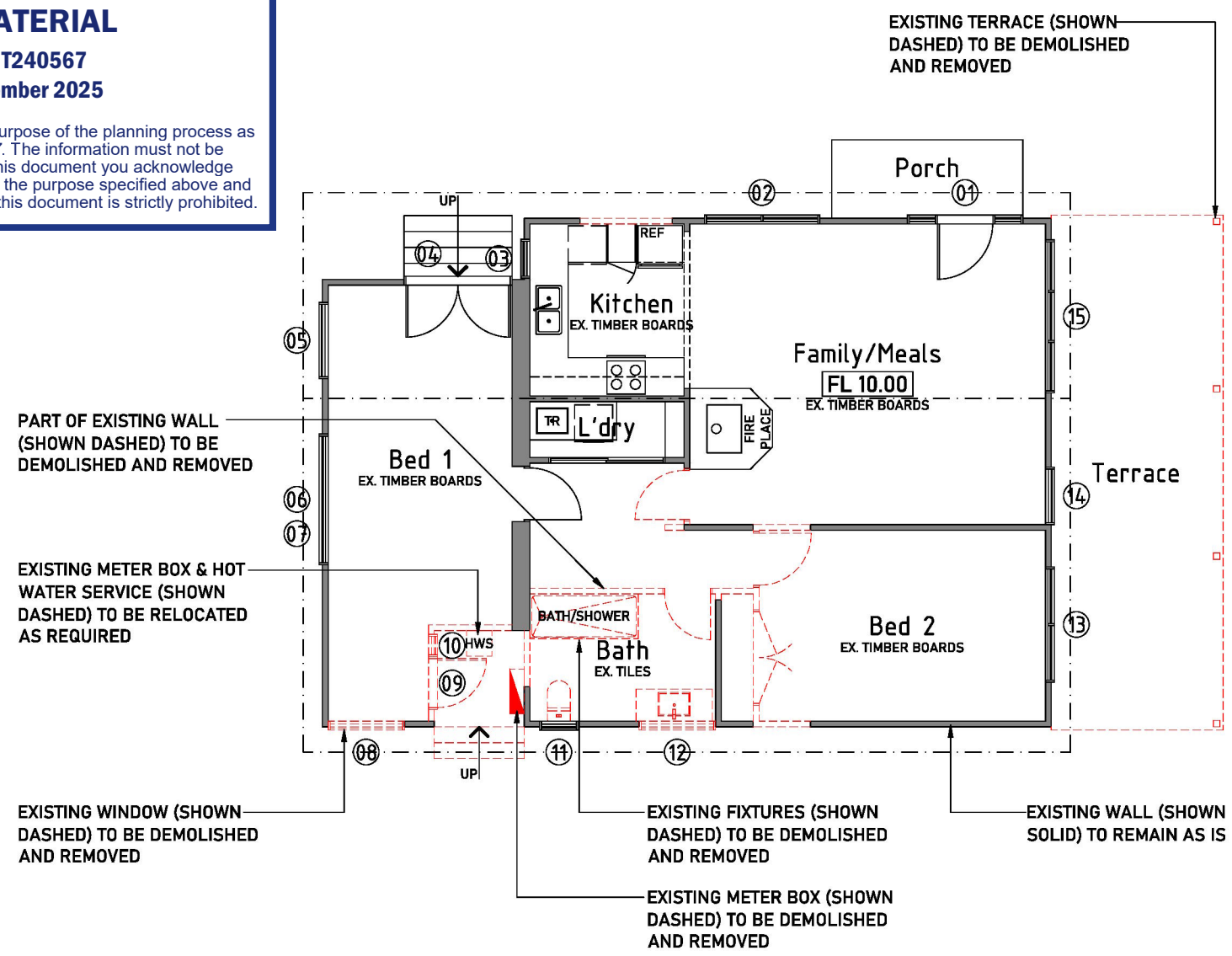
**Cardinia**

**ADVERTISED MATERIAL**

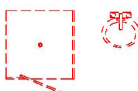
Planning Application: T240567

Date Prepared: 12 November 2025

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**DEMOLITION LEGEND**

-  EXISTING WINDOW TO BE REMOVED
-  EXISTING WALL TO BE REMOVED
-  EXISTING FIXTURES TO BE REMOVED
-  EXISTING DOORS TO BE REMOVED
-  EXISTING WALLS TO STAY IF SHOWN SOLID

- BUILDER TO ENSURE EXISTING STRUCTURE IS STABLE AND WATER TIGHT DURING THE DEMOLITION AND CONSTRUCTION OF THE PROJECT
- THE BUILDER IS RESPONSIBLE FOR MAKING ALL EXISTING SURFACES GOOD

EXISTING / DEMOLITION PLAN  
SCALE 1 - 100

| AMENDMENTS |        |                                              |     |
|------------|--------|----------------------------------------------|-----|
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AT 10 CARCOOLA STREET, COCKATOO 3781

SCALE:  
1 : 100

SIZE:  
A3

REVISION:  
A



TP03



SHEET:  
3 OF 9

SHEET:  
4 OF 9

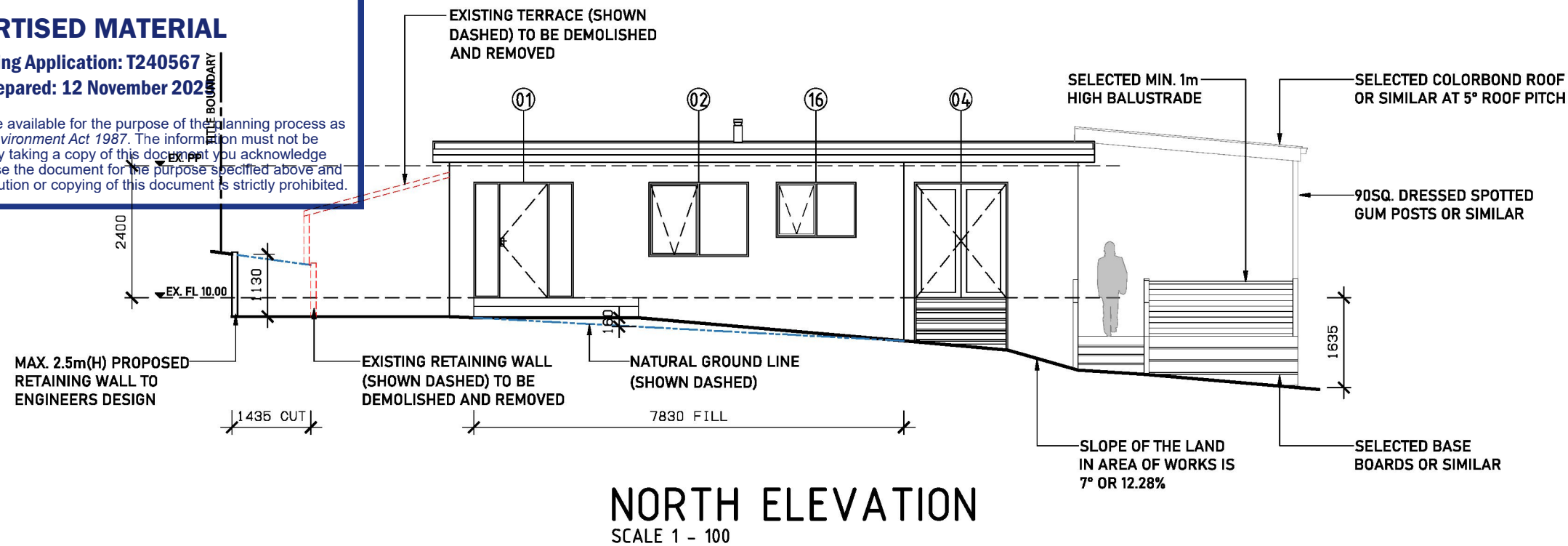


**Cardinia**

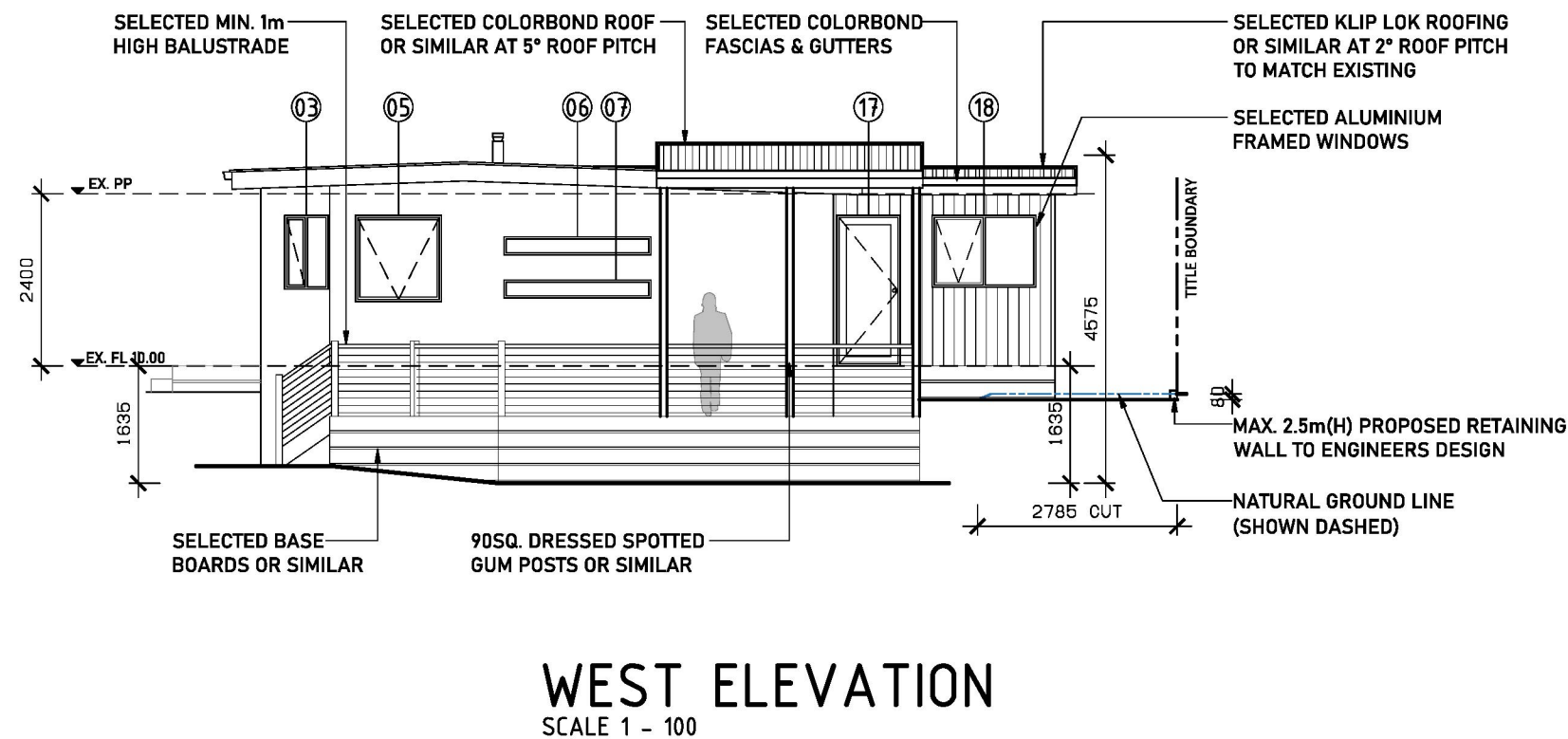
**ADVERTISED MATERIAL**

Planning Application: T240567  
Date Prepared: 12 November 2022

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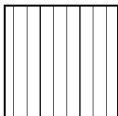
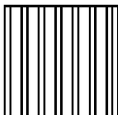
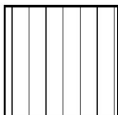


NORTH ELEVATION  
SCALE 1 - 100



WEST ELEVATION  
SCALE 1 - 100

MATERIAL LEGEND

-  SELECTED COLORBOND ROOF IN EUCALYPTUS GREEN TO MATCH EXISTING OR SIMILAR
-  SELECTED KLIP LOK ROOFING IN EUCALYPTUS GREEN TO MATCH EXISTING OR SIMILAR
-  SELECTED VERTICAL WEATHERBOARD CLADDING IN CREAM OR SIMILAR TO MATCH EXISTING

NOTES

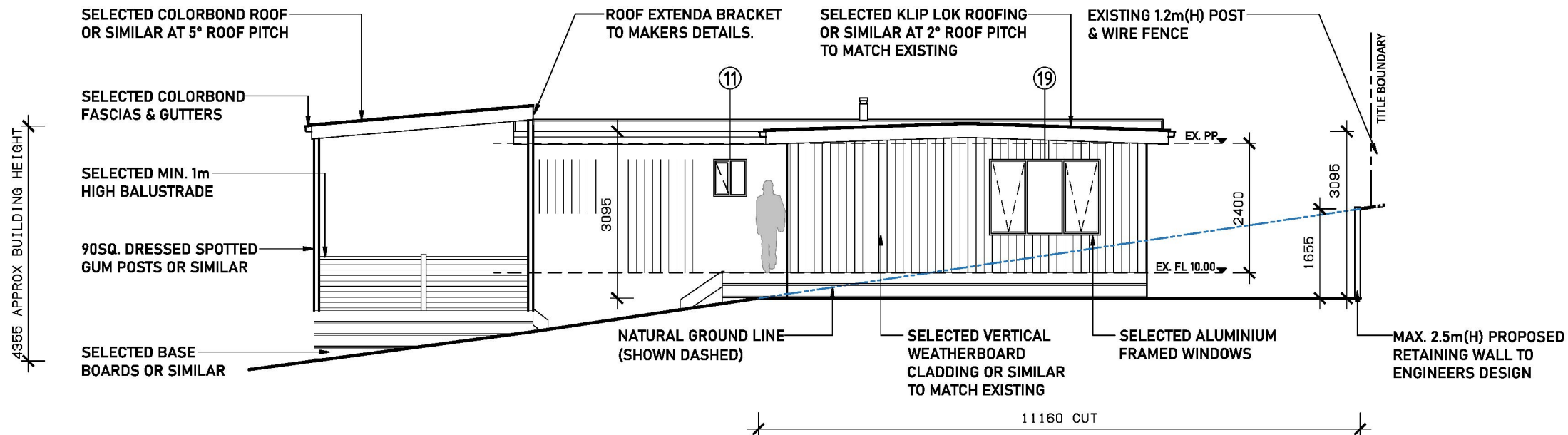
SUSPENDED TIMBER FLOORS TO HAVE SHEET MATERIAL TERMITE CAPS, 400mm UNDER BEARER CLEARANCE AND PERIMETER CHEMICAL SPRAY. CONCRETE SLAB ON GROUND ARE TO HAVE 75mm SLAB EXPOSURE, TERMITE COLLARS TO ALL PENETRATIONS AND PERIMETER CHEMICAL SPRAY. ALL TERMITE PROTECTION METHODS ARE TO BE IN ACCORDANCE WITH AS 3660.1 - 2014

THE GROUND MUST SLOPE MIN 50mm AWAY FROM THE DWELLING FOR THE FIRST 1.0m SURROUNDING THE DWELLING OR INSTALL AG DRAIN SYSTEM AND CONNECT TO SWD VIA SILT PITS TO PREVENT PONDING.

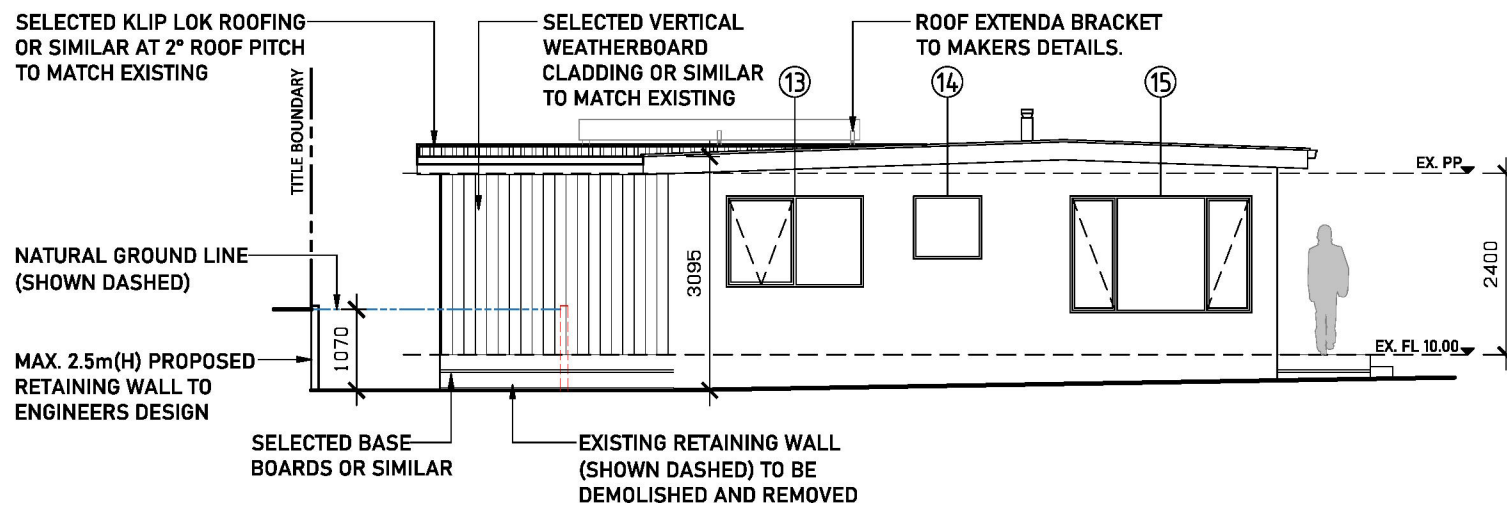
THE SOIL LEVEL BELOW THE DWELLING MUST NOT BE LOWER THAN SOIL LEVEL SURROUNDING THE DWELLING.

SLOPE OF THE LAND IN AREA OF WORKS IS 7° OR 12.28%

| AMENDMENTS                                                                                                                                 |        |                                              |     | TITLE:<br>PROPOSED ADDITIONS & ALTERATIONS<br>AT 10 CARCOOLA STREET, COCKATOO 3781 |  |  |  |  |  | TP05      |  |        |  |
|--------------------------------------------------------------------------------------------------------------------------------------------|--------|----------------------------------------------|-----|------------------------------------------------------------------------------------|--|--|--|---------------------------------------------------------------------------------------|--|-----------|--|--------|--|
| ISSUE                                                                                                                                      | DATE   | CHANGE                                       | BY  |                                                                                    |  |  |  |                                                                                       |  |           |  |        |  |
| A                                                                                                                                          | SEP.24 | TOWN PLANNING DRAWING                        | J.C |                                                                                    |  |  |  |                                                                                       |  |           |  |        |  |
| B                                                                                                                                          | SEP.25 | ANSWERED COUNCILS FURTHER INFORMATION LETTER |     |                                                                                    |  |  |  |                                                                                       |  |           |  |        |  |
|                                                                                                                                            |        |                                              |     |                                                                                    |  |  |  |                                                                                       |  |           |  |        |  |
|                                                                                                                                            |        |                                              |     |                                                                                    |  |  |  |                                                                                       |  |           |  |        |  |
| COPYRIGHT WARNING                                                                                                                          |        |                                              |     | SCALE:                                                                             |  |  |  | SIZE:                                                                                 |  | REVISION: |  | SHEET: |  |
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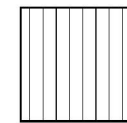


**SOUTH ELEVATION**  
SCALE 1 - 100

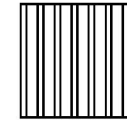


**EAST ELEVATION**  
SCALE 1 - 100

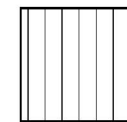
**MATERIAL LEGEND**



SELECTED COLORBOND ROOF IN EUCALYPTUS GREEN TO MATCH EXISTING OR SIMILAR



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SELECTED VERTICAL WEATHERBOARD CLADDING IN CREAM OR SIMILAR TO MATCH EXISTING

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THE GROUND MUST SLOPE MIN 50mm AWAY FROM THE DWELLING FOR THE FIRST 1.0m SURROUNDING THE DWELLING OR INSTALL AG. DRAIN SYSTEM AND CONNECT TO SWD VIA SILT PITS TO PREVENT PONDING.

THE SOIL LEVEL BELOW THE DWELLING MUST NOT BE LOWER THAN SOIL LEVEL SURROUNDING THE DWELLING.

SLOPE OF THE LAND IN AREA OF WORKS IS 7° OR 12.28%



Cardinia

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Date Prepared: 12 November 2025

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TITLE:  
PROPOSED ADDITIONS & ALTERATIONS  
AT 10 CARCOOLA STREET, COCKATOO 3781

SCALE:  
1 : 100

SIZE:  
A3

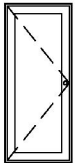
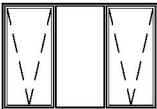
REVISION:  
A



TP06

SHEET:  
6 OF 9

PROPOSED WINDOW / DOOR SCHEDULE

| MARK        | W16 & W18                                                                          | D17                                                                                 | W19                                                                                 |
|-------------|------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| LOCATION    | KITCHEN / MUD ROOM                                                                 | MUD ROOM                                                                            | BED 3                                                                               |
| HEIGHT      | 1000                                                                               | 2100                                                                                | 1400                                                                                |
| WIDTH       | 1450                                                                               | 880                                                                                 | 2050                                                                                |
| ELEVATION   |  |  |  |
| DESCRIPTION | ALUMINIUM WINDOW<br>A/F                                                            | TIMBER FRAME GLASS DOOR<br>820GD                                                    | ALUMINIUM WINDOW<br>A/F/A                                                           |

EXISTING WINDOW SCHEDULE

| WINDOW NO. | HEIGHT | WIDTH | OPENABILITY                    |
|------------|--------|-------|--------------------------------|
| W 01       | 2100   | 1810  | FIXED/870 FRONT DOOR/FIXED (T) |
| W 02       | 1350   | 1810  | AWNING/FIXED (T)               |
| W 03       | 1030   | 610   | SLIDING/FIXED                  |
| W 04       | 2100   | 1700  | 820 DOOR/820 DOOR (T)          |
| W 05       | 1200   | 1200  | AWNING (T)                     |
| W 06       | 250    | 2050  | FIXED (1.8HH)                  |
| W 07       | 250    | 2050  | FIXED (1.2HH)                  |
| W 08       | 1000   | 1200  | AWNING (REMOVED)               |
| W 09       | 2100   | 830   | 770 DOOR (REMOVED)             |
| W 10       | 1400   | 350   | AWNING (REMOVED)               |
| W 11       | 680    | 610   | SLIDING/FIXED                  |
| W 12       | 680    | 1200  | SLIDING/FIXED (REMOVED)        |
| W 13       | 1200   | 1810  | AWNING/FIXED                   |
| W 14       | 830    | 900   | FIXED (T)                      |
| W 15       | 1540   | 2400  | SLIDING/FIXED/SLIDING          |

WINDOW LEGEND

|     |               |       |                      |
|-----|---------------|-------|----------------------|
| A   | AWNING SASH   | GD    | GLASS DOOR           |
| D   | DOOR          | S     | SLIDING SASH         |
| D.G | DOUBLE GLAZED | 0.0HH | HEAD HEIGHT FROM FFL |
| F   | FIXED SASH    | (T)   | TIMBER FRAME         |

NOTE\*\*  
ALL GLAZED DOORS TO BE GRADE A SAFETY GLASS  
WITH A OPAQUE BAND

REFER TO ENERGY REPORT FOR THE REQUIRED TOTAL  
WINDOW SYSTEM U-VALUES AND SOLAR HEAT GAIN  
COEFFICIENTS VALUES

WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZES  
WILL VARY ACCORDING TO MANUFACTURE. WINDOWS  
TO BE FLASHED ALL AROUND AND GLAZING TO  
AS 1288-2021.

ALL EXISTING & PROPOSED WINDOWS ARE TO BE OF  
ALUMINIUM CONSTRUCTION UNLESS NOTED  
OTHERWISE

ALL WINDOWS TO BE AT 2.1m HEAD HEIGHT UNLESS  
OTHERWISE NOTED



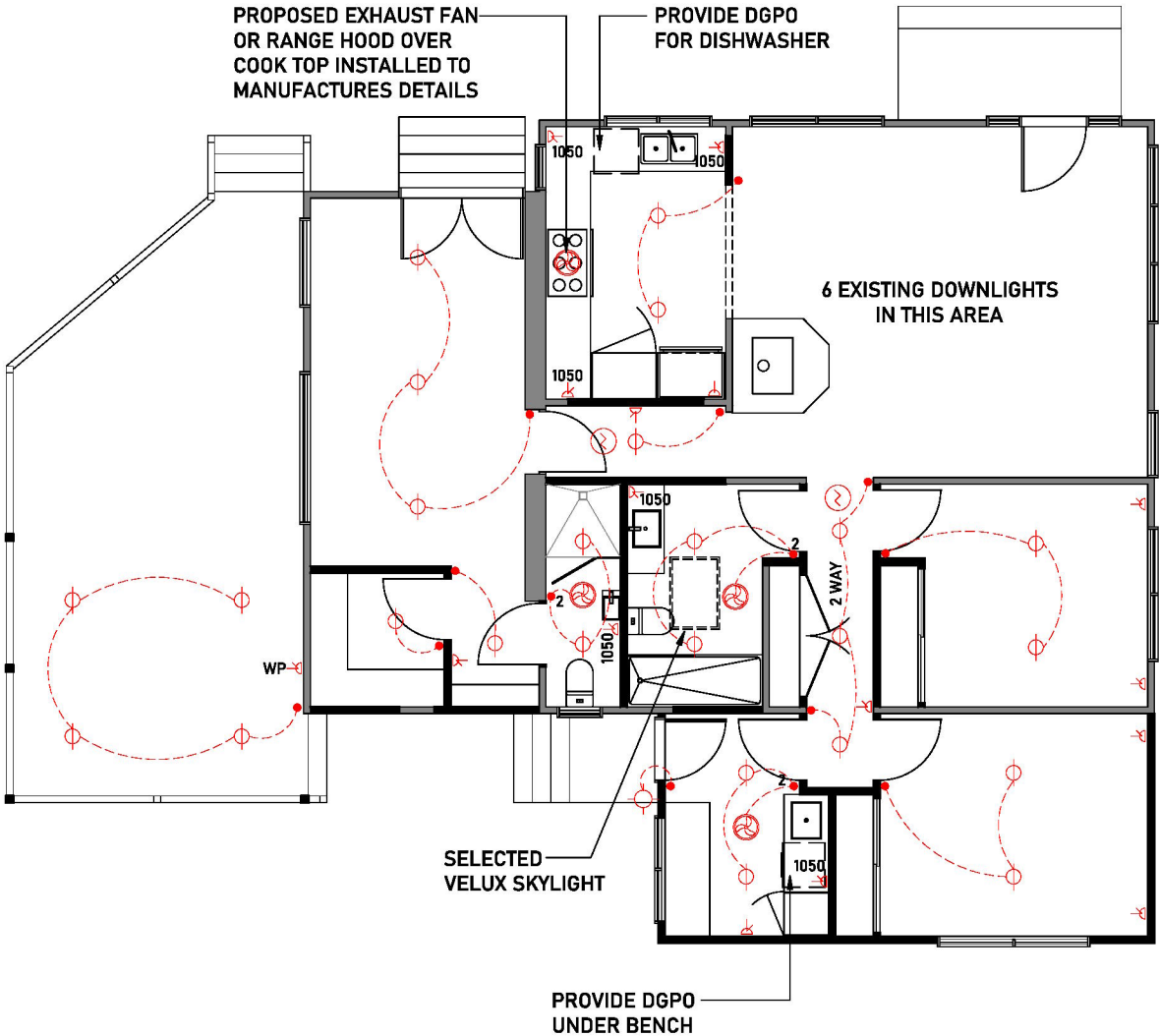
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Planning Application: T240567  
Date Prepared: 12 November 2025

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| AMENDMENTS                                                                                                                                 |        |                                              |     | TITLE:                               |  |       |  | TP07 | ANTHONY MANCAPELLA - DP AD 62382 | SHEET:<br>7 OF 9 |
|--------------------------------------------------------------------------------------------------------------------------------------------|--------|----------------------------------------------|-----|--------------------------------------|--|-------|---------------------------------------------------------------------------------------|------|----------------------------------|------------------|
| ISSUE                                                                                                                                      | DATE   | CHANGE                                       | BY  | PROPOSED ADDITIONS & ALTERATIONS     |  |       |                                                                                       |      |                                  |                  |
| A                                                                                                                                          | SEP.24 | TOWN PLANNING DRAWING                        | J.C | AT 10 CARCOOLA STREET, COCKATOO 3781 |  |       |                                                                                       |      |                                  |                  |
| B                                                                                                                                          | SEP.25 | ANSWERED COUNCILS FURTHER INFORMATION LETTER | J.C | PREPARED FOR:                        |  |       |                                                                                       |      |                                  |                  |
|                                                                                                                                            |        |                                              |     |                                      |  |       |                                                                                       |      |                                  |                  |
|                                                                                                                                            |        |                                              |     |                                      |  |       |                                                                                       |      |                                  |                  |
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**LIGHTING CALCULATIONS**

ADDITION

81.65 x 5 WATTS = 408 TOTAL WATTS ALLOWED

- 21 ENERGY EFFICIENT LOW VOLTAGE DOWN LIGHTS AT 9 WATTS EACH = 189 WATTS

TERRACE

29.60 x 4 WATTS = 118 TOTAL WATTS ALLOWED

- 4 ENERGY EFFICIENT LOW VOLTAGE DOWN LIGHTS AT 9 WATTS EACH = 36 TOTAL WATTS

TOTAL WATTS = 225 WATTS

**ELECTRICAL NOTES**

- PROVIDE WIRING IF REQUIRED FOR: STOVE, RANGEHOOD, HEATING UNIT, WATER PUMPS, HOT WATER SERVICE, DISH WASHER, MICROWAVE
- EXTERNAL LIGHTS TO BE CONTROLLED BY A DAYLIGHT SENSOR IF REQUIRED
- POSITION OF HEATING & COOLING DUCTS SUBJECT TO INSTALLER'S DISCRETION
- ALL SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS. 3786-2014 AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1,2,3 OR 4 BUILDING, THE SMOKE ALARM SHALL BE HARD WIRED WITH A BATTERY BACKUP AND INTER-CONNECTED.
- ALL DOWN LIGHTS ARE TO BE SEALED AT THE CEILING
- ALL EXHAUST FANS WILL BE SEALED AND HAVE SELF-CLOSING DAMPERS INSTALLED. EXHAUST FANS ARE TO BE DUCTED OUTSIDE
- LOCATION OF LIGHTS IS INDICATIVE AND MAY CHANGE ON SITE

**ELECTRICAL LEGEND**

- CEILING BATTEN LIGHT HOLDER
- ⊕ LOW VOLTAGE DOWNLIGHT
- ⊖ PENDANT LIGHT
- ⊙ WALL MOUNTED LIGHT
- ⊗ FLOOD LIGHT
- ⊕ IXL TASTIC
- ⊕ SWEEP FAN
- TV TV OUTLET
- ▲ DATA POINT
- ⊕ EXHAUST FAN
- ⊕ 240v SMOKE ALARM
- 0 SWITCH (INDICATE NUMBER OF SWITCHES ON PLATE)
- 2 WAY TWO WAY SWITCH
- 3 WAY THREE WAY SWITCH
- ⊕ DOUBLE POWER POINT
- ⊕ SINGLE POWER POINT
- 1200 LOCATION ABOVE FFL
- WP WATER PROOF POWER POINT

**PROPOSED ELECTRICAL FLOOR PLAN**  
SCALE 1 - 100

PLANNING  
BAL

| AMENDMENTS |        |                                              |     |
|------------|--------|----------------------------------------------|-----|
| ISSUE      | DATE   | CHANGE                                       | BY  |
| A          | SEP.24 | TOWN PLANNING DRAWING                        | J.C |
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|            |        |                                              |     |
|            |        |                                              |     |

|                                      |  |
|--------------------------------------|--|
| TITLE:                               |  |
| PROPOSED ADDITIONS & ALTERATIONS     |  |
| AT 10 CARCOOLA STREET, COCKATOO 3781 |  |
|                                      |  |

TP08

SHEET:  
8 OF 9

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| 1 : 100 | A3    | A         |

GENERAL NOTES

- ALL MATERIALS AND WORK PRACTICES SHOULD COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2022, NATIONAL CONSTRUCTION CODE SERIES 2022 BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- UNLESS OTHERWISE SPECIFIED, THE TERM NCC SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2022 BUILDING CODE OF AUSTRALIA VOL 2.
- UNLESS OTHERWISE SPECIFIED, THE TERM HPS SHALL REFER TO THE HOUSING PROVISION STANDARD 2022.
- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE NCC 2022. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.
- GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:
  - NCC 2022 VOL 2 H1D7 & H1D8 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THEN N3; AND
  - NCC 2022 VOL 1 B1D4 FOR CLASS 2 AND 9 BUILDINGS
- WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2021: WATERPROOFING OF DOMESTIC WET AREAS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.
- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
  - RISERS (R) 190mm MAXIMUM AND 115mm MINIMUM
  - GOING (G) 355mm MAXIMUM AND 240mm MINIMUM
  - 2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM
  - WITH LESS THAN 125mm GAP BETWEEN OPEN TREADS.
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET CONDITIONS IN ACCORDANCE WITH AS 4586.
- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:
  - 1000mm MIN. ABOVE FINISHED SURFACE LEVEL TO BALCONIES, LANDINGS OR THE LIKE, AND
  - 865mm MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
  - VERTICAL WITH LESS THAN 125mm GAP BETWEEN, AND
  - ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC 2022 BCA PART H5D3 HPS11.3.6 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2022 VOLUME 1 PART D3D21 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HAND RAILS TO BE MINIMUM 865mm VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS
- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- WHERE THE BUILDING ( EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE BUILDING IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.
- CONCRETE STUMPS
  - UP TO 1400mm LONG TO BE 100mm x 100mm (1 NO. H.D. WIRE)
  - 1401mm TO 1800mm LONG TO BE 100mm x 100mm (2 NO. H.D. WIRES)
  - 1801mm TO 3000mm LONG TO BE 125mm x 125mm (2 NO. H.D. WIRES)
  - 100mm x 100mm STUMPS EXCEEDING 1200mm ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.
- DO NOT SCALE DRAWING, USE WRITTEN DIMENSIONS ONLY.
- SITE PLAN MEASUREMENTS IN METRES-ALL OTHER MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE.
- DOOR TO W.C. TO BE FITTED WITH LIFT OFF HINGES UNLESS CLEAR SPACE OF 1200MM BETWEEN DOOR & PAN.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING WORKS, DURING ALL WORKS. ALL PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS 2601-2001.
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE AUTHOR. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE AUTHOR'S WRITTEN CONSENT DOES SO AT OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.
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- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.



**Cardinia**

**ADVERTISED MATERIAL**

Planning Application: T240567

Date Prepared: 12 November 2025

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| AMENDMENTS                                                                                                                                 |        |                                              |     | TITLE:                               |       |           |  | TP09 |  |  |
|--------------------------------------------------------------------------------------------------------------------------------------------|--------|----------------------------------------------|-----|--------------------------------------|-------|-----------|---------------------------------------------------------------------------------------|------|--|--|
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|                                                                                                                                            |        |                                              |     |                                      |       |           |                                                                                       |      |  |  |
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