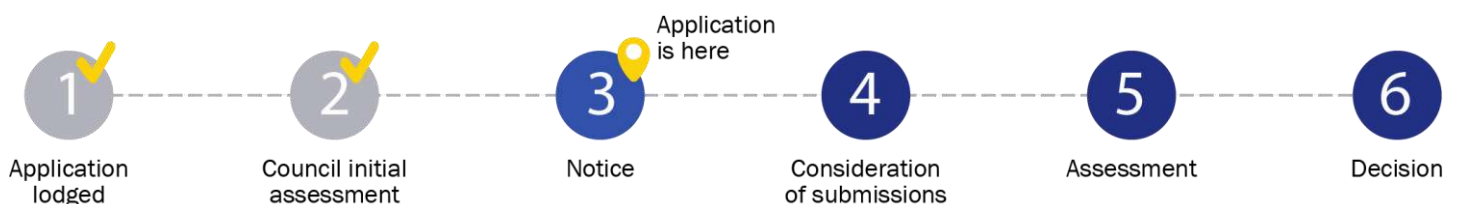


Notice of Application for a Planning Permit

ADVERTISED MATERIALPlanning Application: T250395
Date Prepared: 31 October 2025This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

The land affected by the application is located at:	PC375967 V11621 F735 6 Fell Road, Cockatoo VIC 3781
The application is for a permit to:	Building and works for a Dwelling
A permit is required under the following clauses of the planning scheme:	
43.02-2	Construct a building or construct or carry out works,
44.06-2	Construct a building or construct or carry out works associated with a dwelling
45.05-2	Construct or extend a dwelling or other building
APPLICATION DETAILS	
The applicant for the permit is:	Nobelius Land Surveyors
Application number:	T250395
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	21 November 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application Summary

Portal Reference A325475A

Basic Information

Proposed Use	Development of the land for a dwelling in the BMO, buildings and works in the DDO and vegetation removal.
Current Use	The land is developed with a shed but is currently vacant with the exception of the shed.
Cost of Works	\$500,000
Site Address	6 Fell Road Cockatoo 3781

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	Not Applicable, no such encumbrances apply.
---	---

Contacts

Type	Name	Address	Contact Details
Applicant	Nobelius Land Surveyors	20 Henry Street, Pakenham VIC 3810	W: 5941-4112
Preferred Contact	Nobelius Land Surveyors	20 Henry Street, Pakenham VIC 3810	W: 5941-4112

Fees

Regulation Fee Condition		Amount	Modifier	Payable
9 - Class 4	More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
		Total		\$1,462.50

Cardinia
ADVERTISED MATERIAL
 Planning Application: T250395
 Date Prepared: 31 October 2025

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 20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
 Purton Road, Pakenham, Victoria

Postal Address
 Cardinia Shire Council
 P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
 5pm

Phone: 1300 787 624

After Hours: 1300 787 624

Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
03-07-2025	A Copy of Title	Title dated 27 June 2025.pdf
03-07-2025	A proposed floor plan	No.6, Fell Road, Cockatoo_Rev C.pdf
03-07-2025	Additional Document	Cover letter - Initial submission.pdf
03-07-2025	Additional Document	BMP V1- 6 FELL ROAD COCKATOO.pdf
03-07-2025	Additional Document	BUSHFIRE Planning Report V1 - PATHWAY 1 - 6 Fell Rd Cockatoo.pdf
03-07-2025	Additional Document	Plan of Consolidation dated 27 June 2025.pdf
03-07-2025	Additional Document	Town Planning Report 6 Fell Road.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 11621 FOLIO 735

Security no : 124125744200A
Produced 27/06/2025 05:29 PM

LAND DESCRIPTION

Land in Plan of Consolidation 375967W.

PARENT TITLES :

Volume 05897 Folio 325 Volume 08102 Folio 758

Created by instrument PC375967W 09/12/2015

REGISTERED PROPRIETOR


Cardinia
ADVERTISED MATERIAL
Planning Application: T250395
Date Prepared: 31 October 2025

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ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY247075J 26/07/2024

AUSTRALIA AND NEW ZEALAND BANKING GROUP LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PC375967W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 6 FELL ROAD COCKATOO VIC 3781

ADMINISTRATIVE NOTICES

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Effective from 26/07/2024

DOCUMENT END

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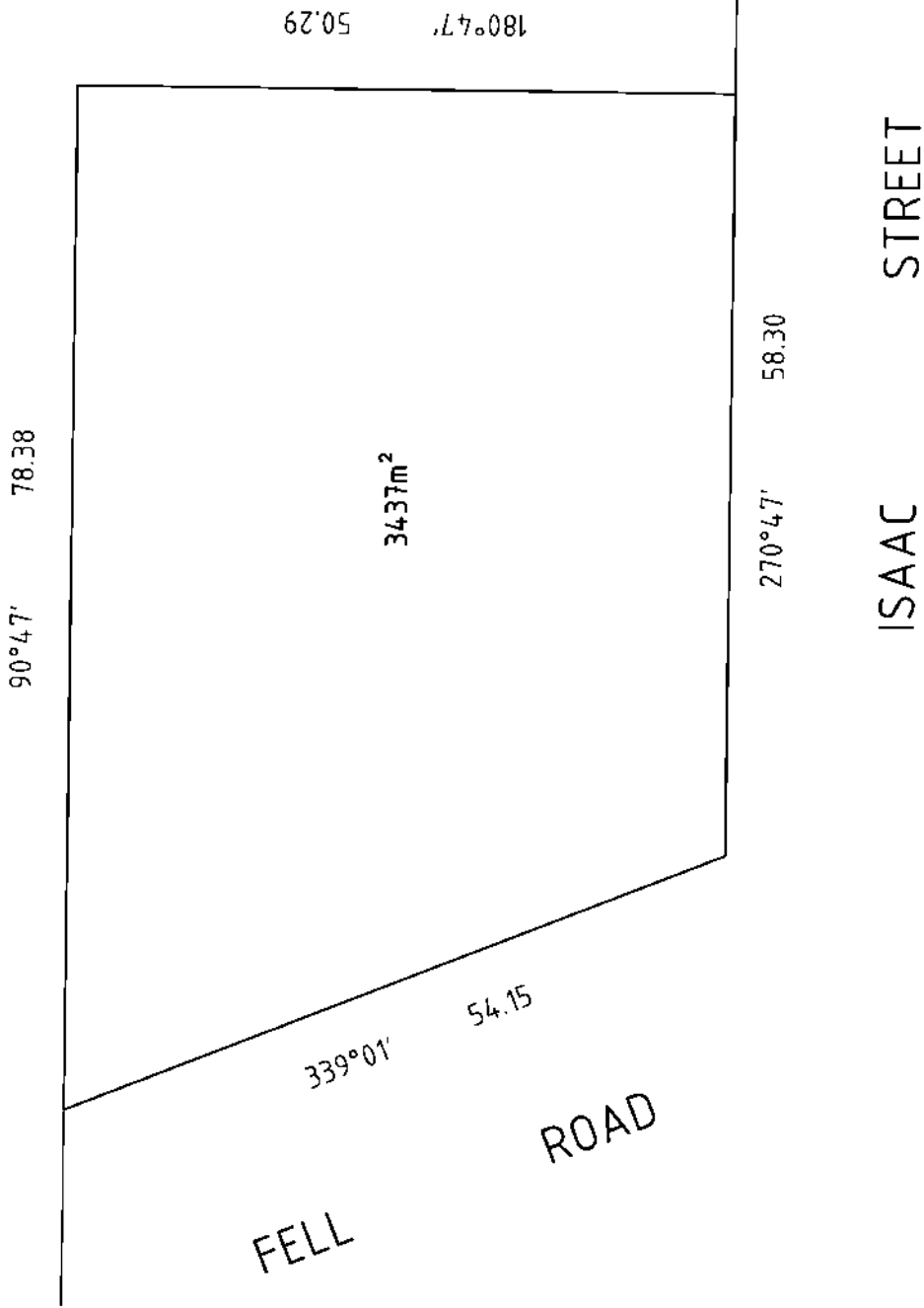
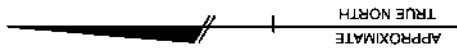
PC 375967 W



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NOBELIUS LAND SURVEYORS
P.O. BOX 481
PAKENHAM 3810
Ph 03 5941 4112
mail@nobellius.com.au



SCALE
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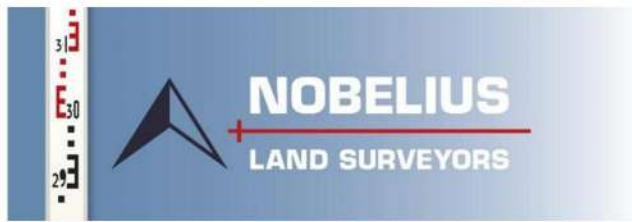
4 1 1 4 0 4 12 18
LENGTHS ARE IN METRES

Digitally signed by: Benjamin Stephen Nobellius (Nobellius Land Surveyors Pty Ltd),
Surveyor's Plan Version (A),
12/11/2015

ORIGINAL SHEET
SIZE: A3

Digitally signed by:
Cardinia Shire Council,
18/11/2015,
SPEAR Ref: SU76729S

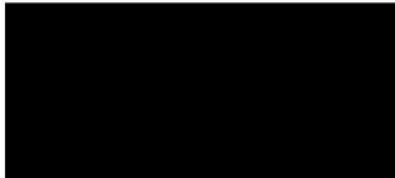
SHEET 2



20 Henry Street
PO Box 461
Pakenham
VIC 3810

ABN: 25 006 181 344
PHONE: 03 5941 4112
EMAIL: mail@nobelius.com.au
WEB: www.nobelius.com.au

25th September, 2025



Nobelius Land Surveyors
20 Henry Street, Pakenham VIC 3810
julie@nobelius.com.au

Dear Tanvi,

Re: Response to S54 Request for Further Information

Application No.: T250395 PA

Proposal: The Development of the land for a Dwelling and removal of vegetation

Location: 6 Fell Road, COCKATOO VIC 3781, V 11621 F 735

Thank you for your request for further information under section 54 of the Planning and Environment Act 1987 for the above-mentioned application. We wish to respond as follows:

REQUEST FOR FURTHER INFORMATION

1. AMENDED SITE PLAN TO INCLUDE

- Location and width of driveways.
- All existing buildings and structures to be retained or removed.
- Location of proposed crossovers and setbacks from any street trees. (including the Tree protection zones).
- Location of all vegetation to be removed (i.e.: to be shown with a dotted outline) and retained (i.e.: to be shown with solid lines).
- Location of any earthworks/retaining walls.
- Notations or details of all Tree Protection Zones within 10 metres of the proposed works areas (inclusive of trees on neighbouring land and road reservations, as applicable).

Response

The following revisions relate to plans by *SJDHomes*, issue E, dated 25.09.2025

a) The driveway is shown as a loop (as per the existing driveway configuration) from Isaac Street to Fell Road. The driveway width measures between 3.7 metres wide to 4.2 metres.

b) The shed to the east of the dwelling will be retained and is labelled as such.

c) The crossover to Isaac Street is existing and is shown on the plans. There are no street trees adjacent to this crossover. The crossover to Fell Road is existing and there are no street trees proximate to this crossover. The crossovers are shown on plans.

d) An Arborist Impact assessment is provided by *Ajarboriculture* that shows the trees GPS located on the site. The trees to be removed are detailed in the Preliminary and Impact Arborist report (pages 1-22) and the Town Planning report (pages 20-21). The trees to be removed are listed below (extracted from Appendix 2 in the above-mentioned Arborist assessment).

Site ID	Specie	Permit?
1	Syzygium smithii (Lilly Pilly)	FALSE
10	Pittosporum eugenioides 'Variegatum' (Variegated Tarata)	FALSE
11	Pittosporum eugenioides 'Variegatum' (Variegated Tarata)	FALSE
12	Pittosporum eugenioides 'Variegatum' (Variegated Tarata)	FALSE
15	Acacia floribunda (Gossamer Wattle)	FALSE
16	Acacia floribunda (Gossamer Wattle)	FALSE
18	Cornus capitata (Evergreen Dogwood)	FALSE
19	Pittosporum tenuifolium (Kohuhu)	FALSE
3	Acer palmatum (Japanese Maple)	FALSE
32	Rhododendron sp. (Rhododendron)	FALSE
33	Grevillea robusta (Silky Oak)	TRUE
35	Allocasuarina torulosa (Rose She-oak)	TRUE
4	Acacia melanoxylon (Blackwood)	TRUE
43	Pittosporum eugenioides 'Variegatum' (Variegated Tarata)	FALSE
44	Pittosporum eugenioides 'Variegatum' (Variegated Tarata)	FALSE
48	Fraxinus angustifolia subsp. angustifolia (Desert Ash)	FALSE
49	Camellia japonica (Camellia)	FALSE
50	Rhododendron sp. (Rhododendron)	FALSE
59	Hakea salicifolia (Willow-leaved Hakea)	FALSE

The trees to be removed and retained are consistent across the Arborist and Town Planning reports, and the plans.

e) The location of earthworks was shown on submitted plans. Please refer to the shaded areas on sheet No. 02A of 13 (light purple denotes site cut and pale purple shaded areas denotes site fill, as per below). The depth of site cuts and fill are detailed on the elevation plans. There are no retaining walls proposed, only suitable batters, as shown on the elevation plans.

SITE CUT/FILL LEGEND & NOTES

DENOTES AREA OF SITE CUT

DENOTES AREA OF SITE FILL

f) Details of TPZs within 10 metres of the proposed works are shown on the Development and Arborist site plans. There are no third party owned or

	managed trees within 10 metres of the proposed works., and none that are proposed for removal. The development and creation of defendable space (or rather canopy separation as a toll for bushfire risk mitigation are shown on both the arborist plans and Developments plans.
--	--

2. AMENDED ELEVATION PLANS TO INCLUDE

- a) Finished floor levels of buildings and garages (to AHD).
- b) Natural ground level and finished ground level (to AHD) clearly nominated on all elevations for the length of the boundaries.
- c) Overall building height from natural and finished ground level shown on all elevation drawings.
- d) Details of construction materials/colours proposed to be used.

Response	a) The finished floor levels of the dwelling and garage (to AHD) are shown on the site plan (02B of 13) and elevation plans provided by <i>SJDHomes</i>. Please refer to sheets 04 of 13. b) Natural ground level and finished ground level (to AHD) is nominated on all elevations for the length of the earthworks is shown on plans provided by <i>SJDHomes</i>. Please refer to sheet 04 of 13. The Finished Floor level of the dwelling and the garage is 177.3 AHD. Natural Ground Levels are also shown on the elevation and site plans for the area surrounding the dwelling development, as is suitable. Please refer to sheet 02A and 02B. c) Maximum building height measured from natural ground level to the apex of the roof measures 6.9 metres and is shown on Elevation B – West on sheet 04. The natural and finished ground level is shown on all elevation drawings. Refer to sheet 04 of 13. d) Details of construction materials/colours proposed to be used is shown on the elevations drawing, sheet 04 of 13. These finishes are muted and non-reflective and are consistent with materials and finishes evident in the surrounding area.
-----------------	--



EXTERNAL MATERIAL SCHEDULE		
TYPE	DESCRIPTION/COLOUR	IMAGE
FACE BRICKWORK	AUSTRAL 'DOMAIN SANCTUARY'	
RENDERED BRICKWORK	RENDER IN 'COLORBOND - WALLABY'	
RENDERED FOAM	RENDER IN 'COLORBOND - DUNE'	
ROOF, FASCIA/GUTTER, DOWNPIPES	COLORBOND ROOF, FASCIA/GUTTER AND DOWNPIPES IN 'MONUMENT' COLOUR	
GARAGE DOOR	'COLORBOND - DUNE'	
WINDOW FRAMES	ALUMINIUM IN 'MONUMENT'	
FRONT DOOR	'HAYMES - AGED GREY 5'	

3. VEGETATION REMOVAL	
ADVERTISED MATERIAL Planning Application: T250395 Date Reported: 31 October 2025 a) Arborist assessment/ construction impact assessment prepared by a suitably qualified arborist to identify any tree that will be impacted by the proposed works and/or through the creation of a defendable space for the dwelling (extension). Any assessment must also consider vegetation within the Council's Road reserve: Note: If any vegetation is to be removed that is not otherwise exempt under the Cardinia Planning Scheme, planning permission will need to be applied for and the application form updated to include vegetation removal. b) A tree retention and removal plan (based on the provided site and arborist plans) to demonstrate: - How the defendable space area proposed in the Bushfire Management Statement can be achieved, whilst only removing vegetation to the minimum extent necessary to create the 5-metre canopy separation required. - All trees to be retained and removed to create the defendable space identified using differentiating colours (i.e. 'Red' for removal, 'Green' for retention). - All trees impacted by the development (i.e. proposed extension works) are also shown in differentiating colours (i.e. 'Yellow' for development impact) as per the recommendations in the arborist assessment provided.	
Response	An Arboricultural Preliminary and Impact Assessment has been provided by <i>Ajarboriculture</i> , dated September 2025. The arborist site plans show trees GPS located trees that are attributed with a Retention value based on aesthetic qualities, cultural and heritage values, social, health and psychological benefits, ecological and economic benefits. Of the trees assessed, 17 trees are attributed with Moderate Retention value, and the balance received Low

Retention Values. Nineteen trees are proposed to be removed as a consequence of the building and works, or to achieve the 5 metre canopy separation as per the BMP and requirements of clause 53.02. Of these trees only three require permission to remove. These are listed below and detailed in the Arborist report.

TREE ID	COMMON NAME	PERMIT TRIGGERED?	NOTES
1	Lilly Pilly	No	Exempt under 52.12
3	Japanese maple	No	Exempt under 52.12
4	Acacia (Blackwood)	Yes	
10-12, 43, 44	Pittosporum (variegated tarata)	No	Exotic
15 + 16	Acacia (gossamer Wattle)	Yes	Exempt under 52.12
18	Evergreen Dogwood	No	Exotic
19	Pittosporum tenuifolium	No	Exotic
33	Silky Oak	Yes –ESO trigger	
35	Rose She-Oak	Yes – ESO trigger	
48	Desert Ash	No	Exotic
49	Camellia	No	Exotic
50	Rhodoendron	No	Exotic
59	Willow-leaved Hakea	No	Exempt under 52.12

ADVERTISED MATERIAL

Planning Application: T250395
Date Prepared: 31 October 2025

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ADDITIONAL VEGETATION REQUIREMENTS (EMAIL FROM COUNCIL DATED 21/08/2025)

Environment requests further information.

Clause 42.02 Vegetation Protection Overlay

Environment has reviewed the information provided for consideration pursuant to Schedule 1 to Clause 42.02 of the Cardinia Planning Scheme, however, insufficient information has been provided to enable a proper assessment. Therefore, the following information is required in accordance with Clause 42.02-4 (Application requirements) before a response can be provided:

- A photograph or site plan (drawn to scale) showing the boundaries of the site, existing vegetation and the vegetation to be removed.
- A description of the vegetation, including understorey to be removed, including the species, extent, number and size (diameter at 1.3 metres above natural ground level) of any trees to be removed and the Ecological Vegetation Class of native vegetation.
- Location of any hollow bearing trees.
- Topographic information, highlighting ridges, crests and hilltops, streams and waterways, slopes of more than 20 percent, drainage lines, low lying areas, saline discharge areas, and areas of existing erosion.
- A written explanation of the steps that have been taken to:
 - Avoid the removal of vegetation, where possible.
 - Minimise the removal of vegetation.

	○ Any actions to contribute to the ongoing management of existing vegetation on the site. ○ Appropriately replace and/or compensate the loss of vegetation, if required. • A copy of any property vegetation plan that applies to the site. • Where the removal, destruction or lopping of vegetation is to create defensible space, a statement explaining why removal, destruction or lopping of vegetation is required having regard to other available bushfire risk mitigation measures. This does not apply to the creation of defensible space in conjunction with an application under the Bushfire Management Overlay.
Response	As per above: An Arboricultural Preliminary and Impact Assessment has been provided by <i>Ajarboriculture</i>, dated September 2025. The arborist site plans show trees GPS located and attributed with a Retention value based on aesthetic qualities, cultural and heritage values, social, health and psychological benefits, ecological and economic benefits. The report includes photos and details of each tree. There are no hollow bearing trees on the site. The Arborist plan include details on topography. Of the trees assessed, 17 trees were attributed with Moderate Retention value, and the balance received Low Retention Values. Nineteen trees are proposed to be removed as a consequence of the building and works, or to achieve the 5 metre canopy separation as per the BMP and requirements of clause 53.02. The trees that are proposed for removal have been selected on their retention value, with all efforts made to retain moderate retention trees. Those three trees that require permission to remove are located proximate to buildings and works and as such, are nominated for removal. As per page 13 of the Town planning report: "Tree removal to achieve tree canopy separation of the discrete clusters of onsite vegetation has been nominated on the basis of their low retention value with unprotected trees nominated for removal. The three trees nominated for removal are impacted by development and works. The siting of the dwelling is determined on the basis that it provides separation from the northern boundary, which is the direction associated with the highest risk of an approaching bushfire. This has consequences associated with tree removal associated with buildings and works given the location of trees proximate to the southern boundary".

4. LANDSCAPE PLAN

- a) A fully dimensioned Landscape Plan drawn by a suitably qualified professional to a stated scale and a minimum of A3 in size, clearly showing the following:
- Landscaping and planting across all open areas of the subject site.

Response	The land owners are not gardeners and do not intend to formally landscape the site. It is not their intent to plant out the open areas of the site. Their preference is to leave the open areas as grassed understorey, as is its current state. This is entirely consistent with the 'landscaped areas', or lack thereof, of the adjoining lots that evidence little to no formal gardens.
-----------------	--

PRELIMINARY COMMENTS

STREET SETBACK (ISSAC STREET)

The Design and Development Overlay – Schedule 1 (DDO1) and Low-Density Residential Zone seek to achieve an attractive low density residential environment. The proposed dwelling is sited with a minimum setback of 5 metres from Issac Street and does not adequately respond to the objectives of these controls. To improve the likelihood of Council support, it is recommended that the setback is increased or further written justification otherwise provided to support the proposed siting.

Response The setback of the proposed dwelling from Isaac Street measures 6 metres and is considered appropriate because this setback is more generous than the side setbacks of existing dwellings that address Isaac Street, as evidenced in the map below.

Fell Road is the frontage and the proposed dwelling preserves a generous (minimum 34metre setback from this frontage. The side setback of existing dwellings in Isaac Street is reduced to less than 5 meters in all properties but one (7 Isaac Street) with most properties evidencing built form to within 2 metres of the boundary (notably 1, 2, 3, 4 and 5), as indicated below (*Nearmaps*, Aerial image dated December 2024).

The proposal therefore provides for a more generous side setback than is evidenced by the existing dwellings that address Isaac Street.



CLAUSE 52.12 (BUSHFIRE EXEMPTIONS)

Clause 52.12-5 exempts the requirement to obtain a Planning Permit for removal, destruction or lopping of vegetation to enable the construction of a dwelling and create its defensible space.

Unless additional vegetation removal is proposed beyond the limitations of this exemption, the application must be amended under Section 50 of the Planning and Environment Act 1987 to remove reference to vegetation removal as a permit trigger.

Response Of the nineteen trees to be removed, five (5) are exempt under clause 52.12 given their proximity to an existing fence line that was built before September 2009; and eleven (11) do not require a planning permit because they are exotic species. Only three trees; 4, 33 and 35 trigger a permit requirement for removal under the Vegetation Protection Overlay.

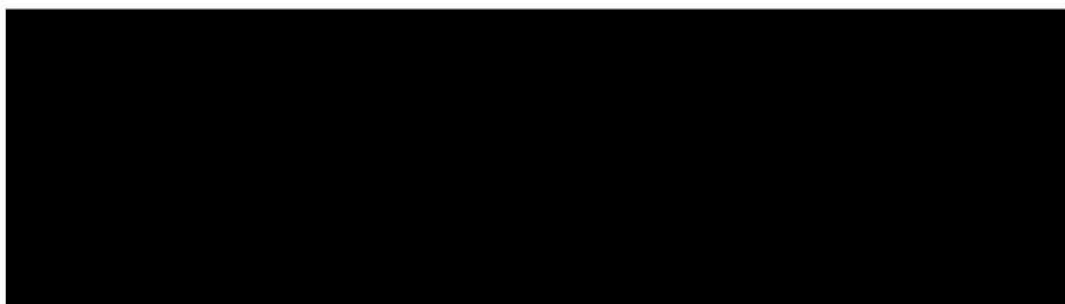
	Please read in conjunction with the Development Plans, the Arboricultural Report and the Town Planning report. Additionally, as per the following extract from page 16 of the Town planning report: “It should be noted that the vegetation is assessed as ‘modified’(please refer to the BMS), necessitating the site in its entirety to be managed as defensible space. The direction of highest threat is considered to be to the north, so the siting of the dwelling is proximate to the southern boundary to maximise setback from the direction of highest threat, with all efforts made to ensure consistency with the side setbacks of built form on adjoining and surrounding properties, which contribute to existing character.”
--	--

The following documents have been updated to ensure consistency throughout all assessments:

- Town planning report (dated 25/9/2025, V2) by *Nobelius Land Surveyors*;
- Bushfire Planning report (dated 25/9/2025, V2) by *Nobelius Land Surveyors*;
- Arborist Preliminary and Impact Statement and plan by *Ajarboriculture*, September 2025;
- Development Plans by *SJD Homes*, Revision E, 19/9/2025.

A Section 50 has been provided to formalise the changes made to plans. Though this results, at the discretion of the council planner, to restart the statutory clock, it is assumed that this will not slow the course or progress of the application (as this is not the intent of Section 50), and the application will proceed as per prior to the submission of the s50.

We trust that the above has satisfied Council’s request and we look forward to proceeding to advertising. Should Council require any further information or wish to discuss our response further, please feel free to contact julie@nobelius.com.au or 03 5941 4112.



TOWN PLANNING REPORT

**DEVELOPMENT OF THE LAND FOR A DWELLING IN THE BMO;
BUILDINGS AND WORKS IN THE DDO; AND VEGETATION
REMOVAL.**

AT 6 FELL ROAD, COCKATOO 3781



ADVERTISED MATERIAL

Planning Application: T250395
Date Prepared: 31 October 2025

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1. PRELIMINARY

ADDRESS	PC375967, 6 Fell Road, Cockatoo 3781			
RESPONSIBLE AUTHORITY	Cardinia Shire Council			
ZONE	Low Density Residential Zone			
OVERLAY	Bushfire Management Overlay Design and Development Overlay Schedule 1 Restructure Overlay - Schedule 10 Vegetation Protection Overlay Schedule 1			
BUSHFIRE PRONE AREA	Yes			
CULTURAL HERITAGE	Partial - Associated with Cockatoo Creek			
EASEMENTS, RESTRICTIONS, ENCUMBRANCES	Plan of Consolidation (PC) 375967W is free from encumbrances such as easements. The Title is not encumbered by any restrictions, agreements or covenants.			
PROPOSAL	The development of the land for a dwelling in a BMO; buildings and works (earthworks) in a DDO; and vegetation removal.			
PERMIT TRIGGERS	- Pursuant to Part 2.0 of schedule 1 to Clause 43.02 of the Design and Development Overlay, a permit is required for buildings and works (earthworks). - Pursuant to clause 42.02 of the Vegetation Protection Overlay, a permit is required to remove vegetation. - Pursuant to Clause 45.05-2 of the Restructure Overlay a permit is required to construct a dwelling. - Pursuant to Clause 44.06-2 Bushfire Management Overlay a permit is required to construct a building, construct or carry out works associated with the development of the land for a dwelling.			
RELEVANT PLANNING CONTROLS AND INCORPORATED DOCUMENTS	Clause 11 Settlement Clause 12 Environmental and Landscape values Clause 13 Environmental Risks & Amenity Clause 15 Built Environment & Heritage Clause 16 Housing Clause 19 Infrastructure Clause 32.03 Low Density Residential Zone Clause 54 One dwelling on a lot Clause 65.01 Approval of an application Clause 71.03 Integrated decision making			
SUBMITTED DOCUMENTS	- Town Planning Report – <i>Nobelius Land Surveyors</i> - Bushfire management Statement - <i>Nobelius Land surveyors</i> - Plan of Survey – <i>SJDHomes</i> - Copy of Title & Title Plan - Copy of architectural drawings - <i>SJDHomes</i> - Arborist Impact Assessment -			
NLS QUALITY SYSTEM	AUTHOR	DATE ISSUED	CHECKED BY	REVISION
	JB	25/9/2025	RO	2

2. INTRODUCTION

This town planning report has been prepared by Nobelius Land Surveyors on behalf of the landowner and is submitted to Cardinia Shire Council to support an application for the development of the land for a single storey dwelling in the Bushfire Management Overlay and for Buildings and Works (earthworks) associated with the dwelling subject to the Design and Development Overlay, and the removal of vegetation on land subject to the Vegetation Protection Overlay.

The subject site is located in a low density residential area of Cockatoo. The land is able to connect to all services and is shown to be able to mitigate the risks associated with bushfire. The proposal is an excellent opportunity to provide residential development on suitably zoned land.

The purpose of this report is to assess the proposed single storey dwelling against the relevant provisions of the Cardinia Planning Scheme, and local and state planning policies. The proposed development has undergone an extensive design process and is informed by architectural plans and a Bushfire Management Statement and Plan (BMS & BMP) to ensure that the proposal is responsive to key site constraints and considerations, such as the Bushfire Management Overlay. The proposal responds to and integrates with surrounding residential developments on Fell Road and Isaac Street.

This report aims to demonstrate that the proposal is:

- Consistent with the State and Local Planning Policy framework;
- Consistent with the requirements of the Cardinia Planning Scheme;
- Consistent with the requirements of Clauses 44.06-2 and 42.02-2; and
- Will satisfactorily integrate with surrounding land use and development.

The proposal is entirely appropriate to be granted a planning permit and receive the Council's full support on the basis that the proposal supports Cardinia Shire Council's vision for residential development on the site and is appropriate for the locality.



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3. SUBJECT SITE AND SURROUNDING LOCALITY

SITE ANALYSIS

The land is formally described on PC375967, 6 Fell Road, Cockatoo, contained within Volume 11621 and Folio 735. The land is an irregular rectangular allotment, with dual frontages to Fell Road to the west and Isaac Street to the south. The site fronts Fell Road to the west and measures 54.15 metres and Isaac Street to the south of the lot and measures 54.30 metres. The site has a total area of 3,437m².

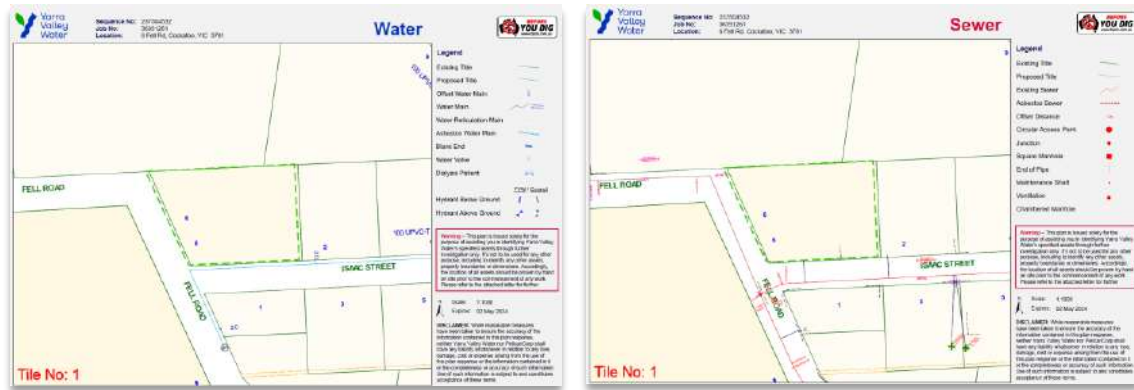


6 FELL ROAD, COCKATOO (IMAGE COURTESY OF NEARMAPS, 2024)

The land was developed with a modest single storey dwelling which was removed by previous landowners in 2020. A shed remains on the land located in the southeastern corner of the site. The land is currently vacant (with the exception of the shed) with existing crossovers to Fell Road and Isaac Street.

The balance of the land features grass coverage with scattered planted trees adjacent to the frontage and the boundaries. The site benefits from connections to reticulated services including water (below left) and sewerage (below right), electricity, Telstra and NBN (in order at bottom) as per below.





A review of the Certificate of Title indicates that there are no encumbrances registered to the title. The Plan of Consolidation (PC375967 W) does not indicate any easements within or adjacent to the Title boundary.

A copy of the Certificate of Title and the Plan of Consolidation have been provided as part of this submission.



PERMIT HISTORY

There are no recent permits associated with this allotment.

SURROUNDS

Fell Road is an unsealed residential road in Cockatoo that connects to Woori Yallock Road to the west of the subject site. Woori Yallock Road is a Transport Zone 2 road and forms part of the Principal Road Network and provided north to south thoroughfare. Isaac Street adjacent to the southern boundary is a residential thoroughfare that links with Terara Street, forming a loop with Nangana Street to the south. The roadside vegetation along Fell Road and Isaac Street contributes to the leafy character of the neighbourhood. The allotments to the east, northeast and south of the site are zoned Low Density residential and feature detached dwellings generously setback from the road with established gardens that incorporate exotic and native species. The land to the north, west and southwest are subject to the Rural Conservation Zone and are larger in area, feature detached dwellings and land that is employed in small-scale agricultural including grazing (on No. 138 Woori Yallock Road), and orcharding on No. 21 Fell Road.



THE SUBJECT SITE IN CONTEXT WITH THE SURROUNDING PATTERN OF SUBDIVISION AND DEVELOPMENT, AND ROAD NETWORK, VICPLAN, 2025.

The land immediately adjoining the subject site has been summarised below:

NORTH	Cardinia ADVERTISED MATERIAL Planning Application: T250395 Date Prepared: 31 October 2025 This copied document is made available for the purpose of the planning process, as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. 	• To the northwest is 138 Woori Yallock Road; a larger site that features a detached dwelling and grazed paddocks with scattered vegetation. To the northeast is 9 Francis Street, which is a larger sized lot, similarly zoned and developed with a dwelling. This lot features dense bushland in the southern portion of the site.
EAST		• Abuts 2 Isaac Street which is a smaller area and similarly zoned; developed with a dwelling. • Further east are similarly sized and zoned lots that feature dwelling development accessed from Isaac and Terara Streets.

SOUTH		• Addresses Isaac Street. • Further south are similarly zoned, smaller lots that are cleared and development with dwellings. • To the southwest is 1 Fell Road, which is subject to the RCZ2 and features an orchard and dwelling.
WEST		• The site addresses fell Road to the west. • Further west is 1 fell Road, a larger lot subject to the RCZ2. Further west is Woori Yallock Road, a TRZ2 road with Cockatoo Creek to the west.

ENVIRONMENTAL CONSIDERATIONS

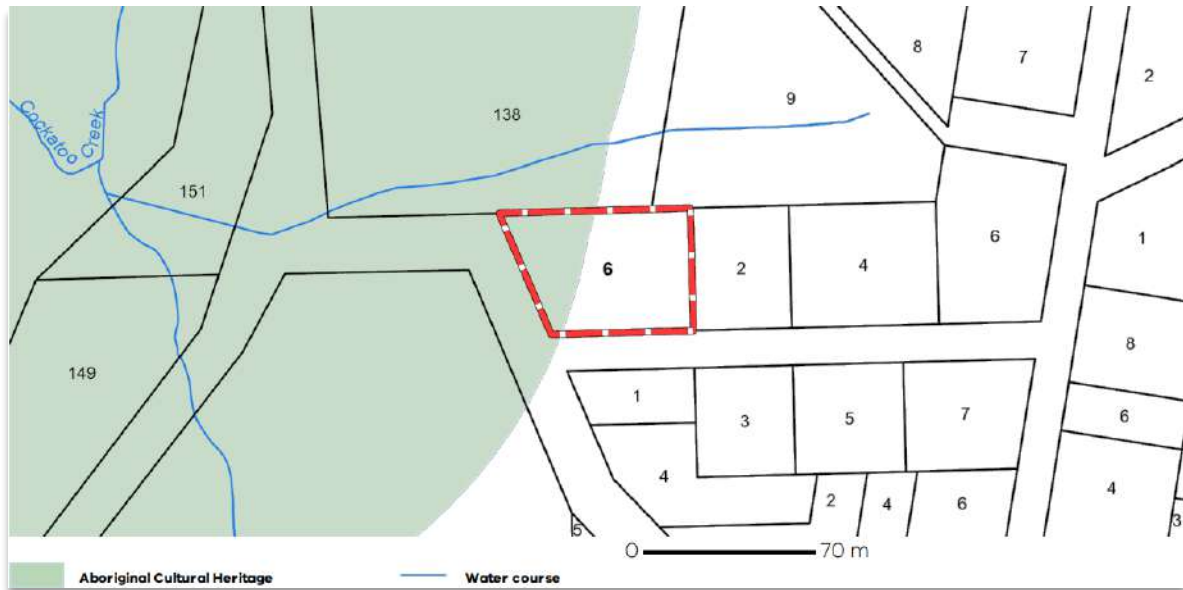
TOPOGRAPHY

The land is characterised as elevated foothills. The site has a high point in the eastern portion and falls toward the west and southwest corner. This equates to an elevation over the length of the site calculated at 7° (12.8%). The topography, however, does not pose constraints to the proposed development of the land because the land already features a centrally located flatter area, though this will need to be extended to accommodate the proposed dwelling. The stormwater will be directed to the LPD adjacent to the western boundary of the site and the sewer will be directed to the southern boundary, where the appropriate connection is located.

CULTURAL HERITAGE

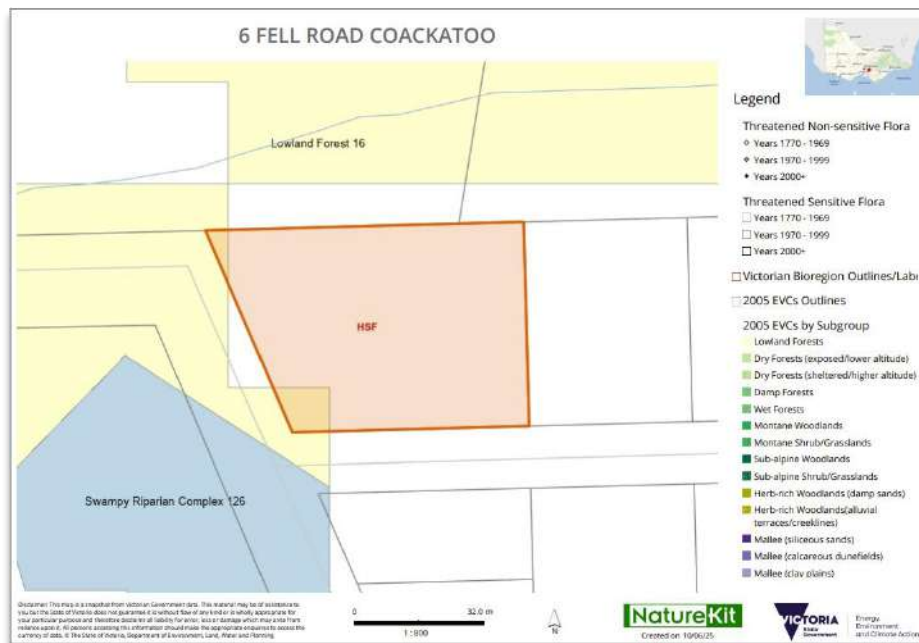
The land is partially mapped within an area of potential cultural significance, which is associated with Cockatoo creek, as per the *VicPlan* 2025 map below.





BIODIVERSITY

No listed flora or fauna species are recorded on the subject site. The site is mapped as exhibiting Lowland Forest in the northwestern and southwestern corners, as per the *NatureKit* plan 2025, below.



Cardina
ADVERTISED MATERIAL
 Planning Application: T250395
 Date Prepared: 31 October 2025

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VEGETATION

The landscape is significantly modified, and the land has been extensively cleared for residential development. The vegetation within the lot features planted exotic species with scattered native trees in the northwestern corner. An arboricultural assessment has been provided by *Ajaboriculture*, September 2025 that shows the location of trees, their arboricultural value and their retention.

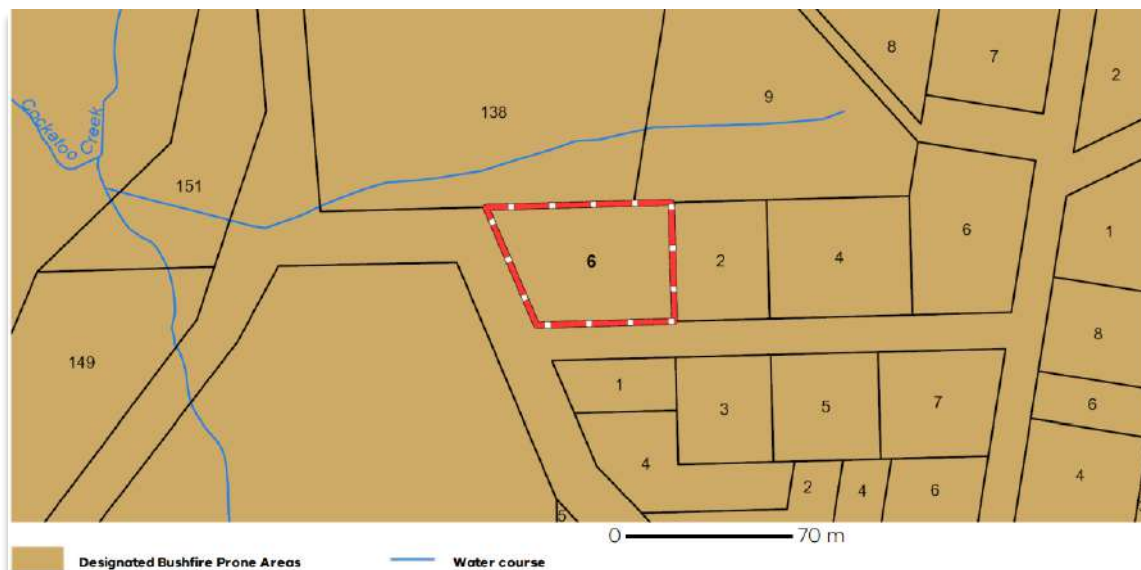


DRAINAGE

The legal point of discharge is located adjacent to Fell Road, on the western boundary of the site.

BUSHFIRE PRONE AREA

The entirety of the subject site is mapped as a designated Bushfire Prone Area. Further information on how the proposal has considered the implications of being mapped within a designated bushfire prone area has been provided in the response to Clause 13.02 in the State and Local Planning Policy section of this report.



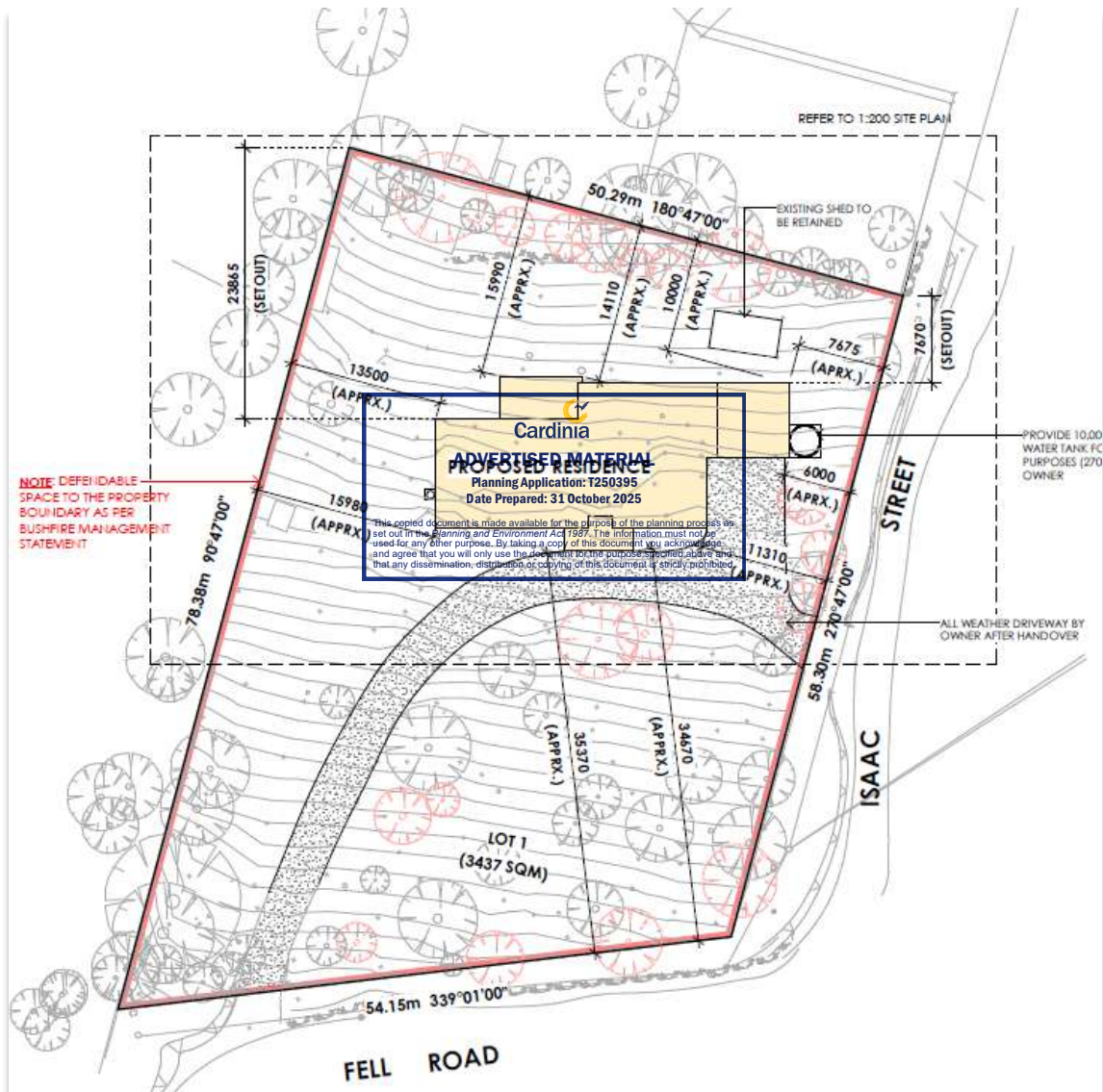
DESIGNATED BUSHFIRE PRONE AREA (IMAGE COURTESY OF VICPLAN, 2025)

4. THE PROPOSAL

The applicant seeks approval for the development of the land for a single storey dwelling that will be sited in the southeastern corner of the site. The topography of the land necessitates a site cut (measuring 1.1m in depth) and fill (measuring 0.9m in depth) to facilitate a flat construction pad. The development and the creation of Defendable Space requires the removal of vegetation, as detailed below.

DEVELOPMENT PROPOSAL

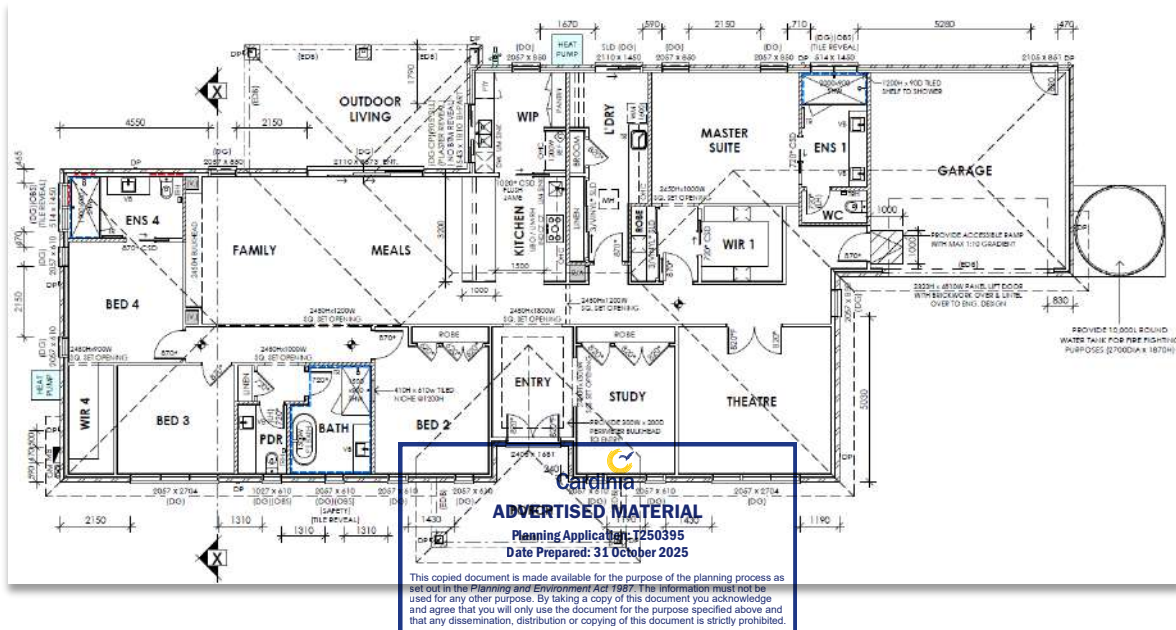
The dwelling is sited on the lot as per the site plan provided by *SJDHomes*, (March 2025) below.



The proposed dwelling is sited parallel with the Fell Road boundary and is setback from the western (front) boundary by a minimum of 34 metres and the eastern (rear) boundary by a minimum of 10 metres. The southern (side) setback has a minimum measurement that measures 6 metres, which is generally consistent with side setbacks of dwellings that address Isaac Street. The setback from the northern (side) boundary has a minimum measurement of 13.5 metres.

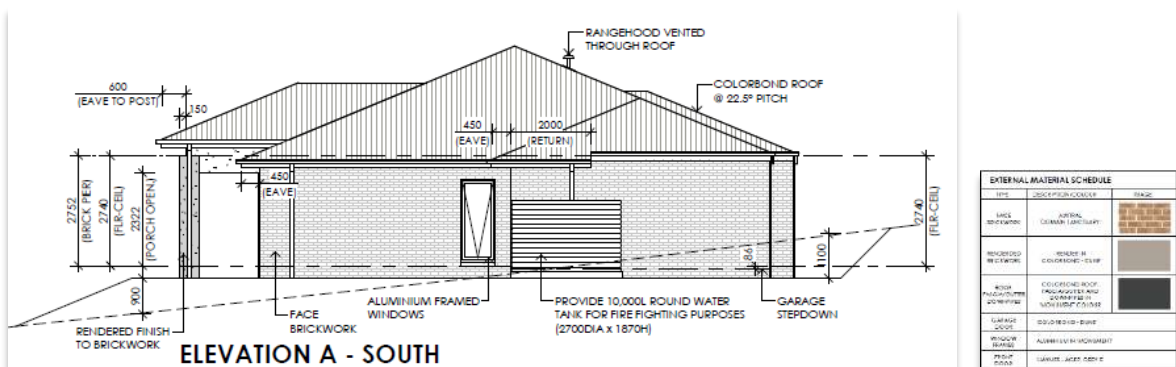
The dwelling has a building area measuring 348m², which equates to 10% of the site area. The permeable area of the site measures 3,437m², which equates to 90% of the site.

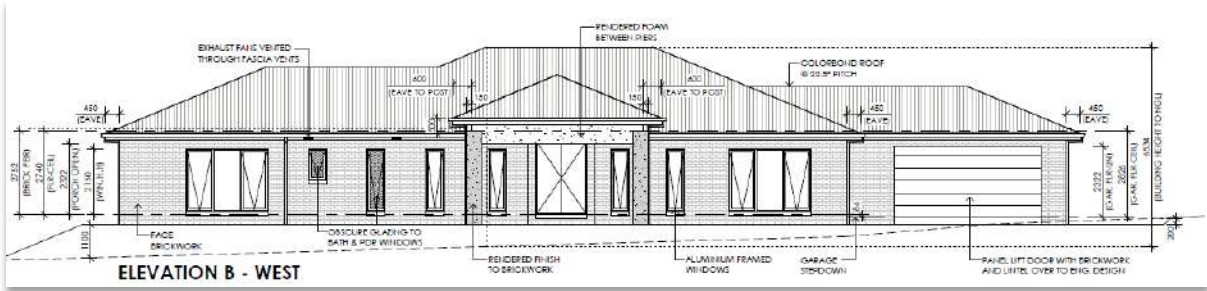
The dwelling is a single storey design that features four bedrooms including a master suite with walk in robe and ensuite, a study and theatre, shared family and dining areas and a kitchen with walk in pantry. A two car garage is located under the roofline and an outdoor alfresco is located adjacent to the shared living area at the rear of the built form, as per the floor plans below provided by SJD Homes, 25/3/2025. A water tank with 10,000lt capacity is located adjacent to the southern elevation associated with the garage and is located 0.8m from the driveway access. The constructed driveway (surfaced in gravel) has a width measuring between 3.7 and 4.2metres.



The proposed dwelling accesses the site from Isaac Street via the existing crossover.

The dwelling features a gable pitch roof that will be clad with *Colorbond* pitched at 22.5° and finished in 'Monument' (dark grey). The materials include face brickwork employing 'Austral Domain Sanctuary' coloured bricks with rendered brickwork at the entrance finished in *Colorbond* 'Dune' (a sandy-coloured tone), which are all muted, non-reflective tones. Please refer to plans; 'Elevations' Issue C, provided by *SJD Homes* with an extraction provided below for reference.





The topography of the site and the nature of the design necessitates a site cut and fill (with depths measuring 1.1metres) which is best illustrated by the Southern and Western elevations, above, provided by *SJD Homes*.

VEGETATION IMPACTS

The neglected state of the garden has compromised the health of many trees, which features planted exotic trees and shrubs adjacent to boundaries and concentrated in the front setback (western portion) of the site. There are a number of trees (three) that need to be removed as a result of the proposed development and also selected for removal to create defensible space based on their low retention value. Of the sixty-six trees inspected (60 onsite trees and 6 third-party trees), seventeen received Moderate retention value and the balance were attributed with a Low retention value. Of these trees, eighteen (18) are proposed to be removed with only three (3) of this requiring permission for removal. Please refer to the table below (extracted from the Preliminary and Impact Arborist report, September 20-25).

Tree removal to achieve tree canopy separation of the discrete clusters of onsite vegetation has been nominated on the basis of their low retention value, with unprotected trees nominated for removal. The three trees nominated for removal are impacted by development and works. The siting of the dwelling is determined on the basis that it provides separation from the northern boundary, which is the direction associated with the highest risk of an approaching bushfire. This has consequences associated with tree removal associated with buildings and works given the location of trees proximate to the southern boundary.

Site ID	Species Common Name	Height (m)	Width (m)	DGH (cm)	Landscape Viability	Retention Value	Permit Required
	1 Syzygium smithii Lily Pili	10	4	44 Short	Moderate		
3	Acacia palmata Japanese Maple	6	5	23 Short	Low		
4	Acacia mangium Blackwood	13	4	30 Long	Moderate		✓
10	Pittosporum eugenioides 'Variegatum' Variegated Taro	6	3	15 Medium	Low		
11	Pittosporum eugenioides 'Variegatum' Variegated Taro	6	3	15 Medium	Low		
12	Pittosporum eugenioides 'Variegatum' Variegated Taro	6	3	15 Medium	Low		
15	Acacia koa Coastal Wattle	6	2	12 Medium	Low		
16	Acacia koa Coastal Wattle	6	2	12 Medium	Low		
18	Cornus capitata Evergreen Dogwood	3	3	13 Short	Low		
19	Pittosporum tenuifolium Kohuhu	5	3	12 Long	Low		
32	Rhododendron sp. Rhododendron	2	3	7 Medium	Low		
33	Gaultheria robusta Sticky Oak	16	6	45 Medium	Moderate		✓
35	Albizia leonensis Rose Shrub	6	2	43 Short	Low		✓
43	Pittosporum eugenioides 'Variegatum' Variegated Taro	7	10	32 Short	Low		
44	Pittosporum eugenioides 'Variegatum' Variegated Taro	7	9	26 Short	Low		
46	Fraxinus angustifolia subsp. angustifolia Creast Ash	15	8	46 Short	Low		
49	Cornelia japonica Cornelia	2	2	7 Short	Low		
60	Rhododendron sp. Rhododendron	4	2	14 Medium	Low		
69	Hortia salicifolia Willow-leaved Hawthorn	8	4	28 Short	Low		

5. RELEVANT PLANNING CONTROLS

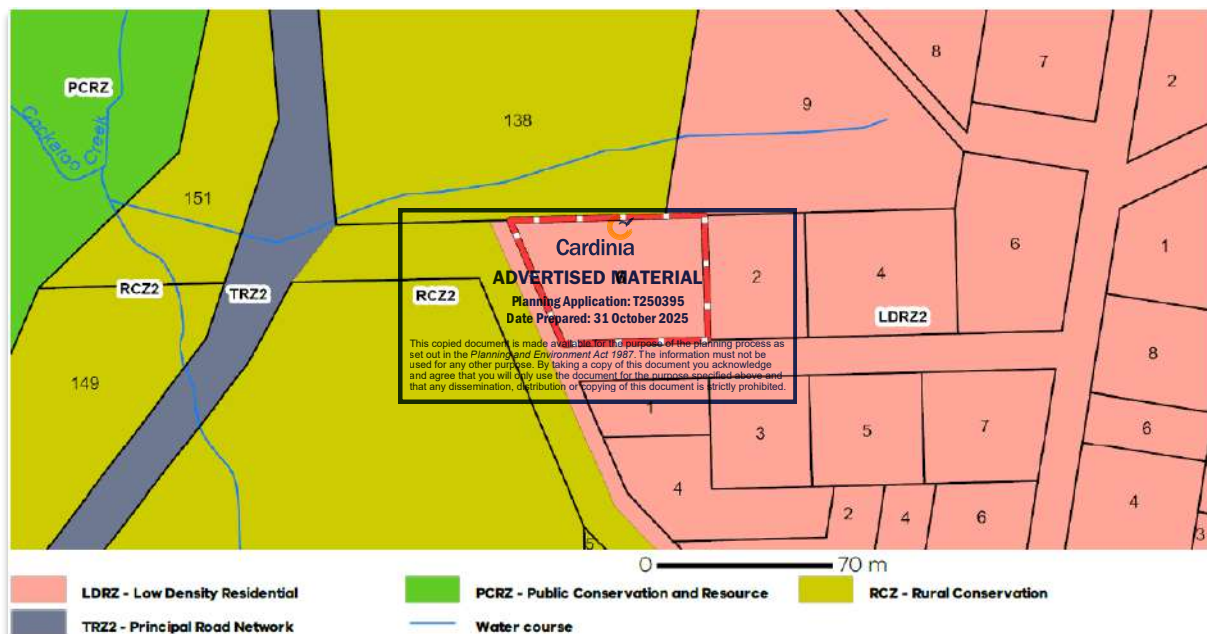
The following section addresses the objectives and requirements of the zoning and overlay controls relevant to the subject site identifying how these planning controls relate to the proposal, trigger an assessment and how we have addressed the requirements of planning provisions.

ZONING CONTROLS

The following provides a brief summary of the planning controls relevant to the subject site identifying how these planning controls relate to the proposal.

LOW DENSITY RESIDENTIAL ZONE

The subject site and all surrounding land are mapped within the Low-Density Residential Zone – Schedule 2(LDRZ2), as per the *VicPlan* map below.



The Low Density Residential Zone has the following purposes relevant to this proposal:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.

Pursuant to the requirements of **Clause 32.03-2 Use for the one or two dwellings, or a small second dwelling** a lot used for one or two dwellings or a small second dwelling must meet the following requirements:

- Each dwelling or small second dwelling must be connected to reticulated sewerage, if available. If reticulated sewerage is not available, all wastewater from each dwelling must be treated and retained within the lot in accordance with the requirements in the Environment Protection Regulations under the Environment Protection Act 2017 for an on-site wastewater management system.
- Each dwelling or small second dwelling must be connected to a reticulated potable water

- *supply or have an alternative potable water supply, with appropriate storage capacity.*
- *Each dwelling or small second dwelling must be connected to a reticulated electricity supply or have an alternative energy supply.*

The site is connected to all available services, including reticulated sewerage. The proposed dwelling will be connected to reticulated water and electricity, of which the site benefits from existing connection points. The proposal demonstrates compliance with the requirements of clause 32.03-2.

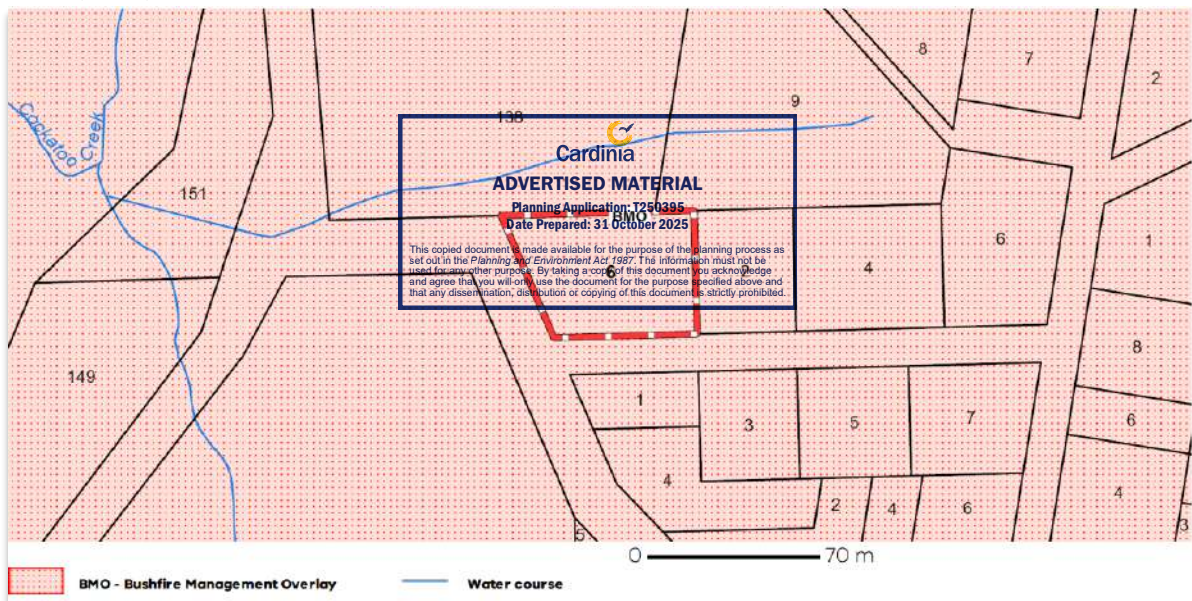
Pursuant to **Clause 32.03-4 Buildings and works**, a permit is not required for the development of the land for a Section 1 use (Dwelling). Schedule 2 is silent on additional requirements.

As such, the proposed dwelling construction is appropriate for the Low Density Residential Zone.

OVERLAYS

BUSHFIRE MANAGEMENT OVERLAY

The subject site is mapped within the Bushfire Management Overlay, as per the *VicPlan* mapping below (2025).



The Bushfire Management Overlay has the following purposes relevant to this proposal:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.*
- *To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.*
- *To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.*

Pursuant to **Clause 44.06-2** a permit is required to construct a building associated with accommodation (Dwelling).

Pursuant to the **Application requirements** at **Clause 44.06-3**, this application is accompanied by the following:

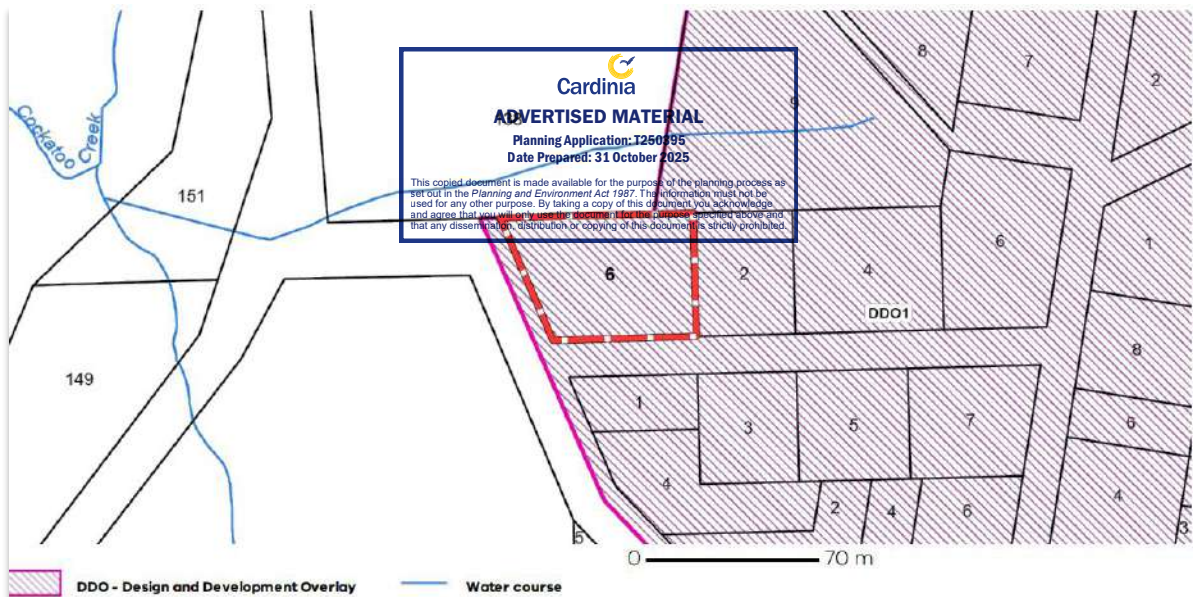
- A Bushfire hazard site assessment;
- A Bushfire hazard landscape assessment;
- A Bushfire management statement; and
- A Bushfire management plan to be endorsed.

Please read in conjunction with the Bushfire Management Assessment provided by *Nobelius Land Surveyors*, dated July 2025, V2.

It should be noted that the vegetation is assessed as 'modified', necessitating the site in its entirety to be managed as defendable space. The direction of highest threat is considered to be to the north, so the siting of the dwelling is proximate to the southern boundary to maximise setback from the direction of highest threat, with all efforts made to ensure consistency with the side setbacks of built form on adjoining and surrounding properties, which contribute to existing character.

DESIGN AND DEVELOPMENT OVERLAY

The subject site is subject to the Design and Development Overlay – Schedule 1, as per the *VicPlan* mapping below (2025).



The Design and Development Overlay has the following purposes relevant to this proposal:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To identify areas which are affected by specific requirements relating to the design and built form of new development.*

Pursuant to **clause 43.02-2 Buildings and works**, a permit is required to construct a building or construct or carry out works, including earthworks that exceed 1 metre.

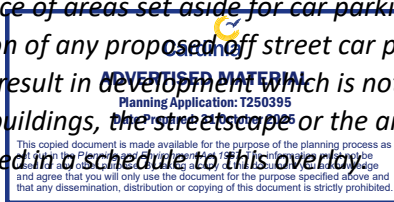
Part 1.0 of Schedule 1 to Clause 43.02 Design and Development Overlay has the following Design objectives:

- To ensure that the location and design of buildings creates an attractive low density residential environment.
- To ensure that any development has regard to the environmental features and constraints of the land.
- To ensure that the subdivision of land has regard to the existing pattern of subdivision in the area.

Pursuant to **Part 2.0 Buildings and works** in Schedule 1, a permit is required to construct a building or construct or carry out works for excavation of the land in excess of 1 metre.

Before deciding on an application, in addition to the decision guidelines in Clause 65 and the schedule to the overlay, the responsible authority must consider, where appropriate, the following guidelines:

- The Municipal Planning Strategy and the Planning Policy Framework.
- The design objectives of the relevant schedule to this overlay.
- The provisions of any relevant policies and urban design guidelines.
- Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- Whether the design, form, layout, proportion and scale of any proposed buildings and works is compatible with the period, style, form, proportion, and scale of any identified heritage places surrounding the site.
- Whether any proposed landscaping or removal of vegetation will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off street car parking
- Whether subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- Any other matters specified in a schedule to this overlay.



Part 6.0 of Schedule 1 includes the following additional decision guidelines that are relevant to this proposal;

- The Land Capability Study for the Cardinia Shire (February 1997).
- The protection and enhancement of the natural environment and character of the area including the retention of remnant vegetation and habitat, and the need to plant vegetation along waterways, gullies, ridgelines and property boundaries.
- The impact of any buildings and works on areas of remnant vegetation, and habitat of botanical and zoological significance.
- The impact of proposed buildings and works on the landscape character of the area, including prominent ridgelines and significant views.
- Measures to address environmental hazards or constraints including slope, erosion, drainage, salinity and fire.
- The protection of waterways and water quality through the appropriate management of effluent disposal, erosion and sediment pollution.

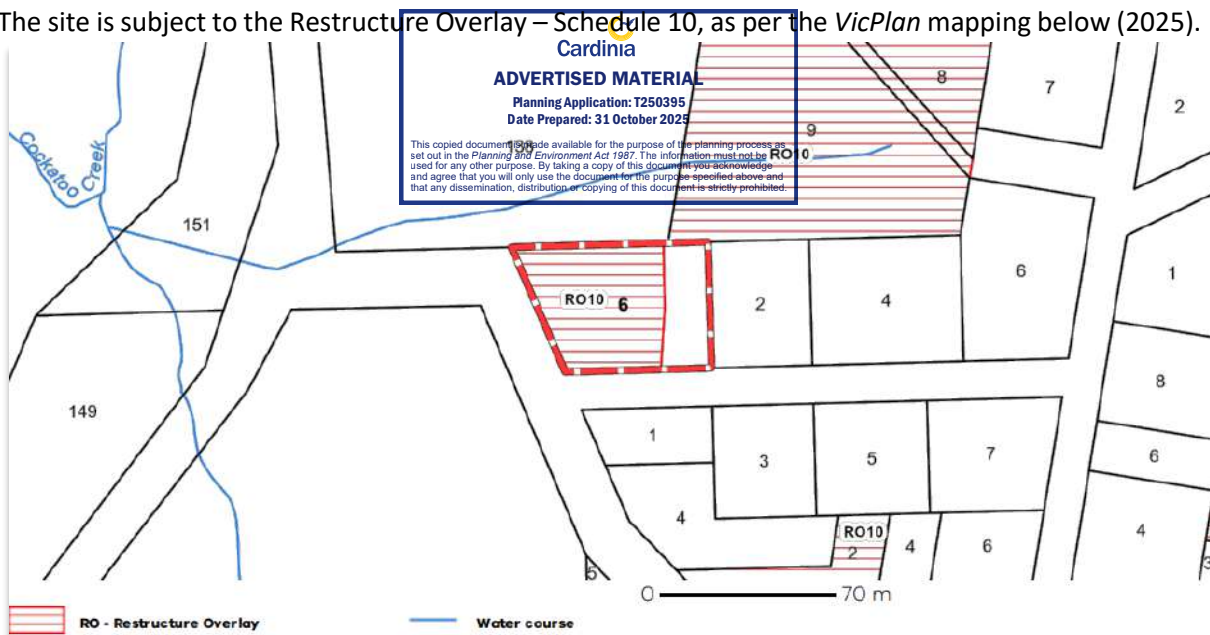
The proposal to develop the land with a dwelling that necessitates the excavations of land in excess of 1 metre is consistent with the Municipal Planning Strategy and the Planning Policy Framework. Please refer to sections 6 and 7 of this report below. The proposal will result in one dwelling on the lot, which is consistent with the pattern of development on adjoining and surrounding similarly zoned

parcels, and is consistent with the design objectives of Schedule 1. The proposal contemplates a single dwelling that features a maximum building height of 6.5 metres; is suitably setback from boundaries, roads and waterways. The setback from Isaac Street measures 6 metres and is a side setback. This is more generous than the side setbacks of existing dwellings that address Isaac Street, which vary between 0 metres (1,2,3,4 and 5 Isaac Street) to >6 metres (7 Isaac Street). The proposal therefore provides for a more generous side setback than is evidenced by the existing dwellings that address Isaac Street.

The proposal features muted and non-reflective materials and finishes; and minimises the removal of native trees, which is consistent with the Cockatoo Township Strategy, (2008) for development on lots in Precinct 4 – Hills Residential. (A response to the requirements of the Cockatoo Township Strategy is discussed in this report in Section 6 below). The development contemplates a modestly proportioned dwelling that evidences a minimum side setback of 6 metres (southern boundary) and a generous front setback of 30metres, which is consistent with the pattern of development in both Fell Road and Isaac Street. The preservation of native vegetation and most planted species will screen the built form and ensure the dwelling is subordinate to the natural, bushland character of the precinct. The development proposal is therefore consistent with the objectives of the Design and Development Overlay Schedule 1, and warrants the support of Council.

RESTRUCTURE OVERLAY SCHEDULE 10

The site is subject to the Restructure Overlay – Schedule 10, as per the VicPlan mapping below (2025).



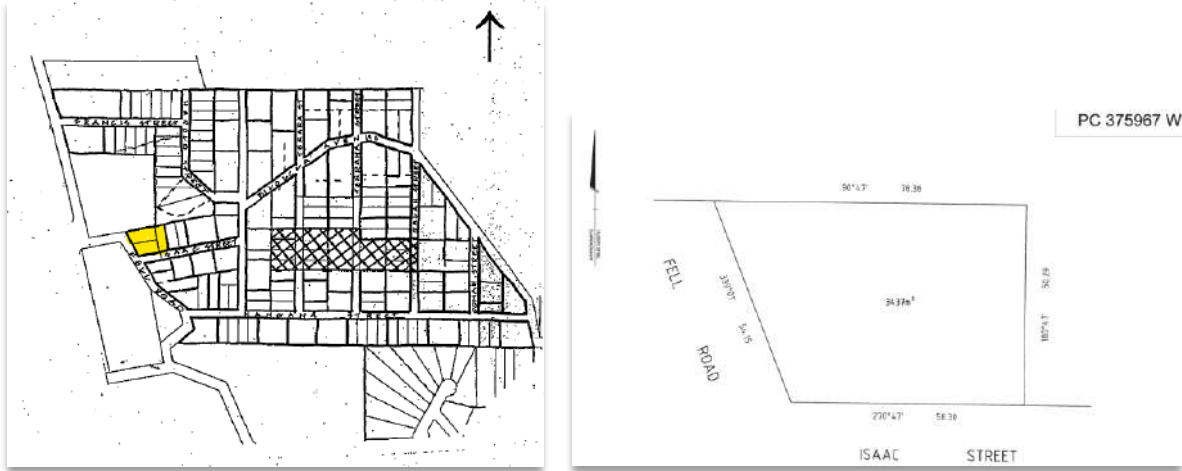
The Restructure Overlay has the following purposes relevant to this proposal:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify old and inappropriate subdivisions which are to be restructured.
- To preserve and enhance the amenity of the area and reduce the environmental impacts of dwellings and other development.

The proposal does not contemplate subdivision, and the lot is connected to reticulated sewerage.

Pursuant to the requirements of **Clause 45.05-2 Dwellings and other buildings** a permit is required to construct a dwelling. A permit must be in accordance with a restructure plan for the land listed in the schedule to this overlay.

Schedule 10 to the Restructure Overlay shows the subject site as per the Cardinia Planning Scheme Restructure Plan No. 10, below left. Plan of Subdivision PC375967 W, below right, shows the subject lot as per the requirements of Restructure Overlay 10.



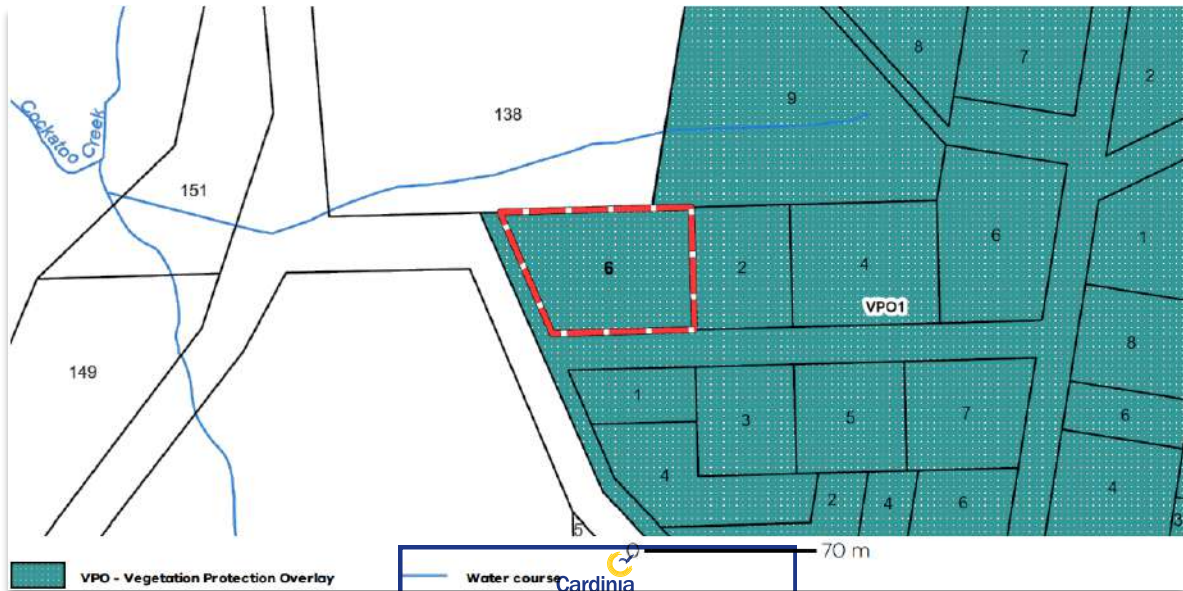
Before deciding on an application, the responsible authority must consider the decision guidelines that are relevant to this proposal a response to which is provided below;

- The Municipal Planning Strategy and the Planning Policy Framework.
- The objectives of the restructure plan for the area.
- Appropriate measures to cope with any environmental hazard or constraint affecting the land, including slope, drainage, salinity and erosion.
- The protection and enhancement of the natural environment and the character of the area including the retention of vegetation and fauna habitats and the need to revegetate along waterways, gullies, ridge lines and property boundaries.
- The availability of utility services, including sewerage, water, drainage, electricity, telecommunications, and, where the subdivision is not a residential subdivision, gas.
- The relationship of the intended use and development to the existing or likely use and development of adjoining and nearby land.
- The effect on surrounding uses, especially agricultural uses and nearby public land.
- The design of buildings.

The proposal contemplates the development of the land for a dwelling on a lot that is consistent with the boundaries evident in the Cardinia Planning Scheme Restructure Plan No. 10. The dwelling will be located in the eastern portion of the site requiring earthworks to accommodate for the topography and create a flat construction pad. The earthworks will not redirect water across a title boundary into an adjoining lot given the slope of the land, which falls toward Fell Road where the legal point of discharge is located. The proposal does not contemplate the removal of any native vegetation and the development of the land for a dwelling is consistent with the purpose of the zone and use and development of adjoining land. Reticulated services including sewerage is available and connected to the site. The proposal is consistent with the pattern of development on surrounding, similarly zoned land, and does not pose a detrimental impact on land subject to the Rural Conservation Zone to the west and north of the land, and warrants the support from Council.

VEGETATION PROTECTION OVERLAY

The subject site is mapped within the Vegetation Protection Overlay, as per the *VicPlan* mapping below (2025).



Clause 42.02 Vegetation Protection Overlay, has the following purposes relevant to this proposal:

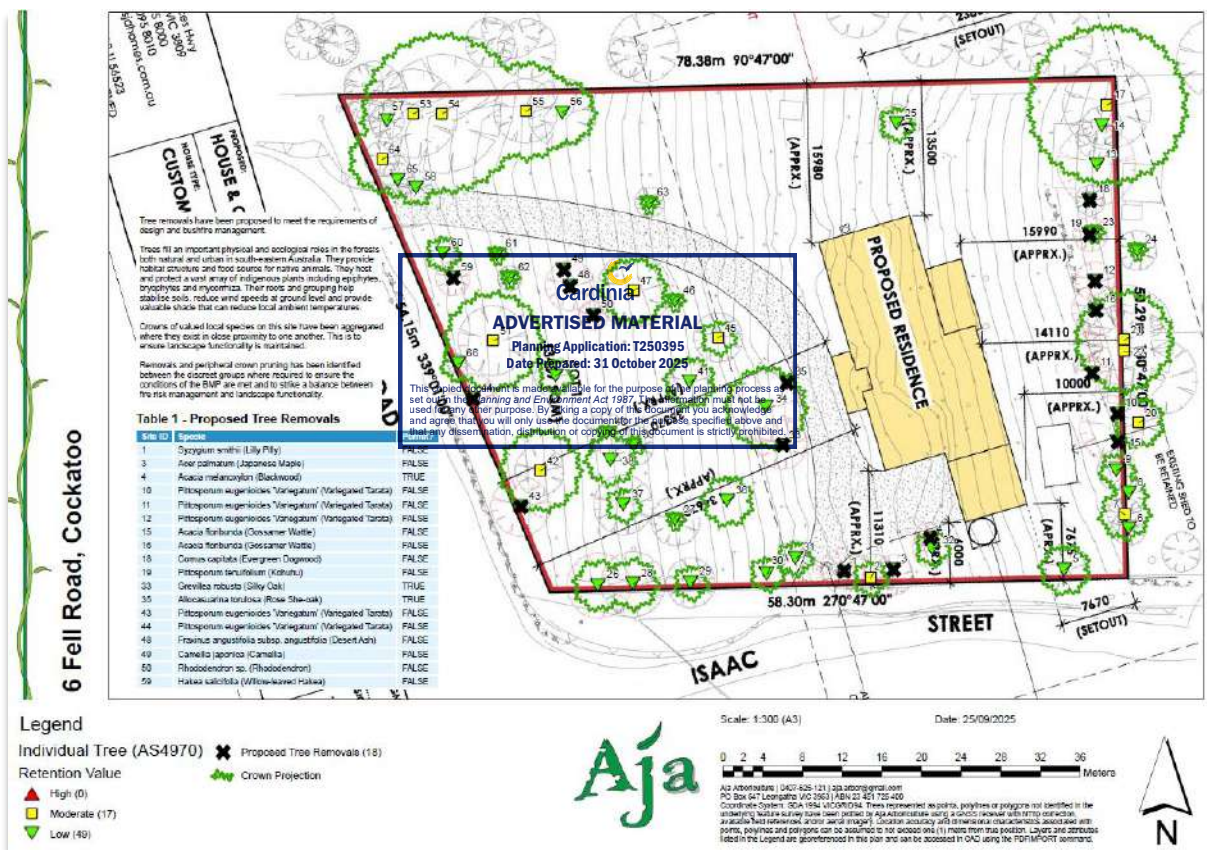
- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation.

Pursuant to **Clause 42.02-2** a permit is required to remove, destroy or lop any vegetation specified in a schedule.

The proposal contemplates the removal of onsite vegetation, including planted exotic species and three trees that are protected and require a permit under the VPO to remove. These trees are detailed below and correlate with the plan at bottom.

TREE ID	COMMON NAME	PERMIT TRIGGERED?	NOTES
1	Lilly Pilly	No	Exempt under 52.12
3	Japanese maple	No	Exempt under 52.12
4	Acacia (Blackwood)	Yes	

10-12, 43, 44	Pittosporum (variegated tarata)	No	Exotic
15 + 16	Acacia (gossamer Wattle)	Yes	Exempt under 52.12
18	Evergreen Dogwood	No	Exotic
19	Pittosporum tenuifolium	No	Exotic
33	Silky Oak	Yes –ESO trigger	
35	Rose She-Oak	Yes – ESO trigger	
48	Desert Ash	No	Exotic
49	Camellia	No	Exotic
50	Rhodoendron	No	Exotic
59	Willow-leaved Hakea	No	Exempt under 52.12



The application to development land for a dwelling triggers a planning permit under the Bushfire Management Overlay, which necessitates vegetation management to ensure a canopy separation of trees as a risk mitigation mechanism. The Canopy separation must measure a minimum of 5 metres (please refer to the submitted Bushfire Management plan). Exemptions under clause 52.12-1 for the removal of onsite non-native vegetation within 1 metre of existing fence lines apply.

The proposal minimises the removal of native vegetation and non-native vegetation that does not qualify for exemptions under clause 52.12-2. Reducing vegetation removal to the minimum amount necessary will preserve the bushland character and provide an effective visual screen of the dwelling development from the aspects of Fell Road and Isaac Street, which ensures the built form is

subordinate to the vegetation and is consistent with the objectives of the Vegetation Protection Overlay.

6. MUNICIPAL PLANNING STRATEGY & INCORPORATED DOCUMENTS

The sections of the Municipal Planning Strategy for the Cardinia Planning Scheme are addressed in this section. Additionally, the Cockatoo Township Strategy Is addressed at bottom.

CLAUSE 21 CARDINIA SHIRE KEY ISSUES AND STRATEGIC VISION

The Cardinia Shire seeks to be recognised as a unique place of environmental significance where residents quality of life and sense of community is balanced by sustainable and sensitive development and population and economic growth.

The proposal is sensitive to the key issues facing Cardinia that have regard to the preservation of environmentally significant areas, protection and management of biodiversity, mitigating risks associated with bushfire, providing housing and services for a growing community, and facilitating economic development as per **Clause 21.01-3**.

The strategic vision for the municipality is contained at **Clause 21.01-4**:

‘Cardinia Shire will be developed in a planned manner to enable present and future generations to live healthy and productive lives and to enjoy the richness of the diverse and distinctive characteristics of the Shire.’

The subject site is mapped within a residential area of Cockatoo in the *Cardinia Shire Strategic Framework Plan* implemented at **Clause 21.01-5**:





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Planning Application: T250395
Date Prepared: 31 October 2025

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CLAUSE 21.02 ENVIRONMENT

Clause 21.02 Environment has regard for the management of the Shire's natural resources, landscapes and more broadly speaking, the wider environment. **Clause 21.02-3 Biodiversity** has regard for the diverse environment and native flora and fauna habitats within the Cardinia Shire, with the MSS including the loss of biodiversity resulting from the decline and fragmentation of habitats as a key issue for the Shire.

Native vegetation is present on the subject site, and as such, the biodiversity objectives and strategies of Clause 21.02-3 are relevant to this application. Biodiversity **objective 1** seeks to achieve no net loss in the quantity and quality of native vegetation in the municipality. The proposal is supported by the strategies that have regard for the inclusion of building envelopes as part of subdivision plans to help avoid and minimise the removal or fragmentation of native vegetation.

Clause 21.02-4 Bushfire management contains the objective *to recognise that areas in the municipality are prone to bushfire and to minimise the potential risk to life, property and the environment*, and describes how areas north of the Princes Highway are particularly prone to bushfires due to the topography and vegetation, where a significant loss of life and property in the Upper Beaconsfield and Cockatoo areas occurred during the Ash Wednesday fires of 1983. The factors influencing the risk levels for individual properties include fuel levels, slope, climatic conditions, population, preparedness of landowners, accessibility and the availability of water, and the subdivision strategy outlines the need to *ensure that the siting and design of subdivisions has fully considered the impact of existing slope, aspect and vegetation in terms of risks of bushfire with regard to the location of building envelopes*.

The proposed development has considered the siting and design of a future dwelling on the vacant lot, and is consistent with the siting and design strategies under **Clause 21.02-4**:

- *Ensure that the siting and design of houses and other accommodation in high risk bushfire areas minimises the potential risk of loss of life, or property from wildfire, particularly in terms of the existing slope, aspect and vegetation.*
- *Ensure all development has appropriately designed access for emergency vehicles.*
- *Ensure development provides adequate access to water.*

CLAUSE 21.03 SETTLEMENT AND HOUSING

Clause 21.03 Settlement and Housing and more specifically **Clause 21.03-4 Rural townships** identifies Cockatoo as a large rural township, where the following key issues are relevant:

- *Retaining and enhancing the existing rural township character.*
- *Acknowledging that the capacity for growth varies depending on the environmental and infrastructure capacities of each of the towns.*
- *Designing with regard to the surrounding unique characteristics of the townships.*

The proposal aligns with the settlement objectives for rural townships in the Shire:

- **Objective 1** seeks to provide for the sustainable development of townships in the municipality having regard to environmental and servicing constraints. The subject site can connect to reticulated services, including sewer and stormwater management will be to the satisfaction of Council.
- **Objective 2** seeks to maintain and enhance the distinct character and environmental qualities of each of the townships. The proposal responds to the strategies to achieve this objective, and ensures the development is located in a cleared area of the site, previously a dwelling site, and is complementary to development siting seen in the immediate surrounds and will enable the development is subservient to the landscape. Native vegetation has been considered within the design and prioritised for retention within the front setback to maintain the amenity and biodiversity benefits the trees provide and reinforce the bushland character of the area. An assessment of the proposal against the *Cockatoo Township Strategy, March 2008* is provided below:

COCKATOO TOWNSHIP STRATEGY (2008)

The *Cockatoo Township Strategy (March, 2008)* is relevant to this application and provides a strategic framework for land use and development in Cockatoo. The desired vision for the Cockatoo township is contained in subsection **3.1 Vision**, and is as follows:

‘A rural county community with contained residential development in a natural landscape setting, adequate social infrastructure to service the community, extensive open space and recreation opportunities and a strong sense of community.’

The proposal helps to give effect to the vision as well as several **key objectives** (3.2) of the Strategy, including:

- *To limit future residential development while protecting and enhancing the rural country character of the township.*
- *To provide or upgrade utility services to improve the health and amenity of residents and to minimise environmental impacts.*
- *To protect and improve the natural environment and heritage.*
- *To reduce the risk of wildfire impacting on the Cockatoo community.*

The following points are relevant to residential development in the Cockatoo Township and have been considered in this proposal:

- **4.1 Overview** outlines that the diversity of lot sizes, ranging from urban residential and rural residential to rural lots, significantly contributes towards the character of the township.
- **4.4 Trends in Residential Development** describes detached dwellings as the predominant type of built form. The proposed dwelling development is in keeping with this strategy.
- **4.6 Township Character** outlines the importance of the preservation of the bushland environment with minimal impacts to existing vegetation, landscape vistas, the environment and the existing character of the township. The character is described as being reinforced by the bushland setting, built form that is subordinate in the landscape, diverse lot sizes and dwelling types, undulating topography and the Cockatoo Creek green corridor bisecting the town. The proposal does not adversely impact on the valued character of Cockatoo.
- **Threats to township character** are described in 4.6 and includes loss of vegetation, degradation of Cockatoo Creek, loss of vistas and view lines, prominent built form and extensive earthworks. The proposal preserves vegetation which is appropriate when having regard for the township character.
- The **objectives** for residential development are listed in 4.8, and include the need to limit further residential development, facilitate the restructuring of old and inappropriate subdivisions, and to protect and enhance the 'rural country' character of the township. The parcel evidences the consolidated lot configuration as per the Restructure Overlay, discussed above. The generous setbacks and preservation of onsite vegetation will contribute to compliance with stated objectives.
- It is policy to ensure any proposed residential development is in accordance with the Cockatoo Framework Plan, and that residential development should be restricted on land with a slope in excess of 20 per cent, or land designated as being 'very poor' in the land capacity study. The proposal aligns with this strategy (the slope of the subject site is approximately 7° (12.8%).
- It is also policy to maintain and enhance the 'rural country' character of Cockatoo through the retention of larger residential lots and existing remnant vegetation (particularly canopy trees), and to ensure that residential development is undertaken in accordance with the precinct character guidelines contained in Table 5. The subject land is located within *Precinct 4 – Hills Residential* to the northeast of the township and the preferred character for this precinct is to *maintain the low density character of the precinct with extensive vegetation cover; Maintain informal layout and diversity of dwellings and setbacks*. An assessment of the proposal against the guidelines of *Precinct 4* is provided below:

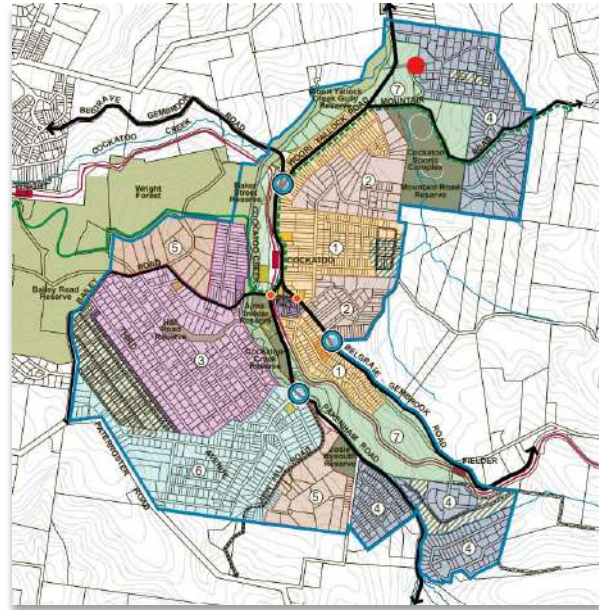


The **key characteristics** are listed below:

1. Diverse lot sizes ranging from 700 square metres to over 4,000 square metres with the balance of larger lots.
2. A mixture of larger, one or two storey dwellings of recent construction and smaller houses.
3. Building material is mainly timber or brick
4. Gardens in a bushland setting
5. Permeable fences
6. Steep slope in parts
7. Significant vegetation with tall canopy trees and scattered understorey including ferns
8. Sense of enclosure created by vegetation cover
9. Mix of grid and irregular road pattern
10. Steep, unsealed roads.

The **precinct character guidelines** include:

1. Maintain a range of lot sizes with a minimum lot size of 4,000 square metres
2. Maintain the informal layout of the lots and diversity of dwellings
3. Encourage building material and finishes that complement the bushland setting;
4. Maintain consistent setbacks and height
5. Encourage permeable fences to enhance the bushland setting
6. Restrict development particularly along steep roads
7. Locate building and driveway to avoid and minimise excessive earthwork
8. Retain tall canopy trees and scattered understorey, particularly an understorey of ferns, while ensuring effective wildfire management.



Response:

The proposal contributes to lot size diversity consistent with the low density character of the precinct. The subject site has a modest slope (7° (12.8%) and is not constrained topographically. The slope will require modest earthworks in order to construct the proposed dwelling though avoids earthworks associated with access as it benefits from the existing driveway and crossover. The gradient of neither Fell Road or Isaac Street pose constraints to the development of the site.

The proposed development will have sufficient front setbacks that reflect the existing rhythm and spacing of built form in the neighbourhood and contribute to the valued bushland garden character. Permeable fencing will remain unchanged.

Tall canopy trees are proposed to be retained within the front setback providing canopy separation can be achieved in accordance with the requirements of 53.02 and the BMO.

7. STATE AND LOCAL PLANNING POLICY FRAMEWORK

This part of the report assesses and responds to the legislative and policy requirements for the project outlined in the Cardinia Planning Scheme and in accordance with the Planning and Environment Act 1897. The relevant clauses of the State & Local Planning Policy Framework for development of the type presented in this report are largely contained in Clauses 11, 12, 13, 15, 16, 18 and 19.

An assessment against the relevant clauses of the Cardinia Planning Scheme has been provided below:

CLAUSE 11 SETTLEMENT

Clause 11.01-1S Settlement seeks to facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements and the proposal is consistent with the strategy to limit urban sprawl and direct growth into existing settlements. The provision of additional residential lots is also in keeping with the objective of **Clause 11.01-1S Supply of urban land**, which seeks to ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses and strategy to ensure that sufficient land is available to meet forecast demand.

CLAUSE 12 ENVIRONMENTAL AND LANDSCAPE VALUES

Clause 12 has regard for the protection of ecological systems and the biodiversity they support and the conservation of environmental and landscape values, and outlines that planning must implement environmental principles for ESD. **Clause 12.01-1S Protection of biodiversity** has been considered and seeks to protect and enhance Victoria's biodiversity. The proposed development has prioritised the retention of high value indigenous vegetation with the front setback of the lot which aligns with the objective above and the strategy to support land use and development that contributes to protecting and enhancing habitat for indigenous plants and animals in urban areas. The subject land is not within an area of zoological or botanical significance and the removal of vegetation to accommodate the proposed dwelling does not impact on any important areas of biodiversity.

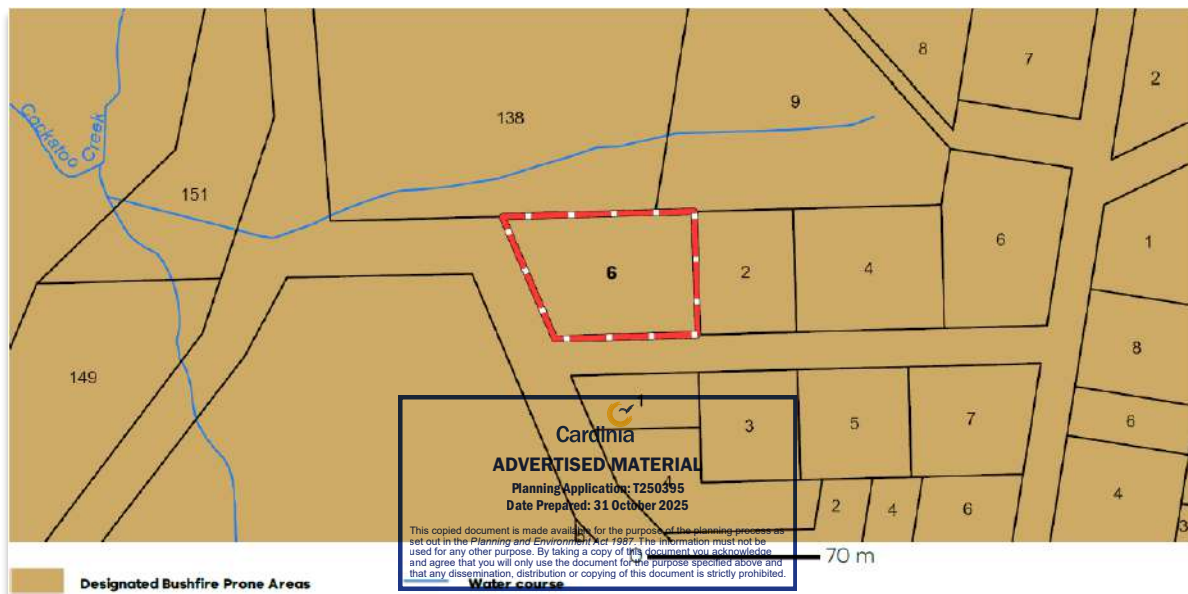
Clause 12.01-2S Native vegetation management has the objective to ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. The proposed design has implemented the tiered 'avoid, minimise, offset' approach and the native vegetation proposed for removal is the minimum extent necessary to facilitate the development noting that the defensible space requirements of **Clause 53.02** apply.

CLAUSE 13 ENVIRONMENTAL RISKS AND AMENITY

Clause 13 outlines Planning's role in the identifying, preventing and minimising risk of harm to the environment, human health and amenity by ensuring land use and development compatibility and implementing effective controls to prevent or mitigate significant impacts.

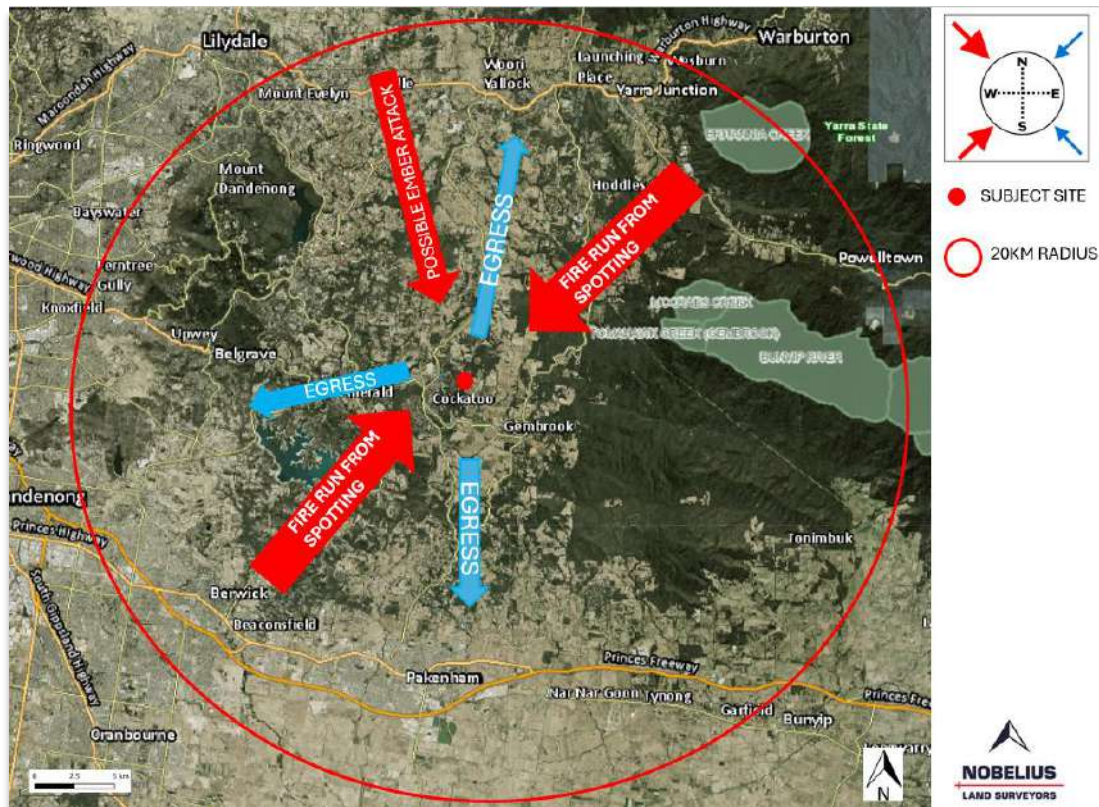
Clause 13.02-1S Bushfire Planning relates to land within a designated bushfire prone area; subject to the Bushfire Management Overlay; and/or proposed to be used or development in a way that may create a bushfire hazard. The objective of Clause 13.02-1S is to "strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of

human life” achieved through strategies that prioritise the *protection of human life* over all other policy considerations; “*directing population growth and development to low-risk locations*” and “*ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire*” with low risk location being those that are assessed as having a radiant heat flux of less than 12.5 kilowatts/square metre under AS3959-2018 (Construction of Buildings in Bushfire Prone Areas (Standards Australia, 2020); and reducing community vulnerability to bushfire through the consideration of bushfire risk at all stages of the planning process. The subject site is within an identified Bushfire Prone Area as per the *VicPlan* extract below, and subject to the Bushfire Management Overlay. A Bushfire Assessment that addresses the requirements of clause 44.06 and 53.02 has been prepared in support of this application and should be read in conjunction with this assessment.

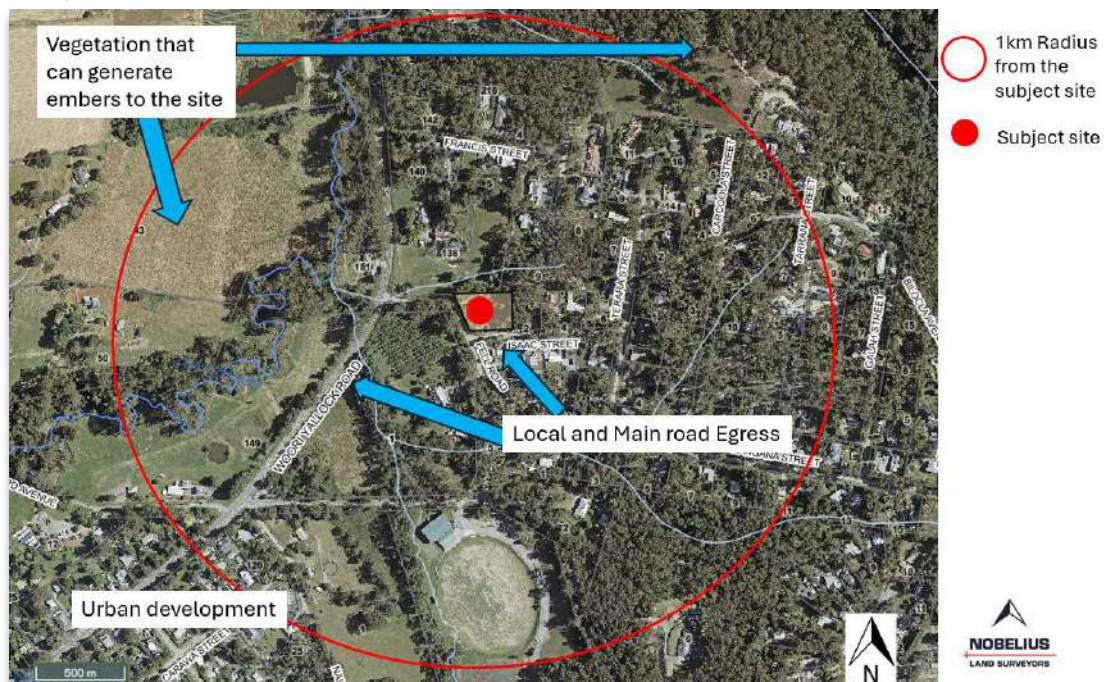


As such, an assessment of the landscape conditions within 20 kilometres of the site; the local condition within 1 kilometre of the site; the neighbourhood conditions within 400 metres of the site; and on the subject site is presented below in accordance with the requirements of clause 13.02 with a more thorough assessment provided within the BMS.

Landscape conditions (as indicated below) – The area within a 20km radius of the site features a combination of landscapes consisting of cleared farming and grazing; rural/urban development, urban development and densely forested areas. To the north is Yarra Valley located as a topographical low between the Dandenong ranges to the Northwest and Beenak State Forest to the northeast, both of which exhibit extensive pockets of dense vegetation consistent with the Forest and Woodland classifications of AS3959-2018 *Construction of Buildings in bushfire-prone areas* and steep topography. The site is surrounded by a patchwork of urban development, farming and grazing land interspersed with rural development to the east, south and north. The surrounding road network features principal transport corridors including Woori-Yallock/Pakenham Road (North/South orientation); Belgrave-Gembrook Road (East/West orientation) and Wellington Road (having a west to east orientation). Beaconsfield Road provides egress from the area toward Beaconsfield to the southeast. The relevance of the road network is that they are most likely those roads that will become the main access points and thoroughfares during an emergency situation.



Local conditions (please refer to the map below). The area within a 1km radius of the subject site features a combination of land use and development consistent with rural zones and general residential zones. To the north is land subject to the LDR2 and RCZ2 accessed via a local road network that generally provides for north to south thoroughfare. Vegetation consists of planted native trees adjacent to boundaries and within road reserves with tracks of remnant native vegetation on land to the east and northeast associated with a tributary to Cockatoo Creek. The land is generally employed for rural residential development with Rural Conservation zoned land within 1km to the north, northeast, west and southwest.



Neighbourhood conditions within 400m of the site (please refer to the map below) – The subject site is surrounded by land characterised as rural residential land that is subject to residential development. Vegetation is evident in roadside reserves, private land and adjacent to waterways with more dense canopy vegetation associated with water tributaries to Cockatoo Creek to the east and northeast. This elevates the bushfire risk and would result in ember attack should there be an ignition on land to the northwest or northeast. Woori-Yallock Road, a Transport 1 zoned road, is within 100m to the west of the subject site providing egress to the south in the event of a fire.



Site conditions (Please refer to the map below) – The site features a downward slope from the high point adjacent to the eastern boundary to the low point adjacent to the Fell Road frontage in the western portion of the site. The site is dominated by a grass understorey, maintained at a Low Threat state consistent with 2.2.3.2 (f), *AS3959:2018 Construction of buildings in Bushfire Prone Areas*; planted garden species dominate the site with a patch or 'cluster' of native Eucalyptus in the northwestern corner of the site. Please read in conjunction with the Bushfire Attack Level Report provided by *Nobelius Land Surveyors*, dated February 2025.

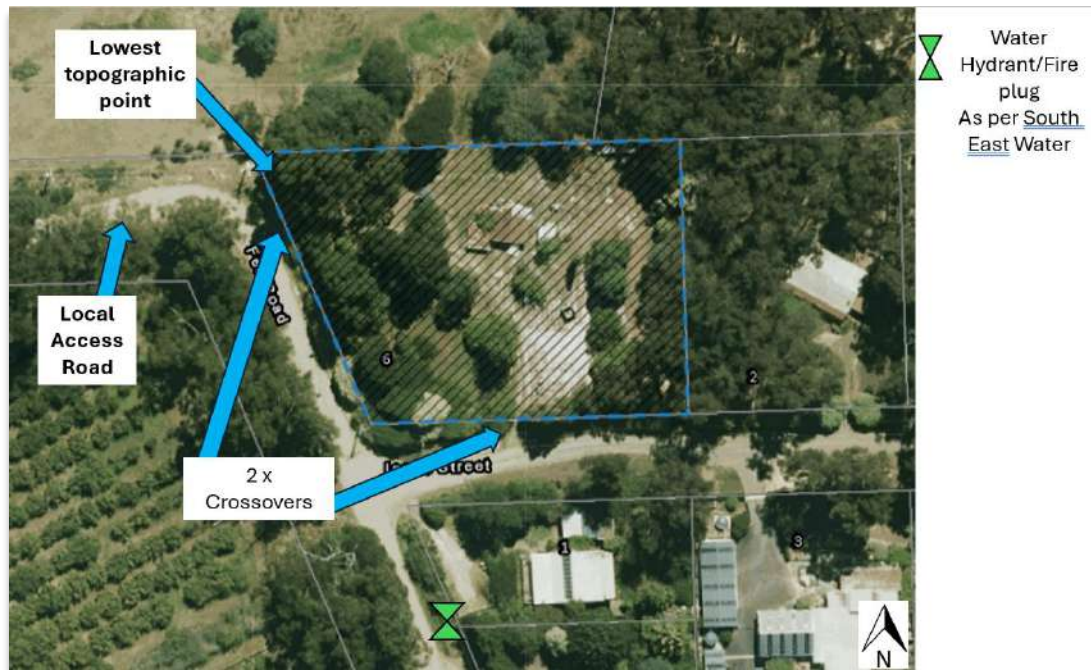


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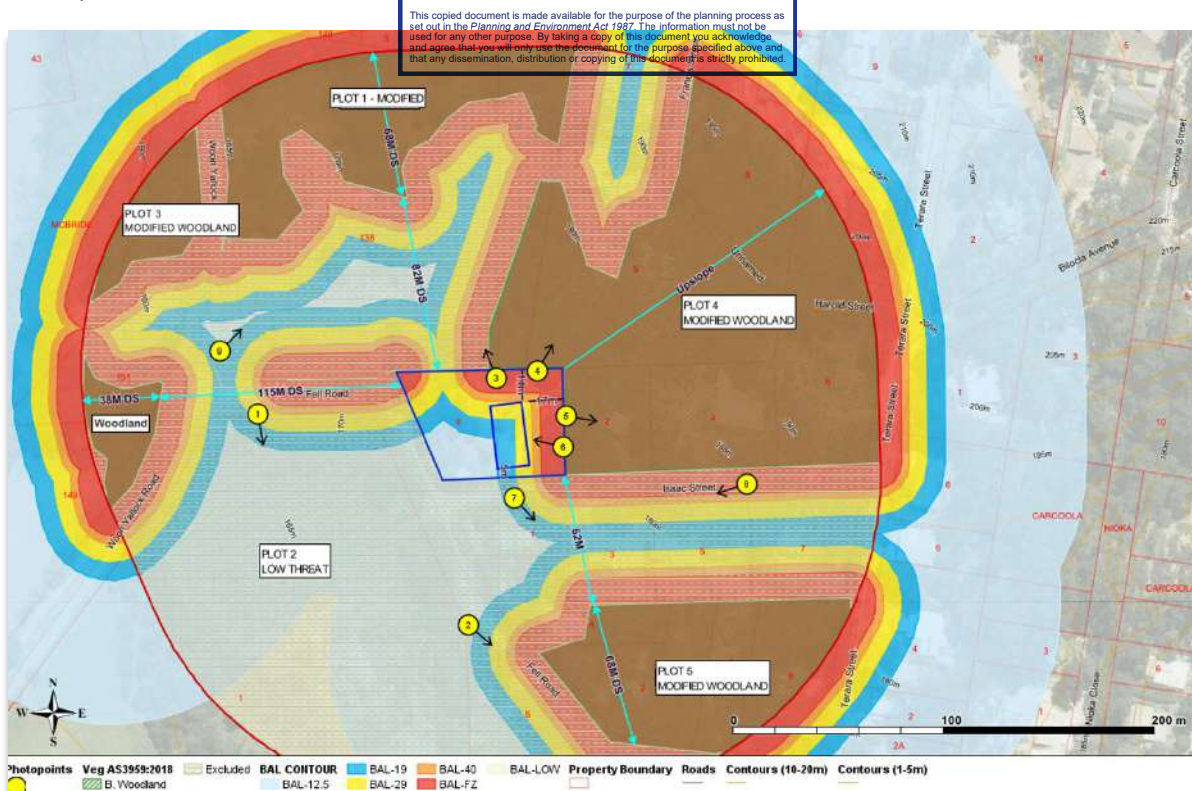
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Date Prepared: 31 October 2025

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The built form will be subject to a radiant heat flux of 29 kilowatts/square metre site under AS3959-2018 (Construction of Buildings in Bushfire Prone Areas, Standards Australia, 2020) given the vegetation and topography to the east and northeast, which elevates the risk and exposes the site to a radiant heat flux of up to 29 kilowatts/square metre. There are areas of the site that can achieve lower BAL ratings of 19 and 12.5. Please refer below to the BAL Heat Level Map, generated by FireMaps, 2025.



Access for emergency services to the site, and egress options from the site are consistent with the standards of **clause 53.02**. Fell Road and Isaac Street are unmade roads that connect with Woori-Yallock Road, a main thoroughfare within 100 metres to the west of the subject site.

CLAUSE 15 BUILT ENVIRONMENT AND HERITAGE

Clause 15 Built Environment and Heritage has the objective to ensure planning delivers built form that is of high quality and efficient, responsive to the surrounding landscape and character including its associated risks, protective of heritage and provides the functionality required by the community. The proposal aligns with the objective of **Clause 15.01-2S Building design** which seeks *to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development*. The proposed development has been informed by a comprehensive analysis of the site and immediate surrounds, including a feature survey, and bushfire assessment. The provision of a dwelling aligns with the strategy *to ensure development responds and contributes to the strategic and cultural context of its location, and to minimize impact of development on neighbouring properties, the public realm and the natural environment*.

Clause 15.01-5S Neighbourhood character has the objective *to recognise, support and protect neighbourhood character, cultural identity, and sense of place*. The proposed development contemplates a dwelling that features scale, fenestrations, setbacks, height and finishes that integrate with the existing development and enhance the environmental residential character sought for this precinct of Cockatoo. The large front setback in particular will enable the retention of large canopy trees which will further protect and enhance Cockatoo's valued bushland garden character.

CLAUSE 16 HOUSING

Clause 18 Housing has regard to the provision of housing that is well located, integrated and diverse. The proposal replaces old housing stock (removed 6 years ago) with a new dwelling that is more capable of meeting evolved sustainability outcomes and improved amenity. The site is located within 200metres of the Cockatoo commercial centre and 400m of public open space reserves, which promotes non-car dependant mobility and supports active living and improved wellbeing synonymous with the 20-minute neighbourhood (**Clause 18.01-2S Transport system**) and sustainable and safe transport (**Clause 18.01-3S**), and the strategies of **Clause 18.02-1S Walking**, **Clause 18.02-2S Cycling** and **Clause 18.02-3S Public Transport** given there is a bus stop on Woori-Yallock road within 100metres of the subject site.



8. PARTICULAR PROVISIONS

The relevant particular provisions/documents that will be addressed are identified below:

- Clause 53.02 Bushfire Planning

CLAUSE 53.02 BUSHFIRE PLANNING

Clause 53.02 has the following purposes:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.*
- *To ensure that the location, design and construction of development appropriately responds to the bushfire hazard.*
- *To ensure development is only permitted where the risk to life, property and community infrastructure from bushfire can be reduced to an acceptable level.*
- *To specify location, design and construction measures for a single dwelling that reduces the bushfire risk to life and property to an acceptable level.*

This clause applies to any application under clause 44.06 Bushfire Management Overlay to construct a dwelling on land zoned Low Density Residential Zone. Please read in conjunction with the Bushfire Assessment that has been prepared by *Nobelius Land Surveyors* and submitted to meet the requirements of Clause 44.06 and 53.02.



9. GENERAL PROVISIONS

The relevant general provisions that will be addressed in this section are identified below:

- Clause 65 Decision Guidelines
- Clause 65.01 Approval of an Application or Plan
- Clause 71.02-1 Purpose of the Planning Policy Framework
- Clause 71.02-3 Integrated decision making

CLAUSE 65 DECISION GUIDELINES

Clause 65 states that the Responsible Authority must decide whether the proposal will provide acceptable outcomes in terms of the decision guidelines of this Clause. The decision guidelines of Clause 65.01 and 65.02 relating to the approval of an application or plan and an application to subdivide the land respectfully are relevant to this application.

CLAUSE 65.01 APPROVAL OF AN APPLICATION OR PLAN

The decision guidelines outlined in Clause 65.01 are applicable to this proposal, in particular:

- *The matters set out in Section 60 of the Act.*
- *Any significant effects the environment, including the contamination of the land, may have on the use or development.*

The land is not identified as being contaminated. The site constraints and considerations of the land including native vegetation, topography and any overland flows have been responded to throughout the design process.



- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*

The planning considerations have been adequately addressed within this report in sections 4-6.

- *The effect on the environment, human health and amenity of the area.*

The proposed dwelling development does not pose any foreseeable adverse impacts to the environment, human health or the amenity of the area. Any potential adverse impacts have been identified and responded to throughout the design process.

- *The proximity of the land to any public land.*

The proposed development does not adversely impact any public land within the vicinity of the site.

- *Factors likely to cause or contribute to land degradation, salinity or reduce water quality.*

No foreseeable factors that may cause or contribute to land degradation, salinity or reduced water quality have been identified during the design process.

- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*

A stormwater and drainage assessment has not been undertaken as part of the design process given the exemption under clause 52.18 given the land is subject to the Low Density Residential Zone.

- *The extent and character of native vegetation and the likelihood of it's destruction.*

Native vegetation is not proposed to be removed. The subject site in it's existing state is a highly modified landscape, with the majority of the site cleared.

- *Whether native vegetation is to be or can be protected, planted or allowed to regenerate.*

The proposal provides setbacks that can accommodate landscape planting and the establishment of native vegetation.

- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*

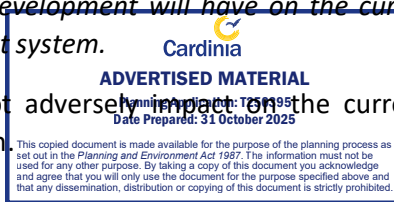
The subject site is not prone to flood however, it is mapped in the Bushfire Management Overlay (BMO). The risk associated with bushfire has been assessed (please refer to the BMS and our response to Clause 13.02) and the proposal can mitigate the risks associated with bushfire.

- *The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.*

Loading and unloading facilities are not relevant to this proposal.

- *The impact the use or development will have on the current and future development and operation of the transport system.*

The proposed dwelling does not adversely impact on the current and future development and operation of the transport system.



CLAUSE 71.02-3 INTEGRATED DECISION MAKING

Clause 71.02-3 Integrated decision making seeks to balance the needs and expectations of the community in terms of the provision of built form to accommodate a growing population, protection of the environment, economic wellbeing, various social needs, management of resources and infrastructure.

Clause 71.02-3 has been recently updated (February, 2022) and aims to balance these needs and expectations through the employment of the Planning Scheme to ensure conflicting objectives are balanced in favour of net community benefit and sustainable development for the benefit present and future generations. It states that in bushfire affected areas, planning must prioritise the protection of human life over all other policy considerations.

Our proposal contemplates the replacement of a dwelling with a new dwelling development on land that is subject to the threat of bushfire. The development of the subject site presents an opportunity to update the existing housing stock to a new dwelling design that can suitably mitigate the risks associated with the land and preserve the environmental assets on and around the lot.

10. CONCLUSION

It is submitted that the proposal is consistent with the relevant policies and provisions of the Cardinia Planning Scheme and should receive Council's support for the following reasons:

- The proposal is consistent with the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the purpose of the Low Density Residential Zone.
- As stated in this report, the matters for consideration under the *Planning and Environment Act, 1987* and associated *Planning and Environment Regulations 2015* has been satisfactorily addressed through compliance with the Cardinia Planning Scheme, demonstrating the dwelling development is compatible with the existing development pattern in the surrounding area.
- Significant onsite and third party vegetation will not be impacted.
- The proposal is respectful of the neighbourhood character.
- The proposal mitigates the risk of bushfire as per the corresponding Bushfire Management Statement.

The proposal provides an excellent opportunity for further residential development in a well serviced location and in an area designated for residential land use.

The constraints and considerations of the subject site have been appropriately responded to in the design process, and the proposal integrates into the surrounding pattern of development and neighbourhood character, and warrants Council support.



September 2025

1. Summary

The subject site is approximately 3,455 metres square and vegetation within the site is subject to the provisions of a Vegetation Protection Overlay and Bushfire Exemption clauses under the Cardinia Planning Scheme. Vegetation identified in this appraisal has a total crown area of approximately 1,640 square metres.

2. Objectives

In this Preliminary Arboricultural Report and Impact Statement (appraisal), the following objectives have been identified:

- 2.1. Inspect 6 Fell Road, Cockatoo (subject site) and adjacent land as directed by the client and assess the tree(s) for the purpose of determining merit within the landscape. A tree is defined in this appraisal as a perennial plant that is greater than 3 metres in height. Perennial plants smaller than 3 metres in height may be included contingent on landscape contribution. Trees in this appraisal are represented as Individual Trees, Hedge Rows or Grouped Trees.
- 2.2. Collect and report details concerning the identified tree(s) in accordance with the Australian Standard AS 4970 - 2025 'Protection of trees on development sites' (Standard) with specific reference to Clause 2.2.5, applicable local laws, statutory planning and other relevant documents.
- 2.3. Provide an unbiased arboricultural perspective within the aforementioned frameworks that clearly informs the client and associated stakeholders of tree merit, likely impacts of proposed works, impact mitigation strategies, and protection measures.

3. Method

The following methods were employed to inform the contents of this appraisal:

- 3.1. The site inspections were undertaken on Wednesday, 30 July 2025 and Thursday, 14 August 2025.
- 3.2. A thorough ground-based visual tree assessment using appropriate tools was conducted for all trees identified in this appraisal. Where access to a tree was limited, some characteristics may have been estimated or overlooked. Trees identified in this appraisal have been located and numbered in Appendix 1 - 'Site Plan'. Specific observations including relevant photographs have been included in Appendix 2 - 'Site Data'. Definitions of the information catalogued in Appendix 2 are contained in Appendix 3 - 'Tree Feature Descriptions'.
- 3.3. Notional Root Zones (NRZ), Structural Root Zones (SRZ) and Tree Protection Zones (TPZ) identified in this appraisal have been determined in accordance with the Standard or as specified by a relevant authority. Please refer to Section 6.4 for a concise description of these terms and Appendix 1 for a diagrammatic representation of these requirements within and adjacent to the subject site.
- 3.4. Tree protection specifications (TPS) have been provided where applicable.

4. Documents and Literature

The following documents were reviewed in the preparation of this appraisal. The property title for the subject site was not inspected, and it is unknown if there are any specific tree protection controls under existing planning permits or Section 173 Agreements relevant to the subject site:

- 4.1. Planning Property Report from <https://mapshare.vic.gov.au/vicplan/> accessed on the Thursday, 25 September 2025 for the subject site.
- 4.2. 42.02 Vegetation Protection Overlay (VPO) and the associated Schedule VPO1 from the Cardinia Planning Scheme.

- 4.3. 52.12 Bushfire Protection Exemptions from the Cardinia Planning Scheme.
- 4.4. Application No.: T250395 PA Construction of a Single Dwelling on a Lot and associated Vegetation 6 Fell Road, Cockatoo, Request for Further Information issued by Cardinia Shire Council dated 31 July 2025.
- 4.5. Bushfire Assessment and Management Statement 6 Fell Road, Cockatoo proposed by Nobelius Land Surveyors dated 1 July 2025.
- 4.6. Proposed House and Garage 6 Fell Road, Cockatoo (Issue: D), Sheets No.s' 1 - 13 prepared by SJD Homes dated 23 September 2025.

5. Observations

The ensuing observations were made during the site inspection and have been included to summarise data, inform discussion, opinions and recommendations contained in this appraisal:

- 5.1. Sixty-six (66) Individual Trees as defined in this appraisal were identified during the site inspections. Six (6) trees were located in the adjoining property to the east identified as 2 Isaac Street. The remaining sixty (60) trees were located within the subject site.
Please refer to Appendix 1 for details concerning the location of trees identified in this appraisal.
- 5.2. Seventeen (17) trees received Moderate Retention Values as defined in this appraisal. The remaining forty-nine (49) trees received Low Retention Values.
Please refer to Section 6.1 for discussion on Retention Values and Appendix 2 for details of the trees identified.
- 5.3. Twenty-eight (28) are considered Protected Trees including Site ID.s' 4, 6, 8, 20, 21, 22, 24, 27, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 45, 46, 47, 49, 50, 51, 52, 61, 62 and 63. All other trees identified in this appraisal are exempt from the provisions of the VPO as they are within 4 metres of a fence line and exempt under 52.17 or are a listed weed species under the VPO.
Please refer to Section 6.2 for a summary of Statutory Planning relevant to these trees and Bushfire Exemptions relevant to the site.
- 5.4. Additional shrubs and small and/or young trees were noted during the site assessment but have not been included in this appraisal as they do not provide any particular landscape significance or make a contribution to local amenity. Trees in adjoining properties where drip lines did not extend into the subject site were also observed during the site assessment but have not been included in this appraisal as they will not be affected by any proposed development within the subject site.

6. Discussion

- 6.1. In this appraisal and as required under the Standard; the virtues of a tree are expressed in its **Retention Value**. The benefits of tree retention within an evolving urban landscape are significant and quantifiable,

Aesthetic Qualities - the qualities of a tree that appeals to our sensory experiences and sense of beauty that encompasses how it looks, feels, sounds, or even smells.

Cultural and Heritage Values - represent the significance and meaning that a tree attaches to a place, object, tradition, and other aspects of culture.

Social, Health and Psychological Benefits - tree stature and longevity provide a sense of 'place' and a direct link with a sites past. They are living structures that instil serenity, soften vistas and provide cover from the harsh planes of surrounding concrete, glass, brick and asphalt.

Ecosystem Benefits - Trees contribute to privacy, emphasise views, reduce glare, moderate climate, improve air quality, conserve water and harbour wildlife.

Economic Benefits - Trees can provide direct economic benefit through increased property values and reduced energy costs.

Trees that receive a **High** or **Moderate** value express one or more of these qualities and can, with adequate design consideration and protection during construction, continue to contribute as viable landscape elements. Trees that receive a **Low** value add little to the site; may not respond well to changes in their environment, become hazardous or create an amenity nuisance in an evolving landscape. Low value trees should be excluded from retention considerations.

Acknowledging the value of trees and adopting a balanced perspective between a tree's **Retention Value** and protection status is an important design consideration in ensuring a successful outcome.

There are just as many reasons to remove a tree as there are to retain the very same. What an existing tree will bring to a renewing landscape is at the discretion of the imagination but at the very least, should be a representative symbol of a living and dynamic location where people, structures and trees can coexist in harmony.

- 6.2. In Victoria, tree protection is afforded through local planning, laws, policy, and other legal instruments. Vegetation located within the subject site and on adjoining land that may be impacted by proposed development and is subject to protection provisions must be managed in accordance with Standard and local policy where they exist. Tree protection provisions relevant to the subject site listed in Section 4 are outlined below.

The purpose of 42.02 Vegetation Protection Overlay (VPO) and the associated Schedule VPO1 from the Cardinia Planning Scheme is to protect areas of significant vegetation, to ensure that development minimises loss of vegetation and to preserve existing trees and other vegetation. To that end, VPO1 requires the applicant to obtain a permit to remove or destroy any vegetation that is not exempt from the provisions of the overlay.

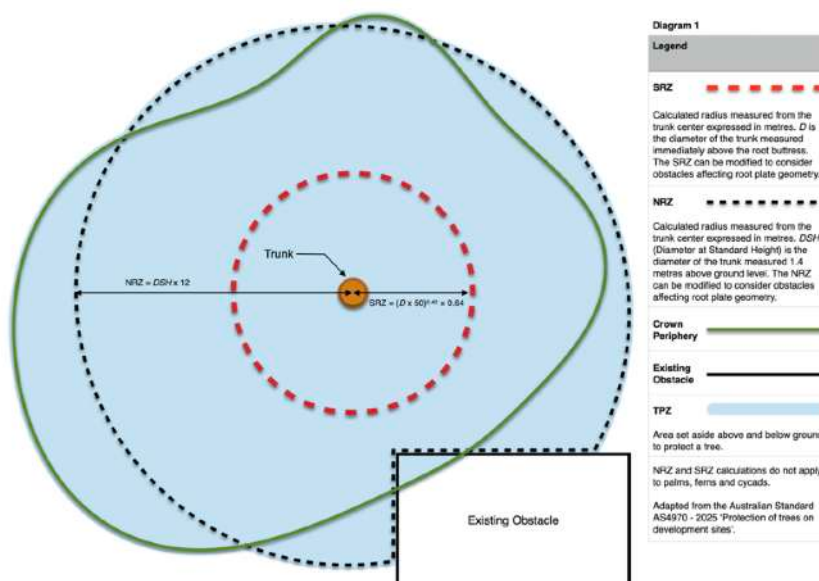
Under 52.12 Bushfire Protection Exemptions; to the minimum extent necessary for the construction, operation or maintenance of fences, clearance of vegetation along both sides of the fence must not exceed 4 metres in width.

Trees on adjoining property that are exempt from protection provisions and could potentially be impacted by proposed development should be managed in accordance with the Standard. Under the Building Act 1993, Building Regulations 2018 Part 7 – Protection of Adjoining Property, the Local Authority may require an applicant to implement tree protection measures on adjoining land. Neighbouring tree owners may pursue a claim under the common law tort of negligence where an act or omission leads to damage, loss or injury to a tree.

Failure to apply appropriate protection measures to a tree on adjoining land can result in project delays, unnecessary disputes, undermine good neighbourly relationships, or give rise to needless legal action.

- 6.3. The Notional Root Zone (NRZ) as defined under the Standard is a cylindrical area below ground, at a given distance from the trunk center, set aside for the viability of a tree's root system. The Structural Root Zone (SRZ) is the area within the NRZ where structural roots and soil cohesion are crucial to root plate stability.

The Tree Protection Zone (TPZ) is the specified zone above and below ground at a given offset from the trunk set aside to protect a tree's parts from damage by site development. Please refer to Diagram 1 for details.



Proposed development encroachment into the NRZ is considered **Minor** if it is less than or equal to 10% of the total NRZ area and does not breach the SRZ. Minor encroachments are unlikely to have a significant impact on tree health, structure or longevity. Tree protection may be implemented during site works and an area equivalent to the encroachment may be added to the TPZ.

Proposed development encroachment into the NRZ is considered **Moderate** if it is greater than 10% and less than or equal to 20% of the total NRZ area and does not breach the SRZ. The impact of a moderate encroachment shall be determined based on considerations identified in the Standard that may include additional investigation. Tree protection shall be implemented during site works that may also include design measures and construction control. An area equivalent to the encroachment shall be added to the TPZ unless the project arborist can demonstrate that the tree will remain a viable landscape element.

Proposed development encroachment into the NRZ is considered **Major** if it is greater than 20% of the total NRZ area or breaches the SRZ. In these circumstances, the project arborist shall explore with the planning team alternative designs or clearly demonstrate that the tree will remain a viable landscape element through additional investigation with attention to the considerations identified in the Standard. An area equivalent to the encroachment shall be added to the TPZ unless the project arborist can demonstrate that the tree will remain a viable landscape element.

Proposed development that encroaches into the crown of the tree shall be assessed on a case-by-case basis with due attention to considerations identified in the Standard. Any proposed works to the crown of the tree shall be undertaken in accordance with AS4373-2007 'Pruning of amenity trees' and recognised best practice.



7. Opinions and Guidance

The following opinions and guidance have been made within the context of the proposal listed in Section 4.4 of this appraisal:

- 7.1. Tree removals have been identified to meet with design intent and to comply with bushfire mitigation plans. The location of proposed removals and the crown extents of trees to be retained are detailed in Appendix 2 - Proposed Tree Removal Plan. Tree removals located within the NRZ of a tree identified for retention shall be conducted in accordance with the requirements detailed under [Vegetation Removal](#). The following Table details those trees identified for removal.

Site ID	Species Common Name	Height (m)	Width (m)	DSH (cm)	Landscape Viability	Retention Value	Permit Required?
1	<i>Syzygium smithii</i> Lilly Pilly	10	4	44	Short	Moderate	☐
3	<i>Acer palmatum</i> Japanese Maple	6	5	23	Short	Low	☐
4	<i>Acacia melanoxylon</i> Blackwood	13	4	30	Long	Moderate	☒
10	<i>Pittosporum eugenioides</i> 'Variegatum' Variegated Tarata	6	3	15	Medium	Low	☐
11	<i>Pittosporum eugenioides</i> 'Variegatum' Variegated Tarata	6	3	15	Medium	Low	☐
12	<i>Pittosporum eugenioides</i> 'Variegatum' Variegated Tarata	6	3	15	Medium	Low	☐
15	<i>Acacia floribunda</i> Gossamer Wattle	6	2	12	Medium	Low	☐
16	<i>Acacia floribunda</i> Gossamer Wattle	6	2	12	Medium	Low	☐
18	<i>Cornus capitata</i> Evergreen Dogwood	3	3	13	Short	Low	☐
19	<i>Pittosporum tenuifolium</i> Kohuhu	5	3	12	Long	Low	☐
32	<i>Rhododendron</i> sp. Rhododendron	2	3	7	Medium	Low	☐
33	<i>Grevillea robusta</i> Silky Oak	15	6	45	Medium	Moderate	☒
35	<i>Allocasuarina torulosa</i> Rose She-oak	6	2	43	Short	Low	☒
43	<i>Pittosporum eugenioides</i> 'Variegatum' Variegated Tarata	7	10	32	Short	Low	☐
44	<i>Pittosporum eugenioides</i> 'Variegatum' Variegated Tarata	7	9	26	Short	Low	☐
48	<i>Fraxinus angustifolia</i> subsp. <i>angustifolia</i> Desert Ash	15	8	46	Short	Low	☐
49	<i>Camellia japonica</i> Camellia	2	2	7	Short	Low	☐
50	<i>Rhododendron</i> sp. Rhododendron	4	2	14	Medium	Low	☐
59	<i>Hakea salicifolia</i> Willow-leaved Hakea	8	4	28	Short	Low	☐

Table 1 - Proposed Tree Removals

- 7.2. The footprint of the gravel driveway will intersect the NRZ for Site ID.'s 2, 31, 34, 47, 53, 54, 58 and 65. Encroachments vary between Minor and Major. However, if the gravel driveway is to be constructed over existing site grade from inert porous material with consideration for the requirements detailed under [Pavement Construction within a TPZ](#), impact will likely be minimal. Furthermore, this topping driveway could be used as part of [Ground Protection](#) requirements for construction activities.

- 7.3. Service corridors for the site have not been identified. Design will need to minimise intersections with NRZ areas. Where intersection cannot be avoided, service installation may be by trenchless technique or root sensitive open trench excavation (hydro excavation) depending on site constraints and perceived levels of encroachment.
- 7.4. Standard tree protection measures listed in Appendix 5 should be applied where necessary for all trees identified in this appraisal that are to be retained.



David Balsamo
Principal Consultant

Attachments

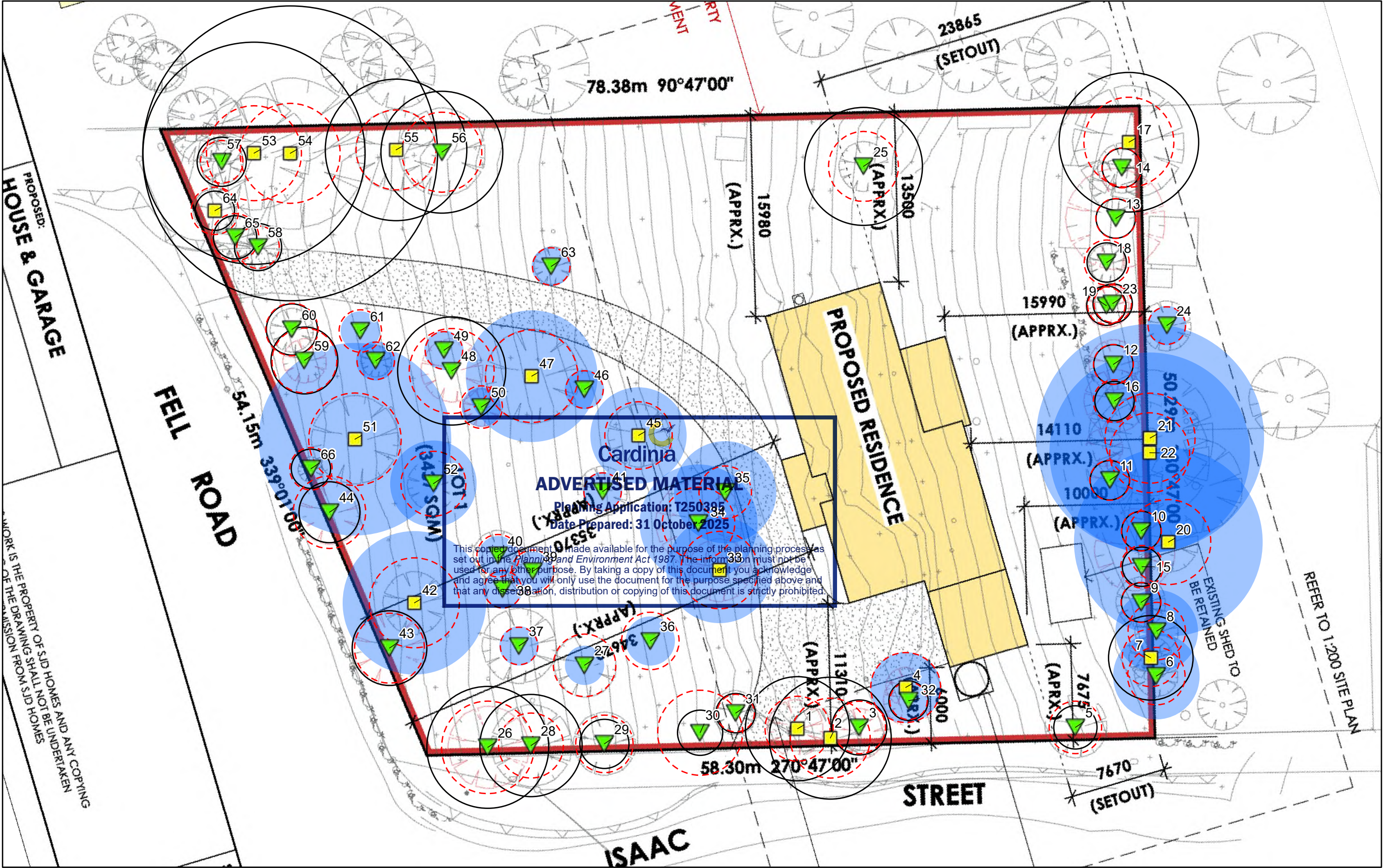
- Appendix 1 - Site Plan
- Appendix 2 - Tree Removal Plan
- Appendix 3 - Site Data
- Appendix 4 - Tree Feature Descriptions
- Appendix 5 - Tree Protection Specifications

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6 Fell Road, Cockatoo



Legend
Individual Tree (AS4970) NRZ
Retention Value

- High (0)
- Moderate (17)
- Low (49)

Protection Status
Protected (28)
Not Protected (38)

SRZ

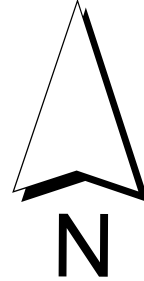


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Date: 25/09/2025



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PO Box 547 Leongatha VIC 3953 | ABN 23 451 725 400
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6 Feli Road, Cockatoo

Tree removals have been proposed to meet the requirements of design and bushfire management.

Trees fill an important physical and ecological roles in the forests both natural and urban in south-eastern Australia. They provide habitat structure and food source for native animals. They host and protect a vast array of indigenous plants including epiphytes, bryophytes and mycorrhiza. Their roots and grouping help stabilise soils, reduce wind speeds at ground level and provide valuable shade that can reduce local ambient temperatures.

Crowns of valued local species on this site have been aggregated where they exist in close proximity to one another. This is to ensure landscape functionality is maintained.

Removals and peripheral crown pruning has been identified between the discreet groups where required to ensure the conditions of the BMP are met and to strike a balance between fire risk management and landscape functionality.

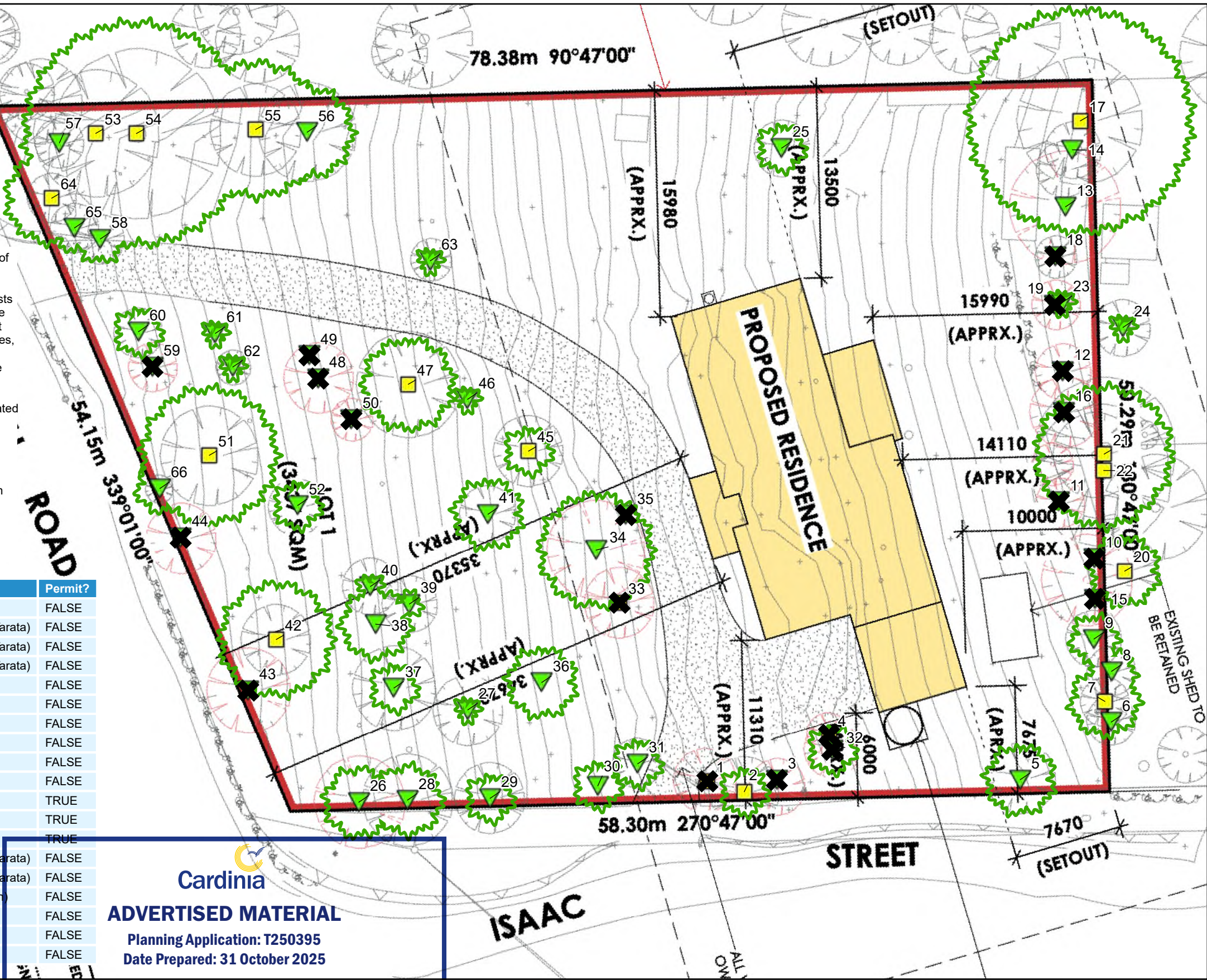
Table 1 - Proposed Tree Removals

Site ID	Specie	Permit?
1	Syzygium smithii (Lilly Pilly)	FALSE
10	Pittosporum euginioides 'Variegatum' (Variegated Tarata)	FALSE
11	Pittosporum euginioides 'Variegatum' (Variegated Tarata)	FALSE
12	Pittosporum euginioides 'Variegatum' (Variegated Tarata)	FALSE
15	Acacia floribunda (Gossamer Wattle)	FALSE
16	Acacia floribunda (Gossamer Wattle)	FALSE
18	Cornus capitata (Evergreen Dogwood)	FALSE
19	Pittosporum tenuifolium (Kohuhu)	FALSE
3	Acer palmatum (Japanese Maple)	FALSE
32	Rhododendron sp. (Rhododendron)	FALSE
33	Grevillea robusta (Silky Oak)	TRUE
35	Allocasuarina torulosa (Rose She-oak)	TRUE
4	Acacia melanoxylon (Blackwood)	TRUE
43	Pittosporum euginioides 'Variegatum' (Variegated Tarata)	FALSE
44	Pittosporum euginioides 'Variegatum' (Variegated Tarata)	FALSE
48	Fraxinus angustifolia subsp. angustifolia (Desert Ash)	FALSE
49	Camellia japonica (Camellia)	FALSE
50	Rhododendron sp. (Rhododendron)	FALSE
59	Hakea salicifolia (Willow-leaved Hakea)	FALSE

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Legend

- Individual Tree (AS4970)  Proposed Tree Removals (19)
- Retention Value  Crown Projection
-  High (0)
-  Moderate (17)
-  Low (49)

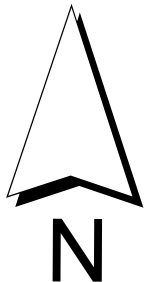


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Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #: 1
Species & Common Name: ***Syzygium smithii* (Lilly Pilly)**
Origin: Victorian Native
Height (m): 10
Width (m): 4
DSH Field Measurements (cm): 44
AS4970 DSH Calculation (cm): 44
Basal Diameter (cm): 56
Life Stage: Semi-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 5.3
AS4970 SRZ Calculation (m): 2.6
Retention Value: **Moderate**
MIS506 Shadow Value: \$40,950.93
Comments: Cleared by powerline company.

Crown Area (m2): 13

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$35,154.97



Site #: 2
Species & Common Name: ***Syzygium smithii* (Lilly Pilly)**
Origin: Victorian Native
Height (m): 12
Width (m): 4
DSH Field Measurements (cm): 40,33
AS4970 DSH Calculation (cm): 52
Basal Diameter (cm): 89
Life Stage: Semi-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 6.2
AS4970 SRZ Calculation (m): 3.2
Retention Value: **Moderate**
MIS506 Shadow Value: \$52,100.27
Comments: Cleared by powerline company.

Crown Area (m2): 13

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$44,726.29



Site #: 3
Species & Common Name: ***Acer palmatum* (Japanese Maple)**
Origin: Exotic
Height (m): 6
Width (m): 5
DSH Field Measurements (cm): 23
AS4970 DSH Calculation (cm): 23
Basal Diameter (cm): 32
Life Stage: Early-mature
Vigour: Poor
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 2.8
AS4970 SRZ Calculation (m): 2.1
Retention Value: **Low**
MIS506 Shadow Value: \$13,137.07
Comments:

Crown Area (m2): 20

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Weed

MIS506 Actual Value: \$1,737.71



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #: 4
Species & Common Name: **Acacia melanoxylon (Blackwood)**
Origin: Victorian Native
Height (m): 13
Width (m): 4
DSH Field Measurements (cm): 30
AS4970 DSH Calculation (cm): 30
Basal Diameter (cm): 66
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Optimal
Landscape Viability: **Long**
AS4970 NRZ Calculation (m): 3.6
AS4970 SRZ Calculation (m): 2.8
Retention Value: **Moderate**
MIS506 Shadow Value: \$21,539.53
Comments:

Crown Area (m2): 13

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$25,072.47



Site #: 5
Species & Common Name: **Banksia ericifolia (Heath-leaved Banksia)**
Origin: Australian Native
Height (m): 6
Width (m): 6
DSH Field Measurements (cm): 14, 12
AS4970 DSH Calculation (cm): 18
Basal Diameter (cm): 34
Life Stage: Semi-mature
Vigour: Fair
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 2.2
AS4970 SRZ Calculation (m): 2.1
Retention Value: **Low**
MIS506 Shadow Value: \$7,856.72
Comments:

Crown Area (m2): 28

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$6,287.45



Site #: 6
Species & Common Name: **Eucalyptus obliqua (Messmate Stringybark)**
Origin: Victorian Native
Height (m): 13
Width (m): 2
DSH Field Measurements (cm): 37
AS4970 DSH Calculation (cm): 37
Basal Diameter (cm): 41
Life Stage: Semi-mature
Vigour: Dead
Structure: Major Correction
Growth Space: Major Limitation
Landscape Viability: **Remove**
AS4970 NRZ Calculation (m): 4.4
AS4970 SRZ Calculation (m): 2.3
Retention Value: **Low**
MIS506 Shadow Value: \$30,870.14
Comments: Tree is dead

Crown Area (m2): 3

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$7,717.53



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #: 7
Species & Common Name: ***Acacia melanoxylon* (Blackwood)**
Origin: Victorian Native
Height (m): 13
Width (m): 6
DSH Field Measurements (cm): 36
AS4970 DSH Calculation (cm): 36
Basal Diameter (cm): 40
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Minor Limitation
Landscape Viability: **Long**
AS4970 NRZ Calculation (m): 4.3
AS4970 SRZ Calculation (m): 2.3
Retention Value: **Moderate**
MIS506 Shadow Value: \$29,487.89
Comments:

Crown Area (m2): 28

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$31,204.12



Site #: 8
Species & Common Name: ***Eucalyptus radiata* (Narrow-leaved Peppermint)**
Origin: Victorian Native
Height (m): 15
Width (m): 3
DSH Field Measurements (cm): 35
AS4970 DSH Calculation (cm): 35
Basal Diameter (cm): 40
Life Stage: Semi-mature
Vigour: Poor
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 4.2
AS4970 SRZ Calculation (m): 2.3
Retention Value: **Low**
MIS506 Shadow Value: \$28,121.29
Comments:

Crown Area (m2): 7

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$16,738.86



Site #: 9
Species & Common Name: ***Pittosporum eugeniioides* 'Variegatum' (Variegated Tarata)**
Origin: Exotic
Height (m): 6
Width (m): 3
DSH Field Measurements (cm): 15
AS4970 DSH Calculation (cm): 15
Basal Diameter (cm): 18
Life Stage: Semi-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Minor Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.6
Retention Value: **Low**
MIS506 Shadow Value: \$5,053.16
Comments:

Crown Area (m2): 7

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$3,970.34



Site #:	10	
Species & Common Name:	<i>Pittosporum eugenioides</i> 'Variegatum' (Variegated Tarata)	
Origin:	Exotic	
Height (m):	6	
Width (m):	3	
DSH Field Measurements (cm):	15	
AS4970 DSH Calculation (cm):	15	Crown Area (m2): 7
Basal Diameter (cm):	18	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria) Low Density
Vigour:	Good	Landscape Function Minimal
Structure:	Minor Correction	Landscape Significance None
Growth Space:	Minor Limitation	Ecosystem Contribution Specimen
Landscape Viability:	Medium	
AS4970 NRZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.6	
Retention Value:	Low	
MIS506 Shadow Value:	\$5,053.16	MIS506 Actual Value: \$3,970.34
Comments:		

Site #:	11	
Species & Common Name:	<i>Pittosporum eugenioides</i> 'Variegatum' (Variegated Tarata)	
Origin:	Exotic	
Height (m):	6	
Width (m):	3	
DSH Field Measurements (cm):	15	
AS4970 DSH Calculation (cm):	15	Crown Area (m2): 7
Basal Diameter (cm):	18	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria) Low Density
Vigour:	Good	Landscape Function Minimal
Structure:	Minor Correction	Landscape Significance None
Growth Space:	Minor Limitation	Ecosystem Contribution Specimen
Landscape Viability:	Medium	
AS4970 NRZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.6	
Retention Value:	Low	
MIS506 Shadow Value:	\$5,053.16	MIS506 Actual Value: \$3,970.34
Comments:		



Site #:	12	
Species & Common Name:	<i>Pittosporum eugenioides</i> 'Variegatum' (Variegated Tarata)	
Origin:	Exotic	
Height (m):	6	
Width (m):	3	
DSH Field Measurements (cm):	15	
AS4970 DSH Calculation (cm):	15	Crown Area (m2): 7
Basal Diameter (cm):	18	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria) Low Density
Vigour:	Good	Landscape Function Minimal
Structure:	Minor Correction	Landscape Significance None
Growth Space:	Minor Limitation	Ecosystem Contribution Specimen
Landscape Viability:	Medium	
AS4970 NRZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.6	
Retention Value:	Low	
MIS506 Shadow Value:	\$5,053.16	MIS506 Actual Value: \$3,970.34
Comments:		



Site #:	13	
Species & Common Name:	<i>Pittosporum eugenioides 'Variegatum' (Variegated Tarata)</i>	
Origin:	Exotic	
Height (m):	6	
Width (m):	3	
DSH Field Measurements (cm):	15	
AS4970 DSH Calculation (cm):	15	Crown Area (m2): 7
Basal Diameter (cm):	18	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria) Low Density Landscape Function Minimal Landscape Significance None Ecosystem Contribution Specimen
Vigour:	Good	
Structure:	Minor Correction	
Growth Space:	Minor Limitation	
Landscape Viability:	Medium	
AS4970 NRZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.6	
Retention Value:	Low	
MIS506 Shadow Value:	\$5,053.16	MIS506 Actual Value: \$3,970.34
Comments:		

Site #:	14	
Species & Common Name:	<i>Pittosporum eugenioides 'Variegatum' (Variegated Tarata)</i>	
Origin:	Exotic	
Height (m):	6	
Width (m):	3	
DSH Field Measurements (cm):	15	
AS4970 DSH Calculation (cm):	15	Crown Area (m2): 7
Basal Diameter (cm):	18	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria) Low Density Landscape Function Minimal Landscape Significance None Ecosystem Contribution Specimen
Vigour:	Good	
Structure:	Minor Correction	
Growth Space:	Minor Limitation	
Landscape Viability:	Medium	
AS4970 NRZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.6	
Retention Value:	Low	
MIS506 Shadow Value:	\$5,053.16	MIS506 Actual Value: \$3,970.34
Comments:		



Site #:	15	
Species & Common Name:	<i>Acacia floribunda (Gossamer Wattle)</i>	
Origin:	Victorian Native	
Height (m):	6	
Width (m):	2	
DSH Field Measurements (cm):	10,5,5	
AS4970 DSH Calculation (cm):	12	Crown Area (m2): 3
Basal Diameter (cm):	20	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria) Low Density Landscape Function Minimal Landscape Significance None Ecosystem Contribution Weed
Vigour:	Excellent	
Structure:	Minor Correction	
Growth Space:	Major Limitation	
Landscape Viability:	Medium	
AS4970 NRZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.7	
Retention Value:	Low	
MIS506 Shadow Value:	\$2,589.51	MIS506 Actual Value: \$359.65
Comments:		



Site #:	16	
Species & Common Name:	<i>Acacia floribunda</i> (Gossamer Wattle)	
Origin:	Victorian Native	
Height (m):	6	
Width (m):	2	
DSH Field Measurements (cm):	10,5,5	
AS4970 DSH Calculation (cm):	12	Crown Area (m2): 3
Basal Diameter (cm):	20	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria) Low Density
Vigour:	Excellent	Landscape Function Minimal
Structure:	Minor Correction	Landscape Significance None
Growth Space:	Major Limitation	Ecosystem Contribution Weed
Landscape Viability:	Medium	
AS4970 NRZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.7	
Retention Value:	Low	
MIS506 Shadow Value:	\$2,589.51	MIS506 Actual Value: \$359.65
Comments:		



Site #:	17	
Species & Common Name:	<i>Acacia melanoxylon</i> (Blackwood)	
Origin:	Victorian Native	
Height (m):	18	
Width (m):	19	
DSH Field Measurements (cm):	59	
AS4970 DSH Calculation (cm):	59	Crown Area (m2): 284
Basal Diameter (cm):	119	Landscape Contribution
Life Stage:	Early-mature	Land Use (Victoria) Low Density
Vigour:	Good	Landscape Function Adequate
Structure:	Minor Correction	Landscape Significance None
Growth Space:	Minor Limitation	Ecosystem Contribution Indigenous
Landscape Viability:	Medium	
AS4970 NRZ Calculation (m):	7.1	
AS4970 SRZ Calculation (m):	3.6	
Retention Value:	Moderate	
MIS506 Shadow Value:	\$59,113.77	MIS506 Actual Value: \$56,767.98
Comments:		



Site #:	18	
Species & Common Name:	<i>Cornus capitata</i> (Evergreen Dogwood)	
Origin:	Exotic	
Height (m):	3	
Width (m):	3	
DSH Field Measurements (cm):	5,8,8,5	
AS4970 DSH Calculation (cm):	13	Crown Area (m2): 7
Basal Diameter (cm):	23	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria) Low Density
Vigour:	Fair	Landscape Function Minimal
Structure:	Minor Correction	Landscape Significance None
Growth Space:	Major Limitation	Ecosystem Contribution Weed
Landscape Viability:	Short	
AS4970 NRZ Calculation (m):	2	
AS4970 SRZ Calculation (m):	1.8	
Retention Value:	Low	
MIS506 Shadow Value:	\$3,368.44	MIS506 Actual Value: \$367.59
Comments:		



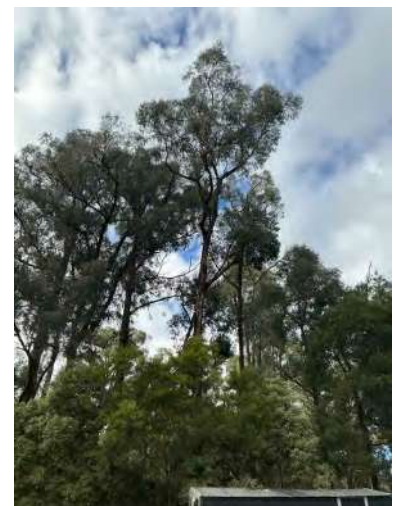
Appendix 3 - Site Data with Images
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Site #:	19	
Species & Common Name:	<i>Pittosporum tenuifolium (Kohuhu)</i>	
Origin:	Exotic	
Height (m):	5	
Width (m):	3	
DSH Field Measurements (cm):	12	
AS4970 DSH Calculation (cm):	12	Crown Area (m2): 7
Basal Diameter (cm):	15	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Good	Low Density
Structure:	Acceptable	Landscape Function
Growth Space:	Minor Limitation	Minimal
Landscape Viability:	Long	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	1.5	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$2,589.51	MIS506 Actual Value: \$2,466.20
Comments:		



Site #:	20	
Species & Common Name:	<i>Eucalyptus obliqua (Messmate Stringybark)</i>	
Origin:	Victorian Native	
Height (m):	30	
Width (m):	6	
DSH Field Measurements (cm):	80	
AS4970 DSH Calculation (cm):	80	Crown Area (m2): 28
Basal Diameter (cm):	110	Landscape Contribution
Life Stage:	Early-mature	Land Use (Victoria)
Vigour:	Fair	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Major Limitation	Adequate
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	9.6	None
AS4970 SRZ Calculation (m):	3.4	Ecosystem Contribution
Retention Value:	Moderate	Indigenous
MIS506 Shadow Value:	\$80,154.26	MIS506 Actual Value: \$64,144.62
Comments:	Limitations to measurements due to outside of property line	



Site #:	21	
Species & Common Name:	<i>Eucalyptus radiata (Narrow-leaved Peppermint)</i>	
Origin:	Victorian Native	
Height (m):	28	
Width (m):	12	
DSH Field Measurements (cm):	90,35	
AS4970 DSH Calculation (cm):	97	Crown Area (m2): 113
Basal Diameter (cm):	125	Landscape Contribution
Life Stage:	Early-mature	Land Use (Victoria)
Vigour:	Fair	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Major Limitation	Adequate
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	11.6	None
AS4970 SRZ Calculation (m):	3.6	Ecosystem Contribution
Retention Value:	Moderate	Indigenous
MIS506 Shadow Value:	\$97,187.04	MIS506 Actual Value: \$77,775.35
Comments:	Limitations to measurements outside a proper line	



Site #: 22
Species & Common Name: ***Eucalyptus radiata (Narrow-leaved Peppermint)***
Origin: Victorian Native
Height (m): 28
Width (m): 10
DSH Field Measurements (cm): 85
AS4970 DSH Calculation (cm): 85
Basal Diameter (cm): 95
Life Stage: Early-mature
Vigour: Fair
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 10.2
AS4970 SRZ Calculation (m): 3.2
Retention Value: **Moderate**
MIS506 Shadow Value: \$85,163.90
Crown Area (m2): 79
MIS506 Actual Value: \$68,153.65
Comments: Limitations to measurements outside a proper line

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Indigenous



Site #: 23
Species & Common Name: ***Acacia melanoxylon (Blackwood)***
Origin: Victorian Native
Height (m): 7
Width (m): 2
DSH Field Measurements (cm): 10
AS4970 DSH Calculation (cm): 10
Basal Diameter (cm): 10
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Minor Limitation
Landscape Viability: **Long**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.5
Retention Value: **Low**
MIS506 Shadow Value: \$1,176.70
Crown Area (m2): 3
MIS506 Actual Value: \$1,120.67
Comments:

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Indigenous



Site #: 24
Species & Common Name: ***Acacia melanoxylon (Blackwood)***
Origin: Victorian Native
Height (m): 7
Width (m): 2
DSH Field Measurements (cm): 10
AS4970 DSH Calculation (cm): 10
Basal Diameter (cm): 10
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Minor Limitation
Landscape Viability: **Long**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.5
Retention Value: **Low**
MIS506 Shadow Value: \$1,176.70
Crown Area (m2): 3
MIS506 Actual Value: \$1,120.67
Comments:

Landscape Contribution

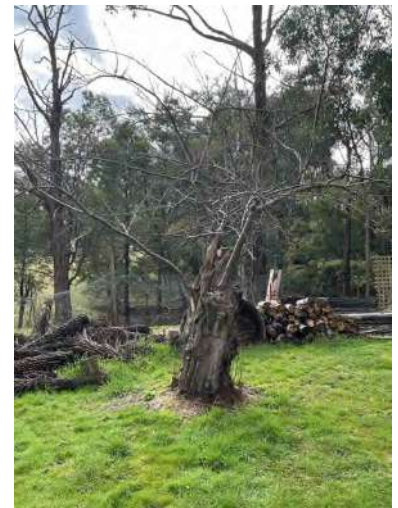
Land Use (Victoria)
Statutory Planning
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Indigenous



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Site #:	25	
Species & Common Name:	<i>Prunus sp. (Plum)</i>	
Origin:	Exotic	
Height (m):	4	
Width (m):	4	
DSH Field Measurements (cm):	50	
AS4970 DSH Calculation (cm):	50	Crown Area (m2): 13
Basal Diameter (cm):	68	Landscape Contribution
Life Stage:	Over-mature	Land Use (Victoria)
Vigour:	Fair	Low Density
Structure:	Major Correction	Landscape Function
Growth Space:	Optimal	Minimal
Landscape Viability:	Remove	Landscape Significance
AS4970 NRZ Calculation (m):	6	None
AS4970 SRZ Calculation (m):	2.8	Ecosystem Contribution
Retention Value:	Low	Weed
MIS506 Shadow Value:	\$50,096.41	MIS506 Actual Value: \$4,075.30
Comments:	Old stump with regrowth	



Site #:	26	
Species & Common Name:	<i>Photinia serratifolia (Chinese Hawthorn)</i>	
Origin:	Exotic	
Height (m):	8	
Width (m):	6	
DSH Field Measurements (cm):	2,20,20,15,29,13,25	
AS4970 DSH Calculation (cm):	52	Crown Area (m2): 28
Basal Diameter (cm):	130	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Fair	Low Density
Structure:	Major Correction	Landscape Function
Growth Space:	Major Limitation	Minimal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	6.2	None
AS4970 SRZ Calculation (m):	3.7	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$52,100.27	MIS506 Actual Value: \$33,079.54
Comments:		



Site #:	27	
Species & Common Name:	<i>Rhododendron sp. (Rhododendron)</i>	
Origin:	Exotic	
Height (m):	4	
Width (m):	2	
DSH Field Measurements (cm):	5,6,7,5	
AS4970 DSH Calculation (cm):	12	Crown Area (m2): 3
Basal Diameter (cm):	50	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Good	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Minor Limitation	Minimal
Landscape Viability:	Medium	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	2.5	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$2,589.51	MIS506 Actual Value: \$2,034.61
Comments:		



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #: 28
Species & Common Name: ***Pittosporum eugenoides 'Variegatum' (Variegated Tarata)***
Origin: Exotic
Height (m): 10
Width (m): 6
DSH Field Measurements (cm): 27,25,15,13,10
AS4970 DSH Calculation (cm): 43
Basal Diameter (cm): 56
Life Stage: Semi-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 5.2
AS4970 SRZ Calculation (m): 2.6
Retention Value: **Low**
MIS506 Shadow Value: \$39,469.89
Comments: Within power on clearances

Crown Area (m2): 28

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$22,554.22



Site #: 29
Species & Common Name: ***Camellia japonica (Camellia)***
Origin: Exotic
Height (m): 5
Width (m): 5
DSH Field Measurements (cm): 10,6,8,5,9,9,7,5
AS4970 DSH Calculation (cm): 21
Basal Diameter (cm): 42
Life Stage: Semi-mature
Vigour: Good
Structure: Major Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 2.5
AS4970 SRZ Calculation (m): 2.3
Retention Value: **Low**
MIS506 Shadow Value: \$10,943.01
Comments: Within powerline clearances

Crown Area (m2): 20

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$6,774.25



Site #: 30
Species & Common Name: ***Rhododendron sp. (Rhododendron)***
Origin: Exotic
Height (m): 4
Width (m): 5
DSH Field Measurements (cm): 10,8,9,7,6,4
AS4970 DSH Calculation (cm): 19
Basal Diameter (cm): 110
Life Stage: Semi-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Minor Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 2.3
AS4970 SRZ Calculation (m): 3.4
Retention Value: **Low**
MIS506 Shadow Value: \$8,856.34
Comments:

Crown Area (m2): 20

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$5,060.76



Appendix 3 - Site Data with Images
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Site #: 31
Species & Common Name: **Rhododendron sp. (Rhododendron)**
Origin: Exotic
Height (m): 2
Width (m): 3
DSH Field Measurements (cm): 4,2
AS4970 DSH Calculation (cm): 4
Basal Diameter (cm): 10
Life Stage: Young
Vigour: Good
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.5
Retention Value: **Low**
MIS506 Shadow Value: \$470.68
Comments:

Crown Area (m2): 7

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 32
Species & Common Name: **Rhododendron sp. (Rhododendron)**
Origin: Exotic
Height (m): 2
Width (m): 3
DSH Field Measurements (cm): 4,2,2,5
AS4970 DSH Calculation (cm): 7
Basal Diameter (cm): 15
Life Stage: Young
Vigour: Good
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.5
Retention Value: **Low**
MIS506 Shadow Value: \$823.69
Comments:

Crown Area (m2): 7

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 33
Species & Common Name: **Grevillea robusta (Silky Oak)**
Origin: Australian Native
Height (m): 15
Width (m): 6
DSH Field Measurements (cm): 30,33
AS4970 DSH Calculation (cm): 45
Basal Diameter (cm): 85
Life Stage: Semi-mature
Vigour: Fair
Structure: Minor Correction
Growth Space: Optimal
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 5.4
AS4970 SRZ Calculation (m): 3.1
Retention Value: **Moderate**
MIS506 Shadow Value: \$42,444.77
Comments:

Crown Area (m2): 28

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Specimen



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #: 34
Species & Common Name: **Chamaecyparis lawsoniana (Lawson's Cypress)**
Origin: Exotic
Height (m): 5
Width (m): 10
DSH Field Measurements (cm): 50
AS4970 DSH Calculation (cm): 50
Basal Diameter (cm): 75
Life Stage: Semi-mature
Vigour: Good
Structure: Major Correction
Growth Space: Minor Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 6
AS4970 SRZ Calculation (m): 2.9
Retention Value: **Low**
MIS506 Shadow Value: \$50,096.41
Comments: Estimated truck measurements due to dense canopy

Crown Area (m2): 79

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 35
Species & Common Name: **Allocasuarina torulosa (Rose She-oak)**
Origin: Australian Native
Height (m): 6
Width (m): 2
DSH Field Measurements (cm): 43
AS4970 DSH Calculation (cm): 43
Basal Diameter (cm): 34
Life Stage: Semi-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Minor Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 5.2
AS4970 SRZ Calculation (m): 2.1
Retention Value: **Low**
MIS506 Shadow Value: \$39,469.89
Comments:

Crown Area (m2): 3

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen



Site #: 36
Species & Common Name: **Camellia japonica (Camellia)**
Origin: Exotic
Height (m): 6
Width (m): 6
DSH Field Measurements (cm): 10,8,9,6,5,7,9,5
AS4970 DSH Calculation (cm): 21
Basal Diameter (cm): 43
Life Stage: Semi-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Minor Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 2.5
AS4970 SRZ Calculation (m): 2.3
Retention Value: **Low**
MIS506 Shadow Value: \$10,943.01
Comments:

Crown Area (m2): 28

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen



Appendix 3 - Site Data with Images
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Site #:	37	
Species & Common Name:	<i>Camellia sasanqua</i> (<i>Sasanqua Camellia</i>)	
Origin:	Exotic	
Height (m):	6	
Width (m):	4	
DSH Field Measurements (cm):	6,5,7,6,4	
AS4970 DSH Calculation (cm):	13	Crown Area (m2): 13
Basal Diameter (cm):	12	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Good	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Major Limitation	Minimal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	1.5	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$3,368.44	MIS506 Actual Value: \$2,365.93
Comments:		



Site #:	38	
Species & Common Name:	<i>Camellia japonica</i> (<i>Camellia</i>)	
Origin:	Exotic	
Height (m):	6	
Width (m):	6	
DSH Field Measurements (cm):	7,5,3,5,6,6,7,4	
AS4970 DSH Calculation (cm):	16	Crown Area (m2): 28
Basal Diameter (cm):	14	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Good	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Major Limitation	Minimal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	1.5	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$5,953.17	MIS506 Actual Value: \$4,181.39
Comments:		



Site #:	39	
Species & Common Name:	<i>Rhododendron</i> sp. (<i>Rhododendron</i>)	
Origin:	Exotic	
Height (m):	4	
Width (m):	2	
DSH Field Measurements (cm):	5,7,6,5	
AS4970 DSH Calculation (cm):	12	Crown Area (m2): 3
Basal Diameter (cm):	20	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Good	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Minor Limitation	Minimal
Landscape Viability:	Medium	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	1.7	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$2,589.51	MIS506 Actual Value: \$2,034.61
Comments:		



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo

Site #:	40	
Species & Common Name:	<i>Rhododendron sp. (Rhododendron)</i>	
Origin:	Exotic	
Height (m):	4	
Width (m):	2	
DSH Field Measurements (cm):	8,9,7	
AS4970 DSH Calculation (cm):	14	Crown Area (m2): 3
Basal Diameter (cm):	20	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Good	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Minor Limitation	Minimal
Landscape Viability:	Medium	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	1.7	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$4,190.68	MIS506 Actual Value: \$3,292.68
Comments:		



Site #:	41	
Species & Common Name:	<i>Camellia japonica (Camellia)</i>	
Origin:	Exotic	
Height (m):	6	
Width (m):	6	
DSH Field Measurements (cm):	7,5,3,5,6,6,7,4	
AS4970 DSH Calculation (cm):	16	Crown Area (m2): 28
Basal Diameter (cm):	14	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Good	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Optimal	Minimal
Landscape Viability:	Medium	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	1.5	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$5,953.17	MIS506 Actual Value: \$4,677.49
Comments:		



Site #:	42	
Species & Common Name:	<i>Ceratopetalum gummiferum (NSW Christmas Bush)</i>	
Origin:	Australian Native	
Height (m):	15	
Width (m):	10	
DSH Field Measurements (cm):	39,47	
AS4970 DSH Calculation (cm):	61	Crown Area (m2): 79
Basal Diameter (cm):	120	Landscape Contribution
Life Stage:	Early-mature	Land Use (Victoria)
Vigour:	Fair	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Minor Limitation	Notable
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	7.3	None
AS4970 SRZ Calculation (m):	3.6	Ecosystem Contribution
Retention Value:	Moderate	Specimen
MIS506 Shadow Value:	\$61,117.63	MIS506 Actual Value: \$53,356.66
Comments:		



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #: 43
Species & Common Name: ***Pittosporum eugenioides* 'Variegatum' (Variegated Tarata)**
Origin: Exotic
Height (m): 7
Width (m): 10
DSH Field Measurements (cm): 28,16
AS4970 DSH Calculation (cm): 32
Basal Diameter (cm): 65
Life Stage: Semi-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 3.8
AS4970 SRZ Calculation (m): 2.8
Retention Value: **Low**
MIS506 Shadow Value: \$24,119.94
Comments: Within power on clearances

Crown Area (m2): 79

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$13,782.82



Site #: 44
Species & Common Name: ***Pittosporum eugenioides* 'Variegatum' (Variegated Tarata)**
Origin: Exotic
Height (m): 7
Width (m): 9
DSH Field Measurements (cm): 15,12,11,13
AS4970 DSH Calculation (cm): 26
Basal Diameter (cm): 72
Life Stage: Semi-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 3.1
AS4970 SRZ Calculation (m): 2.9
Retention Value: **Low**
MIS506 Shadow Value: \$16,609.47
Comments: Within power on clearances

Crown Area (m2): 64

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$9,491.13



Site #: 45
Species & Common Name: ***Betula pendula* (Silver Birch)**
Origin: Exotic
Height (m): 12
Width (m): 5
DSH Field Measurements (cm): 41
AS4970 DSH Calculation (cm): 41
Basal Diameter (cm): 62
Life Stage: Semi-mature
Vigour: Fair
Structure: Minor Correction
Growth Space: Optimal
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 4.9
AS4970 SRZ Calculation (m): 2.7
Retention Value: **Moderate**
MIS506 Shadow Value: \$36,547.41
Comments:

Crown Area (m2): 20

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$29,972.74



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #:	46	
Species & Common Name:	<i>Camellia japonica</i> (Camellia)	
Origin:	Exotic	
Height (m):	2	
Width (m):	2	
DSH Field Measurements (cm):	4,5,2,2	
AS4970 DSH Calculation (cm):	7	Crown Area (m2): 3
Basal Diameter (cm):	12	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Fair	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Minor Limitation	Minimal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	1.5	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$823.69	MIS506 Actual Value: \$539.32
Comments:		



Site #:	47	
Species & Common Name:	<i>Liquidambar styraciflua</i> (Liquidamber)	
Origin:	Exotic	
Height (m):	15	
Width (m):	8	
DSH Field Measurements (cm):	56	
AS4970 DSH Calculation (cm):	56	Crown Area (m2): 50
Basal Diameter (cm):	129	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Fair	Statutory Planning
Structure:	Major Correction	Landscape Function
Growth Space:	Minor Limitation	Marginal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	6.7	None
AS4970 SRZ Calculation (m):	3.7	Ecosystem Contribution
Retention Value:	Moderate	Specimen
MIS506 Shadow Value:	\$56,107.98	MIS506 Actual Value: \$35,624.12
Comments:		



Site #:	48	
Species & Common Name:	<i>Fraxinus angustifolia</i> subsp. <i>angustifolia</i> (Desert Ash)	
Origin:	Exotic	
Height (m):	15	
Width (m):	8	
DSH Field Measurements (cm):	46	
AS4970 DSH Calculation (cm):	46	Crown Area (m2): 50
Basal Diameter (cm):	105	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Fair	Low Density
Structure:	Major Correction	Landscape Function
Growth Space:	Minor Limitation	Marginal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	5.5	None
AS4970 SRZ Calculation (m):	3.4	Ecosystem Contribution
Retention Value:	Low	Weed
MIS506 Shadow Value:	\$43,951.13	MIS506 Actual Value: \$5,581.10
Comments:		



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #:	49	
Species & Common Name:	<i>Camellia japonica</i> (Camellia)	
Origin:	Exotic	
Height (m):	2	
Width (m):	2	
DSH Field Measurements (cm):	4,5,2,2	
AS4970 DSH Calculation (cm):	7	Crown Area (m2): 3
Basal Diameter (cm):	12	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Fair	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Minor Limitation	Minimal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	1.5	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$823.69	MIS506 Actual Value: \$539.32
Comments:		



Site #:	50	
Species & Common Name:	<i>Rhododendron sp.</i> (Rhododendron)	
Origin:	Exotic	
Height (m):	4	
Width (m):	2	
DSH Field Measurements (cm):	8,9,7	
AS4970 DSH Calculation (cm):	14	Crown Area (m2): 3
Basal Diameter (cm):	20	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Good	Statutory Planning
Structure:	Minor Correction	Landscape Function
Growth Space:	Minor Limitation	Minimal
Landscape Viability:	Medium	Landscape Significance
AS4970 NRZ Calculation (m):	2	None
AS4970 SRZ Calculation (m):	1.7	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$4,190.68	MIS506 Actual Value: \$3,292.68
Comments:		



Site #:	51	
Species & Common Name:	<i>Liquidambar styraciflua</i> (Liquidamber)	
Origin:	Exotic	
Height (m):	22	
Width (m):	13	
DSH Field Measurements (cm):	82	
AS4970 DSH Calculation (cm):	82	Crown Area (m2): 133
Basal Diameter (cm):	132	Landscape Contribution
Life Stage:	Early-mature	Land Use (Victoria)
Vigour:	Fair	Statutory Planning
Structure:	Acceptable	Landscape Function
Growth Space:	Minor Limitation	Adequate
Landscape Viability:	Medium	Landscape Significance
AS4970 NRZ Calculation (m):	9.8	None
AS4970 SRZ Calculation (m):	3.7	Ecosystem Contribution
Retention Value:	Moderate	Specimen
MIS506 Shadow Value:	\$82,158.12	MIS506 Actual Value: \$82,484.14
Comments:		



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #: 52
Species & Common Name: ***Hoheria populnea (Lacebark)***
Origin: Exotic
Height (m): 10
Width (m): 4
DSH Field Measurements (cm): 32,19
AS4970 DSH Calculation (cm): 37
Basal Diameter (cm): 55
Life Stage: Early-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 4.4
AS4970 SRZ Calculation (m): 2.6
Retention Value: **Low**
MIS506 Shadow Value: \$30,870.14
Comments:

Crown Area (m2): 13

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$17,640.08



Site #: 53
Species & Common Name: ***Eucalyptus obliqua (Messmate Stringybark)***
Origin: Victorian Native
Height (m): 35
Width (m): 10
DSH Field Measurements (cm): 94
AS4970 DSH Calculation (cm): 94
Basal Diameter (cm): 140
Life Stage: Early-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Minor Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 11.3
AS4970 SRZ Calculation (m): 3.8
Retention Value: **Moderate**
MIS506 Shadow Value: \$94,181.26
Comments:

Crown Area (m2): 79

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$90,443.91



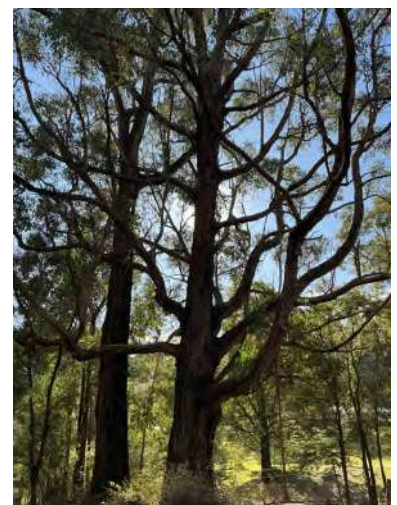
Site #: 54
Species & Common Name: ***Eucalyptus obliqua (Messmate Stringybark)***
Origin: Victorian Native
Height (m): 35
Width (m): 20
DSH Field Measurements (cm): 149
AS4970 DSH Calculation (cm): 149
Basal Diameter (cm): 160
Life Stage: Early-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Minor Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 15
AS4970 SRZ Calculation (m): 4
Retention Value: **Moderate**
MIS506 Shadow Value: \$149,287.31
Comments:

Crown Area (m2): 314

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$143,363.21



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #: 55
Species & Common Name: ***Eucalyptus tereticornis (Forest Red Gum)***
Origin: Victorian Native
Height (m): 20
Width (m): 12
DSH Field Measurements (cm): 60
AS4970 DSH Calculation (cm): 60
Basal Diameter (cm): 92
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Major Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 7.2
AS4970 SRZ Calculation (m): 3.2
Retention Value: **Moderate**
MIS506 Shadow Value: \$60,115.70
Comments:

Crown Area (m2): 113

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$63,853.05



Site #: 56
Species & Common Name: ***Acacia vestita (Hairy Wattle)***
Origin: Australian Native
Height (m): 10
Width (m): 9
DSH Field Measurements (cm): 42,30
AS4970 DSH Calculation (cm): 52
Basal Diameter (cm): 94
Life Stage: Semi-mature
Vigour: Fair
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 6.2
AS4970 SRZ Calculation (m): 3.2
Retention Value: **Low**
MIS506 Shadow Value: \$52,100.27
Comments:

Crown Area (m2): 64

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$34,113.27



Site #: 57
Species & Common Name: ***Acacia melanoxylon (Blackwood)***
Origin: Victorian Native
Height (m): 8
Width (m): 3
DSH Field Measurements (cm): 15,15
AS4970 DSH Calculation (cm): 21
Basal Diameter (cm): 20
Life Stage: Semi-mature
Vigour: Fair
Structure: Minor Correction
Growth Space: Major Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 2.5
AS4970 SRZ Calculation (m): 1.7
Retention Value: **Low**
MIS506 Shadow Value: \$10,943.01
Comments:

Crown Area (m2): 7

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Indigenous

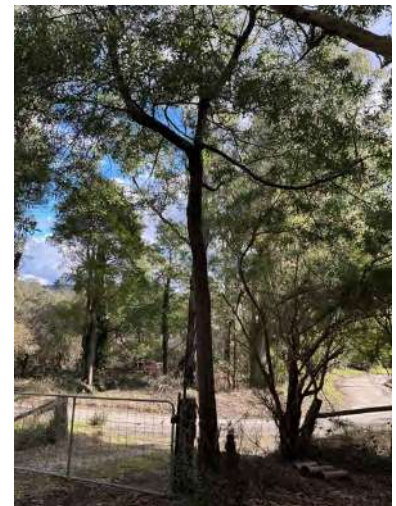
MIS506 Actual Value: \$7,165.07



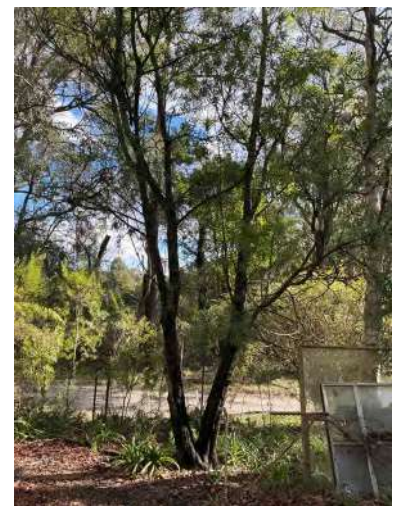
Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #:	58	
Species & Common Name:	<i>Acacia melanoxylon</i> (Blackwood)	
Origin:	Victorian Native	
Height (m):	8	
Width (m):	3	
DSH Field Measurements (cm):	20	
AS4970 DSH Calculation (cm):	20	Crown Area (m2): 7
Basal Diameter (cm):	20	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Fair	Low Density
Structure:	Minor Correction	Landscape Function
Growth Space:	Major Limitation	Minimal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	2.4	None
AS4970 SRZ Calculation (m):	1.7	Ecosystem Contribution
Retention Value:	Low	Indigenous
MIS506 Shadow Value:	\$9,885.60	MIS506 Actual Value: \$6,472.71
Comments:		



Site #:	59	
Species & Common Name:	<i>Hakea salicifolia</i> (Willow-leaved Hakea)	
Origin:	Australian Native	
Height (m):	8	
Width (m):	4	
DSH Field Measurements (cm):	20,20	
AS4970 DSH Calculation (cm):	28	Crown Area (m2): 13
Basal Diameter (cm):	55	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Fair	Low Density
Structure:	Major Correction	Landscape Function
Growth Space:	Major Limitation	Minimal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	3.4	None
AS4970 SRZ Calculation (m):	2.6	Ecosystem Contribution
Retention Value:	Low	Weed
MIS506 Shadow Value:	\$19,034.25	MIS506 Actual Value: \$1,812.79
Comments:		



Site #:	60	
Species & Common Name:	<i>Betula pendula</i> (Silver Birch)	
Origin:	Exotic	
Height (m):	8	
Width (m):	3	
DSH Field Measurements (cm):	22	
AS4970 DSH Calculation (cm):	22	Crown Area (m2): 7
Basal Diameter (cm):	35	Landscape Contribution
Life Stage:	Semi-mature	Land Use (Victoria)
Vigour:	Poor	Low Density
Structure:	Minor Correction	Landscape Function
Growth Space:	Major Limitation	Minimal
Landscape Viability:	Short	Landscape Significance
AS4970 NRZ Calculation (m):	2.6	None
AS4970 SRZ Calculation (m):	2.1	Ecosystem Contribution
Retention Value:	Low	Specimen
MIS506 Shadow Value:	\$12,027.24	MIS506 Actual Value: \$7,159.07
Comments:		



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo



Site #: 61
Species & Common Name: ***Eucalyptus obliqua* (Messmate Stringybark)**
Origin: Victorian Native
Height (m): 8
Width (m): 2
DSH Field Measurements (cm): 15
AS4970 DSH Calculation (cm): 15
Basal Diameter (cm): 20
Life Stage: Semi-mature
Vigour: Fair
Structure: Acceptable
Growth Space: Minor Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.7
Retention Value: **Low**
MIS506 Shadow Value: \$5,053.16
Comments:

Crown Area (m2): 3

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Minimal
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$4,150.81



Site #: 62
Species & Common Name: ***Rhododendron* sp. (Rhododendron)**
Origin: Exotic
Height (m): 3
Width (m): 2
DSH Field Measurements (cm): 4,4,3
AS4970 DSH Calculation (cm): 6
Basal Diameter (cm): 9
Life Stage: Semi-mature
Vigour: Fair
Structure: Acceptable
Growth Space: Minor Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.5
Retention Value: **Low**
MIS506 Shadow Value: \$706.02
Comments:

Crown Area (m2): 3

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$644.38



Site #: 63
Species & Common Name: ***Camellia japonica* (Camellia)**
Origin: Exotic
Height (m): 2
Width (m): 2
DSH Field Measurements (cm): 4,5,3
AS4970 DSH Calculation (cm): 7
Basal Diameter (cm): 11
Life Stage: Semi-mature
Vigour: Good
Structure: Acceptable
Growth Space: Optimal
Landscape Viability: **Long**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.5
Retention Value: **Low**
MIS506 Shadow Value: \$823.69
Comments:

Crown Area (m2): 3

Landscape Contribution

Land Use (Victoria)
Statutory Planning
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Specimen

MIS506 Actual Value: \$871.63



Appendix 3 - Site Data with Images
6 Fell Road, Cockatoo

Site #: 64
Species & Common Name: **Leptospermum scoparium (Broom Tea-tree)**
Origin: Victorian Native
Height (m): 4
Width (m): 7
DSH Field Measurements (cm): 5,5,5,6,7,6,5,4,4
AS4970 DSH Calculation (cm): 16
Basal Diameter (cm): 26
Life Stage: Semi-mature
Vigour: Good
Structure: Minor Correction
Growth Space: Minor Limitation
Landscape Viability: **Medium**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.9
Retention Value: **Moderate**
MIS506 Shadow Value: \$5,953.17
Comments:

Crown Area (m2): 38

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Adequate
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$5,716.93



Site #: 65
Species & Common Name: **Kunzea leptospermoides (Yarra Burgan)**
Origin: Victorian Native
Height (m): 4
Width (m): 5
DSH Field Measurements (cm): 9,8,7,6,7,6
AS4970 DSH Calculation (cm): 18
Basal Diameter (cm): 26
Life Stage: Semi-mature
Vigour: Fair
Structure: Major Correction
Growth Space: Minor Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 2.2
AS4970 SRZ Calculation (m): 1.9
Retention Value: **Low**
MIS506 Shadow Value: \$7,856.72
Comments:

Crown Area (m2): 20

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$4,988.39



Site #: 66
Species & Common Name: **Leptospermum scoparium (Broom Tea-tree)**
Origin: Victorian Native
Height (m): 3
Width (m): 3
DSH Field Measurements (cm): 8,7,7
AS4970 DSH Calculation (cm): 13
Basal Diameter (cm): 21
Life Stage: Semi-mature
Vigour: Fair
Structure: Minor Correction
Growth Space: Minor Limitation
Landscape Viability: **Short**
AS4970 NRZ Calculation (m): 2
AS4970 SRZ Calculation (m): 1.7
Retention Value: **Low**
MIS506 Shadow Value: \$3,368.44
Comments:

Crown Area (m2): 7

Landscape Contribution

Land Use (Victoria)
Low Density
Landscape Function
Marginal
Landscape Significance
None
Ecosystem Contribution
Indigenous

MIS506 Actual Value: \$2,450.58



Appendix 4 - Tree Feature Descriptors

Feature Classes - Trees are classified into three groups, Individual Trees, Grouped Trees or Hedge Rows.

Category	Description
Individual Tree	An individual tree with one or more trunks that is represented in the Site Plan as a point. This may include two or more trees growing in close proximity where all trees are engaged in mutual structural support.
Grouped Trees	Multiple trees of one or more species that are represented in the Site Plan as a polygon. Grouped trees are generally managed as a discrete unit.
Hedge Row	Multiple trees of one or more species in a linear arrangement that are represented in the Site Plan as a polyline. Hedge Rows are generally managed as a discrete unit.

Site ID. ## - textural reference to the location of an Individual Tree, Grouped Trees or Hedge Row within the attached Site Plan appendix.

Species and Common Name - Defines the botanical name including genus, species, sub-species, variety and cultivar (if known) according to taxonomical classifications as published in current literature. The common name will be that that is familiar to the arboricultural assessor, the local community or referenced literature. This is a consideration of AS4970.

Origin - Identifies the general geographic origins of the tree species identified.

Category	Description
Victorian Native	Occurs naturally within some part of the State of Victoria.
Australian Native	Occurs naturally within Australia but is not a Victorian native.
Exotic	Does not occur naturally within Australia.
Mixed	Applies to Hedge Rows and Grouped Trees only where the feature is comprised of multiple species that have multiple places of origin.

Dimensional Characteristics

Diameter, circumference and other dimensional measurements not considered by AS4970 are determined and included as required by the relevant Local Authority.

Height and Width - Dimensions are expressed in metres (m). Defines the estimated height and width of a tree crown or combined crown for Grouped Trees or Hedge Rows. Crown heights are measured with a clinometer where possible. Crown width is paced and estimated at the widest axis or as an average of multiple radius in highly asymmetric crowns unless otherwise stated. Measurements rounded to the nearest metre.

Diameter at Standard Height (DSH) - Identifies the trunk diameter expressed in centimetres (cm) of a tree measured at 1.4m above the site grade unless otherwise stated. The methods used to determine this measurement are described in Appendix A of the Australian Standard AS 4970-2025 'Protection of trees on development sites'. Measurements undertaken using a diameter tape or builders tape. In the case of multi-stem (> 1 stem) Individual Trees, DSH field measurements are shown and a single DSH calculated value provided in accordance with the aforementioned Standard. DSH calculations are rounded to the nearest centimetre.

Stem Diameter - Identifies the diameter of the trunk expressed in centimetres (cm) of a tree immediately above the root buttress. Measurements undertaken using a diameter tape or builders tape and rounded to the nearest centimetre.

Crown Area - Calculated value of the crown area using the formula πr^2 , where 'r' is the average radius of the crown.

Life Stage - Identifies the physiological stage of the Features life cycle.

Category	Description
Young	Sapling tree and/or recently planted that is not yet established in the landscape.
Semi-mature	The tree is established in the landscape. Tree rapidly increasing in size and yet to achieve expected size in situation.
Early Mature	Specimen approaching expected size in situation.
Mature	Specimen has reached expected size in situation, with reduced incremental growth.
Over-mature	Tree may be senescent and in decline or crown area substantially reduced relative to trunk size.

Vigour - Describes the overall health and vigour of a Feature and is derived from the Condition variables identified in the iTree Eco v6.0 model. Category selection is based on the Feature displaying one or more of the criteria listed in the corresponding Description. This is a consideration of AS4970 and may be referred to elsewhere as Health.

Category	Description
Excellent	100% live crown. Leaf size and colour is consistent with that of a healthy example of the species. Shoot tips are healthy and display excellent extension. Buds are swollen.
Good	97% - 92% live crown. Leaf size and colour is consistent with that of a healthy example of the species. Shoot tips are healthy and display adequate extension. Buds are swollen.
Fair	87% - 77% live crown. Leaf size and colour is generally consistent with that of a healthy example of the species although some foliage (less than 20% of total crown volume) displays discolouration or reduced leaf size. Some shoot tips may display reduced extension and buds may show signs of damage or desiccation.
Poor	72% - 52% live crown. Leaf size and colour is not consistent with that of a healthy example of the species. Foliage (greater than 20% but less than 40% of total crown volume) displays discolouration or reduced leaf size. Shoot tips may display reduced extension and buds may show signs of damage or desiccation.
Critical	47% - 27% live crown. Leaf size and colour is not consistent with that of a healthy example of the species. Foliage (greater than 40% but less than 60% of total crown volume) displays discolouration or reduced leaf size. Shoot tips display reduced extension and buds show signs of damage or desiccation.
Dying	22% - 2% live crown. Leaf size and colour is not consistent with that of a healthy example of the species. Foliage (greater than 60% but less than 95% of total crown volume) displays discolouration or reduced leaf size. Shoot tips display limited extension and buds show distinct signs of damage or desiccation.
Dead	0% live crown. Leaf size and colour is not consistent with that of a healthy example of the species. Foliage (greater than 95% of total crown volume) displays discolouration or reduced leaf size. Shoot tips display no extension and buds are damage or desiccated.

Structure - Adapted in part from the Quantified Tree Risk Assessment (QTRA) manual and a consideration of AS4970, the descriptor is designed to inform planners, architects and arborists of the overall structural capacity of a Feature and provide a concise description of the input required to maintain a Feature within the landscape.

Category	Description
Acceptable	Minimal or no damage, disease or decay visible in the root plate, trunk, primary scaffold limbs or outer crown. No works are required to relieve structural faults or remedy conflict with adjoining edifices. The probability of failure is generally considered to be less than 1/1M
Minor Correction	Minimal to moderate damage, disease or decay visible in primary scaffold limb(s), outer crown or peripheral root(s) that could be corrected through appropriate treatment that would moderately improve Landscape Viability. Adjoining edifices may benefit from treatment. The probability of failure is generally considered to be less than 1/10K but greater than 1/M.
Major Correction	Moderate to major damage, disease or decay visible in primary scaffold limb(s), outer crown or peripheral root(s) that could be corrected through appropriate treatment that would significantly improve Landscape Viability. Adjoining edifices would benefit from treatment. The probability of failure is generally considered to be less than 1/1K but greater than 10/K.
Unacceptable	Moderate to major damage, disease or decay visible in the root plate or lower trunk. Major damage, disease or decay in primary scaffold limb(s) that cannot be corrected through appropriate treatments. Landscape Viability unlikely to be improved by treatment. The probability of failure is generally considered to be greater than 1/1K.

Appendix 4 - Tree Feature Descriptors

Available Growth Space - Describes the space above and below ground that can be reasonably assumed based on visual inspection of the site that the Feature can exploit for future crown and root development.

Category	Description
Optimal	Open, level or gently sloping ground. Minimal competition for available light, water and nutrient. Part of a group of similar species that is suitably spaced and likely to provide mutual support. Species genetically suited or adapted to the existing environment.
Minor Limitation	Moderately constrained location. Long standing built form present on one side of Features root zone. Surrounding trees are competing for available space, light, water or nutrients. Feature is regularly pruned to meet clearance requirements.
Major Limitation	Heavily constrained location. Root zone has been compacted by continuous and on-going traffic movements or built over with impervious surfaces. Crown crowded by surrounding larger trees or structures that impede natural form development.

Landscape Viability - Referred to in AS4970 as Estimated Life Expectancy after Barrell in Tree AZ, describes how long it could be reasonably expected that a tree feature will remain viable in an evolving landscape. Landscape Viability is informed by Life Stage, Vigour, Structure and Available Growth Space.

Category	Description
Long	Feature will likely contribute to the landscape for forty (40) or more years.
Medium	Feature will likely contribute to the landscape for between fifteen (15) to forty (40) years.
Short	Feature will likely contribute to the landscape for between five (5) to fifteen (15) years.
Remove	Feature will likely require removal within five (5) years.

Land Use and Environmental Contribution - Describes the contribution a tree feature provides to an existing landscape and is derived from MISS06 (2022) 'Tree Valuation' published by Arboriculture Australia and the Council of Tree and Landscape Appraisers (CTLA) 10th Edition 2018. Landscape Function, Landscape Significance and Ecosystem Contribution are considerations of AS4970.

Land Use (Victoria)	
Category	Description
Legal Instrument	Legal Instrument. Section 173 agreements that contain conditions on the property title requiring the retention and/or protection of vegetation.
Local Law	Local laws protecting vegetation on all land within a municipal area. Exempt trees are attributed according to designated land use for the site.
Statutory Planning	Statutory planning scheme overlays that protect vegetation on private and public land. Existing planning permits requiring the retention of trees. Exempt trees are attributed according to designated land use for the site.
Native Vegetation	Property subject to the provisions of 52.16 or 52.17 Native Vegetation. Exempt trees are attributed according to designated land use for the site.
Public Space	Public Space. Public Park and Recreation Zones. Public Conservation and Resource Zones.
High Density	High Density Mixed Use Zones. Township Zones.
Medium Density	Medium Density. Residential Growth Zone. General Residential Zone.
Low Density	Low Density Residential Zones. Neighbourhood Residential Zones. Green Wedge Zones. Rural Conservation Zones.
Special Purpose	Special Purpose Zones. Public Use Zones. Transport Zones. Commercial Zones.

Land Use (Victoria)	
Category	Description
Industrial/Farming	Industrial and Farming Zones.
Exempt Land	Exempt Land. Land not subject to statutory land zoning, native vegetation provisions, legal instruments or local laws.

Landscape Function	
Category	Description
Minimal	Nondescript tree, hedge or grouped planting in a poorly designed and/or maintained landscape. Planting contributes minimally to positive architectural, engineering, aesthetic or climate function. Canopy intersecting another tree
Marginal	Tree, hedge or grouped planting in a poorly designed and/or maintained landscape. Planting contributes marginally to positive architectural, engineering, aesthetic or climate function. One of a group of close plantings
Adequate	Tree, hedge or grouped planting of moderate value that contributes as a positive architectural, engineering, aesthetic or climate function. Wide plantings. Irregular spacing between trees; regular spacing one side (not hard surface)
Notable	Tree, hedge or grouped planting of moderate to high value that contributes as a positive architectural, engineering, aesthetic or climate function in a built environment. Hard surface planting (street or pathway), or plantings with regular spacing both sides
Exceptional	Individual feature specimen tree, hedge or grouped planting of significant value as a positive architectural, engineering, aesthetic or climate modifier. Avenue, park, reserve or other green space feature planting.

Landscape Significance	
Category	Description
None	The tree(s) is not considered significant within the landscape.
Important private property	The tree(s) represents a significant feature within the subject site or adjoining properties.
Important public space	The tree(s) represents a significant feature within the public realm as viewed from the subject site, adjoining properties and/or streetscapes.
Horticultural Rarity	Outstanding horticultural or genetic value; could be an important source of propagating stock, including specimens that are particularly resistant to disease or exposure. Any tree of a species or variety that is rare.
Local/state significant tree	Tree is listed in either a local or state significant tree register.
National significant tree	Tree is listed in a national significant tree register.

Ecosystem Contribution	
Category	Description
Weed	The tree(s) is a listed weed species.
Specimen	A typical garden specimen of a species commonly found in the urban context.
Indigenous	Remnant, regenerated or planted indigenous vegetation that contributes to biological diversity.

Appendix 4 - Tree Feature Descriptors

Ecosystem Contribution	
Category	Description
Habitat	Tree(s) could have value as habitat for indigenous wildlife, including providing breeding, foraging or roosting habitat, or is a component of a wildlife reserve.

Retention Value - Provides a concise rating of the Features value within the context of an evolving landscape that may include built form. Retention Value is informed by Landscape Viability, Landscape Contribution, published literature and the experience of the surveyor on the capacity of the Feature to tolerate and adapt to change.

Category	Description
High 	A tree of good quality that displays acceptable vigour and structure. The tree contributes to the existing landscape and has the potential to be long-term component in an evolving one if appropriately managed. The species is known to perform well within its given context and has desirable aesthetic traits. Retention of this tree is highly desirable.
Moderate 	A tree of reasonable quality that displays acceptable vigour and structure. The tree may have a condition, and or structural problem that can be corrected with arboricultural treatment. The species is known to perform within its given context. The tree has the potential to be a medium to long-term component of the landscape if managed appropriately. Retention of these trees is generally desirable.
Low 	A tree of poor quality that displays unacceptable vigour or structure. The tree may present an unacceptable hazard to existing and future users of the site. The tree is not considered significant within the landscape. These tree is easily replaceable. The species is functionally inappropriate given the context and may demand excessive management if retained. The cost to maintain this tree within the given context may exceed the benefit it provides to the landscape.

Tree Asset Value - Conforming with MIS506 'Tree Valuation' published by Arboriculture Australia and NZArb 2022, this adaptation of the minimum industry standard provides the shadow and actual monetary value for a tree feature. The values provided should be considered a guide to the value of a tree feature and are not suitable for cost recovery purposes without further consideration.

Shadow Value (B) - may be referred to as market baseline value is derived from MIS506 and tables published by Andrew Strauss (2022), the baseline shadow value is determined by the DSH of the tree feature.

Land Use Factor (Z) - determined by the Planning Property Report with reference to Local Laws, Section 173 agreements, existing planning permits, legal instruments and relevant documents listed in Section 4 of the appraisal.

Landscape Factors (T) - derived from field assessments. Population Densities are not considered in this component of the valuation;

Landscape Function (Tp) - adapted from location and proximity considerations in MIS506 and CTLA, the variable provides a concise description of the tree's function within landscape.

Ecosystem (Te) - adopted from MIS506, the variable provides a concise description of the tree's contribution to the ecosystem. Climate suitability is not considered.

Landscape Significance (Tg) - adopted from MIS506, the variable provides a concise description of the tree's significance within the landscape.

$$S \text{ Score} = (Tp + Te + Tg) / (6 + 6 + 0)$$

Quality Factors (Q) - derived from field assessments;

Vigour (V) - adapted from MIS506 and iTree Eco, the variable provides a concise description of the tree's vigour or health.

Structure (F) - adapted from MIS506 and QTRA, the variable provides a concise description of the tree's structure and form.

Landscape Viability (L) - adapted from MIS506 after Barrell, the variable provides a concise description of the anticipated life expectancy of a tree feature within a given landscape.

$$Q \text{ Score} = (V + F + L) / (24 + 28 + 28)$$

$$\text{Actual Value} = B \times Z \times T \times Q$$

Comments - Provides additional information concerning the Feature.

Notional Root Zone (NRZ) - Dimensions are expressed in metres (m) to one decimal place as a radius measured from the center of the trunk. Defined under the Standard as a specified area below ground and at a given distance from the trunk set aside for the protection of a tree's roots to provide for the viability and stability of a tree to be retained where it is potentially subject to damage by development.

Structural Root Zone (SRZ) - Dimensions are expressed in metres (m) to one decimal place as a radius measured from the center of the trunk. Defined under the Standard as the area around the base of a tree required for the tree's stability in the ground. Woody root growth and soil cohesion in this area is necessary to hold the tree upright.



ADVERTISED MATERIAL

Planning Application: T250395
Date Prepared: 31 October 2025

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Appendix 5 - Tree Protection Specifications

1. General

The following specifications have been adapted from AS4970 'Protection of trees on development sites' 2025 and current industry best practice. They include processes designed to protect the trees identified for retention within and adjacent to the subject site.

2. Restricted Activities within the TPZ

The listed activities are not permitted in the TPZ for a retained tree located in the subject site or adjacent land:

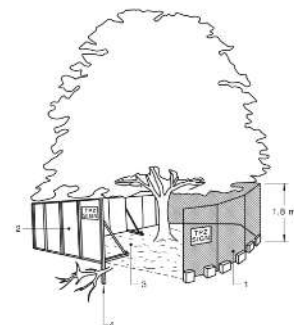
- 2.1. The disturbance of soil profiles including excavation, cultivation or compaction of soil grades. Exceptions to this clause identified in Section 7 of this appraisal are specified under Clauses 9 or 10 of this Appendix.
- 2.2. Changes to soil grades including the placement of fill. Exceptions to this clause identified in Section 7 are specified under Clause 8 of this Appendix.
- 2.3. Waste, plant and material storage regardless of duration.
- 2.4. The preparation or use of chemicals including cement and fuels.
- 2.5. The cleaning or storage of equipment.
- 2.6. Vehicle, plant or pedestrian access or egress. Exceptions to this clause identified in Section 7 are specified under Clauses 4 and 5 of this Appendix.
- 2.7. The lighting of fires.
- 2.8. Physical damage to the tree including the affixing of temporary services cables, nails, screws or any other fixing device.

Important: Site workers and sub-contractors must be advised of the tree protection requirements identified for the subject site and adjacent land as part of the site induction process. Successful tree preservation requires a commitment from all parties involved including design, construction and management.

3. TPZ Fencing and Signs

- 3.1. Fencing must be constructed in accordance with AS 4687.2 and be erected prior to commencement of any works, including demolition. Fencing should ideally be placed in a manner that corresponds with the outside edge of the TPZ. Shade cloth or similar should be attached to reduce the transport of particulate matter into the protected area. Existing perimeter fencing and other structures may be suitable as part of the protective fencing. Please refer to Figure 1 for detail.
- 3.2. Signs should be affixed to the fencing that provides clear and accessible information concerning the establishment of the TPZ and should be a minimum A3 size. The lettering on the sign should comply with AS 1319. Please refer to Figure 2 for detail.
- 3.3. Once erected, fencing must not be removed or altered without approval by the project arborist until such time as the project is completed.
- 3.4. Fencing must be secured in a manner to restrict access or unauthorised relocation.

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LEGEND:
1. Chain wire mesh panels with shade cloth (if required) attached, held in place with concrete feet.
2. Alternative plywood or wooden paling fence panels. This fencing material also prevents building materials or soil entering the TPZ.
3. Mesh insulation across surface of TPZ (at the discretion of the project arborist). No excavation, construction activity, grade changes, surface treatment or storage of materials of any kind is permitted within the TPZ.
4. Bracing is permissible within the TPZ. Installation of supports should avoid damaging roots.

Figure 1 - from AS4970, Protective Fencing



Figure 2 - from AS4970, TPZ sign example

Appendix 5 - Tree Protection Specifications

4. Trunk and Branch Protection

Where tree protection fencing cannot be practicably installed to prevent damage to a tree's crown or requires temporary removal, the following measures must be applied.

- 4.1. Impact damage to trunks and/or limbs that could result from the slewing action of plant must be avoided by appropriate positioning of machinery. Passing construction traffic must follow traffic routes outside the drip line of the tree or height restrictions placed on passing vehicles if the access route passes within the drip line.
- 4.2. Trunk protection material should not be maintained for prolonged periods and should be removed from the tree as soon as the threat ceases.
- 4.3. Where necessary, install protection to the trunk and branches of trees as shown in Figure 3. The materials and positioning of protection are to be specified by the project arborist. A minimum height of 2 metres above site grade is recommended.
- 4.4. Do not attach temporary power lines, stays, guys and the like to the tree unless specifically permitted. Do not drive nails into the trunks or branches.
- 4.5. If required, flexible branches should be tied back rather than pruned. If the branch is not sufficiently flexible, then pruning in accordance with local requirements and AS 4373-2007 Pruning of amenity trees shall be applied.

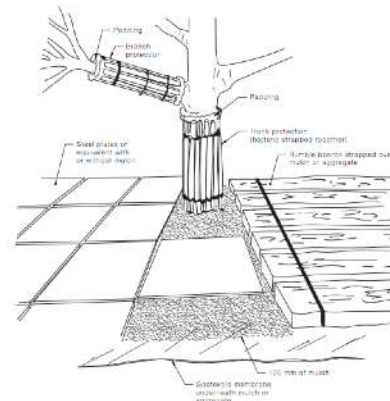


Figure 3 - from AS4970, Trunk and Ground Protection Measures

5. Ground Protection

Where tree protection fencing cannot be practicably installed or where construction access cannot be avoided and is required within a TPZ, ground protection to prevent root damage and soil compaction within the TPZ must be applied:

- 5.1. Temporary measures may include a permeable membrane such as geotextile fabric beneath a layer of mulch below rumble boards, steel plates or ground (bog) mats as per Figure 3.
- 5.2. Temporary or more permanent measures may include the use of a permeable ground stabilisation technology such as [GeoHex™](#).
- 5.3. Ground protection within a TPZ must be used for construction access or egress only. Restrictions identified in Clause 2 must be applied in TPZ areas where ground protection is applied.

6. Vegetation Removal

Vegetation removal that has been identified and approved within or adjacent to the TPZ of a retained tree will be subject to the following clauses:

- 6.1. Unwanted vegetation will be removed from a TPZ by hand. Debris generated by vegetation removal must not be stockpiled in the TPZ and will be disposed of in an appropriate manner.
- 6.2. Pulling machinery must not be used for the removal of stumps within or immediately adjacent to the TPZ.
- 6.3. Grinders may be used within the TPZ of a retained tree for the purpose of removing tree parts that protrude above natural site grade. Grinders must not be used to 'chase' surface roots outside the root crown of the tree being removed. Grinders must not be used within the SRZ of a retained tree.
- 6.4. Stumps located within the SRZ of a retained tree shall be cut off as close to grade as possible. The use of herbicide to prevent regrowth must be undertaken in accordance with [herbicide](#) use.
- 6.5. Herbicides used for the control of vegetation including turf or herbaceous weed infestations must not negatively impact the health of a retained tree and must be appropriate for the type of

Appendix 5 - Tree Protection Specifications

vegetation to be controlled. Herbicides that are non-residual and do not translocate shall be selected. Residual or water-mobile herbicides must not be used under any circumstance. Herbicides must be applied as per label instructions.

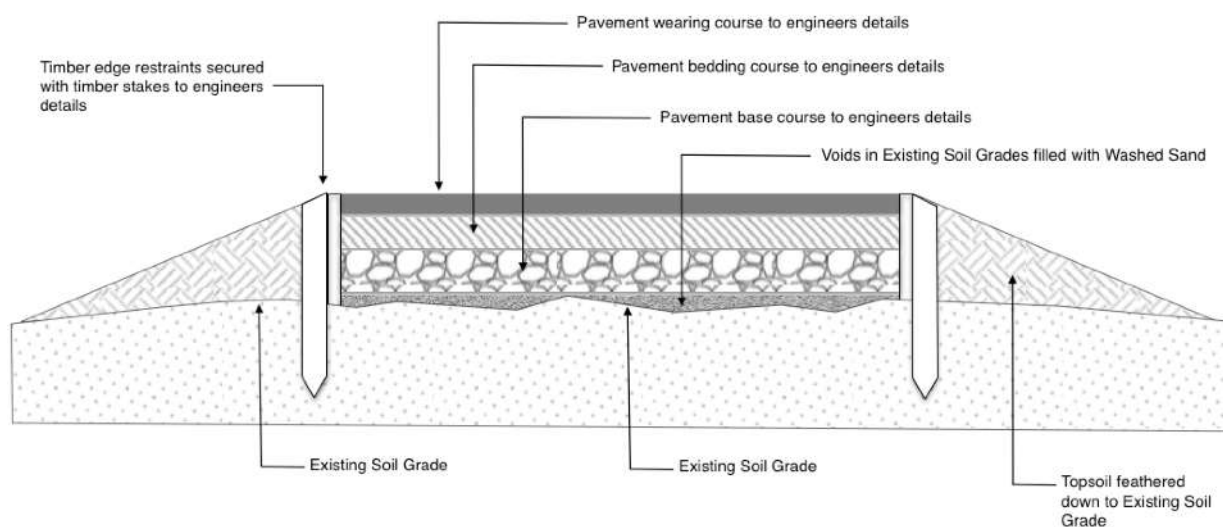
7. Pavement Construction within a TPZ

The construction of load-bearing pavements within a TPZ can be achieved using a variety of methods that preserve the underlying roots and the volumes of soils whilst maintaining a trafficable surface. Section of paving within a TPZ ideally should be permeable to allow for continued water percolation and gaseous diffusion or be constructed to cantilever or bridge the TPZ.

- 7.1. The design of a 'No Dig' pavement system within a TPZ must be developed by an engineer to meet site conditions and load-bearing requirements. Please refer to Figure 5 for detail. 'No Dig' pavement systems disburse load over the entire structure, limiting the potential for underlying natural soils to become compacted.
- 7.2. The following principles are provided to guide an engineer in the design and construction of a 'No Dig' permeable paving surface.
 - A minimum clearance of 2 metres should be provided from the trunk edge to the inflexible ground-laid pavement to avoid potential radial root expansion damage to the surface. Flexible pavement systems may be employed where clearances are less than 2 metres; however, a minimum 500 millimetre clearance from the trunk edge should be permitted to allow for trunk girth and buttress root development.
 - Pavement construction within the TPZ of Retained Trees must be laid above the A horizon following the removal of the AO or pre-existing pavement systems.
 - Paving must be sufficiently porous so as to have a saturated hydraulic conductivity equal to or greater than that of the natural soils (sub-grade) on which the pavement is laid.
 - Paving must have a functional longevity that will not over time permit ponding between layers or silting that will reduce the saturated hydraulic conductivity of the pavement system to below that of the underlaying natural soils (sub-grade).
 - Simple wearing surface can be constructed using ground stabilising grid mat systems that are load-bearing, permeable, low-profile surface (<50mm height) that is laid at existing grade and can be filled with either turf or granitic gravel. The AO horizon (surface organic materials) is generally removed and the grid mat laid to closely match existing grades.

Typical 'No Dig' Pavement Profile Section (Not to Scale)

Figure 4



GENERAL NOTES (NCC 2022 BCA Vol 2)

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT ARE NOT LIMITED TO THE NATIONAL CONSTRUCTION CODE 2022 THE BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE NCC 2022.
- GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE & THICKNESS SO AS TO COMPLY WITH:
 - NCC PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND
 - NCC VOL 1 PART B1.4 FOR CLASS 2 TO 9 BUILDINGS
- WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2021: WATERPROOFING OF DOMESTIC WET AREAS.

SUSTAINABILITY MEASURES FOR NEW CLASS 1 BUILDINGS

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED ENERGY RATER.

LIVABLE HOUSING DESIGN

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH NCC VOLUME 2 PART H8 AND THE ABCB STANDARD FOR LIVABLE HOUSING DESIGN.

- STEP-FREE ACCESS IS SATISFIED BY COMPLYING WITH NCC PART H8D2 OR THE PROPOSED PERFORMANCE SOLUTION IN ACCORDANCE WITH A2G2(3) AND A2G4(3) OF THE NCC 2022

SITE BUSHFIRE ATTACK ASSESSMENT

REFERENCE DOCUMENT AS 3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS.

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/ DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
- SITE PLAN MEASUREMENTS IN MILLIMETRES - ALL OTHER MEASUREMENTS IN MILLIMETRES U.N.O.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION

SITE CLASSIFICATION

SITE CLASSIFICATION AS CLASS:	P
REFER TO SOIL REPORT NO:	175800
BY:	STRUTERRE

STORMWATER

90mmØ (UPTO 250m2) OR 100mmØ (OVER 250m2) CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION.

THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN

- 100MM UNDER SOIL
- 50MM UNDER PAVED OR CONCRETE AREAS
- 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
- 75MM UNDER REINFORCED CONCRETE DRIVEWAYS

AUTHORITIES / CONSULTANTS

MUNICIPALITY NAME:	CARDINIA SHIRE
SEWERAGE AUTHORITY:	
CONSULTING STRUCTURAL ENGINEER:	STRUTERRE
GEOTECHNICAL ENGINEER:	STRUTERRE
THERMAL PERFORMANCE ASSESSOR:	PASSIVENERGY

STEP AND LANDINGS

- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
- RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
- GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
- 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
- WITH LESS THAN 125MM MAXIMUM GAP BETWEEN OPEN TREADS
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIPRESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:
- 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
- 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND;
- VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND;
- ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC VOLUME 2 PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2019 VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HAND RAILS TO BE 865MM MINIMUM ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.

- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.
- CONCRETE STUMPS: UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO. H.D. WIRE) 1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO. H.D. WIRES) 1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO. H.D. WIRES) 100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.
- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773.1-2015 MASONRY IN SMALL BUILDINGS PART 1:DESIGN
- ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF SJD HOMES (THE DESIGNER) FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
- THE CLIENT SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF SJD HOMES EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO SJD HOMES.
- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

SJDhomes



CUSTOM



ADVERTISED MATERIAL

Planning Application: T250395
Date Prepared: 31 October 2025

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BUSHFIRE ATTACK LEVEL:- (BAL)

BAL-29

- INCREASING LEVELS OF EMBER ATTACK AND BURNING DEBRIS IGNITED BY WINDBORNE EMBERS TOGETHER WITH INCREASING HEAT FLUX BETWEEN 19 AND 29 kW m²

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: N2 - 26 m/s

IMPORTANT NOTE:
THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)
STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

ISSUE	AMENDMENT DETAILS
A	INITIAL WORKING DRAWINGS ISSUED JG (25.03.25)
B	MINOR PLAN CHANGES TLG (15.05.25)
C	CHANGES FOR TOWN PLANNING JG (01.07.25)
D	CHANGES FOR TOWN PLANNING TLG (23.09.25)
E	MINOR CORRECTIONS TO TREE PLAN TLG (25.09.25)
F	
G	
H	
I	
J	
K	
L	
M	
N	
O	
P	



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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
CUSTOM

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SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:
**NO. 6, FELL ROAD
COCKATOO, 3781**

DRAWING TITLE:
GENERAL NOTES

ISSUE: E

ISSUE DATE: 25.09.25

SCALE:	MASTER DATE:
DRAWN: JG	CHECKED: JG
SHEET NO: 01	OF: 13

DRAINAGE NOTES:

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 DRAINAGE AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.
- BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
- STORMWATER DRAINS ARE INDICATIVE ONLY. DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION
- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
- GRADED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
- PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN.
- SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM

BUSHFIRE REQUIREMENTS - BAL 29

FLOORS
CONCRETE SLAB ON GROUND OR FRAMED SUB FLOOR ENCLOSED BY EXTERNAL WALL OR FRAMES. SUB FLOOR ENCLOSED BY METAL MESH WITH FLOORING LESS THAN 400mm ABOVE GROUND LEVEL TO BE NON-COMBUSTIBLE, NATURALLY FIRE RESISTANT TIMBER OR PROTECTED ON THE UNDERSIDE WITH SARKING OR MINERAL WOOL INSULATION.

WALLS
WALLS MADE FROM NON COMBUSTIBLE MATERIAL (eg MASONRY, BRICK VENEER, MUD BRICK, CONCRETE, AERATED CONCRETE) OR TIMBER OR STEEL FRAMED WALLS. SARKED ON THE OUTSIDE OF THE FRAME AND CLAD WITH 6mm FIBRE CEMENT SHEET EXTERNAL CLADDING OR STEEL SHEETING OR BUSHFIRE RESISTANT TIMBER.
VENTS AND WEEPHOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH MESH WITH A MAXIMUM APERTURE OF 2mm AND MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.

WINDOWS
SHALL BE COMPLETED PROTECTED BY A BUSHFIRE SHUTTER OR COMPLETED SCREENED WITH STEEL, BRONZE OR ALUMINIUM, OR 5mm TOUGHENED GLASS WITH THE OPENABLE PORTION SCREENED.
WINDOW FRAMES TO BE OF METAL OR METAL REINFORCED PVC-U, OR BUSHFIRE RESISTANT TIMBER
ANY PORTION WITHIN 400mm OF GROUND LEVEL OR DECKING TO BE SCREENED.

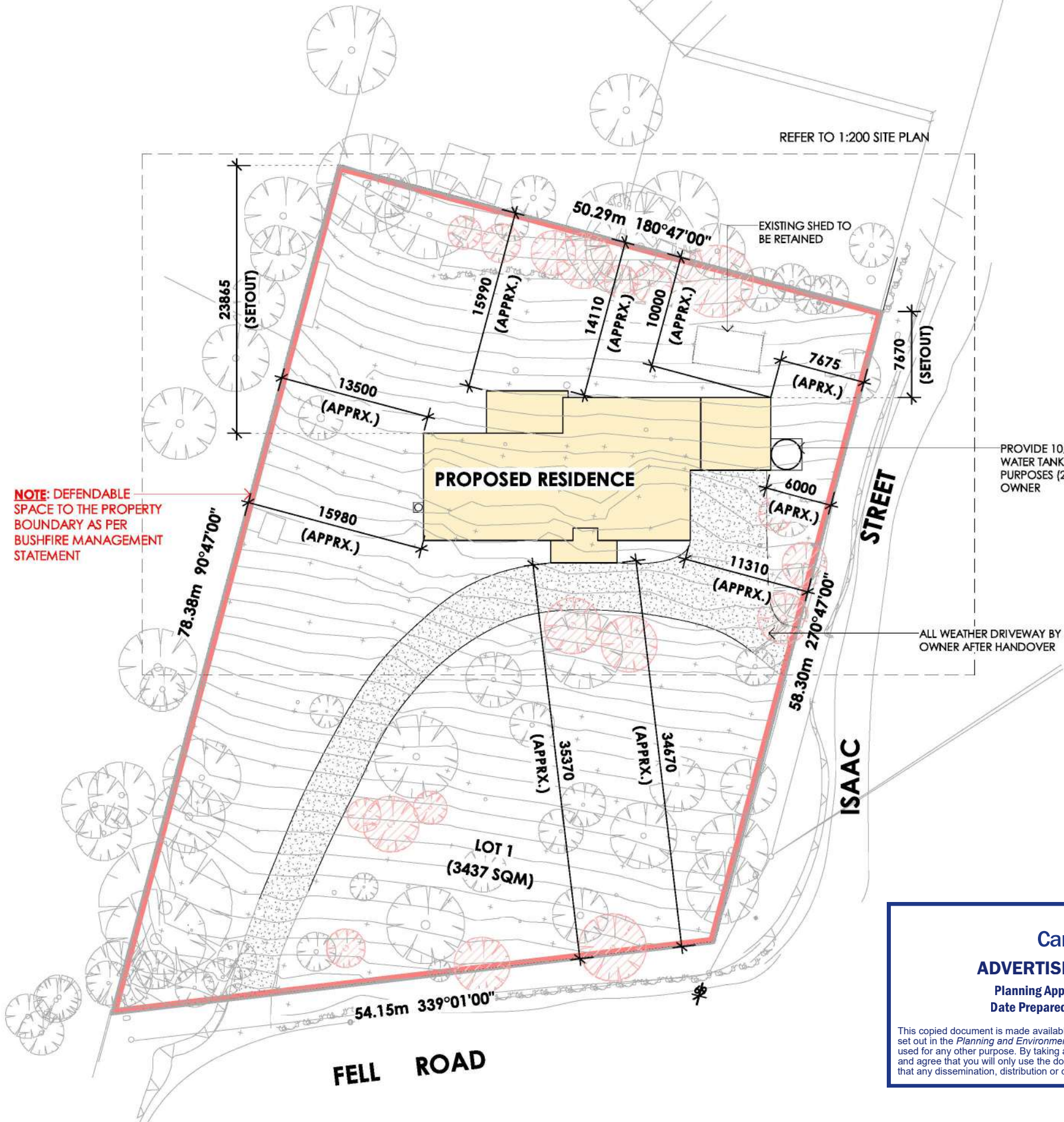
DOORS
DOOR FRAMES MUST BE BUSHFIRE RESISTANT TIMBER, METAL OR METAL REINFORCED PVC-U, AND SHALL BE TIGHT FITTING TO THE DOOR FRAME. PROVIDE WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS TO THE BASE OF SIDE HUNG DOORS.
SIDE HUNG EXTERNAL DOORS SHALL BE COMPLETELY PROTECTED BY A BUSHFIRE SHUTTER AND DOORS SHALL BE NON COMBUSTIBLE OR A SOLID TIMBER DOOR HAVING A MIN THICKNESS OF 35mm FOR THE FIRST 400mm ABOVE THE THRESHOLD AND PROTECTED ON THE OUTSIDE BY A METAL FRAMED SCREEN WITH A MAX APERTURE OF 2mm. MADE OF BRONZE OR CORROSION RESISTANT STEEL.
WHERE SIDE HUNG DOORS INCORPORATE GLAZING, THE GLAZING IS TO BE A MIN 6mm TOUGHENED GLASS. EXTERNAL HARDWARE MUST BE METAL.
SLIDING DOORS SHALL BE COMPLETED PROTECTED BY A BUSHFIRE SHUTTER.
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DOOR FRAMES TO BE OF METAL WITH EXTERNALLY FITTED HARDWARE FOR OPENING AND CLOSING OF THE DOOR TO BE METAL.
GLAZING TO HAVE FRL OR -/30/- EXCEPT WHERE FIXED AND OPENABLE PORTIONS ARE SCREENED WITH MESH WITH MAX APERTURE 2mm. MADE OF BRONZE OR CORROSION RESISTANT STEEL.
WHERE GLAZING IS LESS THAN 400mm FROM GROUND, DECK ROOF OR AWNING, THAT PORTION OF GLAZING SHALL BE SCREENED EXTERNALLY.
GARAGE DOORS MUST BE NON-COMBUSTIBLE MATERIAL OR MIN 6mm FIBRE CEMENT SHEET. PANEL LIFT DOOR IS TO BE FITTED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS OR GUIDE TRACKS WITH A MAX GAP OF 3mm.
GARAGE DOORS MUST NOT INCLUDE VENTILATION SLOTS.

ROOF
NON COMBUSTIBLE ROOF COVERING.
ROOF WALL JUNCTIONS SEALED.
ANY OPENINGS (SKYLIGHTS etc) FITTED WITH NON COMBUSTIBLE EMBER GUARDS.
ROOF TO BE FULLY SARKED EXTENDING INTO GUTTERS AND VALLEYS.
ANY LEAF OR GUTTER GUARDS TO BE NON COMBUSTIBLE.
EAVES AND FASCIA'S FROM BUSH FIRE RESISTING TIMBER OR METAL FIXED AT 450 CTRS.
EAVE LINING TO BE BUSHFIRE RESISTING TIMBER OR 4.5mm FC SHEET JOINTS IN EAVES LINING, FASCIA'S AND GABLES MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS.

VERANDAHS & DECKS
SUPPORTS AND FRAMING TO BE BUSHFIRE RESISTING TIMBER OR NON COMBUSTIBLE MATERIAL. DECKING TO BE NON COMBUSTIBLE OR BUSHFIRE RESISTING TIMBER.
ANY TIMBER RAFTERS TO BE LINED WITH A MINIMUM OF 6mm FC SHEET.

WATER & GAS SUPPLY PIPES
ABOVE GROUND, EXPOSED WATER AND GAS PIPES SHALL BE METAL

NOTE: DEFENDABLE SPACE TO THE PROPERTY BOUNDARY AS PER BUSHFIRE MANAGEMENT STATEMENT



SITE CUT/FILL LEGEND & NOTES

- DENOTES AREA OF SITE CUT
- DENOTES AREA OF SITE FILL

NOTE:
PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPED AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.

NOTE:
BUILDER RESERVES THE RIGHT TO ALTER THE SITE CUT HEIGHT TO THEIR DISCRETION, PENDING CONDITIONS ON SITE

SITE CUT & FILL NOTE
PROVIDE SITE CUT OF 1000 mm & FILL 1100 mm OVER BUILDING AREA & PROVIDE AN ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMMODATE 86 mm STEPDOWN. NOTE: 45 ° BATTER ANGLE

STORMWATER LAYOUT
STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

TERMITE TREATMENT REQUIRED
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

EXTERNAL STEPS
PROVIDE STEPS OR BUILD UP SOIL AROUND EXTERNAL DOORS WHERE THRESHOLD OF THE DOOR EXCEEDS 190MM

POWER FEED-IN TO DWELLING:
PROVIDE THREE PHASE POWER TO DWELLING

SITE COVERAGE ANALYSIS

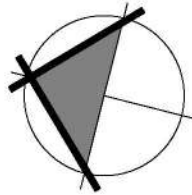
BUILDING AREA	348.35 m ²	10.14%
PERMEABLE AREA	3088.47 m ²	89.86%
TOTAL SITE AREA	3436.82 m ²	100%



ADVERTISED MATERIAL

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Date Prepared: 31 October 2025

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HOUSE & GARAGE

HOUSE TYPE:
CUSTOM

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SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:

**NO. 6, FELL ROAD
COCKATOO, 3781**

DRAWING TITLE:
LOCALITY PLAN

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 400

DRAWN: JG

SHEET NO: 02

MASTER DATE:

CHECKED: JG

OF: 13

DRAINAGE NOTES:

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.
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EAVE LINING TO BE BUSHFIRE RESISTING TIMBER OR 4.5mm FC SHEET JOINTS IN EAVES LINING, FASCIA AND GABLES MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS.

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ANY TIMBER RAFTERS TO BE LINED WITH A MINIMUM OF 6mm FC SHEET.

WATER & GAS SUPPLY PIPES
ABOVE GROUND, EXPOSED WATER AND GAS PIPES SHALL BE METAL.

NOTE: DEFENDABLE SPACE TO THE PROPERTY BOUNDARY AS PER BUSHFIRE MANAGEMENT STATEMENT

NOTE: PROVIDE 1:2 FILL BATTER

PROPOSED RESIDENCE

SITE CUT: AHD 177.00
SLAB HEIGHT: 310mm
FFL: AHD 177.310

ADVERTISED MATERIAL

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Date Prepared: 31 October 2025

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SITE CUT/FILL LEGEND & NOTES

- DENOTES AREA OF SITE CUT
- DENOTES AREA OF SITE FILL

SITE CUT & FILL NOTE

PROVIDE SITE CUT OF 1100 mm & FILL 1100 mm OVER BUILDING AREA & PROVIDE AN ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMMODATE 86 mm STEPDOWN.
NOTE: 45 ° BATTER ANGLE

STORMWATER LAYOUT

STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

POWER FEED-IN TO DWELLING:
PROVIDE THREE PHASE POWER TO DWELLING

STREET

PROVIDE 10,000L ROUND WATER TANK FOR FIRE FIGHTING PURPOSES (2700DIA x 1870H) BY OWNER

TERMITE TREATMENT REQUIRED

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

EXTERNAL STEPS

PROVIDE STEPS OR BUILD UP SOIL AROUND EXTERNAL DOORS WHERE THRESHOLD OF THE DOOR EXCEEDS 190MM

NOTE:

BUILDER RESERVES THE RIGHT TO ALTER THE SITE CUT HEIGHT TO THEIR DISCRETION, PENDING CONDITIONS ON SITE

NOTE:

PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPED AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.

SITE COVERAGE ANALYSIS

BUILDING AREA	348.35 m ²	10.14%
PERMEABLE AREA	3088.47 m ²	89.86%
TOTAL SITE AREA	3436.82 m ²	100%

PROPOSED:

HOUSE & GARAGE

HOUSE TYPE:

CUSTOM

SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:

NO. 6, FELL ROAD
COCKATOO, 3781

DRAWING TITLE:

SITE PLAN

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 200

DRAWN: TLG

SHEET NO: 02A

MASTER DATE:

CHECKED: TLG

OF: 13



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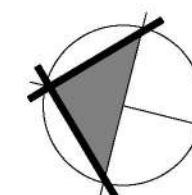
NOTE: DEFENDABLE SPACE TO THE PROPERTY BOUNDARY AS PER BUSHFIRE MANAGEMENT STATEMENT

TREE SCHEDULE

TREE 1 - NRZ 5.3m SRZ 2.6m	TREE 34 - NRZ 6.0m SRZ 2.9m
TREE 2 - NRZ 6.2m SRZ 3.2m	TREE 35 - NRZ 5.2m SRZ 2.1m
TREE 3 - NRZ 2.8m SRZ 2.1m	TREE 36 - NRZ 2.5m SRZ 2.3m
TREE 4 - NRZ 3.4m SRZ 2.8m	TREE 37 - NRZ 2.0m SRZ 1.5m
TREE 5 - NRZ 2.2m SRZ 2.1m	TREE 38 - NRZ 2.0m SRZ 1.5m
TREE 6 - NRZ 4.4m SRZ 2.3m	TREE 39 - NRZ 2.0m SRZ 1.7m
TREE 7 - NRZ 4.3m SRZ 2.3m	TREE 40 - NRZ 2.0m SRZ 1.7m
TREE 8 - NRZ 4.2m SRZ 2.3m	TREE 41 - NRZ 2.0m SRZ 1.5m
TREE 9 - NRZ 2.0m SRZ 1.6m	TREE 42 - NRZ 7.3m SRZ 3.6m
TREE 10 - NRZ 2.0m SRZ 1.6m	TREE 43 - NRZ 3.8m SRZ 2.8m
TREE 11 - NRZ 2.0m SRZ 1.6m	TREE 44 - NRZ 3.1m SRZ 2.9m
TREE 12 - NRZ 2.0m SRZ 1.6m	TREE 45 - NRZ 4.9m SRZ 2.7m
TREE 13 - NRZ 2.0m SRZ 1.6m	TREE 46 - NRZ 2.0m SRZ 1.5m
TREE 14 - NRZ 2.0m SRZ 1.6m	TREE 47 - NRZ 6.7m SRZ 3.7m
TREE 15 - NRZ 2.0m SRZ 1.7m	TREE 48 - NRZ 5.5m SRZ 3.4m
TREE 16 - NRZ 2.0m SRZ 1.7m	TREE 49 - NRZ 2.0m SRZ 1.5m
TREE 17 - NRZ 7.1m SRZ 3.6m	TREE 50 - NRZ 2.0m SRZ 1.7m
TREE 18 - NRZ 2.0m SRZ 1.8m	TREE 51 - NRZ 9.8m SRZ 3.7m
TREE 19 - NRZ 2.0m SRZ 1.5m	TREE 52 - NRZ 4.4m SRZ 2.6m
TREE 20 - NRZ 9.6m SRZ 3.4m	TREE 53 - NRZ 11.3m SRZ 3.8m
TREE 21 - NRZ 11.6m SRZ 3.6m	TREE 54 - NRZ 15.0m SRZ 4.0m
TREE 22 - NRZ 10.2m SRZ 3.2m	TREE 55 - NRZ 7.2m SRZ 3.2m
TREE 23 - NRZ 2.0m SRZ 1.5m	TREE 56 - NRZ 6.2m SRZ 3.2m
TREE 24 - NRZ 2.0m SRZ 1.5m	TREE 57 - NRZ 2.5m SRZ 1.7m
TREE 25 - NRZ 6.0m SRZ 2.8m	TREE 58 - NRZ 2.4m SRZ 1.7m
TREE 26 - NRZ 6.2m SRZ 3.7m	TREE 59 - NRZ 3.4m SRZ 2.6m
TREE 27 - NRZ 2.0m SRZ 2.5m	TREE 60 - NRZ 2.6m SRZ 2.1m
TREE 28 - NRZ 5.2m SRZ 2.6m	TREE 61 - NRZ 2.0m SRZ 1.7m
TREE 29 - NRZ 2.5m SRZ 2.3m	TREE 62 - NRZ 2.0m SRZ 1.5m
TREE 30 - NRZ 2.3m SRZ 3.4m	TREE 63 - NRZ 2.0m SRZ 1.5m
TREE 31 - NRZ 2.0m SRZ 1.5m	TREE 64 - NRZ 2.0m SRZ 1.9m
TREE 32 - NRZ 2.0m SRZ 1.5m	TREE 65 - NRZ 2.2m SRZ 1.9m
TREE 33 - NRZ 5.4m SRZ 3.1m	TREE 66 - NRZ 2.0m SRZ 1.7m

LEGEND

- INDICATES TREES TO BE REMOVED
- INDICATES TREES IMPACTED BY DEVELOPMENT



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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
CUSTOM

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SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:
**NO. 6, FELL ROAD
COCKATOO, 3781**

DRAWING TITLE:
TREE PLAN

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 300 MASTER DATE:

DRAWN: TLG CHECKED: TLG

SHEET NO: 02B OF: 13



* DENOTES INTERNAL DOORS TO BE 2340mm HIGH

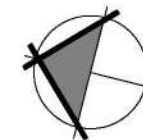
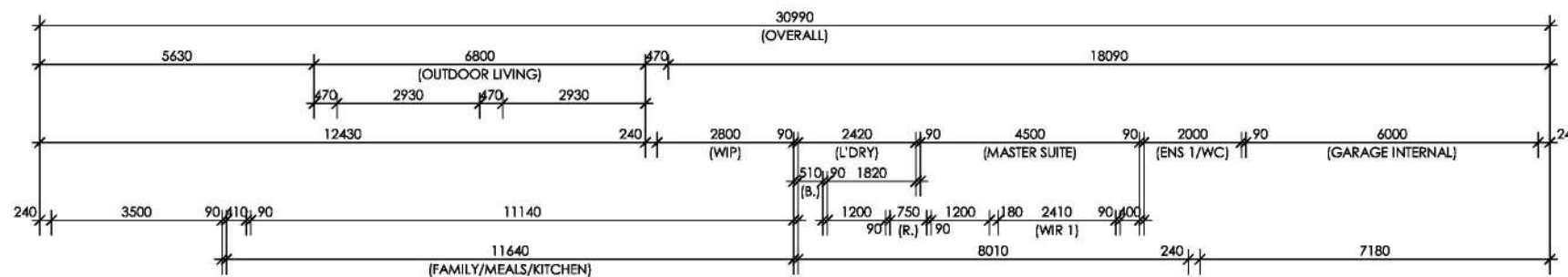
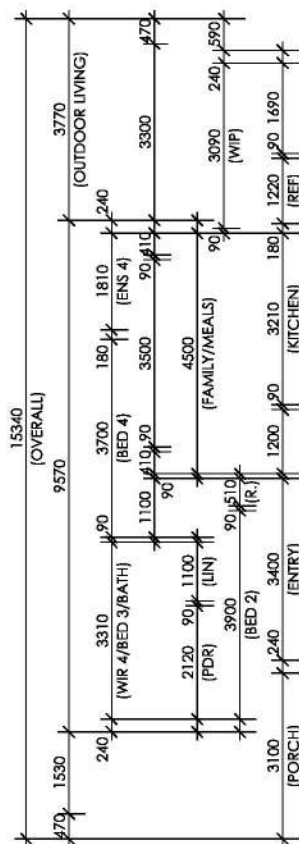
PROVIDE 50mm RECESS TO SLAB FOR FLUSH TILED SHR BASES IN ALL SHOWERS

PROVIDE FLOOR TO CEILING TILES TO AREAS NOMINATED BY: ---

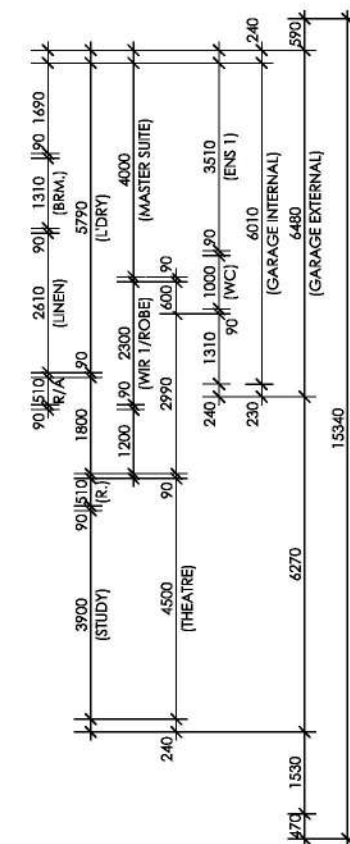
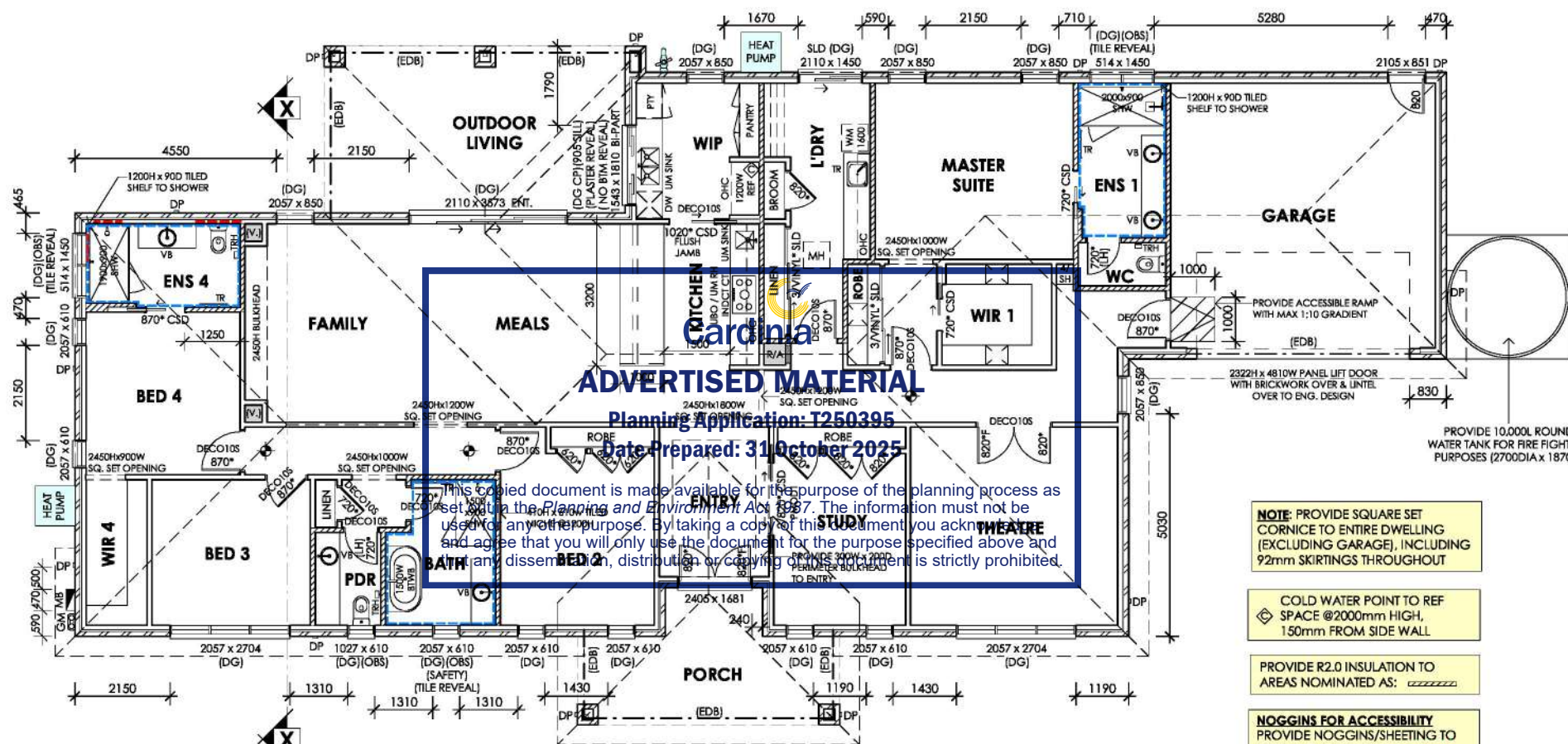
NOTE: ADDITIONAL FIXINGS TO PLASTERBOARD AS REQUIRED

NOTE: PROVIDE SQ. SET CORNICE TO ROOMS WITH FULL HEIGHT WALL TILING

PROVIDE STUD SPACING AT 300mm CENTRES TO ALL TILED WALL WET AREAS



- IMPORTANT NOTE:**
- DENOTES A SERVICE VOID SPACE THAT CANNOT BE REMOVED, REDUCED OR RELOCATED
 - TRUSS LAYOUT DESIGN TO BE CLEAR OF ALL VOID LOCATIONS AS PER FLOOR PLAN
- GENERAL NOTES**
- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE
 - BUILDER MAY ADJUST GARAGE DOOR HEIGHT AND WIDTH ON SITE AS REQUIRED
 - UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXTERNAL: 240mm = 110 BRICK, 40 CAVITY, 90 STUD
 - INTERNAL: 90mm STUD
 - ALL INTERNAL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK - *)
 - PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS WHERE INDICATED (LH)
 - PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR
 - 600x600 CEILING ACCESS MANHOLE LOCATION
 - SMOKE DETECTOR INTERC CONNECTED WITH BATTERY BACKUP
 - CEILING EXHAUST FAN SWITCHED/COMBINED WITH LIGHT
 - ENGINEER DESIGNED BEAM - (EB)
 - DOUBLE GLAZING - (DG)
 - BRICKWORK ARTICULATION JOINT
 - EXTERNAL PLUMBING POINTS TO PLUMBERS DISCRETION
 - SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
 - 88 TAP (C)
 - GAS METER: 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
 - HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS



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Planning Application: T250395
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- NOTE: PROVIDE SQUARE SET CORNICE TO ENTIRE DWELLING (EXCLUDING GARAGE), INCLUDING 92mm SKIRTINGS THROUGHOUT
- COLD WATER POINT TO REF SPACE @2000mm HIGH, 150mm FROM SIDE WALL
- PROVIDE R2.0 INSULATION TO AREAS NOMINATED AS: -----
- NOGGINS FOR ACCESSIBILITY
PROVIDE NOGGINS/SHEETING TO AREAS NOMINATED BY: -----
- REFER TO INTERNAL ELEVATIONS FOR SIZING AND HEIGHTS

AREAS TABLE		
AREA	m2	SQ
GROUND FLOOR	267.72 m ²	28.82
SUB TOTAL:	267.72 m ²	28.82
OUTDOOR LIVING	25.91 m ²	2.79
GARAGE	40.44 m ²	4.35
PORCH	14.28 m ²	1.54
SUB TOTAL:	80.62 m ²	8.68
GRAND TOTAL:	348.35 m ²	37.50

SJD homes

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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
CUSTOM

IMPORTANT NOTE: SHEET SIZE IS A2

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**NO. 6, FELL ROAD
COCKATOO, 3781**

DRAWING TITLE:

GROUND FLOOR PLAN

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 100

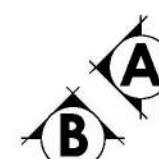
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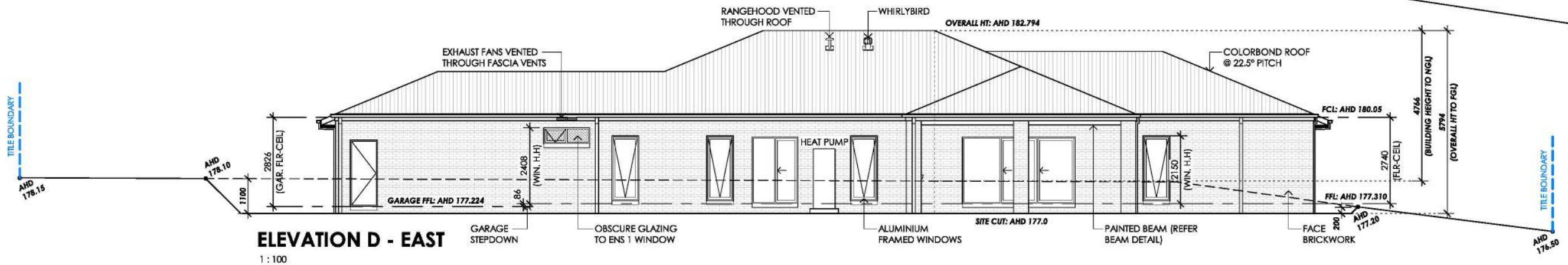
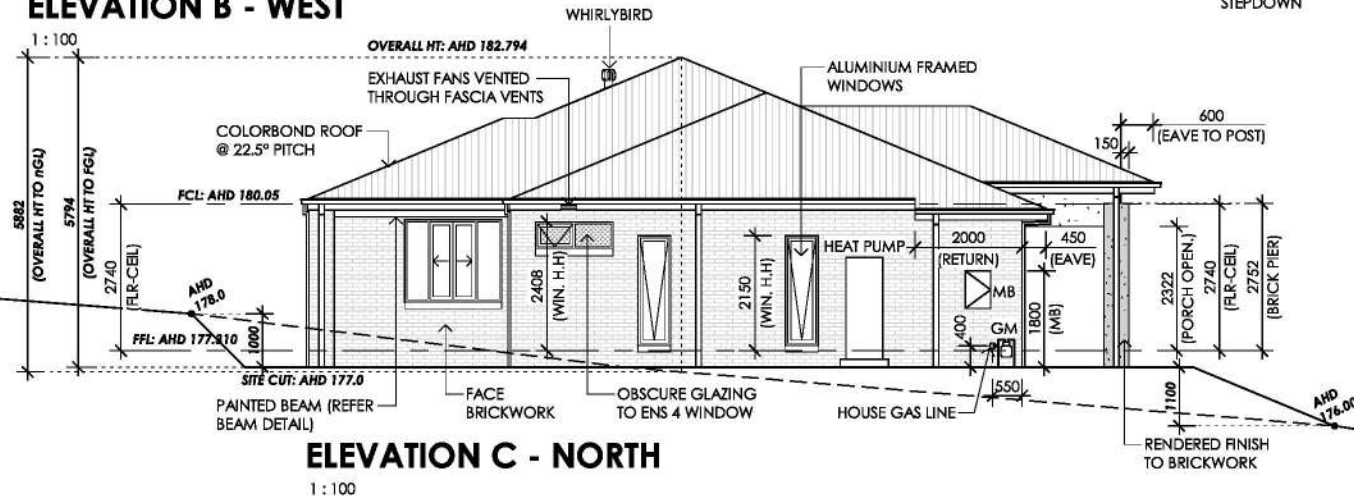
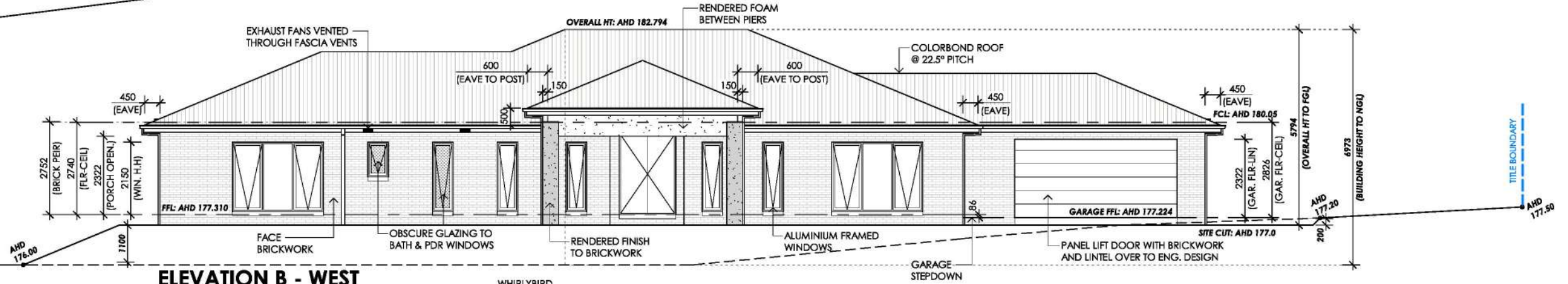
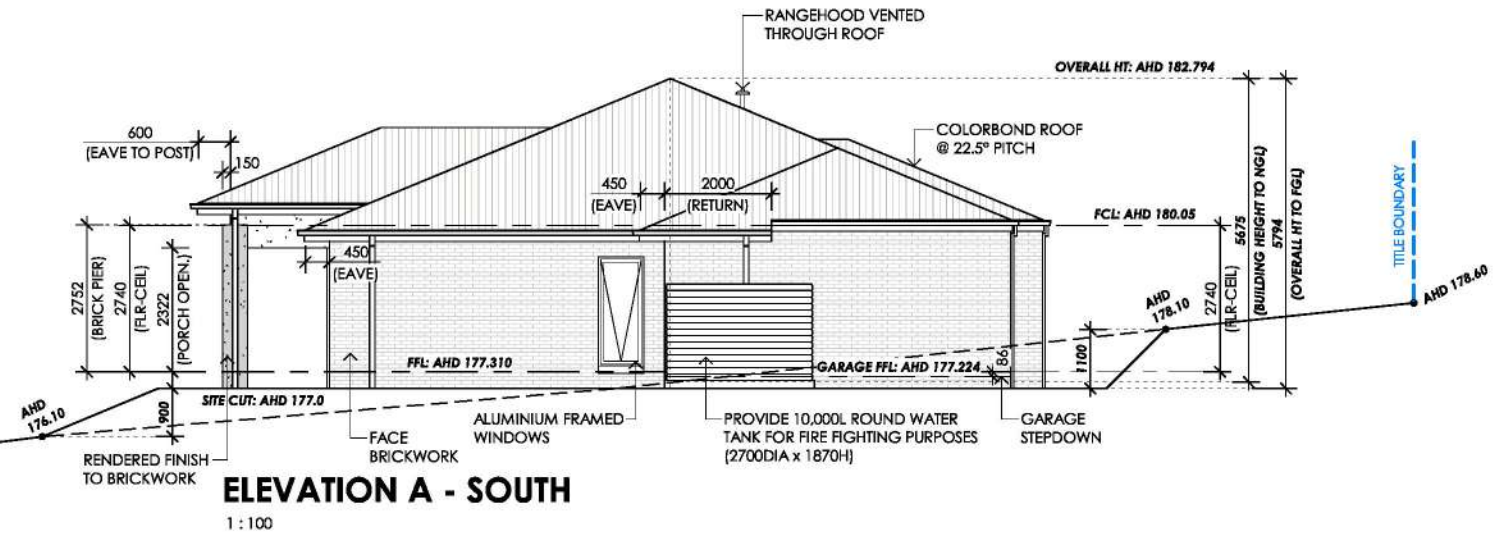


EXTERNAL MATERIAL SCHEDULE		
TYPE	DESCRIPTION/COLOUR	IMAGE
FACE BRICKWORK	AUSTRAL 'DOMAIN SANCTUARY'	
RENDERED BRICKWORK	RENDER IN 'COLORBOND - WALLABY'	
RENDERED FOAM	RENDER IN 'COLORBOND - DUNE'	
ROOF, FASCIA/GUTTER, DOWNPIPES	COLORBOND ROOF, FASCIA/GUTTER AND DOWNPIPES IN 'MONUMENT' COLOUR	
GARAGE DOOR	'COLORBOND - DUNE'	
WINDOW FRAMES	ALUMINIUM IN 'MONUMENT'	
FRONT DOOR	'HAYMES - AGED GREY 5'	

EXTERNAL DOOR THRESHOLDS:
THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

DISCLAIMER:
GARAGE DOOR IS INDICATIVE ONLY AND IS NOT AN ACCURATE DEPICTION OF HOW MANY PANELS ARE ON DOOR

 RENDERED BRICKWORK
 RENDERED FOAM



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COCKATOO, 3781**

DRAWING TITLE:
ELEVATIONS

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 100

MASTER DATE:

DRAWN: JG

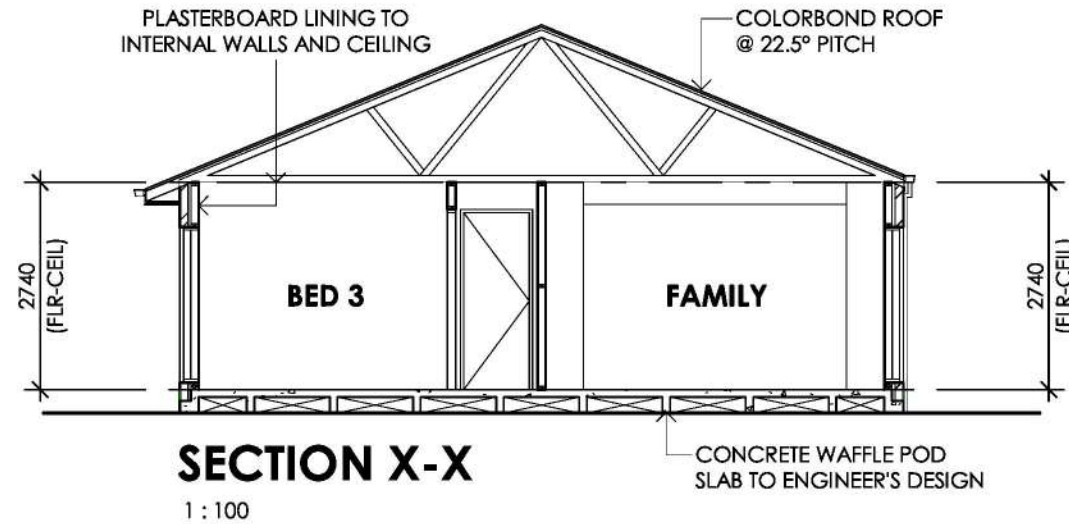
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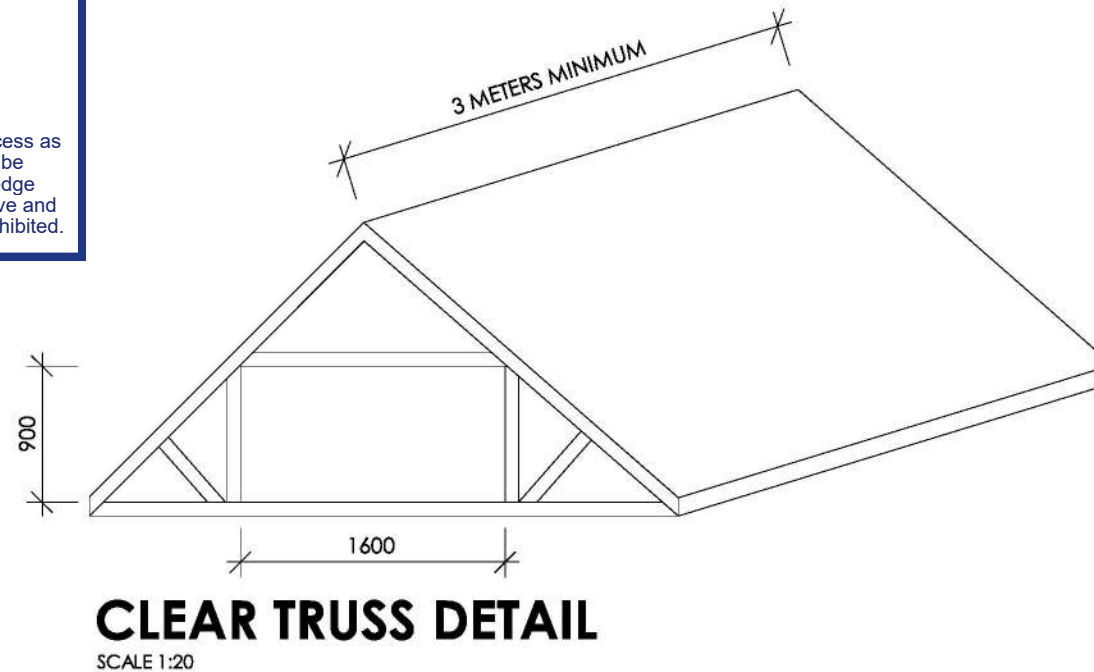


TO VIEW ALL STANDARD
CONSTRUCTION DETAILS,
REFER TO QR CODE



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TIMBER FRAMING SCHEDULE RLW : 7500

SINGLE STOREY OR UPPER STOREY LODBEARING WALLS
CONCRETE TILED ROOF - TRUSSES @ 600 CTS

MEMBER	SIZE	G	SPAN	CTRS
WAFFLE POD CONCRETE SLAB FLOOR				
Btm. plate	90x35	MGP10		
Top plate	2/90x35	MGP10		
Studs	90x35	MGP10		600
Jamb studs 1	90x45	MGP10		1800
Jamb studs 2	2/90x45	MGP10		3100
Wall bracing	IN ACCORDANCE WITH AS 1684-2010			
Noggings	70x35	MGP10		1350
Lintel 1	200x35	LVL15	1800	
Lintel 2	2/200x35	LVL15	2300	
Lintel 3	2/300x35	LVL15	3350	
Porch Beam	AS PER ENG.	-	-	
LINTELS IN LOWER STOREY WALLS OF A TWO STOREY TO ENGINEERS DESIGN				

TRUSSED ROOF

TIMBER FABRICATED AS PER MANUF. SPECIFICATIONS @ MAX 600 CTS

* Sizes may be built up using vertical nail lamination

NON LODBEARING WALLS

MEMBER	SIZE	G	SPAN	CTRS
WAFFLE POD CONCRETE SLAB FLOOR				
Btm. plate	90x35	MGP10		
Top plate	2/90x35	MGP10		
Studs	90x35	MGP10		600
Jamb studs 1	90x45	MGP10		1300

EXTERNAL LINTEL SCHEDULE

Upper Floor lintels - Based on 500mm of veneer over

Span (up to)	Size	Angle
1200mm	75x75x8	MS angle
2100mm	75x100x8	MS angle
3000mm	100x100x8	MS angle

Lower Floor lintels - Based on 3000mm of veneer over

Span (up to)	Size	Angle
1200mm	75x100x8	MS angle
2100mm	100x100x8	MS angle
3000mm	150x100x10	MS angle

First Dimension Vertical, 120mm min. end bearing to lintels

7 STAR ENERGY REQ'MENTS:

REQUIREMENTS AS PER 6 STAR ENERGY RATING REPORT.

- INSULATION TO CEILING (INCLUDING GARAGE): **R5.0**
- INSULATION TO EXTERNAL WALLS: **R2.5**
- INSULATION TO GARAGE INTERNAL WALLS: **R2.0**
- INSULATION TO WET AREAS: **R2.0HP**
- SEAL GAPS & CRACKS AROUND ALL EXTERNAL DOOR & WINDOW FRAMES: **Y**
- WEATHER SEALS TO ALL EXTERNAL DOORS: **Y**
- WEATHER SEALS TO INTERNAL UTILITY DOORS: **Y**
- REFER FLOOR PLAN & ELEVATIONS FOR DOUBLE GLAZED WINDOWS IF REQUIRED (DG): **Y**
- WEATHER STRIP(S) TO FRONT ENTRY DOOR(S): **Y**
- FULLY SEALED CEILING EXHAUST FANS: **Y**
- AG SISILATION TO ALL EXTERNAL WALLS - STD INCLUSION
- 100% SEALED ALUM. IMPR WINDOWS - STD INCLUSION
- WINDOWS & SLIDING DOORS TO DETAILS AS PER ENERGY RATING REPORT



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HOUSE TYPE:
CUSTOM

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COCKATOO, 3781

DRAWING TITLE:
SECTION

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 100

DRAWN: JG

SHEET NO: 05

MASTER DATE:

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OF: 13

ELECTRICAL QUANTITIES	
COUNT	TYPE
3	Ceiling Exhaust Fan
1	Ceiling Exhaust Fan Switched with Light
21	Double GPO - 300mm High
7	Double GPO - 1100mm High
4	Double GPO - 1350mm High
4	Double GPO - External
1	Double GPO - Height Varies
4	Junction Box
57	Lighting - 90mm Downlight
2	Lighting - Para Flood Light Double
2	Lighting - Para Flood Light Single
2	Lighting - Single Fluro
1	Single GPO - 1350mm High
1	Single GPO - For Dishwasher
1	Single GPO - To Ceiling
1	Telephone Point
3	Television Point
1	UBO Rangehood Connection


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IMPORTANT NOTE: ALL ELECTRICAL ITEMS ARE IN APPROXIMATE LOCATIONS ONLY AND MAY BE VARIED TO SUIT TRUSS AND FRAME LOCATIONS

HEATING/COOLING NOTE:
ALL DUCT LOCATIONS ARE INDICATIVE ONLY AND ARE SUBJECT TO CHANGE IN LINE WITH SUPPLIER'S SPECIFICATION AND HEATING/COOLING LAYOUT

PROVIDE SEPARATE 32AMP CIRCUIT FOR INDUCTION COOKTOP (INCLUDING ISOLATOR SWITCH)

ARTIFICIAL LIGHTING TABLE

FLOOR AREA	267.72 m ²	WATTAGE ALLOWED	1338.6 W
PORCH/OUT. AREA	40.19 m ²	WATTAGE ALLOWED	160.76 W
GARAGE	40.44 m ²	WATTAGE ALLOWED	121.32 W
TOTAL AREA	348.35 m²	ALLOWABLE WATTS	1620.68 W
HOUSE 5 W/m2		NO. OF GLOBES USED	TOTAL WATTS
LED GLOBES	6 W	0	0 W
LED DOWNLIGHTS	9 W	47	423 W
FLUORO TUBES	36 W	0	0 W
		HOUSE TOTAL	423 W
POR./ OUT 4 W/m2			
LED GLOBES	6 W	0	0 W
LED DOWNLIGHTS	9 W	9	81 W
FLUORO TUBES	36 W	0	0 W
		PORCH TOTAL	81 W
GARAGE 3 W/m2			
LED GLOBES	6 W	0	0 W
LED DOWNLIGHTS	9 W	0	0 W
FLUORO TUBES	36 W	2	72 W
		GARAGE TOTAL	72 W

LIGHTING LEGEND

-  CEILING LIGHT BATTEN HOLDER
-  IC4 90mm DOWNLIGHT
-  WALL STAIR LIGHT
-  EXTERNAL LIGHT POINT
-  HEATER/FAN & LIGHT - 2 GLOBE
-  HEATER/FAN & LIGHT - 4 GLOBE
-  JUNCTION BOX
-  CEILING FAN
-  CEILING FAN WITH LIGHT
-  PARA FLOOD LIGHT - SINGLE
-  PARA FLOOD LIGHT - DOUBLE
-  ROUND LED FLUORO
-  1200 LED FLUORO - SINGLE
-  1200 LED FLUORO - DOUBLE
-  WALL LIGHT BATTEN HOLDER
-  CEILING EXHAUST FAN
-  CEILING EXHAUST FAN SWITCHED WITH LIGHT
-  SUSPENDED PENDANT
-  MOTION SENSOR
-  DIMMER SWITCH

HEAT/COOL LEGEND

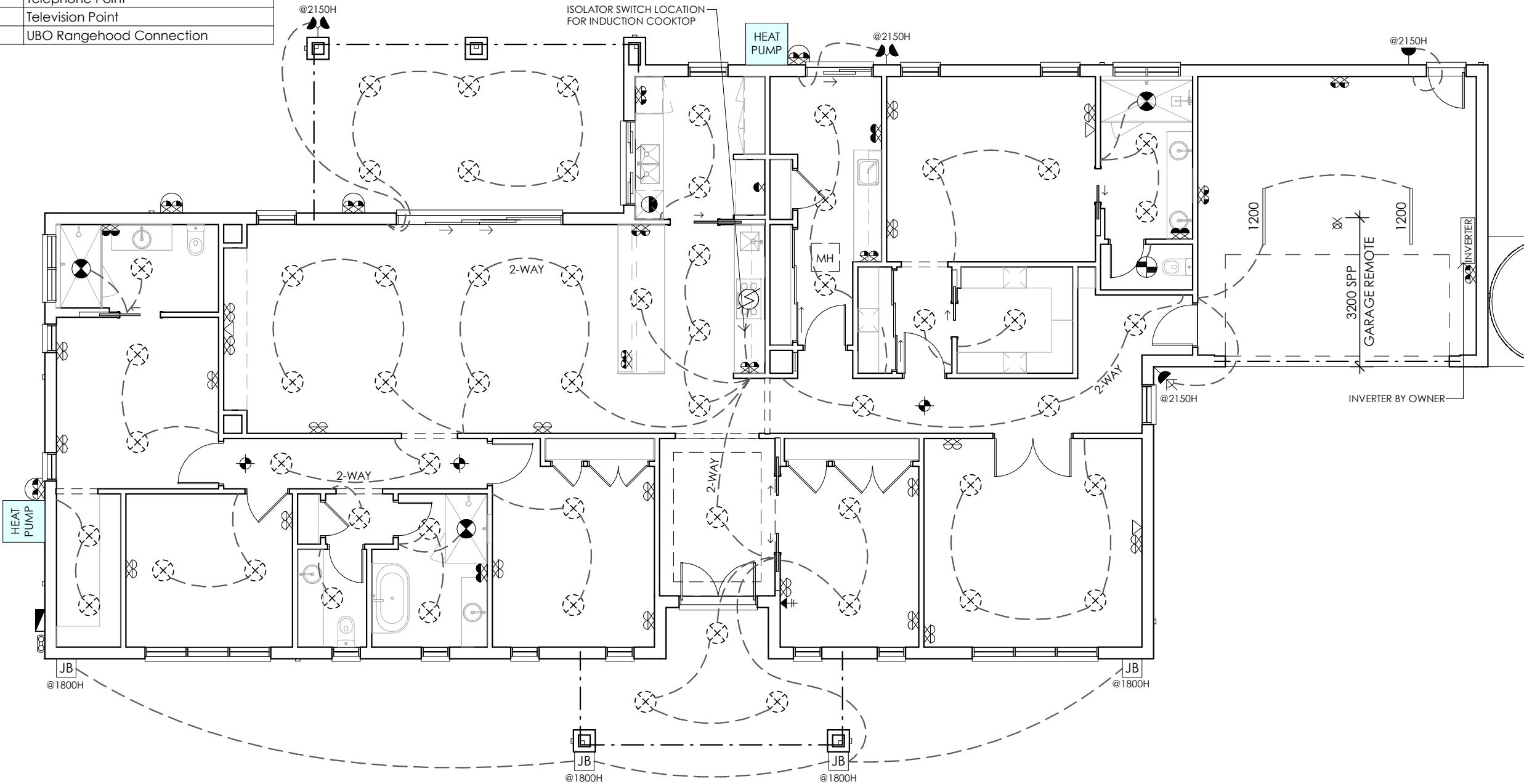
-  CEILING HEATING DUCT (APPROX)
-  DUCTED HEATING UNIT IN CEILING
-  CEILING HEAT/COOL DUCT
-  REV CYCLE DUCTED HEAT/COOL UNIT
-  THERMOSTAT
-  RETURN AIR
-  EVAPORATIVE COOLING DUCT
-  EVAPORATIVE COOLING UNIT
-  AC CONDENSER UNIT
-  AC HEAD UNIT

POWER LEGEND

-  SINGLE GPO - 300mm
-  SINGLE GPO - 1100mm
-  SINGLE GPO - 1400mm
-  SINGLE GPO - TO CEILING
-  SINGLE GPO - HT VARIES
-  SINGLE GPO - EXTERNAL
-  DOUBLE GPO - 300mm
-  DOUBLE GPO - 1100mm
-  DOUBLE GPO - 1400mm
-  DOUBLE GPO - TO CEILING
-  DOUBLE GPO - HT VARIES
-  DOUBLE GPO - EXTERNAL
-  SINGLE GPO - FOR DISHWASHER
-  SINGLE GPO - FOR MICROWAVE
-  TELEVISION POINT
-  TELEPHONE POINT
-  METER BOX
-  SMOKE DETECTORS (INTERCONNECTED)
-  UBO & RHOAD CONNECTIONS
-  DATA POINT WIRED TO NBN
-  NBN BOX

DUCTED VACUUM

-  DUCTED VACUUM UNIT & SGPO
-  DUCTED VACUUM OUTLET



PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
CUSTOM

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D. & T. COCKING

SITE ADDRESS:

**NO. 6, FELL ROAD
COCKATOO, 3781**

DRAWING TITLE:

ELECTRICAL PLAN

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 100

MASTER DATE:

DRAWN: JG

CHECKED: JG

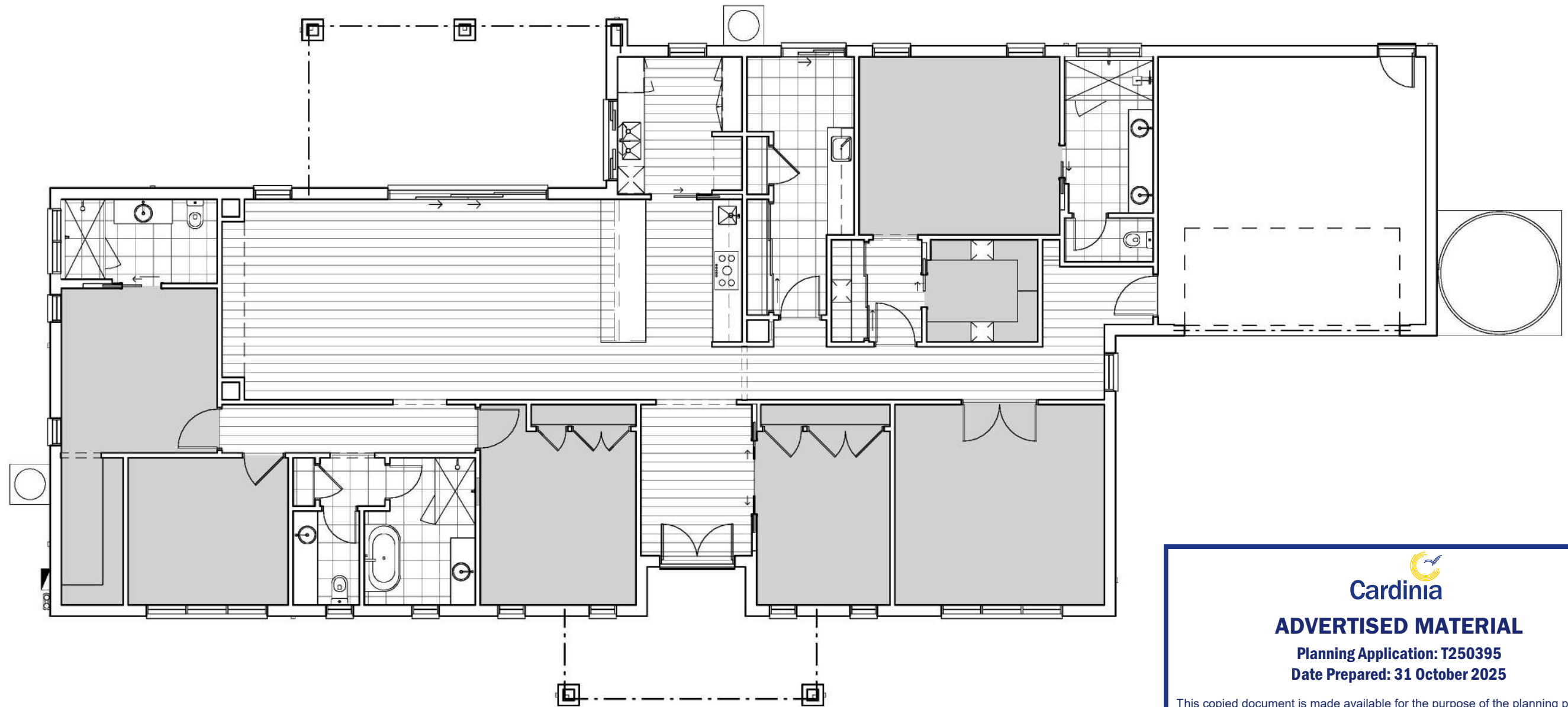
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FLOOR COVERINGS LEGEND

	CARPET
	TILES
	TIMBER LAMINATE

FLOOR COVERINGS

FLOOR FINISH	AREA m2
CARPET	101.78 m ²
TILES	38.66 m ²
TIMBER	88.31 m ²



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DRAWING TITLE:
FLOOR COVERINGS

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 100

MASTER DATE:

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CHECKED: JG

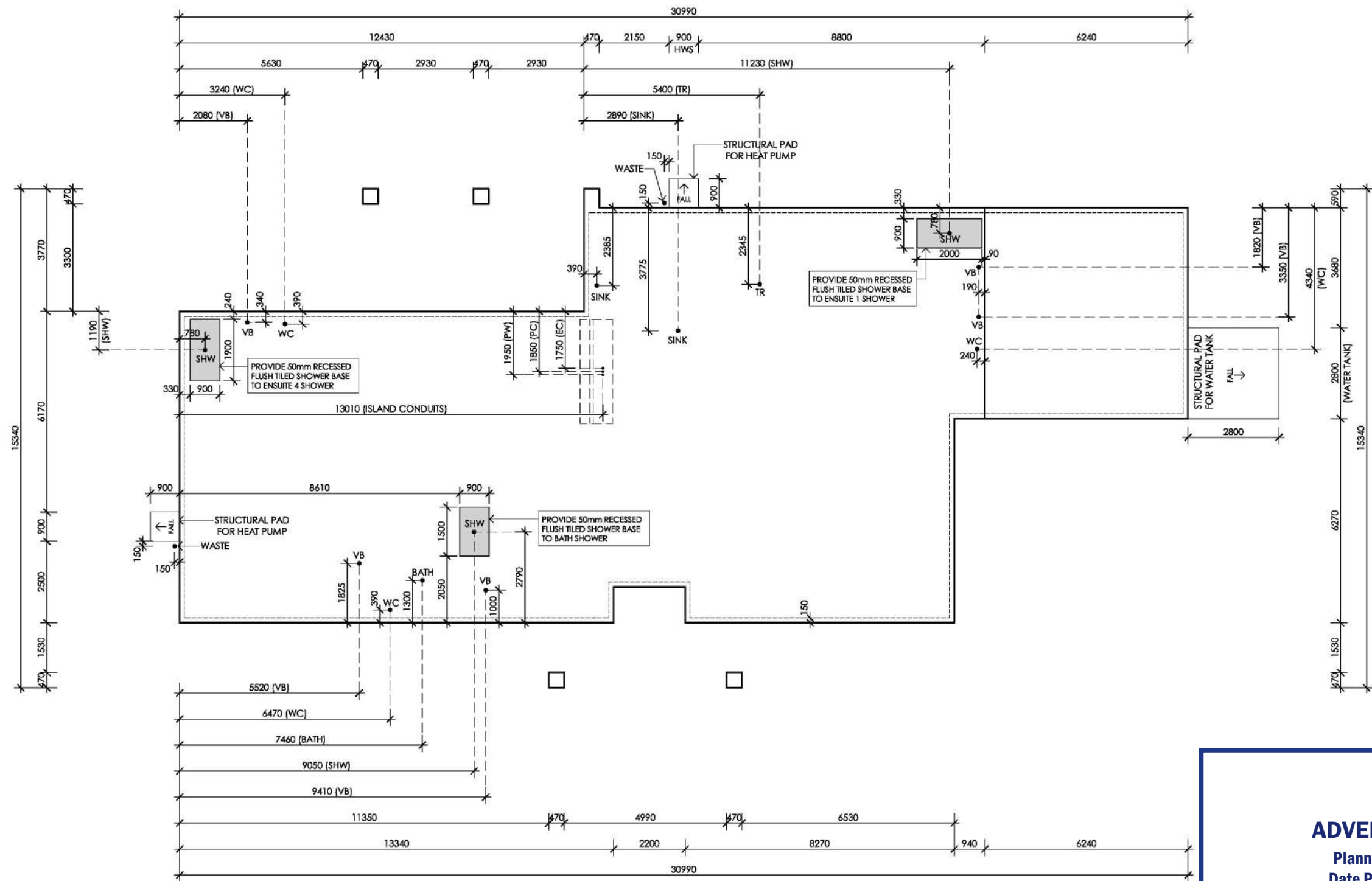
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IMPORTANT NOTE:
ALL DIMENSIONS ARE TO EXTERNAL WALLS

IMPORTANT NOTE:
CONCRETERS TO CLEAR CONCRETE FROM
TOP OF ALL WC, SHOWER AND BATH
WASTE POINTS

IMPORTANT NOTE:
CONCRETERS TO ENSURE APPROPRIATE
FALL AWAY FROM HOUSE TO CONCRETE
PADS FOR ALL SERVICES AND WATER
TANKS WHERE APPLICABLE



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DRAWING TITLE:
SETOUT PLAN

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 100

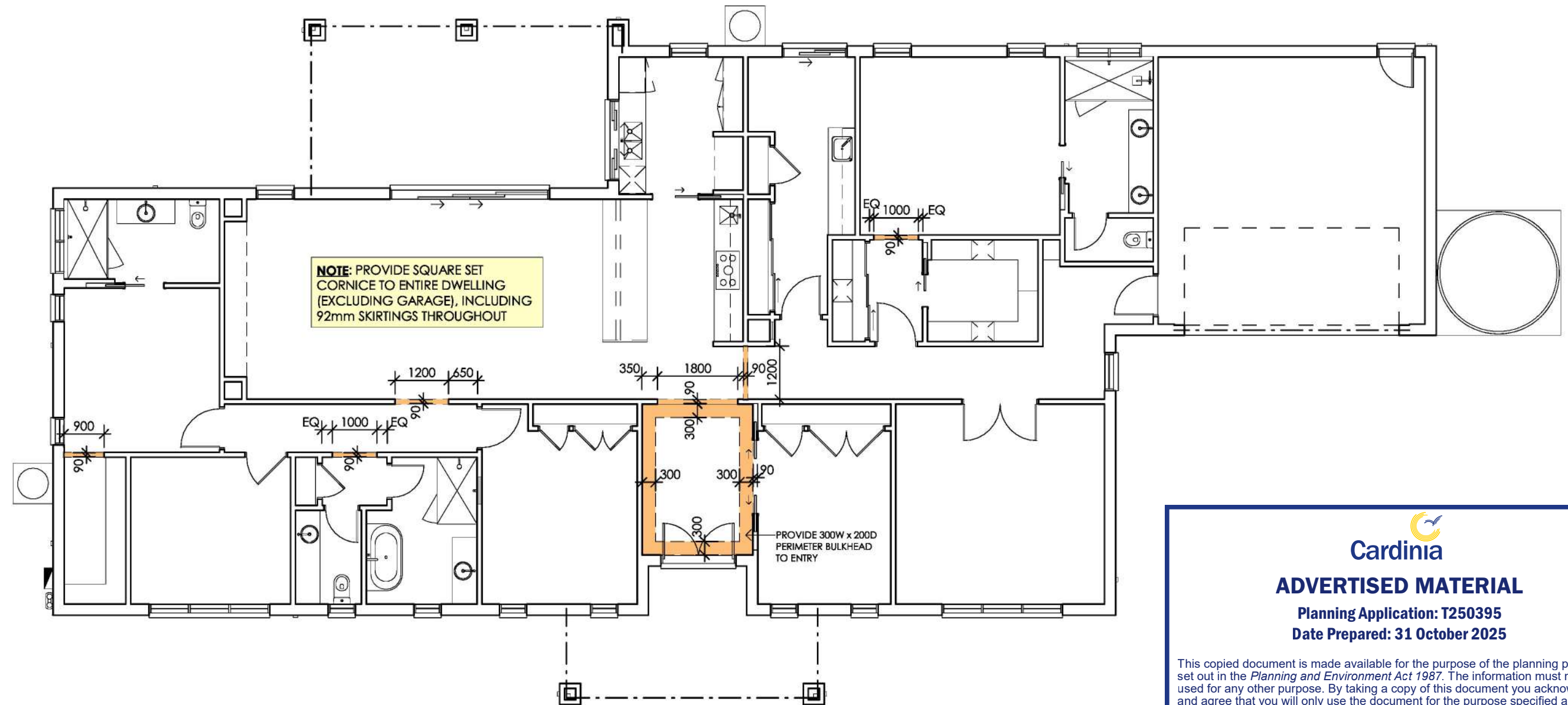
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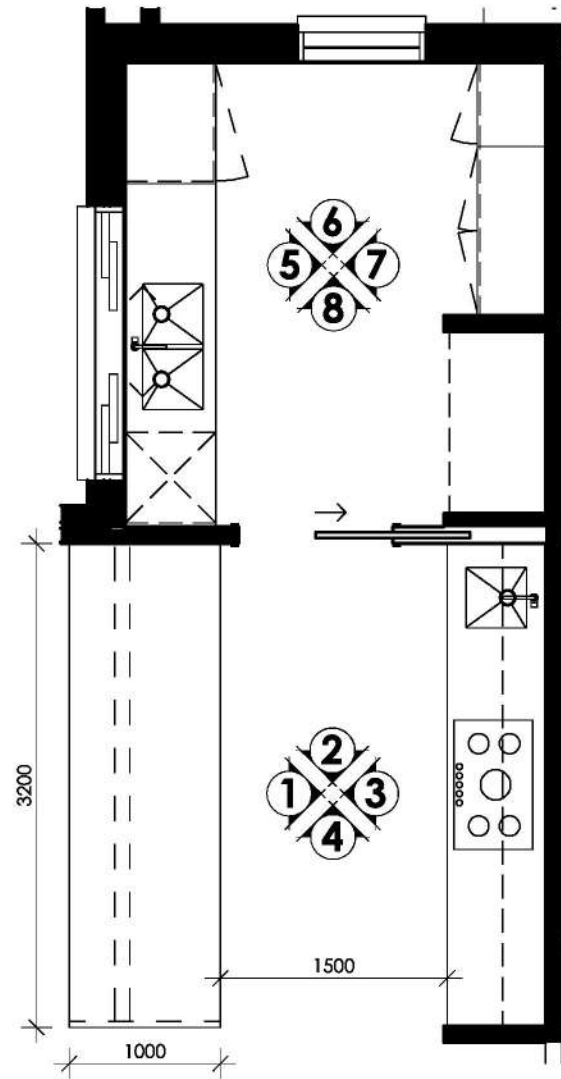
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	HOUSE TYPE: CUSTOM		ISSUE: E			
			ISSUE DATE: 25.09.25			
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			SHEET NO: 09	OF: 13		

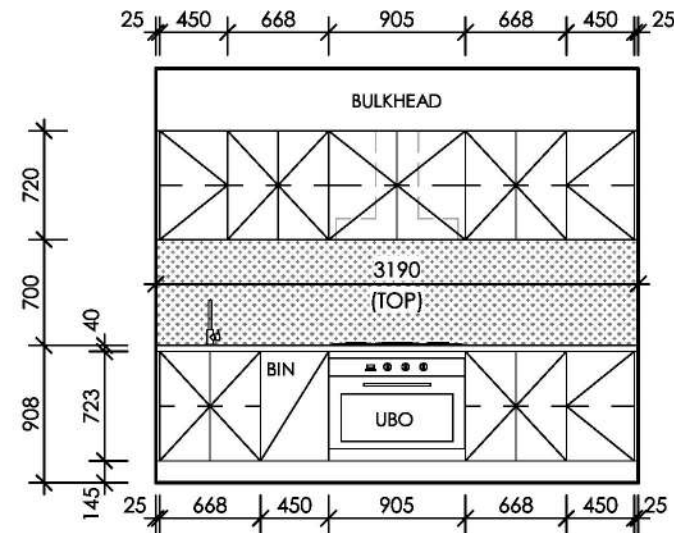


KITCHEN/WIP

1 : 50

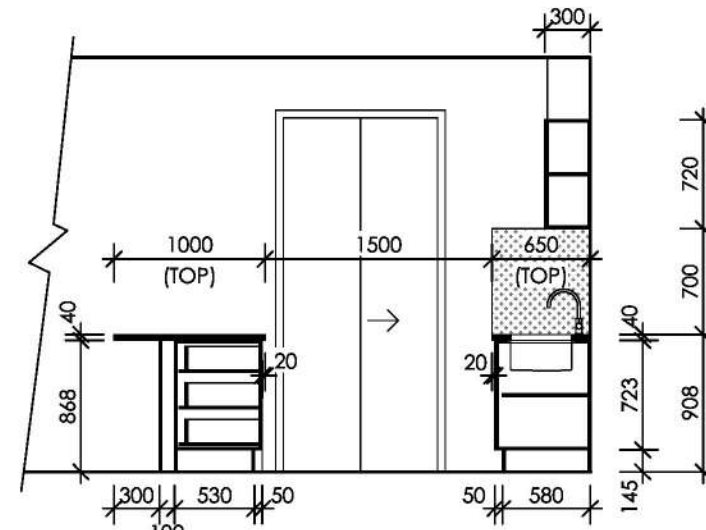
GENERAL NOTES

- DIMENSIONS OF TAPWARE/WATER/GAS POINTS ARE APPROXIMATE ONLY AND ARE AT THE DISCRETION OF THE PLUMBER
- CABINETRY DIMENSIONS ARE APPROXIMATE ONLY AND MAY BE ALTERED BY CABINET MAKER TO SUIT
- KITCHEN/WIP INTERNAL ELEVATIONS ARE DIMENSIONED TO PLASTER, NOT FRAME
- CONFIRM SPECIFICATION OF TOILET FOR HEIGHT OF WATER POINT
- WALL TILING HEIGHTS ARE NOMINAL ONLY AND ARE SUBJECT TO SELECTED WALL TILE SIZE

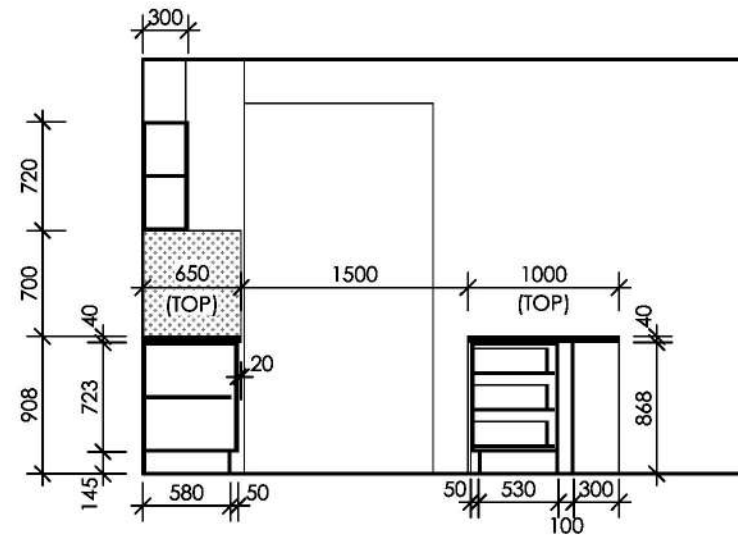


ELEVATION 1

1 : 50

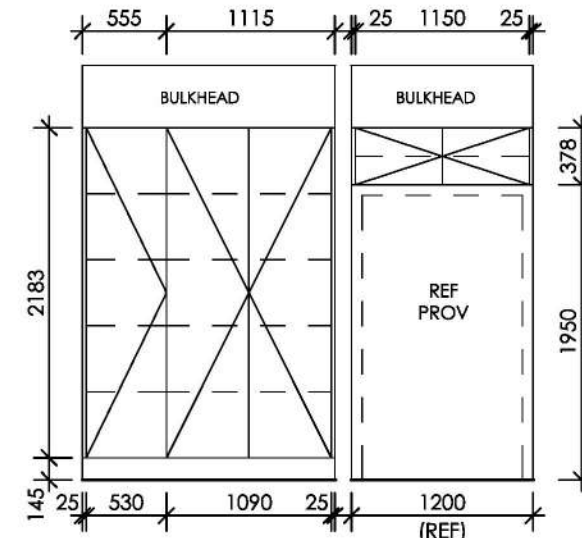


ELEVATION 4

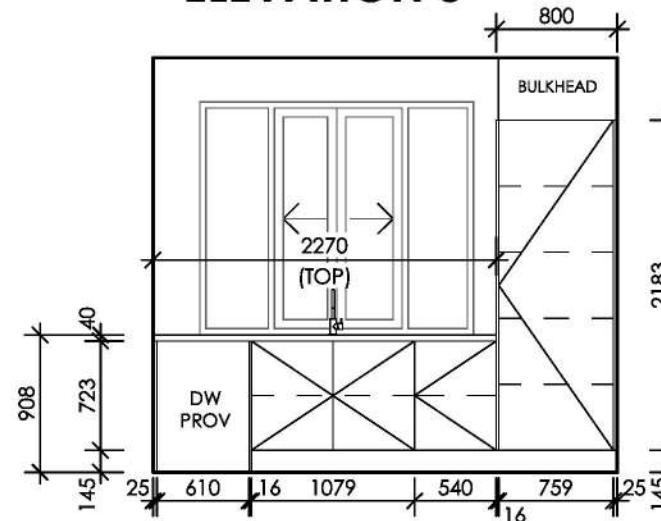


ELEVATION 2

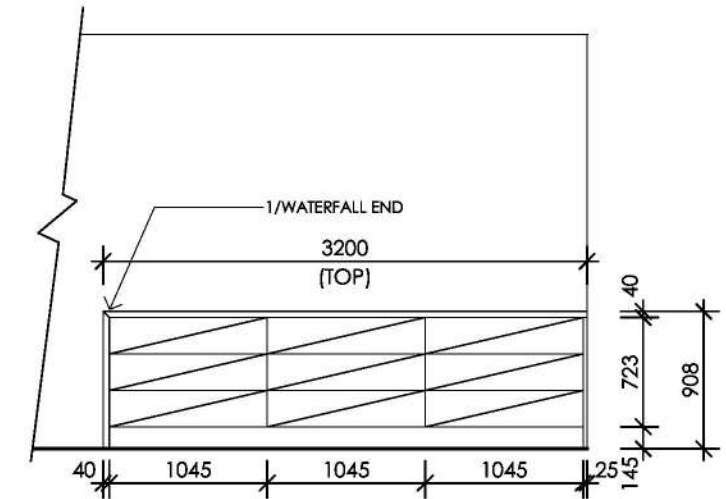
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ELEVATION 5

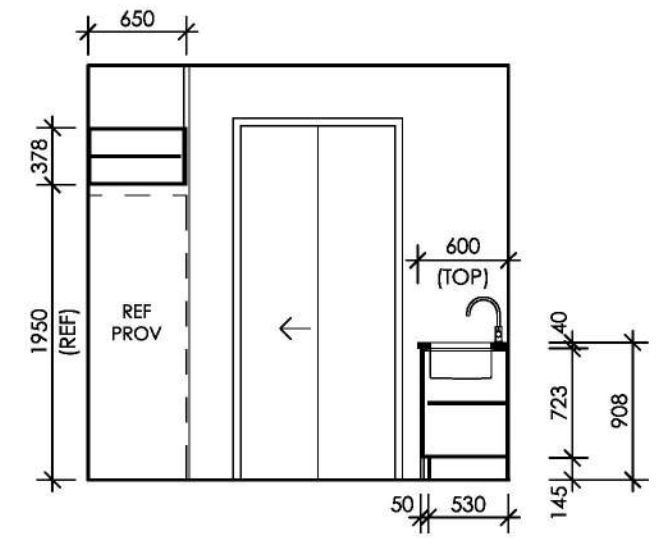


ELEVATION 7

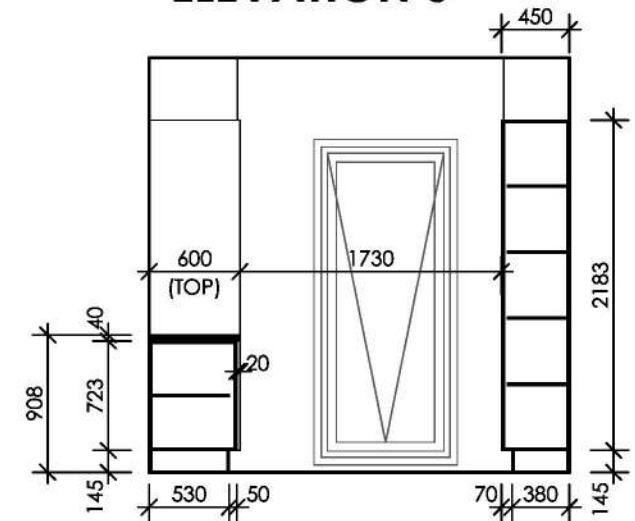


ELEVATION 3

1 : 50



ELEVATION 6



ELEVATION 8

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**NO. 6, FELL ROAD
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DRAWING TITLE:
KITCHEN INTERNALS

ISSUE: E

ISSUE DATE: 25.09.25

SCALE: 1 : 50

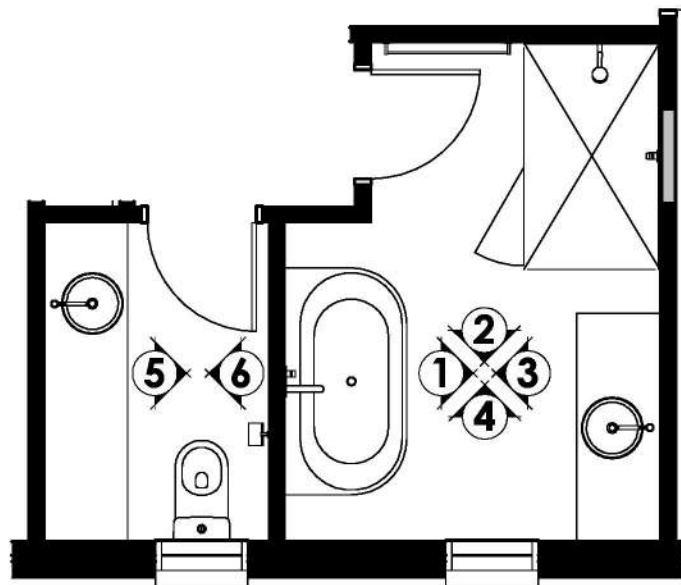
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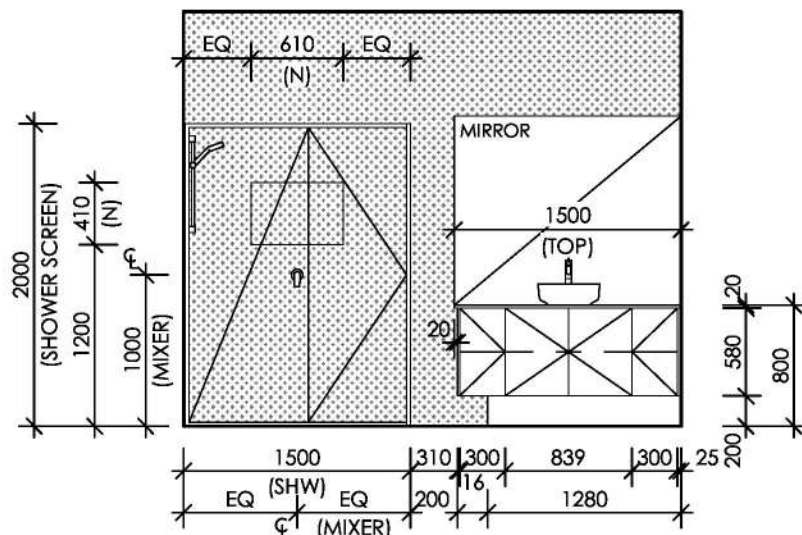
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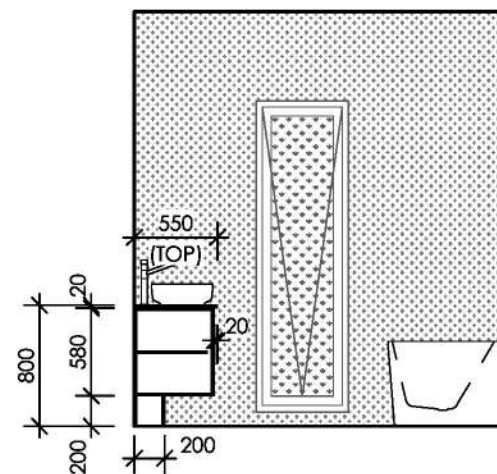


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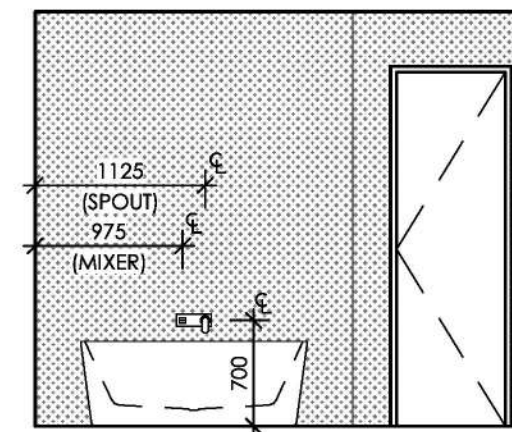
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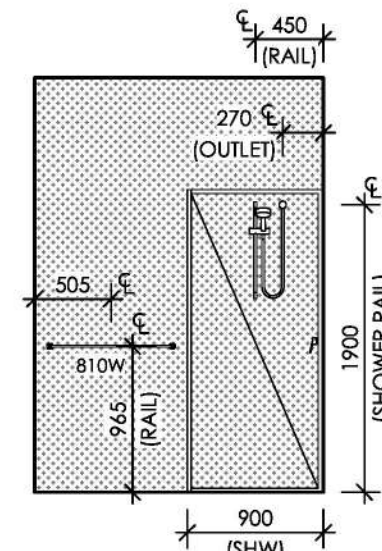
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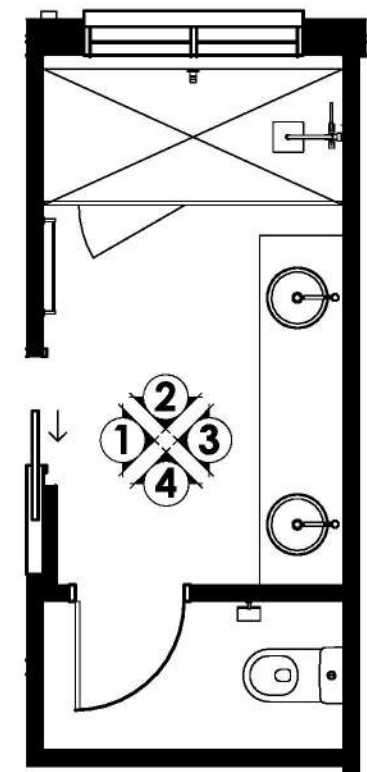
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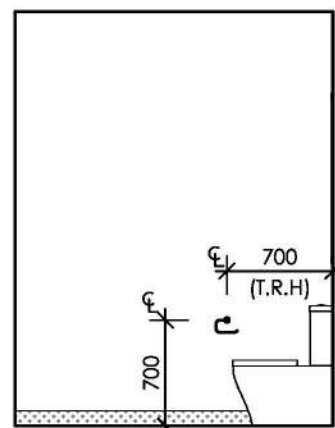


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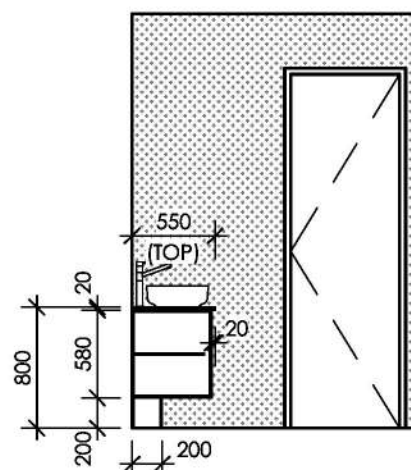


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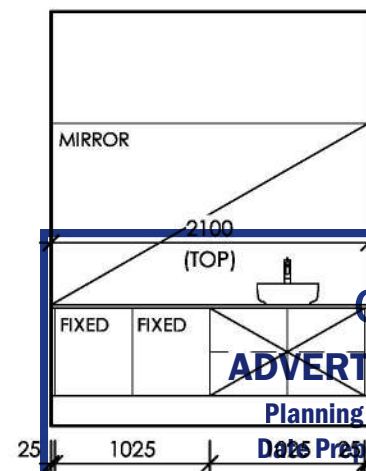
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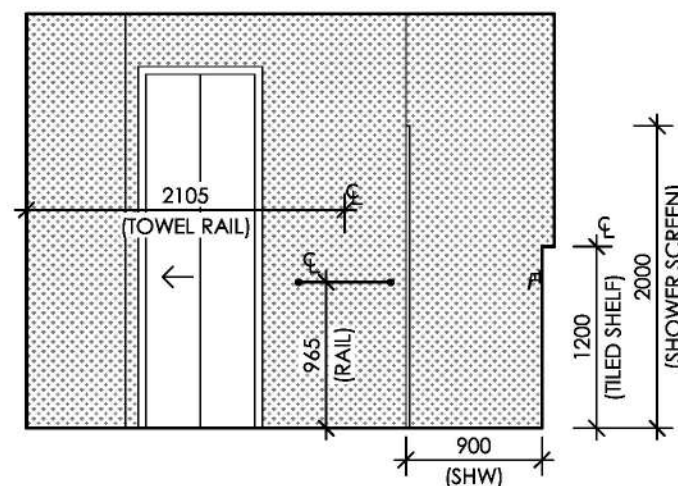
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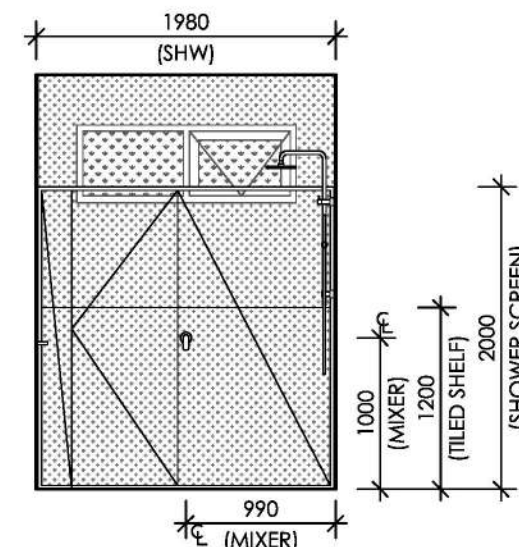
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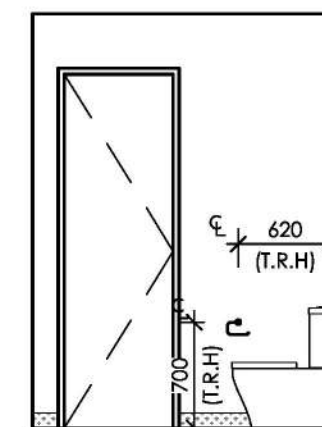
ELEVATION 3



ELEVATION 3



ELEVATION 4



ELEVATION 5

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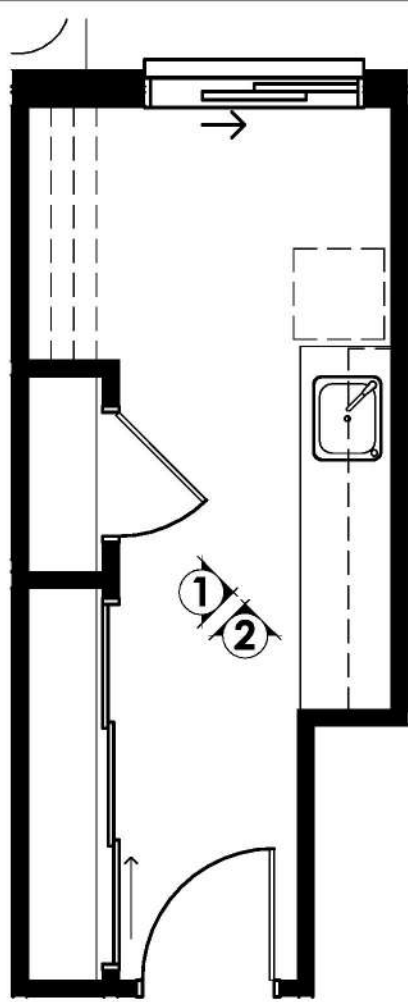
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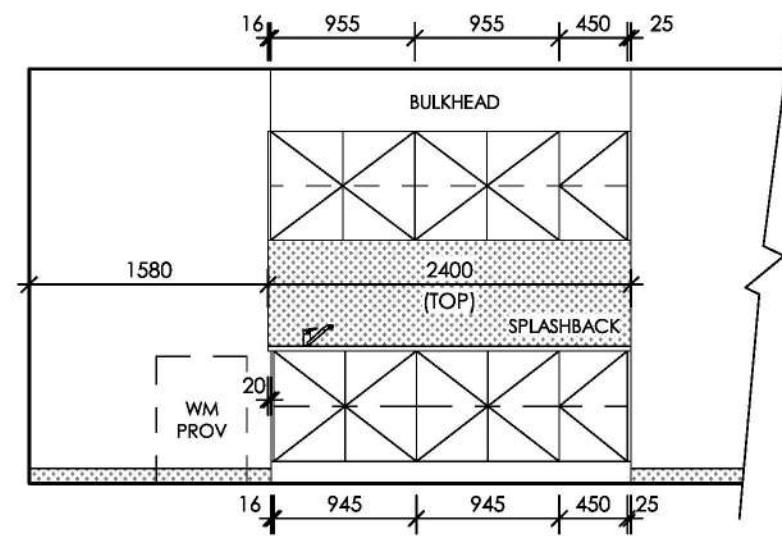
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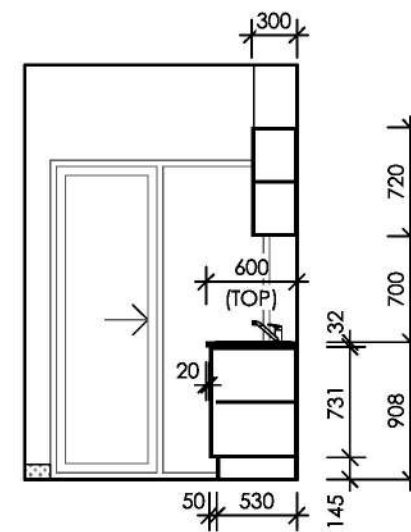


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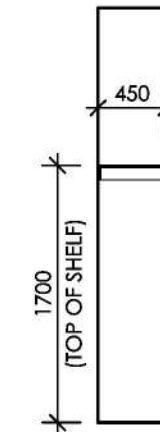
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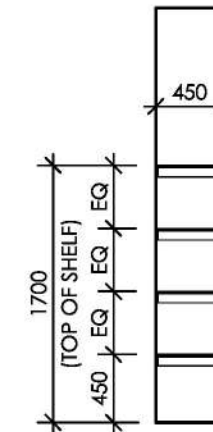
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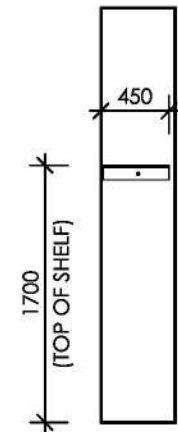
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BROOM
(TYPICAL)



LINEN
(TYPICAL)



ROBE
(TYPICAL)

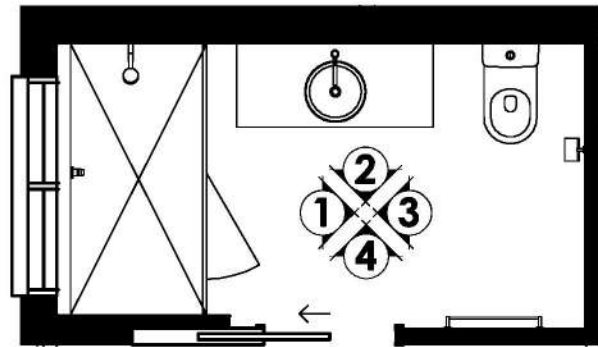
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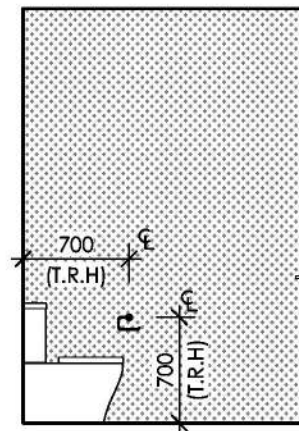
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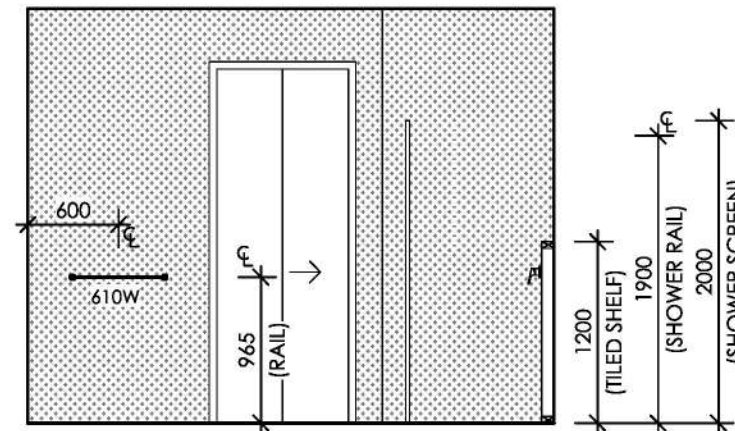


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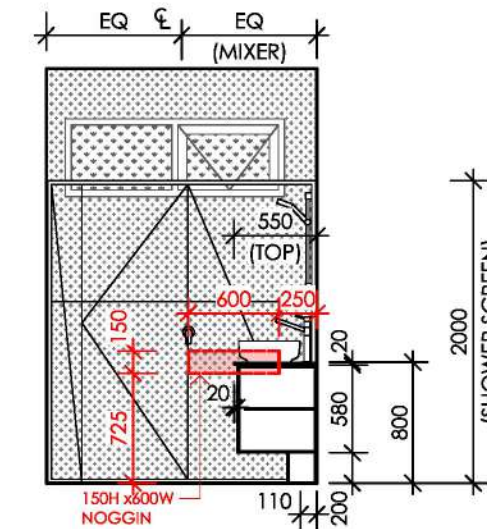
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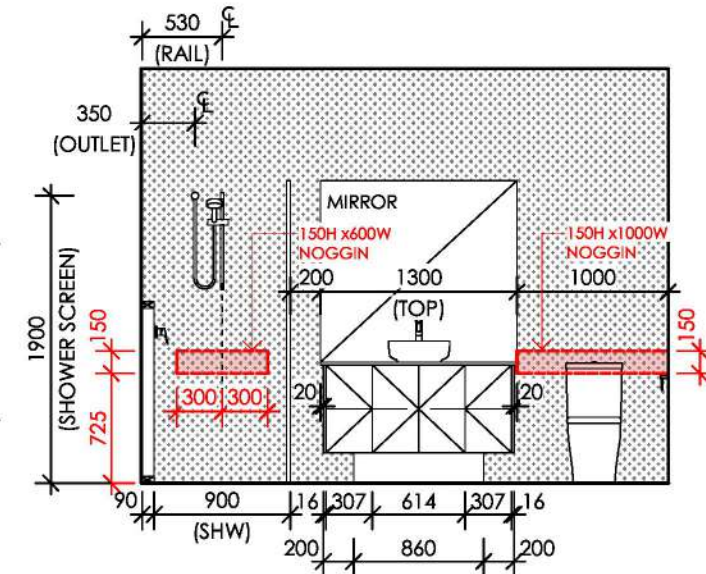
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4



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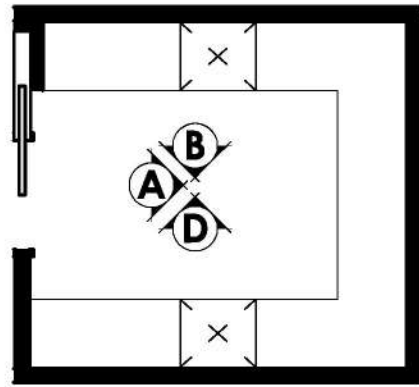
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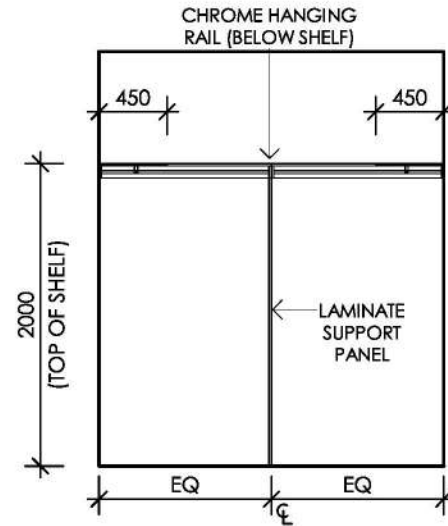
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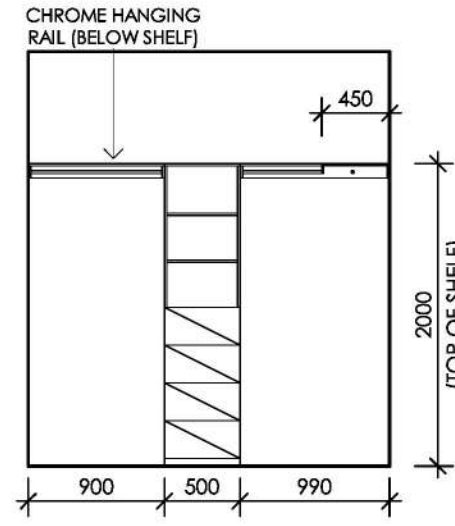


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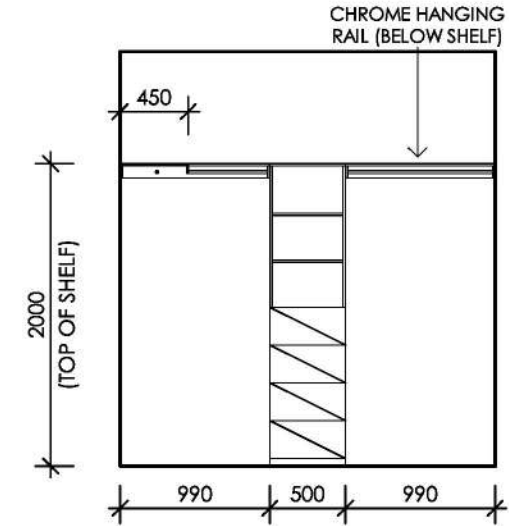
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ELEVATION A



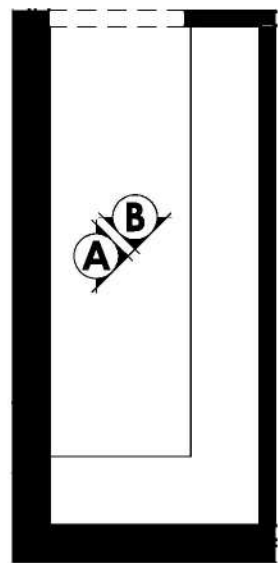
ELEVATION B



ELEVATION C

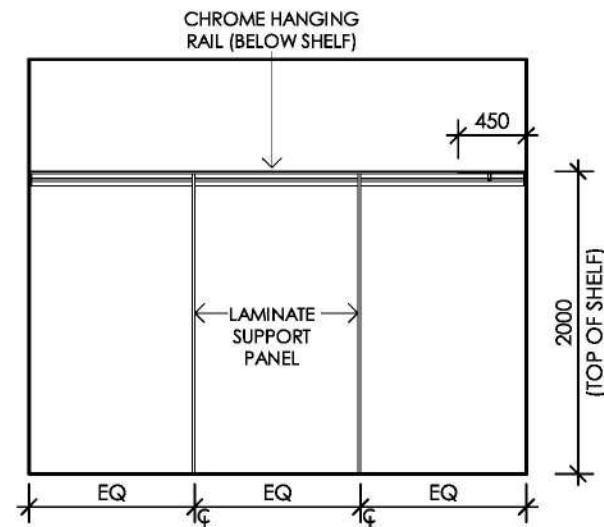
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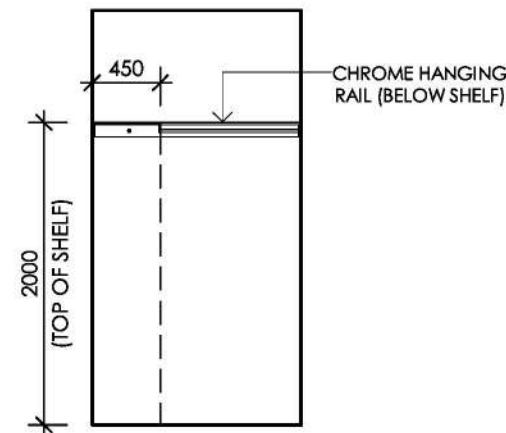


WIR 4

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ELEVATION A



ELEVATION B



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BUSHFIRE ASSESSMENT AND MANAGEMENT STATEMENT



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DEVELOPMENT OF THE LAND FOR A DWELLING IN A BMO (PATHWAY 1)

AT 6 FELL ROAD, COCKATOO 3781

PROPOSED BY:
NOBELIUS LAND SURVEYORS
20 Henry Street, Pakenham, VIC 3810

(03) 5941 4112
www.nobelius.com.au



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Requirements contained in this report does not guarantee survival of the buildings of the occupants from a bushfire event. The client is strongly encouraged to envelope and practice a Bushfire Survival Plan. A template for the development of a Bushfire Survival Plan is available as part of the Fire Ready Kit available on the CFA website at www.cfa.vic.gov.au or through your local CFA Regional Office.

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EXECUTIVE SUMMARY

This report accompanies a Planning Permit application that contemplates the development of the land for a dwelling at 6 FELL Road, Cockatoo 3781, formally described on Plan PC375967. The site is subject to the Bushfire Management Overlay (BMO) and mapped in a Bushfire Prone Area and is required to demonstrate that the proposal has regard for the surrounding bushfire hazard.

This report provides an assessment of the hazards and presents mitigation measures to improve the protection of life and property for the proposed second dwelling. The site is within the Low Density Residential Zone for which the development of the land for a second dwelling requires a Pathway 1 assessment to meet the objectives and approved measures of Clause 53.02 of the Cardinia Planning Scheme.

This report includes the following components:

- An assessment against **Clause 13.02-1S** of the Cardinia Planning Scheme.
- A **Bushfire Hazard Landscape Assessment** that considers the landscape risk and whether the Clause 53.02 modelled fire assumptions are adequate.
- A **Bushfire Hazard Site Assessment** that considers localised hazards, defensible space and the bushfire attack level (BAL).
- A **Bushfire Management Statement** that outlines the design response to the relevant approval measures in Clause 53.02 from the Cardinia Planning Scheme.
- A Bushfire Management Plan.

The subject site in Cockatoo is in a residential setting located within the boundaries of the Cockatoo established settlement. The site features one existing dwelling with access via existing crossovers to Fell Road and Isaac Street. The site features grassed areas with planted vegetation adjacent to the title boundaries and modified vegetation beyond the title boundaries.

The Bushfire Management Statement demonstrates the defensible space objectives can be met for BAL29 (Modified vegetation) with the entire lot managed as defensible space. Access to the proposed dwelling is provided via the existing crossover to Isaac Street. Water for firefighting purposes is required to be provided adjacent to the new dwelling with access for emergency service vehicles. There are hydrants within the Fell Road reserve.

The vegetation to the northeast and east is classified as Modified Woodland and the site is subject to a BAL of 29 based on an FDI of 100 and a flame temperature of 1090Kw. The site in its entirety will be managed as Defensible Space.



1. INTRODUCTION

This Bushfire Management Statement has been prepared to demonstrate that the proposed Boundary Realignment can meet the requirements of Clause 44.06 Bushfire Management Overlay (BMO), and is in accordance with the application requirements of Clause 53.02 Bushfire Planning (hereafter Clause 53.02).

The statement contains the following components, as required by the planning scheme:

- An assessment against **Clause 13.02-1S** of the Cardinia Planning Scheme.
- A **Bushfire Hazard Landscape Assessment** including a plan that describes the bushfire hazard of the general locality more than 150 metres from the site.
- A **Bushfire Hazards Site Assessment** including a plan that described the bushfire hazard within 150 metres of the proposed development. The description of the hazard has been prepared in accordance with Section 2.2.3 to 2.2.5 of AS3959:2018 *Construction of buildings in bushfire prone areas* (Standards Australia) and is supported by photographs to assist in describing the bushfire hazard.
- A **Bushfire Management Statement** describing how the proposed development responds to the requirements of Clause 44.06 and 53.02.
- A **Bushfire Management Plan** for endorsement with the permit.

1.1 APPLICATION DETAILS

ADDRESS	PC375967, 6 Fell Road, Cockatoo 3781
RESPONSIBLE AUTHORITY	Cardinia Shire Council
ZONE	Low Density Residential Zone - Schedule 2
OVERLAY/S	Design and Development Overlay Restructure Overlay - Schedule 10 Vegetation Protection Overlay - Schedule 1 Bushfire Management Overlay
BUSHFIRE PRONE AREA	Yes
BUSHFIRE ASSESSMENT	Pathway 1
EASEMENTS, RESTRICTIONS, ENCUMBRANCES	None
PROPOSAL	Development of the land for a Dwelling in the BMO
PERMIT TRIGGERS	• Pursuant to Part 2.0 of schedule 1 to Clause 43.02 of the Design and Development Overlay, a permit is required for buildings and works (earthworks). • Pursuant to clause 42.02 of the Vegetation Protection Overlay, a permit is required to remove vegetation. • Pursuant to Clause 45.05-2 of the Restructure Overlay a permit is required to construct a dwelling. • Pursuant to Clause 44.06-2 Bushfire Management Overlay a permit is required to construct a building, construct or carry out works associated with the development of the land for a dwelling.

1.2 SITE DESCRIPTION

SITE DESCRIPTION	The site forms an irregular shape measuring approximately 3,437m ² .
SITE DIMENSIONS	The site addresses Fell Road for 54.2 metres with a maximum depth of 78 metres. The southern side boundary abuts Isaac Street for 58 metres.
EXISTING ONSITE CONDITIONS	The site was development with a dwelling that was demolished in 2020.
EXISTING ACCESS	Access is via an existing crossover to Isaac Street with an existing secondary crossover from Fell Road.
NEAREST FIRE HYDRANT	Fire plugs and hydrants are located in Fell Road (adjacent to 1 Isaac Street)

1.3 SITE LOCATION AND SURROUNDING CONTEXT

The site comprises of one lot with existing crossovers to Fell Road and Isaac Street. The dwelling was removed in 2020 and the lot is now vacant. The site features planted species in the front setback and adjacent to the boundaries, with the balance of land grassed and regularly mowed. There is a cluster of Eucalyptus trees located in the northwestern corner of the site. The land to the north of the site is a larger lot addressed as 138 Woori-Yallock Road, which features a dwelling and grazed paddocks with scattered native and planted trees. Further north the land is subject to the Low Density Residential Zone and is developed with dwellings that address Francis Street. The land to the east of the proposed development site has a west facing slope of between 5° and 10° and features dwelling development set amongst cleared bushland. The land to the south of the site has a southwest facing slope of between 0° and 5° and is developed with detached dwellings with a larger lot subject to the Rural Conservation Zone to the southwest, where there is an orchard. The land to the west of the site slopes gentle downward to Cockatoo Creek and features Fell Road and its intersection with Woori-Yallock Road, with the tree-lined Cockatoo Creek further to the west.

The site is surrounded by developed residentially zoned land with a patchwork of residential development on similarly sized lots, larger lots to the west and open grassed paddocks further west. Remnant native trees remain on the land to the northwest though the understorey has been removed to accommodate residential development and planted garden. Access to lots to the east and south is provided via Fell Road and Isaac Street. The area features modified tree cover with the understorey vegetation removed or significantly modified to accommodate residential development. Further from the site is dense vegetation to the south, east and north, with grazed grassland to the west.

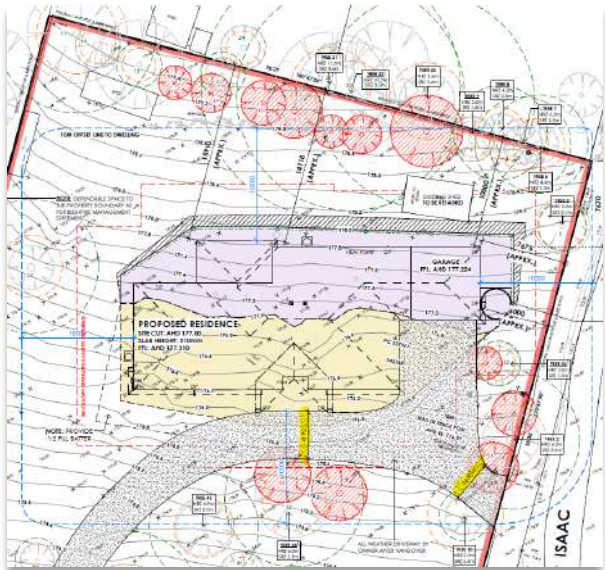




FIGURE 1 (ABOVE) SHOWS THE LOCATION OF THE SUBJECT SITES (RED DOT) IN CONTEXT WITH THE SURROUNDING DEVELOPMENT (LASSI, 2025).

1.4 PROPOSAL

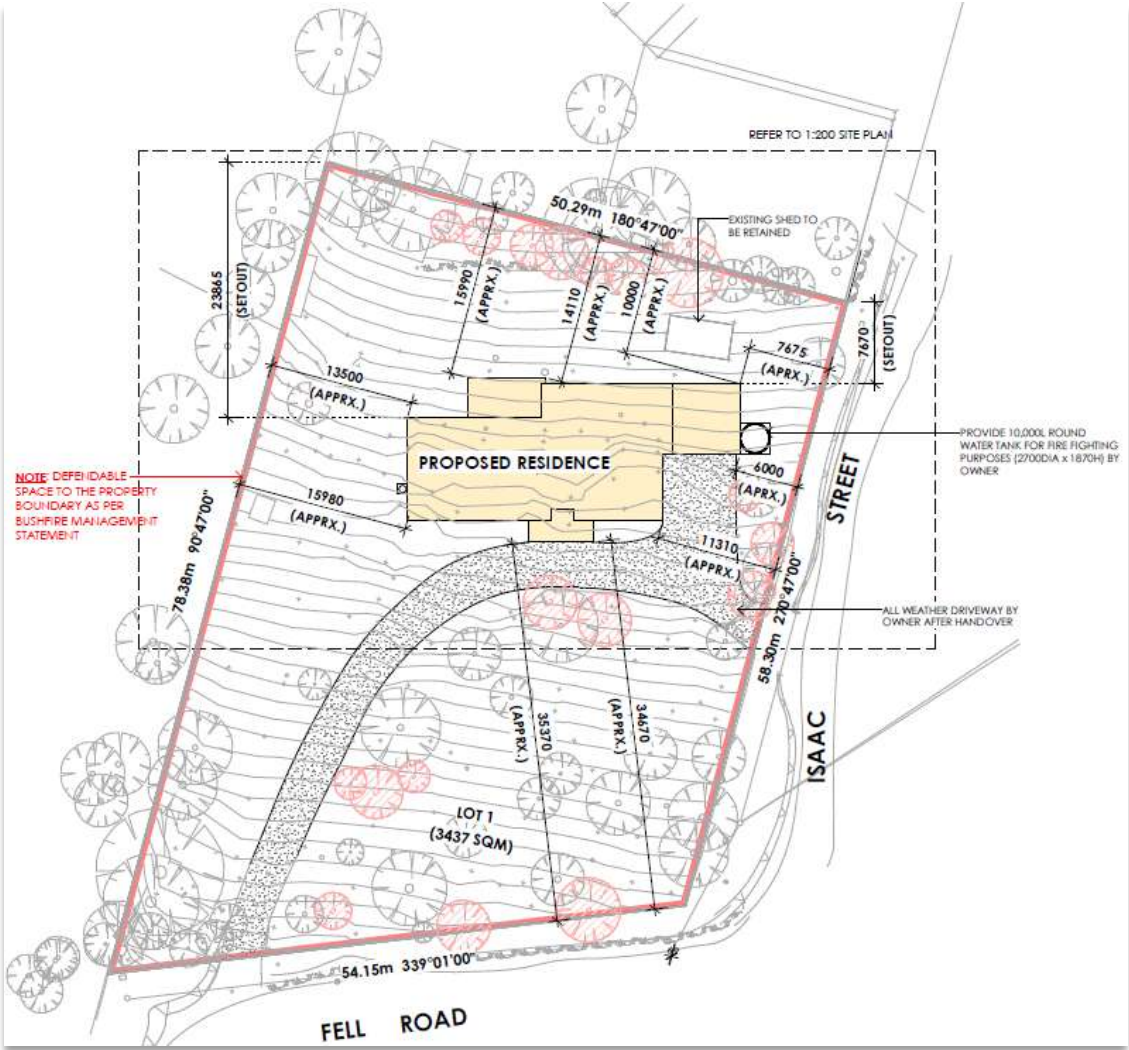
The proposal contemplates the development of the land for a dwelling that will be located generally in the southeastern portion of the site. The proposal also contemplates the removal of vegetation to achieve the required 5 metre canopy separation. The plans below are provided by *SJDHomes* and show the subject site and the siting of the proposed dwelling and (existing) access that has a minimum width of 3.7 metres and the provision of a 10,00Lt water tank within 4 metres of the access driveway, and also the vegetation removal plan (at bottom) that shows canopy separation of 5 metres of the discrete clusters of onsite vegetation (so to achieve the minimum removal necessary to mitigate risk in accordance with Table 6, clause 53.02-5).



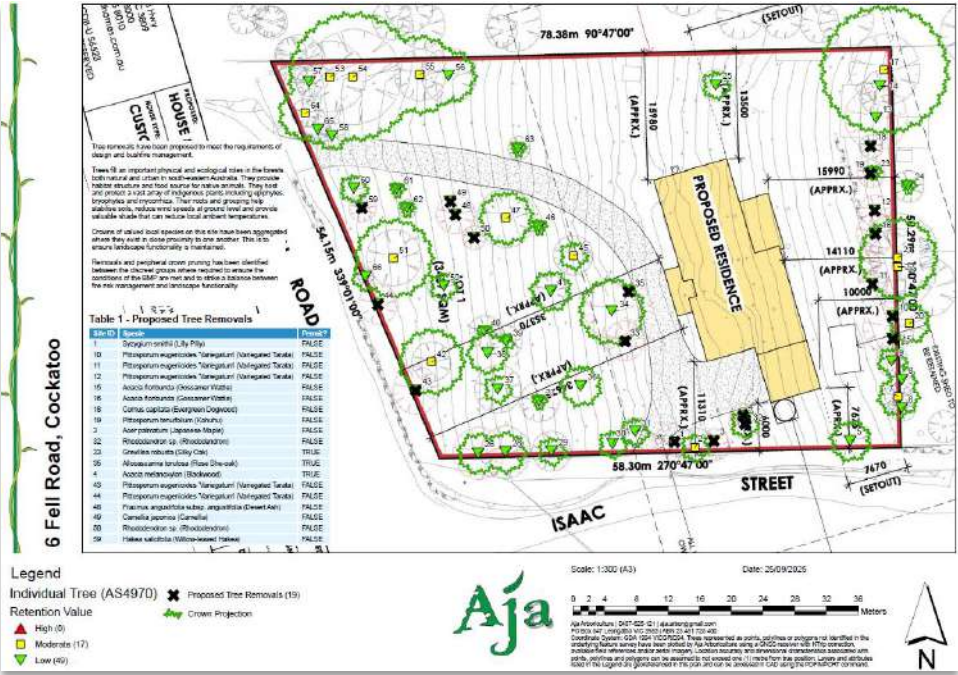


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FIGURES 3 (ABOVE) AND 4 (BELOW) SHOW A PARTIAL SITE PLAN WITH THE DWELLING, ACCESS AND WATERTANK (SJDHOMES, MARCH 2025) AND THE VEGETATION REMOVAL PLAN (AJA, 2025).



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2. BUSHFIRE PLANNING POLICY

2.1 PLANNING POLICY FRAMEWORK

Clause 13.02-1S (Bushfire) of the Planning Scheme applies to all decision making relating to land that is within a BPA; subject to the BMO; or proposed to be used or developed in a way that may create a bushfire hazard and seeks:

To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

Strategies employed to achieve the above-mentioned objective include:

- *prioritising the protection of human life;*
- *requiring a robust assessment of the bushfire hazard and risk assessment before any strategic or statutory decision is made; and*
- *directing population growth and new settlements to low risk locations.*

Clause 13.02-1S provides strategies that seek to mitigate risk associated with bushfire. The following table provides a response to the strategies of clause 13.02-1S.

PROTECTION OF HUMAN LIFE

GIVE PRIORITY TO THE PROTECTION OF HUMAN LIFE BY:	Cardinia ADVERTISED MATERIAL Planning Application: T250395 Date Prepared: 31 October 2025 RESPONSE
<i>Prioritising the protection of human life over all other policy considerations.</i>	• This proposal contemplates a dwelling development. The report demonstrates that the development meets the requirements of Clause 13.02-1S including the long term use and development controls through siting and construction to the required BAL. • Defendable Space will improve the safety of residential lots to the east and south, in the event a fire approaches from the west and north west, and lots to the north east should a fire approach from the south west.
<i>Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.</i>	• Dwellings exist adjacent to subject site and the proposed dwelling will be sited in an area of the site that features cleared vegetation with mowed lawns maintained in a low threat state. • The overall design can respond to the modified woodland vegetation to the northeast and east through setbacks and vegetation management to achieve defendable space. • The existing road network facilitates vehicle egress to surrounding areas identified as low risk locations, and areas mapped outside the BMO, as per below.

	• Access and egress are facilitated from Fell Road and Isaac Street which provides access and egress to Woori-Yallock Road to the west.
<i>Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision making at all stages of the planning process.</i>	• An application to develop the land for a dwelling needs to articulate how the design responds to the identified bushfire risk. Here the dwelling can achieve separation distances from any hazard that equates to a BAL29. • The surrounding topography and modified vegetation requires the dwelling to be constructed to a minimum BAL 29.

BUSHFIRE HAZARD IDENTIFICATION AND ASSESSMENT

IDENTIFY BUSHFIRE HAZARD AND UNDERTAKE APPROPRIATE RISK ASSESSMENT BY:	RESPONSE
<i>Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.</i>	• The Cardinia Planning Scheme relies on the planning proposal to respond to bushfire based on current assessment methods. • Clauses 13.02-1S, 44.06 and 53.02 have been considered and addressed by the proposal. • Clause 71.02-3 Integrated Decision Making strengthens the importance of bushfire planning as an appropriate tool to reconcile potential conflicts in design and vision. • The assessment method aligns with AS3959:2018; please review the Bushfire Hazard Site Assessment in this report.
<i>Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.</i>	• The planning proposal responds to the Bushfire Prone Area and the Bushfire Management Overlay. • This report evidences that sufficient setbacks from vegetation can be achieved to meet Column C of Table 2 of Clause 53.02 in all directions.
<i>Applying the Bushfire Management Overlay in planning schemes to areas where the extent of vegetation can create an extreme bushfire hazard</i>	• The BMO applies to the land recognising that the land is in an area of high bushfire hazard. The requirements of the BMO are addressed in this report.
<i>Considering and assessing the bushfire hazard on the basis of:</i> • <i>Landscape conditions - meaning the conditions in the landscape within 20</i>	• The development of land in the BMO requires all four scales to be considered. • The Landscape conditions and local site conditions are provided in Section 3 of this report.

kilometres and potentially up to 75 kilometres from a site; - Local conditions - meaning conditions in the area within approximately 1 kilometre from a site; - Neighbourhood conditions - meaning conditions in the area within 400 metres of a site; and, - The site for the development	- The Neighbourhood and Local conditions are provided below as Figures 6 and 7. - The Site conditions are considered in the Bushfire Hazard Site Assessment in Section 4 of this report.
Consulting with emergency management agencies and the relevant fire authority early in the process to receive their recommendations and implement appropriate bushfire protection measures.	It is expected that this development proposal would be referred to CFA for consideration as it is in the Bushfire Management Overlay.
Ensuring that strategic planning documents, planning scheme amendments, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures.	- This report provides evidence that informs the design and provides a basis for approval of the planning proposal, with regard to bushfire risk. - Assessing the site-based bushfire risk and including appropriate bushfire protection measures (e.g. managed vegetation, BALs, separation from the hazard) enables the achievement of the direction of the Planning Scheme.
Not approving development landowner or proponent satisfactorily demonstrated relevant policies have been performance measures satisfied or bushfire protection measures can be adequately implemented.	where a has not that the addressed bushfire protection measures are being implemented - Perhaps the most salient element of clause 13.02 as it empowers the Responsible Authority to refuse a permit application until it is satisfied that the bushfire protection measures are being implemented - This report demonstrates that the risk of bushfire should not be a reason for refusal.

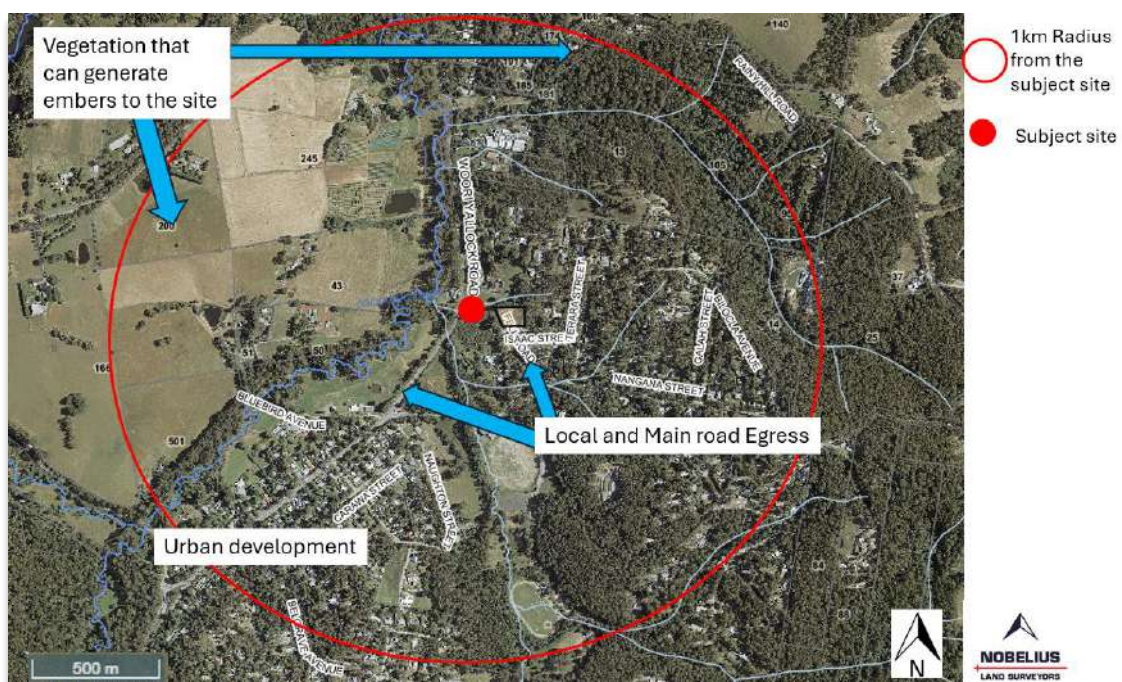


FIGURE 6 (ABOVE) – LOCAL CONDITIONS WITHIN 1KM OF THE SUBJECT SITE.



FIGURE 7 (ABOVE) – NEIGHBOURHOOD CONDITIONS WITHIN 400M OF THE SUBJECT SITE.

SETTLEMENT PLANNING

PLAN TO STRENGTHEN THE RESILIENCE OF SETTLEMENTS AND COMMUNITIES	ADVANCED MATERIAL	RESPONSE
PRIORITISE PROTECTION OF HUMAN LIFE <i>Directing population growth and development to low risk locations, being those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metre under AS3959:2018 Construction of Buildings in Bushfire Prone Areas (Standards Australia, 2018).</i>	Planning Application: T250395 Date Prepared: 31 October 2025 <i>The content of this report is made available for the purpose of the planning process as a public document. It is not to be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and will not disseminate or copy the content of the report.</i>	• The land is adjacent to lots in an established residential area that feature grass vegetation cover interspersed with modified woodland (to the north east and east) and planted gardens. The site is assessed as meeting the requirements of BAL29 given the slope and modified woodland to the north east and east of the site. • The site accommodated a dwelling until its removal in 2020, but is zoned for residential use and development. • Development of the land should only proceed where all elements of the BMO are achieved. • This report shows that the proposed development can achieve suitable separation from the bushfire hazard.
<i>Ensuring the availability of and access to areas assessed as BAL-LOW rating under AS3959-2018 Construction of Buildings in Bushfire Prone Areas (Standards Australia, 2018) where human life can be better protected from the effects of bushfire.</i>		• Areas of the site and surrounds can achieve BAL LOW, as per the BAL Contours plan in Figure 8 (below).
<i>Ensuring the bushfire risk to existing and future residents, property and community</i>		• The establishment and maintenance of Defendable Space will accompany the permit

<i>infrastructure will not increase as a result of the future land use and development.</i>	issued for the second dwelling which will ensure the proposal is subject to ongoing vegetation maintenance as per the BMP that will reduce bushfire risk to the residence and surrounding lots. The increased level of vegetation management will reduce the risk of bushfire to existing dwellings and residents on adjacent lots.
<i>Achieving no net increase risk to existing and future residents, property and community infrastructure, through the implementation of bushfire protection measures and where possible reduce the bushfire risk overall.</i>	The BMO applies to the land recognising that the land is in an area of high bushfire hazard. The new dwelling will implement the current regulations pertaining to bushfire construction.
<i>Assessing and addressing the bushfire hazard posed to the settlement and the likely bushfire behaviour it will produce at a landscape, settlement, local, neighbourhood and site scale, including the potential for neighbourhood-scale destruction.</i>	Please refer to the Landscape Assessment Plan Section 3 of this report; the Local and Neighbourhood conditions are considered in Figures 6 and 7 in Section 2 of this report (above); and the Site conditions are considered in the Bushfire Hazard Site Assessment in Section 4 of this report.
<i>Assessing alternative Low Risk locations for settlement growth on a regional, municipal, settlement, local and neighbourhood basis.</i>	- The proposal contemplates the development of a dwelling that can achieve a BAL of 29. - The proposal increases resilience by applying a prescribed management to the defensible space across the land, which benefits the existing residential lots adjacent to the subject site. - It is expected that this development would be referred to CFA for consideration as it is in the Bushfire Management Overlay.
<i>Not approving any strategic planning document, local planning policy, or planning scheme amendment that will result in the introduction or intensification of development in an area that has, or will on completion have, more than BAL-12.5 rating under AS3959:2009.</i>	- Perhaps the most important element of clause 13.02 as it empowers the Responsible Authority to refuse a permit application until it is satisfied with the bushfire protection measures being implemented. - The proposal contemplates a statutory application only and is not a strategic proposal. - This report demonstrates that the risk of bushfire should not be a reason for refusal.

AREAS OF HIGH BIODIVERSITY CONSERVATION VALUE

The objective here is to ensure settlement growth and development approvals can implement bushfire protection measures without unacceptable biodiversity impacts by discouraging settlement growth and development in bushfire affected areas that are of high biodiversity conservation value.

The land is adjacent to established residential lots where understorey vegetation has been removed to provide areas for residential land use and development.

There has been an dwelling on the land (removed in 2020) and the proposed replacement dwelling has the capacity to achieve BAL 29 conditions (Please refer to Figure 7, above) and mitigate the bushfire risk posed by the surrounding land, particularly with regard to vegetation management.

USE AND DEVELOPMENT CONTROL IN A BUSHFIRE PRONE AREA

REQUIREMENTS	RESPONSE
<i>Use and development control in a Bushfire Prone Area designated in accordance with regulations made under the Building Act 1993, bushfire risk should be considered when assessing planning applications for the following use and development:</i> • Subdivision of more than 10 lots • Accommodation <i>When assessing a planning permit application for the above uses and development:</i> • Consider the risk of bushfire to people, property and community infrastructure. • Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk. • Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.	• Development controls do apply as the proposal contemplates the development of a replacement dwelling and this report demonstrates that the dwelling meets the requirements of clause 13.02-1S including the long term intent of the use and development controls. • This report provides responses to the requirements of clauses 44.06 and 53.02, including an assessment of likely fire behaviour and risk to future residents. • In the context of strategic planning decisions, these strategies need to consider the 'net increase in risk to existing and future residents'. As it relates to the objectives at Clause 13.02-1S of the Planning Scheme, it is necessary to ensure that the protection of human life is prioritised when decisions are made. However, the strategies listed at Clause 13.02-1S in the Planning Scheme are not 'mandatory requirements' and it is not necessary to 'tick every box'. It is more important to ensure that decisions are consistent with the State policy objectives and build resilient communities.

PLANNING POLICY DOCUMENTS TO BE CONSIDERED	RESPONSE
Any relevant approved state, regional and municipal fire prevention plan.	Fire prevention measures included in the Metropolitan Bushfire Management Strategy 2020 and the Joint Fuel Management program (2024) ensures roadsides and public space is managed; fire suppression through planned burns, slashing, spraying and mulching.
AS3959:2018 Construction of Buildings in Bushfire Prone Areas (Standards Australia, 2018).	Bushfire Attack Levels employ this standard to determine the BAL for the site. Section 7 of the standard has regard to the construction of a dwelling in accordance with BAL29.
Living in bushfire-prone areas – CSIRO & Standards Australia (SAA HB 330-2009, December, 2009)	This is the handbook to AS3959, which does not need to be considered in the planning proposal.

Any Bushfire Prone Area map prepared under the Building Act 1993 or regulations made under the Act.	The updated Bushfire Prone Area mapping has been considered in this report.
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CLAUSE 71.02-3 INTEGRATED DECISION MAKING

Clause 71.02-3 Integrated decision making seeks to balance the needs and expectations of the community in terms of the provision of built form to accommodate a growing population, protection of the environment, economic wellbeing, various social needs, management of resources and infrastructure.

Clause 71.02-3 has been updated (February, 2022) and aims to balance these needs and expectations through the employment of the Planning Scheme to ensure conflicting objectives are balanced in favour of net community benefit and sustainable development for the benefit of present and future generations. It states that in bushfire affected areas, planning must prioritise the protection of human life over all other policy considerations.

Our proposal contemplates development of land for a dwelling in an area identified in the BPA and is subject to the BMO. The proposal presents an opportunity to balance the demand for housing by the growing population, mitigate the risks associated with the land and preserve the environmental assets on and around the lot.

3. BUSHFIRE HAZARD LANDSCAPE ASSESSMENT

Consideration of the surrounding landscape in bushfire decisions is salient because the accuracy of the models in reflecting bushfire exposure on a particular site vary in different landscapes and under different conditions. The scale of a bushfire, its severity, intensity and potential impact on life and property is driven by the characteristics of the broader landscape, rather than those characteristics within 150 metres of the site¹. The extent and continuity of the vegetation, the topography including the orientation of ridgelines and the steepness of the terrain, the potential fire runs, the location and exposure of a site and the extent of damage are all factors that influence bushfire behaviour at a landscape scale and the risk posed to subject site.

The Bushfire Hazard Landscape Assessment includes a plan that describes the bushfire hazard of the area surrounding the site. Refer to Figure 8 below.



¹ Planning Permit Application Bushfire Management Overlay - Technical Guide, DELWP (2017:10)

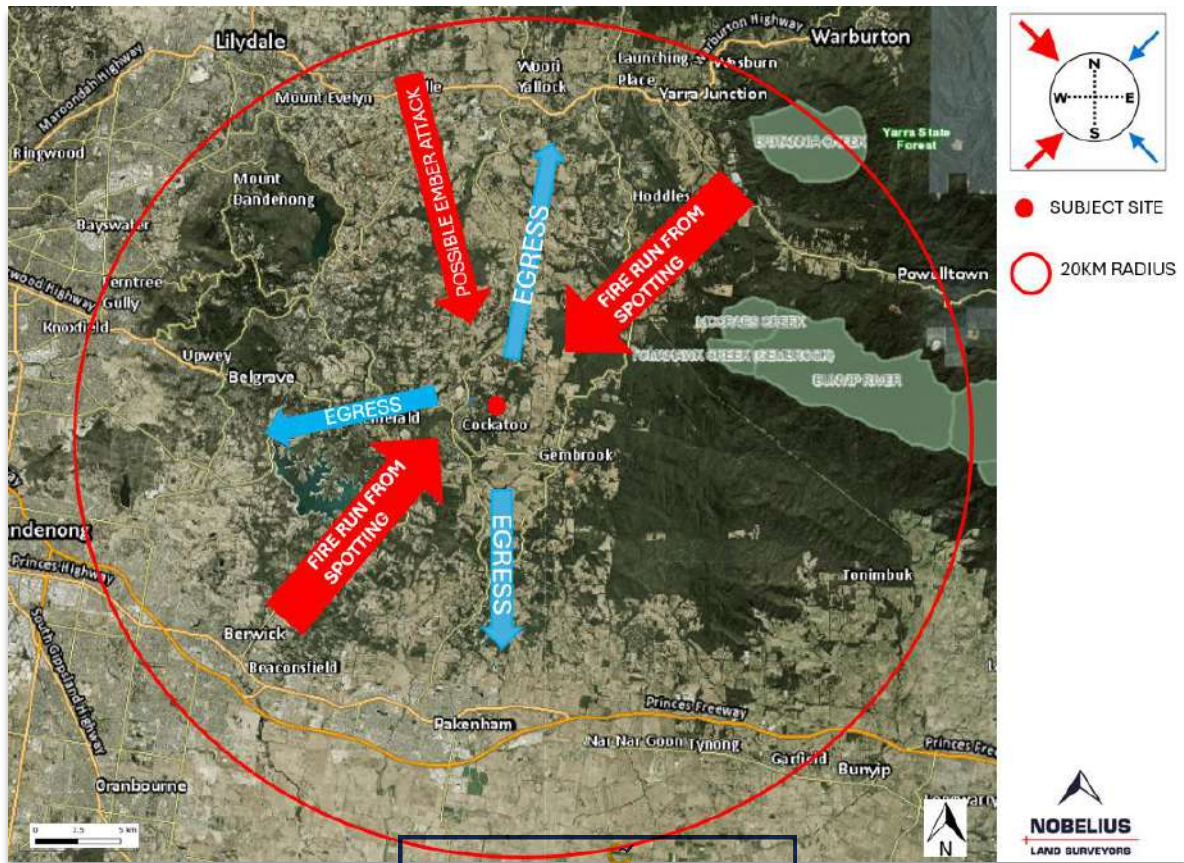


FIGURE 8 (ABOVE) - THE BUSHFIRE HAZARD LANDSCAPE PLAN FOR 6 FELL ROAD, COCKATOO.

The site is located among similarly zoned and development parcels with local road access. The surrounding area exhibits characteristics that will enable fire runs with the most likely scenario involving ember attack from a fire in the to the north, northwest, west driven by a north-westerly wind progressing in a south-easterly direction. Typically, an approaching cold front from the southwest will redirect the fire and expand the easterly flank to a wide front and intensify the fire. These conditions are consistent with the fire history of Ash Wednesday and characterised by fast-moving fires with powerful convection columns, which in turn cause extreme fire behaviour and ember storms. An interrupted fire run is more likely to occur with ember attack igniting local fuel sources such as aged dwellings and unmanaged vegetation.

3.1 LANDSCAPE TYPE

The surrounding landscape is characteristic of the **'Broader Landscape Type Three'** as defined by DELWP²:

- The type and extent of vegetation located more than 150m from the site may result in neighbourhood -scale destruction as it interacts the bushland hazard on and close to the site.
- Bushfire can approach from more than one aspect.
- The site is located in an area that is not managed in a minimum fuel condition.
- Access to an appropriate place that provides shelter from bushfire is not certain.

² Planning Permit Application Bushfire Management Overlay - Technical Guide, DELWP (2017:13)

3.2 VEGETATION IN THE BROADER LANDSCAPE

The subject site is surrounded by vegetation that has been modified for agriculture or residential development and is consistent with areas of grazed pasture to the immediate northwest, west and southwest, with modified woodland to the northeast, east and within 150m to the north and southwest. The site is located on a west-facing moderate slope with undulating topography surrounding the site. If the vegetation modified (woodland) were allowed to regenerate it would eventually meet the characteristics of Open Forest (A-03) (AS3959:2018). Areas adjacent to the northwestern, western and southwestern boundaries have been assessed as Excluded vegetation given the built form (roads, dwelling development and grazed paddocks kept in a low threat state). The vegetation occurs in patches and is subject to private and public ownership.

3.3 TOPOGRAPHY OF THE BROADER LANDSCAPE

The topography of the surrounding landscape is typical of this region. The topography of the land ranges from gently undulating to steep gullies associated with waterways and creek tributaries. The topography combined with the vegetation may enable a landscape bushfire scenario to occur.



FIGURE 9 - THE TOPOGRAPHY OF THE SURROUNDING AREA IS REPRESENTED BY THE MAP ABOVE. THE SUBJECT SITE IS LOCATED CENTRALLY ON THE MAP AND IS SURROUNDED BY UNDULATING TO STEEP TOPOGRAPHY (VICTORIAN FIRE RISK REGISTER 2025).

3.4 SURROUNDING ROAD NETWORK

The site has access via Fell Road, which is an unmade signposted road. The local road intersects with Woori Yallock Road to the west, which is a north to south thoroughfare and zoned as a Transport Road Zone 2 and part of the Principal Road Network. These roads provide access to urban development and land beyond the BMO and BPA. Please refer below to Figure 10 below.



FIGURE 10 (ABOVE) SHOWS THE SUBJECT SITE IN CONTEXT WITH SURROUNDING ROAD NETWORK (LASSI, 2025).

3.5 BUSHFIRE HISTORY OF THE AREA

The Victorian Fire Risk Register lists bushfire events in the region. The area to the east of the subject site, proximate to Bunyip State Forest has a history of bushfire and fuel reductions burns (1995, 2008 and 2018) with a fire that burnt 342 hectares with an unknown source in 2009. The area to the north associated with Mount Dandenong and the Dandenong Ranges also exhibits a fire history with bushfires and fuel burns in 1939, 1983, 2009, 2019. Fires associated with Kirth Kiln and the Bunyip State Park to the east are more prevalent and recent, though it is unlikely that a fire in the east would be driven by an easterly wind and provide ember attack from that direction, as per Figure 11 below that shows the spatial and temporal context of bushfire history.

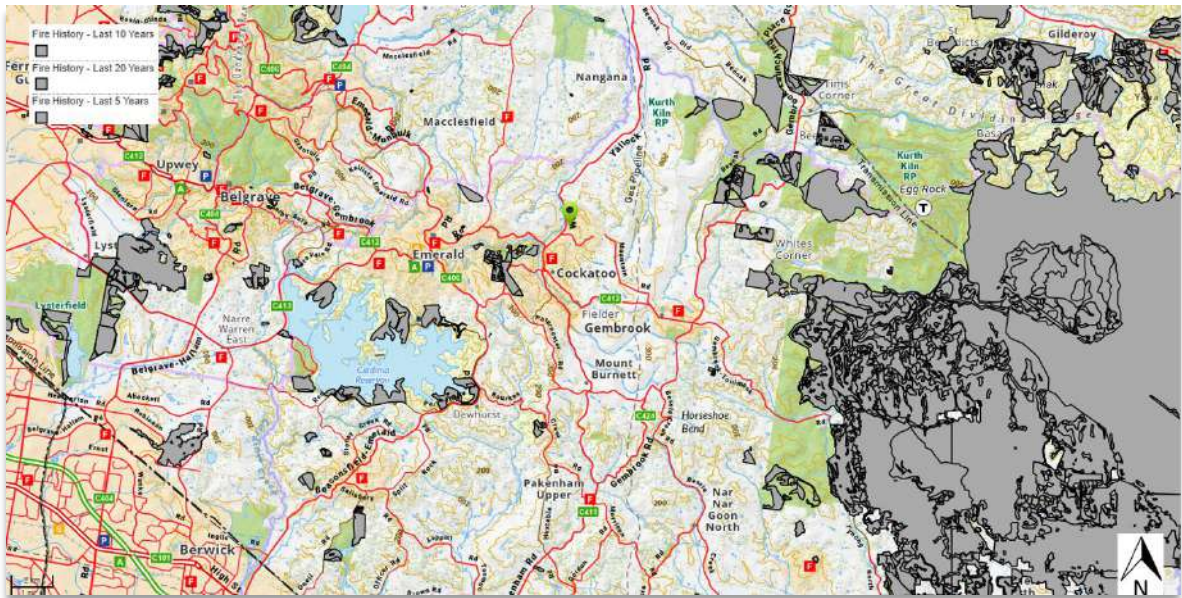


FIGURE 11 (ABOVE) SHOWS THE SUBJECT SITE (BLUE DOT) IN CONTEXT WITH FIRE HISTORY OF THE SURROUNDING AREA, WITH GREY AREAS REPRESENTING WHERE BUSHFIRE HAVE OCCURRED, VICTORIA FIRE RISK REGISTER, 2025 (https://www.vfrr.vic.gov.au/vfrr_map.php#).

3.6 BUSHFIRE SCENARIOS

The site is at a high risk of bushfire due to the large tracks of modified and unmodified vegetation evidencing connectivity and fire run potential proximate to residential built form serviced by a range of made and unmade road conditions. Consideration of these contributing factors to the potential bushfire behaviour has informed the following bushfire scenario.

SCENARIO 1 – BUSHFIRE FROM THE NORTH

A bushfire that starts in the forested areas to the north, Dandenong Ranges, or the grassland to the north may deliver embers to the subject if fanned by a north westerly wind; the most notorious wind during a Victorian summer. An ember attack from this direction can result in spot fires.

SCENARIO 2 – BUSHFIRE FROM THE WEST, SOUTHWEST

A bushfire that starts in the forested areas associated with Mount Dandenong or the bushland associated with the Cardinia Reserve or Wright Forest to the southwest may deliver embers to the subject site if fanned by a south westerly wind change which describes a is a typical wind change scenario during a Victorian summer. An ember attack from this direction can result in spot fires. The grazed grasslands to the west proximate to the subject site will create embers and increase the risk of spot fires.

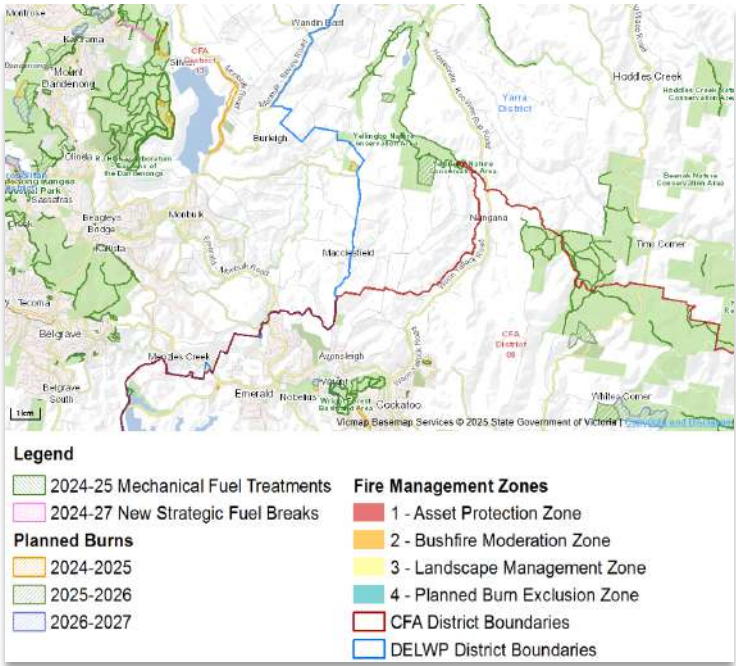
SCENARIO 3 – BUSHFIRE FROM THE NORTHWEST

A bushfire that starts in the forested area associated with Bunyip State Forest and Kirth Kiln Regional Park may deliver embers to the subject if fanned by an easterly wind, though this would need the wind to be driven in an easterly direction, which is an unlikely scenario. An ember attack from this direction can result in spot fires.

3.7 REGIONAL BUSHFIRE PLANNING

The Cardinia Municipal Emergency Management Plan 2022-2025), the Cardinia Municipal Fire Management Plan 2022-2025, and the Metropolitan Bushfire Management Strategy 2020 and provide strategic, operational and tactical planning for bushfire hazard that may impact on planning objectives. The Joint Fuel Management program 2024 identifies areas around the subject site that have been and will be subject to mechanical fuel treatments and planned burns, especially to the west in Wright Forest. These burns are indicated in the extract from the CFA and FFMVic planned burns mapping (extracted 30th June 2025); <https://www.ffm.vic.gov.au/bushfire-fuel-and-risk-management/joint-fuel-management-program>





The JFMP provides information where a range of land use planning matters intersect with a bushfire hazard to influence the level of risk to life and property from bushfire. This information is required to be used as part of strategic land use and settlement planning at the municipal and local levels.

After review of the Cardinia Municipal Emergency Management Plan 2022-2025, the following specific references are noted:

- Remnant vegetation contained in public reserves and on private property throughout the area;
- Various roads provide access and egress to and from this area, though many are unmade;
- A growing population living on the intersection of urban and rural environments.

4. BUSHFIRE HAZARD SITE ASSESSMENT

The Bushfire Hazard Site Assessment (BHSA) documents the hazard on and near the site. The BHSA provides information on the vegetation and slope on and near the site and informs defensible space and building construction requirements. The description of the hazard is in accordance with AS3959:2018 Construction of Buildings in bushfire prone areas (Standards Australia) excluding part (a) of section 2.2.3.2 (vegetable exclusions). Refer to Figure 12 below for a plan that describes the bushfire hazard within 150 metres of the subject site. Vegetation is detailed in Table 1 below. Distances are detailed in Tables 2 and 3 below.



Cardinia

ADVERTISED MATERIAL

Planning Application: T250395
Date Prepared: 31 October 2025

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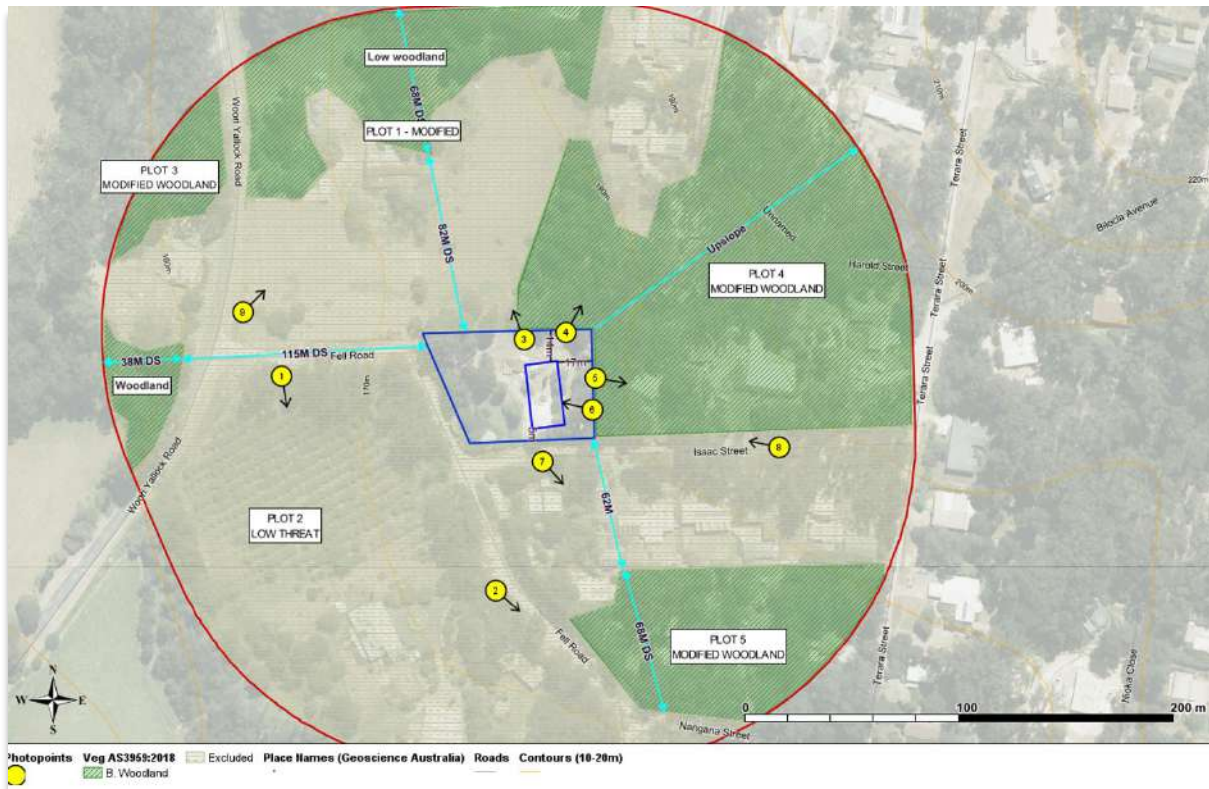


FIGURE 12 (ABOVE) – THE BUSHFIRE HAZARD SITE ASSESSMENT FOR THE SUBJECT SITE.

4.1 VEGETATION WITHIN 150M OF THE SITE

The vegetation within the 150-metre assessment area was classified according to AS3959:2018, Technical Guide (DELWP, 2017), and the Overall Fuel Hazard Assessment Guide (DSE, 2010). The AS3959:2018 approach employs a generalised description of vegetation based on the AUSLIG (Australian natural Resource Atlas: No. 7 Native Vegetation) classification system. According to this system, vegetation can be classified into seven categories associated with a particular fire behaviour, which are then employed to determine bushfire intensity.

To the west, north and south of the site is Low Threat vegetation as assessed due to the nature of the residential development and removal of most of the remnant vegetation and all the understorey, being replaced with planted garden maintained in a low threat state. Grazed paddocks in a low fuel state dominate the land adjacent to the northern boundary with an orchard to the west and residential allotments to the south. The balance of land is employed for residential development though the vegetation remains intact in isolated areas and adjacent to roadways. The land to the south and southwest features a very gentle downward slope toward Cardinia Creek. The land to the north undulates but is generally downslope toward the northwest and upslope toward the northeast. The vegetation to the northeast, as indicated in Figure 12, is modified to accommodate residential development with most of the native understorey removed. The canopy trees however, do exhibit connectivity, and the vegetation could enable a fire run developing.

The forms of classifiable vegetation identified within 150 metres of the site are described in Table 1 below.

*All photos and plots mentioned below relate to plots and photo points shown in the BHSa plan above.

TABLE 1 – VEGETATION WITHIN 150M OF THE SITE

MODIFIED WOODLAND (GROUP B, B-05) (MODIFIED) – PLOTS 1, 3, 4 AND 5
VEGETATION DESCRIPTION (AS3959:2018) Trees up to 30 metre high: 10% - 30% foliage cover typically dominated by Eucalyptus, and/ or callistemon with a predominant grassy understorey. DESCRIPTION OF VEGETATION IN PLOTS 1, 3, 4 AND 5 The vegetation cover to the northwest, northeast, and southeast of the subject site features Eucalyptus trees with the middle and understorey largely removed or modified to enable residential development and lot maintenance. Near surface vegetation cover is dominated by introduced species, or has been removed entirely. 5 Isaac St Cockatoo VIC ☉ 239°SW (T) ☉ 37°55'19"S, 145°30'15"E ±12m ▲ 193m  8 NLS Bushfire Planning 09 Jun 2025, 23:32:19 UTC 6 Isaac St Cockatoo VIC ☉ 30°NE (T) ☉ 37°55'17"S, 145°30'11"E ±20m ▲ 183m  4 NLS Bushfire Planning 09 Jun 2025, 23:40:22 UTC
EXCLUDED (UNDER CL 2.2.3.2 OF AS3959:2018) PLOT 2
VEGETATION DESCRIPTION Vegetation can be considered 'excluded' from a BAL assessment if they are "non-vegetated areas that are permanently cleared of vegetation such as roads, footpaths and buildings", and vegetation regarded as low threat due to factors such as flammability, moisture content or fuel load including grassland managed in a minimum fuel conditions (recognised as short-crop grass to a nominal height of 100mm), maintained lawns, cultivated gardens and nature strips. SITE DESCRIPTION To the west, northwest and south of the subject site is vegetation consistent with descriptions of low threat or non-vegetated areas including lawns, cultivated gardens, roads and footpaths.



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4.2 TOPOGRAPHY WITHIN 150M OF THE SITE

The topography of the site and surrounding area is consistent with undulation with ridgelines and valleys creating a topographic character synonymous with the Dandenong Foothills.


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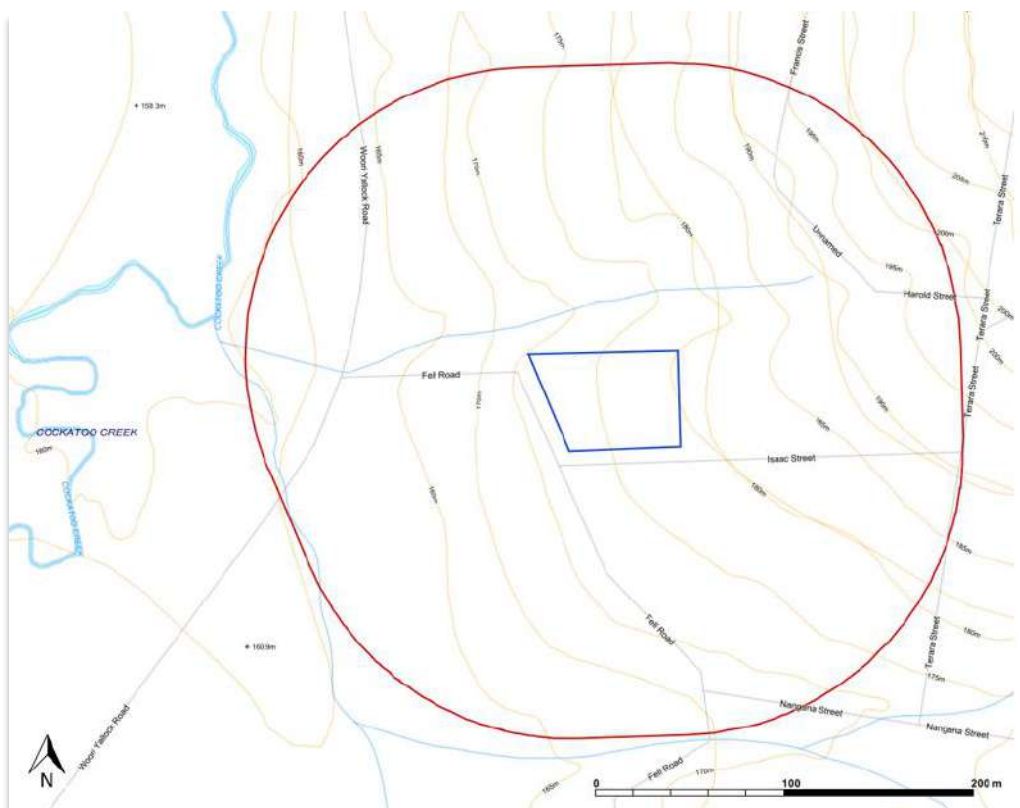


FIGURE 13 (ABOVE) SHOWS THE CONTOURS OF THE LAND ON THE SITE AND IN THE VICINITY, LASSI, 2025.

4.3 SEPARATION OF THE SITE FROM THE HAZARD AND THE BAL

The Bushfire Attack Level (BAL) is a means of measuring a building's potential exposure to ember attack, radiant heat and direct flame contact using increments of radiant heat expressed in kilowatts per square metre. The BAL is also the basis for establishing the requirements for construction to improve protection of building elements from bushfire with the highest BAL employed to determine the construction requirements. The BAL for this site has been calculated using a Forest Fire Danger Index (FFDI) of 100 and a Flame Temperature of 1090k. These parameters are consistent with the risk parameters set in Clause 53.02 and are in accordance with the risk parameters set in AS3959:2018.

An assessment of the site conditions was undertaken and informs the BAL assessment. The proposal to develop the land for a dwelling meets the requirements of BAL 29 given the modified nature of the surrounding vegetation. The Defendable Space required extends across the site to the site boundaries, thus ensuring that the land is maintained in a low threat vegetation state into the future, benefiting the subject lot and surrounding lots.

The tables below document the classifiable vegetation, the slope under the vegetation, the separation of the site from the hazard (the defendable space) and the Bushfire Attack Level (BAL) within 150m of the subject lot.

BAL ASSESSMENT – 6 FELL ROAD

ORIENTATION	HIGHEST THREAT VEGETATION	SLOPE UNDER CLASSIFIABLE VEGETATION	SEPARATION DISTANCE	BUSHFIRE ATTACK LEVEL (BAL)
NORTHWEST	EXCLUDED	-	-	-
NORTHEAST	MODIFIED WOODLAND	UPSLOPE	17M	BAL29
EAST	MODIFIED WOODLAND	UPSLOPE	17M	BAL29

SOUTH	EXCLUDED	-	-	-
WEST	EXCLUDED	-	-	-

ASSUMPTIONS:

- Defendable space is managed to the boundary fence.
- Woodland to the north is significantly modified with the paddocks grazed to a low threat level (<100mm), middle and under storey vegetation is removed to allow for dwelling development and planted gardens on residentially zoned land.
- Garden areas associated with residential development to the south, west, north west are managed in a low threat state.

DEFENDABLE SPACE DETERMINATION

The table below documents the defendable space and the Bushfire Attack Level (BAL) for the dwelling.

6 FELL ROAD

ORIENTATION	HIGHEST THREAT VEGETATION	SLOPE UNDER CLASSIFIABLE VEGETATION	SEPARATION DISTANCE CURRENTLY	DEFENDABLE SPACE REQUIRED
NORTHWEST	EXCLUDED	-	-	-
NORTHEAST	MODIFIED WOODLAND	FLAT/UPSLOPE	17 METRES (FROM PROPOSED DWELLING)	50M OR TO THE PROPERTY BOUNDARY
EAST	MODIFIED WOODLAND	UPSLOPE	-	50M OR TO THE PROPERTY BOUNDARY
SOUTH	EXCLUDED	-	26 METRES	-
WEST	EXCLUDED	-	-	-



5. BUSHFIRE MANAGEMENT STATEMENT

Clause 53.02 contains a range of sub clauses with associated objectives, approved measures (AM), alternative measures (AltM) and decision guidelines. The following table details which clauses are relevant to this application. The following pages demonstrate how the requirements have been met for each relevant standard and those contained in Clause 44.06.

CLAUSE		APPROVED MEASURE	APPLICABILITY	JUSTIFICATION
CLAUSE 53.02-3	Dwellings in existing settlements – Bushfire protection objective	AM 1.1 AM 1.2 AM 1.3	Applicable Applicable Applicable	
CLAUSE 53.02-4.1	Landscape, siting and design objectives	AM 2.1 AM 2.2 AM 2.3	Applicable Applicable Applicable	
CLAUSE 53.02-4.2	Defendable space and construction objectives	AM 3.1 AM 3.2 AltM 3.3 AltM 3.4 AltM 3.5 AltM 3.6	Applicable Not applicable Not applicable Not applicable Not applicable Not applicable	Dwelling Defendable space contained onsite Method 1 AM3.1 can be achieved Dwelling
CLAUSE 53.02-4.3	Water supply and Access objectives	AM 4.1 AM 4.2	Applicable Not applicable	Dwelling
CLAUSE 53.02-4.4	Subdivision objectives	AM 5.1 AM 5.2 AM 5.3 AM 5.4 AltM 5.5	Not applicable Not applicable Not applicable Not applicable Not applicable	

The following part of the report provides a response to each of the relevant clauses with justification as to how this proposed subdivision responds to the require

CLAUSE 53.02-3 DWELLINGS IN EXISTING SETTLEMENTS – BUSHFIRE PROTECTION OBJECTIVE

To specify bushfire design and construction measures for a single dwelling or alteration and extension to an existing dwelling that reduces the risk to life and property to an acceptable level.

AM 1.1

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is in close proximity to a public road.
- Access can be provided to the building for emergency services vehicles.

AM 1.2

A building provides the defendable space in accordance with Table 1 columns A,B,C, D or E and table 6 to Clause 53.02-5. Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that conditions as part of defendable space.

A building is constructed to the bushfire attack level:

- That corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5, or
- The next lower bushfire attack level that corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5 where all of the following apply:
 - A private bushfire shelter (a Class 10c building within the meaning of the Building Regulations 2006) is constructed on the same land as the dwelling.
 - A minimum bushfire attack level of BAL12.5 is provided in all circumstances.

AM1.3

A building is provided with:

- A static water supply is provided for fire fighting and property protection purposes specified in table 4 to Clause 53.02-5. The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for firefighting water supplies.
- Vehicle access that is designed and constructed as specified in table 5 to Clause 53.02-5.

Response: The proposed dwelling is located in the southeastern portion of the lot, which is furthest from the northwestern direction (likely to be the direction of an approaching fire or ember attack). The lots to the west, north and southeast evidence low threat vegetation (grazed grass to a low fuel state, dwelling development). The dwelling is in close proximity to two public roads and is accessible by Emergency Services vehicles.

The building provides defendable space in accordance with Column C of Table 1, Cl 53.02-5. Defendable space is required for 50metres or to the property boundary given the proximity of modified vegetation to the site. The classified vegetation to the east and northeast is modified woodland.

The dwelling is required to be constructed to BAL 29.

Given the area of the lot measures 3,437m² the building will be provided with a water tank with 10,000ltrs that is fitted with Fire Authority fittings and access to Emergency Services will be provided, as per Table 4 to clause 53.02-5.

Vehicle access is provided via the existing driveway and crossover from Isaac Street, which is less than 30 metres from the road.

Clause 53.02-3.1 decision guidelines

The proposal is consistent with the Cardinia Municipal Planning Strategy and the Planning Policy Framework. Please refer to the corresponding Town Planning report.

The BHSA and the BMS contained within this report provides evidence that the proposal is compliant with the requirements of clause 53.02 and can mitigate the bushfire risk in the surrounding landscape. The approved measures 1.1, 1.2 and 1.3 have been incorporated into this proposal.

AM 1.1, 1.2, 1.3

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CLAUSE 53.02-4.1 LANDSCAPE, SITING & DESIGN OBJECTIVES-BUSHFIRE PROTECTION OBJECTIVES

Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.

Development is sited to minimise the risk from bushfire.

Development is sited to provide safe access for vehicles, including emergency vehicles.

Building design minimises vulnerability to bushfire attack.

AM 2.1 (Landscape)

The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.

AM 2.2 (Siting)

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is in close proximity to a public road.
- Access can be provided to the building for emergency service vehicles.

AM 2.3 (Building design)

A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.

Response: The proposed dwelling is located in the southeastern portion the lot with parcels to the west, north and south developed with dwellings and gardens that are consistent with low threat vegetation. The proposed dwelling is located 32 metres from the southern boundary, 14 metres from the northern boundary, 17 metres from the eastern boundary and 5 metres from the southern boundary. The slope under the modified vegetation to the northeast and east upslope and requires a BAL of 29 to be applied to the construction and defensible space to be maintained to the property boundary. These measures ensure the proposal can achieve the required setback from the hazard. The Bushfire Hazard Landscape Assessment identifies the site as consistent with a Landscape type 3 because the vegetation and topography in the broader landscape could contribute to a fire resulting in neighbourhood-scale destruction with the potential for a fire to approach from the northwest or southwest, should a grassfire develop in the farmland to the west and be driven by a south-westerly wind. The proposed dwelling is located in close proximity to the public roads and can mitigate the bushfire risk to an acceptable level through setback and design. The approved measure is met.

The building will be constructed to BAL29 specifications, as per Section 7 in AS3959:2018 Construction of buildings in Bushfire Prone Areas.

The building is designed with a pitched roof and avoids detail where embers can be trapped or lodged, and employs materials that are non-combustible.

AM 2.1, 2.2, 2.3

CLAUSE 53.02-4.2 DEFENDABLE SPACE & CONSTRUCTION OBJECTIVE

Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings.

AM 3.1

A building used for a dwelling (including an extension or alteration to a dwelling), small second dwelling, industry, office or retail premises is provided with defendable space in accordance with:

- Table 2 Columns A, B or C and Table 6 to Clause 53.02-5 wholly within the title boundaries of the land; or
- If there is significant siting constraints, Table 2 Column D and Table 6 to Clause 53.02-5.

The building is constructed the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5.

Response: Defendable space is in accordance with Column C, of Table 2 (BAL29) and defendable space will be provided to the property boundaries.

The vegetation management requirements of table 6 to clause 53.02-5 will be provided.

AM 4.1

CLAUSE 53.02-4.3 WATER SUPPLY AND ACCESS OBJECTIVES

A static water supply is provided to assist in protecting property.

Vehicle access is designated and constructed to enhance safety in the event of a bushfire.

A building used for a dwelling (including an extension or alteration to a dwelling), a small second dwelling, industry, office or retail premises is provided with:

- **A static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-5.**
- **Vehicle access that is designed and constructed as specified in table 5 to Clause 54.02-5.**

The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for firefighting water supplies.

Response: The proposed dwelling (located on a lot that measures 3,437m²) requires a water supply to be provided in a non-combustible tank with a minimum capacity of 10,000litres of water with CFA couplings. Access to the water supply is required for CFA vehicles. The site plan shows that the dwelling has space to provide these water supply requirements, and access requirements including a driveway of less than 30 metres, for which there are no design or construction requirements in AM4.1.

The Site Plan provided by *SJDHomes* in conjunction with information regarding the topography of the site shows that the Dwelling can accommodate these construction and design requirements.

AM 4.1

EXPECTED PLANNING PERMIT CONDITIONS

It is anticipated that the following conditions would be included in the event a planning permit is issued.

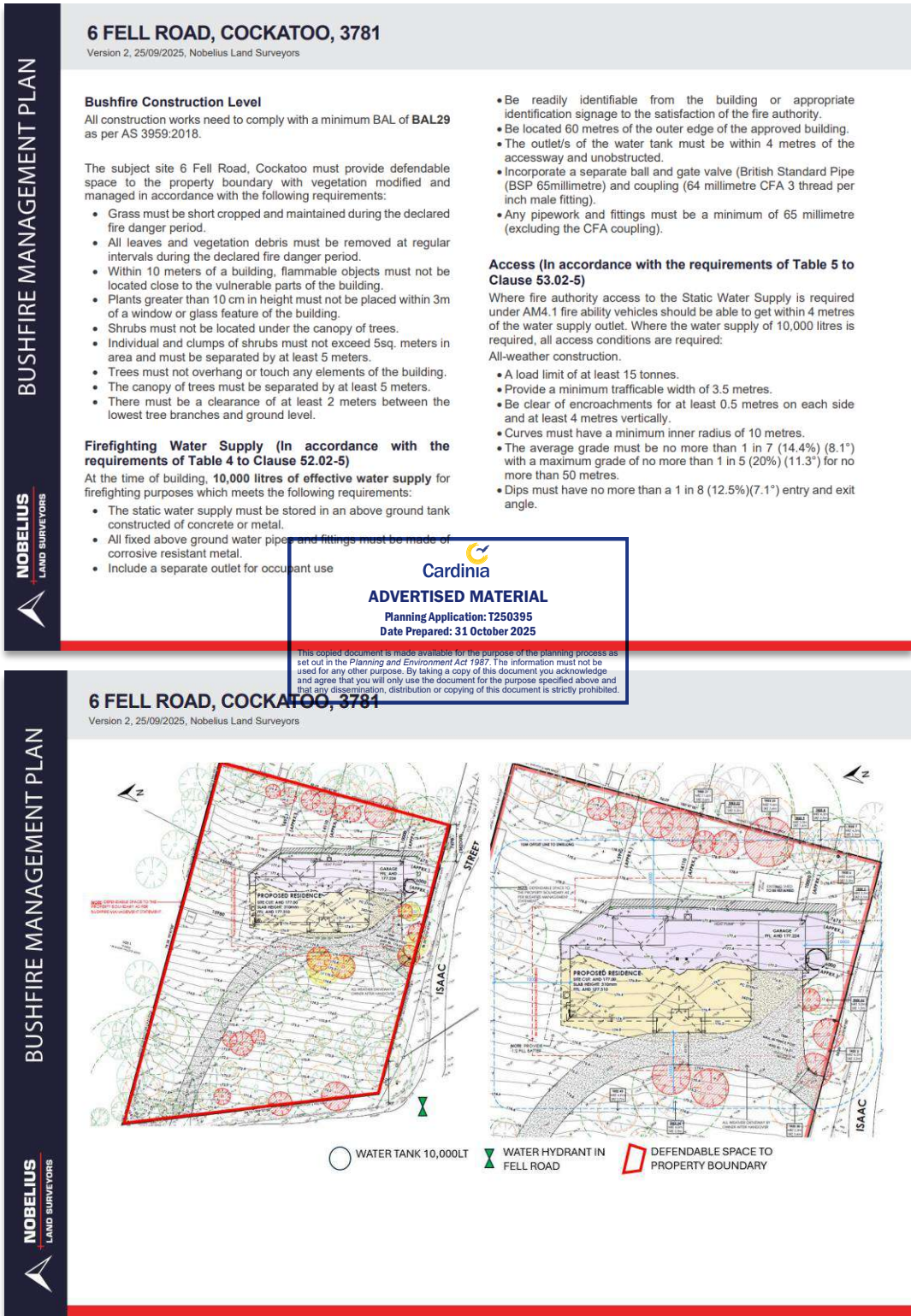
BUSHFIRE MANAGEMENT PLAN (BMP) NOT ALTERED

“The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.”



6. BUSHFIRE MANAGEMENT PLAN

Below is an image of the Bushfire Management Plan for 6 Fell Road, Cockatoo. Please refer to the Appendix for the proposed Bushfire Management Plan V2.



7. REFERENCES & APPENDICES

- *Department of Transport, Planning and Local Infrastructure* (2014) Planning Practice Note 65 – Preparing and Assessing a Planning Application under the Bushfire Provisions in Planning Schemes. Victorian Government, Melbourne
- *Leonard, J. and Blanche, R.* (2005) Investigation of bushfire attack mechanisms involved in house loss in the ACT bushfire 2003. Bushfire CRC report CMIT©-2005-377
- *Leonard, J.* (2009) Report to the 2009 Victorian Bushfires Royal Commission Building performance in Bushfires. CSIRO Australia.
- *Standards Australia* (2007) Australian Standard AS 1530.8.2 Methods for fire tests on building materials, components and structures – Tests on elements of construction for buildings exposed to simulated bushfire attack – Large flaming sources AS 1530.
- *Standards Australia* (2018) AS 39359-2018 Construction of Buildings in Bushfire Prone Areas. Standards Australia, North Sydney, New South Wales.
- *The State of Victoria Department of Planning and Community Development* (2020) Metropolitan Bushfire Management Strategy.

APPENDICES

APPENDIX 1 – BUSHFIRE HAZARD LANDSCAPE PLAN

APPENDIX 2 – BUSHFIRE HAZARD SITE ASSESSMENT

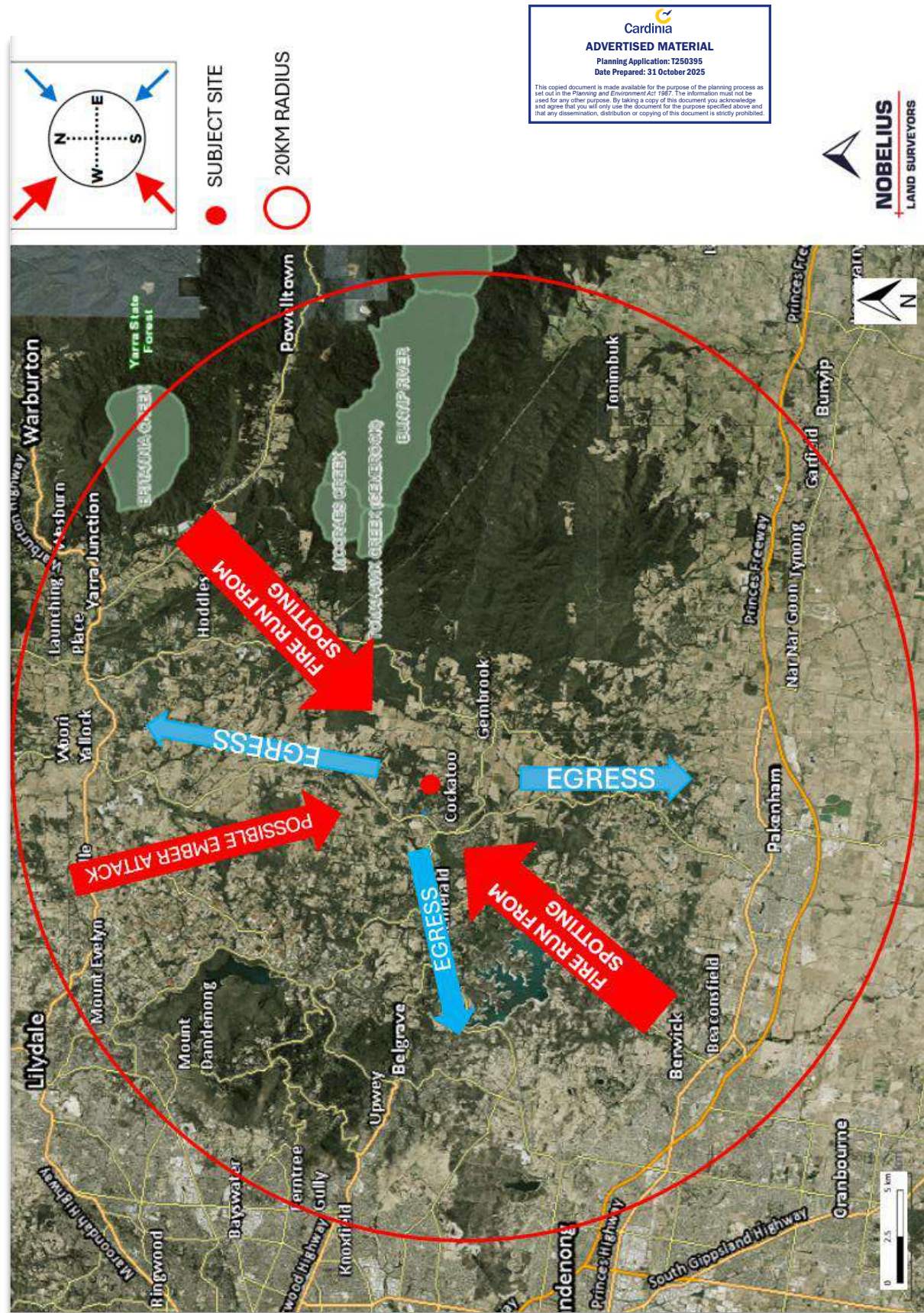
APPENDIX 3 – PROPOSED DEVELOPMENT SITE PLAN

APPENDIX 4 – PROPOSED BUSHFIRE MANAGEMENT PLAN

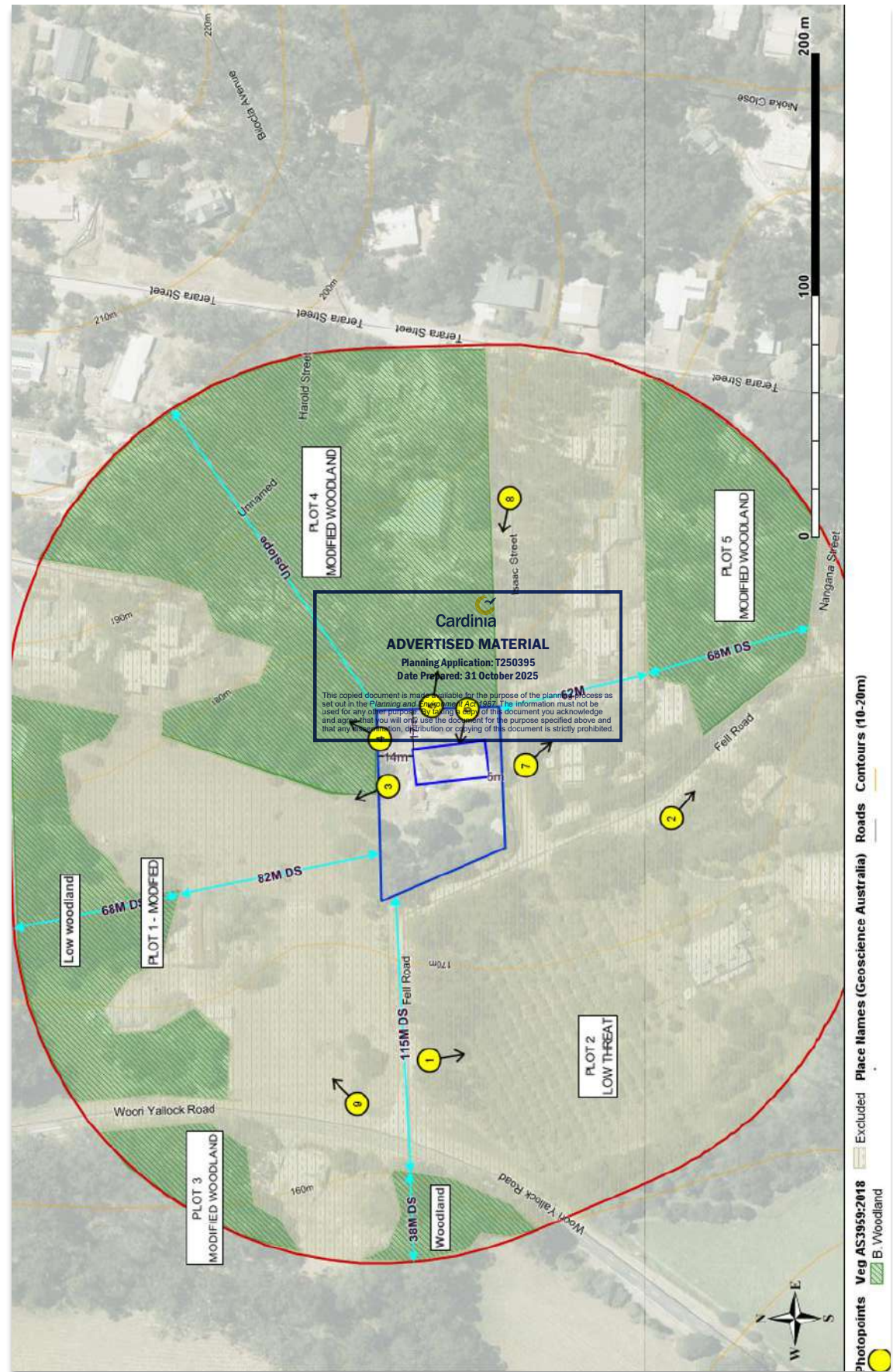
APPENDIX 5 – SITE VISIT PHOTOGRAPHS TO JUSTIFY VEGETATION CLASSIFICATION



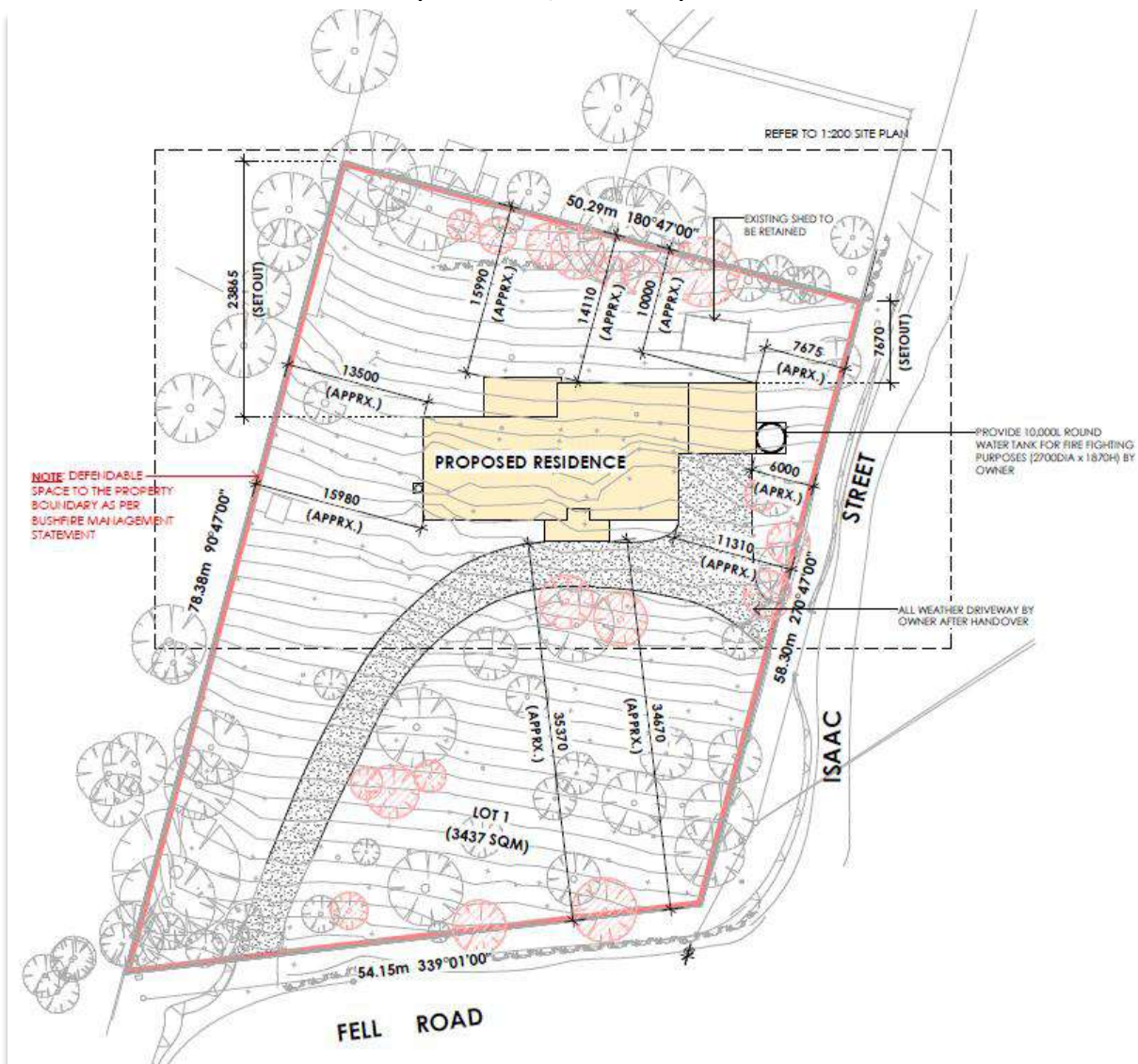
APPENDIX 1 – BUSHFIRE HAZARD LANDSCAPE PLAN



APPENDIX 2 – BUSHFIRE HAZARD SITE ASSESSMENT

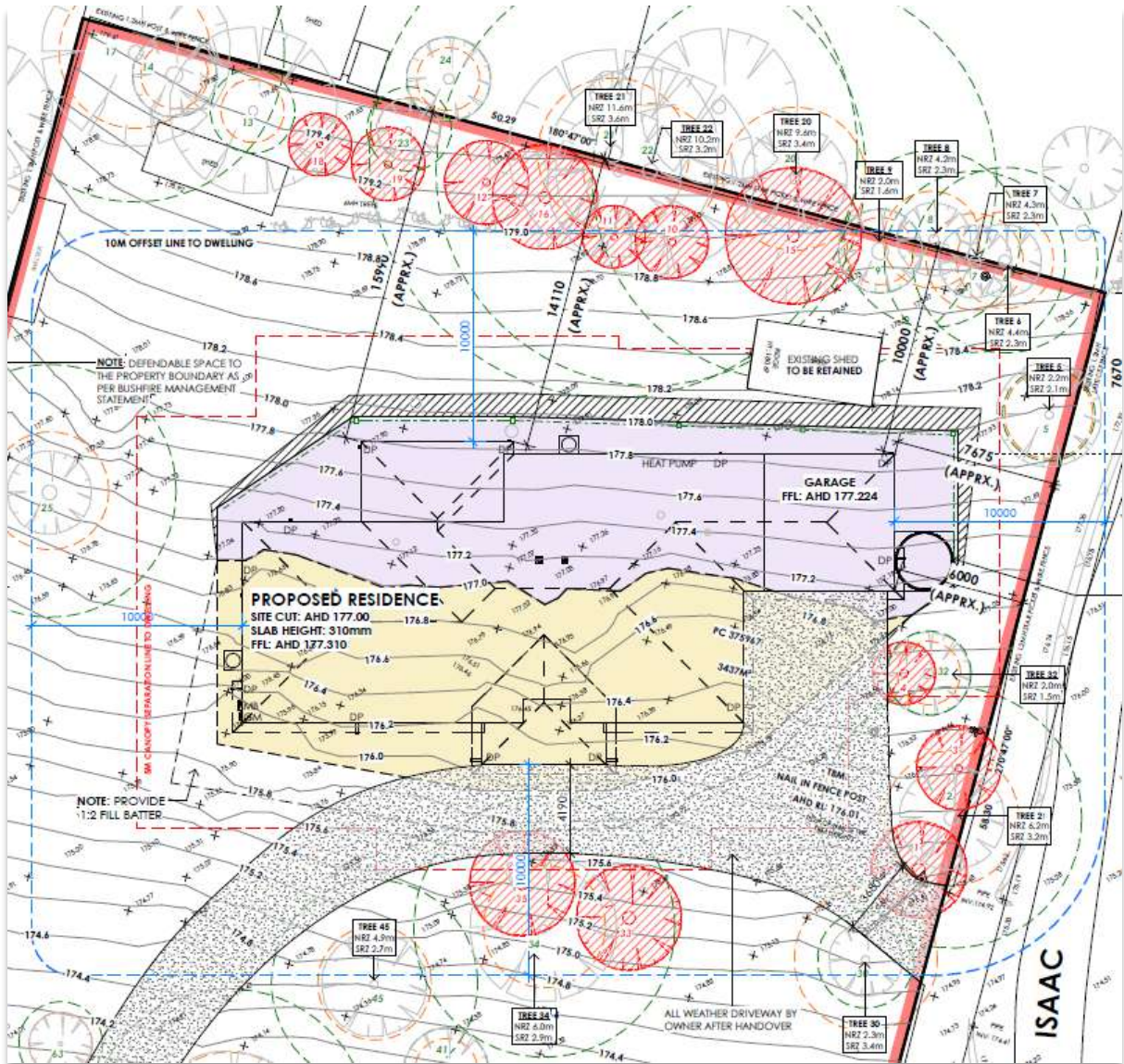


APPENDIX 3 – PROPOSED SITE PLAN (SJDHOMES, JULY 2025)




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Planning Application: T250395
Date Prepared: 31 October 2025

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APPENDIX 4 – PROPOSED BUSHFIRE MANAGEMENT PLAN

6 FELL ROAD, COCKATOO, 3781

Version 2, 25/09/2025, Nobelius Land Surveyors

Bushfire Construction Level

All construction works need to comply with a minimum BAL of BAL29 as per AS 3959:2018.

The subject site 6 Fell Road, Cockatoo must provide defendable space to the property boundary with vegetation modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 meters of a building, flammable objects located close to the vulnerable parts of the building
- Plants greater than 10 cm in height must not be placed within 1m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5m in any dimension and must be separated by at least 5 meters.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 3 meters.
- There must be a clearance of at least 2 meters between the lowest tree branches and ground level.

Firefighting Water Supply (In accordance with the requirements of Table 4 to Clause 52.02-5)

At the time of building, 10,000 litres of effective water supply for firefighting purposes which meets the following requirements:

- The static water supply must be stored in an above ground tank constructed of concrete or metal.
- All fixed above ground water pipes and fittings must be made of corrosive resistant metal.
- Include a separate outlet for occupant use

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the fire authority.
- Be located 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball and gate valve (British Standard Pipe (BSP 65millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetre (excluding the CFA coupling).

Access (In accordance with the requirements of Table 5 to Clause 53.02-5)

Where fire authority access to the Static Water Supply is required under AM4.1 fire ability vehicles should be able to get within 4 metres of the water supply outlet. Where the water supply of 10,000 litres is required, all access conditions are required.

All-weather construction.

- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%)(7.1°) entry and exit angle.

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BUSHFIRE MANAGEMENT PLAN



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APPENDIX 5 - SITE VISIT PHOTOGRAPHS TO JUSTIFY VEGETATION CLASSIFICATION

(NUMBERED PHOTOS CORRESPOND TO THE PHOTO POINTS IN THE BUSHFIRE HAZARD SITE ASSESSMENT, FIGURE 9)





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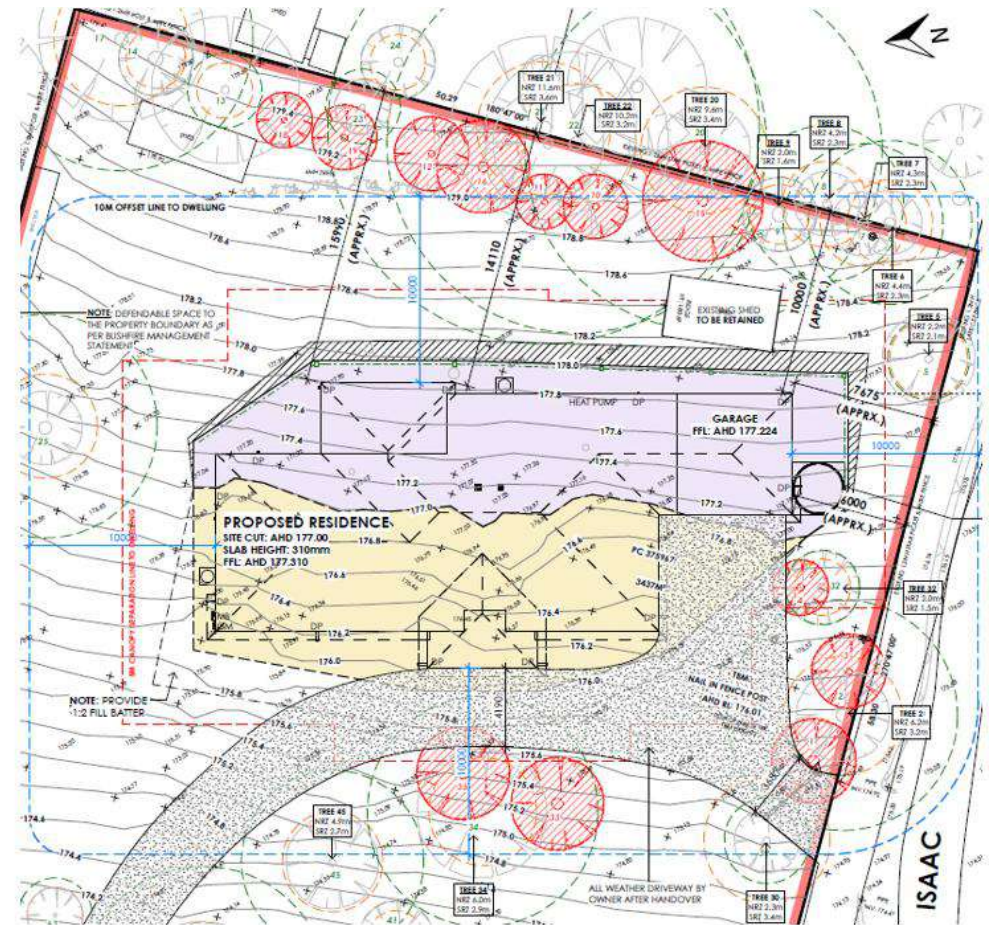
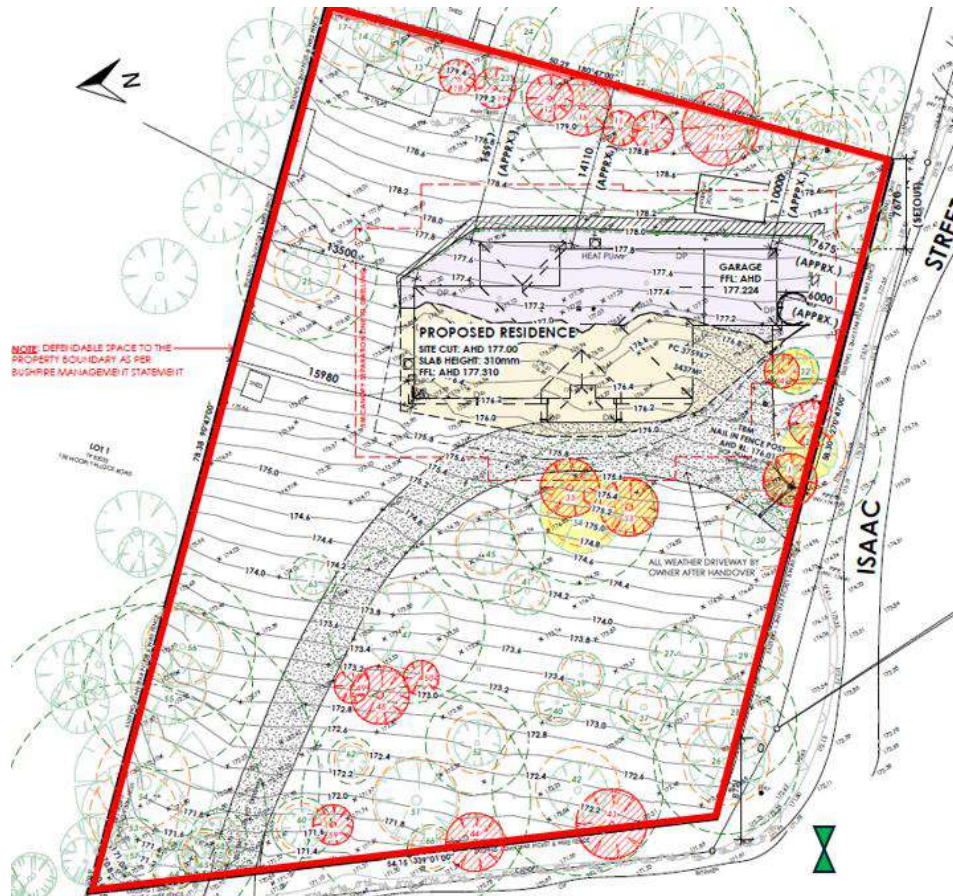
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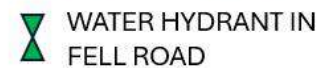


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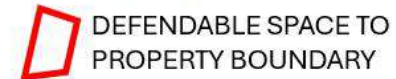
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WATER TANK 10,000LT



WATER HYDRANT IN
FELL ROAD



DEFENDABLE SPACE TO
PROPERTY BOUNDARY



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