
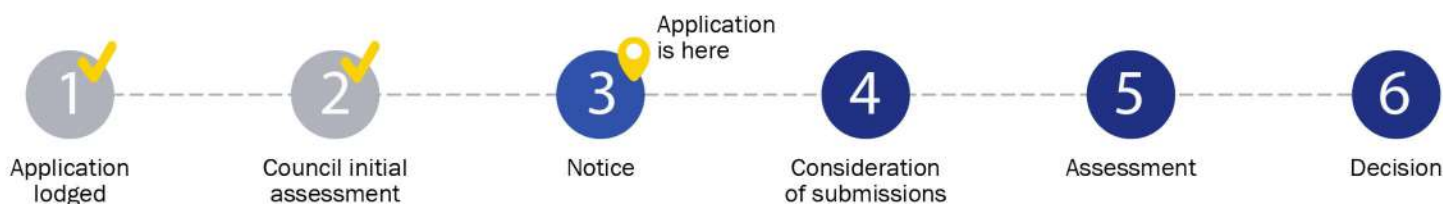


Notice of Application for a Planning Permit

The land affected by the application is located at:	L125 PS848743 V12580 F415 1 Monterey Way, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a building or construct or carry out works
42.01-2	Construct a fence
APPLICATION DETAILS	
The applicant for the permit is:	[REDACTED]
Application number:	T250499
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	
31 October 2025	
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected. <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



Application Summary

Portal Reference A225700V

Basic Information

Proposed Use	residential housing build
Current Use	vacant
Cost of Works	\$490,000
Site Address	1 Monterey Way Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant			
Owner			
Preferred Contact			

Fees

Regulation Fee Condition		Amount	Modifier	Payable
9 - Class 4	More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
Total				\$1,462.50

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Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm

Phone: 1300 787 624

After Hours: 1300 787 624

Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
18-08-2025	A Copy of Title	Title search - 13 August 2025.pdf
18-08-2025	Site plans	Lot 125, Monterey Way, Pakenham_Rev G (1).pdf
18-08-2025	Proposed elevation plan	Lot 125, Monterey Way, Pakenham_Rev G (1).pdf
18-08-2025	A proposed floor plan	Lot 125, Monterey Way, Pakenham_Rev G (1).pdf
18-08-2025	Encumbrance	Lot 125 Loan Approval Brighten_Home_Loans_Pty_Ltd_Loan [REDACTED] 2025.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	[REDACTED]
Submission Date	18 August 2025 - 07:35:PM

Declaration

☒ By ticking this checkbox, I, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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After Hours: 1300 787 624
Fax: 03 5941 3784



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250499 PA
Address of the Land:	Lot 125 Monterey Way, Pakenham

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	[REDACTED]
Address:	[REDACTED]
Phone:	[REDACTED]
Email:	[REDACTED]

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>


AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Change to current proposal description on application from Building and works to Construction of a dwelling and a fence		

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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.		
Name:		
Signature:		
Date:		
	16/09/2025	

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
--

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12580 FOLIO 415

Security no : 124127107899T
Produced 13/08/2025 03:36 PM

LAND DESCRIPTION

Lot 125 on Plan of Subdivision 848743W.
PARENT TITLE Volume 12330 Folio 801
Created by instrument PS848743W 31/10/2024

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REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AZ468405W (E)	DISCHARGE OF MORTGAGE	Registered	08/08/2025
AZ468406U (E)	TRANSFER	Registered	08/08/2025
AZ468407S (E)	MORTGAGE	Registered	08/08/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 1 MONTEREY WAY PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	PS848743W
Number of Pages (excluding this cover sheet)	4
Document Assembled	15/04/2025 11:39

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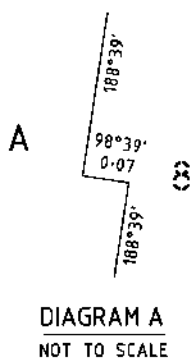
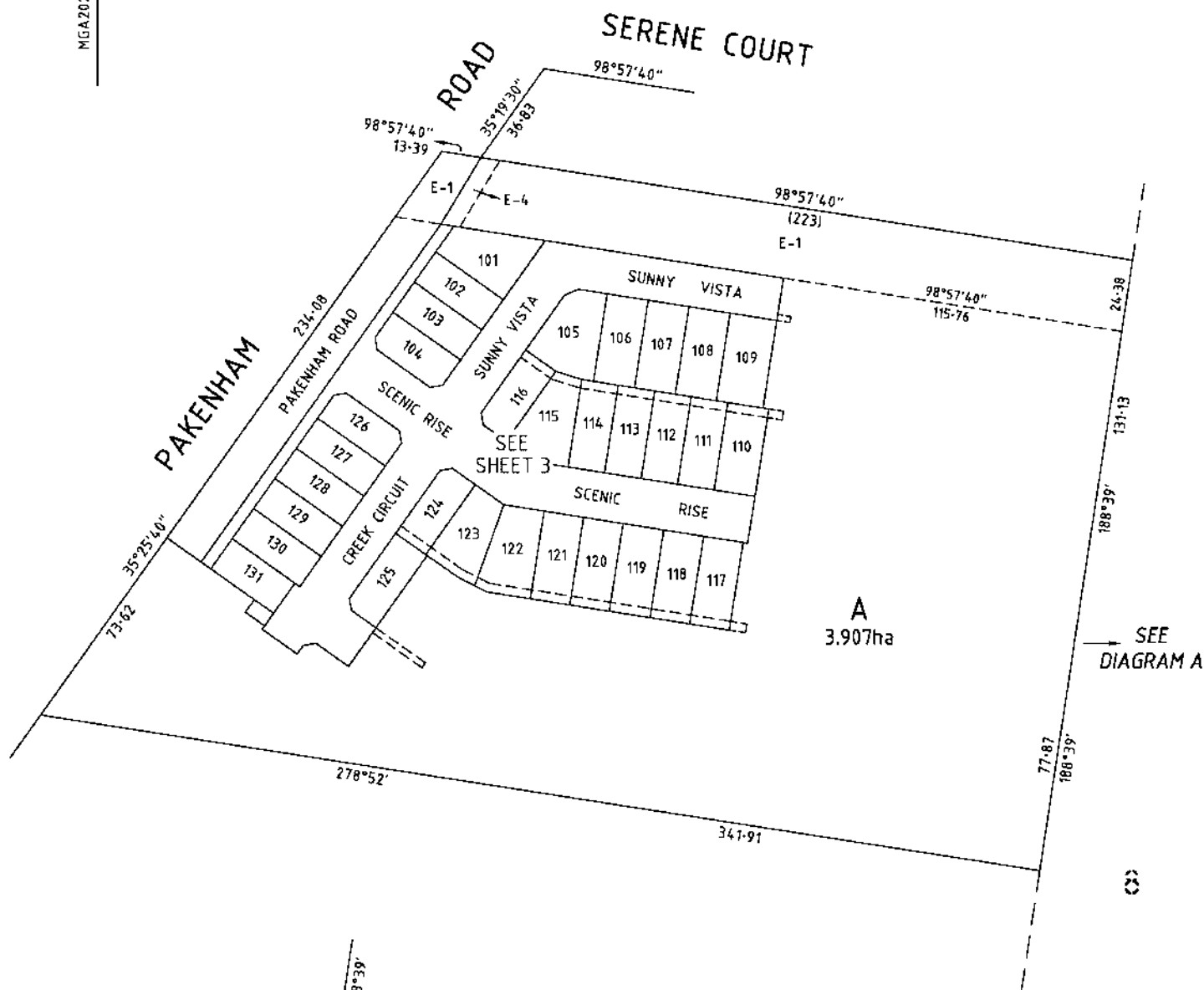
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PLAN OF SUBDIVISION			EDITION 1	PS848743W	
LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT) & 33(PT) TITLE REFERENCE: VOL. 12230 FOL. 801 LAST PLAN REFERENCE: LP6710 (LOT 3) POSTAL ADDRESS: 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 366 250 ZONE: 55 (of approx centre of land N: 5 786 580 GDA 2020 in plan)			Council Name: Cardinia Shire Council Council Reference Number: S21-146 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182115M Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024 Statement of Compliance issued: 28/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance		
VESTING OF ROADS AND/OR RESERVES			NOTATIONS		
IDENTIFIER		COUNCIL/BODY/PERSON		LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4. WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958	
ROAD R1 ROAD R2 RESERVE No.1		CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD			
NOTATIONS		NOTATIONS			
DEPTH LIMITATION: DOES NOT APPLY			<div>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</div>		
This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675					
Estate: The Rise - Pakenham Phase No.: 01 No. of Lots: 31 + Lot A PHASE AREA: 2.142ha					
EASEMENT INFORMATION					
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	
E-1, E-4 E-2 E-2, E-3 E-4	PIPELINE DRAINAGE SEWERAGE SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	24.38 3 SEE DIAG. 6	INST. D613929 THIS PLAN THIS PLAN THIS PLAN	VICTORIA PIPELINES COMMISSION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION SOUTH EAST WATER CORPORATION	
 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		SURVEYORS FILE REF: 2000490/01 2000490-01-PS-V11.DWG Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M		ORIGINAL SHEET SIZE: A3	SHEET 1 OF 4
				Land Use Victoria Plan Registered 02:18 PM 31/10/2024 Assistant Registrar of Titles	

PS848743W



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SURVEYORS REF
2000490/01

SCALE
1 : 1500

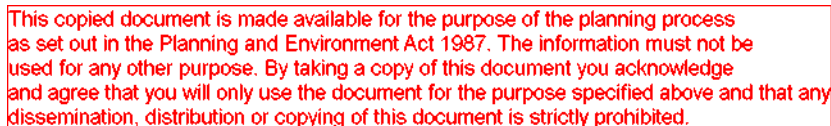
15 0 15 30 45 60
LENGTHS ARE IN METRES



ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M



 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /01		SCALE 1 : 750 7.5 0 7.5 15 22.5 30 LENGTHS ARE IN METRES	ORIGINAL SHEET	SHEET 3
				SIZE: A3	
		Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11) 24/05/2024, SPEAR Ref: S182115M Digitally signed by: Cardinia Shire Council, 30/05/2024, SPEAR Ref: S182115M			

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

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SURVEYORS REF
2000490/01

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Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

ORIGINAL SHEET
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SHEET 4

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30/05/2024,
SPEAR Ref: S182115M



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 15/04/2025 11:39:41 AM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Postcode 3809

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	[REDACTED]
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

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Ref: DV:NB:1050250

Doc ID 1115801193/v1

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PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

Table of contents

1.	Definitions and interpretation clauses	2
2.	Owner's obligations	5
3.	Further obligations	5
4.	Agreement under Section 173 of the Act	6
5.	Owner's warranties	7
6.	Successors in title	7
7.	Notices	7
8.	Miscellaneous	8
	Schedule	10
	Executed as a deed	11
	Schedule 1	12
	Schedule 2	13

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Deed of Agreement

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Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act means the *Planning and Environment Act 1987* (Vic).

Agreement means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

Building Design Guidelines means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

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Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

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8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

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Schedule

Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001:

[Redacted signature area]

Print full name

Print full name

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Executed as a deed

Signed, sealed and delivered as a deed by the parties

Signed sealed and delivered by

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation)
in the presence of:)

[Redacted signature]

9C70D1D8D20943A...

Signature of witness

The execution of this document has been witnessed by me
in accordance with the requirements for witnessing by
audio-visual link under section 12 of the Electronic
Transactions (Victoria) Act 2000.
(Strike out if inapplicable)

[Redacted signature]

Name of witness
(BLOCK LETTERS)

Executed by **BNG (PAKENHAM) PTY LTD**
(ACN 640125686) in accordance with
section 127 of the *Corporations Act 2001* (Cth)
by:

[Redacted signature]

Full name (print)

Full name (print)

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Schedule 1

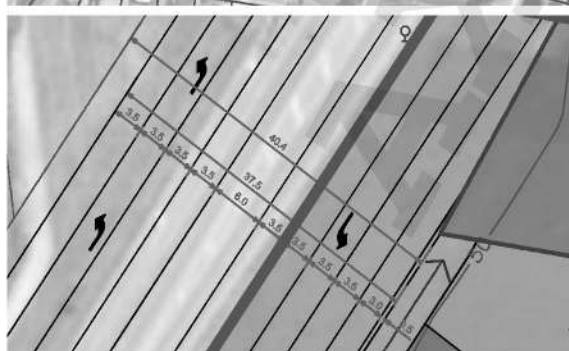
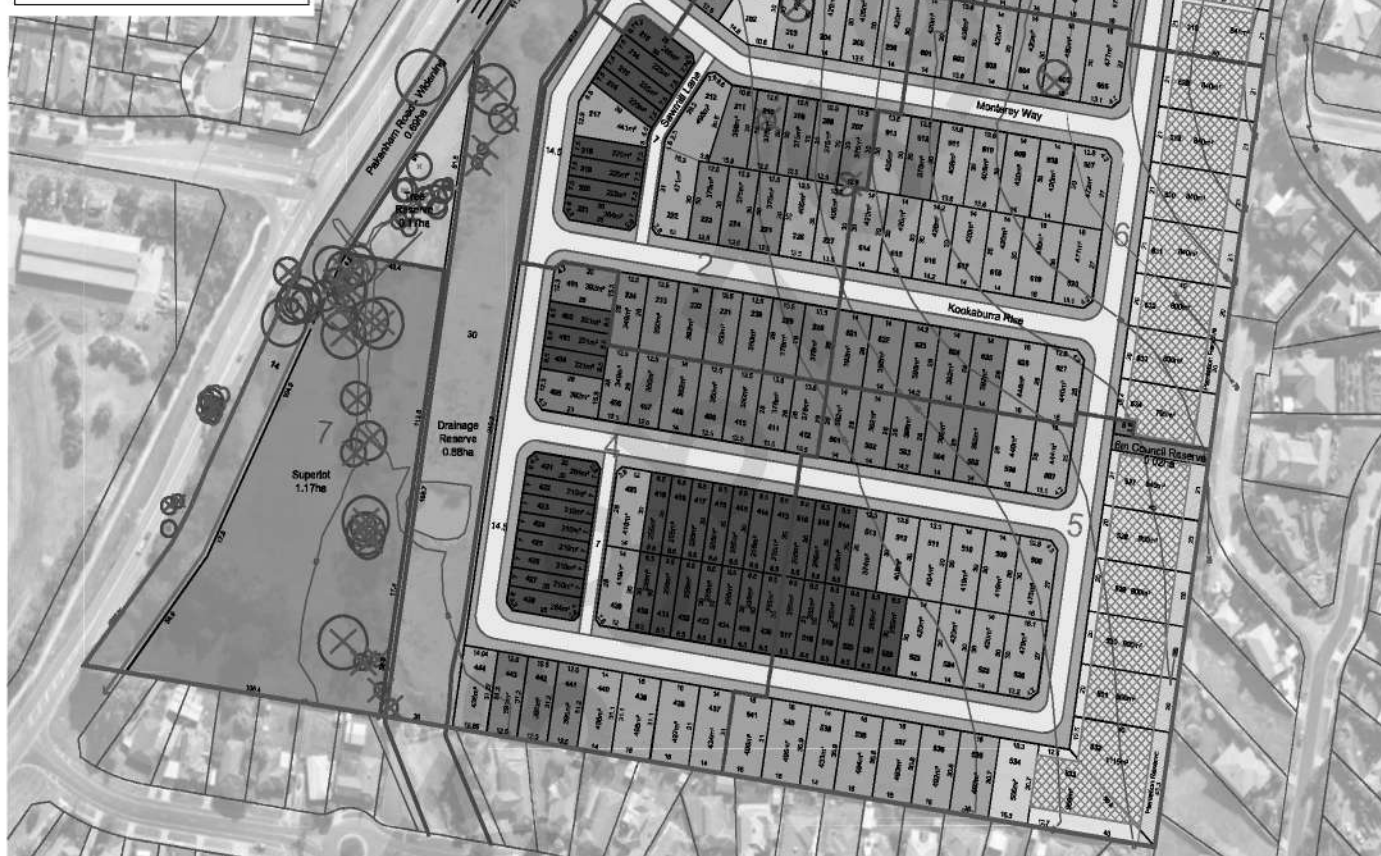
Building Envelope Plan

AX385769J

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LEGEND

	Title boundary (approx.)
	Pedestrian path
	Shared path
	Stage boundary
	Stage numbers
	Entry point
	Existing contours (5m interval)
	Lots
	Substation kloek
	Superlot
	Pakenham road widening
	Naturestrip (indicative)
	Road pavement (indicative)
	Reserve (Council easement)
	Tree reserve
	Drainage reserve
	Plantation Reserve (back of lot) - 7m
	Turning direction
	Trees & TPZ - via Ecolink
	Trees to be removed
	4m Paper Road
	Building Envelope



Pakenham Road - Cross Section

- Notes:**
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final computations.
 - The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to detailed design and Council approval.
 - All roads are 16m local access level 1 unless noted otherwise.
 - Road pavement is indicative only and subject to detailed engineering design.
 - Area dimensions shown are length of arc (not chord).

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

* Stage includes 1 Superlot

Lot Schedule by Area		
Lot Size	Number of Lots	%
>200m ²	42	20.6
300-399m ²	58	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9
Total	202	100

Site (Approx.)		15,307 ha
* Standard Density Lots		7,515 ha
* Medium Density Lots		1,021 ha
* Superlot		1.18 ha
* Kloek		0.008 ha
* Tree Reserve		0.185 ha
* Non-Arterial Roads		3,274 ha
Arterial Roads (Pakenham road widening)		0.693 ha
Reserve (Council Easement)		0.580 ha
Drainage Reserve		0.864 ha
Net Developable Area		13,150 ha
Lot Yield (Standard Density)		160 lots 470m ² average lot size
Lot Yield (Medium Density)		42 lots 243m ² average lot size
** Lot Yield (Overall)		202 lots @ 18.9 lots per ha 423m ² average lot size
Superlot		1
Total Number of Lots (inc. 1 superlot)		203

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Subdivision Plan
110 Pakenham Road, Pakenham
BNG Group

APPROVED AMENDED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
PERMIT No. T160890-2
SHEET APPROVED

Version	Date	Description	Drawn	Approved
12	01/09/2022	Pakenham development	KT	KT
13	03/12/2022	Amended building envelopes	KT	KT
14	07/12/2022	Updated road and engineering boundary	KT	KT
15	07/12/2022	Updated staging layout	KT	KT
16	08/08/2024	Updated numbers, building envelopes and tables	DX	KT

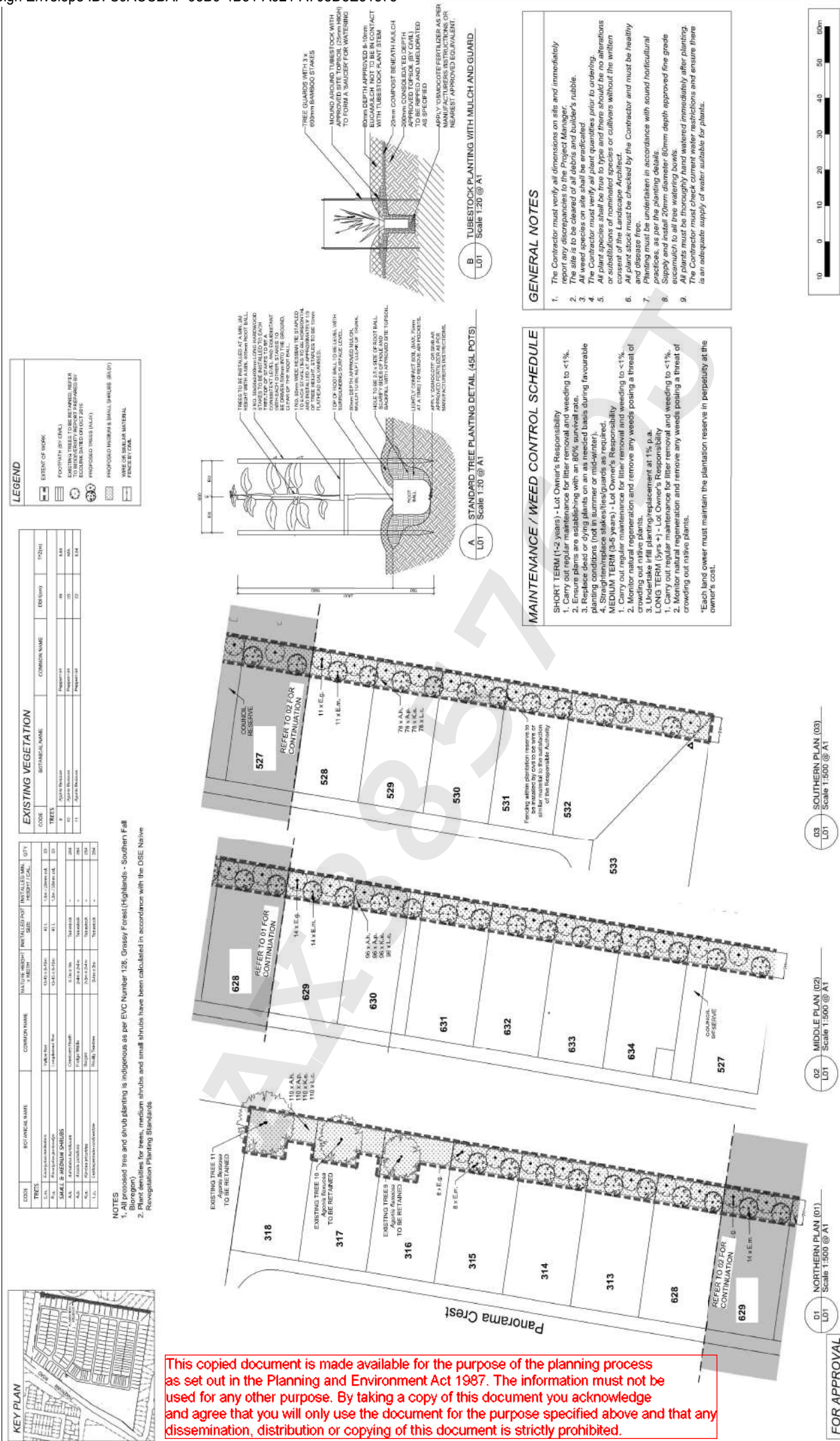
Date: 01.09.2022
Version No: 16
Job No: 2000480
Scale (A1): 1:1000
(A3): 1:2000

Schedule 2

Vegetation Plan

AX385769J

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[illegible]

Our Ref: 2000490
11 July 2025

ACN 006 197 235
ABN 38 006 197 235

Applicant: [REDACTED]
Company/Builder: SJD Homes
Email: [REDACTED]

Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

beveridgewilliams.com.au

Dear Sir/Madam,

**RE: Lot 125 Monterey Way, Pakenham
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. **Please refer to any other conditions marked-up on the plans and ensure they are suitably addressed.**

Please note;

- All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.
- Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.
- Any lot under 300m² in size, requires a planning permit for being under 300m² in addition to the ESO planning permit. Front setbacks less than 4m are subject to further council approval.
- If you require planning services or further information, please contact Andrea Bouilly bouillya@bevwill.com.au or on 0407 050 624
- There are no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.
- Due to planning permit requirements, Gas appliances may not be able to be installed, further Council clarification is required.

Should you have any queries, please contact the undersigned on 9524 8888 or via email planlodgement@bevwill.com.au All new submissions, re-submissions, amendment submissions or supplemental submissions, please use www.portal.beveridgewilliams.com.au

Kind Regards,

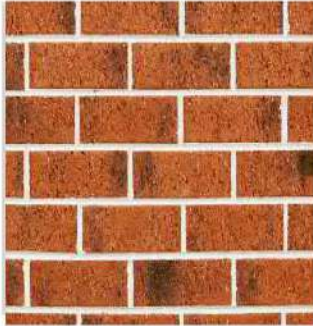
[REDACTED]
Design Approvals Coordinator
BEVERIDGE WILLIAMS

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DEVELOPER APPROVAL

ADDRESS: Lot 125 MONTEREY WAY

Developer Condition; different tile picture than nominated on the elevation, Artisan and Classic are two different profiles, either are acceptable as per the Design Guidelines, however, council will require accurate information



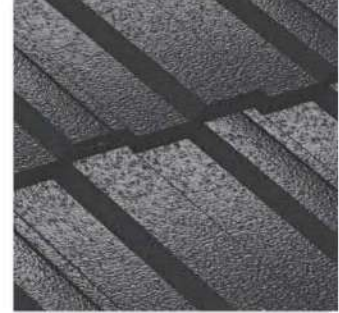
BRICKS

Austral - Domain
Anchorage



WINDOW FRAMES

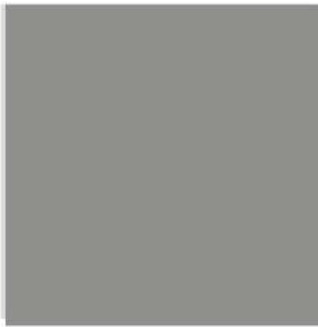
Colorbond - Monument



ROOF

Bristle Artisan Range -

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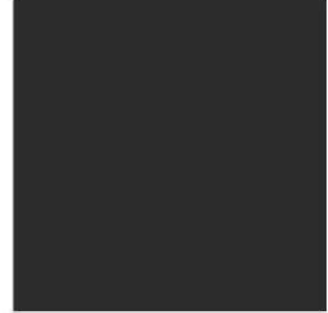
RENDER 1

Haymes - City stone
Location: rendered
brickwork to ground floor,
porch piers and infill



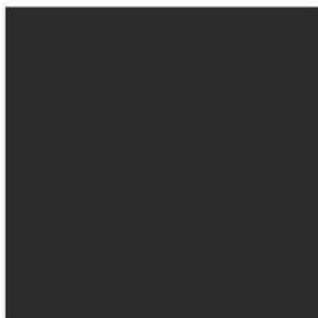
RENDER 2:

Haymes- Aged Grey 3
Location: Upper floor



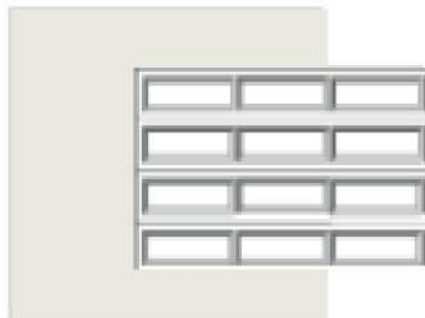
FASCIAS:

Colorbond- Monument



GUTTER/DOWNPipes/FASCIAS

Colorbond - Monument



GARAGE

Dynamic Ranch - Surfmist



FRONT DOOR

PCL 4 - Aged Grey 3

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 11.07.2025

REVIEWED BY: [REDACTED]

0411

BW.com.au

SJDhomes

DEVELOPER APPROVAL

ADDRESS: LOT 125 MONTEREY WAY, PAKENHAM



DRIVEWAY

Exposed Aggregate



METER BOX

Windspray

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 11.07.2025

REVIEWED BY:



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DRAINAGE NOTES:

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.
- BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
- STORMWATER DRAINS ARE INDICATIVE ONLY. DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.
- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
- GRADED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
- PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN.
- SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM.

BUSHFIRE REQUIREMENTS - BAL 12.5

- ALL JOINTS IN THE EXTERNAL WALL MATERIAL ARE TO BE SEALED COVERED OR OVERLAPPED TO PREVENT GAPS GREATER THAN 3mm.
- GAPS BETWEEN DOORS AND DOOR JAMBS, HEADS AND SILLS (THRESHOLDS ARE TO BE MAX 3mm). ALTERNATIVELY INSTALL DRAFT EXCLUDERS.
- PROVIDE INTERNAL OR EXTERNAL SCREENS TO ALL OPENABLE PORTIONS OF WINDOWS. SCREENS SHALL HAVE MESH WITH A MAX. APERTURE OF 2mm. MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
- ENTRANCE & ALL EXTERNAL DOORS TO COMPLY WITH ONE OF THE FOLLOWING:
 - PROVIDE EXTERNAL SCREENS TO THE DOORS. SCREENS SHALL HAVE MESH WITH MAX. 2mm APERTURE AND MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
 - DOORS MUST BE:
 - 35mm THICK SOLID TIMBER FOR THE FIRST 400mm ABOVE THRESHOLD, OR;
 - BE PROVIDED WITH A NON-COMBUSTIBLE KICK PLATE ON THE OUTSIDE FOR THE FIRST 400mm ABOVE THE THRESHOLD.
 - MUST BE TIGHT FITTING TO THE DOOR FRAME.
 - PROVIDE BUSHFIRE RESISTANT TIMBER TO PART OF THE DOOR FRAME WHICH IS LESS THAN 400mm FROM THE GROUND. INSTALL WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS TO THE BASE OF THE DOORS.
- PROVIDE EXTERNAL GLASS SLIDING DOORS WITH ONE OF THE FOLLOWING MEASURES:
 - PROVIDE EXTERNAL SCREENS WITH A MAX. APERTURE OF 2mm MADE OF CORROSION RESISTANT STEELS, BRONZE OR ALUMINIUM.
 - GLAZING TO BE MIN 5mm SAFETY GLASS. DOOR FRAME SHALL BE METAL OR BUSHFIRE RESISTANT TIMBER AND SLIDING DOORS MUST BE TIGHT FITTING IN THE FRAMES.
- GARAGE ROLLER/PANEL LIFT DOOR TO BE PROTECTED WITHIN 400mm OF GROUND WITH ONE OF THE FOLLOWING MEASURES:
 - NON-COMBUSTIBLE MATERIAL OR;
 - BUSHFIRE RESISTANT TIMBER OR;
 - MIN 6mm THICK FC SHEET
- GARAGE DOOR TO BE FITTED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS OR GUIDE TRACKS WITH MAX. 3mm GAP. ROLLER DOOR SHALL HAVE A NYLON BRUSH WHICH IS IN CONTACT WITH THE DOOR.
- ROOF SHALL BE FULLY SARKED, INCLUDING RIDGE AND EXTENDED TO FASCIA AND GUTTERS.
- ROOF PENETRATIONS TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.
- ANY ROOF OPENINGS, VENT PIPES ECT. ARE TO BE FITTED WITH EMER GUARDS WITH MAX. 2mm APERTURE AND MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
- ANY ABOVE GROUND, EXPOSED WATER & GAS SUPPLY LINES TO BE METAL.

WHERE APPLICABLE, THE PROPOSED DEVELOPMENT MUST COMPLY WITH ANY BUSHFIRE MANAGEMENT PLAN REQUIREMENT.

DEVELOPER CONDITION; DUE TO PLANNING PERMIT REQUIREMENT, GAS APPLIANCES MAY NOT BE ABLE TO BE INSTALLED, FURTHER COUNCIL CLARIFICATION IS REQUIRED.

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 11.07.2025

REVIEWED BY: [REDACTED]

STREET TREE PROTECTION:

BEFORE THE DEVELOPMENT STARTS, A TREE PROTECTION FENCE MUST BE ERECTED AROUND ANY EXISTING STREET TREES TO BE RETAINED OUTSIDE THE CANOPY ZONE OF THE TREE TO DEFINE A "TREE PROTECTION AREA". THE FENCE MUST BE CONSTRUCTED OF STAR PICKETS AND CHAIN MESH OR SIMILAR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. THE TREE PROTECTION FENCE MUST REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED. NO VEHICULAR OR PEDESTRIAN ACCESS, TRENCHING OR SOIL EXCAVATION IS TO OCCUR WITHIN THE TREE PROTECTION AREA WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. NO STORAGE OR DUMPING OF TOOLS, EQUIPMENT OR WASTE IS TO OCCUR WITHIN THE TREE PROTECTION AREA. ANY PRUNING THAT IS REQUIRED TO BE DONE TO THE CANOPY OR ROOTS OF ANY TREE TO BE RETAINED IS TO BE DONE WITH PERMISSION BY COUNCIL'S ARBORIST BY A QUALIFIED ARBORIST TO AUSTRALIAN STANDARD - PRUNING OF AMENITY TREES AS4373-2007

SITE CUT/FILL LEGEND & NOTES

- DENOTES AREA OF SITE CUT
- DENOTES AREA OF SITE FILL

NOTE:

PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPED AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.

NOTE:

BUILDER RESERVES THE RIGHT TO ALTER THE SITE CUT HEIGHT TO THEIR DISCRETION, PENDING CONDITIONS ON SITE

SITE CUT & FILL NOTE

PROVIDE SITE CUT OF 700 mm & FILL 400 mm OVER BUILDING AREA & PROVIDE AN ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMMODATE 86 mm STEPDOWN. NOTE: 45 ° BATTER ANGLE

STORMWATER LAYOUT

STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

TERMITE TREATMENT REQUIRED

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

EXTERNAL STEPS

PROVIDE STEPS OR BUILD UP SOIL AROUND EXTERNAL DOORS WHERE THRESHOLD OF THE DOOR EXCEEDS 190MM

POWER FEED-IN TO DWELLING:
PROVIDE THREE PHASE POWER TO DWELLING

BUILDERS TO ALLOW FOR NBN CONNECTION (FIBRE OPTIC)

SITE COVERAGE ANALYSIS

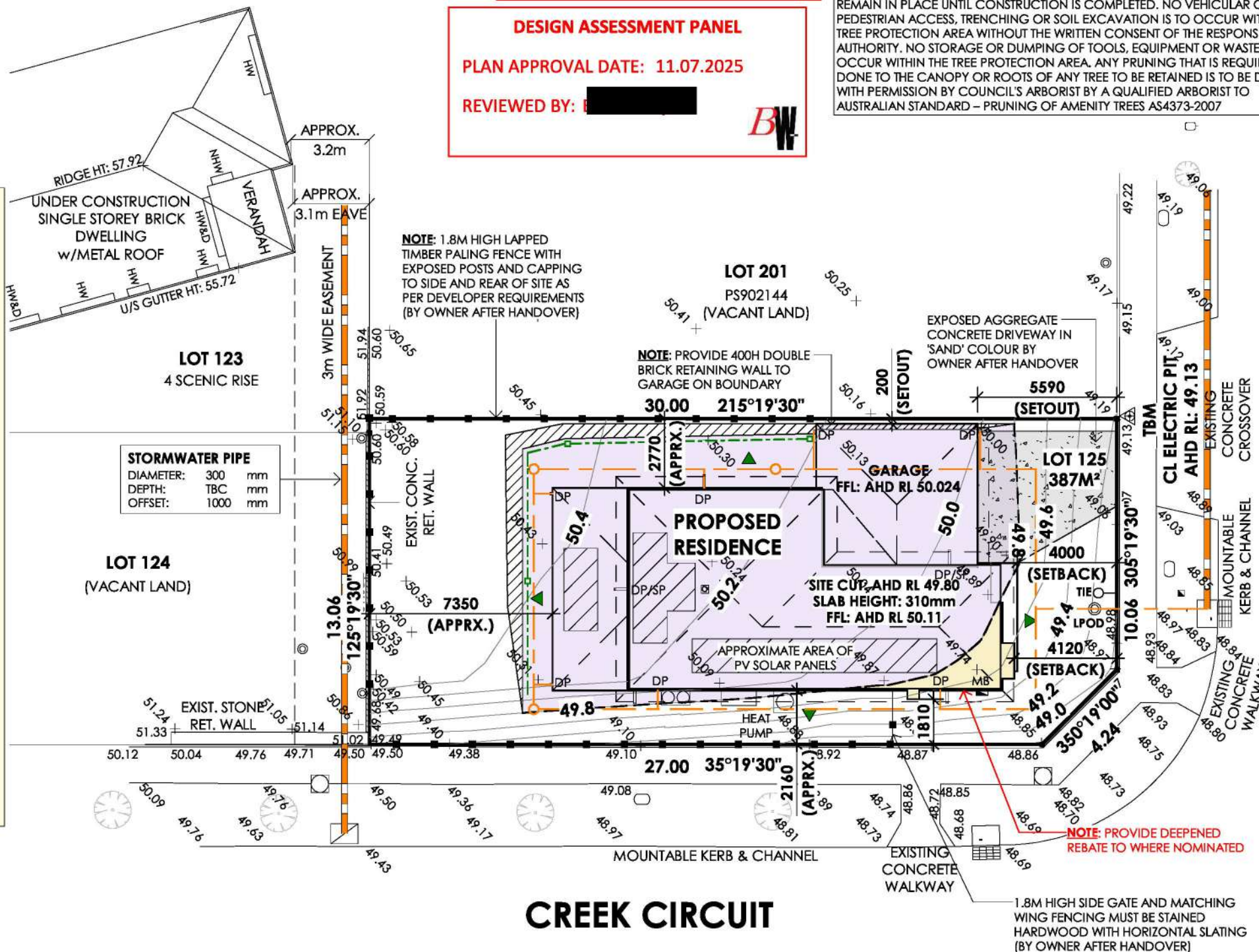
PERMEABLE AREA	223.94 m²	57.83%
BUILDING AREA	163.33 m²	42.17%
TOTAL SITE AREA	387.26 m²	100%

GARDEN AREA ANALYSIS

DRIVEWAY AREA	24.99 m2	
GARDEN AREA	138.17 m2	35.7 %

LESS THAN 400 SQM: GARDEN AREA IS NOT APPLICABLE

NOTE: GARDEN AREA DOES NOT INCLUDE A DRIVEWAY, ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1M



CREEK CIRCUIT

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Officer VIC 3809
Ph: 9095 8000
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info@sjdhomes.com.au

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PROPOSED:

HOUSE & GARAGE

HOUSE TYPE:

HEATHMONT 255 - RH (MODIFIED)

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SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:

**LOT 125, MONTEREY WAY
PAKENHAM, 3810**

DRAWING TITLE:

SITE PLAN

ISSUE: G

ISSUE DATE: 09.07.25

SCALE: 1 : 200

MASTER DATE: 25.02.25

DRAWN: JG

CHECKED: JG

SHEET NO: 02

OF: 13

EXTERNAL MATERIAL SCHEDULE	
TYPE	DESCRIPTION/COLOUR
FACE BRICKWORK	AUSTRAL 'DOMAIN ANCHORAGE'
RENDER (PORCH & GROUND FLOOR)	RENDER IN HAYMES 'CITY STONE'
RENDER (FIRST FLOOR)	RENDER IN HAYMES 'AGED GREY 3'
ROOF TILES	BRISTLE 'COOL SMOKE'
FASCIA/GUTTER DOWNPIPES	COLORBOND 'MONUMENT'
GARAGE DOOR	COLORBOND 'SURFMIST'
WINDOW FRAMES	ALUMINIUM IN 'MONUMENT'
FRONT DOOR	HAYMES 'AGED GREY 3'

NOTE: THE LANDSCAPING SHOWN ON THE ENDORSED PLAN/S MUST BE MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY INCLUDING REPLACING ANY DEAD, DISEASED OR DAMAGED PLANTS.

NOTE: WITHIN THREE (3) MONTHS OF A CERTIFICATE OF OCCUPANCY BEING ISSUED UNDER THE BUILDING ACT 1993, THE LANDSCAPING WORKS SHOWN ON THE ENDORSED PLAN/S MUST BE CARRIED OUT AND COMPLETED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

NOTE: ALL SPECIES SELECTED MUST BE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AND SHOULD BE DROUGHT TOLERANT AND PROVEN HARDY CULTIVARS SUITABLE TO THE LOCAL CONDITIONS. PLANTINGS MUST NOT IMPACT SIGHTLINES FOR, OR IMPEDE THE MOVEMENT OF, VEHICLES, PEDESTRIANS OR CYCLISTS.

DESIGN ASSESSMENT PANEL





PLAN APPROVAL DATE: 11.07.2025

REVIEWED BY: 


NOTE: LANDSCAPE PLAN IS INDICATIVE ONLY AND IS SUBJECT TO DEVELOPER APPROVAL

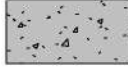
NOTE: ALL LANDSCAPING IS TO BE COMPLETED BY CLIENT AFTER HANDOVER


NOTE: WATER EFFICIENT APPLIANCES TO BE INSTALLED

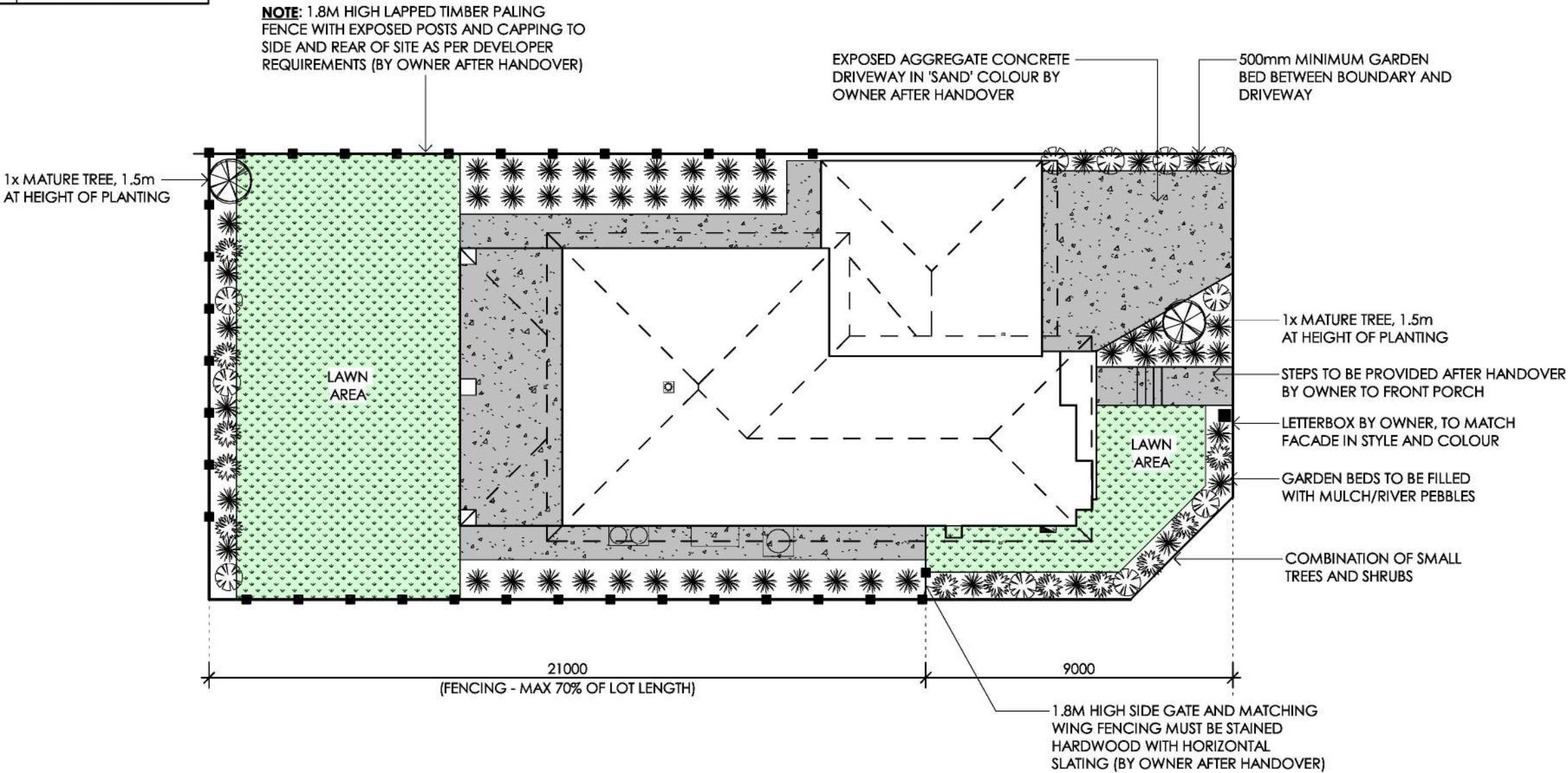
	QTY	BOTANICAL NAME	COMMON NAME	MATURE H x W	POT SIZE
	2x	LAGERSTROEMIA 'SIOUX'	CREPE MYRTLE	6M x 4M	40L
	12x	NANDINA DOMESTICA	NANDINA NANA	0.6M x 0.6M	140mm
	54x	PIMELEA HUMILIS	COMMON RICE FLOWER	0.3M x 0.3M	100mm
	12x	WESTRINGIA FRUTICOSUM	JERVIS GEM	1M x 1M	150mm

LANDSCAPE LEGEND

 GRASS AREA

 CONCRETE DRIVEWAY/PATH

 PROPOSED FENCING



LETTERBOX DESIGN AS PER DEVELOPER REQUIREMENTS

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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
HEATHMONT 255 - RH (MODIFIED)

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SIGNED BUILDER:
.....
SIGNED OWNER:
.....
DATE:
.....

SITE ADDRESS:
**LOT 125, MONTEREY WAY
PAKENHAM, 3810**

DRAWING TITLE:
LANDSCAPE PLAN

ISSUE: G

ISSUE DATE: 09.07.25

SCALE: 1 : 150

MASTER DATE: 25.02.25

DRAWN: JG

CHECKED: JG

SHEET NO: 02C

OF: 13

Council will need a separate fully dimension fencing elevation plan (not just a site plan)

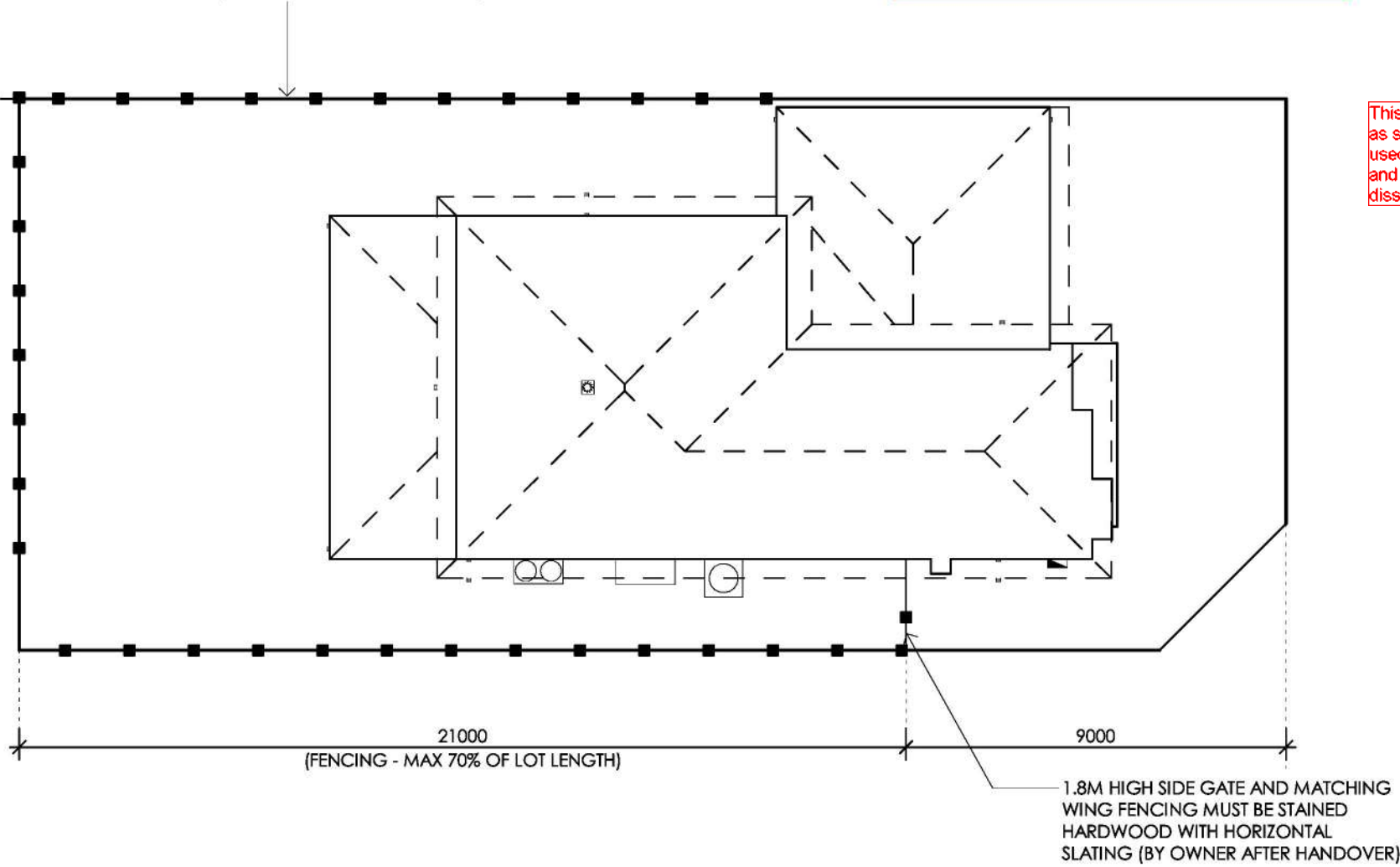
DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 11.07.2025

REVIEWED BY:

BW

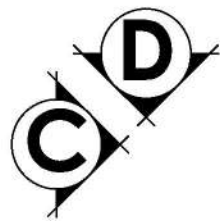
NOTE: 1.8M HIGH LAPPED TIMBER PALING FENCE WITH EXPOSED POSTS AND CAPPING TO SIDE AND REAR OF SITE AS PER DEVELOPER REQUIREMENTS (BY OWNER AFTER HANDOVER)



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	HOUSE TYPE: HEATHMONT 255 - RH (MODIFIED)		ISSUE: G			
	ISSUE DATE: 09.07.25					
	SCALE: 1 : 150		MASTER DATE: 25.02.25			
	DRAWN: TLG		CHECKED: TLG			
	SHEET NO: 02D		OF: 13			

SHEET NO: 03 OF: 13



NOGGINS FOR ACCESSIBILITY
PROVIDE NOGGINS/SHEETING TO
AREAS NOMINATED BY: - - - - -

REFER TO INTERNAL ELEVATIONS FOR
SIZING AND HEIGHTS

PROVIDE R2.0HP INSULATION TO
WET AREAS NOMINATED AS: - - - - -

IMPORTANT NOTE:
DENOTES A SERVICE VOID SPACE THAT CANNOT
BE REMOVED, REDUCED OR RELOCATED

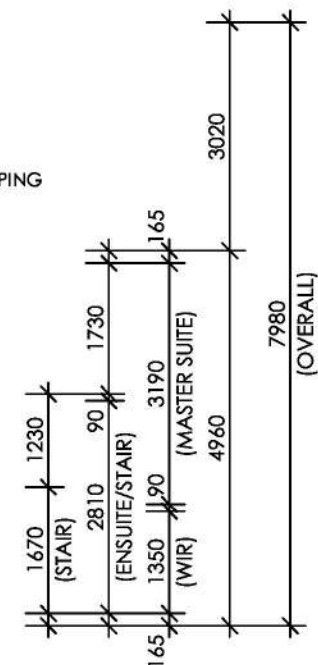
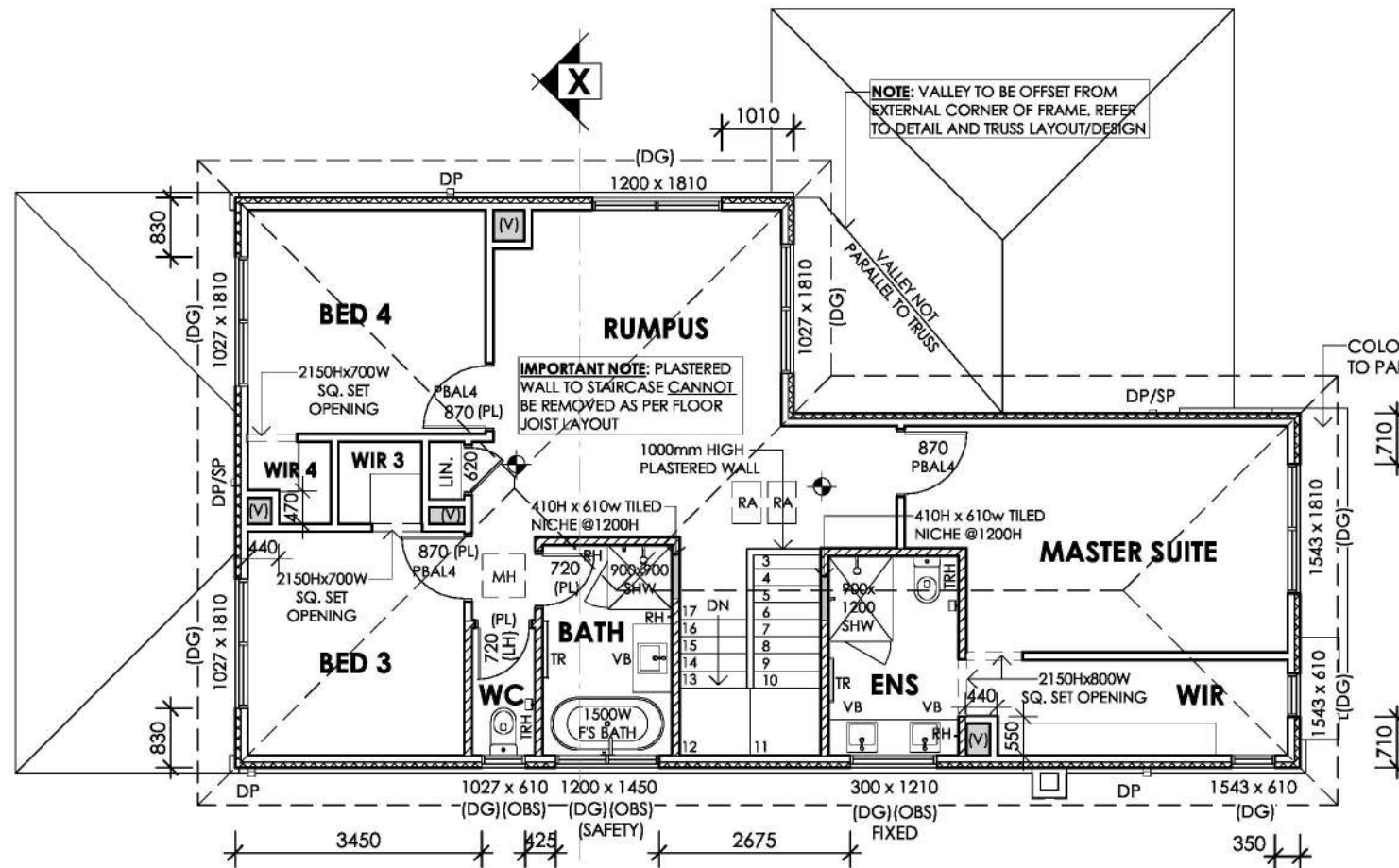
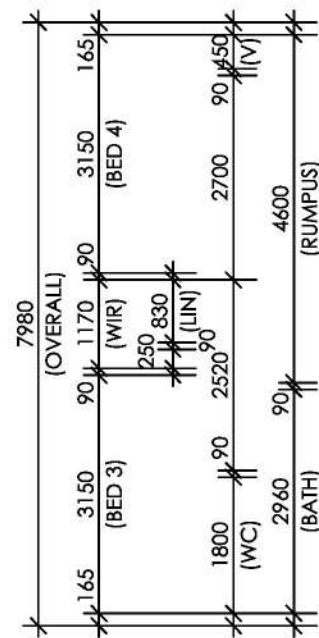
FLOOR JOISTS & TRUSS LAYOUT DESIGN TO BE CLEAR OF ALL
VOID LOCATIONS AS PER FLOOR PLAN

FLOOR JOISTS TO BE CLEAR OF ALL WASTE LOCATIONS AS
PER FIRST FLOOR PLAN & SETOUT PLAN

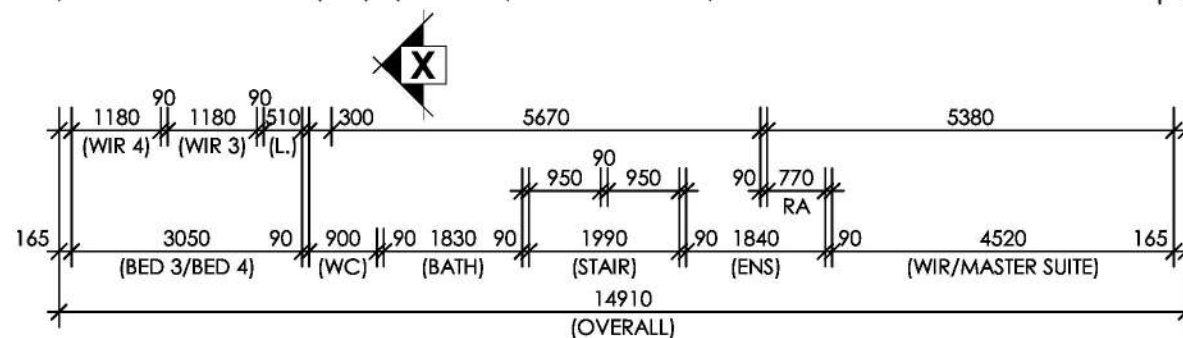
PROVIDE 50mm RECESS TO FIRST
FLOOR JOISTS FOR FLUSH TILED SHR
BASES IN BATHROOM AND ENSUITE

GENERAL NOTES

- WRITTEN DIMENSIONS ALWAYS TAKE PREFERENCE OVER SCALE
- BUILDER MAY ADJUST GARAGE DOOR HEIGHT AND WIDTH ON SITE AS REQUIRED
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - * EXTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD
 - * INTERNAL 90mm STUD
- ALL INTERNAL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK - *)
- PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS WHERE INDICATED (LH)
- PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR
- 600x600 CEILING ACCESS MANHOLE LOCATION
- SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
- CEILING EXHAUST FAN SWITCHED/COMBINED WITH LIGHT
- ENGINEER DESIGNED BEAM - (EDB)
- DOUBLE GLAZING - (DG)
- BRICKWORK ARTICULATION JOINT
- EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
- SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
- BIB TAP RECYCLED TAP
- GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
- HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS



AREAS TABLE		
AREA	m2	SQ
GROUND FLOOR	99.79 m ²	10.74
FIRST FLOOR	97.57 m ²	10.50
SUB TOTAL:	197.36 m ²	21.24
OUTDOOR LIVING	24.39 m ²	2.63
GARAGE	36.37 m ²	3.92
PORCH	2.77 m ²	0.30
SUB TOTAL:	63.53 m ²	6.84
GRAND TOTAL:	260.90 m ²	28.08

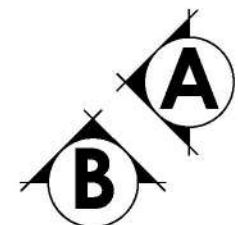


DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 11.07.2025

REVIEWED BY: [Signature]

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	BL No. CDB-U 56523 © ALL RIGHTS RESERVED	HOUSE TYPE: HEATHMONT 255 - RH (MODIFIED)		ISSUE: G ISSUE DATE: 09.07.25 SCALE: 1 : 100 DRAWN: JG SHEET NO: 03A		MASTER DATE: 25.02.25 CHECKED: JG OF: 13

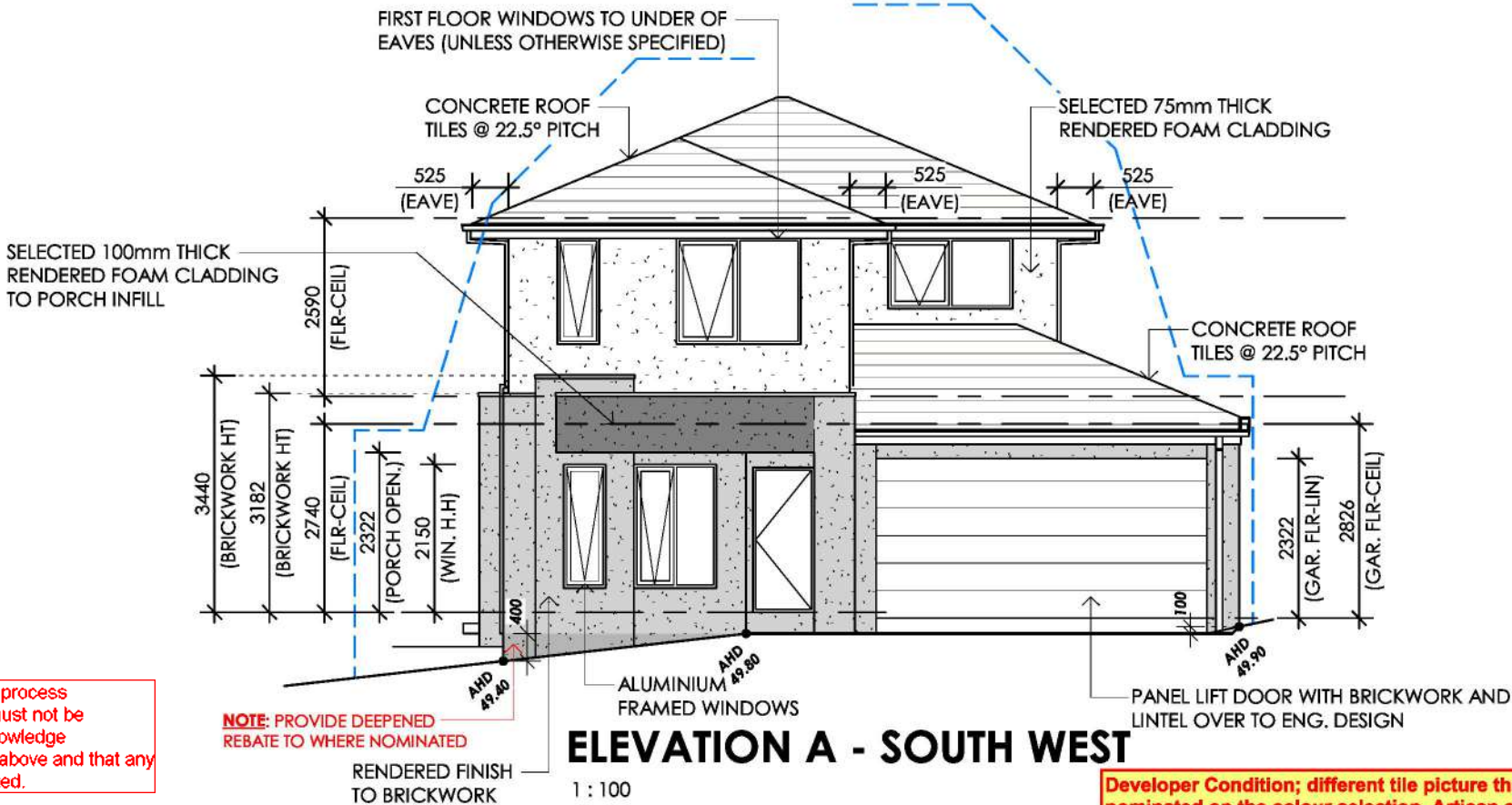
EXTERNAL DOOR THRESHOLDS:

THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

DISCLAIMER:

GARAGE DOOR IS INDICATIVE ONLY AND IS NOT AN ACCURATE DEPICTION OF HOW MANY PANELS ARE ON DOOR

- RENDERED FOAM (COLOUR TO MATCH RENDERED BRICK)
- RENDERED BRICK
- RENDERED FOAM
- FC SHEET



EXTERNAL MATERIAL SCHEDULE

TYPE	DESCRIPTION/COLOUR	IMAGE
FACE BRICKWORK	AUSTRAL 'DOMAIN ANCHORAGE'	
RENDER (PORCH & GROUND FLOOR)	RENDER IN HAYMES 'CITY STONE'	
RENDER (FIRST FLOOR)	RENDER IN HAYMES 'AGED GREY 3'	
ROOF TILES	BRISTLE CLASSIC RANGE 'COOL SMOKE' (LOW PROFILE TILE)	
FASCIA/GUTTER DOWNPIPES	COLORBOND 'MONUMENT'	
GARAGE DOOR	COLORBOND 'SURFMIST'	
WINDOW FRAMES	ALUMINIUM IN 'MONUMENT'	
FRONT DOOR	HAYMES 'AGED GREY 3'	

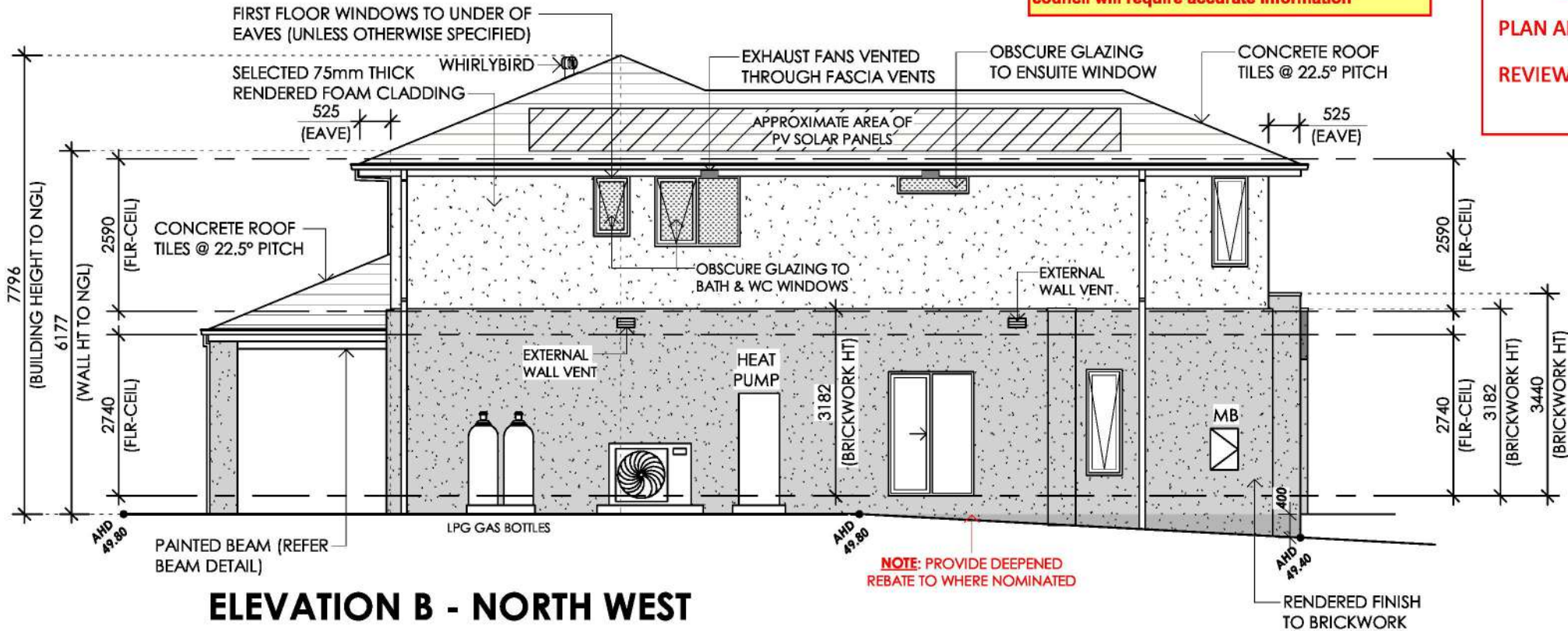
Developer Condition; different tile picture than nominated on the colour selection, Artisan and Classic are two different profiles, either are acceptable as per the Design Guidelines, however, council will require accurate information

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 11.07.2025

REVIEWED BY:

BW



8687
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Officer VIC 3809
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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
**HEATHMONT 255 - RH
(MODIFIED)**

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SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:

**LOT 125, MONTEREY WAY
PAKENHAM, 3810**

DRAWING TITLE:
ELEVATIONS

ISSUE: G

ISSUE DATE: 09.07.25

SCALE: 1 : 100

DRAWN: JG

SHEET NO: 04

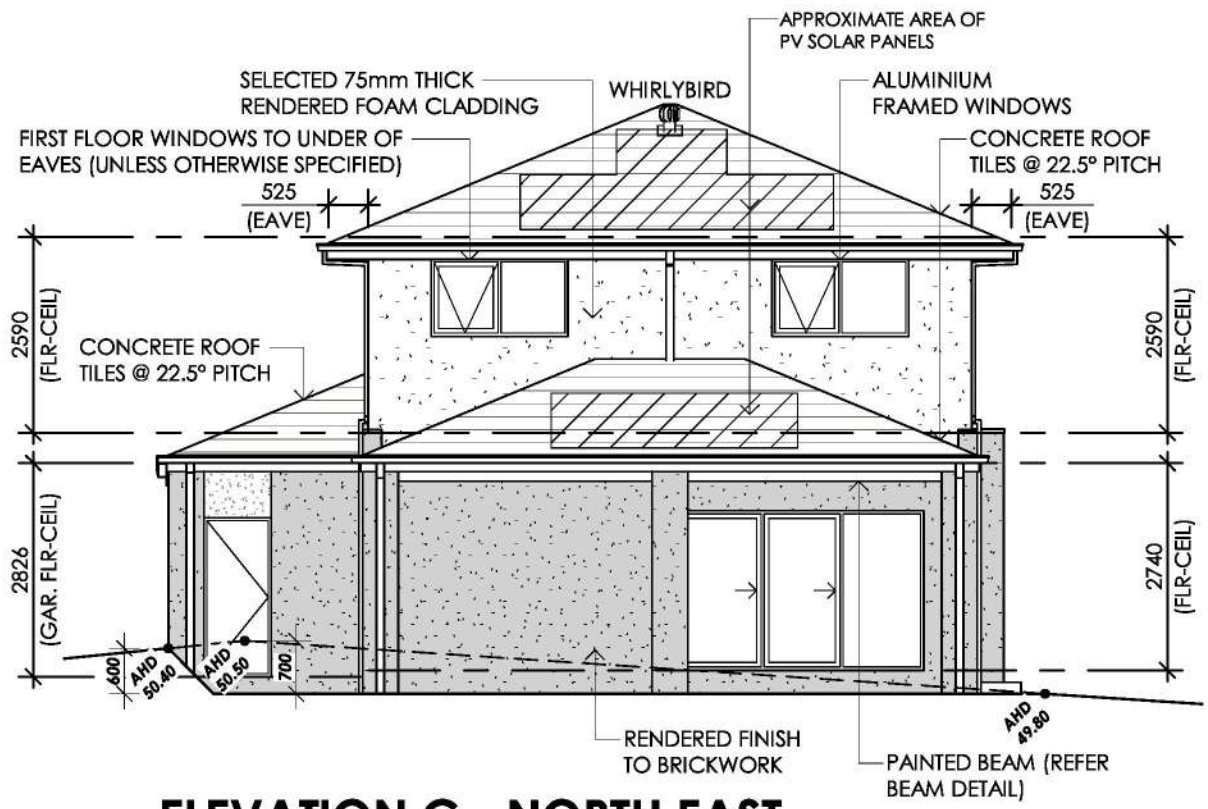
MASTER DATE: 25.02.25

CHECKED: JG

OF: 13

EXTERNAL DOOR THRESHOLDS:
THRESHOLDS OF EXTERNAL DOORS TO BE
NO GREATER THAN 230mm ABOVE THE
ADJOINING SURFACE

- RENDERED FOAM (COLOUR
TO MATCH RENDERED BRICK)
- RENDERED BRICK
- RENDERED FOAM
- FC SHEET



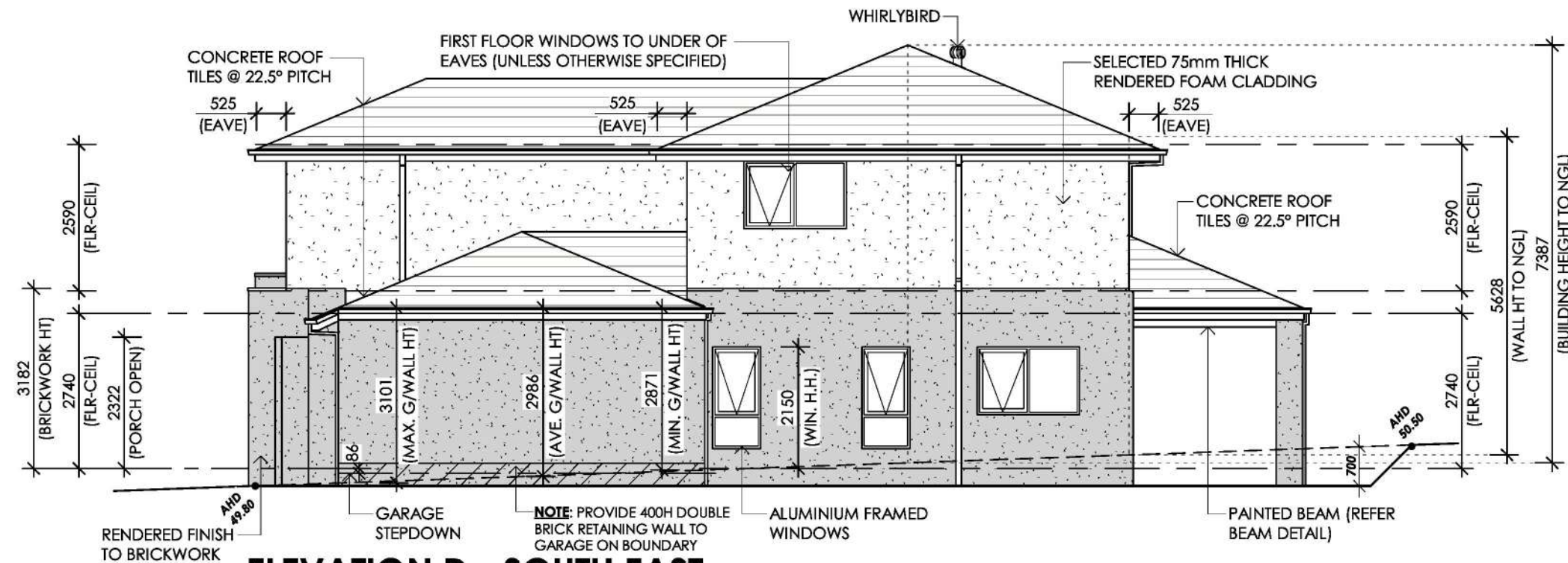
ELEVATION C - NORTH EAST
1 : 100

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DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 11.07.2025

REVIEWED BY: [Redacted Signature]



ELEVATION D - SOUTH EAST
1 : 100

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	<div>HOUSE TYPE:</div> <div>HEATHMONT 255 - RH (MODIFIED)</div> <div>THIS WORK IS THE PROPERTY OF SJD HOMES AND ANY COPYING OR ALTERING OF THE DRAWING SHALL NOT BE UNDERTAKEN WITHOUT WRITTEN PERMISSION FROM SJD HOMES</div>				ISSUE: G	
					ISSUE DATE: 09.07.25	
					SCALE: 1 : 100	MASTER DATE: 25.02.25
					DRAWN: JG	CHECKED: JG
					SHEET NO: 04A	OF: 13

GENERAL NOTES (NCC 2022 BCA Vol 2)

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT ARE NOT LIMITED TO THE NATIONAL CONSTRUCTION CODE 2022 THE BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE NCC 2022.
- GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE & THICKNESS SO AS TO COMPLY WITH:
 - NCC PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND
 - NCC VOL 1 PART B1.4 FOR CLASS 2 TO 9 BUILDINGS
- WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2021: WATERPROOFING OF DOMESTIC WET AREAS.

SUSTAINABILITY MEASURES FOR NEW CLASS 1 BUILDINGS

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED ENERGY RATER.

LIVABLE HOUSING DESIGN

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH NCC VOLUME 2 PART H8 AND THE ABCB STANDARD FOR LIVABLE HOUSING DESIGN.

- STEP-FREE ACCESS IS SATISFIED BY COMPLYING WITH NCC PART H8D2 OR THE PROPOSED PERFORMANCE SOLUTION IN ACCORDANCE WITH A2G2(3) AND A2G4(3) OF THE NCC 2022

SITE BUSHFIRE ATTACK ASSESSMENT

REFERENCE DOCUMENT AS 3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS.

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/ DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
- SITE PLAN MEASUREMENTS IN MILLIMETRES - ALL OTHER MEASUREMENTS IN MILLIMETRES U.N.O.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION

SITE CLASSIFICATION

SITE CLASSIFICATION AS CLASS:	P
REFER TO SOIL REPORT NO:	177207
BY:	STRUTERRE

STORMWATER

90mmØ (UPTO 250m2) OR 100mmØ (OVER 250m2) CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION.

THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN

- 100MM UNDER SOIL
- 50MM UNDER PAVED OR CONCRETE AREAS
- 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
- 75MM UNDER REINFORCED CONCRETE DRIVEWAYS

AUTHORITIES / CONSULTANTS

MUNICIPALITY NAME:	CARDINIA SHIRE
SEWERAGE AUTHORITY:	SOUTH EAST WATER
CONSULTING STRUCTURAL ENGINEER:	STRUTERRE
GEOTECHNICAL ENGINEER:	STRUTERRE
THERMAL PERFORMANCE ASSESSOR:	PASSIVENERGY

STEP AND LANDINGS

- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
- RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
- GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
- 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
- WITH LESS THAN 125MM MAXIMUM GAP BETWEEN OPEN TREADS
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SUPRESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:
- 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
- 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND;
- VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND;
- ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC VOLUME 2 PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2019 VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HAND RAILS TO BE 865MM MINIMUM ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.

- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.
- CONCRETE STUMPS: UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO. H.D. WIRE) 1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO. H.D. WIRES) 1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO. H.D. WIRES) 100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.
- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773.1-2015 MASONRY IN SMALL BUILDINGS PART 1:DESIGN
- ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF SJD HOMES (THE DESIGNER) FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
- THE CLIENT SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF SJD HOMES EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO SJD HOMES.
- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

SJDhomes



HEATHMONT 255 - RH (MODIFIED)

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BUSHFIRE ATTACK LEVEL:- (BAL)

BAL NIL

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: N2 - 26 m/s

IMPORTANT NOTE:
THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)
STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

ISSUE	AMENDMENT DETAILS
A	INITIAL WORKING DRAWINGS ISSUED JG (05.05.25)
B	PLAN CHANGES AND LANDSCAPE PLAN ADDED - TLG (20.05.25)
C	MINOR PLAN CHANGES TLG (22.05.25)
D	PLAN CHANGES FOR CONTRACTS TLG (10.06.25)
E	PLAN CHANGES FOR CONTRACTS TLG (11.06.25)
F	CONCRETE PAD FOR LPG BOTTLES ADDED TLG (16.06.25)
G	MINOR PLAN CHANGES FOR DEVELOPER TLG (09.07.25)
H	SDO ADDED TO PLANS TLG (13.08.25)
I	PLAN CHANGES & ENGINEERING ADDED LN (04.09.25)
J	PLAN CHANGES AS PER COUNCIL RFI TLG (23.09.25)
K	
L	
M	
N	
O	
P	

 <div>433 Princes Hwy Officer VIC 3809 Ph: 9095 8000 Fax: 9095 8010 info@sjdhomes.com.au</div> <div>BL No. CDB-U 56523 © ALL RIGHTS RESERVED</div>	PROPOSED: HOUSE & GARAGE	SIGNED BUILDER: <div></div> SIGNED OWNER: <div></div> DATE: <div></div>	SITE ADDRESS: LOT 125, MONTEREY WAY PAKENHAM, 3810	DRAWING TITLE: GENERAL NOTES
	HOUSE TYPE: HEATHMONT 255 - RH (MODIFIED)			ISSUE: J ISSUE DATE: 23.09.25 SCALE: MASTER DATE: 25.02.25 DRAWN: JG CHECKED: JG SHEET NO: 01 OF: 13

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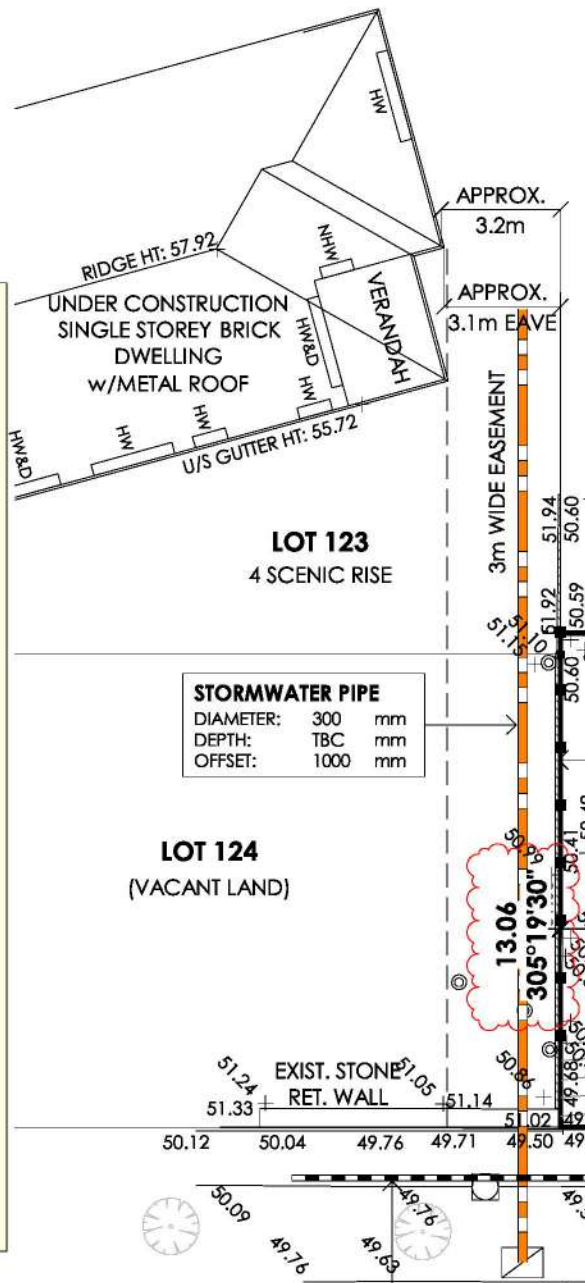
DRAINAGE NOTES:

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.
- BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
- STORMWATER DRAINS ARE INDICATIVE ONLY. DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION
- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
- GRADED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
- PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN.
- SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM

BUSHFIRE REQUIREMENTS - BAL 12.5

- ALL JOINTS IN THE EXTERNAL WALL MATERIAL ARE TO BE SEALED COVERED OR OVERLAPPED TO PREVENT GAPS GREATER THAN 3mm.
- GAPS BETWEEN DOORS AND DOOR JAMBS, HEADS AND SILLS (THRESHOLDS ARE TO BE MAX 3mm). ALTERNATIVELY INSTALL DRAFT EXCLUDERS.
- PROVIDE INTERNAL OR EXTERNAL SCREENS TO ALL OPENABLE PORTIONS OF WINDOWS. SCREENS SHALL HAVE MESH WITH A MAX. APERTURE OF 2mm. MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
- ENTRANCE & ALL EXTERNAL DOORS TO COMPLY WITH ONE OF THE FOLLOWING:
 - PROVIDE EXTERNAL SCREENS TO THE DOORS. SCREENS SHALL HAVE MESH WITH MAX. 2mm APERTURE AND MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
 - DOORS MUST BE:
 - 35mm THICK SOLID TIMBER FOR THE FIRST 400mm ABOVE THRESHOLD, OR;
 - BE PROVIDED WITH A NON-COMBUSTIBLE KICK PLATE ON THE OUTSIDE FOR THE FIRST 400mm ABOVE THE THRESHOLD
 - MUST BE TIGHT FITTING TO THE DOOR FRAME
 - PROVIDE BUSHFIRE RESISTANT TIMBER TO PART OF THE DOOR FRAME WHICH IS LESS THAN 400mm FROM THE GROUND. INSTALL WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS TO THE BASE OF THE DOORS.
- PROVIDE EXTERNAL GLASS SLIDING DOORS WITH ONE OF THE FOLLOWING MEASURES:
 - PROVIDE EXTERNAL SCREENS WITH A MAX. APERTURE OF 2mm MADE OF CORROSION RESISTANT STEELS, BRONZE OR ALUMINIUM
 - GLAZING TO BE MIN 5mm SAFETY GLASS. DOOR FRAME SHALL BE METAL OR BUSHFIRE RESISTANT TIMBER AND SLIDING DOORS MUST BE TIGHT FITTING IN THE FRAMES.
- GARAGE ROLLER/PANEL LIFT DOOR TO BE PROTECTED WITHIN 400mm OF GROUND WITH ONE OF THE FOLLOWING MEASURES:
 - NON-COMBUSTIBLE MATERIAL OR;
 - BUSHFIRE RESISTANT TIMBER OR;
 - MIN 6mm THICK FC SHEET
- GARAGE DOOR TO BE FITTED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS OR GUIDE TRACKS WITH MAX. 3mm GAP. ROLLER DOOR SHALL HAVE A NYLON BRUSH WHICH IS IN CONTACT WITH THE DOOR
- ROOF SHALL BE FULLY SARKED, INCLUDING RIDGE AND EXTENDED TO FASCIA AND GUTTERS.
- ROOF PENETRATIONS TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.
- ANY ROOF OPENINGS, VENT PIPES ECT. ARE TO BE FITTED WITH EMER GUARDS WITH MAX. 2mm APERTURE AND MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
- ANY ABOVE GROUND, EXPOSED WATER & GAS SUPPLY LINES TO BE METAL.

WHERE APPLICABLE, THE PROPOSED DEVELOPMENT MUST COMPLY WITH ANY BUSHFIRE MANAGEMENT PLAN REQUIREMENT.



STORMWATER PIPE
DIAMETER: 300 mm
DEPTH: TBC mm
OFFSET: 1000 mm

SEWER PIPE
DIAMETER: 150 mm
DEPTH: 2730 mm
OFFSET: 1350 mm

STREET TREE PROTECTION:

BEFORE THE DEVELOPMENT STARTS, A TREE PROTECTION FENCE MUST BE ERECTED AROUND ANY EXISTING STREET TREES TO BE RETAINED OUTSIDE THE CANOPY ZONE OF THE TREE TO DEFINE A "TREE PROTECTION AREA". THE FENCE MUST BE CONSTRUCTED OF STAR PICKETS AND CHAIN MESH OR SIMILAR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. THE TREE PROTECTION FENCE MUST REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED. NO VEHICULAR OR PEDESTRIAN ACCESS, TRENCHING OR SOIL EXCAVATION IS TO OCCUR WITHIN THE TREE PROTECTION AREA WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. NO STORAGE OR DUMPING OF TOOLS, EQUIPMENT OR WASTE IS TO OCCUR WITHIN THE TREE PROTECTION AREA. ANY PRUNING THAT IS REQUIRED TO BE DONE TO THE CANOPY OR ROOTS OF ANY TREE TO BE RETAINED IS TO BE DONE WITH PERMISSION BY COUNCIL'S ARBORIST BY A QUALIFIED ARBORIST TO AUSTRALIAN STANDARD - PRUNING OF AMENITY TREES AS4373-2007

SITE CUT/FILL LEGEND & NOTES

- DENOTES AREA OF SITE CUT
- DENOTES AREA OF SITE FILL

NOTE:

PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPED AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.

NOTE:

BUILDER RESERVES THE RIGHT TO ALTER THE SITE CUT HEIGHT TO THEIR DISCRETION, PENDING CONDITIONS ON SITE

SITE CUT & FILL NOTE

PROVIDE SITE CUT OF 700 mm & FILL 400 mm OVER BUILDING AREA & PROVIDE AN ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMMODATE 86 mm STEPDOWN. NOTE: 45 ° BATTER ANGLE

STORMWATER LAYOUT

STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

TERMITE TREATMENT REQUIRED

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

EXTERNAL STEPS

PROVIDE STEPS OR BUILD UP SOIL AROUND EXTERNAL DOORS WHERE THRESHOLD OF THE DOOR EXCEEDS 190MM

POWER FEED-IN TO DWELLING:

PROVIDE THREE PHASE POWER TO DWELLING

BUILDERS TO ALLOW FOR NBN CONNECTION (FIBRE OPTIC)

SITE COVERAGE ANALYSIS

PERMEABLE AREA	223.94 m²	57.83%
BUILDING AREA	163.33 m²	42.17%
TOTAL SITE AREA	387.26 m²	100%

GARDEN AREA ANALYSIS

DRIVEWAY AREA	24.99 m2	
GARDEN AREA	138.17 m2	35.7 %

LESS THAN 400 SQM: GARDEN AREA IS NOT APPLICABLE

NOTE: GARDEN AREA DOES NOT INCLUDE A DRIVEWAY, ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1M

CREEK CIRCUIT

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REV J (23.09.25) - CHANGED ADDED AS PER COUNCIL RFI:

- BEARINGS CORRECTED TO MATCH POS
- GARAGE WALL NOTE UPDATED
- DRIVEWAY WIDTH AND OFFSET NOMINATED



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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
HEATHMONT 255 - RH (MODIFIED)

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SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:

**LOT 125, MONTEREY WAY
PAKENHAM, 3810**

DRAWING TITLE:

SITE PLAN

ISSUE: J

ISSUE DATE: 23.09.25

SCALE: 1 : 200

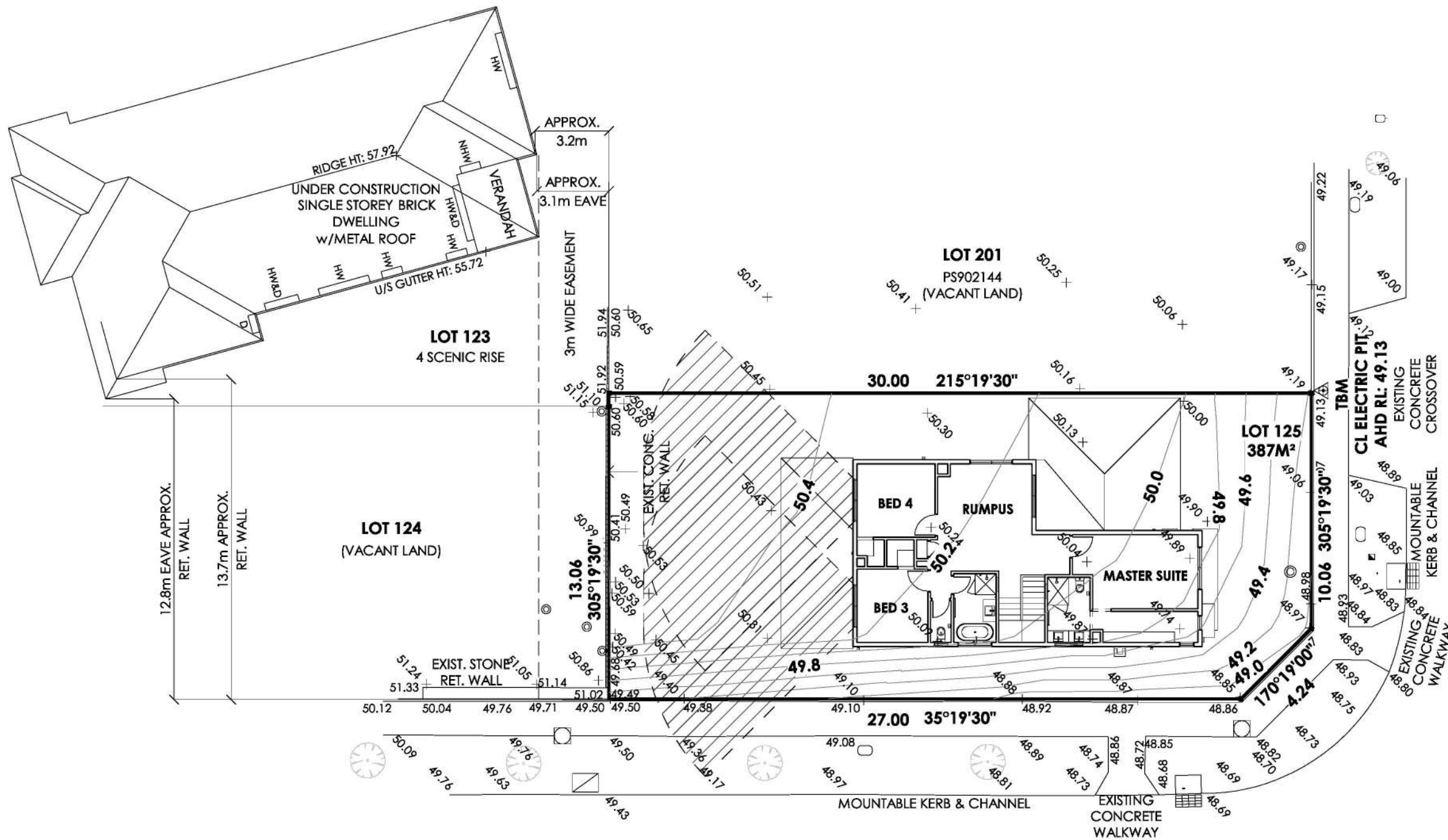
MASTER DATE: 25.02.25

DRAWN: JG

CHECKED: JG

SHEET NO: 02

OF: 13



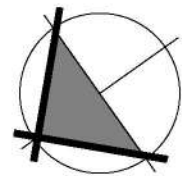
MONTEREY WAY

CREEK CIRCUIT

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OVERLOOKING LEGEND

- WINDOWS THAT **DO** REQUIRE FIXED SCREENING BELOW 1700mm FROM FLOOR LEVEL
- WINDOWS THAT **DO NOT** REQUIRE FIXED SCREENING BELOW 1700mm FROM FLOOR LEVEL
- WINDOWS THAT **DO NOT** REQUIRE FIXED SCREENING DUE TO EXISTING FENCES



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**HEATHMONT 255 - RH
(MODIFIED)**

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SIGNED BUILDER:

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LOT 125, MONTEREY WAY
PAKENHAM, 3810

DRAWING TITLE:
OVERLOOKING PLAN

ISSUE: J
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DRAWN: JG
SHEET NO: 02A
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CHECKED: JG
OF: 13

EXTERNAL MATERIAL SCHEDULE	
TYPE	DESCRIPTION/COLOUR
FACE BRICKWORK	AUSTRAL 'DOMAIN ANCHORAGE'
RENDER (PORCH & GROUND FLOOR)	RENDER IN HAYMES 'CITY STONE'
RENDER (FIRST FLOOR)	RENDER IN HAYMES 'AGED GREY 3'
ROOF TILES	BRISTLE 'COOL SMOKE'
FASCIA/GUTTER DOWNPIPES	COLORBOND 'MONUMENT'
GARAGE DOOR	COLORBOND 'SURFMIST'
WINDOW FRAMES	ALUMINIUM IN 'MONUMENT'
FRONT DOOR	HAYMES 'AGED GREY 3'

NOTE: THE LANDSCAPING SHOWN ON THE ENDORSED PLAN/S MUST BE MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY INCLUDING REPLACING ANY DEAD, DISEASED OR DAMAGED PLANTS.

NOTE: WITHIN THREE (3) MONTHS OF A CERTIFICATE OF OCCUPANCY BEING ISSUED UNDER THE BUILDING ACT 1993, THE LANDSCAPING WORKS SHOWN ON THE ENDORSED PLAN/S MUST BE CARRIED OUT AND COMPLETED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

NOTE: ALL SPECIES SELECTED MUST BE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY AND SHOULD BE DROUGHT TOLERANT AND PROVEN HARDY CULTIVARS SUITABLE TO THE LOCAL CONDITIONS. PLANTINGS MUST NOT IMPACT SIGHTLINES FOR, OR IMPEDE THE MOVEMENT OF, VEHICLES, PEDESTRIANS OR CYCLISTS.


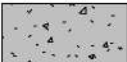

NOTE: WATER EFFICIENT APPLIANCES TO BE INSTALLED

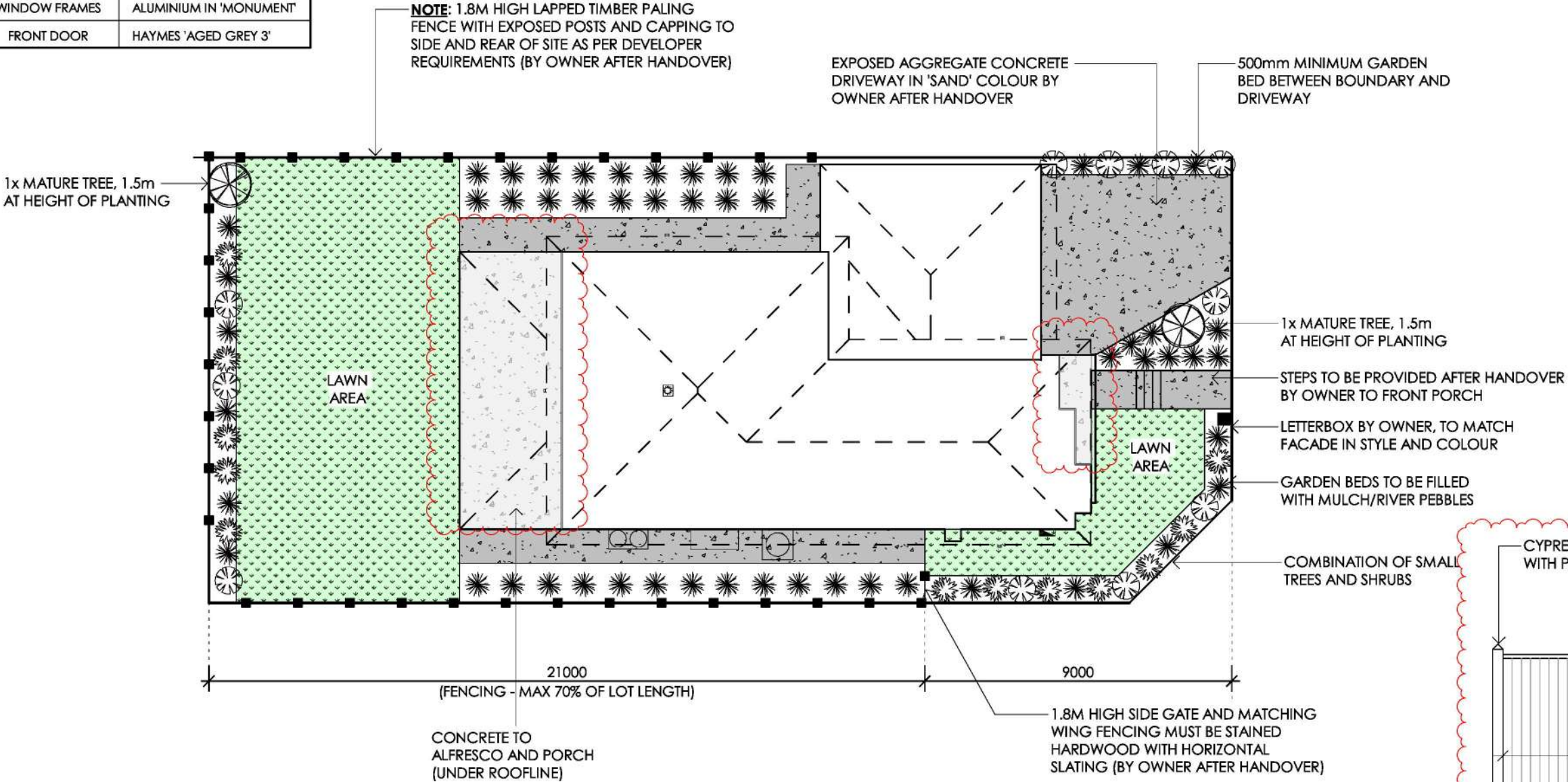
NOTE: LANDSCAPE PLAN IS INDICATIVE ONLY AND IS SUBJECT TO DEVELOPER APPROVAL

NOTE: ALL LANDSCAPING IS TO BE COMPLETED BY CLIENT AFTER HANDOVER

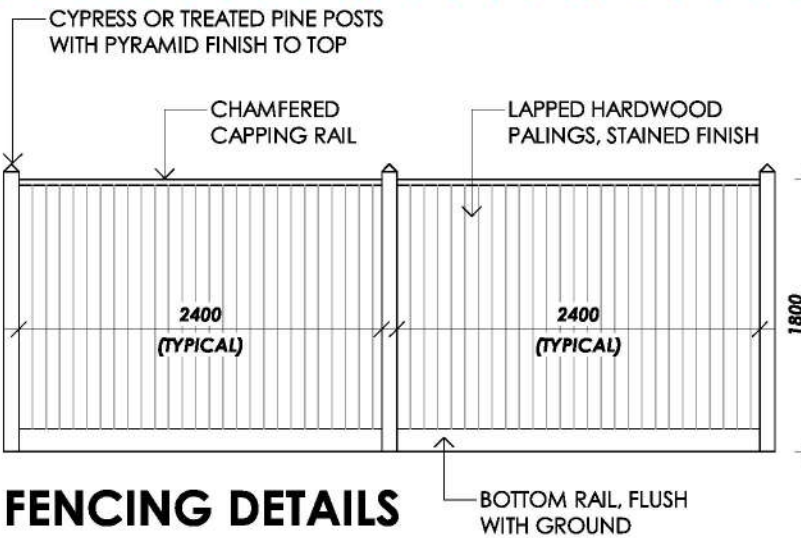
	QTY	BOTANICAL NAME	COMMON NAME	MATURE H x W	POT SIZE
	2x	BANKSIA INTEGRIFOLIA	COAST BANKSIA	6M x 3M	40L
	12x	CALLISTEMON VIMINALIS	CALLISTEMON GREEN JOHN	0.6M x 0.6M	140mm
	54x	WESTRINGIA FRUTICOSA	WESTRINGIA GREY BOX	0.45M x 0.3M	100mm
	12x	GREVILLEA ROSMARINIFOLIA	CRIMSON VILLEA	0.8M x 0.8M	140mm

LANDSCAPE LEGEND

-  GRASS AREA
-  CONCRETE DRIVEWAY/PATH
-  PROPOSED FENCING



LETTERBOX DESIGN AS PER DEVELOPER REQUIREMENTS



FENCING DETAILS

1 : 50

REV J (23.09.25) - CHANGED ADDED AS PER COUNCIL RFI:
- CONCRETE UPDATE TO INDICATED UNDER ROOFLINE
- PLANTING UPDATED TO NATIVE SPECIES
- FENCING DETAILS/ELEVATION ADDED

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HOUSE & GARAGE

HOUSE TYPE:
HEATHMONT 255 - RH (MODIFIED)

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SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:
LOT 125, MONTEREY WAY
PAKENHAM, 3810

DRAWING TITLE:
LANDSCAPE PLAN

ISSUE: J

ISSUE DATE: 23.09.25

SCALE: As

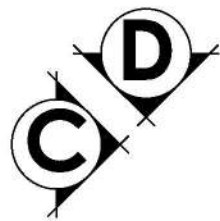
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CHECKED: JG

OF: 13



NOGGINS FOR ACCESSIBILITY
PROVIDE NOGGINS/SHEETING TO
AREAS NOMINATED BY: - - - - -

REFER TO INTERNAL ELEVATIONS FOR
SIZING AND HEIGHTS

PROVIDE R2.0HP INSULATION TO
WET AREAS NOMINATED AS: //

IMPORTANT NOTE:
DENOTES A SERVICE VOID SPACE THAT CANNOT
BE REMOVED, REDUCED OR RELOCATED

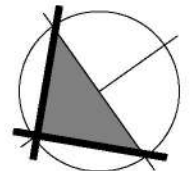
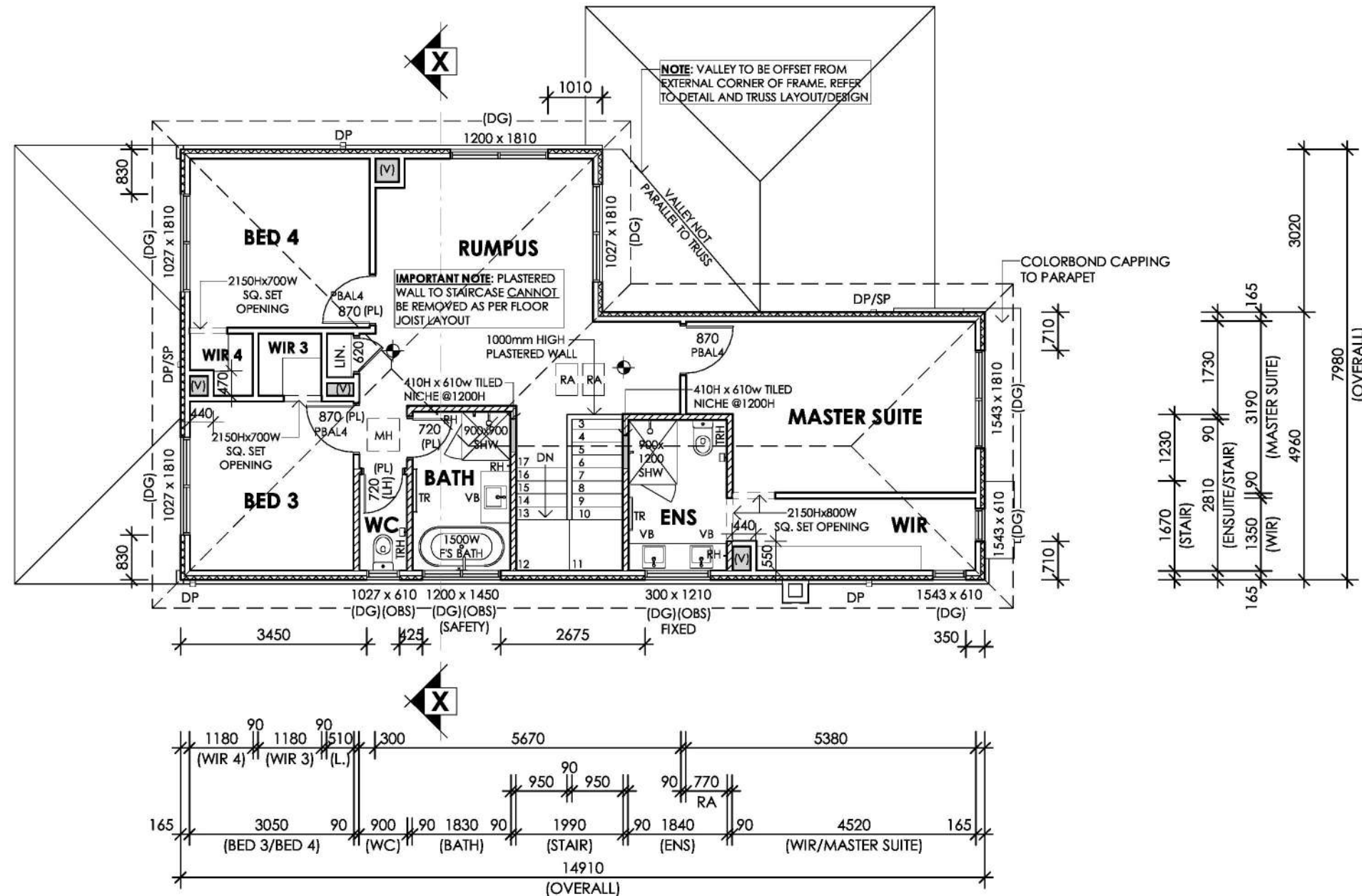
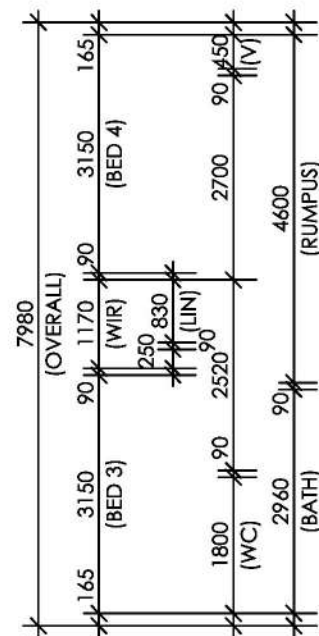
FLOOR JOISTS & TRUSS LAYOUT DESIGN TO BE CLEAR OF ALL
VOID LOCATIONS AS PER FLOOR PLAN

FLOOR JOISTS TO BE CLEAR OF ALL WASTE LOCATIONS AS
PER FIRST FLOOR PLAN & SETOUT PLAN

PROVIDE 50mm RECESS TO FIRST
FLOOR JOISTS FOR FLUSH TILED SHR
BASES IN BATHROOM AND ENSUITE

GENERAL NOTES

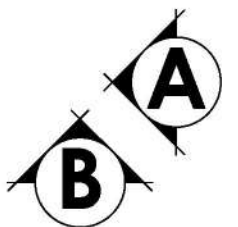
- WRITTEN DIMENSIONS ALWAYS TAKE PREFERENCE OVER SCALE
- BUILDER MAY ADJUST GARAGE DOOR HEIGHT AND WIDTH ON SITE AS REQUIRED
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - * EXTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD
 - * INTERNAL 90mm STUD
- ALL INTERNAL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK - *)
- PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS WHERE INDICATED (LH)
- PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR
- 600x600 CEILING ACCESS MANHOLE LOCATION
- SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
- CEILING EXHAUST FAN SWITCHED/COMBINED WITH LIGHT
- ENGINEER DESIGNED BEAM - (EDB)
- DOUBLE GLAZING - (DG)
- BRICKWORK ARTICULATION JOINT
- EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
- SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
- BIB TAP RECYCLED TAP
- GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
- HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS



AREAS TABLE

AREA	m2	SQ
GROUND FLOOR	99.79 m ²	10.74
FIRST FLOOR	97.57 m ²	10.50
SUB TOTAL:	197.36 m ²	21.24
OUTDOOR LIVING	24.39 m ²	2.63
GARAGE	36.37 m ²	3.92
PORCH	2.77 m ²	0.30
SUB TOTAL:	63.53 m ²	6.84
GRAND TOTAL:	260.90 m ²	28.08

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PROPOSED:
HOUSE & GARAGE

HOUSE TYPE:
**HEATHMONT 255 - RH
(MODIFIED)**

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SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:

**LOT 125, MONTEREY WAY
PAKENHAM, 3810**

DRAWING TITLE:
FIRST FLOOR PLAN

ISSUE: J

ISSUE DATE: 23.09.25

SCALE: 1 : 100 MASTER DATE: 25.02.25

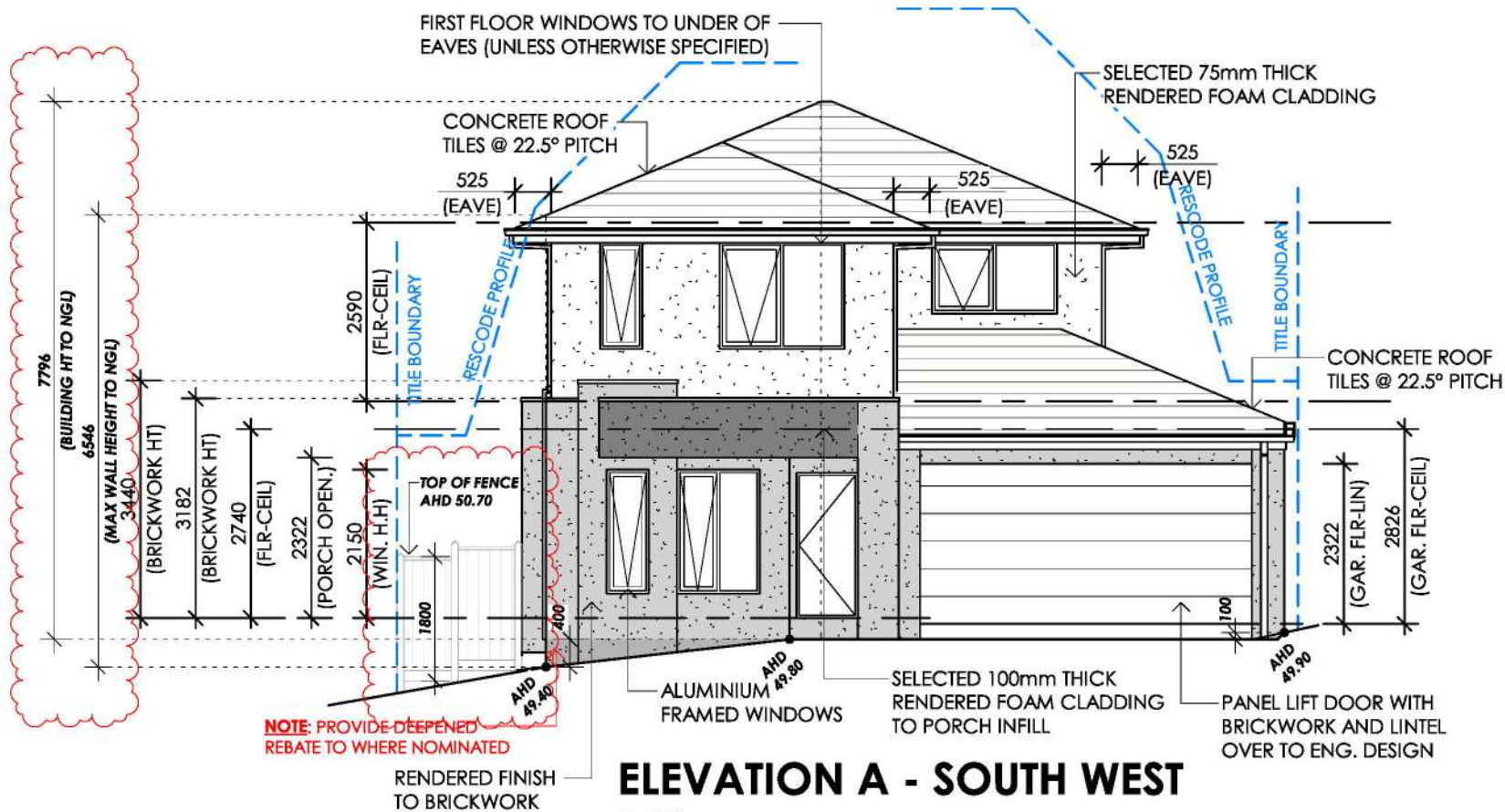
DRAWN: JG CHECKED: JG

SHEET NO: 03A OF: 13

EXTERNAL DOOR THRESHOLDS:
THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

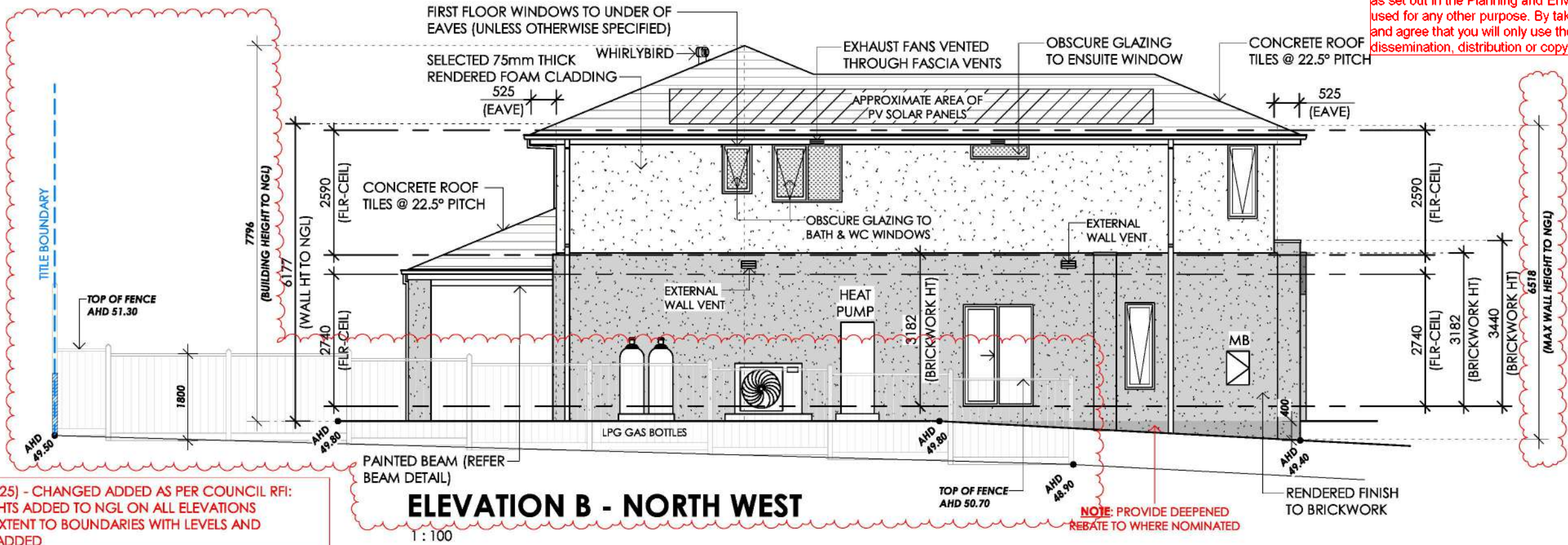
DISCLAIMER:
GARAGE DOOR IS INDICATIVE ONLY AND IS NOT AN ACCURATE DEPICTION OF HOW MANY PANELS ARE ON DOOR

- 
- RENDERED FOAM (COLOUR TO MATCH RENDERED BRICK)
- RENDERED BRICK
- RENDERED FOAM
- FC SHEET



EXTERNAL MATERIAL SCHEDULE		
TYPE	DESCRIPTION/COLOUR	IMAGE
FACE BRICKWORK	AUSTRAL 'DOMAIN ANCHORAGE'	
RENDER (PORCH & GROUND FLOOR)	RENDER IN HAYMES 'CITY STONE'	
RENDER (FIRST FLOOR)	RENDER IN HAYMES 'AGED GREY 3'	
ROOF TILES	BRISTLE CLASSIC RANGE 'COOL SMOKE' (LOW PROFILE TILE)	
FASCIA/GUTTER DOWNPIPES	COLORBOND 'MONUMENT'	
GARAGE DOOR	COLORBOND 'SURFMIST'	
WINDOW FRAMES	ALUMINIUM IN 'MONUMENT'	
FRONT DOOR	HAYMES 'AGED GREY 3'	

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REV J (23.09.25) - CHANGED ADDED AS PER COUNCIL RFI:
- WALL HEIGHTS ADDED TO NGL ON ALL ELEVATIONS
- FENCING EXTENT TO BOUNDARIES WITH LEVELS AND DIMENSIONS ADDED



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HOUSE & GARAGE

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SIGNED BUILDER:

SIGNED OWNER:

DATE:

SITE ADDRESS:
**LOT 125, MONTEREY WAY
PAKENHAM, 3810**

DRAWING TITLE:
ELEVATIONS

ISSUE: J

ISSUE DATE: 23.09.25

SCALE: 1 : 100

DRAWN: JG

SHEET NO: 04

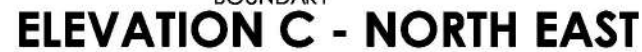
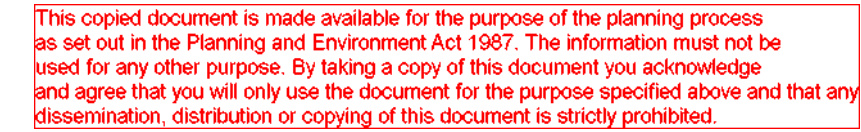
8687
FOR OFFICE USE ONLY

MASTER DATE: 25.02.25

CHECKED: JG

OF: 13

THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE



Architectural elevation drawing of a two-story house. The drawing includes the following annotations and dimensions:

- Roof:** CONCRETE ROOF TILES @ 22.5° PITCH. WHIRLYBIRD.
- Walls:** FIRST FLOOR WINDOWS TO UNDER OF EAVES (UNLESS OTHERWISE SPECIFIED). SELECTED 75mm THICK RENDERED FOAM CLADDING.
- Dimensions:**
 - 6157 (MAX WALL HEIGHT TO NGL)
 - 3182 (BRICKWORK HT)
 - 2590 (FLR-CEIL)
 - 2740 (FLR-CEIL)
 - 2322 (PORCH OPEN)
 - 3101 (MAX. G/WALL HT)
 - 2986 (AVE. G/WALL HT)
 - 2871 (MIN. G/WALL HT)
 - 2150 (WIN. H.H.)
 - 5628 (WALL HT TO NGL)
 - 7387 (BUILDING HEIGHT TO NGL)
 - 1800 (TOP OF FENCE AHD 52.40)
 - 700
 - 50.60
 - 51.00
- Materials/Finishes:** RENDERED FINISH TO BRICKWORK, GARAGE STEPDOWN, ALUMINIUM FRAMED WINDOWS, PAINTED BEAM (REFER BEAM DETAIL).
- Notes:**
 - NOTE: PROVIDE 400H DOUBLE BRICK WALL TO GARAGE ON BOUNDARY FOR SITE CUT
 - TOP OF FENCE AHD 51.90
 - TOP OF FENCE AHD 52.40
 - TITLE BOUNDARY

1 : 100

SHEET NO: 04A OF: 13

