
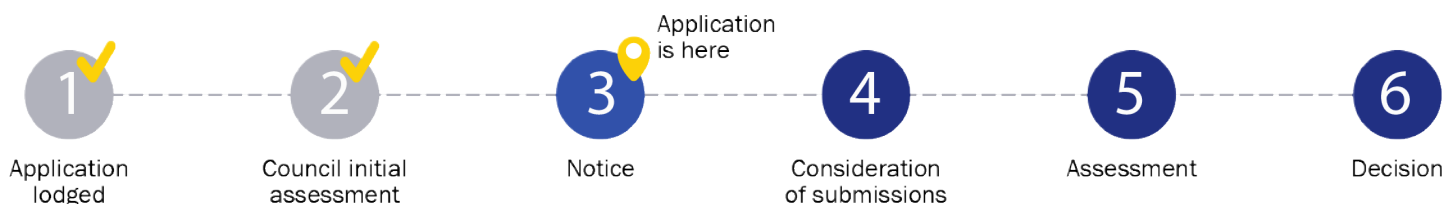


Notice of Application for a Planning Permit

The land affected by the application is located at:	L130 PS848743 V12580 F420 116 Pakenham Road, Pakenham VIC 3810	
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a fence	
42.01-2	Construct a building or construct or carry out works	
APPLICATION DETAILS		
The applicant for the permit is:	Platinum Planning Solutions	
Application number:	T250403	
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		30 September 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>





ePlanning

Application Summary

Portal Reference A32541Q2

Basic Information

Proposed Use	Proposed single storey dwelling house and associated works.
Current Use	Vacant land, cleared of any vegetation.
Cost of Works	\$369,900
Site Address	116 Pakenham Road Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	[REDACTED] Platinum Planning Solutions	9/25 Harbour Village Parade, Coomera Waters QLD 4209	W: 0459-744-185 E: retail@platinumplanning.com.au
Owner	[REDACTED]		
Preferred Contact	[REDACTED] Platinum Planning Solutions	9/25 Harbour Village Parade, Coomera Waters QLD 4209	W: 0459-744-185 E: retail@platinumplanning.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
Total			\$1,462.50

Meetings

Meeting Type	Officer Name	Date of Meeting
Enforcement	[REDACTED] via email	01 Jul 2025



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
09-07-2025	A Copy of Title	Land Title and associated documents.pdf
09-07-2025	Site plans	Architectural Plans.pdf
09-07-2025	Overlay Requirements	Cover Letter - 116 Pakenham Road Pakenham.pdf
09-07-2025	Additional Document	NatHERS Certificate and stamped plans.pdf
09-07-2025	Additional Document	Insurance Cost of Works.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	<div>Platinum Planning Solutions</div>	9/25 harbour village parade, Coomera Waters QLD 4209	W: 0459-744-185 M: 0459-744-185 E: retail@platinumplanning.com.au
Submission Date	09 July 2025 - 05:29:PM		

Declaration

☒ By ticking this checkbox, I, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday
8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250403 PA
Address of the Land:	L130 PS848743 V12580 F420, 116 Pakenham Road, Pakenham V

APPLICANT DETAILS

Name:	
Organisation:	Platinum Planning Solutions
Address:	Platinum Planning Solutions 9/25 Harbour Village Parade Coomer
Phone:	0459744185
Email:	retail@platinumplanning.com.au

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
<p>Clause 42.01-2 a permit is required to construct a fence, in addition under the provisions of the Environmental Significance Overlay, a planning permit is required to construct a building or to construct or carry out works. Please find attached updated plans and additional documentation in response to Council's Request for Further Information (RFI)</p>		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	01/09/2025

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
--

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12580 FOLIO 420

Security no : 124127615422N
Produced 29/08/2025 02:09 PM

LAND DESCRIPTION

Lot 130 on Plan of Subdivision 848743W.
PARENT TITLE Volume 12330 Folio 801
Created by instrument PS848743W 31/10/2024

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 116 PAKENHAM ROAD PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.


Document Type	Plan
Document Identification	PS848743W
Number of Pages (excluding this cover sheet)	4
Document Assembled	29/08/2025 14:09

Copyright and disclaimer notice:

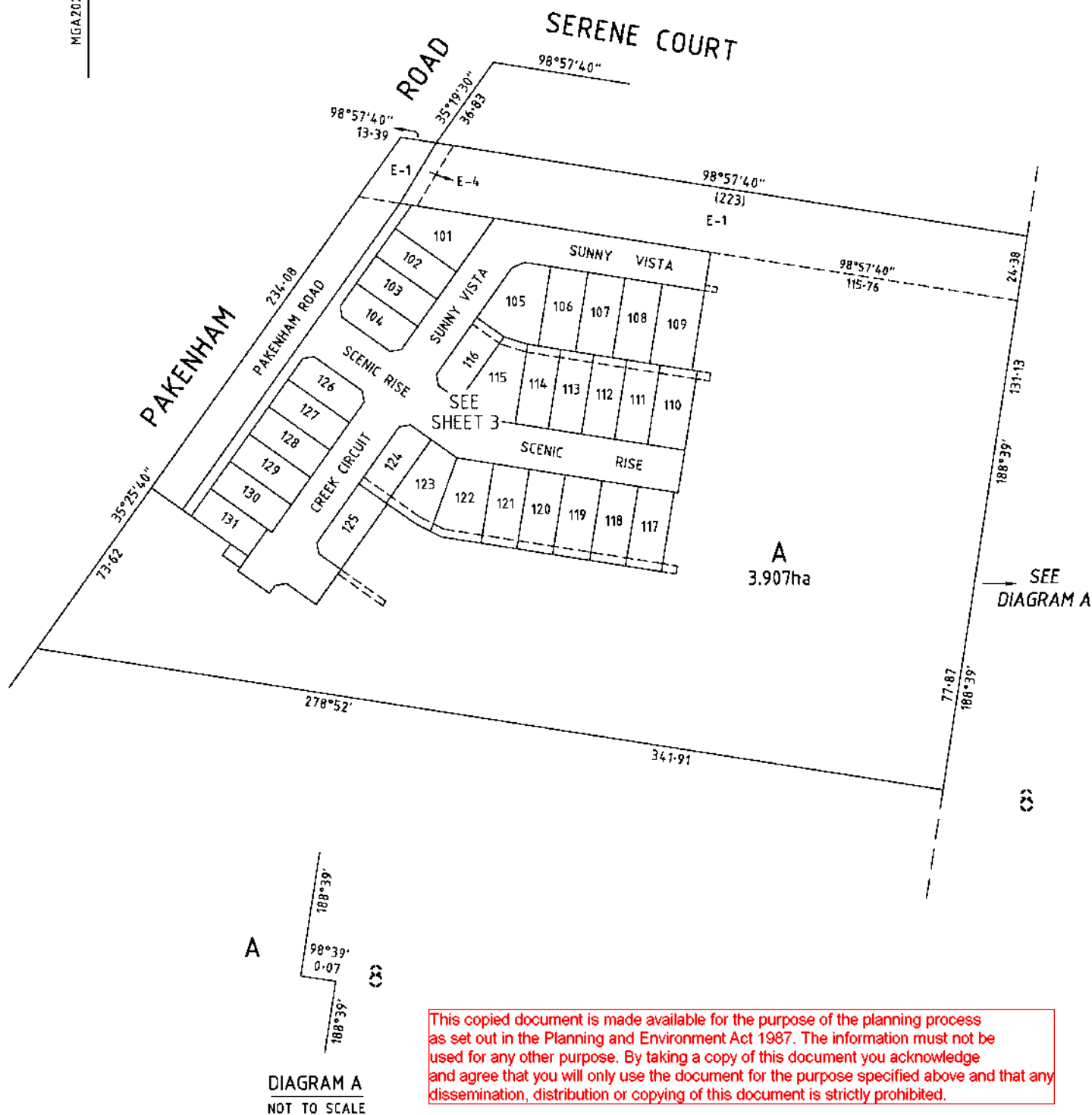
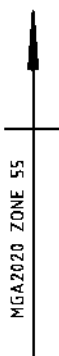
© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

PLAN OF SUBDIVISION			EDITION 1	PS848743W				
LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT) & 33(PT) TITLE REFERENCE: VOL. 12230 FOL. 801 LAST PLAN REFERENCE: LP6710 (LOT 3) POSTAL ADDRESS: 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 366 250 ZONE: 55 (of approx centre of land N: 5 786 580 GDA 2020 in plan)			Council Name: Cardinia Shire Council Council Reference Number: S21-146 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182115M Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024 Statement of Compliance issued: 28/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance					
VESTING OF ROADS AND/OR RESERVES			NOTATIONS					
<table><tr><th>IDENTIFIER</th><th>COUNCIL/BODY/PERSON</th></tr><tr><td>ROAD R1 ROAD R2 RESERVE No.1</td><td>CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD</td></tr></table>		IDENTIFIER	COUNCIL/BODY/PERSON	ROAD R1 ROAD R2 RESERVE No.1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD	<p>LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.</p> <p>LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4.</p> <p>WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, or the Information Relating to the Transfer of Land Act 1958</p>		
IDENTIFIER	COUNCIL/BODY/PERSON							
ROAD R1 ROAD R2 RESERVE No.1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD							
NOTATIONS DEPTH LIMITATION: DOES NOT APPLY This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675 <div>Estate: The Rise - Pakenham Phase No.: 01 No. of Lots: 31 + Lot A PHASE AREA: 2.142ha</div>			<p>This copied document is made available for the purpose of displaying the plan to the public in accordance with the Planning and Environment Act 1987. The information in this document is not to be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>					
EASEMENT INFORMATION								
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)								
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of				
E-1, E-4 E-2 E-2, E-3 E-4	PIPELINE DRAINAGE SEWERAGE SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	24.38 3 SEE DIAG. 6	INST. D613929 THIS PLAN THIS PLAN THIS PLAN	VICTORIA PIPELINES COMMISSION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION SOUTH EAST WATER CORPORATION				
 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		SURVEYORS FILE REF: 2000490/01 2000490-01-PS-V11.DWG Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M		ORIGINAL SHEET SIZE: A3	SHEET 1 OF 4			
				Land Use Victoria Plan Registered 02:18 PM 31/10/2024 Assistant Registrar of Titles				

PS848743W



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Beveridge Williams
development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

SURVEYORS REF
2000490/01

SCALE
1 : 1500

15 0 15 30 45 60
LENGTHS ARE IN METRES

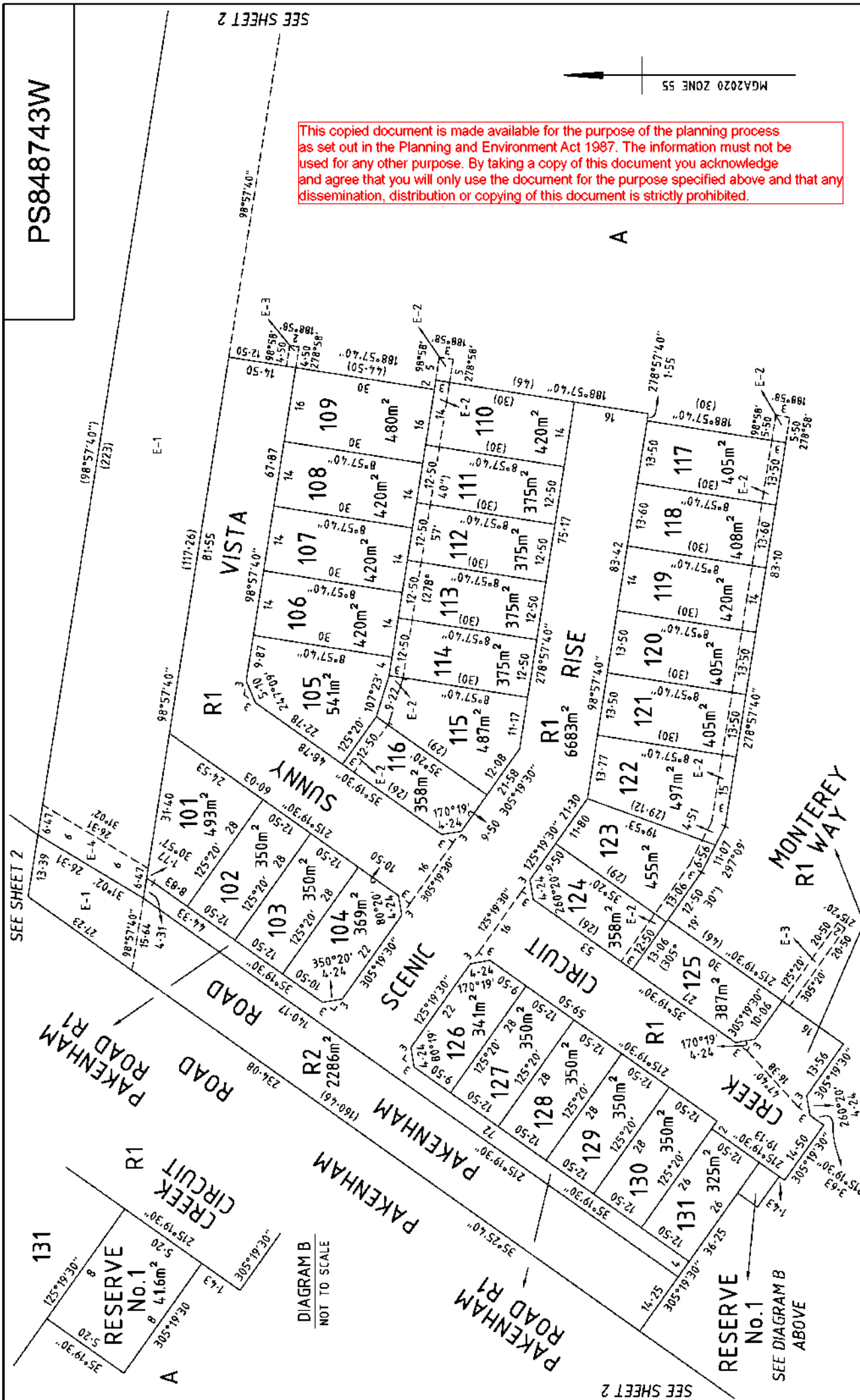
ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M

PS848743W



BW
Beveridge Williams
development & environment consultants
Melbourne ph : 03 9524 8888
www.beveridgewilliams.com.au

Melbourne ph : 03 9524 8888

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

**SURVEYORS
REFERENCE**
2000490
/01

2000490
/01

SCALE
1 : 750

7.5 0 7.5 15 22.5 30
LENGTHS ARE IN METRES

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed
Surveyor,
Surveyor's Plan Version (11)
24/05/2024, SPEAR Ref: S182115M

SCALE
1 : 750

7.5 0 7.5 15 22.5 30
LENGTHS ARE IN METRES

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed
Surveyor,
Surveyor's Plan Version (11)
24/05/2024, SPEAR Ref: S182115M

ORIGINAL SHEET
SIZE: A3

ORIGINAL SHEET SIZE: A3	SHEET 3
----------------------------	---------

SHEET 3

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Beveridge Williams
development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

SURVEYORS REF
2000490/01

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

ORIGINAL SHEET
SIZE: A3

SHEET 4

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Instrument
Document Identification	AX385769J
Number of Pages (excluding this cover sheet)	17
Document Assembled	31/10/2024 16:32

Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 447 Collins Street, Melbourne VIC 3000 Australia
PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

Table of contents

1.	Definitions and interpretation clauses	2
2.	Owner's obligations	5
3.	Further obligations	5
4.	Agreement under Section 173 of the Act	6
5.	Owner's warranties	7
6.	Successors in title	7
7.	Notices	7
8.	Miscellaneous	8
	Schedule	10
	Executed as a deed	11
	Schedule 1	12
	Schedule 2	13

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Deed of Agreement

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Date 06/10/2023

Parties	Cardinia Shire Council of 20 Siding Avenue, Officer 3809 (Council)
	BNG (PAKENHAM) PTY LTD (ACN 640125686) of Level 5, 991 Whitehorse Road, Box Hill VIC 3128 (Owner)

Recitals	<p>A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.</p> <p>B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.</p> <p>C. On 19 December 2017 Council issued Planning Permit No. T160690 (Planning Permit), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.</p> <p>D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (Amended Planning Permit).</p> <p>E. Condition 41 of the Amended Planning Permit provides that:</p> <p><i>Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:</i></p> <p>a) <i>A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.</i></p> <p>b) <i>A requirement that each land owner must maintain the</i></p>
----------	--

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act means the *Planning and Environment Act 1987* (Vic).

Agreement means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

Building Design Guidelines means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Schedule

Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001:

[Redacted signature area]

Signature of Director
Secretary

Signature of Director/Company Secretary

\$ [Redacted signature area]

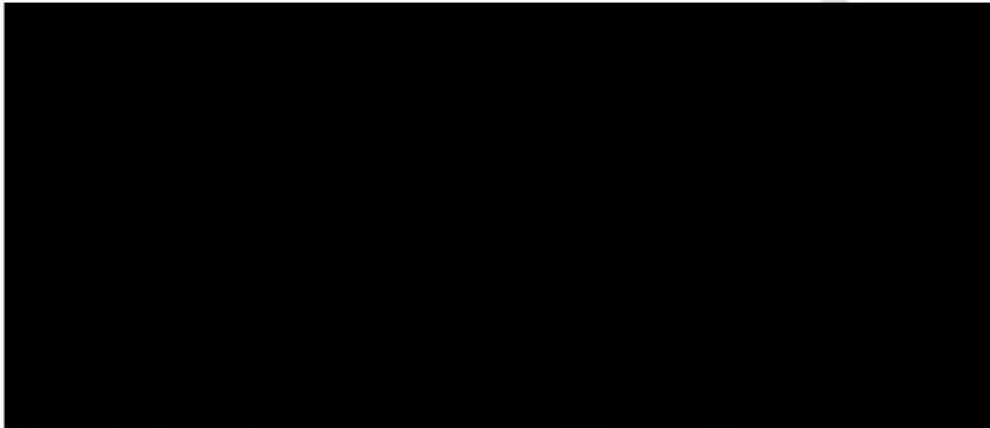
Print full name

Print full name

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Executed as a deed

**Signed, sealed and delivered as a deed by
the parties**



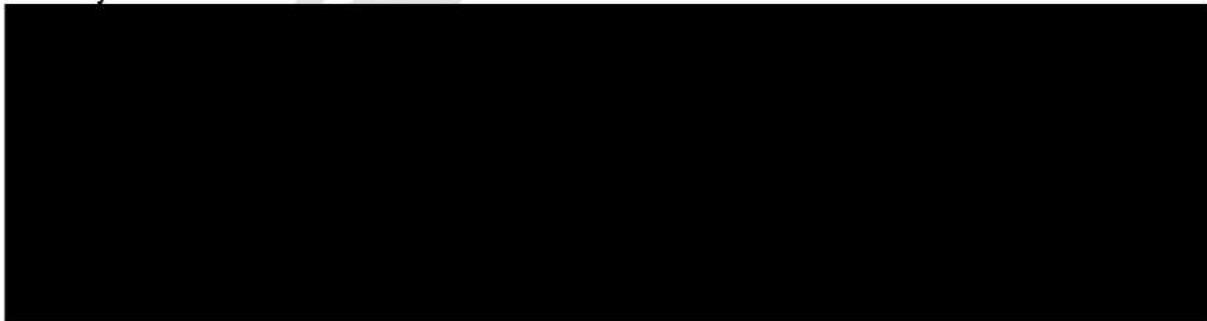
Signature of witness

The execution of this document has been witnessed by me
in accordance with the requirements for witnessing by
audio-visual link under section 12 of the Electronic
Transactions (Victoria) Act 2000.
(Strike out if inapplicable)



.....
Name of witness
(BLOCK LETTERS)

**Executed by BNG (PAKENHAM) PTY LTD
(ACN 640125686) in accordance with
section 127 of the Corporations Act 2001 (Cth)
by:**



This copied document is made available for the purpose of the planning process
as set out in the Planning and Environment Act 1987. The information must not be
used for any other purpose. By taking a copy of this document you acknowledge
and agree that you will only use the document for the purpose specified above and that any
dissemination, distribution or copying of this document is strictly prohibited.

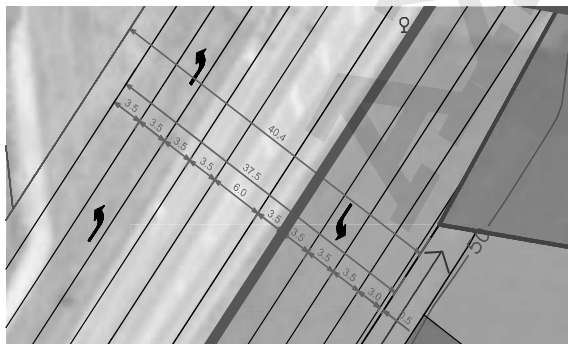
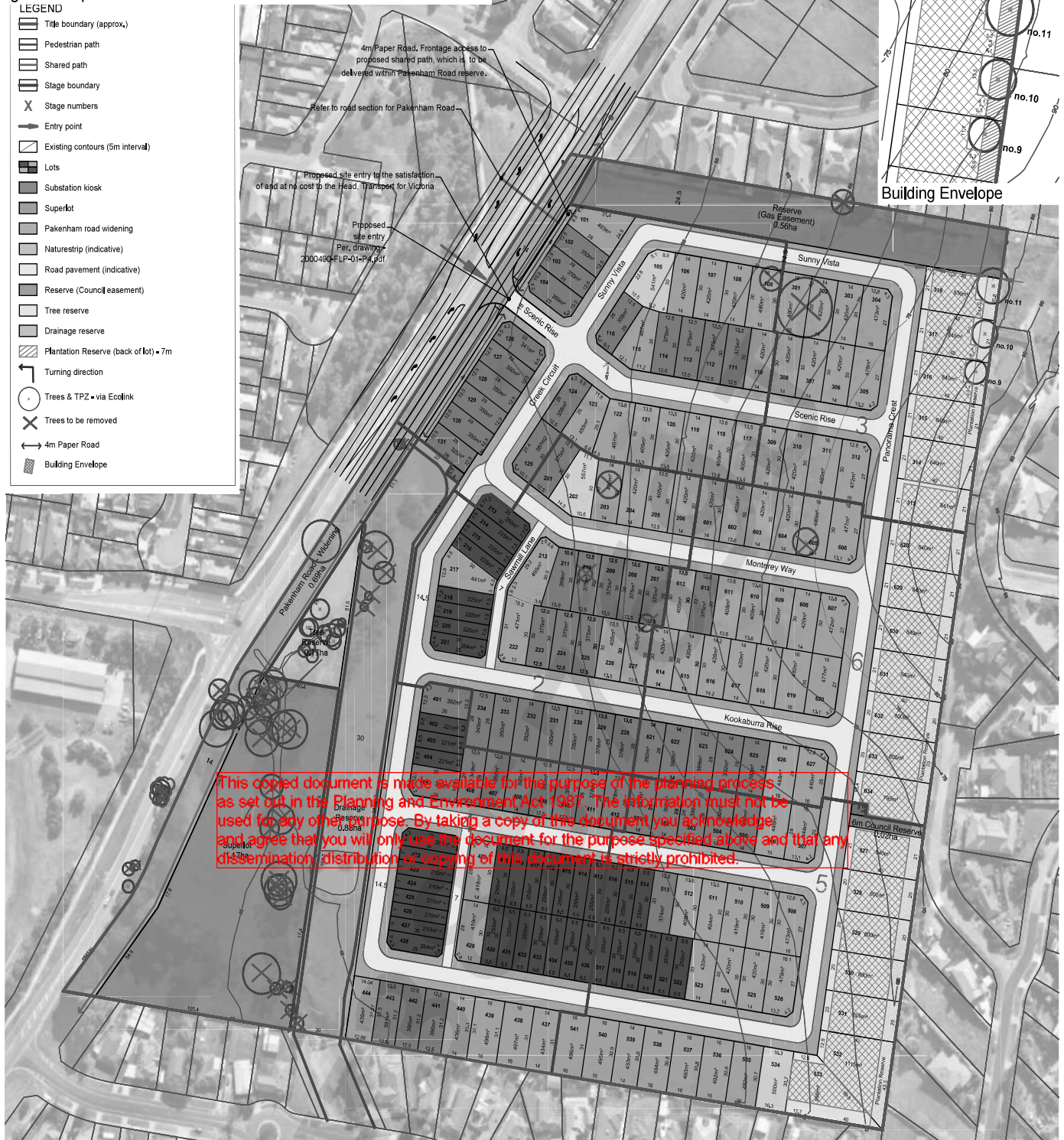
Schedule 1

Building Envelope Plan

AX385769J

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

	Title boundary (approx.)
	Pedestrian path
	Shared path
	Stage boundary
	Stage numbers
	Entry point
	Existing contours (5m interval)
	Lots
	Substation kiosk
	Superlot
	Pakenham road widening
	Naturestrip (indicative)
	Road pavement (indicative)
	Reserve (Council easement)
	Tree reserve
	Drainage reserve
	Plantation Reserve (back of lot)
	Turning direction
	Trees & TPZ + via Ecology
	To be removed
	4m Paper Road
	Building Envelope



Pakenham Road - Cross Section

- Notes:
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final computations.
 - The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
 - All roads are 15m local access level unless noted otherwise
 - Road pavement is indicative only and subject to detailed engineering design.
 - Arc dimensions shown are length of arc (not chord)

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

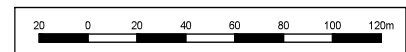
* Stage includes 1 Superlot

Lot Schedule by Area		
Lot Size	Number of Lots	%
0-299m2	42	20.8
300-399m2	56	27.7
400-499m2	81	40.1
500-599m2	3	1.5
600-699m2	0	0.0
700m2+	20	9.9
Total	202	100

* Table does not include superlot

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16,9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

* Indicates inclusion in NDA

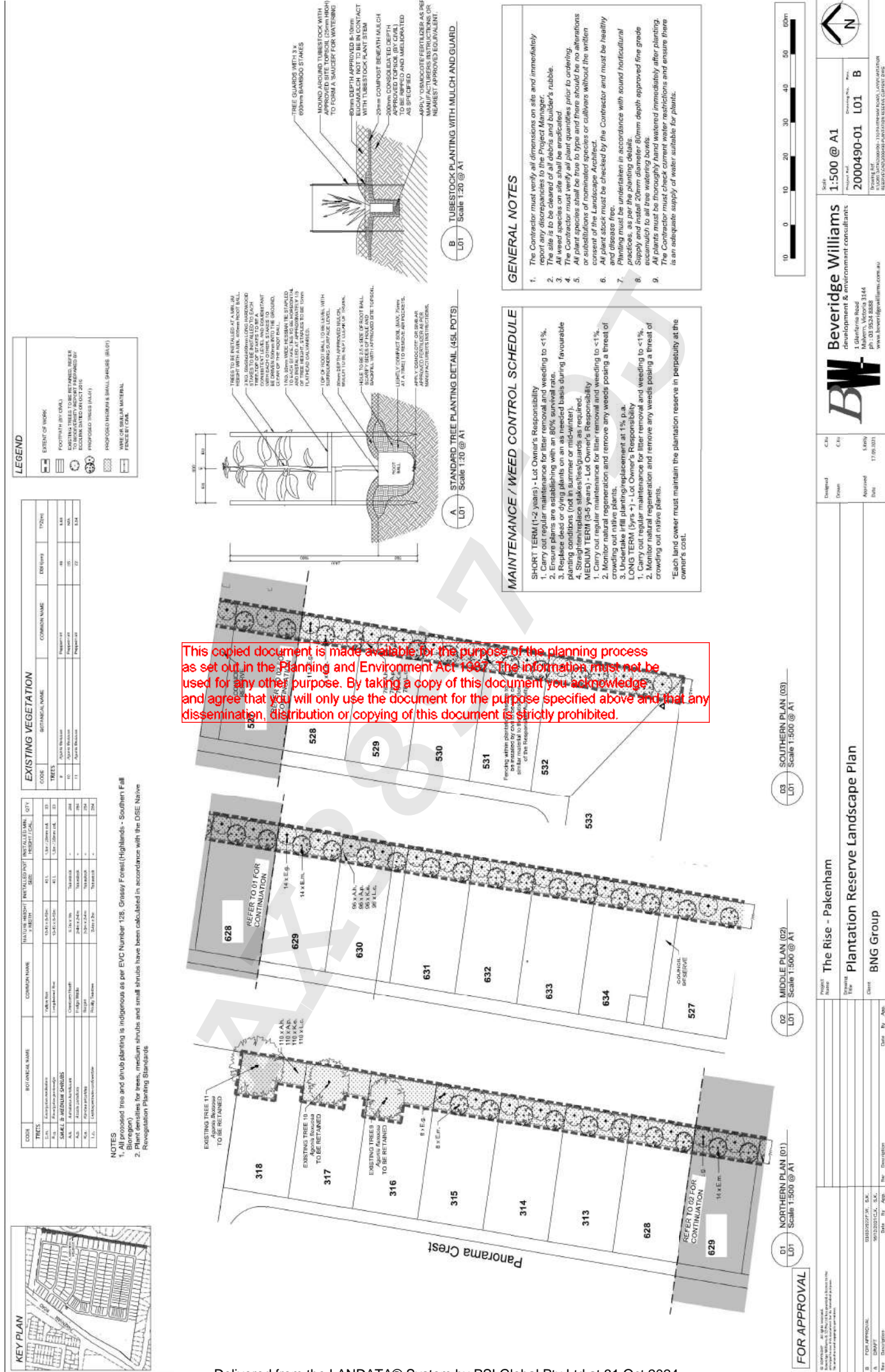


Schedule 2

Vegetation Plan

AX385769J

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



9/07/2025

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

To whom it may concern,

RE: PLANNING PERMIT APPLICATION FOR DWELLING AND ASSOICATED WORKS AT 116 PAKENHAM ROAD PAKENHAM VIC 3810

Please find attached the following documentation for a planning permit application over land at the above-mentioned address:

- Certificate of Title and associated documents;
- BASIX and NatHERS Energy Assessment Reports;
- Plans and Elevations Package;
- Owners Consent Form;
- Checkpoint Building Permit Approval.

1.0 SUBJECT SITE

The subject site is located at 116 Pakenham Road Pakenham and is formally described as Lot 130 on PS848743. The site has an area of 350m² and is currently improved by a dwelling house that has construction commenced which is the subject of this application. It is to be noted that a Building Permit was issued for the dwelling, however a Building Notice has been issued to the owner and the builder by the Relevant Building Surveyor with a direction to obtain a planning permit for the works which are the subject of this application. Pursuant to Clause 42.01-2 of the Environmental Significance Overlay and Schedule 4 to Clause 42.01 of the Cardinia Planning Scheme, a planning permit is required to construct a building or to construct or carry out works. The site has a primary frontage to Creek Circuit of 12.5m, with vehicular access provided to the site by an existing vehicular crossover to Creek Circuit. The location of the site is indicated below in Figure 1 and 2 respectively. The surrounding land uses consist of residential dwellings.

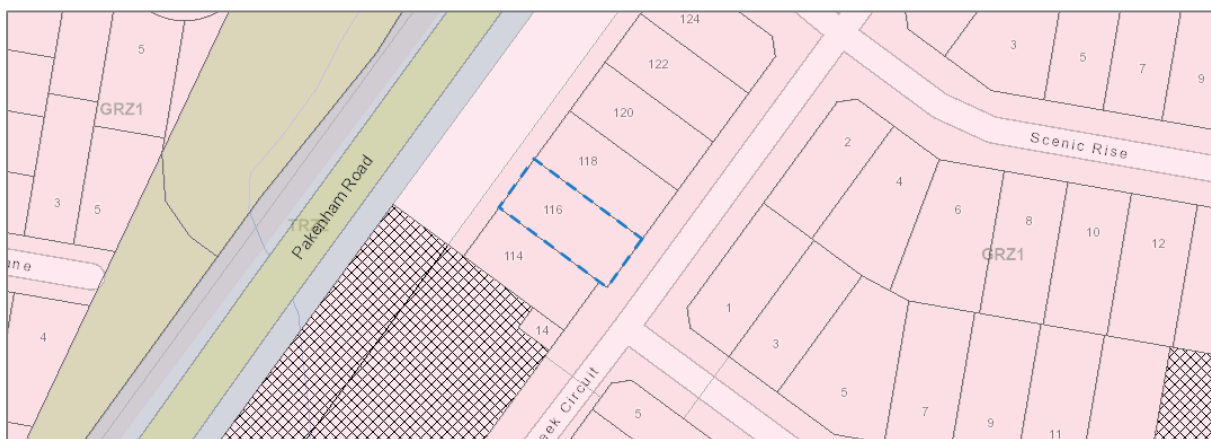


Figure 1: Subject Site Location



Figure 2: Subject Site Aerial Context

2.0 PROPOSED WORKS

The proposed works as part of this planning permit application are for a proposed dwelling and associated works as per the attached plans package. The details of the proposed dwelling under this application are indicated below in Figure 3 and 4 as per the plans and elevations attached to this application.



Figure 3: Front Elevation of Proposed Dwelling

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

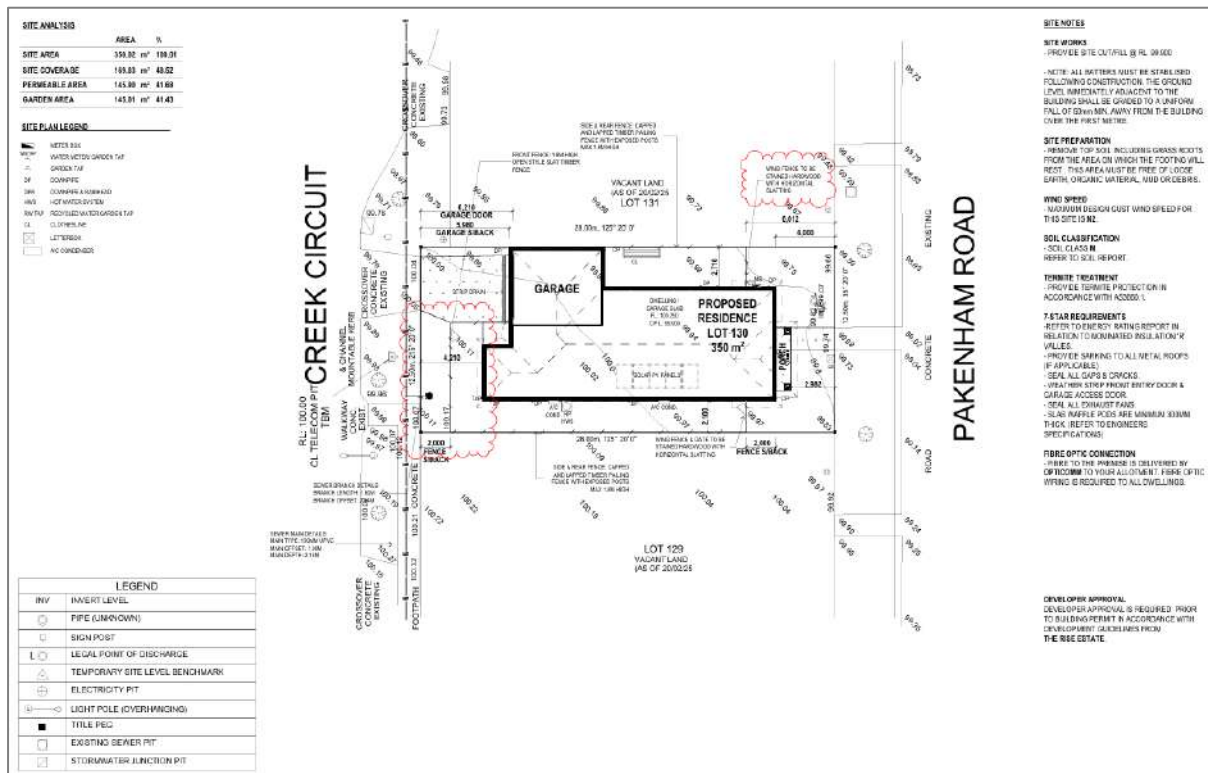


Figure 4: Site Plan of the Proposed Dwelling

3.0 TOWN PLANNING CONTROLS AND ASSESSMENT

The subject site is part of the General Residential Zone – Schedule 1 (GRZ1) under the Cardina Planning Scheme. The General Residential Zone (GRZ1) has the following purpose:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that is responsive to the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Under Scheule 1 of the GRZ, the proposal is not identified as requiring a planning permit. Additionally, the subject site is affected by the following overlay:

- Environmental Significance Overlay – Schedule 4 (ESO4)

Under the provisions of the Environmental Significance Overlay, a planning permit is required to construct a building or to construct or carry out works.

The proposed construction of a single dwelling is not expected to result in any adverse impacts on the surrounding land, particularly in relation to amenity, overshadowing, privacy, or the aesthetic character of the neighbourhood. The dwelling has been appropriately designed in response to the size of the allotment and the intended character of the area, ensuring that a high level of amenity is maintained. The development complies with all relevant setback requirements and planning controls under the applicable zone and overlays of the planning scheme.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Importantly, the design of the dwelling responds sensitively to the natural environment and has been conceived to support opportunities for flora and fauna regeneration. Given that this is a recently developed area, the proposal is not expected to have any significant impact on threatened species, ecological communities, or their habitats. Furthermore, the development is supported by stormwater and drainage management plans, erosion and sediment control measures, and other environmental safeguards to ensure there are no detrimental effects on the surrounding environment or neighbouring properties.

The site is located within a residential area which is designed for proposals of this nature. The site has access to the appropriate services required and is accessible from the existing road network. The proposal has been designed to suite the site constraints and is seen to meet the objectives of the relevant planning controls.

The proposal will not have any negative impacts on any surrounding dwellings as the proposed siting and design of the dwelling and associated works is seen to be a desirable outcome for the subject property. Appropriate privacy measures solar access provisions, amenity, sedimentation, waste management and noise controls will be in place which can be conditioned on the planning permit as considered appropriate. The proposal will not adversely impact any significant environmental aspects of the surrounding area and is seen as a desirable outcome from an economic and social perspective as part of on-going investment and development to the locality.

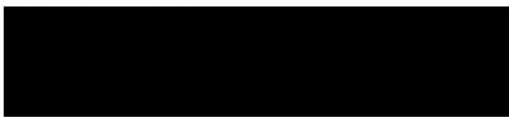
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

4.0 SUMMARY

This letter style planning report has reviewed the planning permit application for the proposed dwelling and associated works. The proposed works are seen to comply with the local planning controls as they have been developed to complement the local area. Ultimately the proposal complies with the intent and design objectives of the local planning controls and represents ongoing investment in the area in line with council's vision. For these reasons it is seen that the proposal should receive full planning approval, subject to appropriate and relevant conditions.

Please do not hesitate to contact the undersigned on the below details for further discussion.

Kind regards,



National Planning Manager
Platinum Planning Solutions

M: 0459 744 185

E: felipe@platinumplanning.com.au

W: www.platinumplanning.com.au

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Our Ref: 2000490
13 March 2025

ACN 006 197 235
ABN 38 006 197 235

Applicant: [REDACTED]
Company/Builder: Creation Home VIC Pty Ltd
Email: klefoe@creationhomes.com.au

Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

beveridgewilliams.com.au

Dear Sir/Madam,

**RE: Lot 130 Pakenham Road, Pakenham
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. Please refer to any other conditions marked-up on the plans and ensure they are suitably addressed.

Please note;

- All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.
- Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.
- Any lot under 300m² in size, requires a planning permit for being under 300m² in addition to the ESO planning permit.
- If you require planning services or further information, please contact [REDACTED] boullya@bevwill.com.au or on 0407 050 624
- There are no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.

Should you have any queries, please contact the undersigned on 9524 8888 or via email planlodgement@bevwill.com.au All new submissions, re-submissions, amendment submissions or supplemental submissions, please use www.portal.beveridgewilliams.com.au

Kind Regards,

[REDACTED]
Design Approvals Coordinator
BEVERIDGE WILLIAMS

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Creation Homes (Vic) Pty Ltd
Level 12, 484 St Kilda Rd
MELBOURNE VIC 3004
Tel: 03 9828 0700
Fax: 03 9828 0799
ABN: 64 143 151 768



Post Contract Variation

Document Details

Document Number:	2	Date:	24/01/25
Raised By:		Validity (days):	0
Approved By:		Expiry:	

Client Details

Client Name:		Client Number:	304595
Contact:			
Client Address:			

Job Details

Job Number:	305923
Job Address:	Lot 130, 116 Pakenham Road PAKENHAM VIC 3810
House Package:	[Custom House Package]

Item	Ref	Description	Price
Variation Items			
1 - 1		Provide: Colour schemes Internal: Chalk and External: Willow	\$0


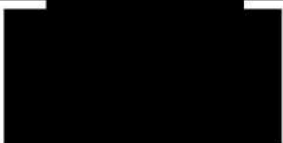
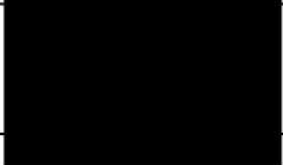
Group Total - Variation Items	\$0.00
-------------------------------	--------

Document Total	Total Price
	\$0.00

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Acceptance

Please sign and date to indicate acceptance of this document.

Builder		24/1/25
		Date
Client (person 1)		25-Jan-2025
		Date
Client (person 2)		25-Jan-2025
		Date

Chalk

EXTERIOR COLOUR SCHEME

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 13.03.2025

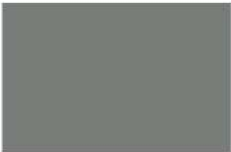
REVIEWED BY: Blytheb



*Artist impression only.



1



2



3



4



5



6



7



8

- 1 — Brick
Austral Bricks, Praline
- 2 — Roof
Colorbond, Windspray
- 3 — Garage door
Haymes, Southerly
- 4 — Fascia, window and sliding door frame, front entry door and frame, gutter, downpipes
Haymes, Southerly
- 5 — Render colour 1
Haymes, Soothe
- 6 — Render colour 2
Haymes, Windspray
- 7 — Render colour 3
Haymes, Construction White
- 8 — Coloured Concrete
Gun Metal





EXTERIOR COLOUR SCHEME

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 13.03.2025

REVIEWED BY: Blytheb

BW

CLIENT NAME/S: [Redacted]

JOB ADDRESS: Lot 130, 116 Pakenham Road PAKENHAM

	SUPPLIER	CODE/RANGE	COLOUR
Exterior			
Bricks	Austral Bricks	Indulgence	Praline
Colorbond Roof	Colorbond® Steel	Corrugated	Windspray
Mortar		Rolled	Natural
Capping Colour (façade specific)	Haymes	Colorbond Steel	Windspray
Gutter	Haymes	Colorbond Steel	Southerly
Fascia	Haymes	Colorbond Steel	Southerly
Dutch Gable Fascia	Haymes	Colorbond Steel	Southerly
Downpipes	Haymes	Colorbond Steel	Southerly
Garage Door	Steel-Line	Colorbond Steel	Southerly
Window & Sliding door Frames	MTM	Colorbond Steel	Southerly
Timber Cladding	Haymes		Soothe
Metal Balcony Balastrade (if applicable)	Haymes	Colorbond Steel	Windspray
Rain Water Tank	Haymes		Soothe
External Paint			
Eaves	Haymes		Southerly
Front Entry Door & Frame	Haymes		Southerly
Primary Render / Cladding Colour (One Base)	Haymes		Soothe
Feature Render / Cladding Colour (Two Piers)	Haymes		Windspray
Render colour three (Highlights/MD)	Haymes		Construction White
Metre Box	Haymes		Soothe
Letterbox			Cream/ Construction White
Driveway (if applicable)			Plain Concrete
Coloured Concrete Driveway (if applicable)			Gun Metal

SIGNATURE/S: [Redacted] DATE: 25-Jan-2025

[Redacted] 25-Jan-2025

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

*The products & colours nominated in this colour schedule may be replaced without notice. Items may be replaced with an equivalent product and colour consistent with the applicable colour scheme.



INTERIOR COLOUR SCHEME- STANDARD

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 13.03.2025

REVIEWED BY: Blytheb

BW

CLIENT NAME

JOB ADDRESS: Lot 130, 116 Pakenham Road PAKENHAM

	SUPPLIER	CODE/RANGE	COLOUR/TYPE
Kitchen			
Benchtop - Mineral Surface, Low Silica	Caesarstone	Standard - 2141	Snow
Doors & Drawers	Polytec	Polytec Decorative Board	Blossom White
Overhead Cabinet	Polytec	Woodmatt	Coastal Oak
Pantry Cupboard			Push to Open
Handles			Fingerpull
Kitchen tapware	E&S - Oliveri	Venice Curved Range	Chrome
Tiled Splashback - Subway	Beaumont Tiles	Agrestic White Gloss	White 75mm x 300mm x 9mm
Ensuite/Bathroom			
Benchtop - Mineral Surface, Low Silica	Caesarstone	Standard 2141	Snow
Doors & Drawers (if applicable)	Polytec	Polytec Decorative Board	Blossom White
Handles			Fingerpull
Bathroom tapware	E&S - Oliveri	Venice Curved Range	Chrome
Wall & Floor Tiling / Floorboard			
Floor Tile & Wall Tiles	Beaumont Tiles	Maximo 1007166	White 450 x 450
Laminate Floorboard (if applicable)	Australian Select Timbers	Reflections Evoke	Blackbutt
Carpet			
Carpet - Single & Double Story Homes	Floorhub	Classic City - 514	Amaretti
Internal Paint			
Walls	Haymes	Matte	Natural White
Doors, Architraves, & Skirting Boards	Haymes	Gloss Enamel	Natural White
Ceiling & Cornice	Haymes	Matte	Natural White
Blinds			
Blinds	Lovelight	Blockout	Zen Bounty
Robe Doors			
Vinyl Doors		Panoramic	Swan Lake

SIGNATURE/S:

DATE:

25-Jan-2025

25-Jan-2025

*The products & colours nominated in this colour schedule may be replaced without notice. Items may be replaced with an equivalent product and colour consistent with the applicable colour scheme.

SITE ANALYSIS

	AREA	%
SITE AREA	350.02 m ²	100.01
SITE COVERAGE	169.83 m ²	48.52
PERMEABLE AREA	145.90 m ²	41.68
GARDEN AREA	145.01 m ²	41.43

SITE PLAN LEGEND

	METER BOX
	WATER METER/ GARDEN TAP
	GARDEN TAP
	DOWNPIPE
	DOWNPIPE & RAINHEAD
	HOT WATER SYSTEM
	RECYCLED WATER GARDEN TAP
	CLOTHESLINE
	LETTERBOX
	A/C CONDENSER

LEGEND	
INV	INVERT LEVEL
	PIPE (UNKNOWN)
	SIGN POST
	LEGAL POINT OF DISCHARGE
	TEMPORARY SITE LEVEL BENCHMARK
	ELECTRICITY PIT
	LIGHT POLE (OVERHANGING)
	TITLE PEG
	EXISTING SEWER PIT
	STORMWATER JUNCTION PIT

DEVELOPER CONDITION: PLEASE NOTE THAT A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN APPLICATION MUST BE APPROVED BY COUNCIL BEFORE CONSTRUCTION COMMENCES.

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 13.03.2025

REVIEWED BY: Blytheb

BW

SITE NOTES

SITE WORKS

- PROVIDE SITE CUT/FILL @ RL 99.900

- NOTE: ALL BATTERS MUST BE STABILISED FOLLOWING CONSTRUCTION. THE GROUND LEVEL IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE GRADED TO A UNIFORM FALL OF 50mm MIN. AWAY FROM THE BUILDING OVER THE FIRST METRE.

SITE PREPARATION

- REMOVE TOP SOIL INCLUDING GRASS ROOTS FROM THE AREA ON WHICH THE FOOTING WILL REST. THIS AREA MUST BE FREE OF LOOSE EARTH, ORGANIC MATERIAL, MUD OR DEBRIS.

WIND SPEED

- MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS N2.

SOIL CLASSIFICATION

- SOIL CLASS M.
REFER TO SOIL REPORT.

TERMITE TREATMENT

- PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS3660.1.

7-STAR REQUIREMENTS

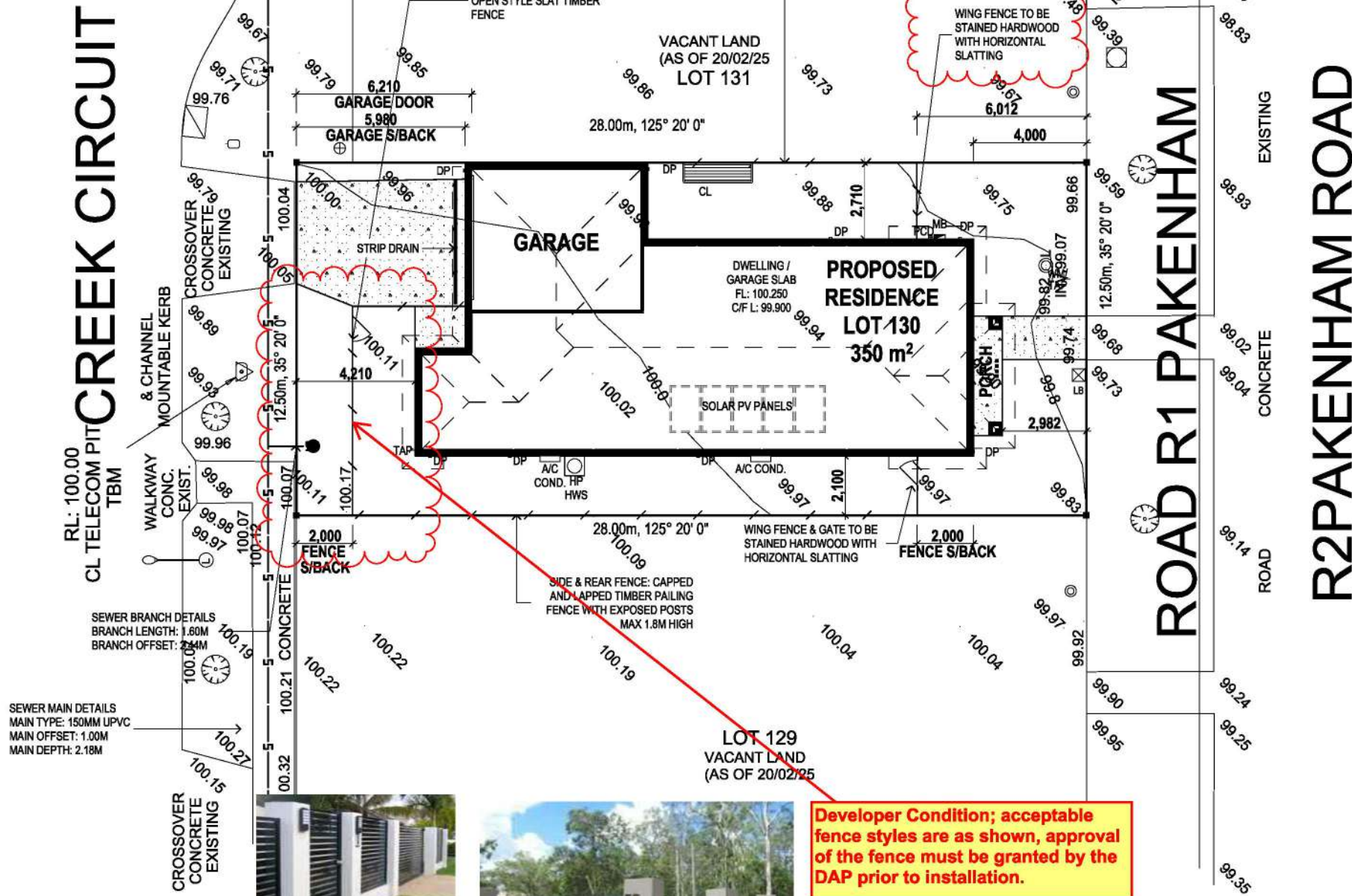
- REFER TO ENERGY RATING REPORT IN RELATION TO NOMINATED INSULATION 'R' VALUES.
- PROVIDE SARKING TO ALL METAL ROOFS (IF APPLICABLE)
- SEAL ALL GAPS & CRACKS.
- WEATHER STRIP FRONT ENTRY DOOR & GARAGE ACCESS DOOR.
- SEAL ALL EXHAUST FANS.
- SLAB WAFFLE PODS ARE MINIMUM 300MM THICK. (REFER TO ENGINEERS SPECIFICATIONS)

FIBRE OPTIC CONNECTION

- FIBRE TO THE PREMISE IS DELIVERED BY OPTICOMM TO YOUR ALLOTMENT. FIBRE OPTIC WIRING IS REQUIRED TO ALL DWELLINGS.

DEVELOPER APPROVAL

DEVELOPER APPROVAL IS REQUIRED PRIOR TO BUILDING PERMIT IN ACCORDANCE WITH DEVELOPMENT GUIDELINES FROM THE RISE ESTATE.



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

rev	description	by	date
A	CONSTRUCTION DRAWINGS	RD	09/12/2025
B	DA RFI	RD	4/02/2025
C	BP RFI	RD	21/02/2025
D	DA RFI	WE	28/02/2025

Indi 17 - Wattle Facade

CONSTRUCTION DRAWINGS

Figured dimensions take precedence over scaled dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.



site address
LOT 130 PAKENHAM ROAD, PAKENHAM VIC 3810

project no.
305923

estate
THE RISE

scale
1:200@A3

drawn
RD

sheet
02

drawing name
SITE PLAN

date
11/03/2025

rev
D

FLOOR PLAN LEGEND

BHD	BULKHEAD	(SD)	SMOKE DETECTOR
CSD	CAVITY SLIDING DOOR	(EA)	EXHAUST FAN
CT	COOKTOP	(RA)	RETURN AIR
D	HEATING / COOLING DUCT	(WP)	CAPPED WATER POINT
DP	DOWNPIPE	(M)	METER BOX
DPR	DOWNPIPE/RAINHEAD	(G)	GARDEN TAP
DW	DISHWASHER PROVISION	(ST)	SOLAR TUBE
HP HWS	HEAT PUMP HOT WATER SYSTEM	(CF)	CEILING FAN
LOH	LIFT OFF HINGE	(1200 x 900)	CIRCULATION SPACE
MW	MICROWAVE PROVISION	(WALL REINFORCED AS PER LIVABLE HOUSING DESIGN 6.2(e) & 6.2(f). SEE DETAILS)	
PS	PLUMBING STACK	(A/H)	ACCESS HATCH
PTY	PANTRY	(A/C CONDENSER)	
REF	REFRIGERATOR PROVISION		
RH	RANGEHOOD		
RW TAP	RECYCLED WATER GARDEN TAP		
SD	SLIDING DOOR		
UBO	UNDER BENCH OVEN		
WM	WASHING MACHINE PROVISION		

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 13.03.2025

REVIEWED BY: Blytheb



FLOOR PLAN NOTES

ALL SHOWERS TO BE STEP FREE AS PER NCC 2022 10.2.17. ALLOW 30mm STEPDOWN IN SLAB OR 25mm STEPDOWN IN JOIST TO SUIT PRE-FAB SHOWER BASE.

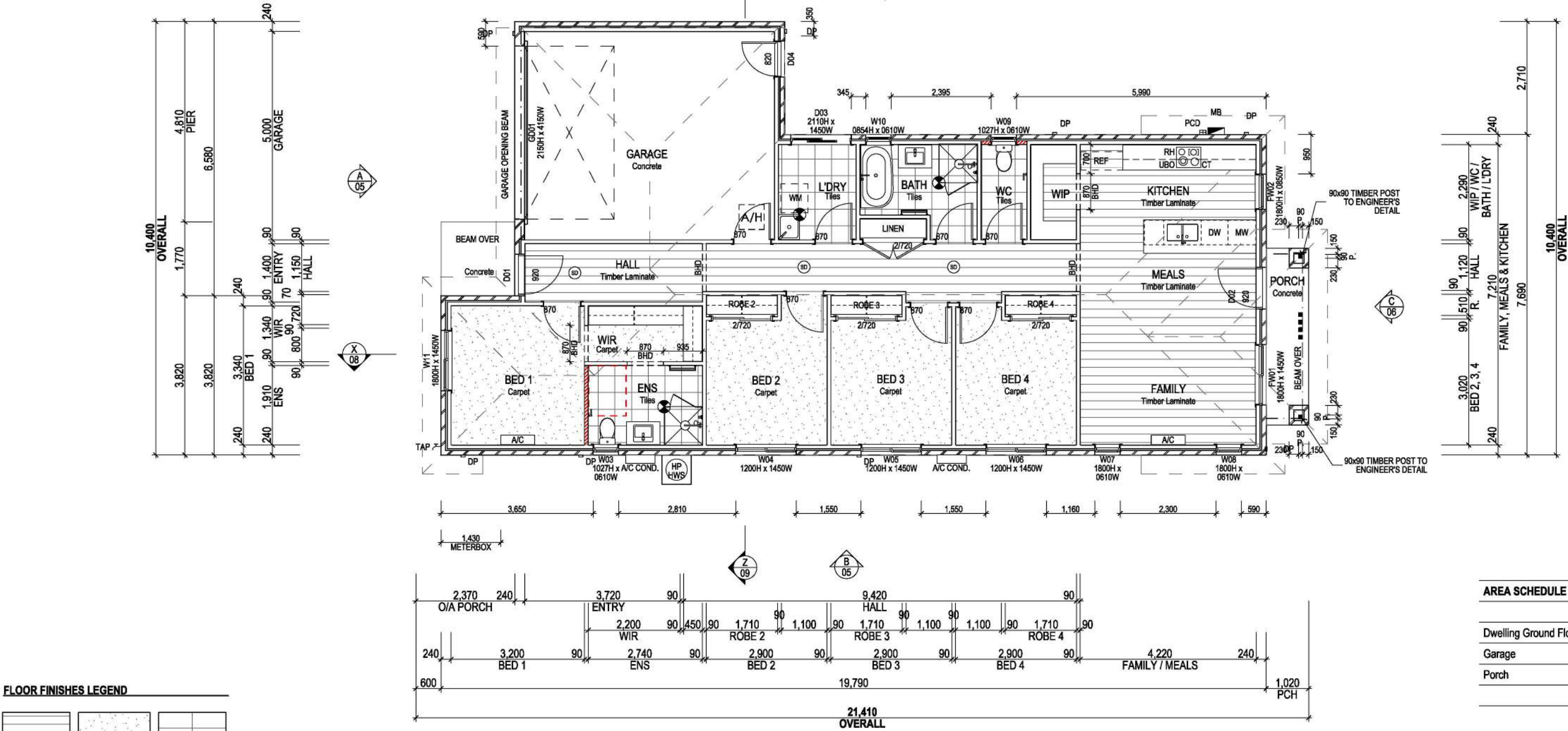
BEAMS TO MANUFACTURERS SPECIFICATION OR ENGINEERS DESIGN.

ALL EXTERNAL DOORS TO BE FITTED WITH WEATHER STRIPS.

SOLID INTERLINKING RAILS AS PER NCC2022 H5D3

GARAGE BOUNDARY WALL MAY REVERT TO BRICK AND PIER CONSTRUCTION AT BUILDER'S DISCRETION.

BULKHEADS AS SHOWN DASHED
2440 CEILING HEIGHT - 250D BHD U.N.O
2590 CEILING HEIGHT - 250D BHD U.N.O
2740 CEILING HEIGHT - 400D BHD U.N.O



AREA SCHEDULE

	AREA (m²)
Dwelling Ground Floor	129.57
Garage	33.30
Porch	4.32
	167.19 m²

FLOOR FINISHES LEGEND



creationhomes

LEVEL 12, 484 ST.KILDA ROAD, MELBOURNE, VIC 3004
p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	by	date
A	CONSTRUCTION DRAWINGS	RD	01/12/2025

Indi 17 - Wattle Facade

CONSTRUCTION DRAWINGS

Figured dimensions take precedence over scaled dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

site address
LOT 130 PAKENHAM ROAD, PAKENHAM VIC 3810

project no.
305923

estate
THE RISE

scale
1:100@A3

drawn
RD

sheet
03

drawing name
GROUND FLOOR PLAN

date
11/03/2025

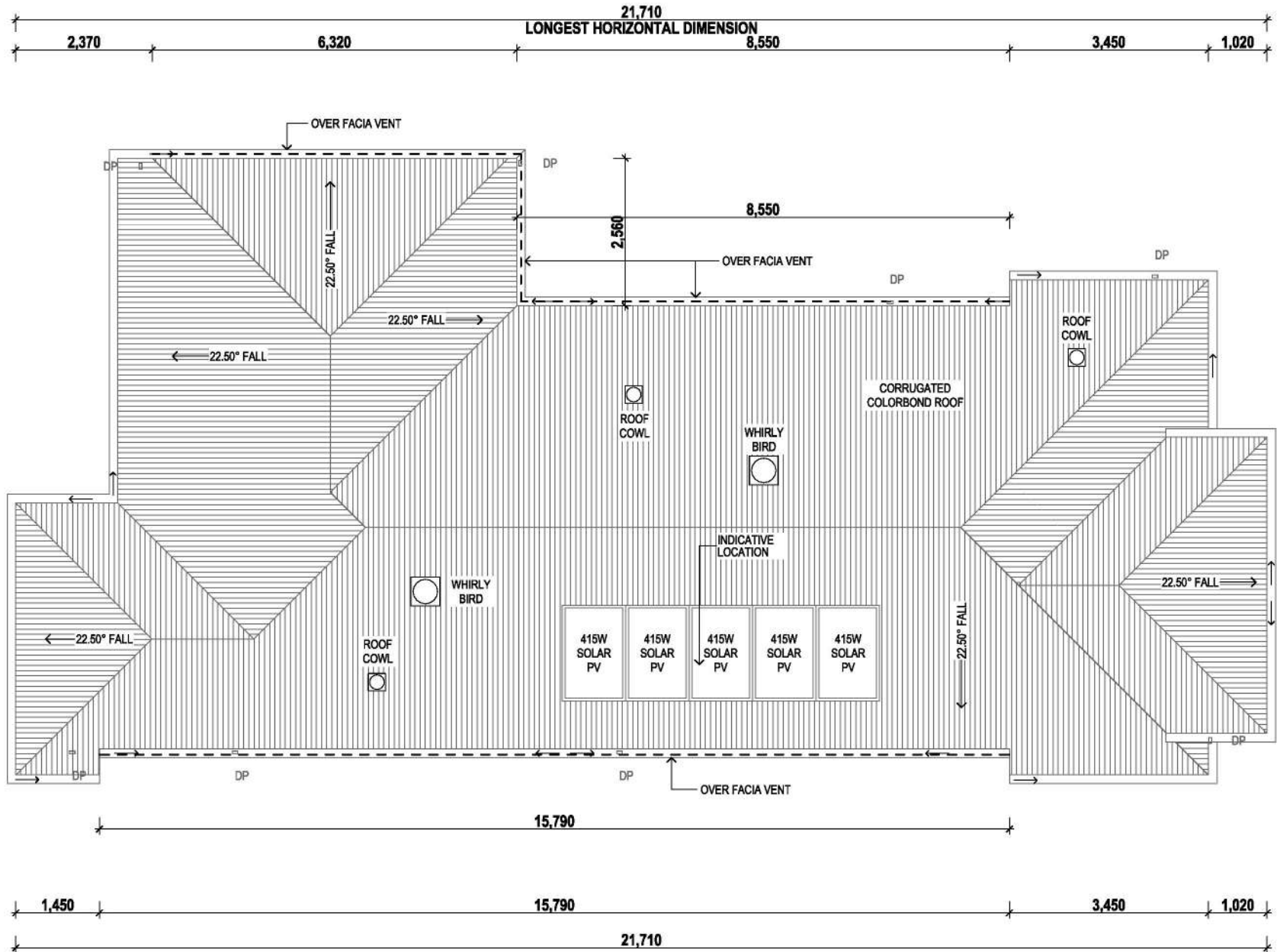
rev
A

ROOF PLAN NOTES

ROOF SPACE TO BE ADEQUATELY VENTILATED AND TO BE CONSTRUCTED AS PER NCC 2022 PART 10.8.3

ROOF PLAN

- DPDOWNPIPE 100 x 50
(EXACT LOCATION TO BE CONFIRMED ON SITE)
- GUTTER FALL DIRECTION
(NOM. ONLY. TO BE CONFIRMED ON SITE.)



VENTILATION REQUIREMENTS

SPECIFICATION (FREE OPEN AREA PER m LENGTH)
- VENT SYSTEMS OVER FASCIA VENT G1200N (11,000 mm²/m)
- BRADFORD WINDMASTER WHIRLY BIRD (62,500 mm²/m)

ROOF 22.50°
HIGH LEVEL (5,000 mm²/m REQUIRED)
LONGEST HORIZONTAL DIMENSION: 21.710 m
TOTAL REQUIRED: 5,000 x 20.84 = 104,200 mm²
WHIRLY BIRDS REQUIRED: 104,200 / 62,500 = 2

LOW LEVEL (7,000 mm²/m REQUIRED)
LONGEST HORIZONTAL DIMENSION: 21.710 m
SIDES TO VENT: 2
TOTAL REQUIRED: 7,000 x 21.71 x 2 = 303,940 mm²
OVER FASCIA VENT REQUIRED: 303,940 / 11,000 = 27.63 m
OVER FASCIA VENT PROVIDED: 2.560 + 8.550 + 15.790 + 6.320 = 33.22 m

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 13.03.2025
REVIEWED BY: Blytheb



rev	description	by	date
A	CONSTRUCTION DRAWINGS	RD	9/12/2025
C	BP RFI	RD	21/02/2025

Indi 17 - Wattle Facade

CONSTRUCTION DRAWINGS

Figured dimensions take precedence over scaled dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.



site address
LOT 130 PAKENHAM ROAD, PAKENHAM VIC 3810

project no.
305923

estate
THE RISE

scale
1:100@A3

drawn
RD

sheet
04

drawing name
ROOF PLAN

date
11/03/2025

rev
C

Facade Material %		
Material	Area	%
Paint Colour 1	0.88	7
Face Brick	4.73	36
Render Colour 3	3.15	24
Render Colour 1	4.42	33
Total	13.16	100



A
03
ELEVATION A
1:100

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

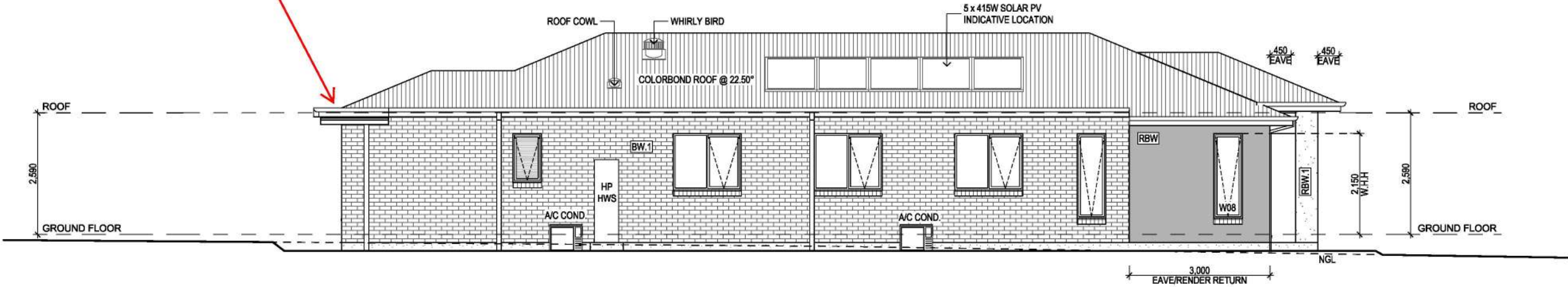
NOTES
ROLLER BLINDS TO BEDROOMS, LIVING AREAS & KITCHEN.
FLYSCREEN TO ALL OPENING WINDOWS.
RESTRICTED WINDOW OPENING TO UPPER FLOOR WINDOWS IN ACCORDANCE WITH NCC2022 H5D3
EXTERNAL COLOUR SCHEME
AS PER HIA CONTRACT.

MATERIALS / FINISHES SCHEDULE
NO TWO PAIRS OF MATCHING COLOURED FACADES ARE TO BE NEXT TO EACH OTHER.
ALL CLADDINGS TO BE FIXED AS PER MANUFACTURER SPECIFICATIONS & DETAILS.
REFER TO COLOUR DOCUMENT

BW.# BRICKWORK / JOINT FINISH AS PER SPECIFICATIONS
BRICK TYPE AS PER ENDORSED COLOUR SCHEDULE
RBW.# COLOURED CEMENT RENDER OVER BRICK WALL
COLOUR AS PER ENDORSED COLOUR SCHEDULE
RF.# COLOURED CEMENT RENDER OVER 75mm
MASTERWALL FOAMBOARD CLADDING. PAINT FINISH
COLOUR AS PER ENDORSED COLOUR SCHEDULE
RAC.# COLOURED CEMENT RENDER OVER 50mm
'HEBEL' AUTOCLAVED AERATED CONCRETE PANEL
(35mm BATTEN TO TIMBER FRAMEWORK).
COLOUR AS PER ENDORSED COLOUR SCHEDULE
RFC.# COLOURED CEMENT RENDER OVER FIBRE CEMENT
SHEET
COLOUR AS PER ENDORSED COLOUR SCHEDULE
WWG.# WEATHERTEX WEATHERGROOVE
TIMBER LOOK CLADDING
COLOUR AS PER ENDORSED COLOUR SCHEDULE
WSL.# WEATHERTEX SELFLOK
TIMBER LOOK CLADDING
COLOUR AS PER ENDORSED COLOUR SCHEDULE
BT101 POWDERCOATED ALUMINIUM BALUSTRADE POSTS /
RAIL CLEAR GLASS PANL INSERTS
GD01 SECTIONAL LIFE GARAGE DOOR
COLOUR AS PER ENDORSED COLOUR SCHEDULE
AC 50mm UN-RENDERED 'HEBEL' AUTOCLAVED AERATED
CONCRETE PANEL (35mm BATTEN TO TIMBER
FRAMEWORK)

DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 13.03.2025
REVIEWED BY: Blytheb
BW

Developer Condition; Eaves do not look like they have been drawn correctly. 450mm deep eaves must be installed as per the roof and ground floor plan. Re-submission not required once amended



B
03
ELEVATION B
1:100

rev	description	by	date
A	CONSTRUCTION ADRAWINGS	RD	01/12/2025

rev	description	by	date
A	CONSTRUCTION DRAWINGS	RD	01/12/2025
C	BP RFI	RD	21/02/2025

Indi 17 - Wattle Facade

CONSTRUCTION DRAWINGS

Figured dimensions take precedence over scaled dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

site address
LOT 130 PAKENHAM ROAD, PAKENHAM VIC 3810

project no.
305923

estate
THE RISE

scale
1:100@A3

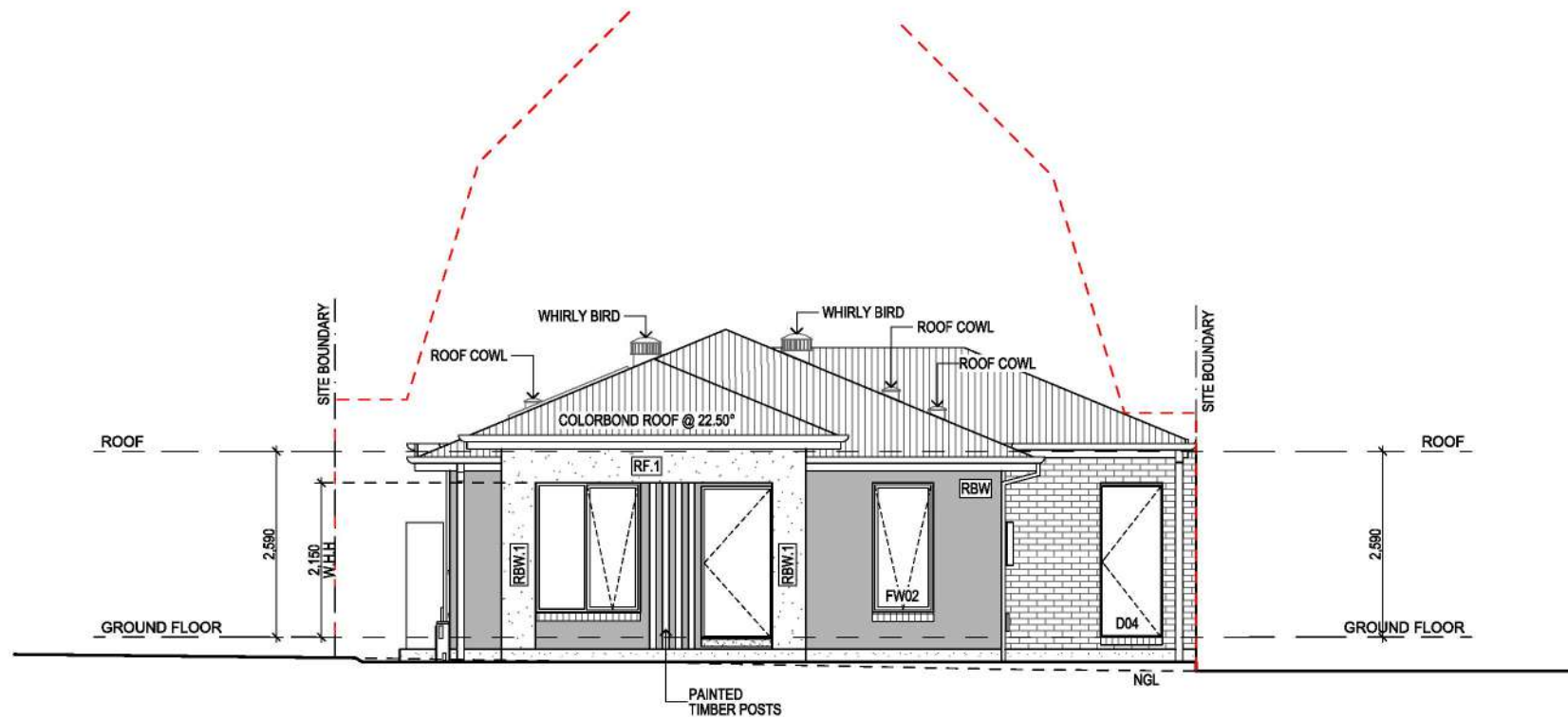
drawn
RD

sheet
06

drawing name
ELEVATIONS 02

date
11/03/2025

rev
C



C
03
ELEVATION C
1:100

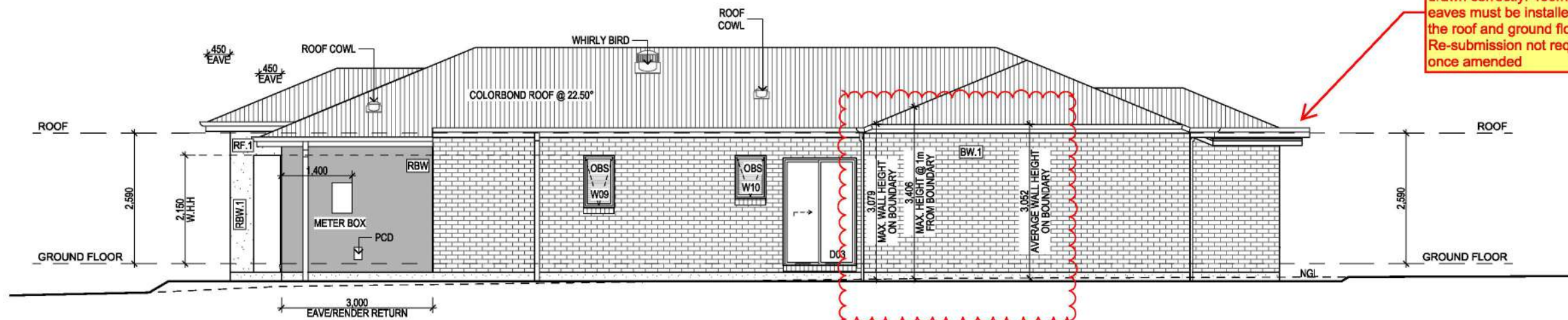
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 13.03.2025

REVIEWED BY: Blytheb

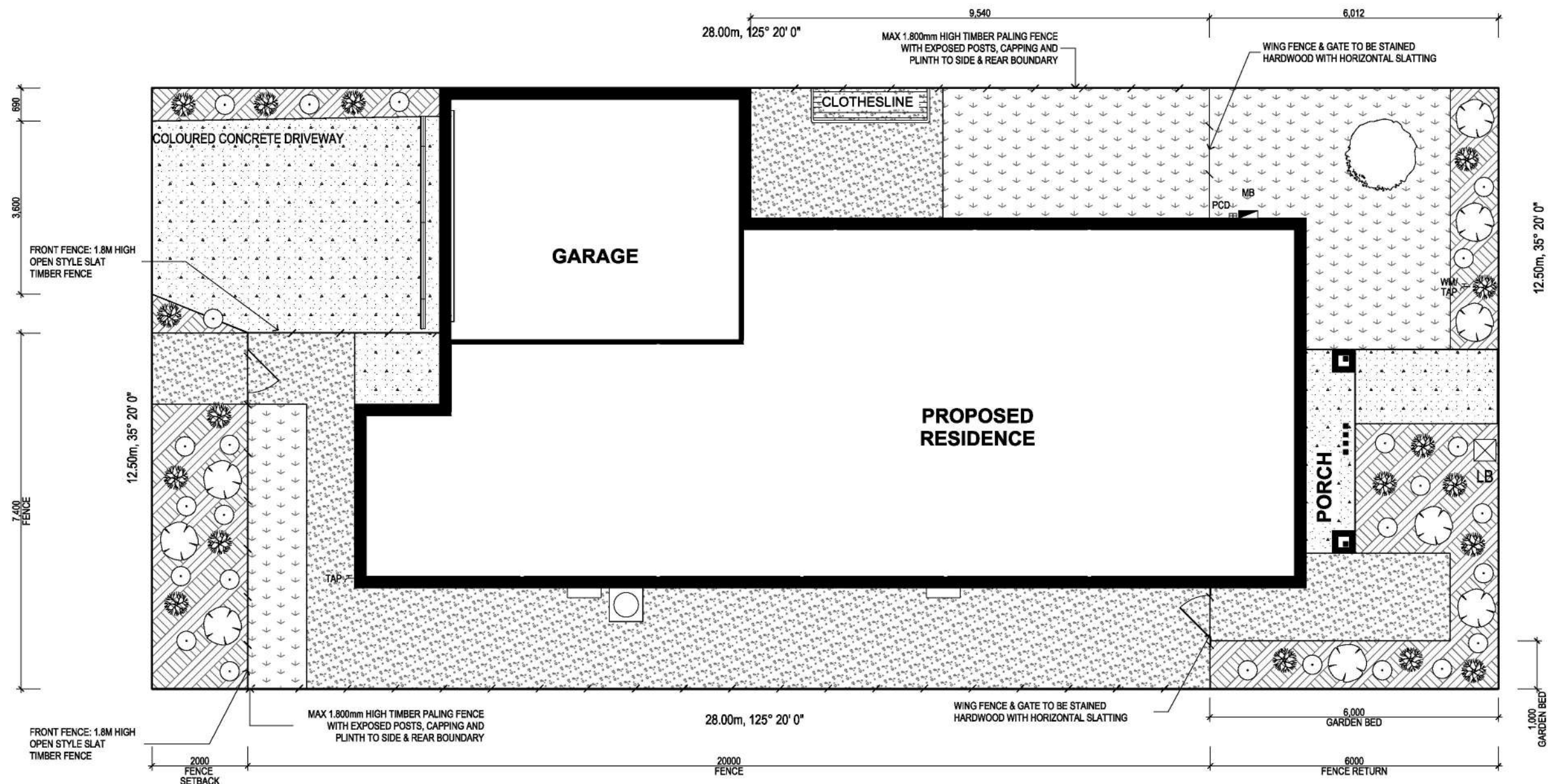
BW



D
03
ELEVATION D
1:100

Developer Condition; Eaves do not look like they have been drawn correctly. 450mm deep eaves must be installed as per the roof and ground floor plan. Re-submission not required once amended

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



LANDSCAPING LEGEND	
	COLOURED CONCRETE
	PLAIN CONCRETE PAVING
	MULCHED GARDEN BED 75mm x 25mm TREATED PINE EDGING
	TOPSOIL AND INSTANT TURF
	TOPPINGS - LILYDALE

LANDSCAPE AREAS		
	Key	Area (m²)
Front & Rear Yard		37.75
Front & Rear Yard		43.97
Front & Rear Yard		67.49
		149.21 m²

QUANTITY PLANTING		
Key	Name	Quantity
	Westringia Fruticosa "Native Rosemary"	9
	Eleaocarpus Reticulatus "Blueberry Ash"	1
	Crinum Pedunculatum "River Lily"	25
	Carex Appressa "Tall Sedge"	17

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 13.03.2025

REVIEWED BY: Blytheb

BW



[REDACTED]

From: [REDACTED]
Sent: Friday, 22 August 2025 3:04 PM
To: [REDACTED]
Subject: FW: Lot 130 #116 Pakenham Road Pakenham - The Rise Estate

Follow Up Flag: Follow up
Flag Status: Flagged

FYI

[REDACTED]

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



This e-mail and any attachments are intended only for the use of the individual/s or entities named above and may contain information that is confidential and privileged. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited. This email and any file/s attached should be scanned for viruses. If you have received this e-mail in error, please notify us immediately by return e-mail and destroy the original message. Any views expressed in this message are those of the individual sender and may not necessarily reflect the views of Creation Homes Pty Ltd.

From: Plan Lodgement <planlodgement@bevwill.com.au>
Sent: Friday, 22 August 2025 1:39 PM
To: [REDACTED]
Subject: RE: Lot 130 #116 Pakenham Road Pakenham - The Rise Estate

Hi [REDACTED]

An open style/semi-transparent 1.8m high fence as shown is acceptable by the DAP team.

As all lots in The Rise require planning permits, had the original plans been approved by Council? If it differs from what council had approved, they may have an issue, therefore, please also check with them.

It seems it has already been installed, I suggest in the future council and DAP teams must be consulted prior to installation.

Regards,



[REDACTED]
Design Approvals Coordinator

A 1 Glenferrie Road, Malvern, VIC 3144

W beveridgewilliams.com.au

planlodgement@bevwill.com.au

OVER 60 YEARS OF
AWARD-WINNING SERVICE



Proudly certified in Victoria for Quality ISO 9001, Safety ISO 45001 and Environment ISO 14001



Good morning,

Would you please be able to confirm if the fence below is an acceptable style for the job at the above address?

The style is based on the image bottom right shown in the stamped developer approval.



Proudly delivering quality homes
across Australia for **15 years.**



YEARS
STRONG
EST. 2010



This e-mail and any attachments are intended only for the use of the individual/s or entities named above and may contain information that is confidential and privileged. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited. This email and any file/s attached should be scanned for viruses. If you have received this e-mail in error, please notify us immediately by return e-mail and destroy the original message. Any views expressed in this message are those of the individual sender and may not necessarily reflect the views of Creation Homes Pty Ltd.

This email has been scanned by LANserve Email Defence.
For more information please visit www.emergingit.com.au

[Report this message as spam](#)

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

1/09/2025

Cardinia Shire Council

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Dear [REDACTED]

RE: RESPONSE TO REQUEST FOR FURTHER INFORMATION FOR PLANNING PERMIT APPLICATION AT 116 PAKENHAM ROAD PAKENHAM VIC 3810

On behalf of the applicant Creation Homes, please find below response and attached amended/additional documentation in response to Council's Request for Further Information (RFI) dated 24/07/2025.

Council RFI	Applicant Response
1. Full Title Documents A current copy of the title, produced within three (3) months is required.	Full Title Documents A current copy of the title, produced within the last three (3) months, has been provided.
2. Detailed Written Submission 2.1 Compliance with The Rise (Pakenham) Estate Design Guidelines 2.2 Written Approval by the Design Assessment Panel 2.3 Compliance with Restrictions on Title (Covenant PS902144W and Section 173 Agreement AX385769J) 2.4 Response to Preliminary Assessment Comments	Detailed Written Statement – Compliance with RIS Backhome Estate Design Guidelines and Title Restrictions <p>The proposed dwelling has been designed in full compliance with the RIS Backhome Estate Design Guidelines. The design has been reviewed and approved by the Design Assessment Panel, as evidenced by the attached approved documents and the accompanying email correspondence between Creation Homes and the Design Assessment Panel team regarding both the dwelling design and the proposed fencing.</p> <p>The dwelling also complies with all applicable restrictions on title, including Covenant PS902144W and Section 173 Agreement AX385769J.</p> <p>All preliminary assessment comments have been carefully reviewed, and all requested information and details have been provided as discussed in this letter. Every point raised has been addressed, and the relevant details are fully noted on the attached plans. It is also noted that there are no concerns regarding the proposal in terms of built form or the intended use of the dwelling.</p>

Council RFI	Applicant Response
	<p>Accordingly, this response demonstrates that every comment relating to additional details on the plans and approval from the Design Assessment Panel Team has been addressed. The proposal is therefore considered to warrant support and should be approved in its current form.</p> <p>Should any additional items arise or if appropriate and applicable conditions of consent are required, the applicant is willing to address and respond to any further feedback. However, it is asserted that all matters have been addressed and that the proposal is ready to proceed to determination.</p>
<p>3. Amended Site Plan</p> <p>The updated site plan now includes:</p> <p>3.1 Tree protection fencing shown around existing street trees along Creek Circuit and Pakenham Road.</p> <p>3.2 Width of the existing crossover clearly noted.</p> <p>3.3 Contours provided to AHD.</p> <p>3.4 Finished Floor Levels of garage, residence, and porch provided to AHD.</p> <p>3.5 Eaves shown with location and dimensions.</p> <p>3.6 Corner splay areas annotated and kept free of visual obstructions per standards.</p> <p>3.7 Retaining walls shown and dimensioned. If none proposed, annotation provided.</p> <p>3.8 Boundary fencing along Pakenham Road identified with materiality and height.</p> <p>3.9 Outbuildings shown (if applicable) or notation confirming none. Not addressed, although, not very relevant in our opinion.</p> <p>3.10 Wing fence and gate height to rear of dwelling along Pakenham Road included.</p>	<p>Amended Site Plan</p> <p>The updated site plan now includes:</p> <p>3.1 Tree protection fencing around existing street trees along Creek Circuit and Pakenham Road.</p> <p>3.2 Width of existing crossover clearly noted.</p> <p>3.3 Contours provided to AHD.</p> <p>3.4 Finished Floor Levels (FFL) of garage, residence, and porch provided to AHD.</p> <p>3.5 Eaves shown with location and dimensions.</p> <p>3.6 Corner splay areas annotated and kept free of visual obstructions per standards.</p> <p>3.7 Retaining walls shown and dimensioned, or annotated where none are proposed.</p> <p>3.8 Boundary fencing along Pakenham Road identified with materiality and height.</p> <p>3.9 Outbuildings shown (if applicable) or notation confirming none.</p> <p>3.10 Wing fence and gate height to rear of dwelling along Pakenham Road included.</p>
<p>4. Earthwork Plan</p> <p>A separate cut and fill plan has been prepared, with areas of cut and fill shown in contrasting colours for clarity.</p>	<p>Earthwork Plan</p> <p>A separate cut and fill plan has been prepared, with areas of cut and fill shown in contrasting colours for clarity.</p>
<p>5. Amended Elevation Plans</p> <p>The revised elevations include:</p> <p>5.1 Cardinal directions on all elevations.</p> <p>5.2 Natural Ground Level shown with dashed line, referenced to AHD.</p> <p>5.3 FFL levels annotated to AHD.</p> <p>5.4 Maximum building height shown from NGL and FFL to highest roof point.</p> <p>5.5 Dimensions of site cut and fill shown.</p> <p>5.6 Retaining walls identified.</p>	<p>Amended Elevation Plans</p> <p>Revised elevations now include:</p> <p>5.1 Cardinal directions on all elevations.</p> <p>5.2 Natural Ground Level (NGL) shown with dashed line, referenced to AHD.</p> <p>5.3 FFL levels annotated to AHD.</p> <p>5.4 Maximum building height shown from NGL and FFL to highest roof point.</p> <p>5.5 Dimensions of site cut and fill shown.</p> <p>5.6 Retaining walls identified.</p>

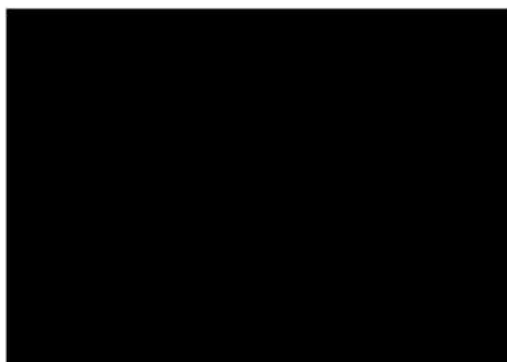
Council RFI	Applicant Response
5.7 All internal and boundary fencing indicated with dotted lines. 5.8 A detailed schedule of external materials, finishes and colours included.	5.7 All internal and boundary fencing indicated with dotted lines. 5.8 Detailed schedule of external materials, finishes, and colours included.
6. Landscape Plan A fully dimensioned landscape plan has been prepared by a qualified professional and includes: 6.1 Materiality of all ground surfaces, with landscaped areas clearly identified as grass. 6.2 Existing Street trees and tree protection fencing. 6.3 Corner splay area annotated, with landscaping limited to 600mm height. 6.4 Planting schedule with common names, botanical names, pot size, mature height/size, and quantities.	Landscape Plan A fully dimensioned landscape plan has been prepared by a qualified professional and includes: 6.1 Materiality of all ground surfaces, with landscaped areas clearly identified as grass. 6.2 Existing street trees and tree protection fencing. 6.3 Corner splay area annotated, with landscaping limited to 600mm height. 6.4 Planting schedule including common names, botanical names, pot size, mature height/size, and quantities.
7. Fencing Elevation Plan A dedicated fencing plan has been prepared showing: 7.1 Location, height, and materiality of all fencing. 7.2 Any fencing on retaining walls annotated with heights measured from NGL and FFL.	Fencing Elevation Plan A dedicated fencing plan has been prepared showing: 7.1 Location, height, and materiality of all fencing. 7.2 Any fencing on retaining walls annotated with heights measured from NGL and FFL.
Preliminary Assessment Comments 1. Based on a review of the application, the current proposal description shown on the application form is not considered to adequately reflect all aspects of the proposal. The proposal description should be updated to include 'Clause 42.01-2 a permit is required to construct a fence'. Please confirm that you accept the changes to the permit description by completing the attached Section 50 Form. 2. Fencing It appears that a 1.8m tall front fence along Creek Circuit with 2m setback from frontage. However, The Rise (Pakenham) Estate Design Guidelines states front fences are only permitted in special conditions areas such as dwellings with frontages to arterial and major boulevards. As Creek Circuit is not an arterial or major boulevards, it is HIGHLY recommended to remove the front fencing facing Creek Circuit. In addition, it is currently unclear whether boundary fencing is proposed along the western boundary facing Pakenham Road. If fencing is proposed, please update all relevant plans to include the location, height	Preliminary Assessment Comments Response 1. The proposal description has been updated to include 'Clause 42.01-2 a permit is required to construct a fence'. This has been reflected in the attached Section 50 Form and supporting plans, which fully address the feedback. 2. The front fence along Creek Circuit has been designed in accordance with The Rise (Pakenham) Estate Design Guidelines, and has been approved by the DAP team. Boundary fencing along the western boundary facing Pakenham Road has been clarified on the attached Site Plan, showing the location, height, and materiality of any proposed fencing or indicating where no fencing is proposed. The proposed front fencing along Creek Circuit is designed to serve multiple functional and amenity purposes. It acts as a barrier to the road, providing both acoustic mitigation from traffic noise and enhancing the privacy of the residents by

Council RFI	Applicant Response
and materiality of the proposed fencing. If not, please add an annotation on the Site Plan to indicate that no boundary fencing is proposed along western boundary.	discouraging overlooking into the dwelling. Additionally, the fence contributes to the security of the property by deterring potential intrusions or break-ins, thereby protecting the safety of the occupants. The fencing will be complemented by additional planting and landscaping, which will soften its visual impact and ensure that it integrates harmoniously with the streetscape. Given the careful design, height, and materials proposed, the fencing is not expected to result in any significant adverse impacts on the streetscape or adjoining properties. On the contrary, it enhances both the amenity and safety for the residents while maintaining appropriate visual and environmental outcomes for the surrounding area.
3. If the proposed garage is for a double space garage, it is highly recommended to increase its internal width to be at least 5.5 meters. If this cannot be achieved, please consider providing the second car space in tandem arrangement, with 500mm in length clearance between the spaces.	3. The garage dimensions have been revised to provide either the recommended internal width of 5.5 meters for a double garage or a tandem arrangement with 500mm clearance between spaces. These changes are fully shown on the attached plans.
4. It is highly encouraged to provide variations in materiality and presence of feature finishes on all building elevations to improve presentation of the dwelling to the street frontage and adjoining properties.	4. Variations in materiality and feature finishes have been incorporated on all building elevations to enhance presentation to both the street frontage and adjoining properties. These updates are shown on the attached plans.
5. It is highly encouraged to increase the internal room dimensions of all bedrooms to a minimum width and depth of 3 metres to provide functional areas that meet the needs of residents.	5. The internal dimensions of all bedrooms have been carefully designed to provide functional and comfortable spaces for residents. While the bedrooms deviate slightly from the Council's recommended minimum of 3x3 metres, each room achieves a minimum dimension of 3x2.9 metres, which is fully compliant with the relevant Australian standards. Due to the overall layout of the dwelling, increasing the dimensions to meet the 3x3 metre standard would be challenging without significantly impacting the design and functionality of other spaces. The 10 cm variation is minimal and practically imperceptible, having no noticeable effect on the amenity or usability of the bedrooms. Residents will experience the same level of comfort and functional area as a full 3x3 metre room, and

Council RFI	Applicant Response
<p>6. It is highly encouraged to show the location and capacity of any proposed outbuilding(s) (if applicable) on the site plan. Additional planning applications for amendment might be required if the outbuilding(s) is not included in this application.</p> <p>7. Please note, this application will be internally referred to relevant departments. If a referral response identifies any concerns with the proposal or that further information is required, you will be advised in due course.</p> <p>8. Please note, a subsequent review will be conducted once all information is submitted which may raise additional further information items.</p>	<p>the bedrooms continue to meet the needs of all future occupants. Given these considerations, the proposal warrants favourable consideration from Council and should be approved in its current form.</p> <p>6. The note that no outbuildings are proposed have been shown on the Site Plan. These inclusions ensure that no additional planning applications for amendments are required.</p> <p>7. The application has been prepared to respond fully to anticipated internal referrals. Any further concerns or requirements raised through formal referral will be addressed in due course.</p> <p>8. All information requested has been provided, and the attached plans demonstrate that all feedback has been fully and correctly addressed. Any additional items identified in subsequent review will be addressed promptly as required.</p>

Please do not hesitate to contact the undersigned on the below details for further discussion or if any further information is required.

Kind Regards,



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

CONSTRUCTION DRAWINGS

FOR Mehfooz Ahmed & Rashida Parveen

PAKENHAM ROAD PAKENHAM VIC 3810

GENERAL NOTES

DO NOT SCALE DRAWINGS. FIGURE DIMENSIONS TAKE PRECEDENCE OVERALL.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS COMPUTATIONS & DRAWINGS.

THE BUILDER AND SUBCONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES IMMEDIATELY FOR CLARIFICATION.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

ALL WORK TO COMPLY WITH NCC2022 BUILDING CODE OF AUSTRALIA, OTHER RELEVANT BYLAWS & AUTHORITIES.

ALL GLAZING TO COMPLY WITH NCC2022 H1D8 & AS1288-2021.
ALL SAFETY GLAZING TO COMPLY WITH THE NCC2022 H1D8, AS1288-2021 & AS2047-2014.
ALL TIMBER TO COMPLY WITH NCC2022 H1D6 & AS1684-2021.
ALL MASONRY TO COMPLY WITH NCC2022 H1D5 & AS3700-2018.
ALL SMOKE DETECTOR INSTALLATION TO COMPLY WITH NCC2022 H3D6 & AS3786-2014.
WATERPROOFING OF WET AREAS TO COMPLY WITH NCC2022 H4D2 AND AS3740-2021.

EXCAVATIONS TO BE BATTERED AT 45° MAX. FOR SAND/SILT/FILL SITES, UNLESS NOTED OTHERWISE. ALL BATTERS TO BE KEPT WITHIN PROPERTY BOUNDARIES.

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND / OR SLAB EDGE BEAMS SO AS TO PREVENT MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

STORMWATER SYSTEM LOCATIONS ARE INDICATIVE ONLY.

DOWNPIPES TO SERVE <12m OF GUTTER. INSTALL DOWNPIPE WITHIN 1200mm OF VALLEY OR PROVIDE OVERFLOWS TO GUTTER.

DOORS TO WC TO HAVE LIFT OFF HINGES, UNLESS 1200mm CLEAR BETWEEN PAN & DOORWAY.

STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
RISERS (R) 190mm MAXIMUM AND 115mm MINIMUM,
GOING (G) 355mm MAXIMUM AND 240mm MINIMUM,
2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM.
WHERE NO STEP PROVIDED, SITE MUST BE GRADED TO ENSURE MAXIMUM STEP DOWN OF 190MM FROM EXTERNAL DOOR TO FSL.

HANDRAILS TO STAIRS TO BE PROVIDED IN ACCORDANCE WITH NCC2022 H5D3

WHERE THE FLOOR BELOW WINDOW(S) IN A BEDROOM IS 2m OR MORE BELOW THE SURFACE BENEATH, RESTRICT WINDOW OPEINGS TO 125mm MAX. IN ACCORDANCE WITH NCC 2022H5D3

PROVIDE NON-SLIP CARPET TO STAIRS WITH A MINIMUM P3 CLASSIFICATION (FOR DRY SURFACES) AS PER TABLE 11.2.4 IN NCC2022 H5D2, TESTED IN ACCORDANCE WITH AS4586.

AS PER NCC2022 H4D9 A PLIABLE BUILDING MEMBRANE TO BE INSTALLED THAT COMPLIES WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8.

AS PER NCC2022 H4D7 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR.

EXTERNAL WALLS TO HAVE 450mm STUD CENTRES. INTERNAL WALLS TO HAVE 600mm STUD CENTRES.

SHEET	SHEET NAME	REV	DESCRIPTION
01	COVER SHEET	H	PLANNING RFI RESPONSE
02	SITE PLAN	H	PLANNING RFI RESPONSE
03	EARTHWORKS PLAN	H	PLANNING RFI RESPONSE
04	GROUND FLOOR PLAN	H	PLANNING RFI RESPONSE
05	ROOF PLAN	H	PLANNING RFI RESPONSE
06	ELEVATIONS 01	H	PLANNING RFI RESPONSE
07	ELEVATIONS 02	H	PLANNING RFI RESPONSE
08	FENCE ELEVATIONS 01	H	PLANNING RFI RESPONSE
09	FENCE ELEVATIONS 02	H	PLANNING RFI RESPONSE
10	LANDSCAPE PLAN	H	PLANNING RFI RESPONSE
11	WINDOW & DOOR SCHEDULE	H	PLANNING RFI RESPONSE
12	SECTIONS 01	H	PLANNING RFI RESPONSE
13	SECTIONS 02	H	PLANNING RFI RESPONSE
14	INTERNAL DOOR DETAILS	H	PLANNING RFI RESPONSE
15	GARAGE DETAILS	H	PLANNING RFI RESPONSE
16	RENDER DETAILS	H	PLANNING RFI RESPONSE
17	WALL TYPE SCHEDULE	H	PLANNING RFI RESPONSE
18	BATH & WC NOGGING DETAILS	H	PLANNING RFI RESPONSE
19	WATERPROOFING DETAILS	H	PLANNING RFI RESPONSE
20	INTERNALS 01	H	PLANNING RFI RESPONSE
21	INTERNALS 02	H	PLANNING RFI RESPONSE
22	INTERNALS 03	H	PLANNING RFI RESPONSE
23	INTERNALS 04	H	PLANNING RFI RESPONSE
24	ELECTRICAL PLANS	H	PLANNING RFI RESPONSE
25	SLAB SETOUT	H	PLANNING RFI RESPONSE
26	DRAINAGE PLAN	H	PLANNING RFI RESPONSE

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

rev	description	by	date
A	CONSTRUCTION ADRAWINGS	RD	9/01/2025
D	D.A RFI	WE	28/02/2025
E	ISSUED FOR CONSTRUCTION	W.E	14/03/2025
F	NORTH ORIENTATION UPDATE	AM	20/03/2025
H	PLANNING RFI RESPONSE	NW	10/09/2025

SITE ANALYSIS

	AREA	%
SITE AREA	350.00 m ²	100.00
SITE COVERAGE	169.83 m ²	48.52
PERMEABLE AREA	158.16 m ²	45.18
GARDEN AREA	154.33 m ²	44.09

SITE PLAN LEGEND

	METER BOX
	WATER METER/ GARDEN TAP
	GARDEN TAP
	DOWNPIPE
	DOWNPIPE & RAINHEAD
	HOT WATER SYSTEM
	RECYCLED WATER GARDEN TAP
	CLOTHESLINE
	LETTERBOX
	A/C CONDENSER

ALL LEVELS ARE MEASURED TO
AHD AS PER SITE SURVEY

NO PROPOSED OUTBUILDINGS

NO PROPOSED RETAINING WALLS

TREE PROTECTION FENCING
IN ACCORDANCE WITH AS4970-2009

LEGEND	
INV	INVERT LEVEL
	PIPE (UNKNOWN)
	SIGN POST
	LEGAL POINT OF DISCHARGE
	TEMPORARY SITE LEVEL BENCHMARK
	ELECTRICITY PIT
	LIGHT POLE (OVERHANGING)
	TITLE PEG
	EXISTING SEWER PIT
	STORMWATER JUNCTION PIT

creationhomes

LEVEL 12, 484 ST.KILDA ROAD, MELBOURNE, VIC 3004
p: 03 9828 0700 e: info@creationhomes.com.au w: www.creationhomes.com.au

© Copyright
This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	by	date
B	DA RFI	RD	4/02/2025
C	BP RFI	RD	21/02/2025
D	D.A RFI	WE	28/02/2025
E	ISSUED FOR CONSTRUCTION	W.E	14/03/2025
F	NORTH ORIENTATION UPDATE	AM	20/03/2025
H	PLANNING RFI RESPONSE	NW	10/09/2025

Indi 17 - Wattle Facade

CONSTRUCTION DRAWINGS

Figured dimensions take precedence over scaled dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

site address
LOT 130 PAKENHAM ROAD, PAKENHAM VIC 3810

project no.
305923

estate
THE RISE

scale
1:200@A3

drawn
RD

sheet
02

client

drawing name
SITE PLAN

date
10/09/2025

rev
H

SITE NOTES

SITE WORKS

- PROVIDE SITE CUT/FILL @ RL 48.660

- NOTE: ALL BATTERS MUST BE STABILISED FOLLOWING CONSTRUCTION. THE GROUND LEVEL IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE GRADED TO A UNIFORM FALL OF 50mm MIN. AWAY FROM THE BUILDING OVER THE FIRST METRE.

SITE PREPARATION

- REMOVE TOP SOIL INCLUDING GRASS ROOTS FROM THE AREA ON WHICH THE FOOTING WILL REST. THIS AREA MUST BE FREE OF LOOSE EARTH, ORGANIC MATERIAL, MUD OR DEBRIS.

WIND SPEED

- MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS N2.

SOIL CLASSIFICATION

- SOIL CLASS M.
REFER TO SOIL REPORT.

TERMITE TREATMENT

- PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS3660.1.

7-STAR REQUIREMENTS

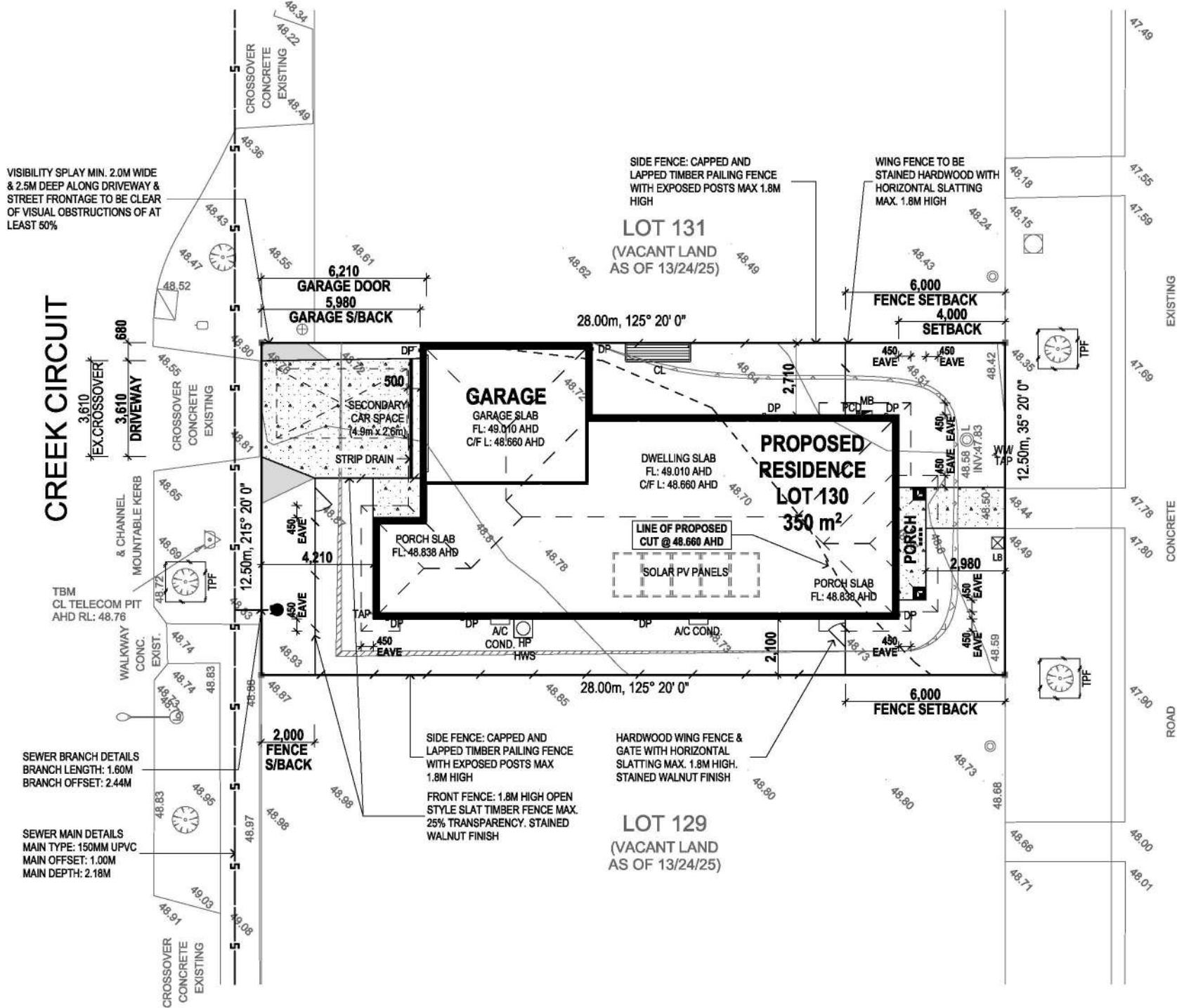
-REFER TO ENERGY RATING REPORT IN RELATION TO NOMINATED INSULATION 'R' VALUES.
- PROVIDE SARKING TO ALL METAL ROOFS (IF APPLICABLE)
- SEAL ALL GAPS & CRACKS.
- WEATHER STRIP FRONT ENTRY DOOR & GARAGE ACCESS DOOR.
- SEAL ALL EXHAUST FANS.
- SLAB WAFFLE PODS ARE MINIMUM 300MM THICK. (REFER TO ENGINEERS SPECIFICATIONS)

FIBRE OPTIC CONNECTION

- FIBRE TO THE PREMISE IS DELIVERED BY OPTICOMM TO YOUR ALLOTMENT. FIBRE OPTIC WIRING IS REQUIRED TO ALL DWELLINGS.

DEVELOPER APPROVAL

DEVELOPER APPROVAL IS REQUIRED PRIOR TO BUILDING PERMIT IN ACCORDANCE WITH DEVELOPMENT GUIDELINES FROM THE RISE ESTATE.



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

rev	description	by	date
H	PLANNING RFI RESPONSE	NW	10/09/2025

Indi 17 - Wattle Facade
CONSTRUCTION DRAWINGS
Figured dimensions take precedence over scaled dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

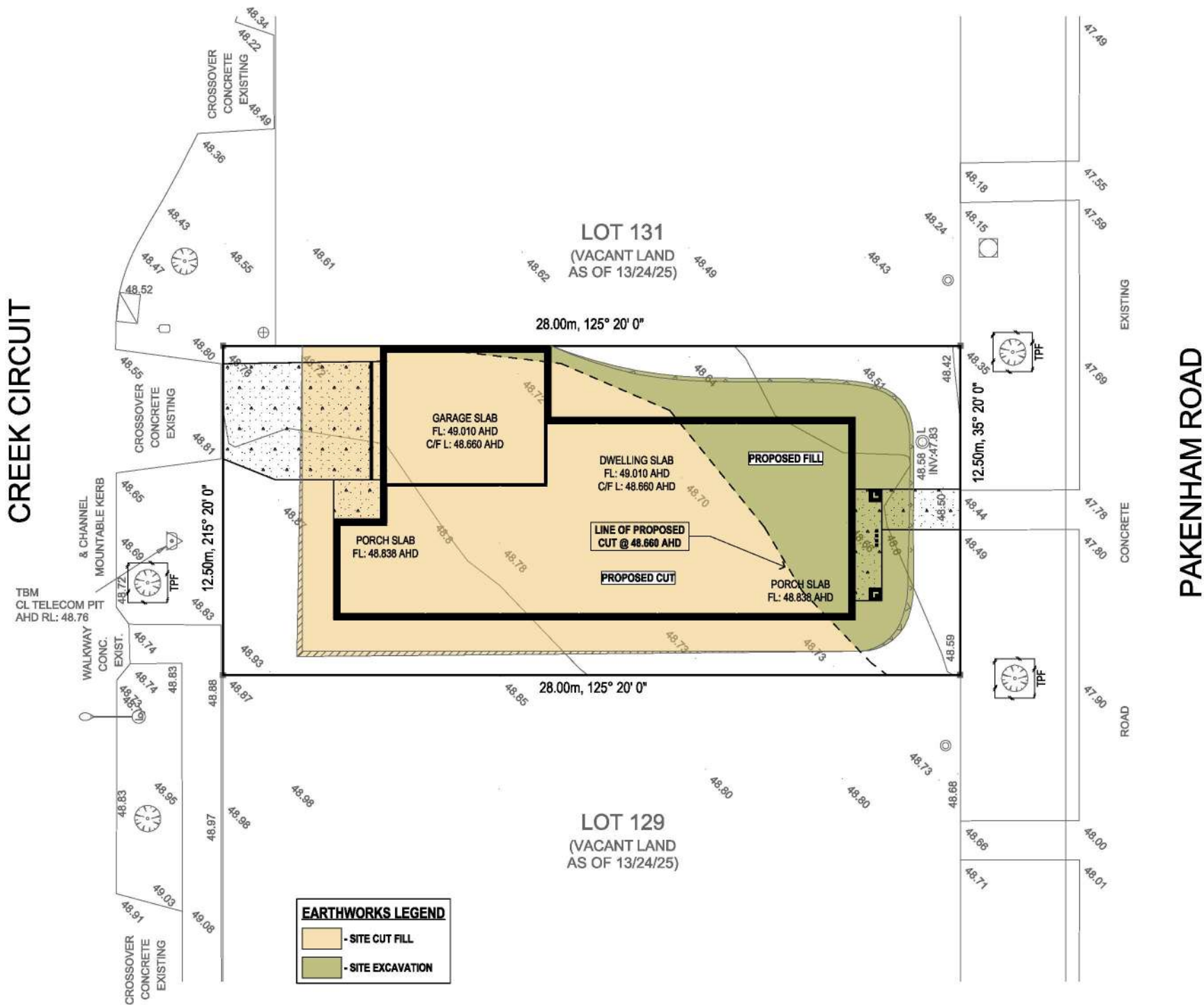


site address
LOT 130 PAKENHAM ROAD, PAKENHAM VIC 3810

project no.
305923
estate
THE RISE
drawing name
EARTHWORKS PLAN

scale
1:200@A3

drawn
RD
sheet
03
date
10/09/2025
rev
H



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

BHD	BULKHEAD		SMOKE DETECTOR
CSD	CAVITY SLIDING DOOR		EXHAUST FAN
CT	COOKTOP		RETURN AIR
D	HEATING / COOLING DUCT		CAPPED WATER POINT
DP	DOWNPIPE		METER BOX
DPR	DOWNPIPE/RAINHEAD		GARDEN TAP
DW	DISHWASHER PROVISION		SOLAR TUBE
HP HWS	HEAT PUMP HOT WATER SYSTEM		CEILING FAN
LOH	LIFT OFF HINGE		1200 x 900 CIRCULATION SPACE
MW	MICROWAVE PROVISION		WALL REINFORCED AS PER LIVABLE HOUSING DESIGN 6.2(e) & 6.2(f). SEE DETAILS
PS	PLUMBING STACK		ACCESS HATCH
PTY	PANTRY		A/C CONDENSER
REF	REFRIGERATOR PROVISION		
RH	RANGEHOOD		
RW TAP	RECYCLED WATER GARDEN TAP		
SD	SLIDING DOOR		
UBO	UNDER BENCH OVEN		
WM	WASHING MACHINE PROVISION		

FLOOR PLAN NOTES

ALL SHOWERS TO BE STEP FREE AS PER NCC 2022 10.2.17. ALLOW 30mm STEPDOWN IN SLAB OR 25mm STEPDOWN IN JOIST TO SUIT PRE-FAB SHOWER BASE.

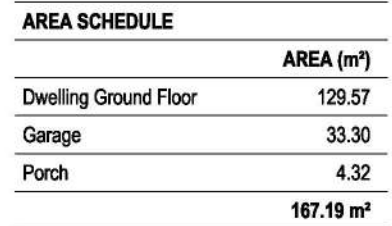
BEAMS TO MANUFACTURERS SPECIFICATION OR ENGINEERS DESIGN.

ALL EXTERNAL DOORS TO BE FITTED WITH WEATHER STRIPS.

SOLID INTERLINKING RAILS AS PER NCC2022 H5D3

GARAGE BOUNDARY WALL MAY REVERT TO BRICK AND PIER CONSTRUCTION AT BUILDER'S DISCRETION.

BULKHEADS AS SHOWN DASHED
2440 CEILING HEIGHT - 250D BHD U.N.O
2590 CEILING HEIGHT - 250D BHD U.N.O
2740 CEILING HEIGHT - 400D BHD U.N.O



© Copyright
This drawing shows design features and elements of a design prepared by CREATION HOMES and is to be used only for work authorised in writing by the designers. It cannot be copied directly or indirectly, in whole or in part, nor shall it be used for any other building purposes. Unauthorised use will be considered an infringement of these rights.

rev	description	by	date
A	CONSTRUCTION ADRRAWINGS	RD	8/1/2025
E	ISSUED FOR CONSTRUCTION	W.E	14/03/2025
F	NORTH ORIENTATION UPDATE	AM	20/03/2025
G	OPENING WIDTH INCREASE	AM	4/05/2025
H	PLANNING RFI RESPONSE	NW	10/09/2025

Figured dimensions take precedence over scaled dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.

```
client
```

project no. **305923** estate **THE RISE**

drawing name **GROUND FLOOR PLAN**

drawn
RD

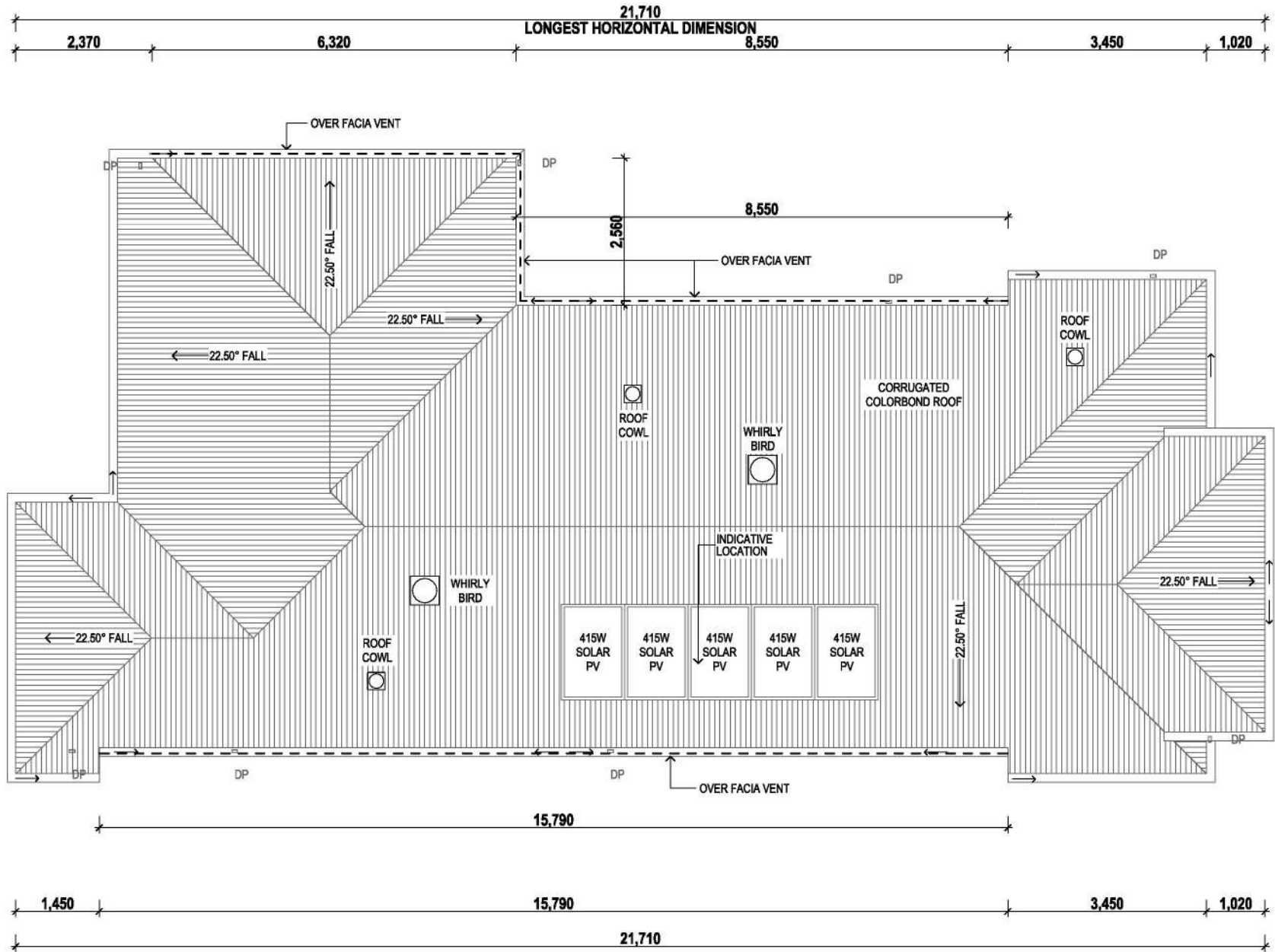
date
10/09/2025

ROOF PLAN NOTES

ROOF SPACE TO BE ADEQUATELY VENTILATED AND TO BE CONSTRUCTED AS PER NCC 2022 PART 10.8.3

ROOF PLAN

- DPDOWNPIPE 100 x 50
(EXACT LOCATION TO BE CONFIRMED ON SITE)
- GUTTER FALL DIRECTION
(NOM. ONLY. TO BE CONFIRMED ON SITE.)



VENTILATION REQUIREMENTS

SPECIFICATION (FREE OPEN AREA PER m LENGTH)
- VENT SYSTEMS OVER FASCIA VENT G1200N (11,000 mm²/m)
- BRADFORD WINDMASTER WHIRLY BIRD (62,500 mm²/m)

ROOF 22.50°
HIGH LEVEL (5,000 mm²/m REQUIRED)
LONGEST HORIZONTAL DIMENSION: 21.710 m
TOTAL REQUIRED: 5,000 x 20.84 = 104,200 mm²
WHIRLY BIRDS REQUIRED: 104,200 / 62,500 = 2

LOW LEVEL (7,000 mm²/m REQUIRED)
LONGEST HORIZONTAL DIMENSION: 21.710 m
SIDES TO VENT: 2
TOTAL REQUIRED: 7,000 x 21.71 x 2 = 303,940 mm²
OVER FASCIA VENT REQUIRED: 303,940 / 11,000 = 27.63 m
OVER FASCIA VENT PROVIDED: 2.560 + 8.550 + 15.790 + 6.320 = 33.22 m

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

rev	description	by	date
A	CONSTRUCTION DRAWINGS	RD	9/12/2025
C	BP RFI	RD	21/02/2025
E	ISSUED FOR CONSTRUCTION	W.E	14/03/2025
F	NORTH ORIENTATION UPDATE	AM	20/03/2025
H	PLANNING RFI RESPONSE	NW	10/09/2025

Indi 17 - Wattle Facade

CONSTRUCTION DRAWINGS

Figured dimensions take precedence over scaled dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.



site address
LOT 130 PAKENHAM ROAD, PAKENHAM VIC 3810

client
[Redacted]

project no.
305923

estate
THE RISE

scale
1:100@A3

drawn
RD

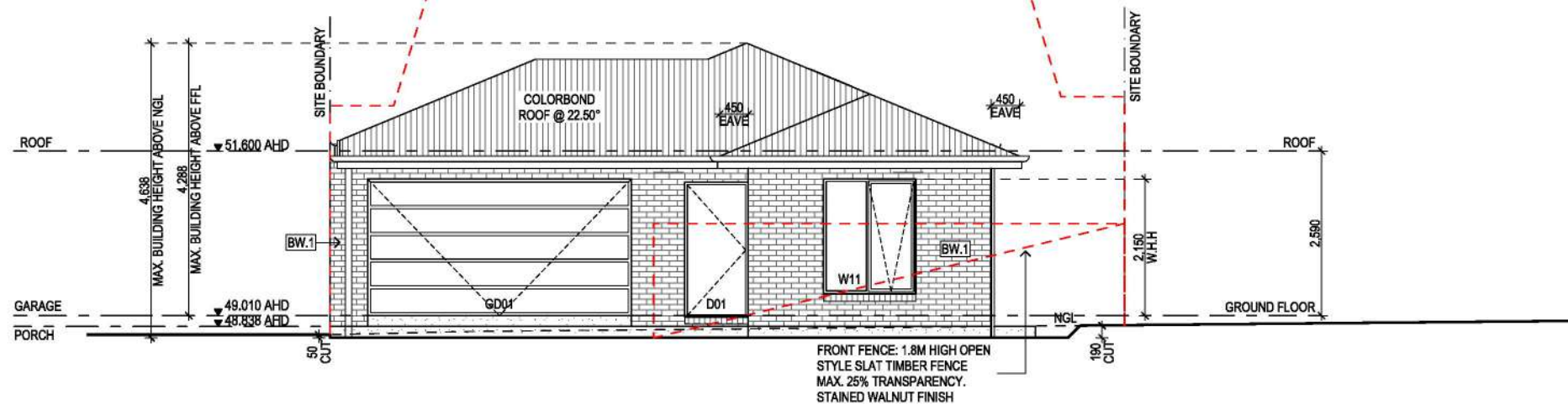
sheet
05

drawing name
ROOF PLAN

date
10/09/2025

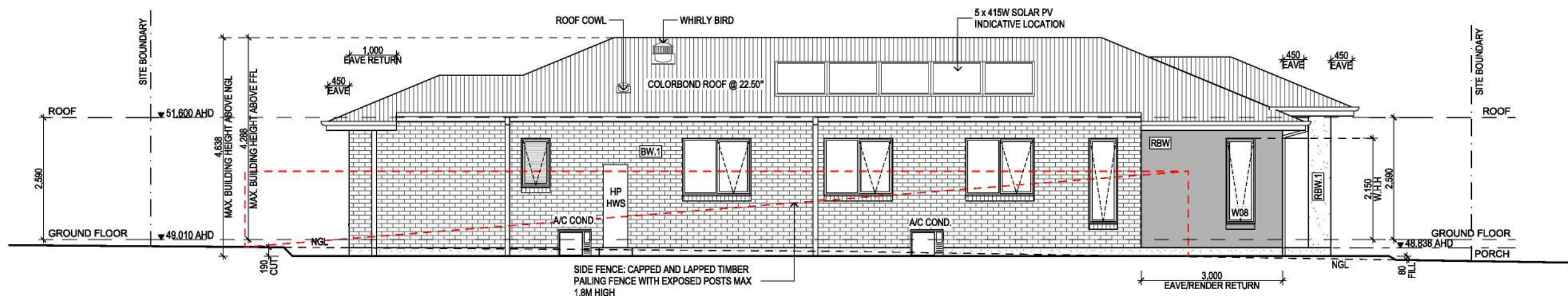
rev
H

Facade Material %		
Material	Area	%
Paint Colour 1	0.88	7
Face Brick	4.73	36
Render Colour 3	3.15	24
Render Colour 1	4.42	33
Total	13.16	100



A ELEVATION A (SOUTH-EAST)
03 1:100

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



B ELEVATION B (NORTH-EAST)
03 1:100

NOTES

ROLLER BLINDS TO BEDROOMS , LIVING AREAS & KITCHEN.

FLYSCREEN TO ALL OPENING WINDOWS.

RESTRICTED WINDOW OPENING TO UPPER FLOOR WINDOWS IN ACCORDANCE WITH NCC2022 H5D3

EXTERNAL COLOUR SCHEME

AS PER HIA CONTRACT.

MATERIALS / FINISHES SCHEDULE

NO TWO PAIRS OF MATCHING COLOURED FACADES ARE TO BE NEXT TO EACH OTHER.

ALL CLADDINGS TO BE FIXED AS PER MANUFACTURER SPECIFICATIONS & DETAILS.

REFER TO COLOUR DOCUMENT

BW.# BRICKWORK / JOINT FINISH AS PER SPECIFICATIONS
BRICK TYPE AS PER ENDORSED COLOUR SCHEDULE

**RBW.# COLOURED CEMENT RENDER OVER BRICK WALL
COLOUR AS PER ENDORSED COLOUR SCHEDULE**

RF.# COLOURED CEMENT RENDER OVER 75mm
MASTERWALL FOAMBOARD CLADDING. PAINT FINISH
COLOUR AS PER ENDORSED COLOUR SCHEDULE

RAC# COLOURED CEMENT RENDER OVER 50mm
‘HEBEL’ AUTOCLAVED AERATED CONCRETE PANEL
(35mm BATTEN TO TIMBER FRAMEWORK).
COLOUR AS PER ENDORSED COLOUR SCHEDULE

RFC.# COLOURED CEMENT RENDER OVER FIBRE CEMENT SHEET
COLOUR AS PER ENDORSED COLOUR SCHEDULE

WWG.# WEATHERTEX WEATHERGROOVE
TIMBER LOOK CLADDING
COLOUR AS PER ENDORSED COLOUR SCHEDULE









**WSL# WEATHERTEX SELFLOK
TIMBER LOOK CLADDING
COLOUR AS PER ENDORSED COLOUR SCHEDULE**

**BT101 POWDERCOATED ALUMINIUM BALUSTRADE POSTS /
RAIL CLEAR GLASS PAINL INSERTS**

GD01 SECTIONAL LIFE GARAGE DOOR
COLOUR AS PER ENDORSED COLOUR SCHEDULE

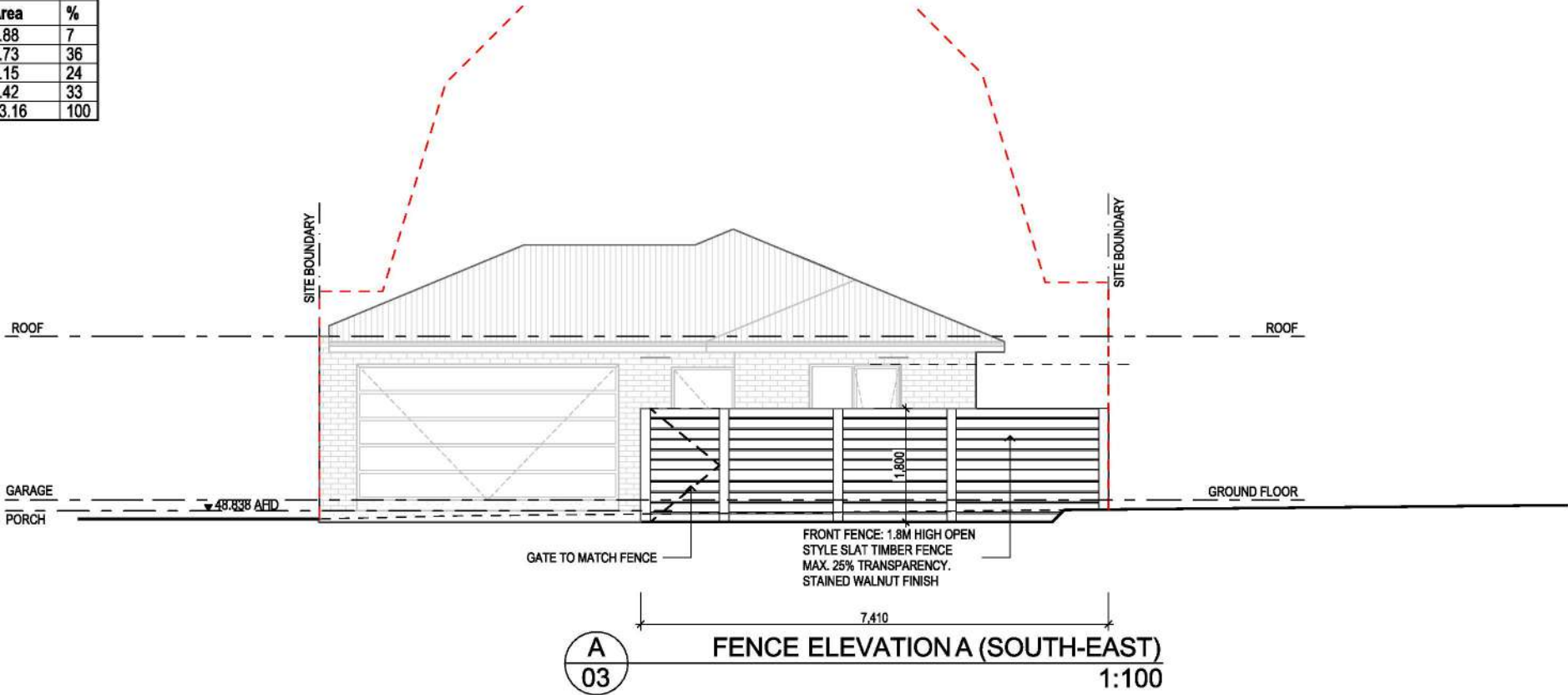
AC 50mm UN-RENDERED 'HEBEL' AUTOCLAVED AERATED CONCRETE PANEL (35mm BATTEN TO TIMBER FRAMEWORK)

COLOUR AND MATERIAL SCHEDULE

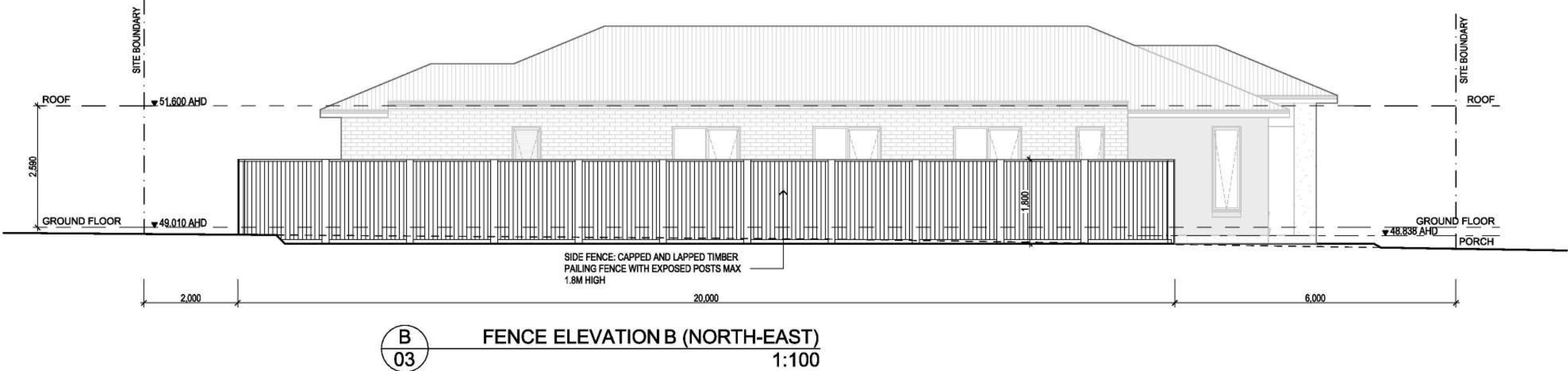
- | | |
|---|--|
|  | 1 – Brick (BW.1)
Austral Bricks, Praline |
|  | 2 - Roof
Colorbond, Windspray |
|  | 3 - Garage door (GD01)
Haymes, Southerly |
|  | 4 - Fascia, gutter, downpipes
Haymes, Southerly |
|  | 5 - Render colour 1 (RBW.1 / RF.1)
Haymes, Soothe |
|  | 6 - Render colour 2 (RBW)
Haymes, Windspray |
|  | 7 - Coloured Concrete
Gun Metal |
|  | 8 - Window and sliding door
frame, front entry door and frame
Shale Grey |
|  | 9 - Street fences/gates
Walnut stained pine timber |

drawn sheet
RD 07

Facade Material %		
Material	Area	%
Paint Colour 1	0.88	7
Face Brick	4.73	36
Render Colour 3	3.15	24
Render Colour 1	4.42	33
Total	13.16	100



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

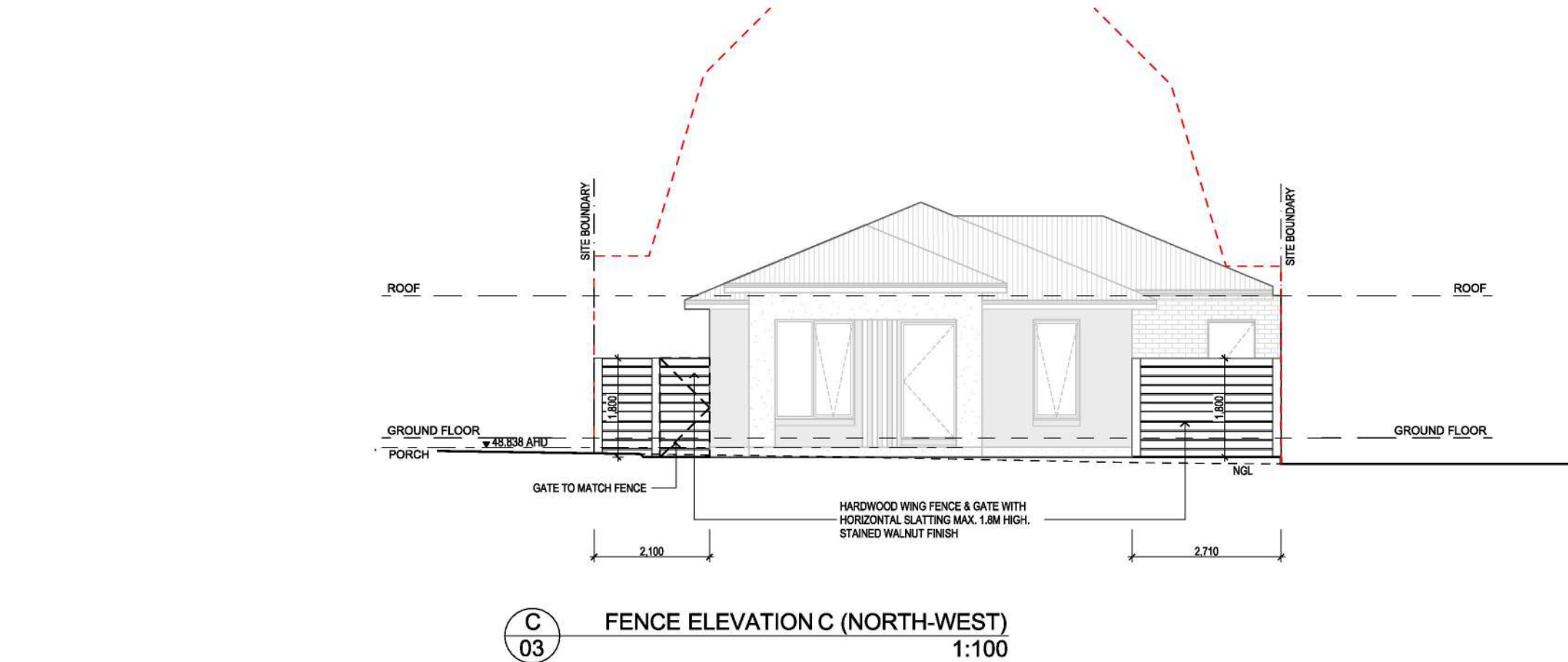
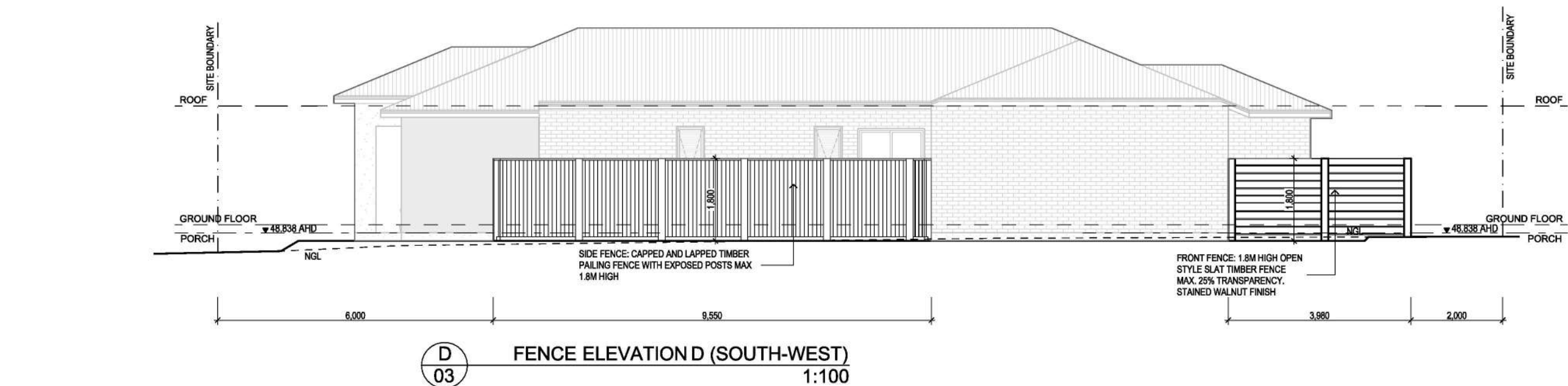


NOTES
ROLLER BLINDS TO BEDROOMS , LIVING AREAS & KITCHEN.
FLYSCREEN TO ALL OPENING WINDOWS.
RESTRICTED WINDOW OPENING TO UPPER FLOOR WINDOWS IN ACCORDANCE WITH NCC2022 H5D3
EXTERNAL COLOUR SCHEME
AS PER HIA CONTRACT.

MATERIALS / FINISHES SCHEDULE
NO TWO PAIRS OF MATCHING COLOURED FACADES ARE TO BE NEXT TO EACH OTHER.
ALL CLADDINGS TO BE FIXED AS PER MANUFACTURER SPECIFICATIONS & DETAILS.
REFER TO COLOUR DOCUMENT

BW.#	BRICKWORK / JOINT FINISH AS PER SPECIFICATIONS BRICK TYPE AS PER ENDORSED COLOUR SCHEDULE
RBW.#	COLOURED CEMENT RENDER OVER BRICK WALL COLOUR AS PER ENDORSED COLOUR SCHEDULE
RF.#	COLOURED CEMENT RENDER OVER 75mm MASTERWALL FOAMBOARD CLADDING. PAINT FINISH COLOUR AS PER ENDORSED COLOUR SCHEDULE
RAC.#	COLOURED CEMENT RENDER OVER 50mm 'HEBEL' AUTOCLAVED AERATED CONCRETE PANEL (35mm BATTEN TO TIMBER FRAMEWORK). COLOUR AS PER ENDORSED COLOUR SCHEDULE
RFC.#	COLOURED CEMENT RENDER OVER FIBRE CEMENT SHEET COLOUR AS PER ENDORSED COLOUR SCHEDULE
WWG.#	WEATHERTEX WEATHERGROOVE TIMBER LOOK CLADDING COLOUR AS PER ENDORSED COLOUR SCHEDULE
WSL.#	WEATHERTEX SELFLOK TIMBER LOOK CLADDING COLOUR AS PER ENDORSED COLOUR SCHEDULE
BT101	POWDERCOATED ALUMINIUM BALUSTRADE POSTS / RAIL CLEAR GLASS PANL INSERTS
GD01	SECTIONAL LIFE GARAGE DOOR COLOUR AS PER ENDORSED COLOUR SCHEDULE
AC	50mm UN-RENDERED 'HEBEL' AUTOCLAVED AERATED CONCRETE PANEL (35mm BATTEN TO TIMBER FRAMEWORK)

rev	description	by	date
H	PLANNING RFI RESPONSE	NW	10/09/2025



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

NOTES

ROLLER BLINDS TO BEDROOMS, LIVING AREAS & KITCHEN.

FLYSCREEN TO ALL OPENING WINDOWS.

RESTRICTED WINDOW OPENING TO UPPER FLOOR WINDOWS IN ACCORDANCE WITH NCC2022 H5D3

EXTERNAL COLOUR SCHEME

AS PER HIA CONTRACT.

MATERIALS / FINISHES SCHEDULE

NO TWO PAIRS OF MATCHING COLOURED FACADES ARE TO BE NEXT TO EACH OTHER.

ALL CLADDINGS TO BE FIXED AS PER MANUFACTURER SPECIFICATIONS & DETAILS.

REFER TO COLOUR DOCUMENT

BW.# BRICKWORK / JOINT FINISH AS PER SPECIFICATIONS
BRICK TYPE AS PER ENDORSED COLOUR SCHEDULE

RBW.# COLOURED CEMENT RENDER OVER BRICK WALL
COLOUR AS PER ENDORSED COLOUR SCHEDULE

RF.# COLOURED CEMENT RENDER OVER 75mm
MASTERWALL FOAMBOARD CLADDING. PAINT FINISH
COLOUR AS PER ENDORSED COLOUR SCHEDULE

RAC.# COLOURED CEMENT RENDER OVER 50mm
'HEBEL' AUTOCLAVED AERATED CONCRETE PANEL
(35mm BATTEN TO TIMBER FRAMEWORK).
COLOUR AS PER ENDORSED COLOUR SCHEDULE

RFC.# COLOURED CEMENT RENDER OVER FIBRE CEMENT
SHEET
COLOUR AS PER ENDORSED COLOUR SCHEDULE

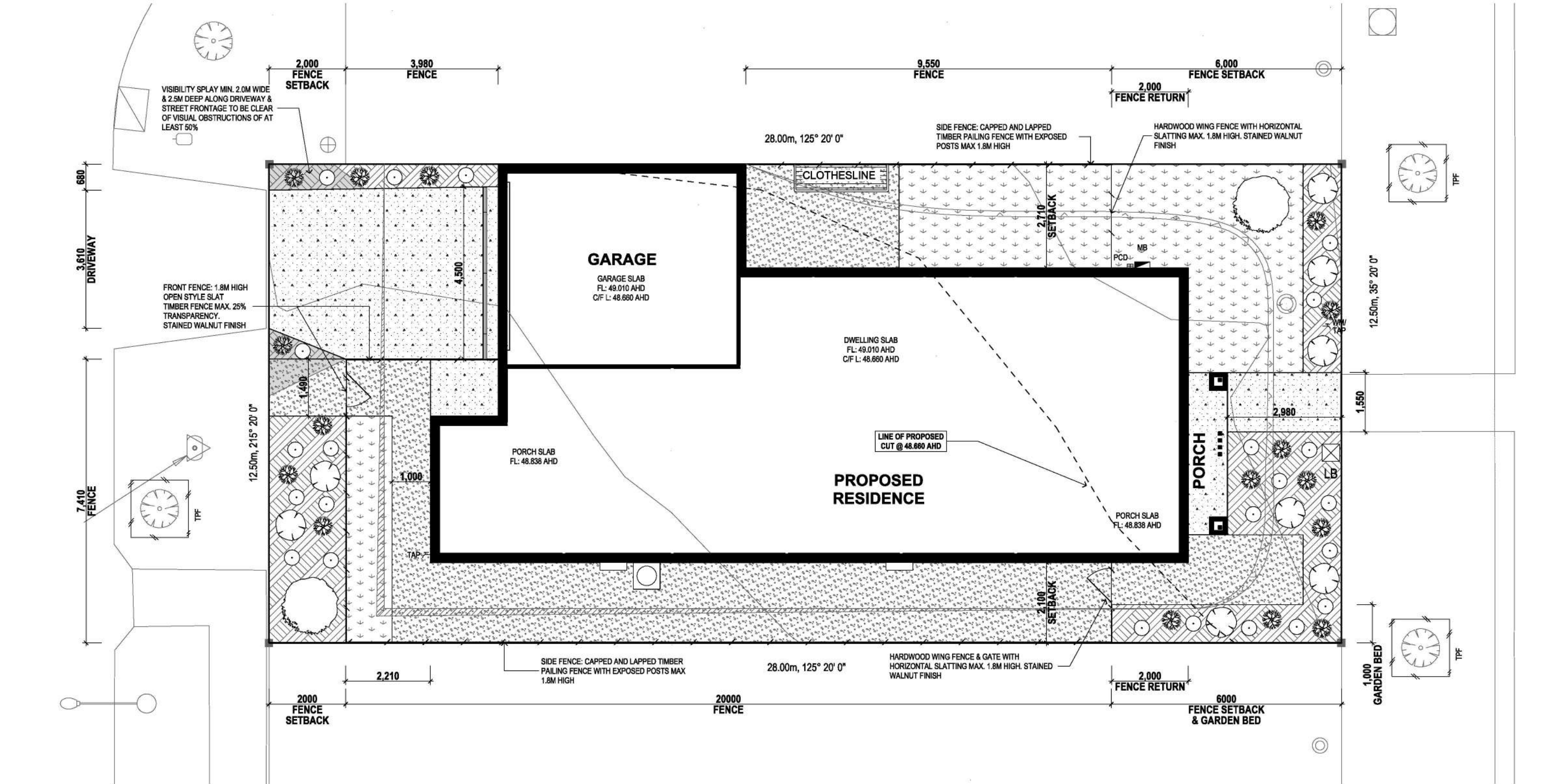
WWG.# WEATHERTEX WEATHERGROOVE
TIMBER LOOK CLADDING
COLOUR AS PER ENDORSED COLOUR SCHEDULE

WSL.# WEATHERTEX SELFLOK
TIMBER LOOK CLADDING
COLOUR AS PER ENDORSED COLOUR SCHEDULE

BT101 POWDERCOATED ALUMINIUM BALUSTRADE POSTS /
RAIL CLEAR GLASS PANEL INSERTS

GD01 SECTIONAL LIFE GARAGE DOOR
COLOUR AS PER ENDORSED COLOUR SCHEDULE

AC 50mm UN-RENDERED 'HEBEL' AUTOCLAVED AERATED
CONCRETE PANEL (35mm BATTEN TO TIMBER
FRAMEWORK)



LANDSCAPING LEGEND	
	COLOURED CONCRETE
	PLAIN CONCRETE PAVING
	MULCHED GARDEN BED
	TOPSOIL AND INSTANT TURF
	TOPPINGS - LILYDALE

LANDSCAPE AREAS		
	Key	Area (m²)
	25 %	3.15
		3.15 m²
Front & Rear Yard		37.72
Front & Rear Yard		43.94
Front & Rear Yard		67.54
		149.20 m²
		152.35 m²

QUANTITY PLANTING					
Key	Common Name	Botanical Name	Pot Size	HxW @ Maturity	Quantity
	Tall Sedge	Carex Appressa	140mm	0.8m X 1.0m	16
	River Lily	Crinum Pedunculatum	200mm	1.75m X 1.25m	23
	Native Rosemary	Westringia Fruticosa	200mm	1.5m X 1.5m	8
	Blueberry Ash	Elaeocarpus Reticulatus	400mm	8.0m X 4.0m	2

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Storey	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR
ID	D01	D02	D03	D04	FW01	FW02	GD01
Height	2,100	2,100	2,110	2,100	1,800	1,800	2,150
Width	1,000	1,000	1,450	820	1,450	850	4,150
Privacy	N/A	N/A	Clear	N/A	Clear	Obscure	N/A
Wall Thickness	250	250	250	250	250	250	240
Note							
View from Outside							

Storey	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR
ID	W03	W04	W05	W06	W07	W08	W09
Height	1,027	1,200	1,200	1,200	1,800	1,800	1,027
Width	610	1,450	1,450	1,450	610	610	610
Privacy	Obscure	Clear	Clear	Clear	Clear	Obscure	Obscure
Wall Thickness	250	250	250	250	250	250	250
Note							
View from Outside							

Storey	GROUND FLOOR	GROUND FLOOR
ID	W10	W11
Height	854	1,800
Width	610	1,450
Privacy	Obscure	Clear
Wall Thickness	250	250
Note		
View from Outside		

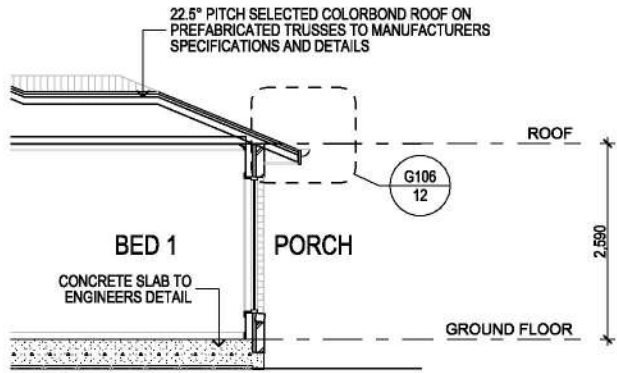
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

NOTES

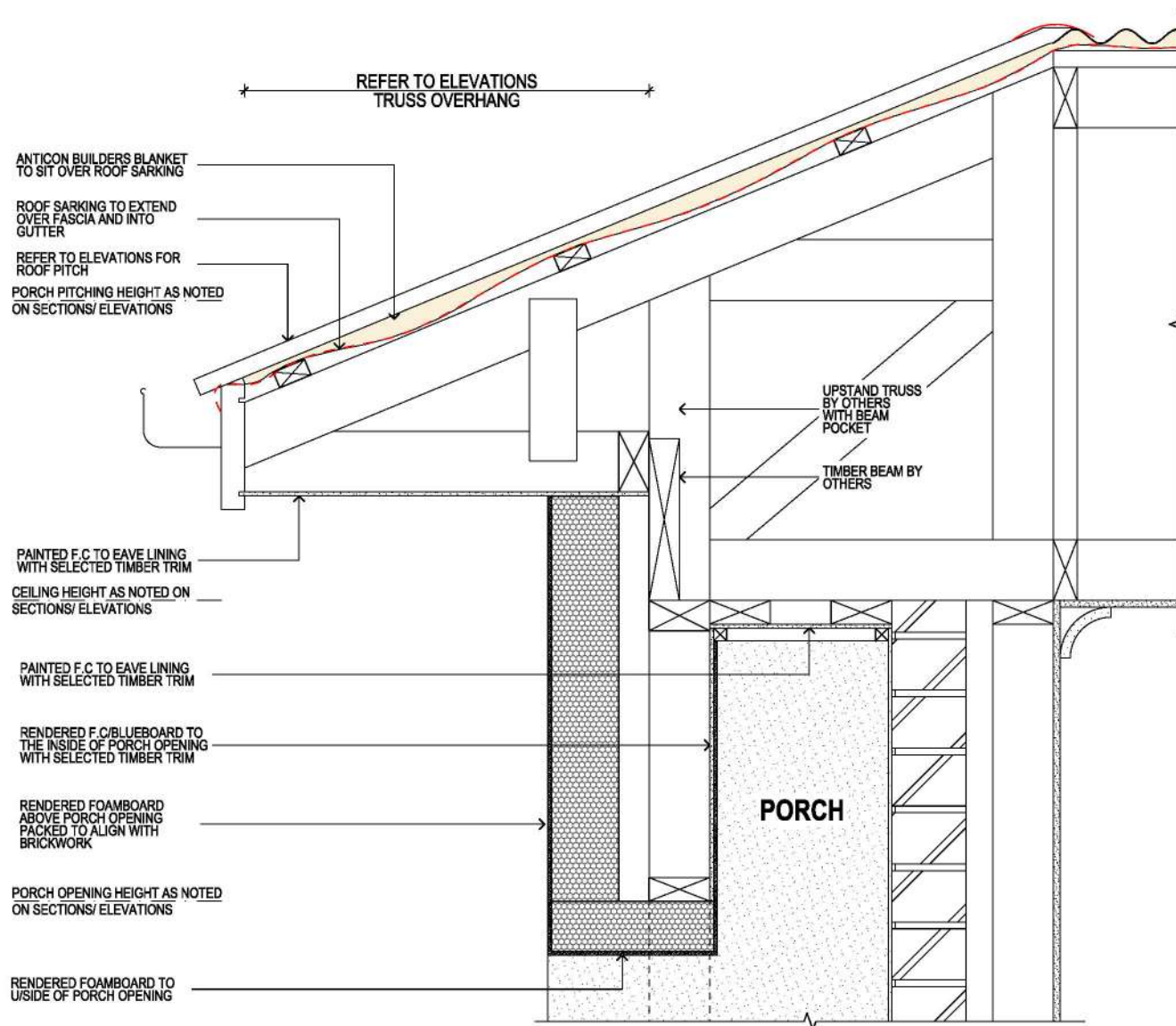
ROLLER BLINDS TO BEDROOMS, LIVING AREAS & KITCHEN.
FLYSCREEN TO ALL OPENING WINDOWS.

RESTRICTED WINDOW OPENING TO UPPER FLOOR WINDOWS IN ACCORDANCE WITH NCC2022 H5D3.

rev	description	by	date
A	CONSTRUCTION ADRAWINGS	RD	30/12/2025
E	ISSUED FOR CONSTRUCTION	WE	14/03/2025
F	NORTH ORIENTATION UPDATE	AM	20/03/2025
H	PLANNING RFI RESPONSE	NW	19/08/2025

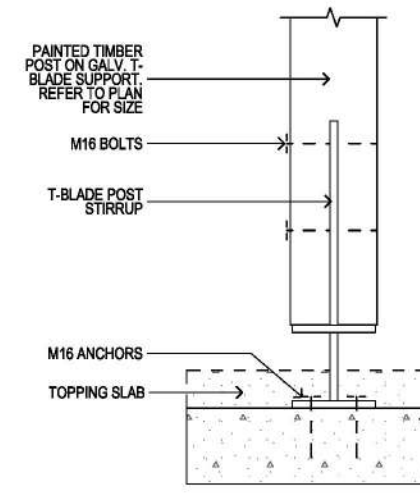


X
03 SECTION X
1:100

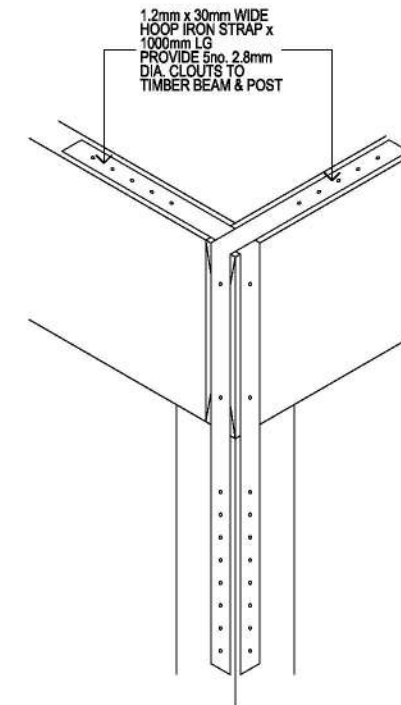


G106

G106
v1 PORCH POP-UP ROOF EPS FOAM
SCALE 1:10

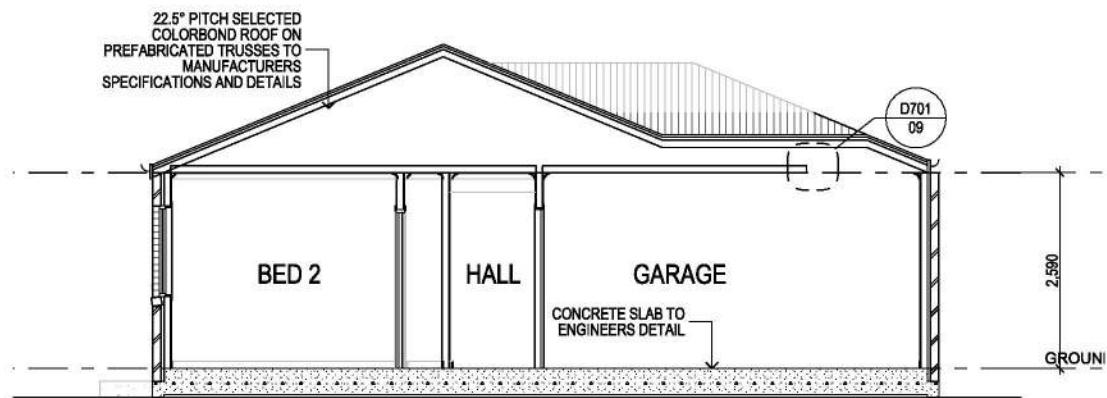


G111
v1 PORCH POST TO SLAB CONNECTION
SCALE 1:10



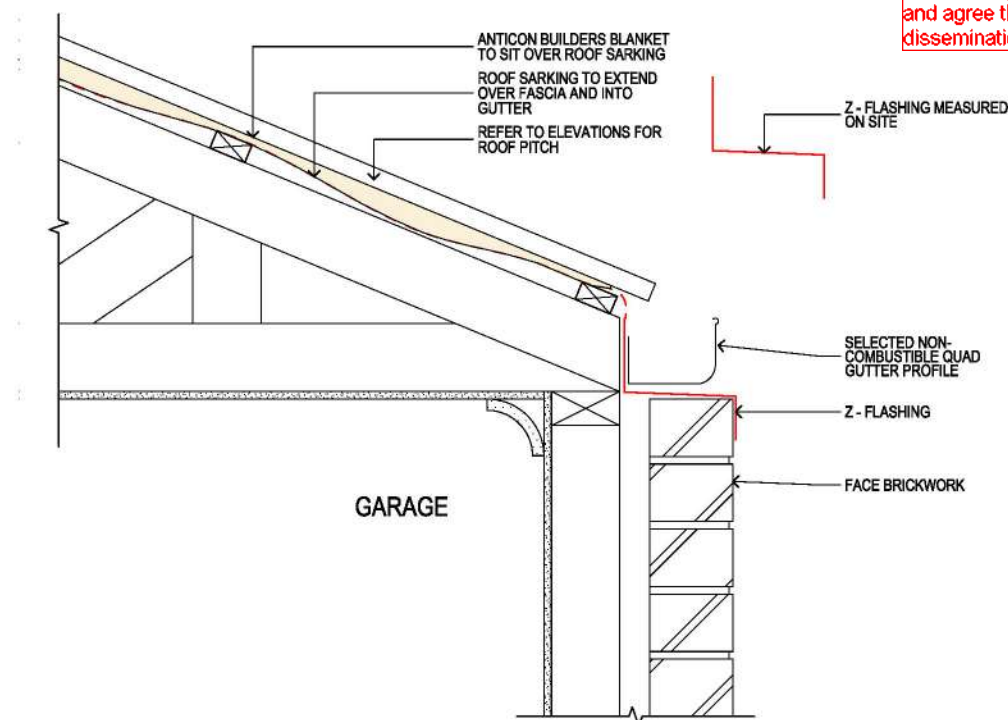
G113
v1 ENCLOSED POST TO BEAM CONNECTION
SCALE 1:10

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Z
03

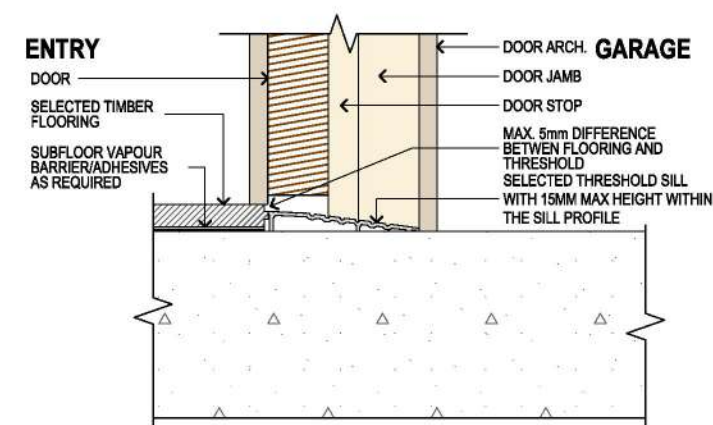
SECTION Z
1:100



D701
v1

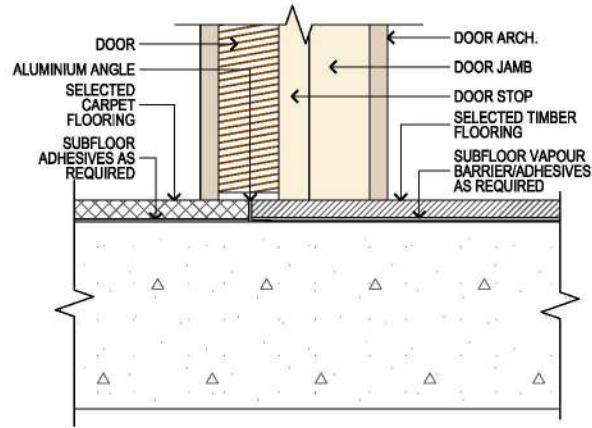
BOUNDARY WALL GUTTER ON BRICKWORK
SCALE 1:10

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

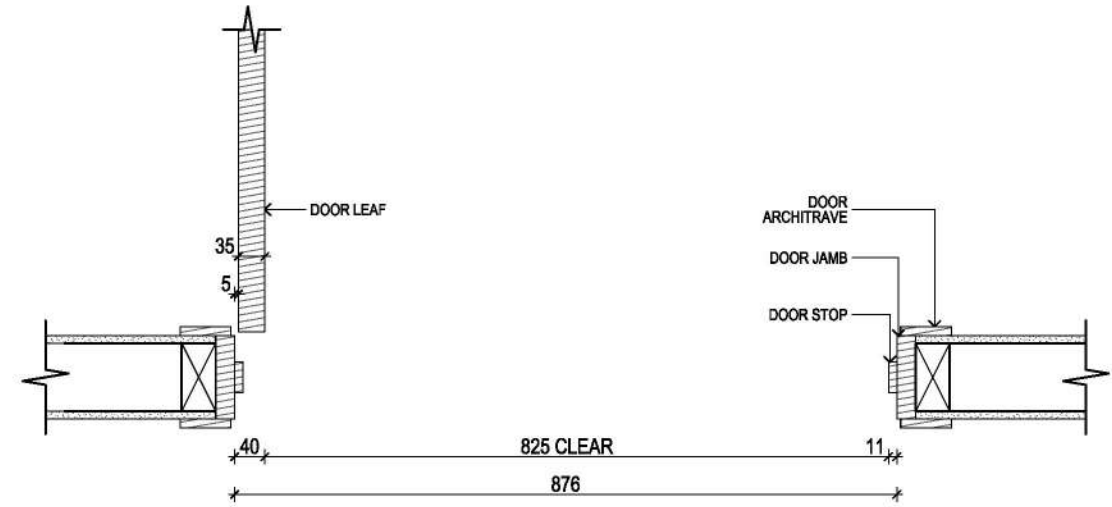


L202
v1

GARAGE INTERNAL DOOR THRESHOLD - TIMBER FLOOR
SCALE 1:5

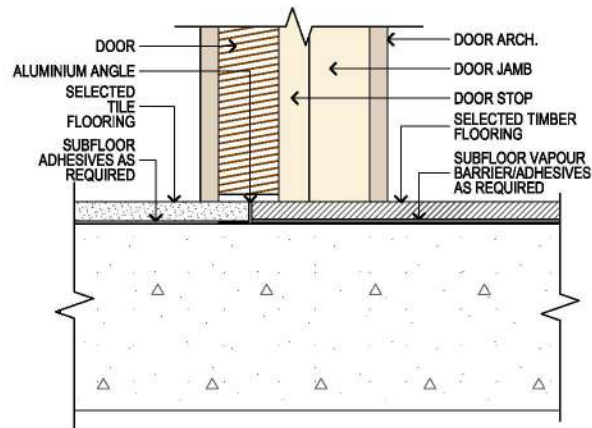


B703 INTERNAL DOOR THRESHOLD - CARPET TO TIMBER
v1 SCALE 1:5

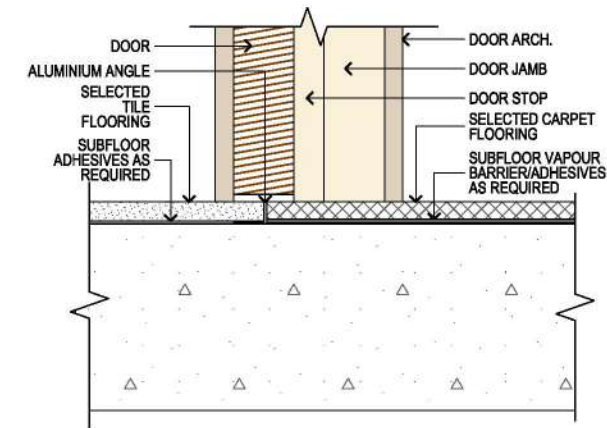


B601 870 DOOR CLEAR OPENING WIDTH
v1 SCALE 1:10

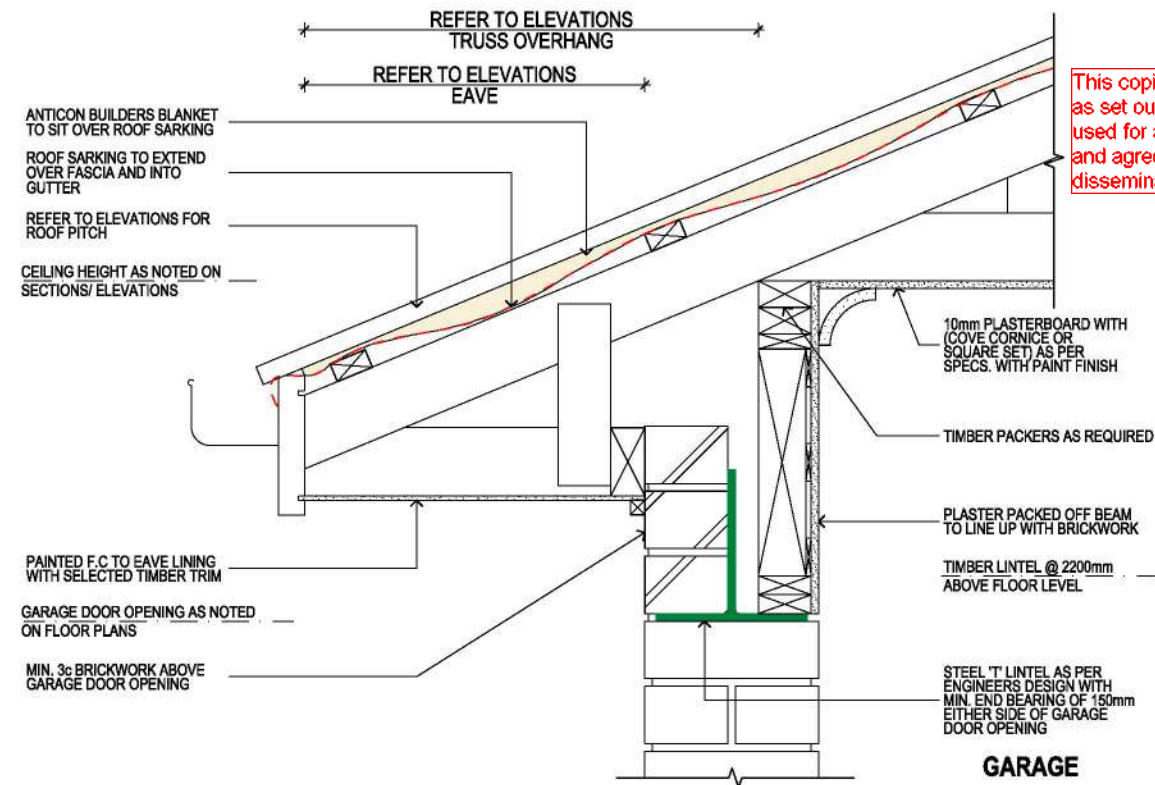
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



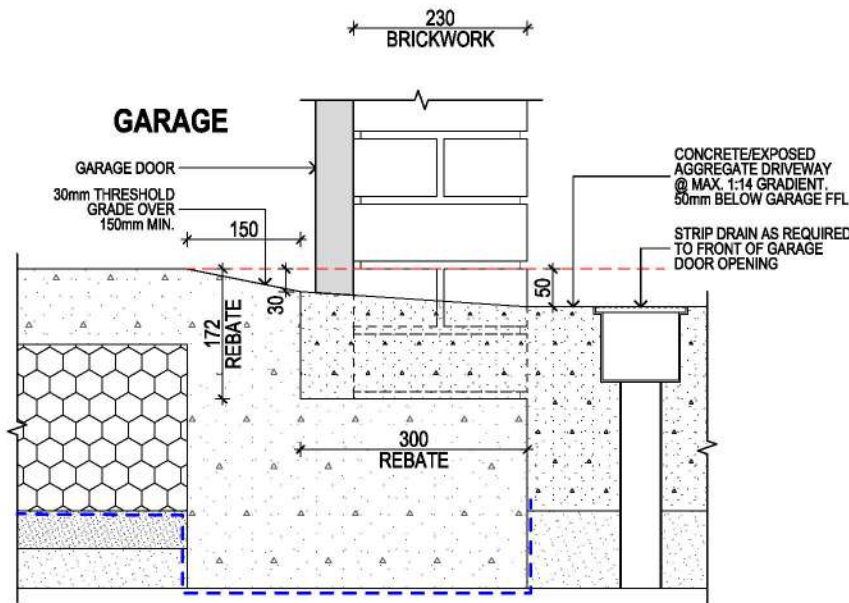
B701 INTERNAL DOOR THRESHOLD - TILE TO TIMBER
v1 SCALE 1:5



B702 INTERNAL DOOR THRESHOLD - TILE TO CARPET
v1 SCALE 1:5



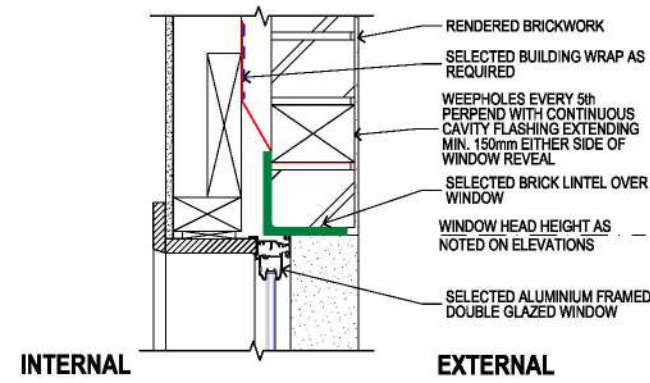
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



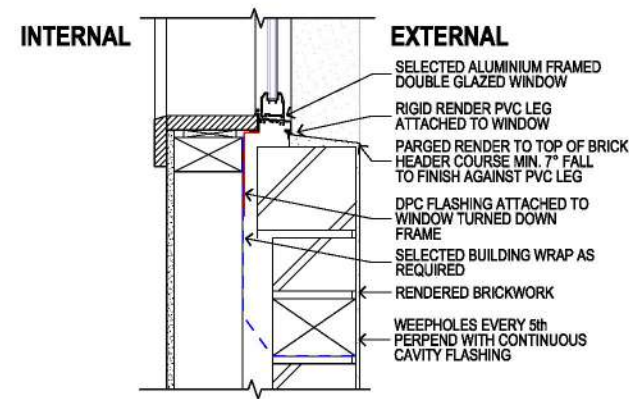
F101
v1
GARAGE DOOR OPENING 400 LVL WITH 150 UA
SCALE 1:10

A202
v1
GARAGE REBATE DETAIL WITH STRIP DRAIN
SCALE 1:10

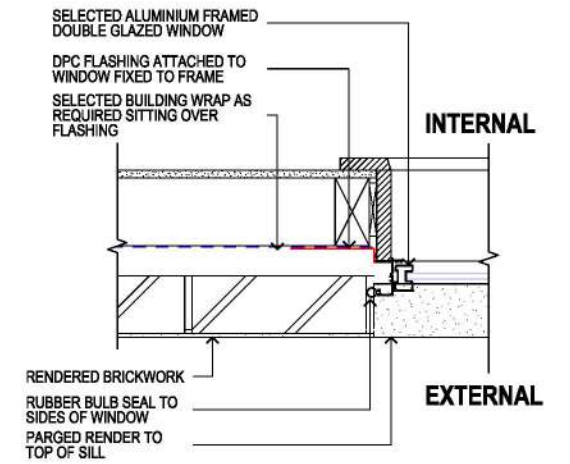
rev	description	by	date
A	CONSTRUCTION ADRAWINGS	RD	01/12/2025
E	ISSUED FOR CONSTRUCTION	WE	14/03/2025
F	NORTH ORIENTATION UPDATE	AM	20/03/2025
H	PLANNING RFI RESPONSE	NW	19/08/2025



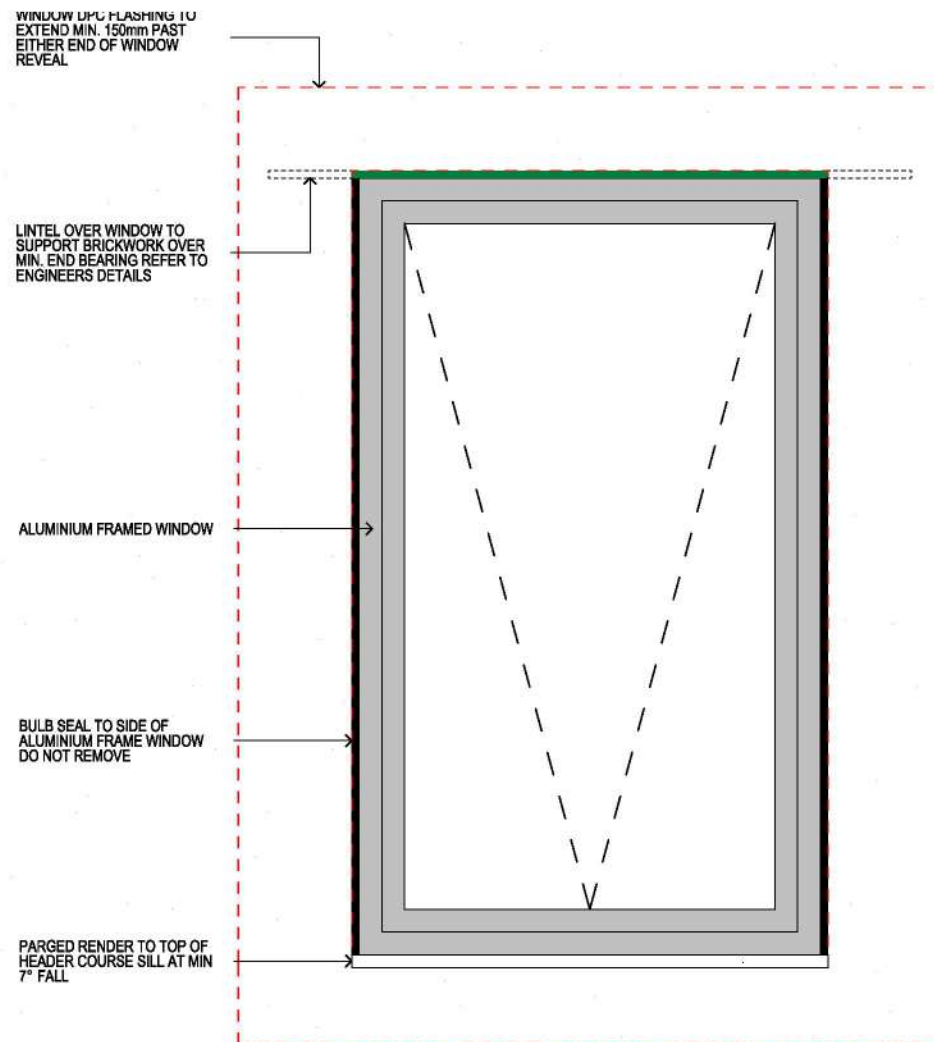
3.2.1 WINDOW HEAD DETAIL
v1 SCALE 1:10



3.2.2 WINDOW HEADER COURSE SILL DETAIL
v1 SCALE 1:10



3.2.3 WINDOW REVEAL PLAN DETAIL
v1 SCALE 1:10



3.2.4 WINDOW ELEVATION PARGED RENDER SILL
v1 SCALE 1:10

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

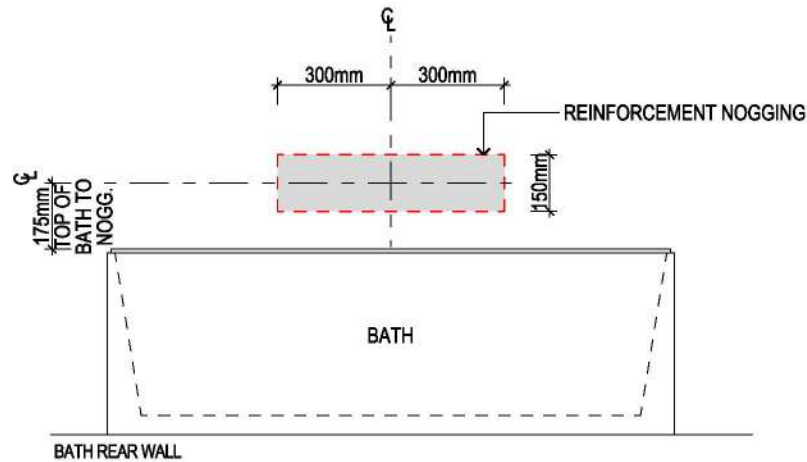
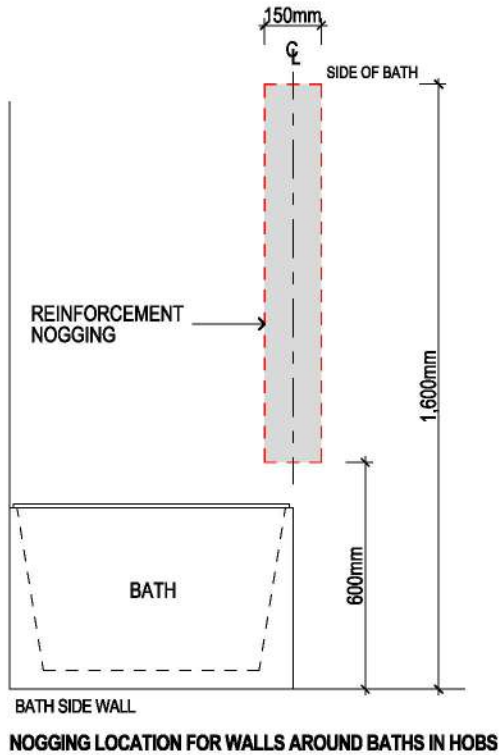
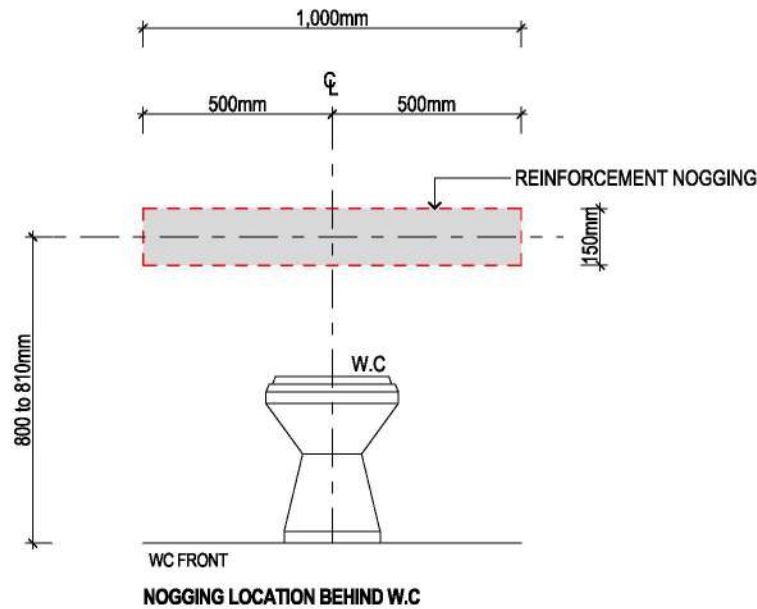
WALL TYPE SCHEDULE

<div>GENERAL NOTES</div> <div>IN 'WET AREAS' FIX 10mm WATER RESISTANT PLASTERBOARD IN LIEU OF 10mm STD. PLASTERBOARD.</div> <div>WALL TYPE SCHEDULE TO BE READ IN CONJUNCTION WITH ENERGY EFFICIENCY ASSESSMENT RATING REPORT.</div> <div>EXTERNAL WALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC 2022 PART 10.8.1 REFER TO DETAILS FOR SPECIFICATIONS</div>	WALL ID	DESCRIPTION	PLAN VIEW	WALL ID	DESCRIPTION	PLAN VIEW
	WALL TYPE - WT1 ELEV: BW or RBW			WALL TYPE - WT6 ELEV: WWG or WSL		
	BRICK VENEER EXTERNAL WALL (SIMILAR TO CSR 5403)			WEATHERTEX CLADDING EXTERNAL WALL (SIMILAR TO CSR 5227)		
	DOUBLE BRICK (EXTERNAL WALL TO GARAGE ENTRY)			WALL TYPE - GENERAL INTERNAL WALLS		
				TIMBER STUD INTERNAL WALL (SIMILAR TO CSR 1008)		
	WALL TYPE - WT3 ELEV: RF			WALL TYPE - GARAGE INTERNAL WALLS		
	RENDERED FOAMBOARD EXTERNAL WALL PACKED			TIMBER STUD INTERNAL WALL (SIMILAR TO CSR 1008)		
	WALL TYPE - WT4 ELEV: RF					
	RENDERED FOAMBOARD EXTERNAL WALL FIXED					
	WALL TYPE - WT5 ELEV: RAC					
	RENDERED HEBEL EXTERNAL WALL (SIMILAR TO HEB 2000)					
	WALL TYPE - WT6 ELEV: WWG or WSL					
	WEATHERTEX CLADDING EXTERNAL WALL (SIMILAR TO CSR 5227)					

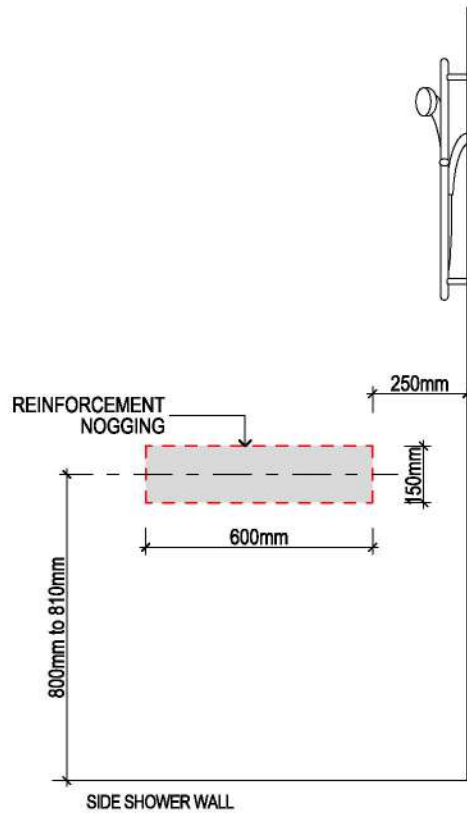
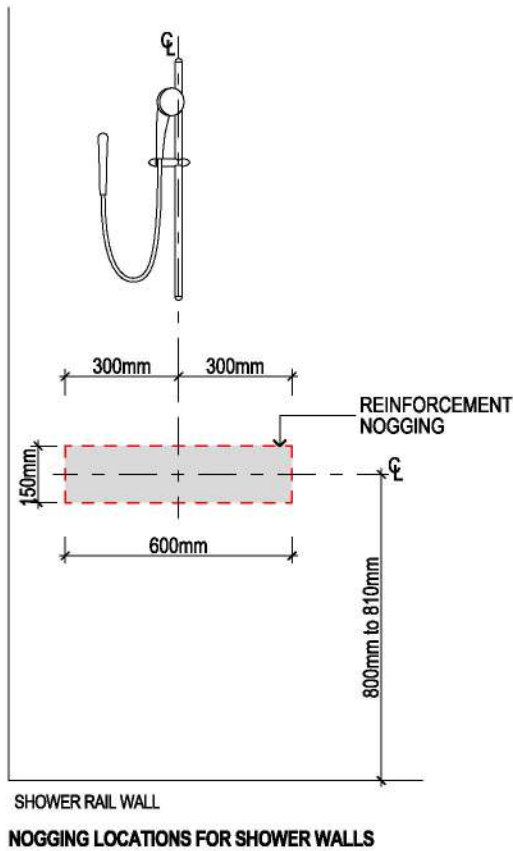
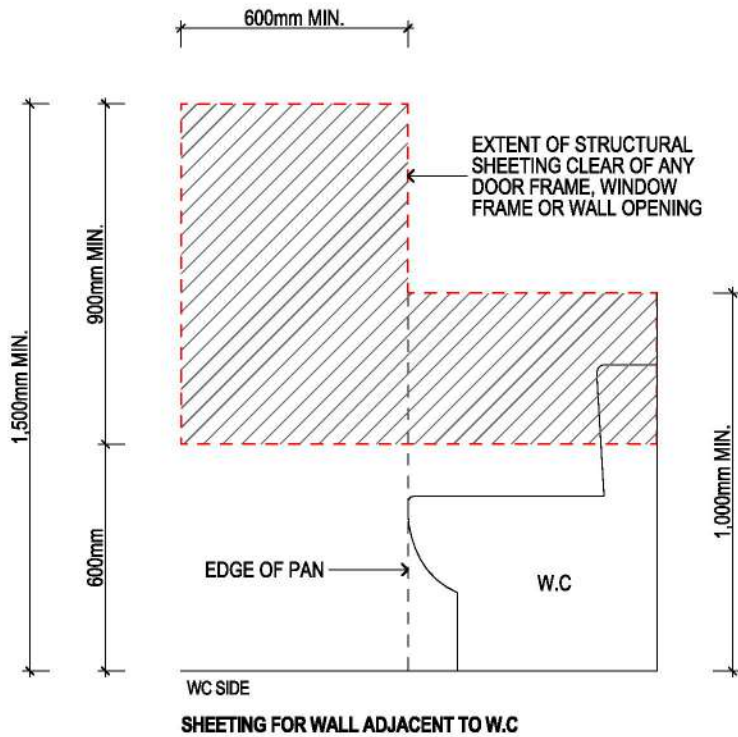
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

DETAILS FOR REINFORCEMENT OF BATHROOM AND SANITARY COMPARTMENT WALLS

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



- REFER TO FLOOR PLANS FOR HIGHLIGHTED W.C FOR NOGGING LOCATIONS AS PER LIVABLE HOUSING DESIGN GUIDELINES PART 8
- MINIMUM NOGGING THICKNESS TO BE 25mm
- NOGGINGS ONLY REQUIRED TO BATHS WITHIN HOB OR ATTACHED TO WALL, FREE-STANDING DO NOT APPLY.
- TAPS, BATH NICHES, SOAP HOLDERS AND THE LIKE MAY BE LOCATED WITHIN THE POSITIONS OF NOGGING REINFORCEMENT



rev	description	by	date
A	CONSTRUCTION DRAWINGS	RD	9/12/2025
E	ISSUED FOR CONSTRUCTION	WE	14/03/2025
F	NORTH ORIENTATION UPDATE	AM	20/03/2025
H	PLANNING RFI RESPONSE	NW	19/08/2025

MATERIALS USED MUST COMPLY WITH THE FOLLOWING CLAUSES:

- WATERPROOFING SYSTEMS - 10.2.8
- WATER RESISTANT SUBSTRATES - 10.2.9
- WATER RESISTANT SURFACES - 10.2.10

SHOWERS

-CONTINUOUS FALLS TO WET AREA FLOORS WITHIN THE SHOWER AREA TO BE A MINIMUM 1:80 AND MAXIMUM 1:50

-ENCLOSED SHOWER SCREEN = FRAMED SHOWER SCREEN, SEMIFRAMELESS OR FRAMELESS FITTED WITH SEALS/DEFLECTORS TO CONTROL SPREAD OF WATER FROM SHOWER AREA

-UNENCLOSED SHOWER SCREEN = SEMI-FRAMELESS AND FRAMELESS SHOWER SCREENS

-TO BE SECURELY FIXED TO DOOR AND WALL PRIOR TO APPLYING MEMBRANE

-ENCLOSED SHOWERS WITHOUT HOB OR STEP DOWN

-WATERSTOP TO BE LOCATED AT THE SHOWER SCREEN AND NOT LESS THAN 5MM ABOVE FFL

-ANY JOINT IN THE WATERSTOP MUST BE WATERPROOFED

GENERAL

-SUBSTRATE SURFACE MUST BE CLEAN WITHOUT IMPERFECTIONS PRIOR TO APPLYING MEMBRANE

PENETRATIONS WITHIN SHOWER AREAS

-PENETRATIONS FOR TAPS, NOZZLES OR THE LIKE TO BE WATERPROOFED USING SEALANTS, FLANGES OR BOTH

-SPINDLE HOUSING OF TAP BODY TO BE REMOVABLE WITHOUT DAMAGING SEAL

-PENETRATIONS FOR MECHANICAL FIXINGS/FASTENINGS AND RECESSED NICHES TO BE WATERPROOFED

-PENETRATIONS FOR TAPS, FAUCETS, AND THE LIKE ON HORIZONTAL SURFACES SURROUNDING BATHS TO BE WATERPROOFED USING SEALANTS, FLANGES OR BOTH

FLASHINGS AT JUNCTIONS AND CORNERS TO BE PURSUANT TO THE REQUIREMENTS OF CLAUSES 10.2.2 - 10.2.5

-PERIMETER FLASHINGS TO WALL/DOOR JUNCTIONS TO HAVE A MINIMUM VERTICAL LEG OF 25MM ABOVE FFL (EXCEPT AT DOORWAYS) AND A MINIMUM 50MM HORIZONTAL LEG

-WATERPROOF SEALANT TO BE USED AT SUBSTRATE JUNCTION AT THE WALL/DOOR JUNCTION WHERE WATER RESISTANT SUBSTRATE IS USED IN CONJUNCTION A WATER RESISTANT SURFACE MATERIAL

-FLOOR LEVEL OPENINGS SUCH AS DOORWAYS MUST HAVE A WATERSTOP INSTALLED ACROSS THE OPENING WITH THE VERTICAL LEG SITTING FLUSH WITH THE FFL. WHERE THE ENTIRE WET AREA FLOOR IS WATERPROOFED, THE WATERSTOP IS TO BE SEALED TO THE WATERPROOF MEMBRANE

-VERTICAL FLASHING EXTERNAL TO THE WET AREA OR INTERNAL TO EXTEND A MINIMUM 1800MM ABOVE FFL

-SHOWER AREAS MUST HAVE MEMBRANE APPLIED OVER THE FLOOR AND 1800MM VERTICALLY ABOVE FFL

-WHERE WATER RESISTANT PLASTERBOARD IS USED ALL CUT EDGES THAT HAVE POTENTIAL TO BE AFFECTED BY MOISTURE MUST BE WATERPROOFED

-BOND BREAKERS TO BE INSTALLED PURSUANT TO CLAUSE 10.2.27

INTERNAL WATERPROOF MEMBRANES

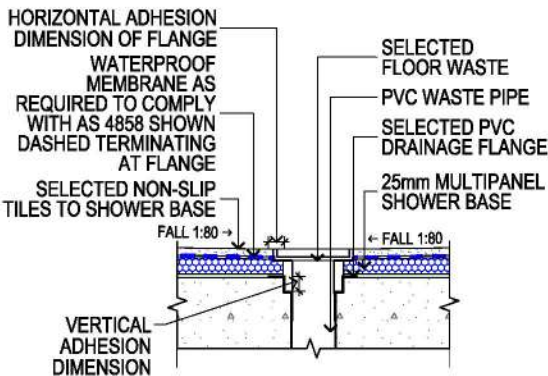
-SHOWER WATERSTOP - MEMBRANE MUST BE BROUGHT TO THE TOP OF THE FINISHED DOOR, EXCEPT WHERE IT IS UNDER A FRAMED SHOWER SCREEN WHERE IT SHALL TERMINATE NOT LESS THAN 5MM ABOVE THE FINISHED TILE SURFACE

-MEMBRANE TO DRAINAGE CONNECTION MUST COMPLY WITH CLAUSE 10.2.29

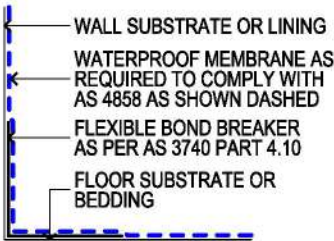
-WHERE THE BOTTOM OF THE DOOR JAMB DOES NOT FINISH ABOVE THE FLOOR TILING, THE PORTION OF THE DOOR FRAME BELOW THE TILING MUST WATERPROOFED

SHOWER SCREENS

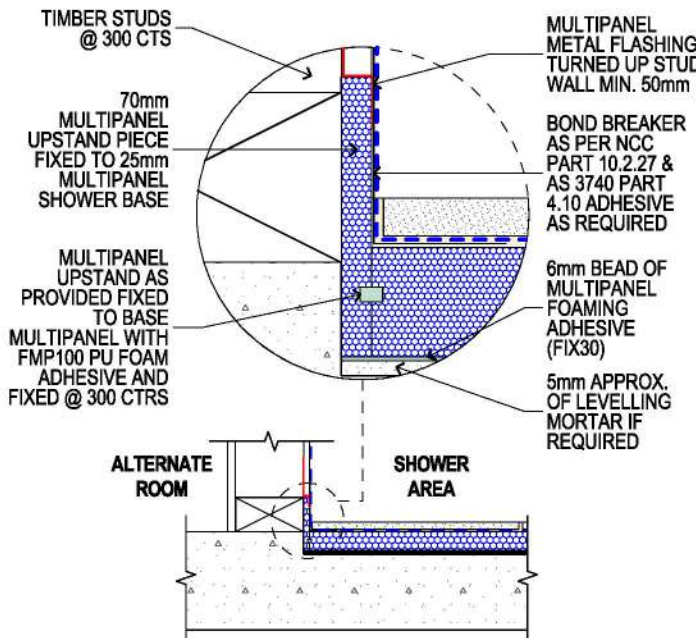
-SHOWER WITH NO HOB/STEPDOWN - SCREEN MUST INCORPORATE OR BE MOUNTED ON INVERTED CHANNEL OVER THE TOP OF THE WATERSTOP



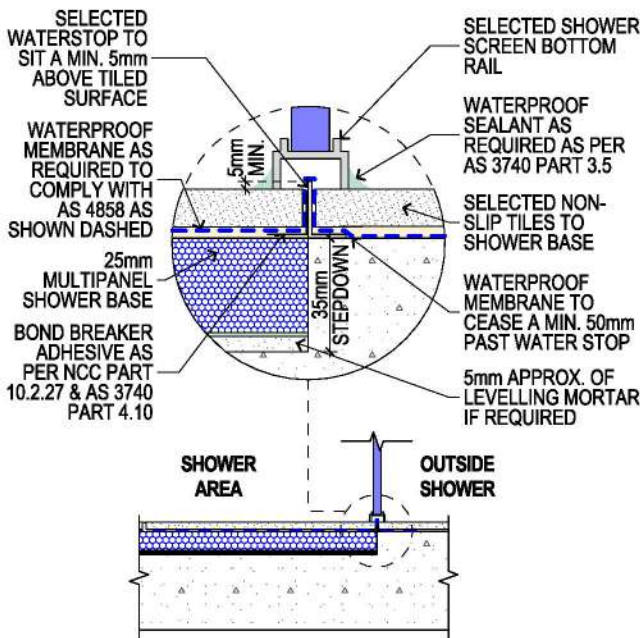
DRAINAGE FLANGE DETAIL - GROUND FLOOR



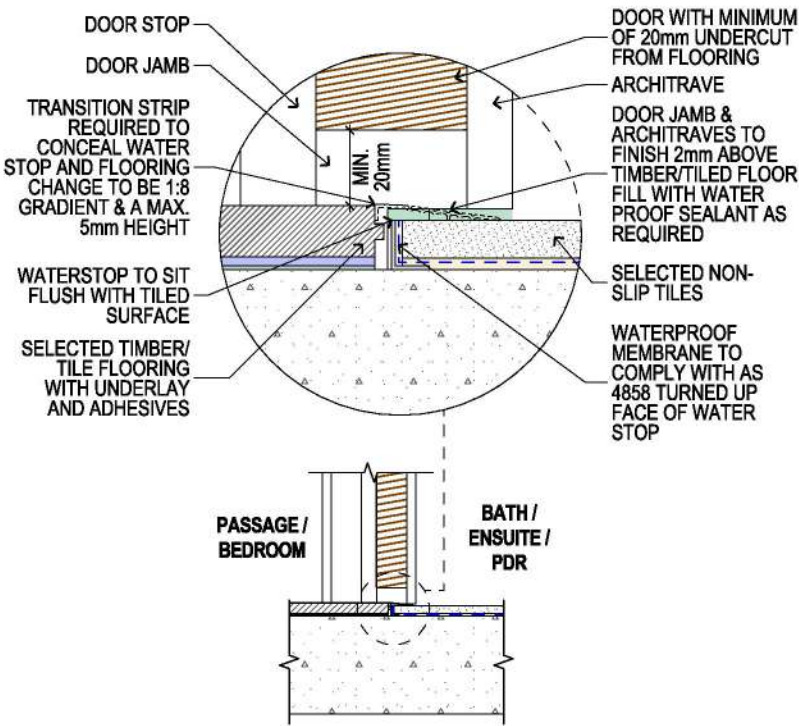
BOND BREAKER DETAIL



STUD WALL/SHOWER JUNCTION - GROUND FLOOR (35mm STEPDOWN)



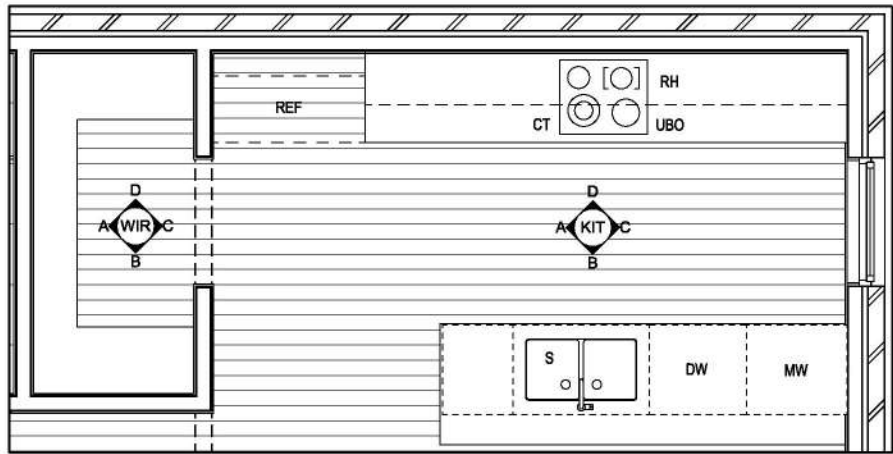
SHOWER SCREEN/FLOOR JUNCTION - GROUND FLOOR (35mm STEPDOWN)



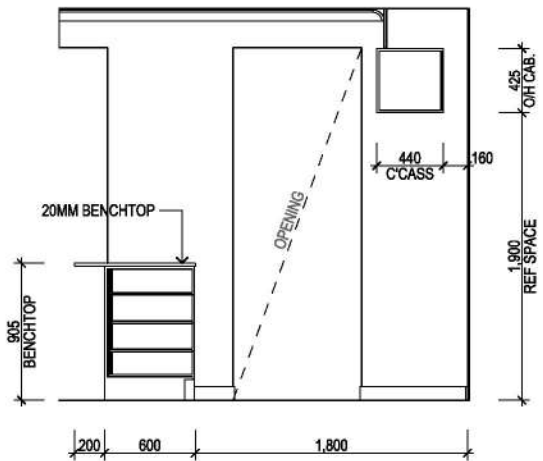
WATER STOP TO WET AREA DOORWAY - HINGE DOOR (TILE & TIMBER FLOOR)

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

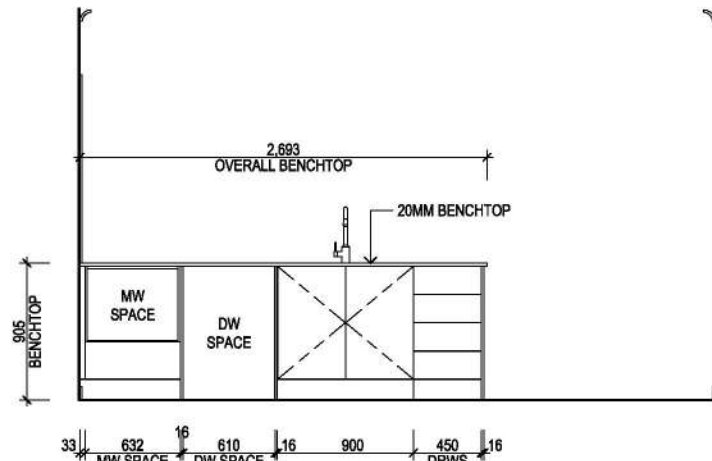
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



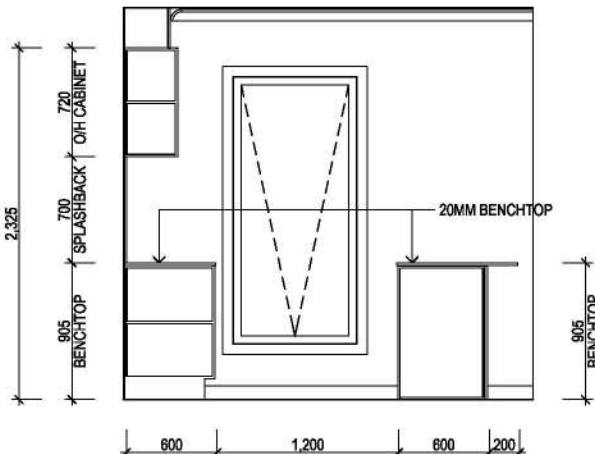
KITCHEN & WIP
1:50



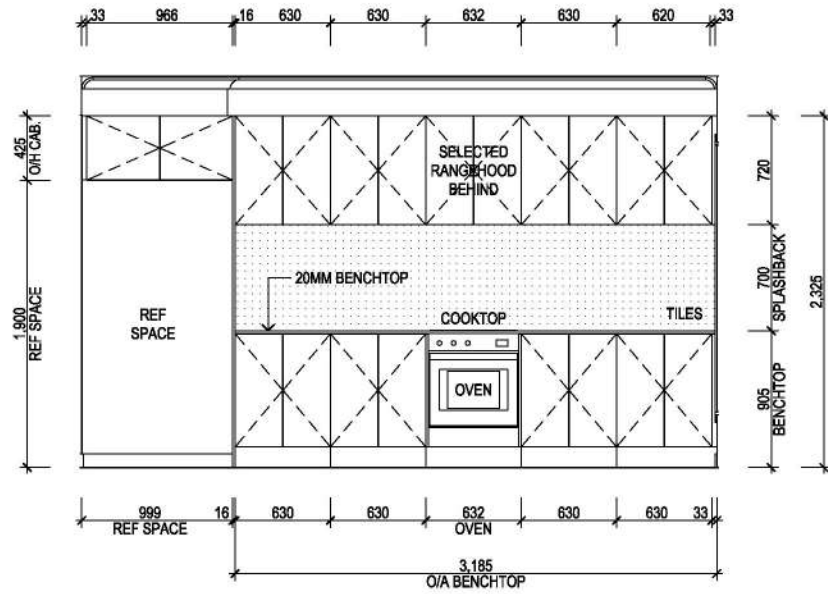
A KIT
1:50



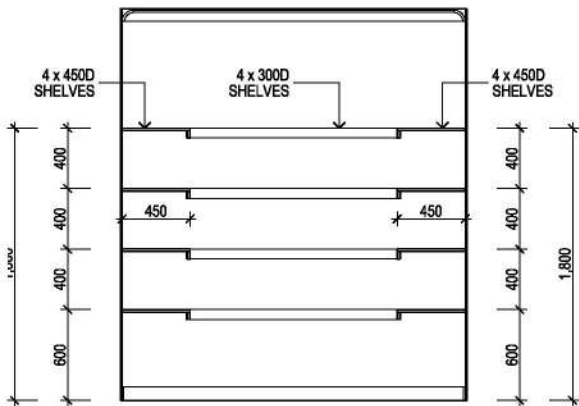
B KIT
1:50



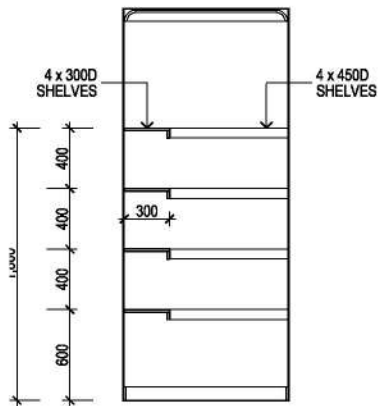
C KIT
1:50



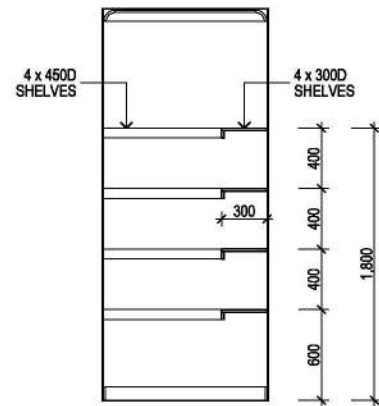
D KIT
1:50



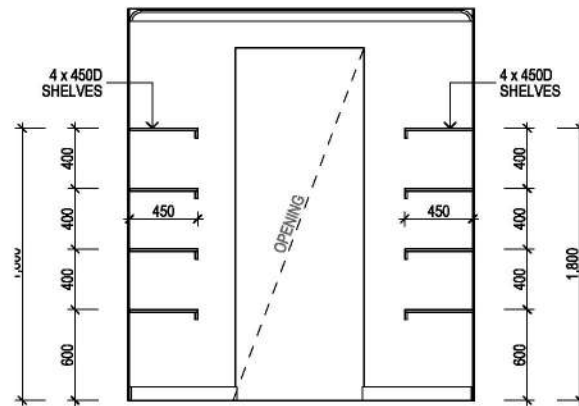
A WIP
1:50



D WIP
1:50



B WIP
1:50

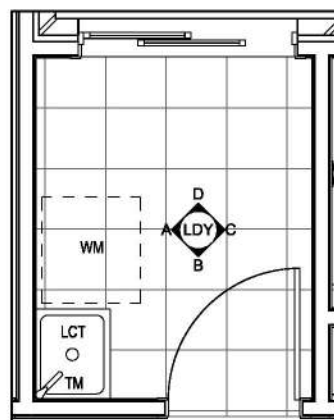


C WIP
1:50

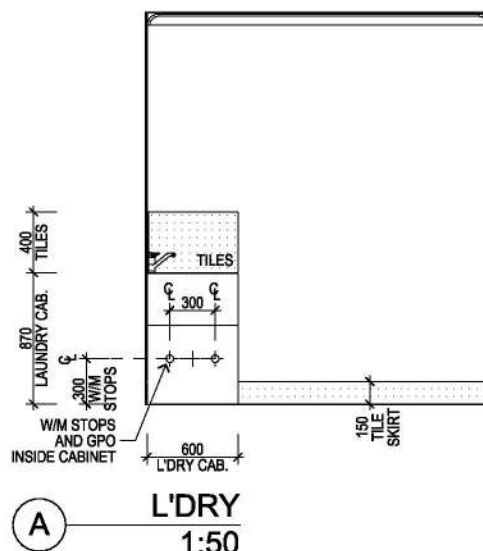
DRAWING LEGEND - INTERNALS	
ADJ	ADJUSTABLE
BM	BATH MIXER
BTH	BATH TUB
CL	CENTRE LINE OF
CT	INDUCTION COOKTOP
DW	DISHWASHER PROVISION
EQ	EQUALLY SPACED
FS	FIXED SHELVES
FWT	FEATURE WALL TILES
G	GLASS
HK	ROBE HOOK
HR	HANGING RAIL
HTR	HAND TOWEL RING
LCT	LAUNDRY CABINET TROUGH
M	POLISHED EDGE MIRROR
MDF	MDF BULKHEAD
MW	MICROWAVE PROVISION
OS	OPEN SHELF
PTY	PANTRY
RB	RUBBISH BIN COMPARTMENT
REF	REFRIGERATOR PROVISION
RH	RANGEHOOD
SM	SHOWER MIXER
SPH	SOAP HOLDER
SR	SHOWER RAIL
T	TILES
TM	TROUGH MIXER & TAP
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
UBO	UNDER BENCH OVEN
WM	WASHING MACHINE PROVISION

DRAWING LEGEND - INTERNALS

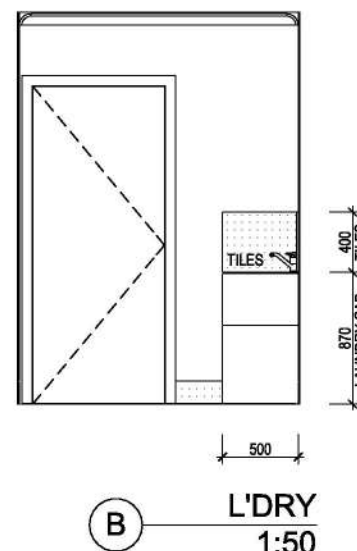
ADJ	ADJUSTABLE
BM	BATH MIXER
BTH	BATH TUB
CL	CENTRE LINE OF
CT	INDUCTION COOKTOP
DW	DISHWASHER PROVISION
EQ	EQUALLY SPACED
FS	FIXED SHELVES
FWT	FEATURE WALL TILES
G	GLASS
HK	ROBE HOOK
HR	HANGING RAIL
HTR	HAND TOWEL RING
LCT	LAUNDRY CABINET TROUGH
M	POLISHED EDGE MIRROR
MDF	MDF BULKHEAD
MW	MICROWAVE PROVISION
OS	OPEN SHELF
PTY	PANTRY
RB	RUBBISH BIN COMPARTMENT
REF	REFRIGERATOR PROVISION
RH	RANGEHOOD
SM	SHOWER MIXER
SPH	SOAP HOLDER
SR	SHOWER RAIL
T	TILES
TM	TROUGH MIXER & TAP
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
UBO	UNDER BENCH OVEN
WM	WASHING MACHINE PROVISION



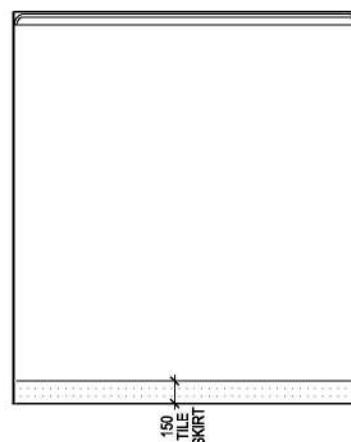
LAUNDRY
1:50



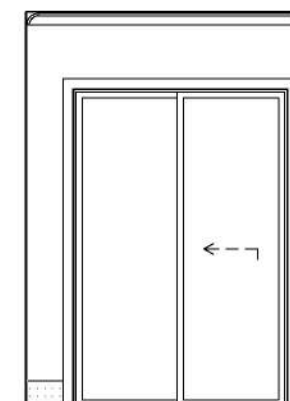
A L'DRY
1:50



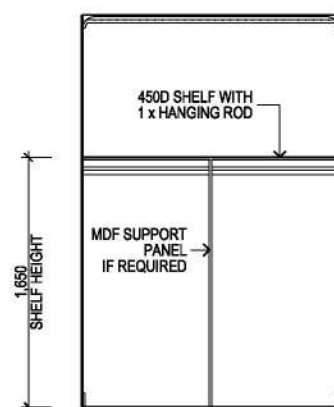
B L'DRY
1:50



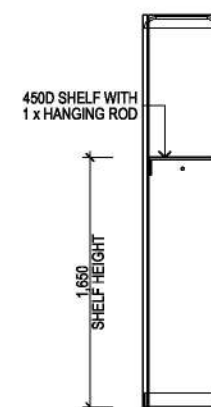
C L'DRY
1:50



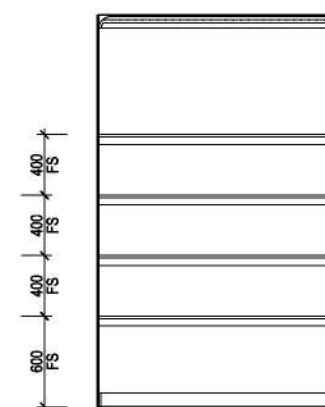
D L'DRY
1:50



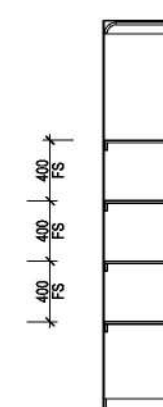
TYP. ROBE
1:50



TYP. ROBE
1:50



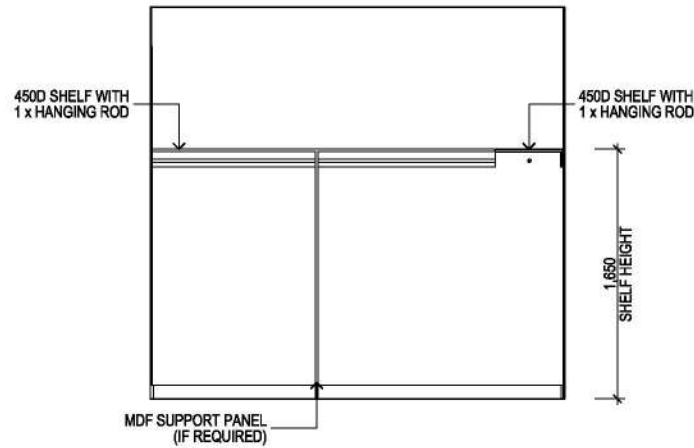
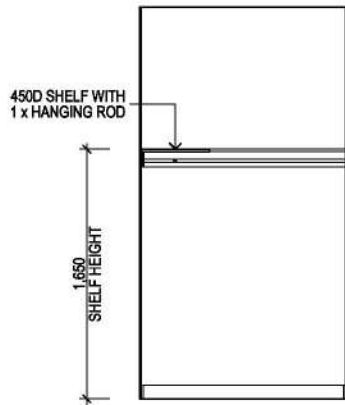
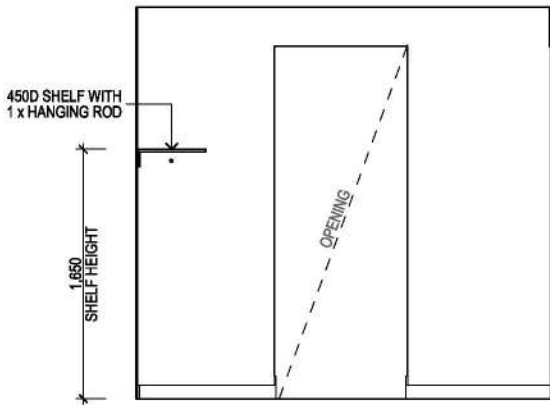
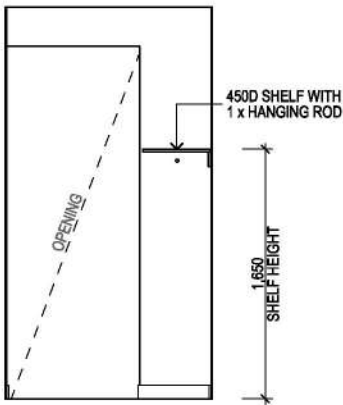
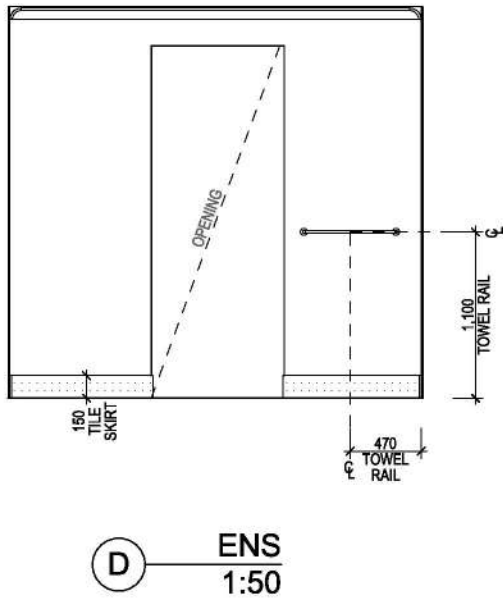
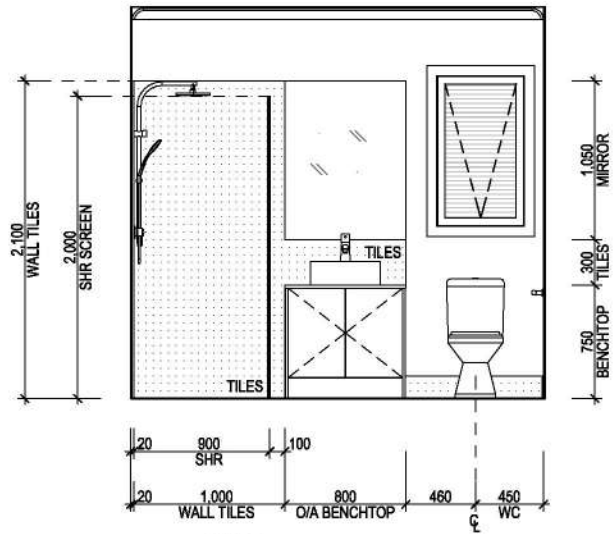
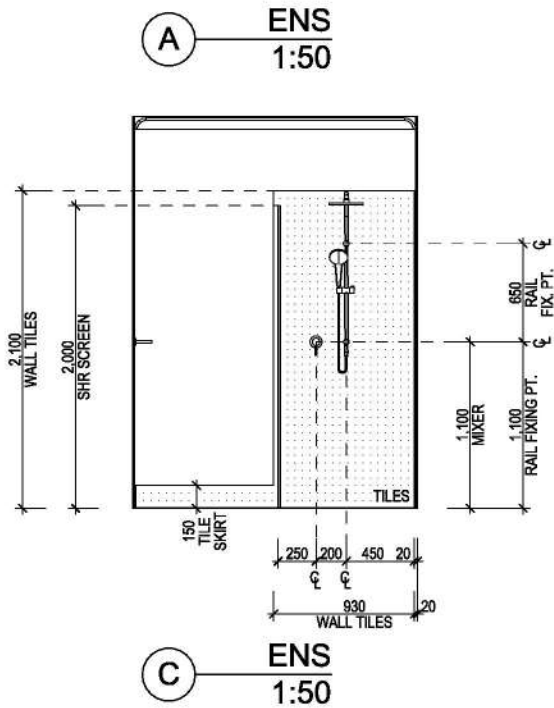
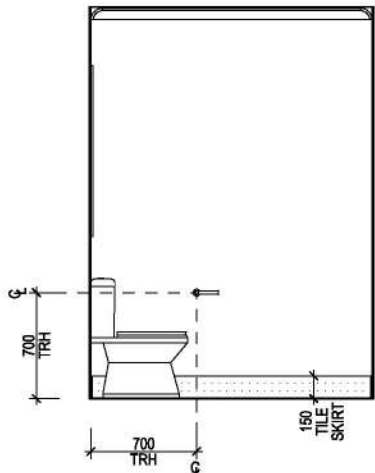
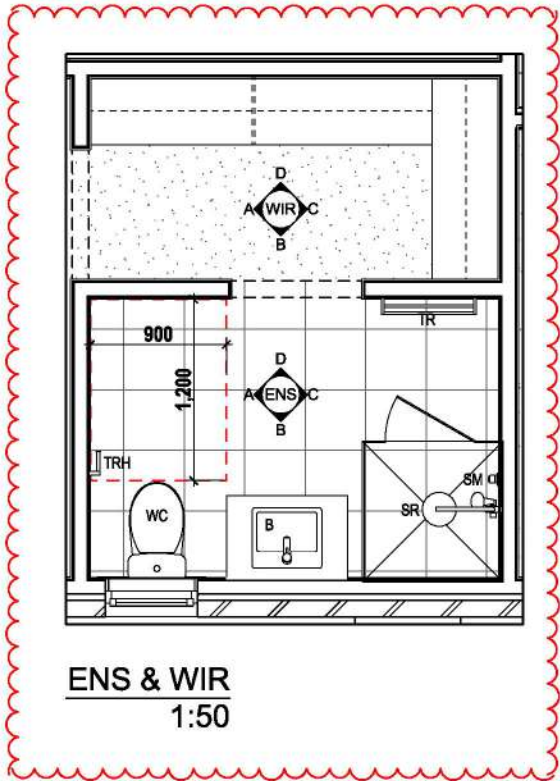
TYP. LINEN
1:50



TYP. LINEN
1:50

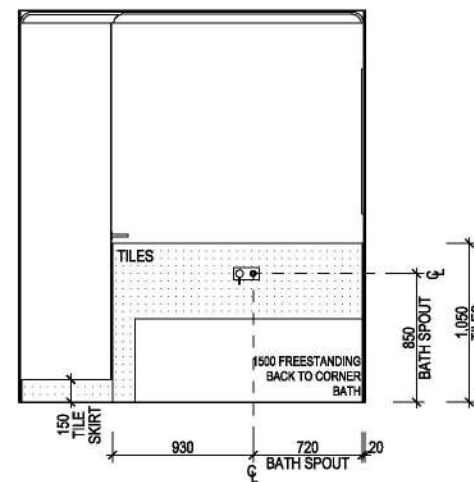
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

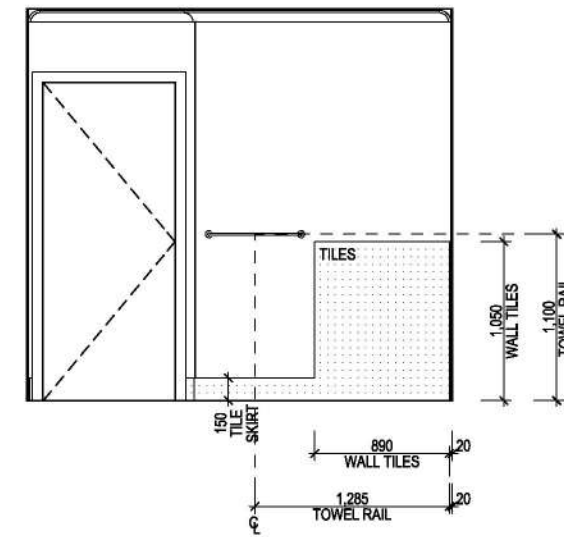


DRAWING LEGEND - INTERNALS	
ADJ	ADJUSTABLE
BM	BATH MIXER
BTH	BATH TUB
CL	CENTRE LINE OF
CT	INDUCTION COOKTOP
DW	DISHWASHER PROVISION
EQ	EQUALLY SPACED
FS	FIXED SHELVES
FWT	FEATURE WALL TILES
G	GLASS
HK	ROBE HOOK
HR	HANGING RAIL
HTR	HAND TOWEL RING
LCT	LAUNDRY CABINET TROUGH
M	POLISHED EDGE MIRROR
MDF	MDF BULKHEAD
MW	MICROWAVE PROVISION
OS	OPEN SHELF
PTY	PANTRY
RB	RUBBISH BIN COMPARTMENT
REF	REFRIGERATOR PROVISION
RH	RANGEHOOD
SM	SHOWER MIXER
SPH	SOAP HOLDER
SR	SHOWER RAIL
T	TILES
TM	TROUGH MIXER & TAP
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
UBO	UNDER BENCH OVEN
WM	WASHING MACHINE PROVISION

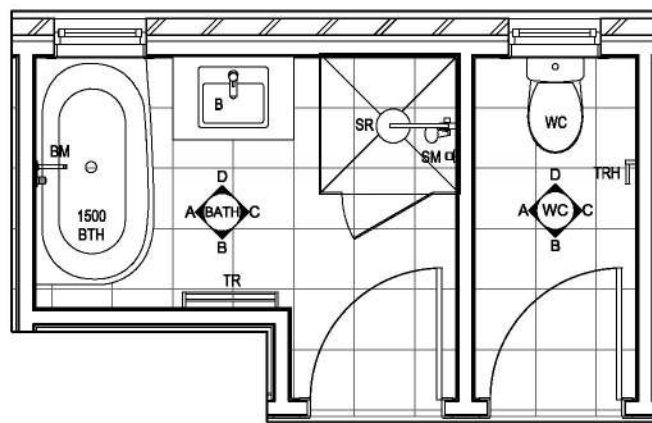
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



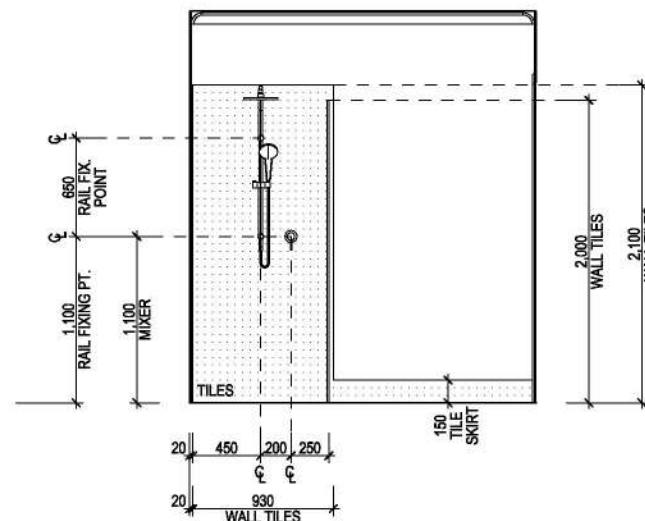
A BATH
1:50



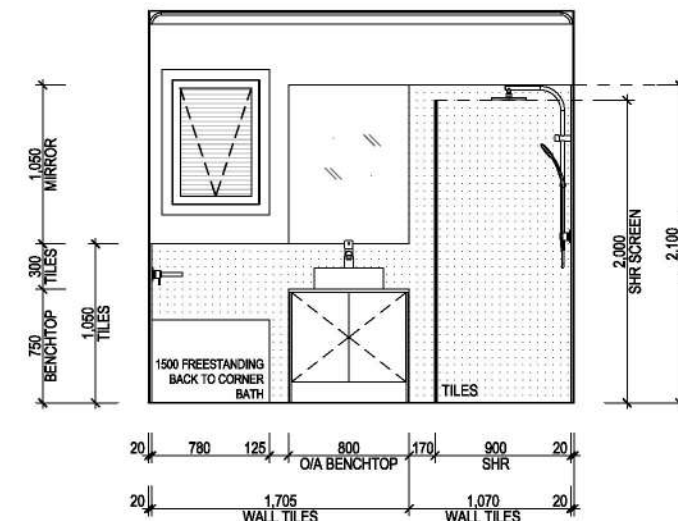
B BATH
1:50



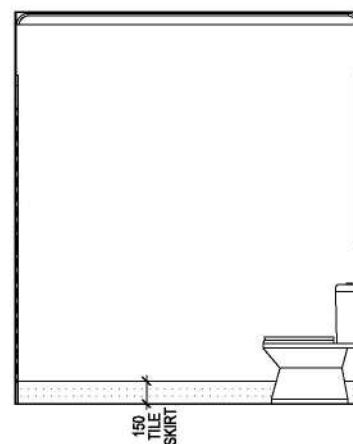
BATH & WC
1:50



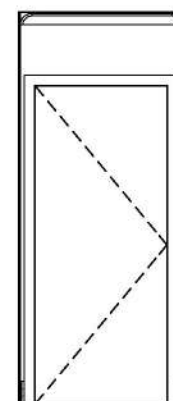
C BATH
1:50



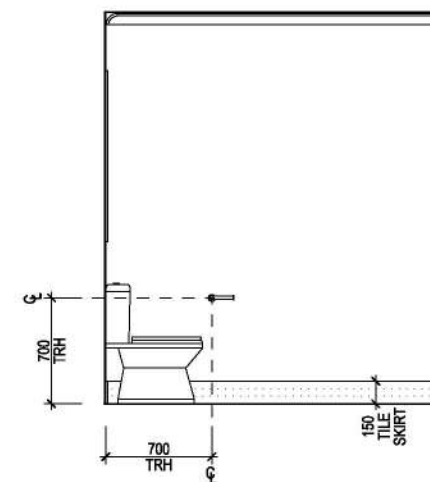
D BATH
1:50



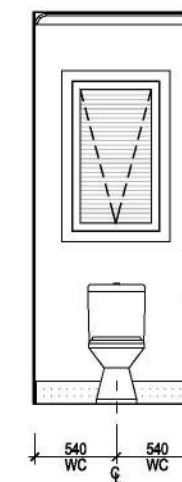
(A) $\frac{WC}{1:50}$



WC
1:50



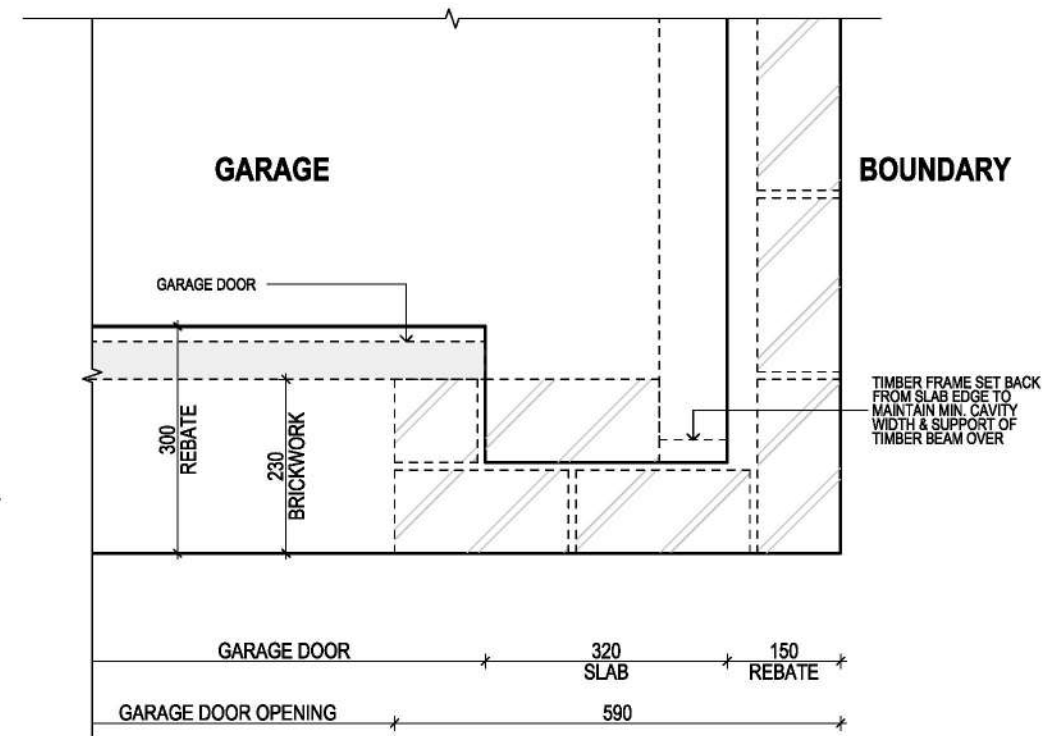
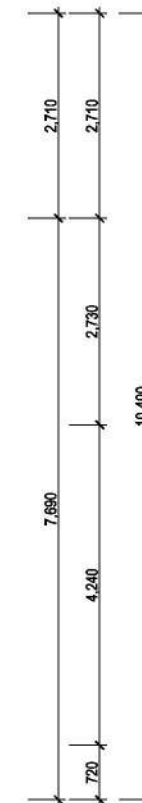
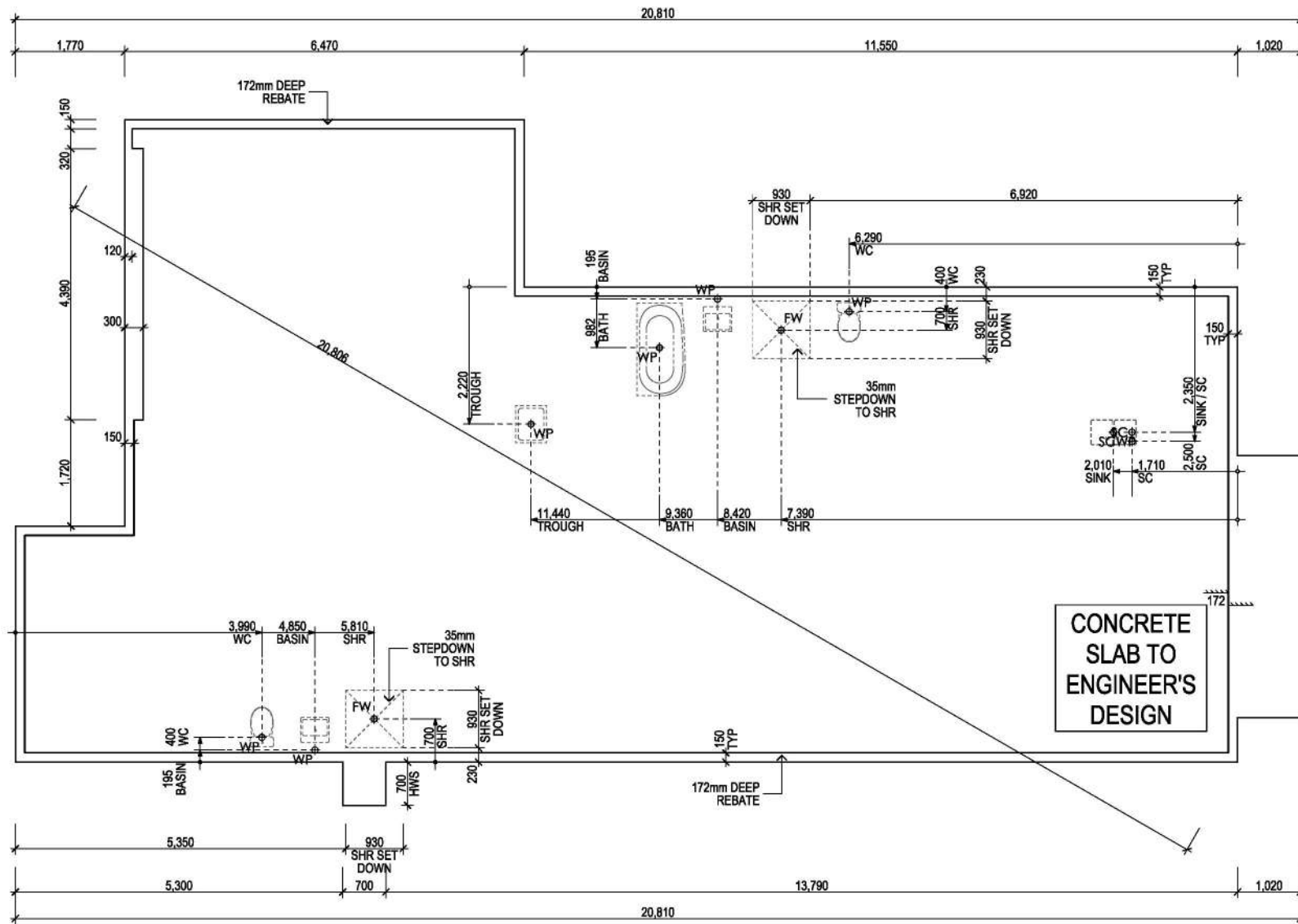
WC
1:50



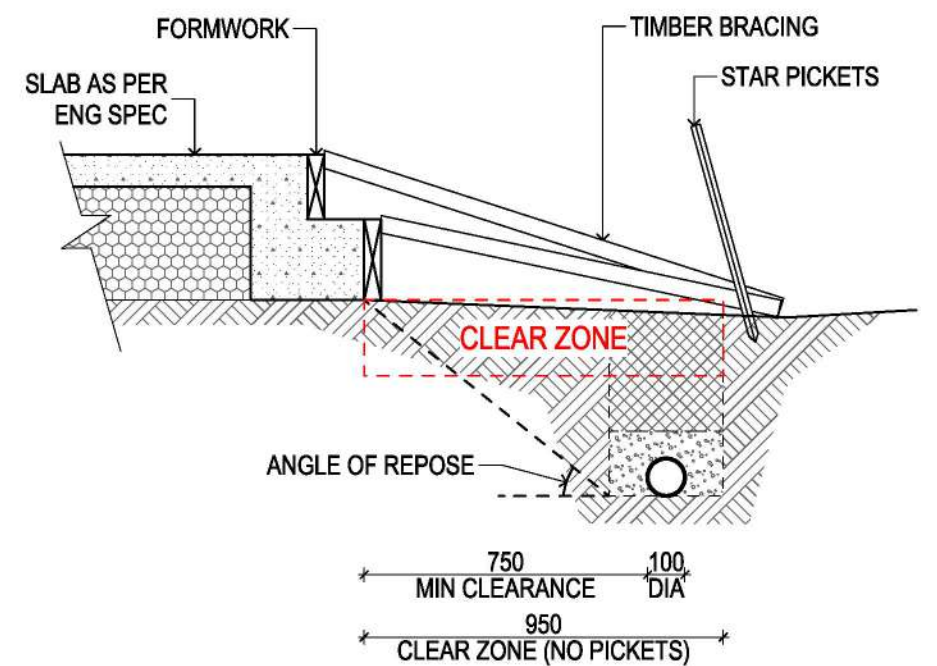
WC
1:50

DRAWING LEGEND - INTERNALS

ADJ	ADJUSTABLE
BM	BATH MIXER
BTH	BATH TUB
CL	CENTRE LINE OF
CT	INDUCTION COOKTOP
DW	DISHWASHER PROVISION
EQ	EQUALLY SPACED
FS	FIXED SHELVES
FWT	FEATURE WALL TILES
G	GLASS
HK	ROBE HOOK
HR	HANGING RAIL
HTR	HAND TOWEL RING
LCT	LAUNDRY CABINET TROUGH
M	POLISHED EDGE MIRROR
MDF	MDF BULKHEAD
MW	MICROWAVE PROVISION
OS	OPEN SHELF
PTY	PANTRY
RB	RUBBISH BIN COMPARTMENT
REF	REFRIGERATOR PROVISION
RH	RANGEHOOD
SM	SHOWER MIXER
SPH	SOAP HOLDER
SR	SHOWER RAIL
T	TILES
TM	TROUGH MIXER & TAP
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
UBO	UNDER BENCH OVEN
WM	WASHING MACHINE PROVISION



GARAGE REBATE PLAN DETAIL
SCALE 1:10



A801
v1
DRAINAGE CLEARANCE
SCALE 1:20

SLAB SETOUT LEGEND

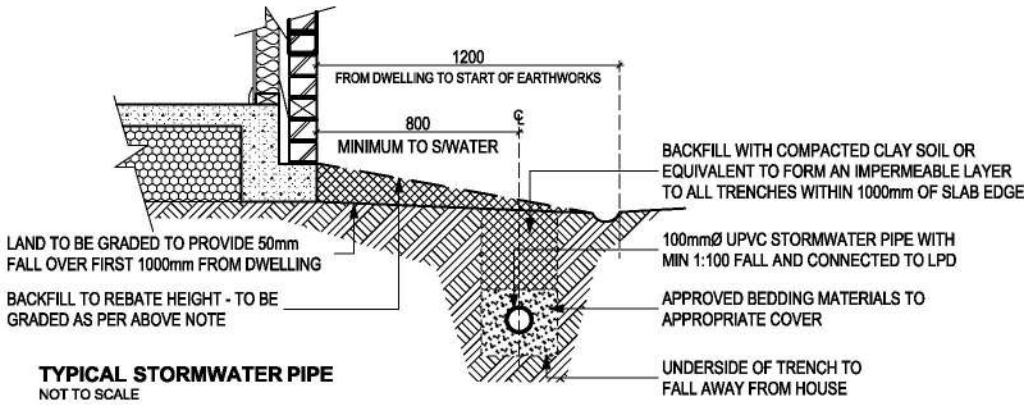
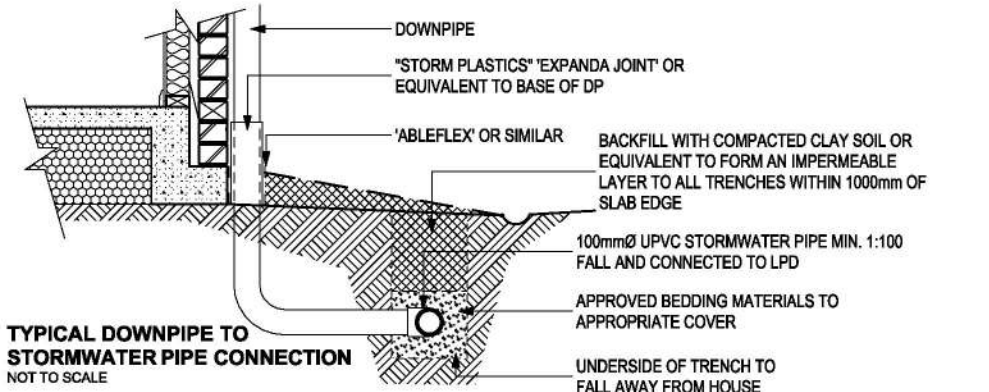
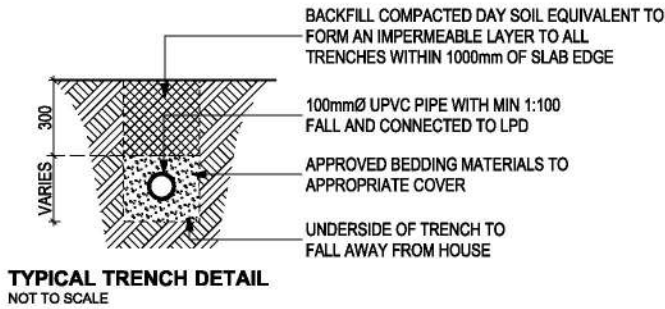
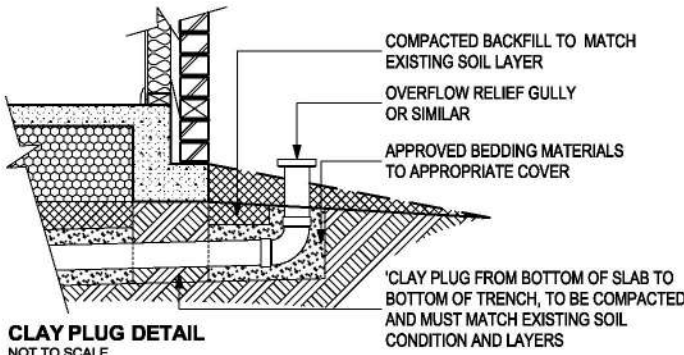
FW	FLOOR WASTE
WP	WASTE POINT
SC	SERVICE CONDUIT
PS	PLUMBING STACK
EX FW	EXTERNAL FLOOR WASTE

rev	description	by	date
A	CONSTRUCTION DRAWINGS	RD	01/12/2025
E	ISSUED FOR CONSTRUCTION	WE	14/03/2025
F	NORTH ORIENTATION UPDATE	AM	20/03/2025
H	PLANNING RFI RESPONSE	NW	19/08/2025



MIN. REQ. FOR EXPANSION JOINT CAPACITY		
SITE CLASS	EXPANDER MOVEMENT RANGE	SWIVEL ROTATION RANGE
'E'	150mm	15°
'H1' & 'H2'	70mm	15°
'M'	MIN. 25mm LAGGING THROUGH FOOTINGS	NOT APPLICABLE

MIN. REQ. FOR SEWER ARTICULATION				
SITE CLASS	SEWER EXIT POINTS & ORG		RISERS	
	SWIVEL	EXPANDER	EXPANDER	LAGGING
'M'	1	0	0	MIN. 25mm
'H1'	1	1	1**	MIN. 50mm
'H2'	2	1	1**	
'E'	2	1	X*	MIN. 50mm
* - EXPANDER ON ALL RISERS ** - MAX DEPTH OF SEWER TO UNDERSIDE OF SLAB TO BE 500mm FOR CLASS M & 600mm FOR CLASS H OTHERWISE EXPANDER JOINT REQUIRED				



SITE DRAINAGE NOTES

SITE PREPARATION

- UNLESS NOTED OTHERWISE, EXCAVATIONS TO BE BATTERED AT 45° MAX. FOR SAND/SILT/ FILL SITES. ALL BATTERS TO BE KEPT WITHIN PROPERTY BOUNDARIES.
- ALL CUT & FILL BATTERS MUST BE STABILISED FOLLOWING CONSTRUCTION. THE GROUND LEVEL IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE GRADED TO A UNIFORM FALL OF 50mm MIN. AWAY FROM THE BUILDING OVER THE FIRST METRE.
- PROVIDE AGRICULTURAL DRAIN TO BASE OF SITE CUT CONNECTED TO STORMWATER SYSTEM VIA SILT PIT WHERE SITE CUT IS GREATER THAN 300mm.
- PROVIDE CUT TOE OR SPOON DRAIN @ MIN. FALL TO BASE OF SITE CUT CONNECTED TO STORMWATER SYSTEM VIA SILT.

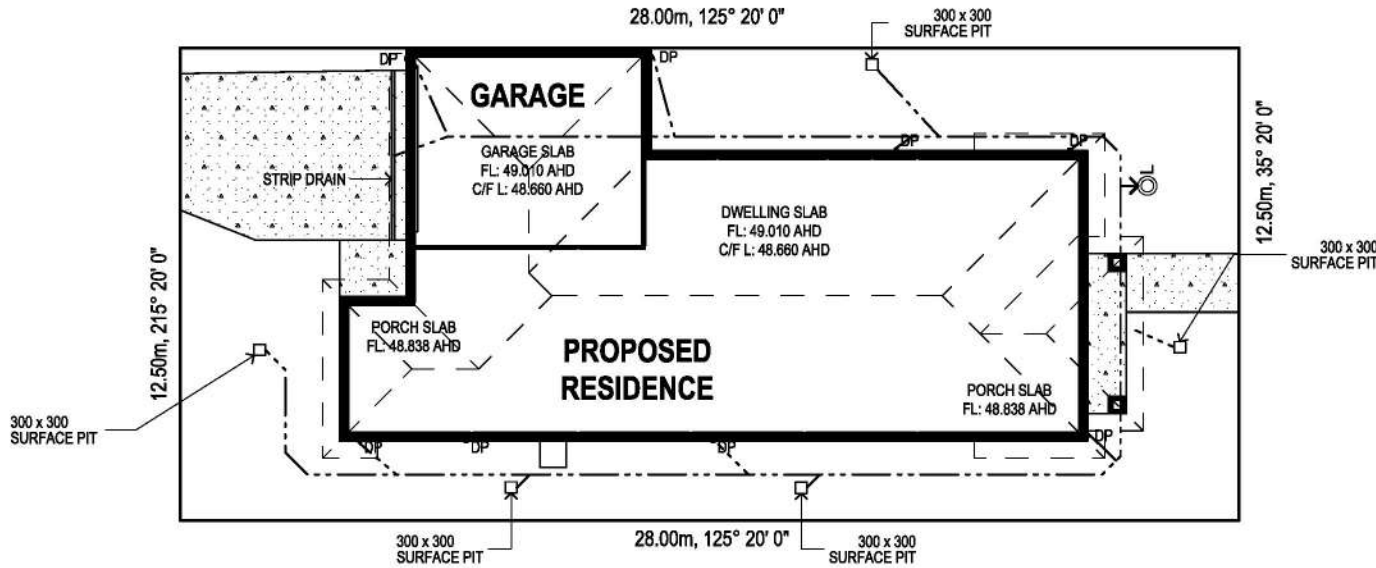
DRAINAGE REQUIREMENTS

- STORMWATER DRAINAGE SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH AS3500.3 - PLUMBING AND DRAINAGE - STORMWATER DRAINAGE.
- IN ACCORDANCE WITH AS2870-2011 SECTION 5.6.3: SURFACE DRAINAGE OF SITE TO BE CONTROLLED FROM START OF SITE PREPARATION AND SHOULD BE COMPLETED BY END OF CONSTRUCTION.
- TRENCH BASES TO SLOPE AWAY FROM BUILDING. TOP 300mm OF TRENCHES TO BE BACK-FILLED WITH COMPACTED CLAY WITHIN 1.5m FROM THE BUILDING.
- TRENCHES UNDER FOOTINGS TO BE PLUGGED WITH CLAY SUBSOIL.
- DRAINS NOT TO BE WITHIN 1.5m FROM BUILDING UNLESS DESIGNED IN ACCORDANCE WITH ENGINEERING PRINCIPLES.

PLUMBING REQUIREMENTS:

- AS PER AS2870 - 2011 SECTION 5.6.4 PENETRATION OF EDGE BEAMS OR FOOTINGS TO BE AVOIDED WHERE PRACTICABLE, BUT WHERE NECESSARY, SHALL BE DETAILED TO ALLOW FOR MOVEMENT.
- DRAINS EMERGING FROM UNDERNEATH THE BUILDING TO INCORPORATE FLEXIBLE JOINTS AND SHOULD ALLOW FOR DIFFERENTIAL MOVEMENT IN ANY DIRECTION EQUAL TO THE ESTIMATED CHARACTERISTIC SURFACE MOVEMENT, Ys. ON SITE WASTEWATER TREATMENT UNITS TO BE LOCATED TO MINIMISE SOIL MOISTURE INCREASE WITHIN THE FOUNDATION. DRAINAGE UNDER THE SLAB TO BE AVOIDED WHERE PRACTICABLE.
- COLD AND HOT WATER PIPES NOT TO BE INSTALLED UNDER THE SLAB, UNLESS PIPES ARE INSTALLED WITHIN A CONDUIT, SO THAT IF THE PIPE LEAKS IT WILL BE NOTICED ABOVE OR OUTSIDE THE SLAB.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



rev	description	by	date
A	CONSTRUCTION DRAWINGS	RD	9/12/2025
E	ISSUED FOR CONSTRUCTION	WE	14/03/2025
F	NORTH ORIENTATION UPDATE	AM	20/03/2025
H	PLANNING RFI RESPONSE	NW	19/08/2025

**Indi 17 - Wattle Facade
CONSTRUCTION DRAWINGS**

Figured dimensions take precedence over scaled dimensions. Contractors must verify all dimensions on site before commencing any work or making shop drawings.



site address
LOT 130 PAKENHAM ROAD, PAKENHAM VIC 3810

project no.
305923

estate
THE RISE

scale
1:200@A3

drawn
RD

sheet
26

drawing name
DRAINAGE PLAN

date
29/08/2025

rev
H

Domestic Building Insurance

Certificate of Insurance

Policy Inception Date:
02/10/2024

A contract of insurance complying with the Ministerial Order for Domestic Building Insurance issued under Section 135 of the Building Act 1993 (Vic) (Domestic Building Insurance) has been issued by the insurer Victorian Managed Insurance Authority a Statutory Corporation established under the Victorian Managed Insurance Authority Act 1996 (Vic), in respect of the domestic building work described below.

Policy Schedule Details

Domestic Building Work: **C01: New Single Dwelling Construction**

At the property: **Lot 130 Pakenham Rd PAKENHAM VIC 3810 Australia**

Carried out by the builder: **CREATION HOMES (VIC) PTY LTD**

Builder ACN: **143151768**

! If the builder's name and/or its ABN/ACN listed above does not exactly match with the information on the domestic building contract, please contact the VMIA. If these details are incorrect, the domestic building work will not be covered.

For the building owner(s):

Pursuant to a domestic building contract dated: **14/09/2024**

For the contract price of: **\$ 369,900.00**

Type of Cover: **Cover is only provided if CREATION HOMES (VIC) PTY LTD has died, becomes insolvent or has disappeared or fails to comply with a Tribunal or Court Order ***

The maximum policy limit for claims made under this policy is: **\$300,000 all inclusive of costs and expenses ***

The maximum policy limit for non-completion claims made under this policy is: **20% of the contract price limited to the maximum policy limit for all claims under the policy***

PLEASE CHECK

If the information on this certificate does not match what's on your domestic building contract, please contact the VMIA immediately on 1300 363 424 or email dbi@vmia.vic.gov.au

IMPORTANT

This certificate must be read in conjunction with the policy terms and conditions and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the period of cover.

* The cover and policy limits described in this certificate are only a summary of the cover and limits and must be read in conjunction with, and are subject to the terms, conditions, limitations and exclusions contained in the policy terms and conditions.



Scan the QR code with your phone's camera to check the details on this policy are correct.

Alternatively, visit <https://www.buildvic.vic.gov.au/ClaimsPortal/s/verify-certificate> and enter your policy number to check the details on this policy are correct.

Period of Cover

Cover commences on the earlier of the date of the domestic building contract or date of building permit for the domestic building work and concludes:

- Two years from completion of the domestic building work or termination of the domestic building contract for non structural defects*
- Six years from completion of the domestic building work or termination of the domestic building contract for structural defects*

Subject to the Building Act 1993, and the Ministerial Order and the conditions of the insurance contract, cover will be provided to the building owner named in the domestic building contract and to the successors in title to the building owner in relation to the domestic building work undertaken by the Builder.

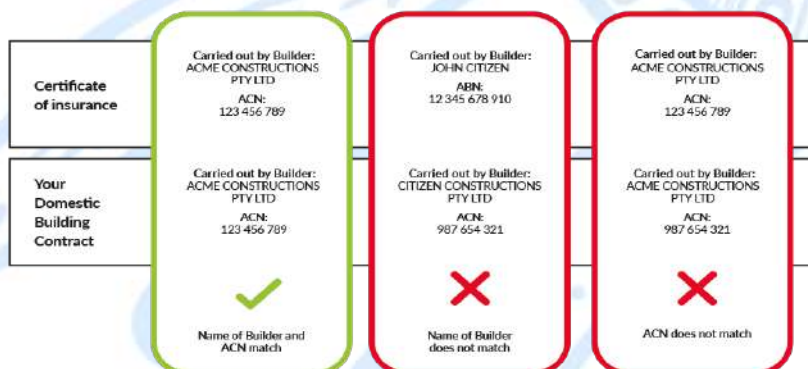
Issued by Victorian Managed Insurance Authority (VMIA)

Domestic Building Insurance Premium and Statutory Costs

Base DBI Premium:	\$2,850.00
GST:	\$285.00
Stamp Duty:	\$282.15
Total:	\$3,417.15

If the information on the certificate does not match exactly what is on your domestic building contract, please contact VMIA on 1300 363 424

Below are some examples of what to look for



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Domestic Building Insurance

Certificate of Insurance

14 Cubbie Way
CLYDE NORTH
VIC 3978

A contract of insurance complying with the Ministerial Order for Domestic Building Insurance issued under Section 135 of the Building Act 1993 (Vic) (Domestic Building Insurance) has been issued by the insurer Victorian Managed Insurance Authority a Statutory Corporation established under the Victorian Managed Insurance Authority Act 1996 (Vic), in respect of the domestic building work described below.

Policy Schedule Details

Domestic Building Work: **C01: New Single Dwelling Construction**
At the property: **Lot 130 Pakenham Rd PAKENHAM VIC 3810 Australia**
Carried out by the builder: **CREATION HOMES (VIC) PTY LTD**
Builder ACN: **143151768**

! If the builder's name and/or its ABN/ACN listed above does not exactly match with the information on the domestic building contract, please contact the VMIA. If these details are incorrect, the domestic building work will not be covered.

For the building owner(s):

Pursuant to a domestic building contract dated: **14/09/2024**

For the contract price of: **\$ 369,900.00**

Type of Cover: **Cover is only provided if CREATION HOMES (VIC) PTY LTD has died, becomes insolvent or has disappeared or fails to comply with a Tribunal or Court Order ***

The maximum policy limit for claims made under this policy is: **\$300,000 all inclusive of costs and expenses ***

The maximum policy limit for non-completion claims made under this policy is: **20% of the contract price limited to the maximum policy limit for all claims under the policy***

PLEASE CHECK

If the information on this certificate does not match what's on your domestic building contract, please contact the VMIA immediately on 1300 363 424 or email dbi@vmia.vic.gov.au

IMPORTANT

This certificate must be read in conjunction with the policy terms and conditions and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the period of cover.

* The cover and policy limits described in this certificate are only a summary of the cover and limits and must be read in conjunction with, and are subject to the terms, conditions, limitations and exclusions contained in the policy terms and conditions.



Scan the QR code with your phone's camera to check the details on this policy are correct.

Alternatively, visit <https://www.buildvic.vic.gov.au/ClaimsPortal/s/verify-certificate> and enter your policy number to check the details on this policy are correct.



About the ratings

Thermal performance rating

NatHERS thermal software models the expected heating and cooling energy loads using information about the design, construction, climate and common patterns of household use. The thermal performance rating (shown as a star rating on this Certificate) does not take into account appliances, apart from the airflow impacts from ceiling fans.

Whole of Home performance rating

NatHERS Whole of Home software uses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, pool/spa pump and onsite renewable energy generation and storage) and models the expected energy value* of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.

Heating and Cooling Load Limits

Additional information

In some locations under the NCC NatHERS pathway, separate heating and cooling load limits may apply. Minimum required star ratings in northern parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area ceiling fan. Refer to the *ABCB Standard: NatHERS heating and cooling load limits* for details or contact the relevant local building regulating authority, noting that State and Territory variations may also apply.

Setting options:

Floor type:

- CSOG - Concrete Slab on Ground
- SF - Suspended Floor (or a mixture of CSOG and SF)
- NA - Not Applicable

NCC climate Zone 1 or 2:

- Yes
- No
- NA - Not Applicable

Outdoor living area:

- Yes
- No
- NA - Not Applicable

Outdoor living area ceiling fan:

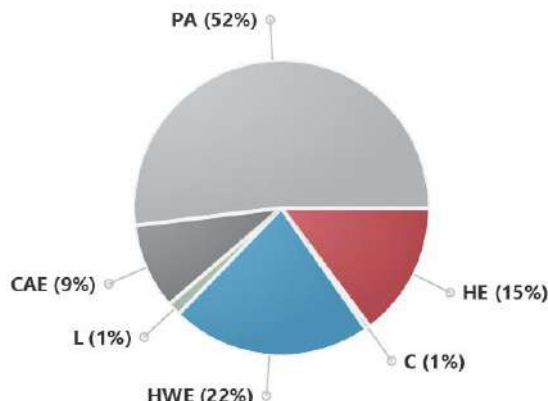
- Yes
- No
- NA - Not Applicable

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

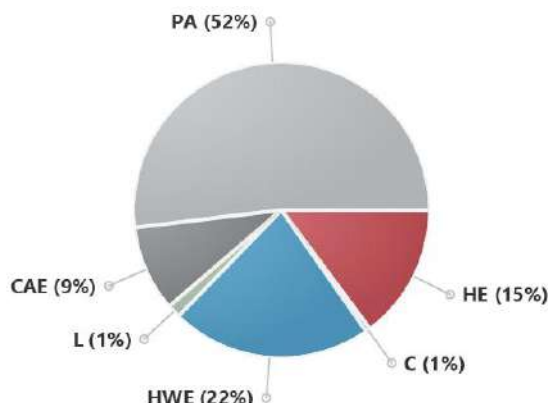
Predicted Whole of Home annual impact by appliance

Shows the contribution each appliance has on the home's annual energy use, greenhouse gas emissions and cost without solar.

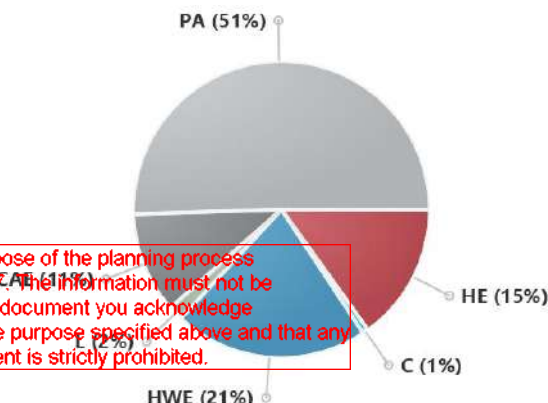
Energy use:



Greenhouse gas emissions:



Cost:



Graph Key:

Colour:	Code:	Name:	Fuel type:
	HE	Heating	Electric
	HG	Heating	Gas
	HW	Heating	Wood
	C	Cooling	Electric
	HWE	Hot water	Electric
	HWG	Hot water	Gas
	L	Lights	Electric
	P	Pool/spa equipment	Electric
	PA	Plug-in appliances	Electric
	CAE	Cooking appliances	Electric
	CAG	Cooking appliances	Gas



Predicted onsite renewable energy impact

Your Whole of Home performance rating without onsite renewable energy generation is **55 out of 100**

This home's annual greenhouse emissions:
1990 kg CO₂e (with solar)
4917 kg CO₂e (without solar)

Predicted annual electricity generated: 2614 kWh
 Exported to the grid: 42.3 %
 Used by the home: 57.7 %

Certificate check

The checklist covers important items impacting the dwelling's ratings.

It is recommended that the accuracy of the whole certificate is checked.

Note: The boxes indicate when and who should check each item.

It is not mandatory to complete this checklist.

Approval stage		Construction stage		
Assessor checked	Consent authority/ surveyor checked	Builder checked	Consent authority/ surveyor checked	Occupancy/other

Genuine certificate check

Does this Certificate match the one available at the web address or QR code verification link on the front page?

☐☐☐☐

Does the NatHERS certificate number on the NatHERS-stamped plans match the number on this Certificate?

☐☐☐☐

Thermal performance check

Windows and glazed doors

Does the window size, opening type and location shown on the NatHERS-stamped plans or as installed match what is shown in 'Window and glazed door schedule' and 'Roof window schedule' tables on this Certificate?

☐☐☐☐☐

Does the installed windows meet the substitution tolerances (AFRC* based SHGC* and U-values*) as shown in the 'Window and glazed door type and performance' and 'Roof window type and performance' tables on this Certificate?

☐☐☐

External walls

Does the external wall bulk insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'External wall type table' on this Certificate?

☐☐☐☐☐

Does the external wall shade (colour) match what is shown in the 'External wall type' table on this Certificate?

☐☐☐☐☐

Floor

Does the floor insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Floor type' table on this certificate?

☐☐☐☐☐

Ceiling penetrations*

Does the 'quantity' and 'type' of ceiling penetrations* (e.g. downlights, exhaust fans, etc) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling penetrations' table on this Certificate?

☐☐☐☐☐

Ceiling

Does the ceiling insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling type' table on this Certificate?

☐☐☐☐☐

Roof

Does the external roof shade (colour) on the NatHERS stamped plans or as installed match what is shown in the 'Roof type' table on this Certificate?

☐☐☐☐☐

Apartment entrance doors (NCC Class 2 assessments only)

Does the 'External Door Schedule' show apartment entrance doors? Please note that an "external door" between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.

☐☐☐☐

Exposure*

Has the appropriate exposure type (terrain) (shown on page 1) been applied? For example, it is unlikely that a ground-floor apartment is "exposed" or a top floor high-rise apartment is "protected".

☐☐☐☐

Heating and cooling load limits*

Do the load limits settings (shown on page 1) match what is shown on the NatHERS-stamped plans?

☐☐☐☐☐

Certificate check

Continued

Approval stage		Construction stage		
Assessor checked	Consent authority/ surveyor checked	Builder checked	Consent authority/ surveyor checked	Occupancy/other

Additional NCC requirements for thermal performance (not included in the NatHERS assessment)

Thermal bridging

Does the dwelling meet the NCC requirement for thermal bridging?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--	--	--------------------------	--------------------------	--------------------------	--------------------------

Insulation installation method

Has the insulation been installed according to the NCC requirements?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--	--	--	--------------------------	--------------------------	--------------------------

Building sealing

Does the dwelling meet the NCC requirements for Building Sealing?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
---	--	--------------------------	--------------------------	--------------------------	--------------------------

Whole of Home performance check (not applicable if a Whole of Home assessment is not conducted)

Appliances

Does the cooling appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the heating appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed, match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the hot water system type and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the pool pump efficiency/performance shown on the NatHERS-stamped plans or as installed match the minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the onsite renewable energy system type, orientation and system size or generation capacity shown on the NatHERS stamped plans or installed match the 'Onsite Renewable Energy schedule' on this Certificate?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Additional NCC Requirements for Services (not included in the NatHERS assessment)

Does the lighting meet the artificial lighting requirements specified in the NCC?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the hot water system meet the additional requirements specified in the NCC?		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Provisional values* check

Have provisional values* been used in the assessment and, if so, are they noted in 'Additional notes' table below?	<input type="checkbox"/>	<input type="checkbox"/>			
--	--------------------------	--------------------------	--	--	--

Other NCC requirements

Note: This Certificate only covers the energy efficiency requirements in the NCC. Additional requirements that must also be satisfied include, but are not limited to: condensation, structural and fire safety requirements and any state or territory variations to the NCC energy efficiency requirements.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Additional Notes

Produced using Chenath Engine Version 3.21

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

GENERAL NOTES

- The building materials listed in these reports are the minimum requirement needed to achieve the listed Star Rating required. All State, Territory & Federal; building standards and regulations still need to be adhered to.
- All insulation is to be supplied and installed as per Australian Standards & required regulations.
- Holes, rips and penetrations through Sisalation, Reflective Foils and Insulation Warps must be sealed or repaired.
- Self-closing damper to all the exhaust fans
- All external windows and doors are to be fitted with weather-strips
- All roof lights must be sealed or capable to be sealed
- All chimneys and flues to be fitted with self closing dampers
- Insulation batts and blankets are not to be compressed when being installed and all voids must be completely filled.
- Insulation is to be laid over all manhole lids, ensuring a continuous layer of insulation. No ceiling penetrations have been entered for man holes.
- Glass window and glass door sizes are not to be increased, it will change the rating of this report.
- Total System 'U-Value' - The glass windows and/or glass doors supplied must equal and/or can be less than the 'U-Values' listed in this report.
- Total System 'SHGC' - The glass windows and/or glass doors supplied should not be greatly reduced or increased (a 5% variance is acceptable) than the Total System 'SHGC' Values listed in this report.
- All downlights and exhaust fans that penetration the ceiling must be sealed.
- If any details are changed on this project as listed above then this report may be invalid and will need to be re assessed to meet the minimum star rating required; there will be an additional cost to re issue this report and also re stamping the amended working drawings if required.
- All downlights and exhaust fans that penetration the ceiling must be sealed.
- All lighting in the dwelling will be designed at 5W/m2 or better.
- All lighting on the verandah, balcony will be designed at 4W/m2 or better.
- All lighting in the garage will be designed at 3W/m2 or better.
- Artificial lighting around the perimeter of the building must be controlled by a daylight sensor.

Room schedule

Room	Zone Type	Area (m ²)
GARAGE	Garage	30.01
BED 1	Bedroom	10.69
ENS	Night Time	5.21
WIR	Night Time	3.66
HALL	Day Time	5.97
BED 2	Bedroom	10.50
L'DRY	Unconditioned	4.27
WC	Unconditioned	2.52
WIP	Day Time	2.52
KITCHEN/MEALS/FAMILY	Kitchen/Living	30.44
BED 3	Bedroom	10.14

Room schedule

Room	Zone Type	Area (m²)
BED 4	Bedroom	10.14
BATH	Unconditioned	5.40
LINEN HALL	Day Time	11.54

Window and glazed door type and performance

Default* windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

Custom* windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
A&L-004-12 A	Al Awning Window DG 4/10Ar/4	3.45	0.54	0.51	0.57
A&L-013-01 A	Al Sliding Door DG 4/10/4	3.65	0.63	0.60	0.66
A&L-038-04 W	A&L Timber Sliding Door DG 4Gy-10-4ET	2.14	0.39	0.37	0.41
A&L-038-13 W	A&L Timber Sliding Door DG LightBridge-4-10Ar-4	1.83	0.45	0.43	0.47

Window and glazed door schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orient-ation	Shading device*
BATH	A&L-004-12 A	W10	854	610	Awning	90	NE	None
BED 1	A&L-038-04 W	W11-B	1800	725	Awning	90	NW	None
BED 1	A&L-038-13 W	W11-A	1800	725	Fixed	0	NW	None
BED 2	A&L-038-04 W	W04-B	1200	725	Awning	90	SW	None
BED 2	A&L-038-13 W	W04-A	1200	725	Fixed	0	SW	None
BED 3	A&L-038-04 W	W05-B	1200	725	Awning	90	SW	None
BED 3	A&L-038-13 W	W05-A	1200	725	Fixed	0	SW	None
BED 4	A&L-038-04 W	W06-B	1200	725	Awning	90	SW	None
BED 4	A&L-038-13 W	W06-A	1200	725	Fixed	0	SW	None

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

* Refer to glossary.

Window and glazed door *schedule*

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orient-ation	Shading device*
ENS	A&L-004-12 A	W03	1027	610	Awning	90	SW	None
KITCHEN/MEALS/FAMILY	A&L-038-04 W	FW02	1800	850	Awning	90	SE	None
KITCHEN/MEALS/FAMILY	A&L-038-04 W	W08	1800	610	Awning	90	SW	None
KITCHEN/MEALS/FAMILY	A&L-038-04 W	FW01 B	1800	725	Awning	90	SE	None
KITCHEN/MEALS/FAMILY	A&L-038-13 W	FW01 A	1800	725	Fixed	0	SE	None
KITCHEN/MEALS/FAMILY	A&L-038-04 W	W07	1800	610	Awning	90	SW	None
L'DRY	A&L-013-01 A	D03	2110	1450	Sliding Door	45	NE	None
WC	A&L-004-12 A	W09	1027	610	Awning	90	NE	None

Roof window *type and performance value*

Default* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

Custom* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

Roof window *schedule*

Location	Window ID	Window no.	Opening %	Height (mm)	Width (mm)	Orient-ation	Outdoor shade	Indoor shade
None								

Skylight *type and performance*

Skylight ID	Skylight description
None	

Skylight *schedule*

Location	Skylight ID	Skylight No.	Skylight shaft length (mm)	Area (m ²)	Orient-ation	Outdoor shade	Diffuser	Shaft Reflectance
None								

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

External door *schedule*

Location	Height (mm)	Width (mm)	Opening %	Orientation
GARAGE	2100	820	90	SE
GARAGE	2150	4150	90	NW
HALL	2100	920	90	NW
KITCHEN/MEALS/FAMILY	2100	920	90	SE

External wall *type*

Wall ID	Wall Type	Solar absorptance	Wall Colour	Bulk insulation (R-value)	Reflective wall wrap*
BV-NONREFL-CAV-A	Brick Veneer Stud Wall with Non-Reflective Sarking	0.50	Medium	0.00	No
BV-NONREFL-CAV-B	Brick Veneer Stud Wall with Non-Reflective Sarking	0.50	Medium	2.50	No

External wall *schedule*

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* projection (mm)	Vertical shading feature
BATH	BV-NONREFL-CAV-B	2590	2806	NE		Yes
BED 1	BV-NONREFL-CAV-B	2590	1760	NE		Yes
BED 1	BV-NONREFL-CAV-B	2590	3201	SW		Yes
BED 1	BV-NONREFL-CAV-B	2590	3340	NW		Yes
BED 2	BV-NONREFL-CAV-B	2590	2900	SW		Yes
BED 3	BV-NONREFL-CAV-B	2590	2901	SW		Yes
BED 4	BV-NONREFL-CAV-B	2590	2900	SW		Yes
ENS	BV-NONREFL-CAV-B	2590	2730	SW		Yes
GARAGE	BV-NONREFL-CAV-A	2590	6001	NE		Yes
GARAGE	BV-NONREFL-CAV-A	2590	2710	SE		Yes
GARAGE	BV-NONREFL-CAV-A	2590	5001	NW		Yes
HALL	BV-NONREFL-CAV-B	2590	1400	NW		Yes
KITCHEN/MEALS /FAMILY	BV-NONREFL-CAV-B	2590	4221	NE	450	Yes
KITCHEN/MEALS /FAMILY	BV-NONREFL-CAV-B	2590	2472	SE	451	Yes
KITCHEN/MEALS /FAMILY	BV-NONREFL-CAV-B	2590	1318	SW	450	Yes

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* projection (mm)	Vertical shading feature
KITCHEN/MEALS /FAMILY	BV-NONREFL-CAV-B	2590	4739	SE	840	Yes
KITCHEN/MEALS /FAMILY	BV-NONREFL-CAV-B	2590	2903	SW	450	Yes
L'DRY	BV-NONREFL-CAV-B	2590	1865	NE		Yes
WC	BV-NONREFL-CAV-B	2590	1100	NE		Yes
WIP	BV-NONREFL-CAV-B	2590	1100	NE		Yes

Internal wall type

Wall ID	Wall Type	Area (m ²)	Bulk insulation
INT-PB	Internal Plasterboard Stud Wall	93.7	0.00
INT-PB	Internal Plasterboard Stud Wall	38.3	2.50

Floor type

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Location	Construction	Area (m ²)	Sub-floor ventilation	Added insulation (R-value)	Covering
BATH	CSOG-100: Concrete Slab on Ground (100mm)	5.4	N/A	0.33	Tile (8mm)
BED 1	CSOG-100: Concrete Slab on Ground (100mm)	10.7	N/A	0.33	Carpet
BED 2	CSOG-100: Concrete Slab on Ground (100mm)	10.5	N/A	0.33	Carpet
BED 3	CSOG-100: Concrete Slab on Ground (100mm)	10.1	N/A	0.33	Carpet
BED 4	CSOG-100: Concrete Slab on Ground (100mm)	10.1	N/A	0.33	Carpet
ENS	CSOG-100: Concrete Slab on Ground (100mm)	5.2	N/A	0.33	Tile (8mm)
GARAGE	CSOG-100: Concrete Slab on Ground (100mm)	30.0	N/A	0.33	Exposed
HALL	CSOG-100: Concrete Slab on Ground (100mm)	6.0	N/A	0.33	Timber (12mm)
KITCHEN/MEALS/FAMILY	CSOG-100: Concrete Slab on Ground (100mm)	30.4	N/A	0.33	Timber (12mm)
L'DRY	CSOG-100: Concrete Slab on Ground (100mm)	4.3	N/A	0.33	Tile (8mm)
LINEN HALL	CSOG-100: Concrete Slab on Ground (100mm)	11.5	N/A	0.33	Timber (12mm)
WC	CSOG-100: Concrete Slab on Ground (100mm)	2.5	N/A	0.33	Tile (8mm)
WIP	CSOG-100: Concrete Slab on Ground (100mm)	2.5	N/A	0.33	Timber (12mm)

Floor type

Location	Construction	Area (m ²)	Sub-floor ventilation	Added insulation (R-value)	Covering
WIR	CSOG-100: Concrete Slab on Ground (100mm)	3.7	N/A	0.33	Carpet

Ceiling type

Location	Construction	Bulk insulation (R-value)	Reflective wrap*
BATH	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
BATH	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
BED 1	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
BED 1	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
BED 2	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
BED 2	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
BED 3	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
BED 3	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
BED 4	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
BED 4	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
ENS	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
ENS	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
GARAGE	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	0.00	Yes
HALL	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
HALL	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
KITCHEN/MEALS/FAMILY	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
KITCHEN/MEALS/FAMILY	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
L'DRY	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
L'DRY	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
LINEN HALL	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Ceiling type

Location	Construction	Bulk insulation (R-value)	Reflective wrap*
WC	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
WC	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
WIP	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	Yes
WIP	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes
WIR	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	6.00	Yes

Ceiling penetrations*

Location	Quantity	Type	Diameter (mm)	Sealed /unsealed
BATH	1	Exhaust Fan	350	Sealed
BATH	1	Downlight	200	Sealed
BED 1	1	Downlight	200	Sealed
BED 2	1	Downlight	200	Sealed
BED 3	1	Downlight	200	Sealed
BED 4	1	Downlight	200	Sealed
ENS	1	Exhaust Fan	350	Sealed
ENS	1	Downlight	200	Sealed
HALL	1	Downlight	200	Sealed
KITCHEN/MEALS/FAMILY	1	Exhaust Fan	350	Sealed
KITCHEN/MEALS/FAMILY	8	Downlight	200	Sealed
L'DRY	1	Exhaust Fan	350	Sealed
L'DRY	1	Downlight	200	Sealed
LINEN HALL	2	Downlight	200	Sealed
WC	1	Downlight	200	Sealed
WIP	1	Downlight	200	Sealed
WIR	1	Downlight	200	Sealed

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Ceiling fans

Location	Quantity	Diameter (mm)
None		

Roof type

Construction	Added insulation (R-value)	Solar absorptance	Roof Colour
ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	1.30	0.50	Medium

Thermal bridging schedule for steel frame elements

Building element	Steel section dimensions (height x width, mm)	Frame spacing (mm)	Steel thickness (BMT mm)	Thermal Break (R-value)
None				

Appliance schedule

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

Cooling system

Type	Location	Fuel Type	Minimum efficiency / performance	Recommended capacity
Room Air-Conditioner	BED 1 / ENS / WIR / BED 2 / BED 3 / BED 4	Electricity	4.0 stars	n/a
Room Air-Conditioner	KITCHEN/MEALS/FAMILY / HALL / LINEN HALL / WIP	Electricity	3.5 stars	n/a

Heating system

Type	Location	Fuel Type	Minimum efficiency / performance	Recommended capacity
Room Air-Conditioner	BED 1 / ENS / WIR / BED 2 / BED 3 / BED 4	Electricity	2.5 stars	n/a
Room Air-Conditioner	KITCHEN/MEALS/FAMILY / HALL / LINEN HALL / WIP	Electricity	2.0 stars	n/a

Hot water system

Type	Fuel type	Hot Water CER Zone	Minimum efficiency / STC	Assessed daily load [litres]
Heat Pump (Peak)	Electricity	4	30 STCs	107

Pool / spa equipment

Type	Fuel type	Minimum efficiency / performance	Recommended capacity
None	This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.		



Onsite Renewable Energy *schedule*

Type	Orientatation	Generation Capacity [kW]
Solar PV	235 (SW)	2.07

Battery *schedule*

Type	Storage Capacity [kWh]
None	

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Explanatory Notes

About this report

NatHERS ratings are a reliable guide for comparing different dwelling designs and to demonstrate that designs meet the energy efficiency requirements in the National Construction Code.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the heating and cooling energy loads and energy value* of the whole home. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy generation and storage to estimate the home's energy value*.

The actual energy loads, cost and greenhouse gas emissions of a home may vary from that predicted. This is because the assumptions will not always match the actual occupant usage patterns. For example, the number of occupants and how people use their appliances will vary.

Energy efficient homes use less energy, are warmer on cool days, cooler on hot days and cost less to run.

Accredited assessors

For quality assured NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and

are not quality assured.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in the certificate is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy load, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor using the NatHERS accredited software tool are presented in this report and further details or data files may be obtained from the assessor.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Glossary

Annual energy load	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
AFRC	Australian Fenestration Rating Council
Assessed floor area	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
Ceiling penetrations	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, range hoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
Conditioned	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
COP	Coefficient of performance
Custom windows	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
Default windows	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
EER	Energy Efficiency Ratio, measure of how much cooling can be achieved by an air conditioner for a single kWh of electricity input
Energy use	This is your home's rating without solar or batteries.
Energy value	The net cost to society including, but not limited to, costs to the building user, the environment and energy networks (as defined in the ABCB Housing Provisions Standard).
Entrance door	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
Exposure	see exposure categories below
Exposure category - exposed	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
Exposure category - open	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
Exposure category - suburban	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
Exposure category - protected	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
Horizontal shading feature	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
National Construction Code (NCC) Class	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at www.abcb.gov.au .
Net zero home	a home that achieves a net zero energy value*.
Opening percentage	the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
Provisional value	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at www.nathers.gov.au
Recommended capacity	this is the capacity or size of equipment that is recommended by NatHERS to achieve the desired comfort conditions in the zone or zones serviced. This is a recommendation and the final selection sizing should be confirmed by a suitably qualified person.
Reflective wrap (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
Roof window	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
Shading features	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
Solar heat gain coefficient (SHGC)	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
Skylight (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
STCs	Small-scale Technology Certificates, certificates created by the REC registry for renewable energy technologies that may be bought and sold as part of the Small-scale Renewable Energy Scheme operated by the Clean Energy Regulatory
Thermal breaks	are materials with an R-value greater than or equal to 0.2 that must separate the metal frame from the cladding. This includes, but is not limited to, materials such as timber battens greater than or equal to 20mm thick, continuous thermal breaks such as polystyrene insulation sheeting, plastic strips or furring channels.
U-value	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
Unconditioned	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions
Vertical shading features	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).
Window shading device	a device fixed to windows that provides shading e.g. window awnings or screens but excludes horizontal* or vertical shading features* (eg eaves and balconies)

* Refer to glossary.

Frater Consulting Services Thermal Specification			
The below items are minimum requirements that must be incorporated and installed correctly, as per NCC 2022 Part H6, for the building to achieve the rating given. Any changes to the design must be re-rated.			
	Bulk R-Value	Type of Foil	Notes
Ground Floor Insulation	R0.20	-	Void former waffle Slab (215mm BIAx pod with reflective membrane x 85mm concrete cover)
Walls Insulation	R2.5	-	Breathable membrane to all external walls excluding the Garage
Walls Int Insulation	R2.5	-	To the internal Garage, Laundry, Bath and WC walls
Ceilings / Roof Insulation	R6.0	-	Excluding the Garage
	R2.5		To ceiling perimeters R1.3 Anticon blanket throughout
Windows			W03, W09, W10 and D03 are to be standard A&L double glazed glass All other windows and glazed doors are to be A&L DG Hybrid Low-E Single Coat or equivalent
Whole of House			Kitchen room reverse cycle 3.5 star cooling 2.0 star heating Bedroom/night time room reverse cycle 4.0 star cooling 2.5 star heating (cold zone) Chromagen HP280 heat pump 30 STCs (zone 4) Induction cooktop Electric oven 2.07kW solar PV system as per the plans
(U-value and SHGC are confirmed in the Hero certificate)			
<p>Holes, rips and penetrations through Sisalation, Reflective Foils and Insulation Wraps must be sealed or repaired and insulation batts and blankets are not to be compressed when being installed and all voids must be filled.</p> <p>Insulation is to be laid over all manhole lids, ensuring a continuous layer of insulation. No ceiling penetrations have been entered for man holes.</p> <p>Total System 'U-Value' - The glass windows and/or glass doors supplied must equal and/or can be less than the 'U-Values' listed in this report.</p> <p>Total System 'SHGC' - The glass windows and/or glass doors supplied should not be greatly reduced or increased (a 5% variance is acceptable) than the Total System 'SHGC' Values listed in this report.</p> <p>All downlights and exhaust fans that penetrate the ceiling must be sealed & insulated.</p>			

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.