
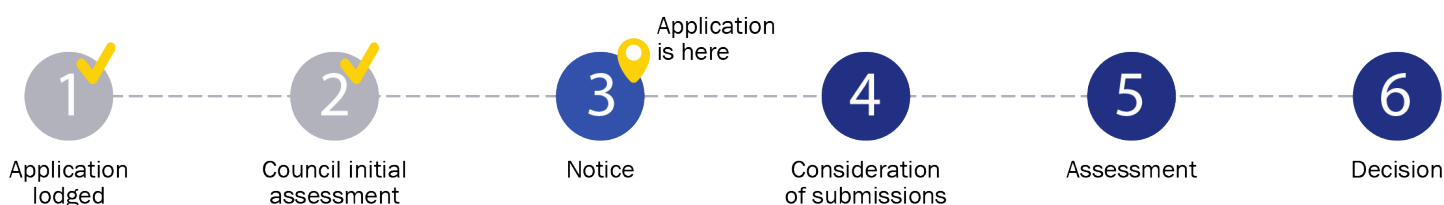


Notice of an Application for an Amendment to a Planning Permit


The land affected by the application is located at:	L7 LP9751, L1 TP617733 & Part L1 PS321189 27, 29 & Part 31 Bald Hill Road, Pakenham Victoria 3810
The application is to:	Amend the Permit under Section 72 to: <ul style="list-style-type: none">• Change land to which the permit applies (include L7 LP9751);• Change the uses of land the permit allows (delete use permission for Trade Supplies);• Allow use of L7 LP9751 (27 Bald Hill Road) for Industry (Concrete Batching);• Amend the endorsed plans to allow for extension of the existing buildings and works into L7 LP9751, and extend/alter existing buildings and works; and• Delete and amend various conditions of the permit.
APPLICATION DETAILS	
The applicant for the amendment to the permit is:	Stuart J Castle Pty Ltd
Application number:	T020515 - 1
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	


HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		26 September 2025
WHAT ARE MY OPTIONS? <p>Any person who may be affected by the proposed amendment to permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	An objection must: <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application to AMEND a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

 Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

 This form cannot be used to:

- amend a permit or part of a permit if the Victorian Civil and Administrative Tribunal (VCAT) has directed under section 85 of the Act that the responsible authority must not amend that permit or that part of the permit (as the case requires); or
- amend a permit issued by the Minister under Division 6 of Part 4 of the Act (these applications must be made to the Minister under section 97I of the Act).

 Questions marked with an asterisk (*) must be completed.

 Click for further information.

Clear Form

The Land


Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 27-31(part)	St. Name: Bald Hill Road
Suburb/Locality: PAKENHAM		Postcode: 3810

Formal Land Description *

Complete either A or B.

 This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.: 7	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input checked="" type="radio"/> Plan of Subdivision	No.: 009751
OR Lots 1 & 2 on Title Plan No. 617733C; & Lot 1 (part) on Plan of Subdivision No. 321189L					
Section No.:					
Parish/Township Name:					


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Planning Permit Details

What permit is being amended?*

Planning Permit No.: T 20515 including & Stamped Plan Dated 18 July 2002


The Amended Proposal

 You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application

What is the amendment being applied for?*

- Indicate the type of changes proposed to the permit.
- List details of the proposed changes.

If the space provided is insufficient, attach a separate sheet.

This application seeks to amend:	
<input type="checkbox"/> What the permit allows	<input type="checkbox"/> Plans endorsed under the permit
<input type="checkbox"/> Current conditions of the permit	<input type="checkbox"/> Other documents endorsed under the permit
<p>Details:</p> <p>Refer attached report for all details.</p> <p>The application seeks to:</p> <ul style="list-style-type: none"> * amend the property description and details; * modify the stamped plan - includes changes to the site layout; * amend the permit allowance description; * amend Condition 3 a); and * delete condition 12. 	
<p> Provide plans clearly identifying all proposed changes to the endorsed plans, together with: any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.</p>	

Development Cost

Estimate cost of development*

If the permit allows **development**, estimate the cost difference between the development allowed by the permit and the development to be allowed by the amended permit.

Cost of proposed amended development:

\$


Cost of the permitted development:

\$

Cost difference (+ or -):

= \$ 500,000

Insert 'NA' if no development is proposed by the permit.

 You may be required to verify this estimate.

Existing Conditions

Describe how the land is used and developed now *


For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Have the conditions of the land changed since the time of the original permit application? ☐ Yes ☒ No

If yes, please provide details of the existing conditions.

The existing site (29 to 31 (part) Bald Hill Road is currently operating as a concrete batching plant and garden supply. The current plant requires replacement.

No. 27 Bald Hill Road contains an abandoned showroom.


 Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact council for advice on how to proceed before continuing with this application.)
- ☐ No
- ☒ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

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Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner's Representative. Tenant


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		
Title:	First	
Organisation (if applicable): Stuart J Castle Pty Ltd		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 23	St. Name: Esdale Street
Suburb/Locality: BLACKBURN		State: VIC Postcode: 3130
Contact information for applicant OR contact person below		
Business phone:		Email:
Mobile phone:		Fax:
Contact person's details* Same as applicant <input checked="" type="checkbox"/>		
Title:	First Name:	Surname:
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name:
Suburb/Locality:		State: Postcode:
Name: Same as applicant <input type="checkbox"/>		
<div style="border: 1px solid red; padding: 5px; color: red;">This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</div>		
Owner's Signature (Optional):		Date: day / month / year

Declaration

This form must be signed by the applicant*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; that all the information in this application is true and correct; that all changes to the permit and plan have been listed as part of the amended proposal and that the owner (if not myself) has been notified of the permit application.

Signature:		Date: 20 May 2025
		day / month / year

Need help with the Application?

If you need help to complete this form, read More Information at the end of this form or contact Council's planning department. General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for his application and obtain a checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer

<input type="radio"/> No	<input checked="" type="radio"/> Yes	If 'Yes', with whom?: Michael Stockigt
		Date: 31March 2025 day / month / year

Checklist

Have you:

- ☒ Filled in the form completely?
- ☐ Paid or included the application fee?
- ☒ Attached all necessary supporting information and documents?
- ☒ Completed the relevant council planning permit checklist?
- ☒ Signed the declaration above?



Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

Lodgement

Lodge the completed and signed form and all documents with:

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact information:

Telephone: 1300 787 624

Fax: (03) 5941 3784

Email: mail@cardinia.vic.gov.au

DX: 81006

Deliver application in person, by post or by electronic lodgement.

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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T020515-1
Address of the Land:	27 to 31 Bald Hill Road, Pakenham

APPLICANT DETAILS

Name:	
Organisation:	Stuart J Castle Pty Ltd
Address:	23 Esdale Street BLACKBURN VIC 3130
Phone:	0419 772 600
Email:	stuartcastle@ozemail.com.au

AMENDMENT TYPE


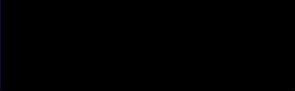
Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input checked="" type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
It is proposed to amend the permissions sought, to:		
No. 27 Bald Hill Road		
Clause 33.01-1 (IND1Z) - Use of Land for Industry		
No.s 27 to 31 Bald Hill Road		
Clause 33.01-4 - (IND1Z) - Construct a building or construct or carry out works		

Clause 44.04-2 (LSIO) - Construct a building or construct or carry out works		
Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	5 September 2025

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
--

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 03842 FOLIO 237

Security no : 124122805653X
Produced 13/03/2025 02:18 PM

LAND DESCRIPTION

Lots 1 and 2 on Title Plan 617733C (formerly known as part of Lot 15 Block D on Plan of Subdivision 001337, part of Lot 16 Block D on Plan of Subdivision 001337).

PARENT TITLE Volume 03212 Folio 245

Created by instrument 0761766 09/10/1914

REGISTERED PROPRIETOR

- Estate Fee Simple
Sole Proprietor
PAKENHAM SAND SOIL & MINI-MIX PTY LTD of 88 PRINCES HWY DANDENONG
P356644B 07/08/1989

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP617733C FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

DOCUMENT END

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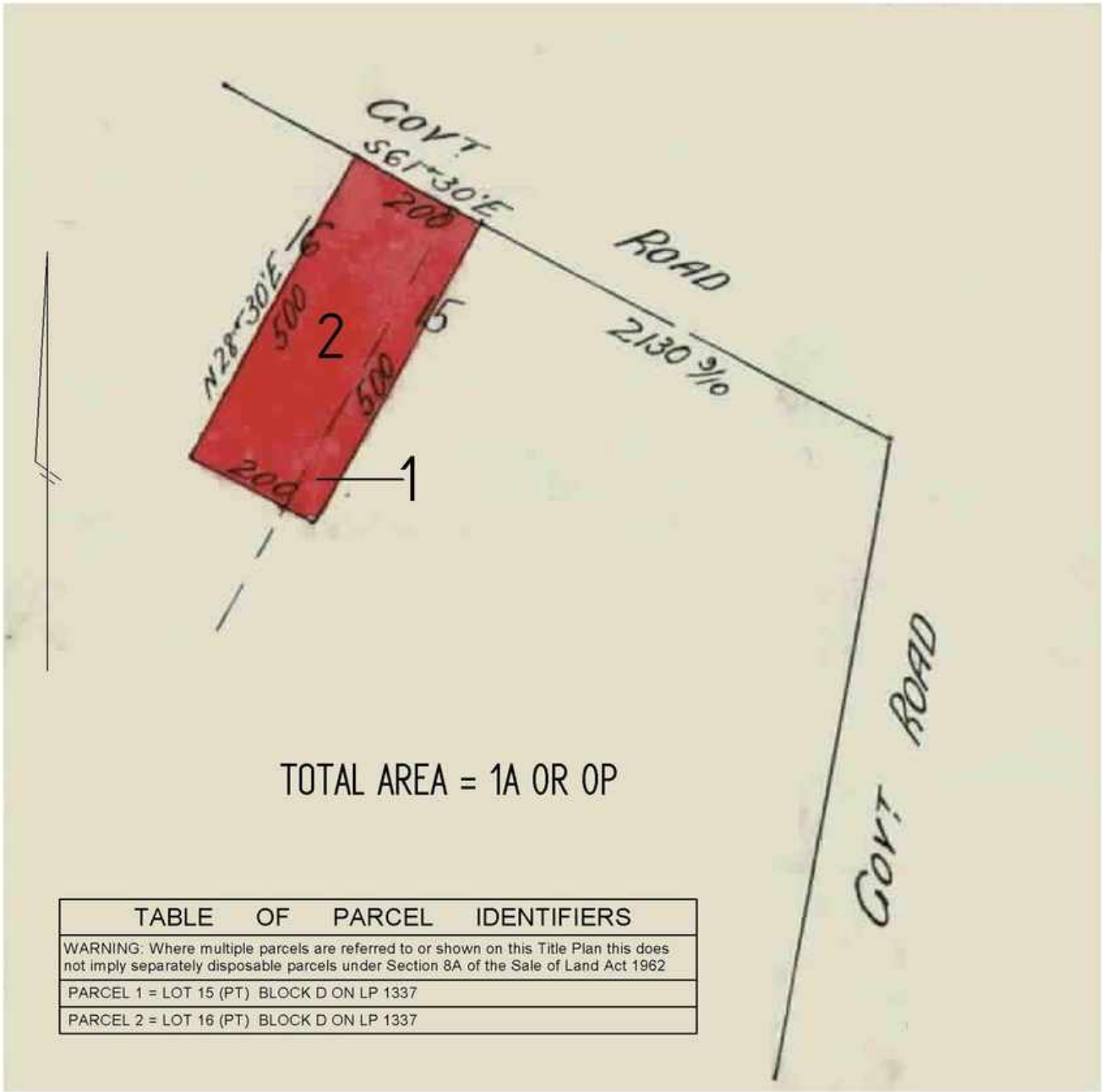
Document Type	Plan
Document Identification	TP617733C
Number of Pages (excluding this cover sheet)	1
Document Assembled	13/03/2025 14:18

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TITLE PLAN	EDITION 1	TP 617733C				
Location of Land Parish: NAR-NAR-GOON Township: Section: Crown Allotment: 46 (PT) Crown Portion: Last Plan Reference: LP 1337 Derived From: VOL 3842 FOL 237 Depth Limitation: NIL		Notations ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN				
Description of Land / Easement Information <div style="border: 1px solid red; padding: 5px; color: red; font-size: small;"> This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. </div>		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 30/08/2000 VERIFIED: AC				
						
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">TABLE OF PARCEL IDENTIFIERS</th> </tr> <tr> <td style="font-size: x-small;">WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</td> </tr> <tr> <td style="font-size: x-small;">PARCEL 1 = LOT 15 (PT) BLOCK D ON LP 1337</td> </tr> <tr> <td style="font-size: x-small;">PARCEL 2 = LOT 16 (PT) BLOCK D ON LP 1337</td> </tr> </table>			TABLE OF PARCEL IDENTIFIERS	WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962	PARCEL 1 = LOT 15 (PT) BLOCK D ON LP 1337	PARCEL 2 = LOT 16 (PT) BLOCK D ON LP 1337
TABLE OF PARCEL IDENTIFIERS						
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962						
PARCEL 1 = LOT 15 (PT) BLOCK D ON LP 1337						
PARCEL 2 = LOT 16 (PT) BLOCK D ON LP 1337						
LENGTHS ARE IN LINKS	Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 1 sheets				

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 10293 FOLIO 375

Security no : 124122805441D
Produced 13/03/2025 02:15 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 321189L.
PARENT TITLE Volume 10229 Folio 214
Created by instrument U287464J 01/07/1996

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
FREEMASONS VICTORIA HOLDINGS LTD of LEVEL 2 288 VICTORIA PARADE EAST
MELBOURNE VIC 3002
AY616995H 21/11/2024

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS321189L FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AY616993M (E)	WITHDRAWAL OF CAVEAT	Registered	21/11/2024
AY616994K (E)	WITHDRAWAL OF CAVEAT	Registered	21/11/2024
AY616995H (E)	TRANSFER	Registered	21/11/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 31 BALD HILL ROAD PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 18082T MCKEAN PARK
Effective from 21/11/2024

DOCUMENT END

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Document Type	Plan
Document Identification	PS321189L
Number of Pages (excluding this cover sheet)	4
Document Assembled	13/03/2025 14:15

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PLAN OF SUBDIVISION Under Section 35 of the Subdivision Act 1988		STAGE No. <div style="border: 1px solid black; width: 50px; height: 50px; margin: 0 auto;"></div>	LTO USE ONLY EDITION 2	PLAN NUMBER PS 321189 L
LOCATION OF LAND PARISH: Nar Nar Goon TOWNSHIP: _____ SECTION: _____ CROWN ALLOTMENT: _____ CROWN PORTION: 46 (Part) LTO BASE RECORD: Chart 2 (3272) TITLE REFERENCES: C/T V4211 F026 LAST PLAN REFERENCE/S: POSTAL ADDRESS: Bald Hill Road (At time of subdivision) Pakenham 3810 AMG Co-ordinates E 367250 ZONE: 55 (of approx centre of land in plan) N 5783750		COUNCIL CERTIFICATION AND ENDORSEMENT COUNCIL NAME: SHIRE OF PAKENHAM REF: 594/075 1. This plan is certified under Section 6 of the Subdivision Act 1988. 2. This plan is certified under Section 11(7) of the Subdivision Act 1988. Date of original certification under Section 6: _____ 3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988. OPEN SPACE (i) A requirement for public open space under Section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage _____ Council Delegate Council Seal Date 8 / 7 / 94 Re-certified under Section 11(7) of the Subdivision Act 1988. Council Delegate Council Seal Date _____		
VESTING OF ROADS AND/OR RESERVES Roads and reserves vest in the council/body/person named when the appropriate vesting date is recorded or transfer registered. Only roads and reserves marked thus (%) vest upon registration of this plan.		NOTATIONS STAGING This is is not a staged subdivision. Planning permit No. _____ DEPTH LIMITATION Nil Land to be acquired by agreement: Nil Land to be acquired by compulsory process: R1 All the land is to be acquired free from all encumbrances other than easements specified on this plan.		
IDENTIFIER Road R1	COUNCIL/BODY/PERSON Shire of Pakenham			
<div style="border: 1px solid red; padding: 5px; color: red; margin: 0 auto; width: 80%;"> This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. </div>				
SURVEY: THIS PLAN IS IS NOT BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) IN PROCLAIMED SURVEY AREA No.				
EASEMENT INFORMATION LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road) Easements marked (*) are created when the appropriate vesting date is recorded or transfer registered.				LTO USE ONLY STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT RECEIVED <input checked="" type="checkbox"/> DATE: 15 / 7 / 94
Easement Reference * R-1	Purpose Way, drainage, sewerage & the supply of water, electricity, telephone and gas.	Width (Metres) See sheet 2	Origin This plan	Land Benefited/In Favour Of Land in this plan
SLATTERY CONSULTANT SURVEYORS PTY LTD 40 Henry Street, Pakenham. Ph. (059) 41 1726 Fax. (059) 41 3436				LICENSED SURVEYOR (PRINT) Thomas O'Brien Slattery SIGNATURE _____ DATE 7 / 7 / 94 REF 2392 VERSION 2
SHEET 1 OF 3 SHEETS				LTO USE ONLY PLAN REGISTERED TIME DATE 28 / 12 / 94 Assistant Registrar of Titles COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3

PLAN OF SUBDIVISION

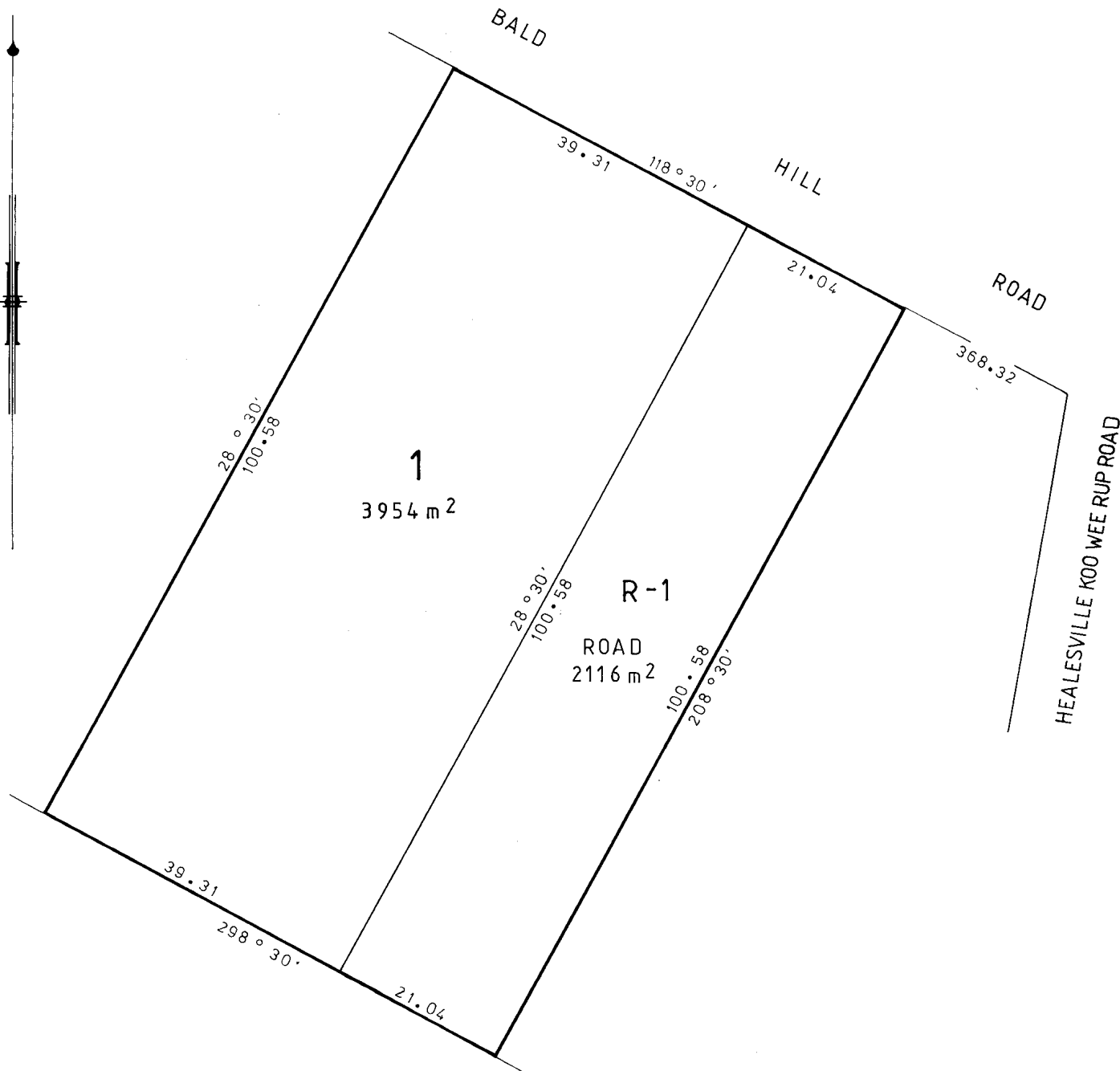
Under Section 35 of the Subdivision Act 1988

STAGE No.

PLAN NUMBER

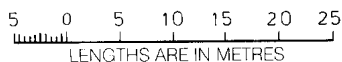
PS 321189 L

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SLATTERY CONSULTANT SURVEYORS PTY LTD

40 Henry Street, Pakenham.
Ph. (059) 41 1726 Fax. (059) 41 3436



ORIGINAL
SCALE SHEET
SIZE
1:500 A3

LICENSED SURVEYOR (PRINT) Thomas O'Brien Slattery
SIGNATURE DATE 7/9/94
REF 2392 VERSION 2

SHEET 2 OF 3 SHEETS

DATE 8/9/94
COUNCIL DELEGATE SIGNATURE

PLAN OF SUBDIVISION

Under Section 35 of the Subdivision Act 1988

STAGE No.

PLAN NUMBER

PS 321189L**VESTING DATES & TRANSFER REGISTRATION DATES OF ACQUIRED LAND**

Assistant Registrar of Titles Signature	L.T.O. reference of transfers or notifications of vesting dates T 446500W	Land acquired by agreement	Date of registration of transfer 8/12/94	Land acquired by compulsory process after registration of plan		Date of recording of vesting date	Land acquired by compulsory process prior to certification		Land affected R-1
				Govt Gaz	Page		Vesting date	Govt Gaz	

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**SLATTERY CONSULTANT
SURVEYORS PTY LTD**40 Henry Street, Pakenham.
Ph. (059) 41 1726 Fax. (059) 41 3436

ORIGINAL

SHEET
SIZE

A3

LICENSED SURVEYOR (PRINT) Thomas O'Brien Slattery

SIGNATURE DATE 7/9/94

REF 2392

VERSION 2

SHEET 3 OF 3 SHEETS

DATE 8/9/94

COUNCIL DELEGATE SIGNATURE

MODIFICATION TABLE
RECORD OF ALL ADDITIONS OR CHANGES
TO THE PLAN

PLAN NUMBER

PS 321189L

LAND	MODIFICATION	DEALING REFERENCE	DATE AND TIME ENTERED		NEW EDITION NUMBER	SIGNATURE OF ASSISTANT REGISTRAR OF TITLES
			DATE	TIME		
ROAD R1	VESTING	T446500 W			2	G.V.

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 09010 FOLIO 906

Security no : 124122805572L
Produced 13/03/2025 02:17 PM

LAND DESCRIPTION

Lot 7 on Plan of Subdivision 009751.
PARENT TITLE Volume 08978 Folio 566
Created by instrument F110483 29/11/1973

REGISTERED PROPRIETOR

Estate Fee Simple
TENANTS IN COMMON
As to 1 of a total of 3 equal undivided shares
Sole Proprietor
TELANTONE PTY LTD of FACTORY 4 9-11 VESPER DRIVE NARRE WARREN VIC 3805
As to 1 of a total of 3 equal undivided shares
Sole Proprietor
GRIMMA PTY LTD of FACTORY 4 9-11 VESPER DRIVE NARRE WARREN VIC 3805
As to 1 of a total of 3 equal undivided shares
Sole Proprietor
MARCARDIA PTY LTD of 30 MARKET LANE NARRE WARREN SOUTH VIC 3805
AY561404N 04/11/2024

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP009751 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

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-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 27 BALD HILL ROAD PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 20277P ROGER YELLAND & CO.
Effective from 04/11/2024

DOCUMENT END

Imaged Document Cover Sheet

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Document Identification	LP009751
Number of Pages (excluding this cover sheet)	1
Document Assembled	13/03/2025 14:17

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PLAN OF
Subdivision of part of Crown Allot. 46
PARISH OF NAR NAR GOON

COUNTY OF MORNINGTON
VOL. 3212 FOL. 245

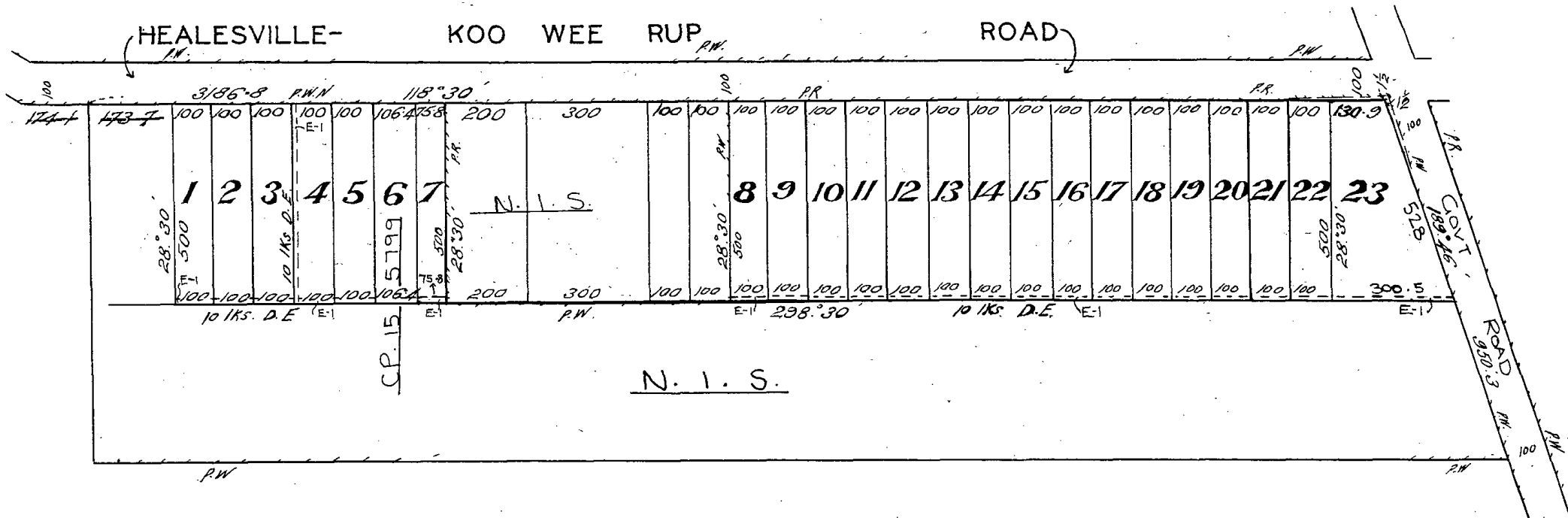
Measurements are in Links
Conversion Factor
LINKS x 0.201168 = METRES

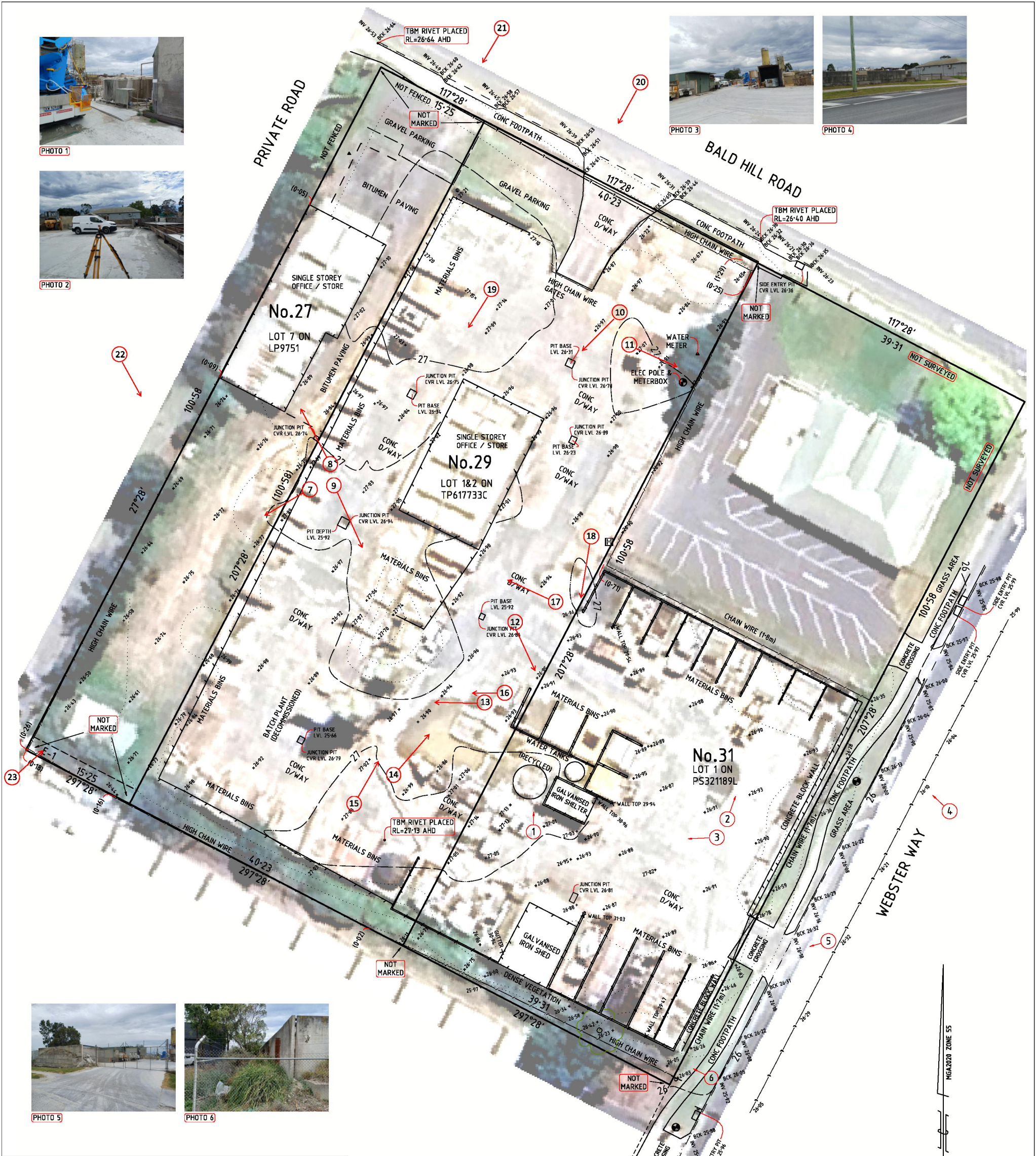
COLOUR CODE

E-1 = BLUE

STREET NAME AMENDED
FROM GOVT. ROAD
TO HEALESVILLE – KOO WEE RUP ROAD
VIDE CORR.73/13424

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OFFICE USE ONLY	
NOTATIONS	CERTIFICATION BY SURVEYOR
LAND SUBJECT TO ENCUMBRANCE	I, JEREMY C. PEARCE of 161 SYDNEY ROAD, COBURG, 3058 certify that this plan has been prepared from a survey made under my direction and supervision in accordance with the <i>Surveying Act 2004</i> and completed on 20/03/2025, that this plan is accurate and correctly represents the adopted boundaries and that the survey accuracy accords with that required by regulation 7(1) of the <i>Surveyors (Cadastral Surveys) Regulations 2015</i> .
E-1 DRAINAGE EASEMENT (2.01m WIDE)	
OTHER	
FENCING & TITLE MARKS ARE NOT SHOWN TO SCALE	Date: 25/03/2025
AGES OF FENCING/STRUCTURES ARE ESTIMATES ONLY	
TITLE BOUNDARIES ARE THICK LINES ADD "02" FOR TITLE BEARINGS	LICENSED SURVEYOR Surveying Act 2004
OFFICE USE ONLY	
VICTORIA	

- Legend:**
- ① PHOTO NUMBER, LOCATION & DIRECTION
 - OVERHEAD SUPPLY (ELECTRICITY)
 - OVERHEAD SUPPLY (TELECOMMUNICATIONS)
 - DIGITISED FROM AERIAL IMAGERY
 - VEGETATION
 - STREET SIGN
 - GAS METER
 - WATER METER
 - ELECTRICITY POLE
 - TELEPHONE PIT
 - GATE / ROLLER DOOR
 - WINDOW / NON HABITABLE / UPPER WINDOW

Notations:

LEVELS SHOWN THUS ARE TO THE AUSTRALIAN HEIGHT DATUM IN METRES BASED ON GNSS RTK OBSERVATIONS & NAR-NAR-GOON PM328, RL=23-837

CONTOUR INTERVAL IS 0.2 METRES

ONLY VISIBLE SERVICES ARE SHOWN ON THIS PLAN

FENCING SHOWN IS TO SCALE

Parish: Nar-Nar-Goon

Section: -

Crown Allotment: 46 (part)

Crown Portion: -

Site Address: 27-31 Bald Hill Road, Pakenham

Certificate of Title: Vol 3842 Fol 237, Vol 9010 Fol 906 & Vol 10293 Fol 375

Last Plan Reference: Lot 1 & 2 on TP617733C, Lot 7 on LP9751 & Lot 1 on PS321189L

Surveyor: [Redacted]

Date of Survey: 01/11/2024 & 20/03/2025

Client: RCL Consultants

Project: Batching Plant Replacement

Details: Plan of Survey, Features and Levels

SCALE

2.5 0 5 10

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE A1	SCALE 1:250	REF 5899 Drawing Vers. 2 (JZ)
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adept SURVEYS

Adept Surveys Pty Ltd
161 Sydney Road
Coburg 3058
PO Box 45 Moreland 3058
Ph: (03) 9383 7878
A.C.N. 152 478 503

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Application Report

27 to 31 Bald Hill Road, Pakenham

Title Particulars

Refer Attachment 4 for copies of Certificates of Title. Property details as follows:

No.27 Bald Hill Road, Pakenham **Vol.** 09010 **Fol.** 906
Lot 7 on PS 009751

No. 29 Bald Hill Road, Pakenham **Vol.** 3842 **Fol.** 237
Lots 1 & 2 on TP 617733C
(formerly known as lot 15 Block D on PS 01337, part Lot 16 Block D on PS 01337)

No. 31 Bald Hill Road, Pakenham (part) **Vol.** 10293 **Fol.** 375
Lot 1 on PS 321189L

1.0 Proposal

This application is to:

1. Replace and relocate the existing concrete batching plant;
2. Incorporate No. 27 Bald Hill Road into the current site – including demolition of the existing structure; and
3. Reconfigure material bins and travel paths on the site.

Refer Section 2 for assessment of current conditions and permits relating to No.s 29 – 31 Bald Hill Road, Pakenham.

Refer Attachments 1 and 2 for existing conditions and development plans.

Using the most current permit conditions and stamped plan as a key point of reference, the following changes are proposed.

Note that, consistent with the existing, the proposed batching plant will produce greater than 5,000t per annum.

1.1 Changes to Current Stamped Plan – T 01 0435

Replace the existing stamped plan with the plan submitted with this application:

Site Development Plan – DD01 – Proposed Concrete batch Plant – Amendment E (17 April 2025) – Refer Attachment 2

Refer Section 3.0 of this report for a summary of changes.

1.2 Changes to Current Permit – T 20515

If No.27 Bald Hill Road did not form part of the current application consideration would be limited to an alteration to the existing stamped plan and minor changes to conditions.

Although none of the concrete batching plant will be constructed on No. 27 Bald Hill Road, the vehicle travel paths, wash bays and water storage are to be located on that portion of the site.

The site currently operates without issue or complaint from surrounding properties. The proposed changes will result in a more efficient operation, improved access plan and more visually pleasing outlook from the public domain.

Accordingly using the current permit as a baseline, is considered appropriate. The following changes, to that permit, are proposed.

Address of the Land – change

From Part Lots 15 & 16, LP 1337 & Part Lot, LP 321189, 29 Bald Hill Road, Pakenham

To 27 Bald Hill Road, Pakenham (L7 LP9751), 29 Bald Hill Road, Pakenham (L1-2 TP617733), and Part 31 Bald Hill Road, Pakenham (Part L1 PS321189)

The Permit Allows – change

From Increase in hours of operation for existing garden supplies, including ancillary sale of timber and firewood and concrete mixing plant with associated car parking, advertising signs and landscaping.

To Concrete batching, garden supplies, related concrete dispatch and sales, and ancillary buildings, parking and operating hours.

Reason The current permit provides an inadequate description.

Condition 3 a)

From The area set aside on the approved plans for access and car parks must have been constructed with crushed rock or gravel; of adequate thickness, drained and delineated to the satisfaction of the Responsible Authority.

To The area set aside on the approved plans for access and car parks must have been constructed with concrete; drained and delineated to the satisfaction of the Responsible Authority.

Reason The change accords with the current surfacing material and standards. All travel paths and parking areas are currently, and will be, sealed with concrete. Any surfaces disturbed by the proposed alterations will be sealed using concrete. Concrete provides a superior surface for dust management, compared to a surface sealed with crushed rock.

Condition 12

From All ingress and egress from the site by concrete mix trucks must be via the unconstructed Council road (*Websters Way*) located along the eastern boundary of the site, which intersects with Bald Hill Road.

To Delete

Reason At the time that the original permit was issued it appears that the roads servicing the site were partially constructed potentially leading to ad hoc access arrangement. The roads are now all constructed and the travel paths are clearly defined on the development plan, making this condition unnecessary. Refer Traffic Impact Assessment Report

2.0 Relevant Planning Permits

For the purposes of the current application the following permits and plans have been used as a baseline relevant to the existing Use, character and operation at No.29 to 31 (rear) Bald Hill Road (*refer Attachment 3*):

Permit Number T 20515 – Increase in hours of operation for the existing garden supplies, including ancillary sale of timber and firewood and concrete mixing plant with associated car parking, advertising signs and landscaping

Stamped Plan associated with Planning Permit No. **T01 0435** – the layout of the site is consistent with that identified in this stamped plan.

Consideration of **historic permits** is as follows:

No. 29 to 31 (rear) Bald Hill Road, Pakenham

A number of permits have been issued relevant to the operation and layout of No.29 Bald Hill Road and the rear of 31 Bald Hill Road. Chronology and summary as follows:

Permit No. P 1127E **Date of Issue** 18 November 1988

Construction of an office and showroom generally in accordance with the submitted plan. (*plan not available from Council records*).

Permit No. P1127A **Date of Issue** 3 July 1989

Amendment to P1127E establishing “the use and development...” “...for the purpose of a minimix plant, generally in accordance with the approved plans” (*plans not available from Council records*)

Permit No. T010435 **Date of Issue** 21 January 2002

Superseded previous permits – permit for “the use and development of the plan for the purpose of garden supplies, including ancillary sale of timber and firewood, and a minimax plant with associated landscaping and car parking generally in accordance with the approved plans.”

Refer **Attachment 3** for the associated stamped plan – assessed as current.

Permit No. T020515 **Date of Issue** 16 December 2002

Amended T010435 and is the current permit relevant to the use of the site – permit to “increase the hours of operation for the existing garden supplies including ancillary sale of timber and firewood, and concrete mixing plant with associated car parking, advertising signs and landscaping.”

A search of Council records has not shown up a stamped plan relevant to this permit number. It is considered that the stamped plan associated with T010435 forms part of this permit approval as:

- The current site layout is consistent with the plan; and
- Permit T020515 is clearly an amendment to T010435

No. 27 Bald Hill Road, Pakenham

There is no permit within Council records relevant to the structures and use of No. 27 Bald Hill Road, Pakenham.

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3.0 Scope of Work - Comparison and Improvements

The proposal has a limited impact on the rear of No.31 Bald Hill Road.

The concrete plant is located on No.29 Bald Hill Road. The plant is coming to the end of its operational life. This application provides for replacement and relocation of the loading point and expansion of the site by incorporation of No.27 Bald Hill Road.

A summary of the proposed changes in Figure 1

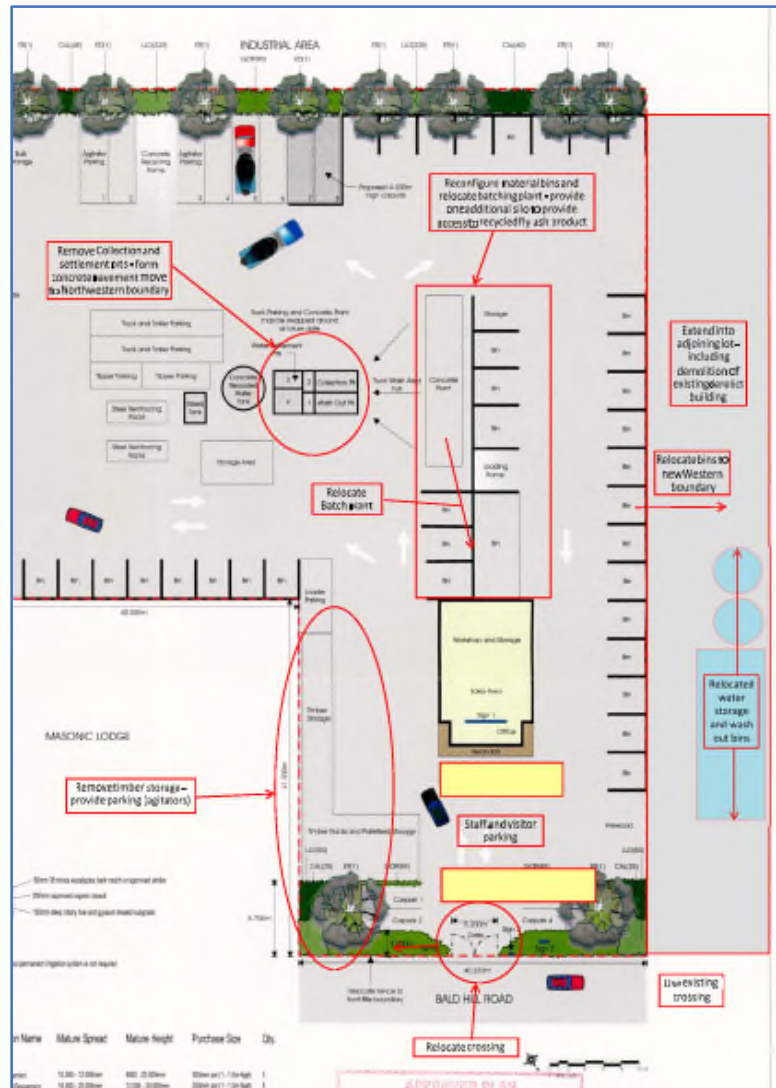


Figure 1 – Summary of Changes

Figure 1 is a notated copy of the current stamped plan which provides a visual description of the proposed changes. These changes include:

- Incorporation of No. 27 Bald Hill Road into the site;
- Installation of a new concrete batching plant. The new plant is to be closer to the existing store/office building – physically further away from sensitive uses;
- Three silos instead of the current 2. The additional silo will enable the operator to provide access to a ‘fly ash’ mix - fly ash is a waste product that can be recycled in concrete;
- Reconfiguration of the site to provide safer, more efficient internal traffic movements. Refer to the development plans which show a one-way traffic flow through the site;

- Relocation and increase in size of the wash out and water storage areas;
- Relocation of the existing concrete vehicle crossings to align with the new site configuration. No change to the number of crossings;
- Reconfiguration of ground level storage bins;
- Removal of the timber storage area from No. 29 Bald Hill Road;
- Alteration to vehicle and truck parking areas.

Site Operation

All sales are currently, and will continue to be, via phone or the business website. Orders are placed using these two points of contact only. No parking is therefore required to service the sales function of the site.

Refer further detail in Section 5 Parking.

Planning Controls

The following planning controls apply to the subject property – *refer Planning Property Report - Attachment 5.*

Industrial 1 Zone – (IN1Z)

Existing use right associated with the concrete batching on No.s 29 – 31 Bald Hill Road, Pakenham.

The Use does not extend to No. 27 Bald Hill Road, accordingly consideration has been given to Use Provisions as they apply to this portion of the property.

In this location concrete batching is a permitted Use with a permit.

Concrete batching is a Section 1 Use subject to being sited greater than the distance shown in Section 53.10 - specifies a separation distance of 300m. The closest sensitive Use (*residential*) is located approx. 80m south of the site.

Land Subject to Inundation Overlay (LSIO) – (Northern portion only) not relevant to the current application.

The overlay provides triggers to require application for a planning permit. In this case works are to be undertaken within the portion of the site that is affected by the overlay, and so consideration is to be given to the provisions of the overlay as they relate to that portion of the site.

4.0 Permissions Sought

A change of Use is limited and applicable to No. 27 Bald Hill Road only, and Buildings and Works apply to No.s 27 to 29 Bald Hill Road – per the development Plan.

Concrete batching is an Industry Use.

No. 27 Bald Hill Road Only

Clause 33.01-1 (IN1Z) – Use of land for Industry

Total Site

Clause 33.01-4 (IN1Z) – Construct a building or construct or carry out works

Clause 44.04-2 (LSIO) – Construct a building or construct or carry out works

The existing Use was legally established and has been operating in its current form for more than 15 years on No.s 29 and 31 Bald Hill Road – the existing Use Right therefore recognises the local operational baseline.

5.0 Response to Cardinia Planning Scheme Policies

Clause 31.07-1 S – Land Use Compatibility

Objective

To protect community amenity, human health and safety while facilitating appropriate commercial, industrial, infrastructure or other uses with potential adverse off-site impacts.

Response

A concrete batching plant is appropriately sited within an Industrial 1 Zone. The Use is existing on the primary portion of the site and is only under consideration due to the inclusion of No.27 Bald Hill Road. No portion of the proposed concrete batching plant will be sited on No.27.

The replacement concrete batching plant will be operationally more efficient, providing improved production and management.

Site work, which includes demolition of the derelict building on No.27 Bald Hill Road will result in an improved visual appeal of the site from the public domain.

The site is located 80m north of residential uses. There is no history of complaints – the proposal improves on a site that is appropriately located.

Clause 17.03-2S – Land Use Compatibility

Objective

To facilitate the sustainable operation of industry.

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Response

Concrete batching is appropriately located within an Industrial 1 Zone and has operated in the location for over 30 years.

There is no history of issue or complaint, and the new plant will be quieter and more efficient. All conveyors and loading points will be sealed or covered.

Work to refresh the site will improve travel surfaces and reduce the potential to generate dust.

The site perfectly located to service the local community.

Clause 21.01 – Snapshot of Cardinia

Objective

Contribution to the sustainability of the Cardinia communities.

Response

The site is located in Pakenham in the Princes Highway corridor and within the growth corridor.

The existing concrete batching operation has serviced the Pakenham and surrounding areas since 1989. The new plant and site layout will facilitate continuation of the service and the minor revision of the site will substantially improve the visual presentation of the site to the public domain.

Clause 21.01-4 - Strategic Vision**Objective**

Cardinia Shire will be developed in a planned manner to enable present and future generations to live healthy and productive lives and to enjoy the richness of the diverse and distinctive characteristics of the Shire.

Response

Cardinia Shire has been strategically planned, laying out locations suited for all facets required to build a sustainable community.

The Industrial 1 Zone has been specifically set for heavy industry to support building, capital growth and economic viability.

The zone provides local employment opportunities and local access to resources necessary to underpin growth of the community.

Concrete batching is appropriately located within the Industrial 1 Zone.

The existing concrete plant needs to be replaced in order to continue provide local employment and the service to the local community.

Clause 52.05 - Signs

No new signage is proposed as part of this application.

Clause 52.06 – Car Parking**Objective**

To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.

Response

The gross floor area of the existing building will not vary as a result of the proposal.

Based on a Column A rate, 2.9 spaces are required per 100 m² floor area. The existing building is 174.25 m² - implies a total of 5 parking spaces.

The existing plan shows 4 parking spaces within the portion of the site impacted by this application. Twelve spaces are proposed for visitor and staff parking – exceeding the Cardinia Shire parking objective.

There is also provision for formal and informal truck parking on site, as follows:

- Formal truck parking is shown on the development plan.
- Informal truck parking (*generally overnight*) exceeding the number of formal spaces will be parked in locations around the site.

Parking allowance is based on one space per staff member. Ten staff are to be working out of the site at any one time. The staffing is made up of:

8 drivers; and

2 administrative/operational staff

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Parking has been provided based on a 'worst case' to meet staff parking demand – the current proposal provides for 12 spaces in total - 10 spaces for staff, and 2 spaces for visitors.

Plans show dimensions of all spaces and travel paths.

Clause 52.34 – Bicycle Facilities

Requirement

A new Use must not commence or the floor area of an existing Use must not be increased until the required bicycle facilities and associated signage has been provided on the land.

Where the floor area occupied by an existing Use is increased, the requirement for bicycle facilities only applies to the increased floor area of the Use.

Response

The gross floor area of the existing building will not vary as a result of the proposal.

No portion of the existing building is located within No.27 Bald Hill Road to which the change of Use applies.

The proposal has been assessed as being exempt from the requirement.

Clause 53.10 – Uses and Activities with Potential Adverse Impacts

Purpose

To identify those types of uses and activities, which if not appropriately designed and located, may cause offence or unacceptable risk to the neighbourhood.

Response

Concrete Batching is a Use listed in Table 53.10-1. The Threshold distance is 300m. The closest sensitive Use is 80m south of the property.

The site is to be made up of three properties. An existing Use right applies to No.s 29 & 31. That right does not apply to No.27 Bald Hill Road - to be added to improve traffic circulation and operation of the site.

This application proposes to upgrade and install plant in a new location. The functional portion of the operation – which includes the plant, loading and batching - will remain on No. 29 Bald Hill Road where there is an established, existing Use (*established in 1989*).

The new plant and site layout provides greater separation to sensitive Uses, a reduction in noise, dust and operation. Consideration as follows:

Separation Distances

The centre of activity for a concrete batching plant is the load point. Although separation distance in 53.10 relates to the separation to the site, consideration to the centre of activity is relevant when considering the source of noise dust or other potential impacts on surrounding Uses.

It is important to note that:

- the plant associated with the existing Use will remain on the portion of the site that has an existing Use right - No.29 Bald Hill Road; and
- the existing Use, when considering that application, is the established baseline relevant to this site and the local area.

Accordingly, it is suggested that any improvement of the site will also provide an improved local amenity.

Distances relevant to this application are as follows:

- 300m 53.10 Threshold Distance
- 80m Distance from property line to a sensitive zone
- 100m Distance from load point of existing plant to a sensitive zone
- 125m Distance from the proposed location of the load point to a sensitive zone

The important consideration here is that the site, on which the plant is to be located has an established existing Use right. No portion of the operational portion of the Use will be located on No. 27 Bald Hill Road to which consideration of Use is applicable.

No. 27 Bald Hill will be used for storage of materials, wash out area, water storage and traffic circulation only.

Noise

The new plant will provide improved noise management – refer comparison table

	Existing	Proposed
Separation Distances	The physical location of the batching point is 100m (<i>approx.</i>) from the closest sensitive Use.	125m (<i>approx.</i>) - 25% further away
Truck Noise	Trucks to reverse under the load point – each reversing movement engages reversing beepers and other related noise.	Trucks to drive under the load point, load and exit without the need to reverse. Reducing noise generated by traffic on the site.
Plant Operation	Existing plant is close to life end – accordingly motors and operational parts can be noisy and outdated.	The proposed plant is new with the latest technology and noise management systems.

Dust

The new conveyor, used to transfer material to the batch plant, is to be covered to assist with managing dust generated from dry material.

Cracks and breaches in the current site pavements catch dust and make it difficult to maintain a dust free environment.

All surfaces in and around the batching plant to remove locations where dust can catch, becoming airborne with traffic movement.

The predominant travel path on the site will also be shorter due to the plant and loading point being relocated closer to the Bald Hill Road (*northern*) end of the site. The shorter travel paths minimise risk associated with dust becoming airborne from traffic movement.

Larger, appropriately sized wash bays are also proposed on the western boundary of No. 27 Bald Hill – these will be used to ensure that all plant is washed – minimising their contribution to dust generation.

Clause 65 – Decision Guidelines

The preceding details provides detail relating to the scope of the current application, and how potential impacts have been addressed and/or considered.

It will be noted that the application relies on an understanding that:

- The property is to be made up of three properties, of which 2 have an existing Use right for concrete batching.
- The new batching plant is to be constructed within No. 29 Bald Hill Road on which the existing applies – no portion will extend onto No. 27 Bald Hill Road.
- No. 27 Bald Hill will be used for traffic circulation, material storage, water storage and washout areas.

The existing plant has been operating within the local area since 1989 – it is suggested that the site, in its current form, provides the local baseline on which decisions should be made.

Comparatively the new plant and revised site layout will:

- improve noise and dust management; and
- a significantly improved visual impact from the public domain.

The applicant wishes to work with the Council to achieve the local improvement that this proposal offers.

For further detail refer to:

Attachment 1 - Existing Conditions Plans and Photo Record

Attachment 2 - Development Plan

Attachment 3a - Current Permit - Number T 20515

Attachment 3b - Current Stamped Plan T01 0435

Attachment 4 - Certificates of Title

Attachment 5 – Planning Report

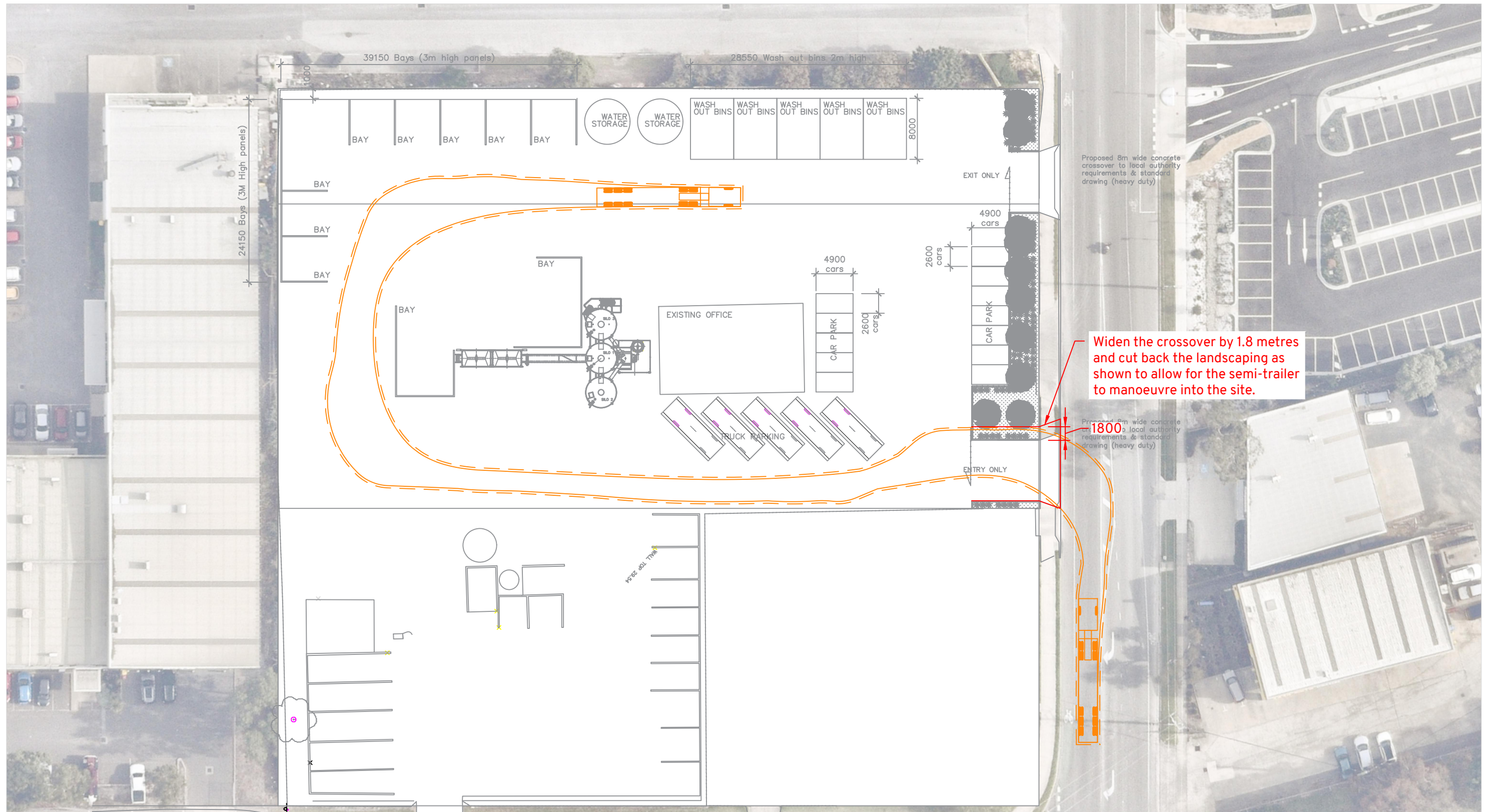
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Attachment 1

Turning Movement Diagrams

Amber – 11 July 2025

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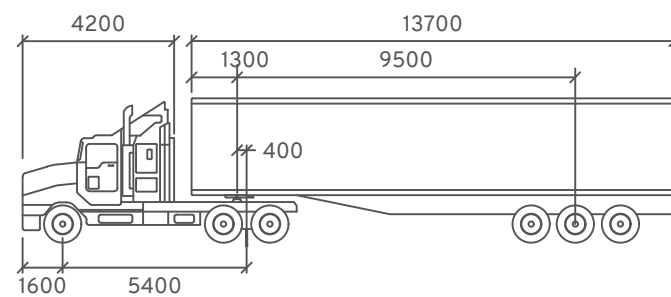
Vehicle Envelope

300mm Clearance

Reverse Manoeuvre

Min. Design Speed 5km/h

AV



Tractor Width	: 2500
Trailer Width	: 2500
Tractor Track	: 2500
Trailer Track	: 2500
Lock to Lock	: 6.0s
Steering Angle	: 28.3
Articulating Angle	: 70.0



27 Bald Hill Road, Pakenham VIC 3810

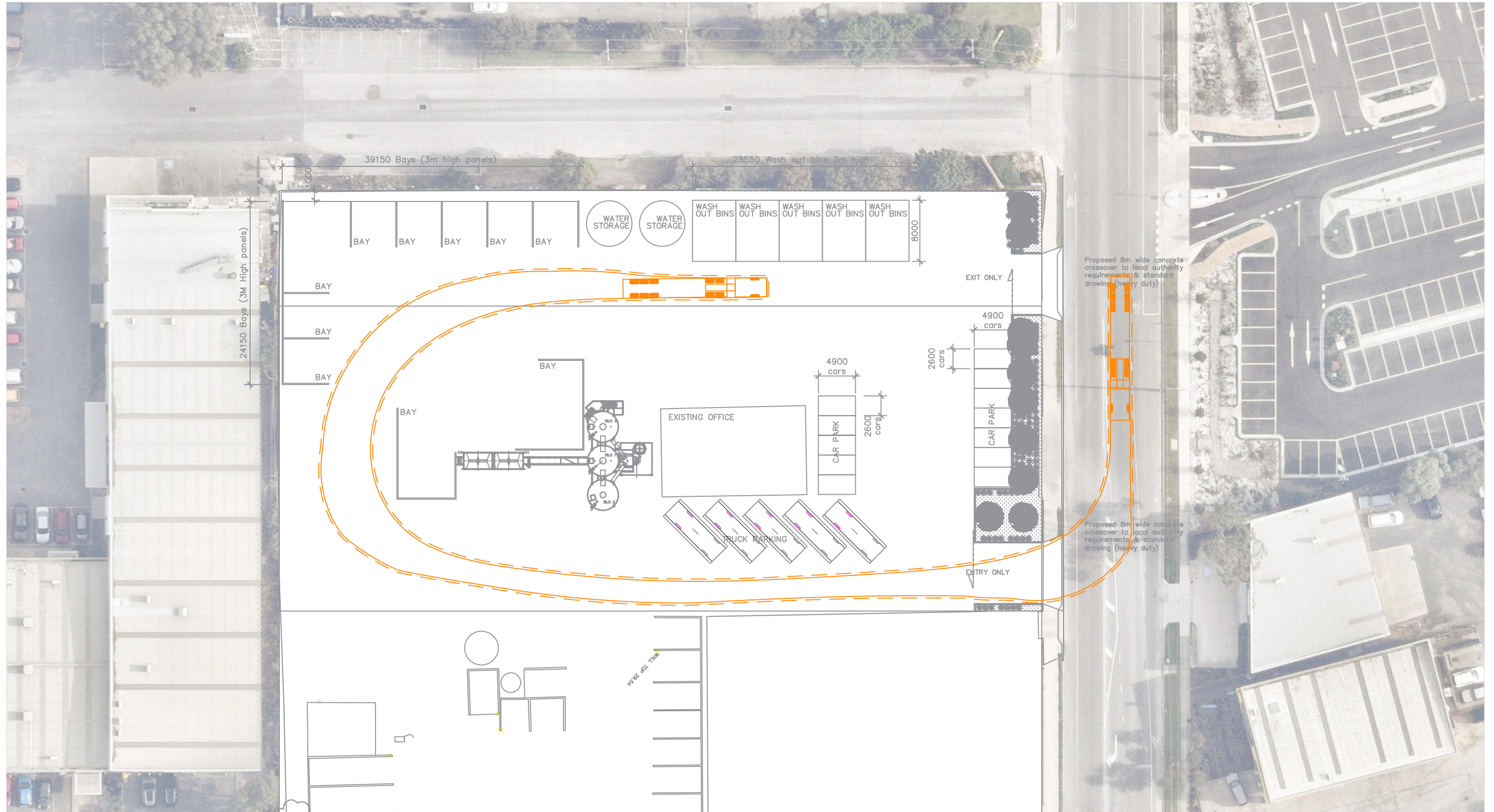
Concrete Plant

Swept Path Assessment

DRAWN: WC
DATE: 22/08/2025
DWG NO: 1331 S01B
SCALE at A3: 1:500

Amber 02

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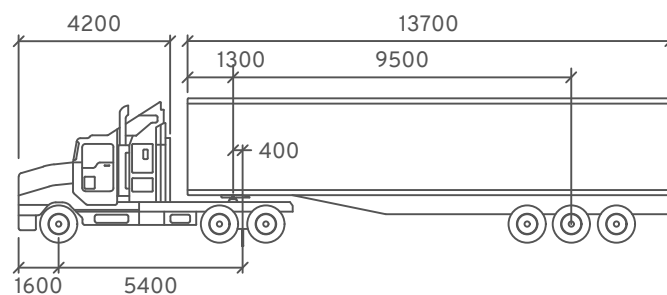
Vehicle Envelope

300mm Clearance

Reverse Manoeuvre

Min. Design Speed 5km/h

AV



Tractor Width	: 2500
Trailer Width	: 2500
Tractor Track	: 2500
Trailer Track	: 2500
Lock to Lock	: 6.0s
Steering Angle	: 28.3
Articulating Angle	: 70.0



27 Bald Hill Road, Pakenham VIC 3810

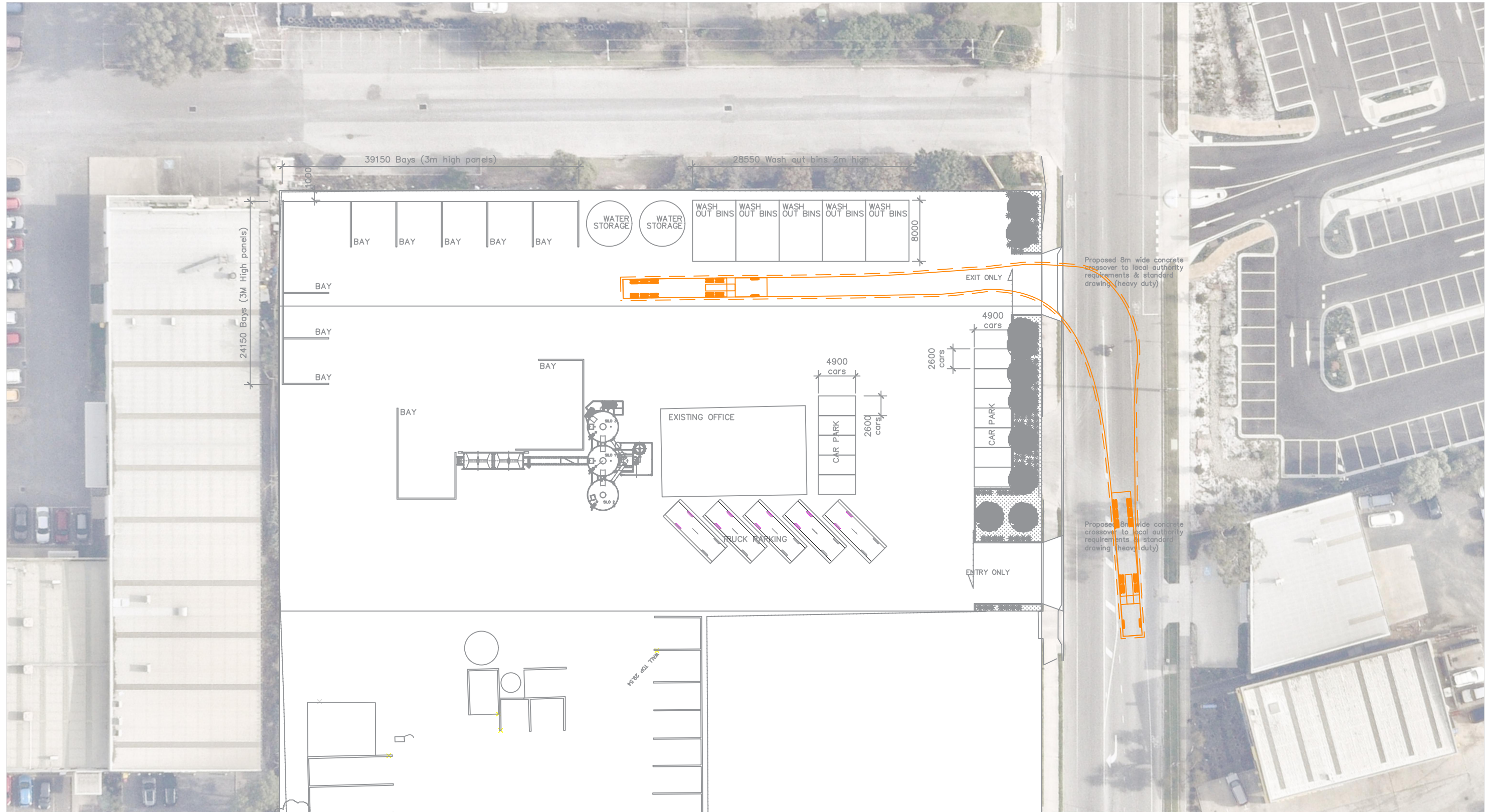
Concrete Plant

Swept Path Assessment

DRAWN: WC
DATE: 11/07/2025
DWG NO: 1331 S01A
SCALE at A3: 1:500

Amber 01

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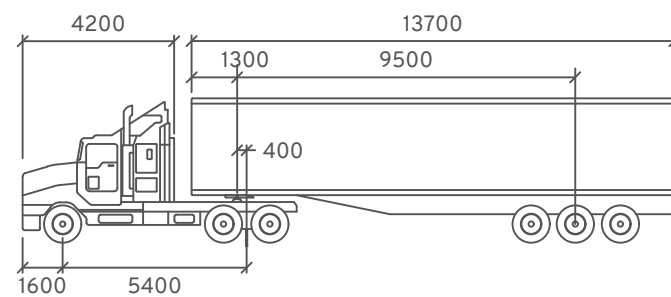
Vehicle Envelope

300mm Clearance

Reverse Manoeuvre

Min. Design Speed 5km/h

AV



Tractor Width : 2500
Trailer Width : 2500
Tractor Track : 2500
Trailer Track : 2500
Lock to Lock : 6.0s
Steering Angle : 28.3
Articulating Angle : 70.0



27 Bald Hill Road, Pakenham VIC 3810

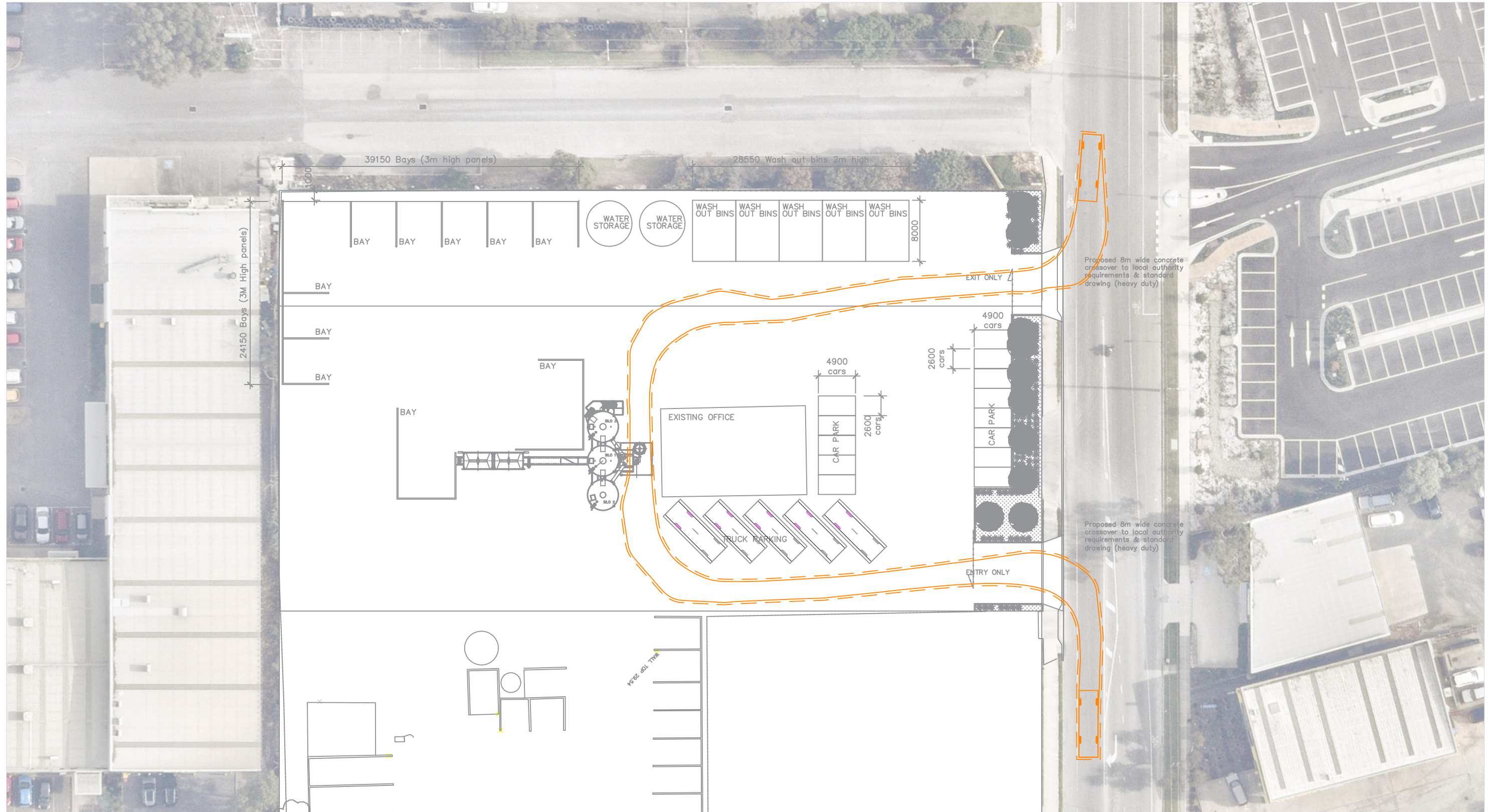
Concrete Plant

Swept Path Assessment

DRAWN: WC
DATE: 11/07/2025
DWG NO: 1331 S01A
SCALE at A3: 1:500

Amber 02

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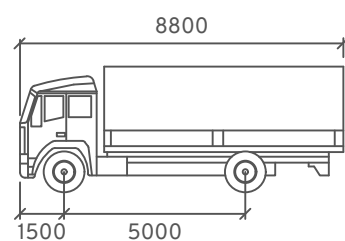
Vehicle Envelope

300mm Clearance

Reverse Manoeuvre

Min. Design Speed 5km/h

MRV



Width : 2500
Track : 2500
Lock to Lock : 6.0s
Steering Angle : 34.0

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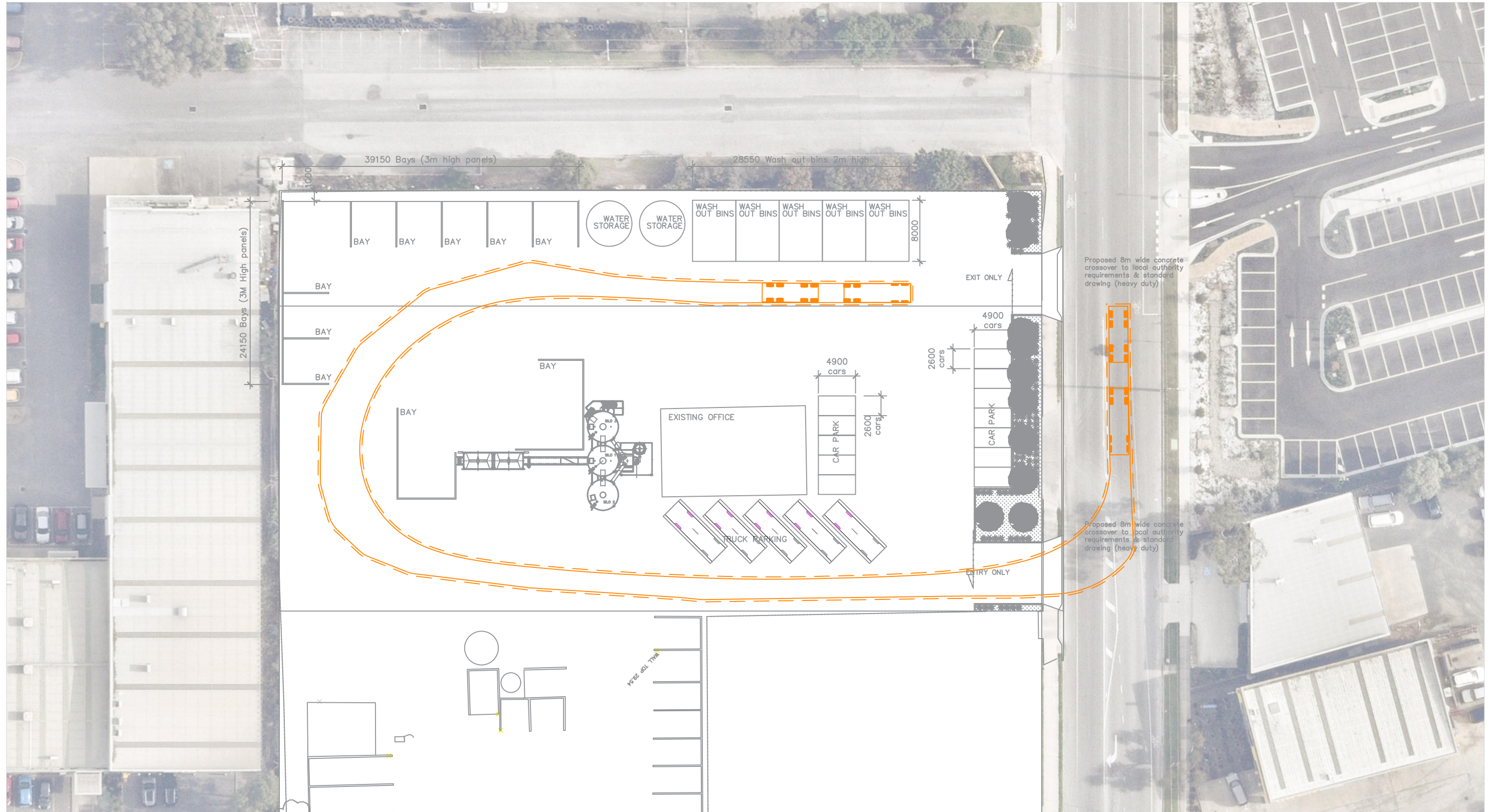
27 Bald Hill Road, Pakenham VIC 3810

Concrete Plant

Swept Path Assessment

DRAWN: WC
DATE: 11/07/2025
DWG NO: 1331 S01A
SCALE at A3: 1:500

Amber 03

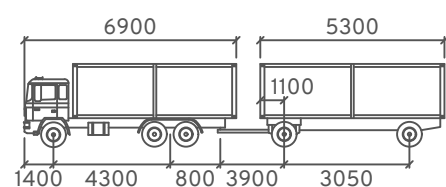


Vehicle Envelope

300mm Clearance

Reverse Manoeuvre

Min. Design Speed 5km/h



Truck and Dog

Width : 2500
Track : 2500
Overall Length : 19000
Lock to Lock : 6.0s
Steering Angle : 30.0
Articulation Angle : 70.0

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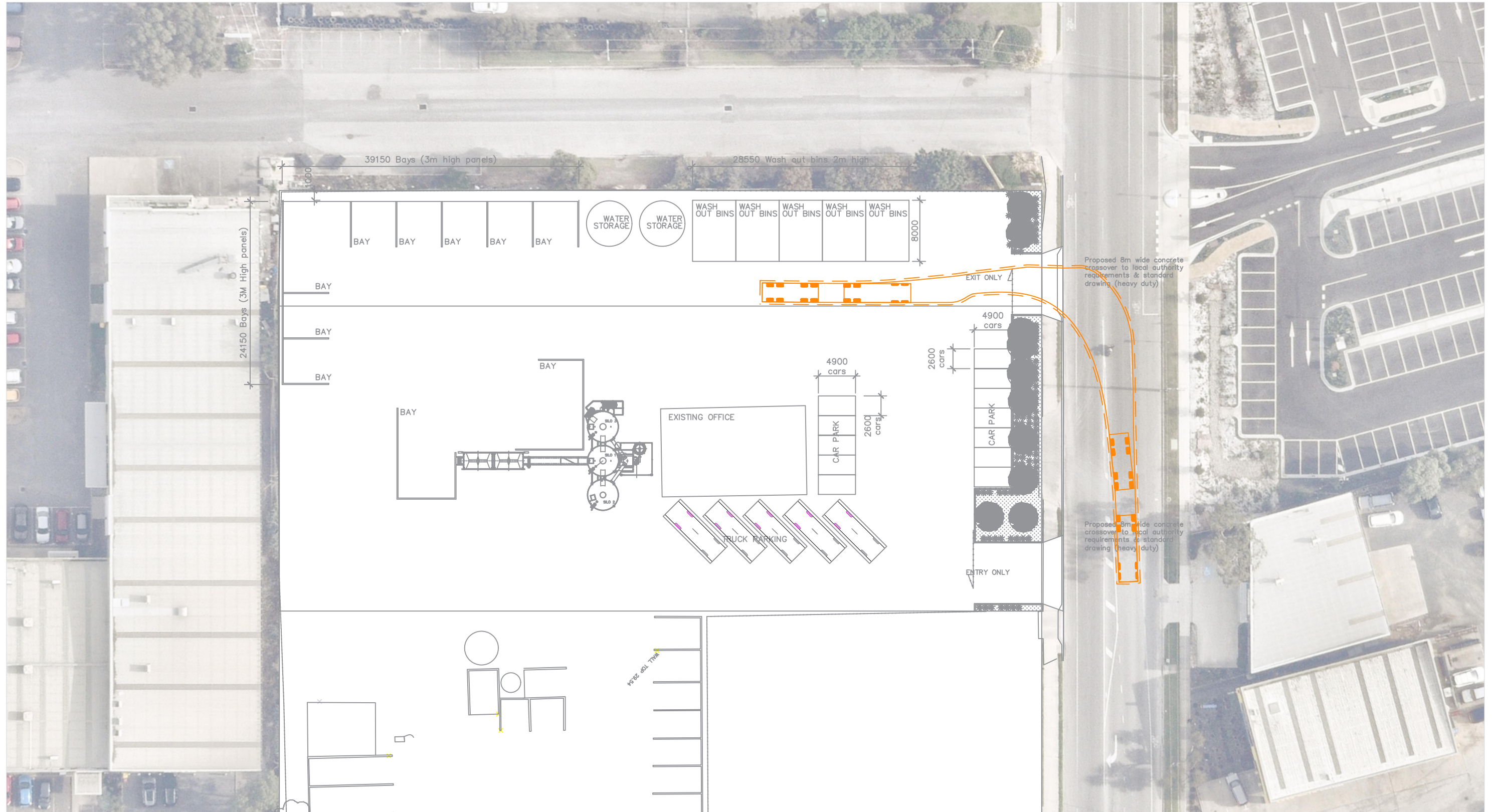


27 Bald Hill Road, Pakenham VIC 3810

Concrete Plant

Swept Path Assessment

DRAWN: WC
DATE: 11/07/2025
DWG NO: 1331 S01A
SCALE at A3: 1:500

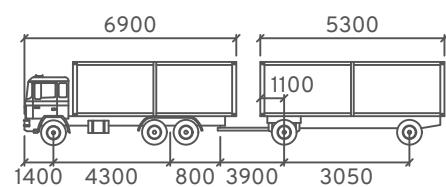


Vehicle Envelope

300mm Clearance

Reverse Manoeuvre

Min. Design Speed 5km/h



Truck and Dog

Width : 2500
Track : 2500
Overall Length : 19000
Lock to Lock : 6.0s
Steering Angle : 30.0
Articulation Angle : 70.0

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27 Bald Hill Road, Pakenham VIC 3810

Concrete Plant

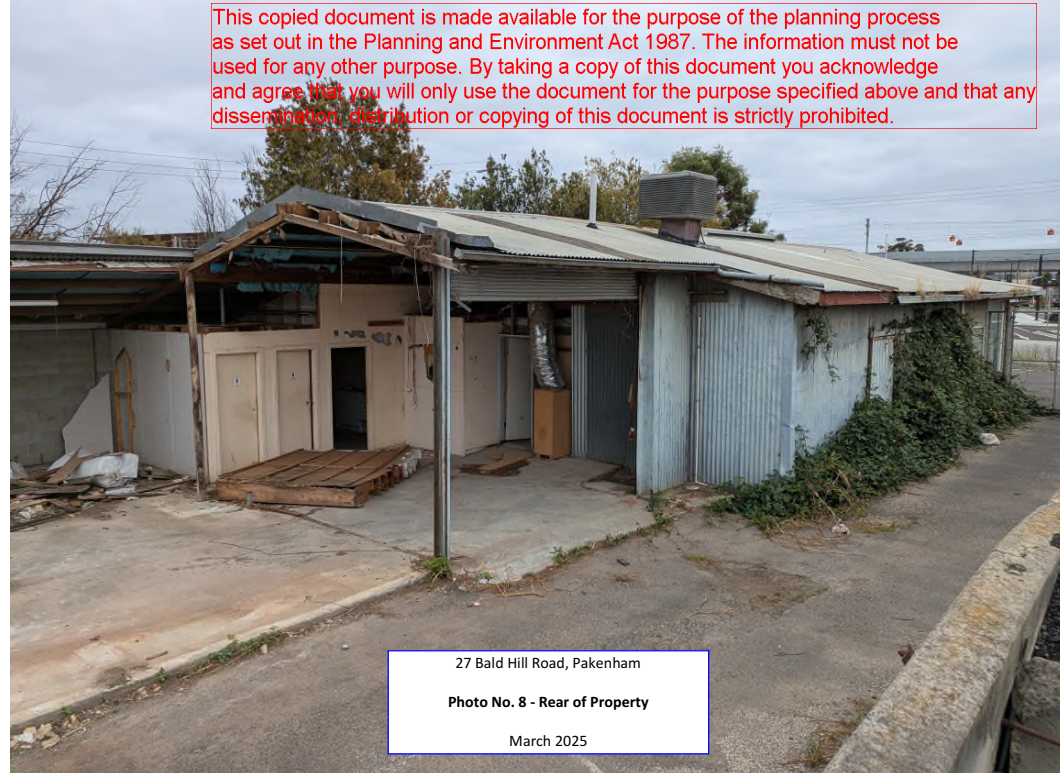
Swept Path Assessment

DRAWN: WC
DATE: 11/07/2025
DWG NO: 1331 S01A
SCALE at A3: 1:500

Amber 05



27 Bald Hill Road, Pakenham
Photo No. 7 - Rear of Property
March 2025



27 Bald Hill Road, Pakenham
Photo No. 8 - Rear of Property
March 2025



**Batching
Plant & Silo**

**Storage
Bins**

**Storage
Bins**

**Storage
Bins**

**Storage
Bins**

29 Bald Hill Road, Pakenham
Photo No. 9 - Concrete Batching Plant
March 2025



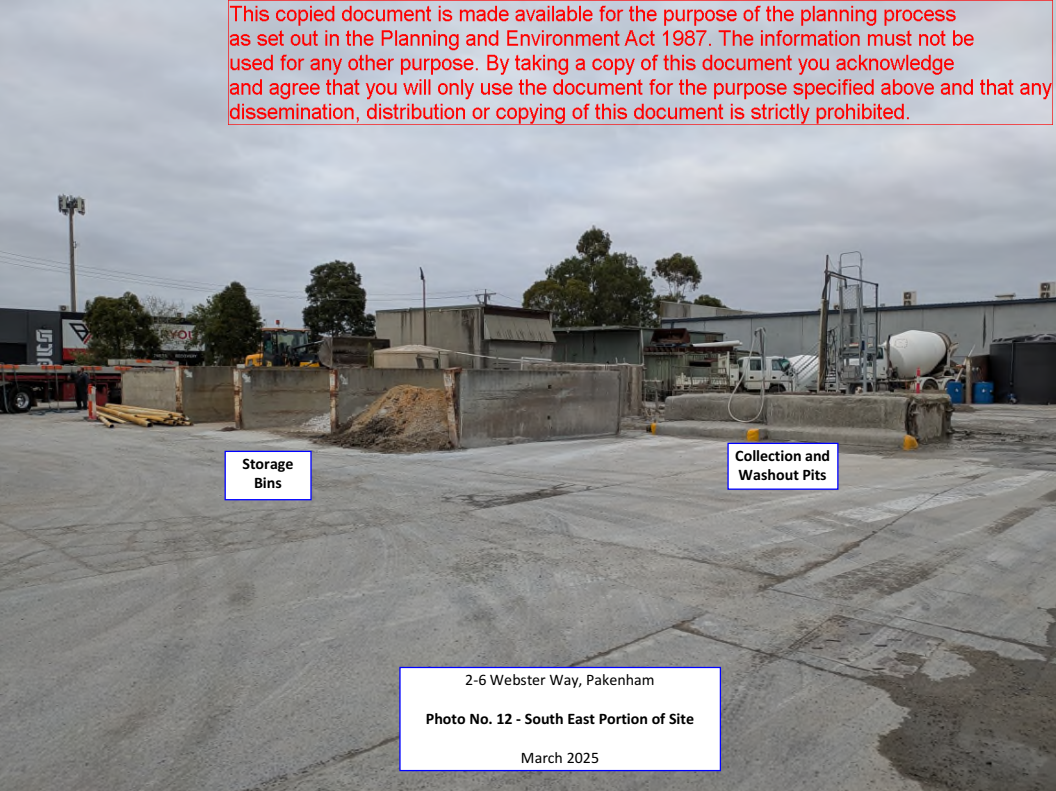
29 Bald Hill Road, Pakenham
Photo No. 10 - Site Office
March 2025

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29 Bald Hill Road, Pakenham

Photo No. 11 - Shed
(to be demolished)
March 2025



Storage
Bins

Collection and
Washout Pits

2-6 Webster Way, Pakenham

Photo No. 12 - South East Portion of Site
March 2025



29 Bald Hill Road, Pakenham

Photo No. 13 - Concrete Batching Plant
(to be relocated & replaced)
March 2025



Collection and
Washout Pits

29 Bald Hill Road, Pakenham

Photo No. 14 - North East Facing
March 2025

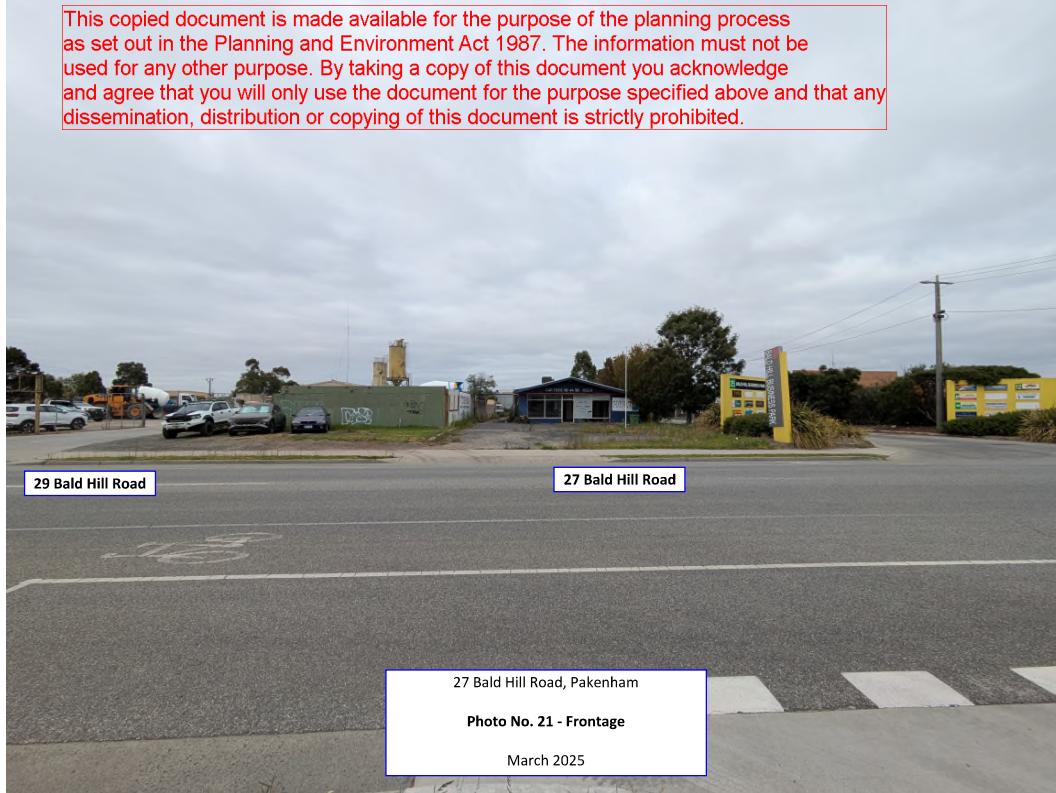


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27 Bald Hill Road, Pakenham

Photo No. 23 - Rear
(from Bald Hill Business Park driveway)
March 2025

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Attachment 3a

Current Permit – Number T 20515

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PLANNING PERMIT

Permit No: T020515
Planning Scheme: Cardinia Planning Scheme
Responsible Authority: Cardinia Shire Council

ADDRESS OF THE LAND: Part Lots 15 & 16, LP1337 & Part Lot 1, LP321189, 29 Bald Hill Road, Pakenham

THE PERMIT ALLOWS: Increase in hours of operation for existing garden supplies, including ancillary sale of timber and firewood and concrete mixing plant with associated car parking, advertising signs and landscaping.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. The layout of the uses, as shown on the approved plans must not be altered or modified without the consent in writing of the Responsible Authority.
2. The layout of the site and the size of the proposed buildings and works, as shown on the approved plans must not be altered or modified without the consent in writing of the responsible authority.
3. Within four (4) months of the issue of the permit:
 - a) The areas set aside on the approved plans for access and car parks must have been constructed with crushed rock or gravel of adequate thickness, drained and delineated to the satisfaction of the Responsible Authority; and
 - b) All landscaping shown on the approved plans must have been completed to the satisfaction of the Responsible Authority. The trees and shrubs must be of sufficient density to soften the land use and all dead and diseased trees and shrubs must be removed and replaced to the satisfaction of the Responsible Authority.
4. Stormwater must only be discharged from the site by means of an underground pipe drain discharged to an outlet in the street or to an underground pipe drain.
5. The number of persons employed on the site at any time must not exceed fifteen (15) persons without the consent in writing of the Responsible Authority.
6. The use may only operate between the hours of:
Monday - Friday: 6am to 6pm
Saturday: 6.30am to 5pm
Sunday: 8am to 3pm
without the further consent of the responsible authority.
7. The areas shown on the approved plan for access, car parking and landscaping must not be used for any other purpose and must be maintained to the satisfaction of the Responsible Authority.
8. The surface of the car park and access lanes must be treated regularly to prevent dust and drainage runoff causing nuisance to the satisfaction of the Responsible Authority.

Date Issued: 16 December 2002

Signature for the Responsible Authority

PLANNING PERMIT

Permit No: T020515
Planning Scheme: Cardinia Planning Scheme
Responsible Authority: Cardinia Shire Council

ADDRESS OF THE LAND: Part Lots 15 & 16, LP1337 & Part Lot 1, LP321189, 29
 Bald Hill Road, Pakenham

THE PERMIT ALLOWS: Increase in hours of operation for existing garden
 supplies, including ancillary sale of timber and
 firewood and concrete mixing plant with associated car
 parking, advertising signs and landscaping.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

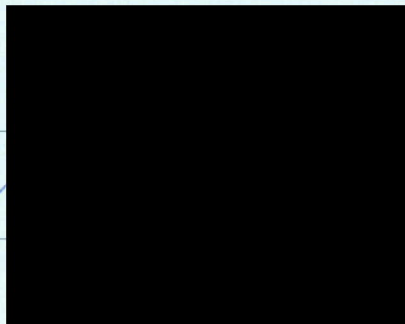
9. Loading and unloading of vehicles must always be carried on entirely within the site and must not interfere with other traffic.
10. The amenity of the area must not be detrimentally affected by the use or development through the:
 - a) transport of materials, goods or commodities to or from the land;
 - b) appearance of any building, works or materials; or
 - c) emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products, grit or oil.
11. Nuisance or annoyance must not be caused by the operation of the use to persons beyond the site.
12. All ingress and egress from the site by concrete mix trucks must be via the unconstructed Council road (Websters Way) located along the eastern boundary of the site, which intersects with Bald Hill Road.
13. This permit will expire if:
 - a) the development is not commenced within one (1) year of the date of this permit; or
 - b) the development is not completed within two (2) years of the date of this permit.

The Responsible Authority may extend the periods referred to, if a request is made in writing before the permit expires or within three (3) months afterwards.

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Date Issued: 16 December 2002

Signature for the Responsible Authority



WHAT HAS BEEN DECIDED?

The responsible authority has issued a permit.

(Note: This is not a permit granted under Division 5 of Part 4 of the Planning and Environment Act 1987.)

WHEN DOES A PERMIT BEGIN?

A permit operates:

- (a) from the date specified in the permit, or
- (b) if no date is specified, from:
 - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
 - (ii) the date on which it was issued, in any other case.

WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if:
 - (a) the development or any stage of it does not start within the time specified in the permit, or
 - (b) the development requires the certification of a plan of subdivision or consolidation under the Subdivision Act 1988 and the plan is not certified within two (2) years of the issue of the permit, unless the permit contains a different provision, or
 - (c) the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two (2) years after the issue of the permit or in case of a subdivision or consolidation within five (5) years of the certification of the plan of subdivision or consolidation under the Subdivision Act 1988.
2. A permit for the use of land expires if:
 - (a) the use does not start within the time specified in the permit, or if no time is specified, within two (2) years of the issue of the permit, or
 - (b) the use is discontinued for a period of two (2) years.
3. A permit for the development and use of the land expires if:
 - (a) the development or any stage of it does not start within the time specified in the permit, or
 - (b) the development or any stage of it is not completed within the time specified in the permit, or if no time is specified within two (2) years after the issue of the permit.
 - (c) the use does not start within the time specified in the permit, or if no time is specified, within two (2) years of the completion of the development, or
 - (d) the use is discontinued for a period of two (2) years.
4. If a permit for the use of the land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the Planning and Environment Act 1987, or to any combination of use, development or any of these circumstances requires the certification of a plan under the Subdivision Act 1988, unless the permit contains a different provision:
 - (a) the use or development of any stage is to be taken to have started when the plan is certified, and
 - (b) the permit expires if the plan is not certified within two (2) years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under the permit before the expiry.

WHAT ABOUT APPEALS?

The person who applied for the permit may appeal against any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal, in which case no right of appeal exists.

An appeal must be lodged within sixty (60) days after the permit was issued, unless a Notice of Decision to grant a permit has been previously issued, in which case the appeal must be lodged within sixty (60) days after the giving of that notice.

An appeal is lodged with the Victorian Civil and Administrative Tribunal

An appeal must be made on a Notice of Appeal form which can be obtained from the Victorian Civil and Administrative Tribunal and be accompanied by the applicable fee.

An appeal must state the grounds upon which it is based.

An appeal must also be served on the responsible authority.

Details about appeals and the fees payable can be obtained from the Victorian Civil and Administrative Tribunal.

Victorian Civil and Administrative Tribunal
Planning List
55 King Street
MELBOURNE VIC 3000

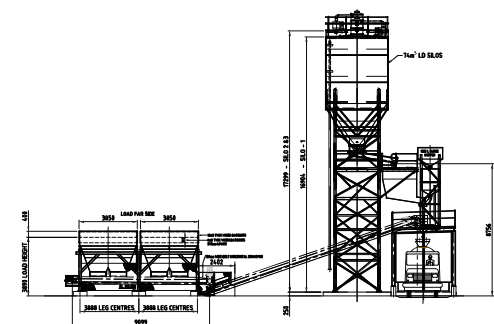
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Attachment 3b

Current Stamped Plan – Number T 01 0435

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[illegible]

Site Development Plan
Scale: 1:250

NOTE:
Ensure adequate maintenance of
proprietary systems, and water efficient
landscaping



jdz.
Building Design
Residential. Commercial. Industrial.

Rev.	Date:	Amendments:
A	26.11.2024	PRELIMINARY DESIGN ISSUE
B	28.11.2024	AMENDED AS PER CLIENT REQUEST
C	28.03.2025	AMENDED AS PER COUNCIL RF
D	15.04.2025	AMENDED AS PER COUNCIL RF
E	17.04.2025	AMENDED AS PER COUNCIL RF

Rev.	Date:	Amendments:

Client:
TITAN PREMIX PTY, LTD.

Drawing Name:
SITE DIMENSION PLAN

Job No:	241113
Date:	26.11.2024
Scale:	1:200 @ A1
Drawn:	J.D.Z.
Checked:	J.D.Z.



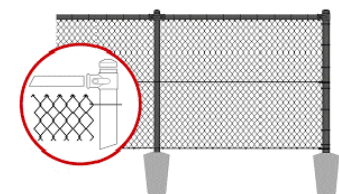
Orientation

Drawing No:

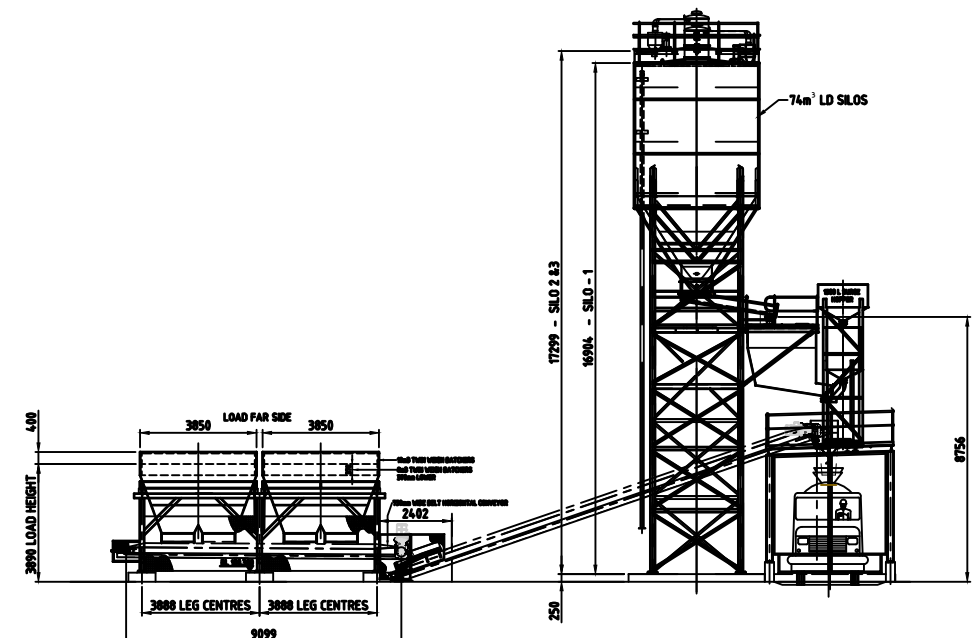
DD01 A

PRELIMINARY ISSUE
DRAWINGS ISSUED FOR DISCUSSION PURPOSES ONLY

Legend



Proposed steel mesh or dike construction with maximum height of 2.1 meters Boundary Fence
Front / Side Fence Elevation
Scale: N.T.S



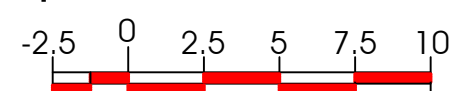
Typical Silo/ Batching Elevation
Scale: N/A

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Site Development Plan

Scale: 1:250



NOTE:
Access to the development site is restricted to an b double vehicles.

NOTE:
At least 80% of all construction and demolition waste to be recycled

NOTE:
Ensure adequate maintenance of proprietary systems, and water efficient landscaping



JDZ Building Design Pty Ltd
1/19 Radnor Drive,
Deer Park Victoria 3023
(03) 9465 7047
admin@jdzbuildingdesign.com.au
www.jdzbuildingdesign.com.au

Rev.	Date:	Amendments:
A	26.11.2024	PRELIMINARY DESIGN ISSUE
B	28.11.2024	AMENDED AS PER CLIENT REQUEST
C	28.03.2025	AMENDED AS PER COUNCIL RFI
D	15.04.2025	AMENDED AS PER COUNCIL RFI
E	17.04.2025	AMENDED AS PER COUNCIL RFI

Rev.	Date:	Amendments:
F	25.08.2025	AMENDED AS PER TRAFFIC ENGINEER ADVICE

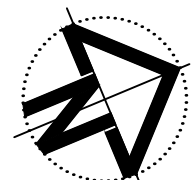
Project:
PROPOSED CONCRETE PLANT

At:
27-29 BALD HILL ROAD, PAKENHAM

Client:
TITAN PREMIX PTY. LTD.

Drawing Name:
SITE DEVELOPMENT PLAN

Job No: 241113
Date: 26.11.2024
Scale: 1:200 @ A1
Drawn: J.D.Z.
Checked: J.D.Z.



Orientation

Drawing No:

DD01

PRELIMINARY ISSUE
DRAWINGS ISSUED FOR DISCUSSION PURPOSES ONLY