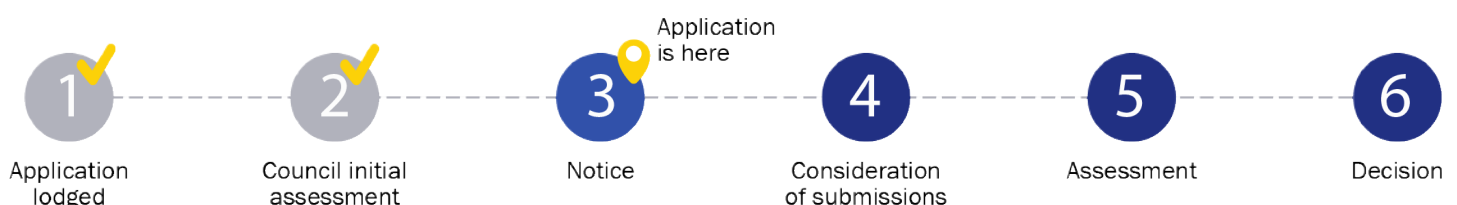


# Notice of Application for a Planning Permit

|  |  |
|--|--|
| The land affected by the application is located at:  | L12 LP43303 V8188 F960<br>31 Campbell Street, Garfield VIC 3814  |
| The application is for a permit to:  | Development of the land for one (1) dwelling to the rear of the existing dwelling and Subdivision of the land into two (2) lots  |
| A permit is required under the following clauses of the planning scheme:   |  |
| 32.08-3  | Subdivide land   |
| 32.08-7  | Construct a dwelling if there is at least one dwelling existing on the lot   |
| <b>APPLICATION DETAILS</b>   |  |
| The applicant for the permit is:   | Property Subdivision   |
| Application number:  | T240702  |
| <p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.</p>  |  |
| <b>HOW CAN I MAKE A SUBMISSION?</b>  |  |
| This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:   | 26 September 2025  |
| <b>WHAT ARE MY OPTIONS?</b><br>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.<br>If you object, the Responsible Authority will notify you of the decision when it is issued.  | <p>An objection must:</p> <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul> <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p> |



# Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

**⚠** Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

**⚠** Questions marked with an asterisk (\*) must be completed.

**⚠** If the space provided on the form is insufficient, attach a separate sheet.

**i** Click for further information.

Clear Form

## The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

### Street Address \*

|                                  |                    |                                  |
|----------------------------------|--------------------|----------------------------------|
| Unit No.:                        | St. No.: <b>31</b> | St. Name: <b>Campbell Street</b> |
| Suburb/Locality: <b>Garfield</b> |                    | Postcode: <b>3814</b>            |

### Formal Land Description \*

Complete either A or B.

**⚠** This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

|                       |                      |                                   |                                  |  |                    |
|-----------------------|----------------------|-----------------------------------|----------------------------------|--|--------------------|
| A                     | Lot No.: <b>12</b>   | <input type="radio"/> Lodged Plan | <input type="radio"/> Title Plan | <input checked="" type="radio"/> Plan of Subdivision | No.: <b>043303</b> |
| OR                    |                      |                                   |                                  |  |                    |
| B                     | Crown Allotment No.: |                                   | Section No.:                     |  |                    |
| Parish/Township Name: |                      |                                   |                                  |  |                    |

## The Proposal

**⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

**i** For what use, development or other matter do you require a permit? \*

**Retain Existing Dwelling and Propose 1 new dwelling to the rear + Subdivision**

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**⚠** Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Cost \$ **400,000**

**⚠** You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for information.

**i** Estimated cost of any development for which the permit is required \*


## Existing Conditions

### Describe how the land is used and developed now \*

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

#### Single Dwelling

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 Provide a plan of the existing conditions. Photos are also helpful.

## Title Information

### Encumbrances on title \*

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☒ No
- ☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

## Applicant and Owner Details

Provide details of the applicant and the owner of the land.

### Applicant \*

The person who wants the permit.

Please provide at least one contact phone number \*

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

### Owner \*

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Organisation (if applicable): **Property Subdivision**

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.: **Level 1, 145**

St. Name: **Clarendon Street**

Suburb/Locality: **Southbank**

State: **Vic**

Postcode: **3006**

#### Contact information for applicant OR contact person below

Business phone: **0415 676 110**

Email: **glen@propertysubdivision.com.au**

Mobile phone:

Fax:

#### Contact person's details\*

Same as applicant ☒

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Name:

Same as applicant ☐


Owner's Signature (Optional):

Date:

day / month / year

## Declaration

This form must be signed by the applicant \*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that the information in this application is true and correct, and that I am applying for the permit application.

Date: 20/12/2024

day / month / year

## Need help with the Application?

General information about the planning process is available at [planning.vic.gov.au](http://planning.vic.gov.au)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?



No



Yes

If 'Yes', with whom?:

Date:

day / month / year

## Checklist

Have you:



Filled in the form completely?



Paid or included the application fee?



Most applications require a fee to be paid. Contact Council to determine the appropriate fee.



Provided all necessary supporting information and documents?



A full, current copy of title information for each individual parcel of land forming the subject site.



A plan of existing conditions.



Plans showing the layout and details of the proposal.



Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.



If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).



If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.



Completed the relevant council planning permit checklist?



Signed the declaration?

## Lodgement

Lodge the completed and signed form, the fee and all documents with:

Cardinia Shire Council  
PO Box 7  
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

### Contact information:

Telephone: 1300 787 624

Email: [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

DX: 81006

Deliver application in person, by post or by electronic lodgement.

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# MORE INFORMATION

## The Land

Planning permits relate to the use and development of the land. It is important that accurate, clear and concise details of the land are provided with the application.

### How is land identified?


Land is commonly identified by a street address, but sometimes this alone does not provide an accurate identification of the relevant parcel of land relating to an application. Make sure you also provide the formal land description - the lot and plan number or the crown, section and parish/township details (as applicable) for the subject site. This information is shown on the title.

See **Example 1**.

## The Proposal

### Why is it important to describe the proposal correctly?


The application requires a description of what you want to do with the land. You must describe how the land will be used or developed as a result of the proposal. It is important that you understand the reasons why you need a permit in order to suitably describe the proposal. By providing an accurate description of the proposal, you will avoid unnecessary delays associated with amending the description at a later date.

 Planning schemes use specific definitions for different types of use and development. Contact the Council planning office at an early stage in preparing your application to ensure that you use the appropriate terminology and provide the required details.

### How do planning schemes affect proposals?

A planning scheme sets out policies and requirements for the use, development and protection of land. There is a planning scheme for every municipality in Victoria. Development of land includes the construction of a building, carrying out works, subdividing land or buildings and displaying signs.

Proposals must comply with the planning scheme provisions in accordance with Clause 61.05 of the planning scheme. Provisions may relate to the State Planning Policy Framework, the Local Planning Policy Framework, zones, overlays, particular and general provisions. You can access the planning scheme by either contacting Council's planning department or by visiting Planning Schemes Online at [planning-schemes.delwp.vic.gov.au](http://planning-schemes.delwp.vic.gov.au)

 You can obtain a planning certificate to establish planning scheme details about your property. A planning certificate identifies the zones and overlays that apply to the land, but it does not identify all of the provisions of the planning scheme that may be relevant to your application. Planning certificates for land in metropolitan areas and most rural areas can be obtained by visiting [www.landata.vic.gov.au](http://www.landata.vic.gov.au). Contact your local Council to obtain a planning certificate in Central Goldfields, Corangamite, Macedon Ranges and Greater Geelong. You can also use the free Planning Property Report to obtain the same information.

See **Example 2**.


### Estimated cost of development

In most instances an application fee will be required. This fee must be paid when you lodge the application. The fee is set down by government regulations.

To help Council calculate the application fee, you must provide an accurate cost estimate of the proposed development. This cost does not include the costs of development that you could undertake without a permit or that are separate from the permit process. Development costs should be calculated at a normal industry rate for the type of construction you propose.

Council may ask you to justify your cost estimates. Costs are required solely to allow Council to calculate the permit application fee. Fees are exempt from GST.

 Costs for different types of development can be obtained from specialist publications such as Cordell Housing: Building Cost Guide or Rawlinsons: Australian Construction Handbook.

 Contact the Council to determine the appropriate fee. Go to [planning.vic.gov.au](http://planning.vic.gov.au) to view a summary of fees in the Planning and Environment (Fees) Regulations.

**Metropolitan Planning Levy** refer Division 5A of Part 4 of the *Planning and Environment Act 1987* (the Act). A planning permit application under section 47 or 96A of the Act for a development of land in metropolitan Melbourne as defined in section 3 of the Act may be a leviable application. If the cost of the development exceeds the threshold of \$1 million (adjusted annually by consumer price index) a levy certificate must be obtained from the State Revenue Office after payment of the levy. A valid levy certificate must be submitted to the responsible planning authority (usually council) with a leviable planning permit application. Refer to the State Revenue Office website at [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for more information. A leviable application submitted without a levy certificate is void.

## Existing Conditions

### How should land be described?

You need to describe, in general terms, the way the land is used now, including the activities, buildings, structures and works that exist (e.g. single dwelling, 24 dwellings in a three-storey building, medical centre with three practitioners and 8 car parking spaces, vacant building, vacant land, grazing land, bush block).

Please attach to your application a plan of the existing conditions of the land. Check with the local Council for the quantity, scale and level of detail required. It is also helpful to include photographs of the existing conditions.

See **Example 3**.

## Title Information

### What is an encumbrance?

An 'encumbrance' is a formal obligation on the land, with the most common type being a 'mortgage'. Other common examples of encumbrances include:

- **Restrictive Covenants:** A 'restrictive covenant' is a written agreement between owners of land restricting the use or development of the land for the benefit of others, (eg. a limit of one dwelling or limits on types of building materials to be used).
- **Section 173 Agreements:** A 'section 173 agreement' is a contract between an owner of the land and the Council which sets out limitations on the use or development of the land.
- **Easements:** An 'easement' gives rights to other parties to use the land or provide for services or access on, under or above the surface of the land.
- **Building Envelopes:** A 'building envelope' defines the development boundaries for the land.

Aside from mortgages, the above encumbrances can potentially limit or even prevent certain types of proposals.

### What documents should I check to find encumbrances?

Encumbrances are identified on the title (register search statement) under the header 'encumbrances, caveats and notices'. The actual details of an encumbrance are usually provided in a separate document (instrument) associated with the title. Sometimes encumbrances are also marked on the title diagram or plan, such as easements or building envelopes.

### What about caveats and notices?

A 'caveat' is a record of a claim from a party to an interest in the land. Caveats are not normally relevant to planning applications as they typically relate to a purchaser, mortgagee or chargee claim, but can sometimes include claims to a covenant or easement on the land. These types of caveats may affect your proposal.

Other less common types of obligations may also be specified on title in the form of 'notices'. These may have an effect on your proposal, such as a notice that the building on the land is listed on the Heritage Register.

### What happens if the proposal contravenes an encumbrance on title?

Encumbrances may affect or limit your proposal or prevent it from proceeding. Section 61(4) of the *Planning and Environment Act 1987* for example, prevents a Council from granting a permit if it would result in a breach of a registered restrictive covenant. If the proposal contravenes any encumbrance, contact the Council for advice on how to proceed.

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You may be able to modify your proposal to respond to the issue. If not, separate procedures exist to change or remove the various types of encumbrances from the title. The procedures are generally quite involved and if the encumbrance relates to more than the subject property, the process will include notice to the affected party.

⚠ You should seek advice from an appropriately qualified person, such as a solicitor, if you need to interpret the effect of an encumbrance or if you seek to amend or remove an encumbrance.

#### Why is title information required?

Title information confirms the location and dimensions of the land specified in the planning application and any obligations affecting what can be done on or with the land.

As well as describing the land, a full copy of the title will include a diagram or plan of the land and will identify any encumbrances, caveats and notices.

#### What is a 'full' copy of the title?

The title information accompanying your application must include a 'register search statement' and the title diagram, which together make up the title.

In addition, any relevant associated title documents, known as 'instruments', must also be provided to make up a full copy of the title.

Check the title to see if any of the types of encumbrances, such as a restrictive covenant, section 173 agreement, easement or building envelope, are listed. If so, you must submit a copy of the document (instrument) describing that encumbrance. Mortgages do not need to be provided with planning applications.

⚠ Some titles have not yet been converted by Land Registry into an electronic register search statement format. In these earlier types of titles, the diagram and encumbrances are often detailed on the actual title, rather than in separate plans or instruments.

#### Why is 'current' title information required?

It is important that you attach a current copy of the title for each individual parcel of land forming the subject site. 'Current' title information accurately provides all relevant and up-to-date information.

Some councils require that title information must have been searched within a specified time frame. Contact the Council for advice on their requirements.

⚠ Copies of title documents can be obtained from Land Registry: Level 10, 570 Bourke Street, Melbourne; 03 8636 2010; [www.landata.vic.gov.au](http://www.landata.vic.gov.au) – go direct to "titles & property certificates".

### Applicant and Owner Details

This section provides information about the permit applicant, the owner of the land and the person who should be contacted about any matters concerning the permit application.

The applicant is the person or organisation that wants the permit. The applicant can, but need not, be the contact person.

In order to avoid any confusion, the Council will communicate only with the person who is also responsible for providing further details. The contact may be a professional adviser (e.g. architect or planner) engaged to prepare or manage the application. To ensure prompt communications, contact details should be given.

Check with Council how they prefer to communicate with you about the application. If an email address is provided this may be the preferred method of communication between council and the applicant/contact.

The owner of the land is the person or organisation who owns the land at the time the application is made. Where a parcel of land has been sold and an application made prior to settlement, the owner's details should be identified as those of the vendor. The owner can, but need not, be the contact or the applicant.

See **Example 4**.

### Declaration

The declaration should be signed by the person who takes responsibility for the accuracy of all the information that is provided. This declaration is a signed statement that the information included with the application is true and correct at the time of lodgement.

The declaration can be signed by the applicant or owner. If the owner is not the applicant, the owner must either sign the application form or must be notified of the application which is acknowledged in the declaration.

⚠ Obtaining or attempting to obtain a permit by wilfully making or causing any false representation or declaration, either orally or in writing, is an offence under the *Planning and Environment Act 1987* and could result in a fine and/or cancellation of the permit.

### Need help with the Application?

If you have attended a pre-application meeting with a Council planner, fill in the name of the planner and the date, so that the person can be consulted about the application once it has been lodged.

### Checklist

#### What additional information should you provide to support the proposal?

You should provide sufficient supporting material with the application to describe the proposal in enough detail for the Council to make a decision. It is important that copies of all plans and information submitted with the application are legible.

There may be specific application requirements set out in the planning scheme for the use or development you propose. The application should demonstrate how these have been addressed or met.

The checklist is to help ensure that you have:

- provided all the required information on the form
- included payment of the application fee
- attached all necessary supporting information and documents
- completed the relevant Council planning permit checklist
- signed the declaration on the last page of the application form

⚠ The more complete the information you provide with your permit application, the sooner Council will be able to make a decision.

### Lodgement

The application must be lodged with the Council responsible for the planning scheme in which the land affected by the application is located. In some cases the Minister for Planning or another body is the responsible authority instead of Council. Ask the Council if in doubt.

Check with Council how they prefer to have the application lodged. For example, they may have an online lodgement system, prefer email or want an electronic and hard copy. Check also how many copies of plans and the size of plans that may be required.

Contact details are listed in the lodgement section on the last page of the form.

⚠ Approval from other authorities: In addition to obtaining a planning permit, approvals or exemptions may be required from other authorities or Council departments. Depending on the nature of your proposal, these may include food or health registrations, building permits or approvals from water and other service authorities.

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# EXAMPLES

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## Example 1

|  |   |
|--|---|
| <b>The Land</b>  |   |
| Address of the land. Complete the Street Address and one of the Formal Land Descriptions.                                  |   |
| <b>Street Address *</b>  | St. No.: <u>26</u> St. Name: <u>Planmore Avenue</u>   |
|  | Suburb/Locality: <u>HAWTHORN</u>  |
| <b>Formal Land Description *</b><br>Complete either A or B.  |   |
| This information can be found on the certificate of title.   | A <input type="radio"/> Lodged Plan <input type="radio"/> Title Plan <input checked="" type="radio"/> Plan of Subdivision |
| If this application relates to more than one address, attach a separate sheet setting out any additional property details. | OR  |
|  | B   |

## Example 2

|   |  |
|---|--|
| <b>For what use, development or other matter do you require a permit? *</b> |  |
|   | <u>Construction of two, double-storey dwellings and construction of two new crossovers.</u>  |
|   | Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal. |

## Example 3

|  |   |
|--|---|
| <b>Existing Conditions</b>   |   |
| <b>Describe how the land is used and developed now *</b><br>For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing. |   |
|  | <u>Single dwelling.</u>   |
|  | Provide a plan of the existing conditions. Photos are also helpful. |

## Example 4

|  |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
|--|--|--|--|--|----------------------------------|-----------------------------------|--------------------------|---|---------------------------|-----------------------|--|--|--|--|--------------------|------------------------------|------------------------------------|-------------------|-----------------------------|----------------------------------|-------------------|-----------------------------|
| <b>Applicant and Owner Details</b>   |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Provide details of the applicant and the owner of the land.  |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| <b>Applicant *</b><br><br>The person who wants the permit.   | <table><tr><td colspan="3">Name:</td></tr><tr><td>Title: <u>Mr</u></td><td>First Name: <u>Len</u></td><td>Surname: <u>Browning</u></td></tr><tr><td colspan="3">Organisation (if applicable): <u>Responsible Developers P/L</u></td></tr><tr><td colspan="3">Postal Address: If it is a P.O. Box, enter the details here:</td></tr><tr><td>Unit No.: <u>4</u></td><td>St. No.: <u>12</u></td><td>St. Name: <u>Ardour Lane</u></td></tr><tr><td>Suburb/Locality: <u>Wucheproof</u></td><td>State: <u>Vic</u></td><td>Postcode: <u>3527</u></td></tr></table>  | Name:  |  |  | Title: <u>Mr</u>                 | First Name: <u>Len</u>            | Surname: <u>Browning</u> | Organisation (if applicable): <u>Responsible Developers P/L</u> |                           |                       | Postal Address: If it is a P.O. Box, enter the details here:   |  |  | Unit No.: <u>4</u>   | St. No.: <u>12</u> | St. Name: <u>Ardour Lane</u> | Suburb/Locality: <u>Wucheproof</u> | State: <u>Vic</u> | Postcode: <u>3527</u>       |                                  |                   |                             |
| Name:  |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Title: <u>Mr</u>   | First Name: <u>Len</u>   | Surname: <u>Browning</u>   |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Organisation (if applicable): <u>Responsible Developers P/L</u>  |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Postal Address: If it is a P.O. Box, enter the details here:   |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Unit No.: <u>4</u>   | St. No.: <u>12</u>   | St. Name: <u>Ardour Lane</u>   |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Suburb/Locality: <u>Wucheproof</u>   | State: <u>Vic</u>  | Postcode: <u>3527</u>  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Please provide at least one contact phone number *   | <table><tr><td colspan="3">Contact information for applicant OR contact person below</td></tr><tr><td>Business phone: <u>9123 4567</u></td><td colspan="2">Email: <u>tcpl@bigpond.net.au</u></td></tr><tr><td>Mobile phone: <u>0412 345 678</u></td><td colspan="2">Fax: <u>9123 4567</u></td></tr></table>  | Contact information for applicant OR contact person below                            |  |  | Business phone: <u>9123 4567</u> | Email: <u>tcpl@bigpond.net.au</u> |                          | Mobile phone: <u>0412 345 678</u>                               | Fax: <u>9123 4567</u>     |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Contact information for applicant OR contact person below  |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
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| Mobile phone: <u>0412 345 678</u>  | Fax: <u>9123 4567</u>  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Where the preferred contact person for the application is different from the applicant, provide the details of that person.  | <table><tr><td colspan="3">Contact person's details* <input type="checkbox"/> Same as applicant</td></tr><tr><td colspan="3">Name:</td></tr><tr><td>Title: <u>Mr</u></td><td>First Name: <u>Andrew</u></td><td>Surname: <u>Hodge</u></td></tr><tr><td colspan="3">Organisation (if applicable): <u>Town Planning Consultants</u></td></tr><tr><td colspan="3">Postal Address: If it is a P.O. Box, enter the details here:</td></tr><tr><td>Unit No.:</td><td>St. No.:</td><td>St. Name: <u>PO Box 111</u></td></tr><tr><td>Suburb/Locality: <u>Parkdale</u></td><td>State: <u>Vic</u></td><td>Postcode: <u>3194</u></td></tr></table> | Contact person's details* <input type="checkbox"/> Same as applicant                 |  |  | Name:                            |                                   |                          | Title: <u>Mr</u>  | First Name: <u>Andrew</u> | Surname: <u>Hodge</u> | Organisation (if applicable): <u>Town Planning Consultants</u> |  |  | Postal Address: If it is a P.O. Box, enter the details here: |                    |                              | Unit No.:                          | St. No.:          | St. Name: <u>PO Box 111</u> | Suburb/Locality: <u>Parkdale</u> | State: <u>Vic</u> | Postcode: <u>3194</u>       |
| Contact person's details* <input type="checkbox"/> Same as applicant   |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Name:  |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Title: <u>Mr</u>   | First Name: <u>Andrew</u>  | Surname: <u>Hodge</u>  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Organisation (if applicable): <u>Town Planning Consultants</u>   |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Postal Address: If it is a P.O. Box, enter the details here:   |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Unit No.:  | St. No.:   | St. Name: <u>PO Box 111</u>  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Suburb/Locality: <u>Parkdale</u>   | State: <u>Vic</u>  | Postcode: <u>3194</u>  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| <b>Owner *</b><br><br>The person or organisation who owns the land<br><br>Where the owner is different from the applicant, provide the details of that person or organisation. | <table><tr><td colspan="3">Name: <input type="checkbox"/> Same as applicant <input checked="" type="checkbox"/></td></tr><tr><td>Title:</td><td>First Name:</td><td>Surname:</td></tr><tr><td colspan="3">Organisation (if applicable):</td></tr><tr><td colspan="3">Postal Address: If it is a P.O. Box, enter the details here:</td></tr><tr><td>Unit No.:</td><td>St. No.:</td><td>St. Name:</td></tr><tr><td>Suburb/Locality:</td><td>State:</td><td>Postcode:</td></tr><tr><td colspan="2">Owner's Signature (Optional):</td><td>Date: <br/> day / month / year</td></tr></table>   | Name: <input type="checkbox"/> Same as applicant <input checked="" type="checkbox"/> |  |  | Title:                           | First Name:                       | Surname:                 | Organisation (if applicable):                                   |                           |                       | Postal Address: If it is a P.O. Box, enter the details here:   |  |  | Unit No.:  | St. No.:           | St. Name:                    | Suburb/Locality:                   | State:            | Postcode:                   | Owner's Signature (Optional):    |                   | Date:<br>day / month / year |
| Name: <input type="checkbox"/> Same as applicant <input checked="" type="checkbox"/>   |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Title:   | First Name:  | Surname:   |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Organisation (if applicable):  |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Postal Address: If it is a P.O. Box, enter the details here:   |  |  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Unit No.:  | St. No.:   | St. Name:  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Suburb/Locality:   | State:   | Postcode:  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |
| Owner's Signature (Optional):  |  | Date:<br>day / month / year  |  |  |                                  |                                   |                          |   |                           |                       |  |  |  |  |                    |                              |                                    |                   |                             |                                  |                   |                             |

# Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

## PERMIT APPLICATION DETAILS

|                      |                              |
|----------------------|------------------------------|
| Application No.:     | T240702                      |
| Address of the Land: | 31 Campbell Street, Garfield |

## APPLICANT DETAILS

|               |                                      |
|---------------|--------------------------------------|
| Name:         | [REDACTED]                           |
| Organisation: | Property Subdivision Pty Ltd         |
| Address:      | 145 Clarendon St, Southbank VIC 3006 |
| Phone:        | 0406162630                           |
| Email:        | enakhsi@propertysubdivision.com.au   |

## AMENDMENT TYPE

| Under which section of the Act is this amendment being made? (select one)                        |                                     |
|--|-------------------------------------|
| Section 50 – Amendment to application at request of applicant <b>before</b> notice:              | <input checked="" type="checkbox"/> |
| Section 50A – Amendment to application at request of responsible authority <b>before</b> notice: | <input type="checkbox"/>            |
| Section 57A – Amendment to application <b>after</b> notice is given:                             | <input type="checkbox"/>            |

## AMENDMENT DETAILS

| What is being amended? (select all that apply)                               |   |  |
|--|---|--|
| What is being applied for <input type="checkbox"/>                           | Plans / other documents <input checked="" type="checkbox"/> | Applicant / owner details <input type="checkbox"/> |
| Land affected <input type="checkbox"/>                                       | Other <input type="checkbox"/>                              |  |
| Describe the changes. If you need more space, please attach a separate page. |   |  |
| Assessment under the new deemed to comply standards.                         |   |  |
|  |   |  |
|  |   |  |
|  |   |  |



|  |   |               |
|--|---|---------------|
|  |   |               |
|  |   |               |
|  |   |               |
| <b>Specify the estimated cost of any development for which the permit is required:</b> |   |               |
| Not applicable <input type="checkbox"/>  | Unchanged <input checked="" type="checkbox"/> | New amount \$ |

## DECLARATION

|  |            |  |
|--|------------|--|
| I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application. |            |  |
| <b>Name:</b>   |            |  |
| <b>Signature:</b>  |            |  |
| <b>Date:</b>   | 07/04/2020 |  |

## LODGEMENT

|  |
|--|
| <p>Please submit this form, including all amended plans/documents, to <a href="mailto:mail@cardinia.vic.gov.au">mail@cardinia.vic.gov.au</a></p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at <a href="https://eplanning.cardinia.vic.gov.au/">https://eplanning.cardinia.vic.gov.au/</a></p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p> |
|--|

## IMPORTANT INFORMATION

|  |
|--|
| <p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p> |
|--|

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# Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

## PERMIT APPLICATION DETAILS

|                      |                              |
|----------------------|------------------------------|
| Application No.:     | T240702                      |
| Address of the Land: | 31 Campbell Street, Garfield |

## APPLICANT DETAILS

|               |                                      |
|---------------|--------------------------------------|
| Name:         |                                      |
| Organisation: | Property Subdivision Pty Ltd         |
| Address:      | 145 Clarendon St, Southbank VIC 3006 |
| Phone:        | 0406162630                           |
| Email:        | enakhsi@propertysubdivision.com.au   |

## AMENDMENT TYPE

| Under which section of the Act is this amendment being made? (select one)                        |                                     |
|--|-------------------------------------|
| Section 50 – Amendment to application at request of applicant <b>before</b> notice:              | <input checked="" type="checkbox"/> |
| Section 50A – Amendment to application at request of responsible authority <b>before</b> notice: | <input type="checkbox"/>            |
| Section 57A – Amendment to application <b>after</b> notice is given:                             | <input type="checkbox"/>            |

## AMENDMENT DETAILS

| What is being amended? (select all that apply)                               |   |  |
|--|---|--|
| What is being applied for <input type="checkbox"/>                           | Plans / other documents <input checked="" type="checkbox"/> | Applicant / owner details <input type="checkbox"/> |
| Land affected <input type="checkbox"/>                                       | Other <input type="checkbox"/>                              |  |
| Describe the changes. If you need more space, please attach a separate page. |   |  |
| Assessment under the new deemed to comply standards.                         |   |  |
|  |   |  |
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|  |   |               |
|--|---|---------------|
|  |   |               |
|  |   |               |
|  |   |               |
| <b>Specify the estimated cost of any development for which the permit is required:</b> |   |               |
| Not applicable <input type="checkbox"/>  | Unchanged <input checked="" type="checkbox"/> | New amount \$ |

## DECLARATION

|  |           |  |
|--|-----------|--|
| I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application. |           |  |
| <b>Name:</b>   |           |  |
| <b>Signature:</b>  |           |  |
| <b>Date:</b>   | 8/04/2025 |  |

## LODGEMENT

|  |
|--|
| <p>Please submit this form, including all amended plans/documents, to <a href="mailto:mail@cardinia.vic.gov.au">mail@cardinia.vic.gov.au</a></p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at <a href="https://eplanning.cardinia.vic.gov.au/">https://eplanning.cardinia.vic.gov.au/</a></p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p> |
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## IMPORTANT INFORMATION

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| <p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p> |
|--|

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 08188 FOLIO 960

Security no : 124122370171X  
Produced 26/02/2025 03:56 PM

**LAND DESCRIPTION**

Lot 12 on Plan of Subdivision 043303.  
PARENT TITLE Volume 03957 Folio 311  
Created by instrument A049795 06/10/1955

**REGISTERED PROPRIETOR**

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE LP043303 FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 31 CAMPBELL STREET GARFIELD VIC 3814

**ADMINISTRATIVE NOTICES**

NIL

DOCUMENT END

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|---|-------------------------|
| Document Type                                   | <b>Plan</b>             |
| Document Identification                         | <b>LP043303</b>         |
| Number of Pages<br>(excluding this cover sheet) | <b>2</b>                |
| Document Assembled                              | <b>12/09/2024 15:52</b> |

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# PLAN OF SUBDIVISION

## PART OF CROWN ALLOT. 21<sup>B</sup>

## PARISH OF BUNYIP

## COUNTY OF MORNINGTON

LP 43303

EDITION 2

PLAN MAY BE LODGED

18-B-58

CIT. V. 3957 F 311

Measurements are in Links

Conversion Factor

LINKS X 0.201168 = METRES

Note :-

Reference Marks are Iron Pipes  $\frac{3}{4}$ " diameter and 12" long.

### APPROPRIATIONS

THE LAND COLOURED BLUE IS APPROPRIATED OR SET APART FOR EASEMENTS OF DRAINAGE & IS 9.1 LINKS WIDE

THE LAND COLOURED BROWN IS APPROPRIATED OR SET APART FOR EASEMENTS OF WAY AND DRAINAGE

### COLOUR CODE

E-1=BLUE

R1, R2 & R3=BROWN

E-3=YELLOW

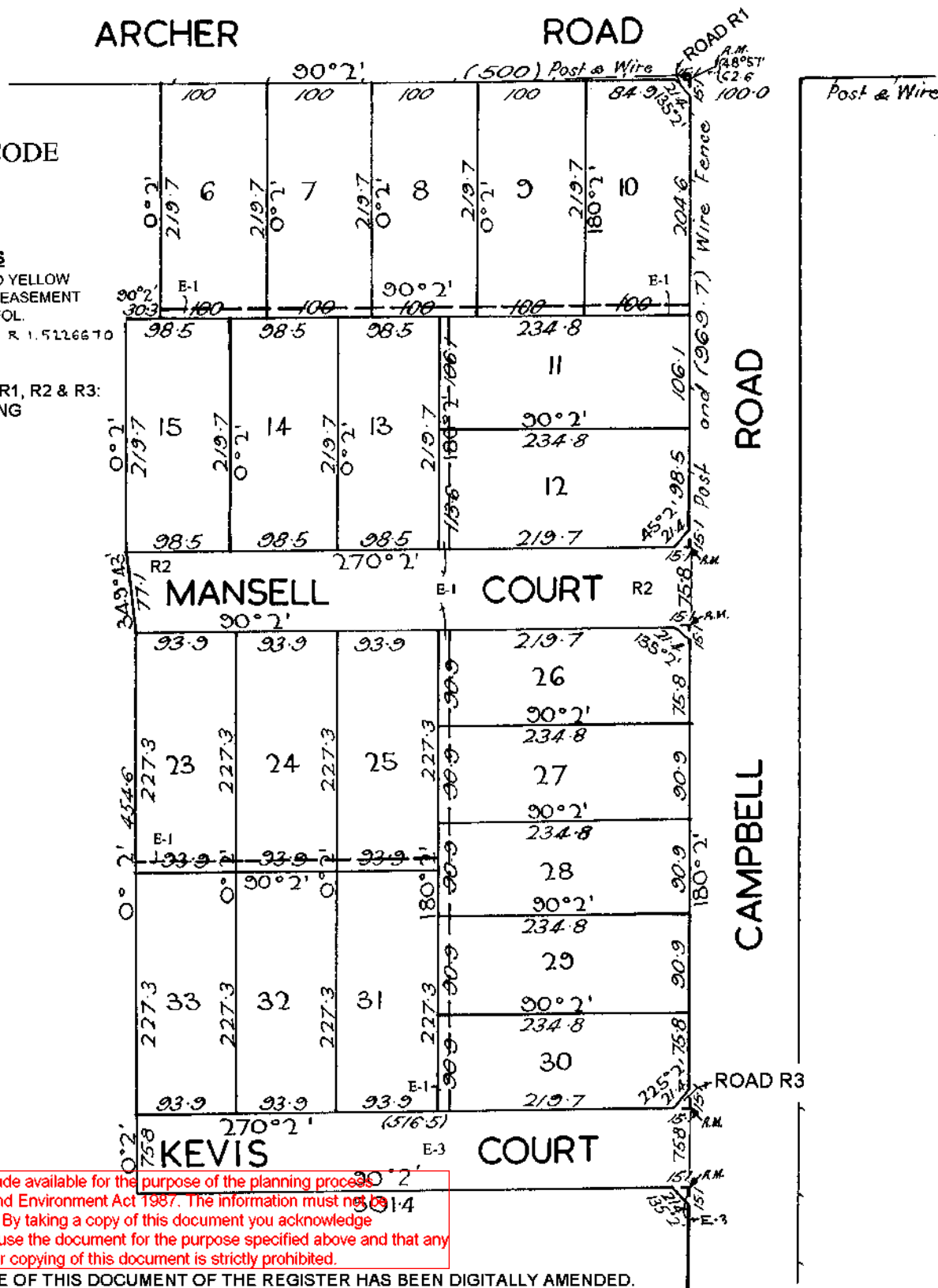
### APPURTENANCIES

THE LAND COLOURED YELLOW IS AN APPURTENANT EASEMENT SEE VOL. FOL.

CIT TO ISSUE ON R 1.5226670

### ENCUMBRANCES

AS TO THE LAND MARKED R1, R2 & R3: ANY EASEMENTS AFFECTING THE SAME



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27<sup>th</sup> February 2025

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Statutory Planner  
Cardinia Shire Council

**Re : Response to RFI for Application No. T240702 PA**

Dear [REDACTED]

Property Subdivision Pty Ltd continues to act on behalf of the applicant for the land at 31 Campbell Street, Garfield . This letter is a response to the Request for Further Information dated 17 January 2025.

In conjunction with the letter we submit the following documents all of which should be read concurrently :

- Updated architectural plans prepared by Property Subdivision pty ltd;
- Land Survey Plan prepared by JCA consultants and;
- Updated Planning Report and Clause 55 assessment.

Please Refer below for the response :

| No. | Further Information Required   | Response  |
|-----|--|---|
| 1   | <i>A Feature Survey Plan prepared by a licensed surveyor detailing the contours of the land, surrounding properties, vegetation and any other relevant feature</i>   | Please refer to the feature survey plan attached.   |
| 2   | <i>A current copy of title documents, including Plan of Subdivision 043303, produced within the three (3) months of the date of the submission of the planning application</i>   | A current certificate of title has been attached.   |
| 3   | <i>Amend Town Planning Report to:</i><br><i>a. Update the permit triggers on Page 4 to correctly reference the permit triggers on Cardinia Planning Scheme.</i><br><i>b. Specify whether existing front fence along Mansell Court will be retained or removed and how the proposal comply with Standard B5 and B32 of the Cardinia Planning Scheme.</i><br><i>c. Amend Clause 55 Assessment to provide detailed response to how the proposal comply with Standard B6 - Street Setback, Standard B22 – Overlooking and Standard B23 – Internal Views.</i><br><i>d. Update Section 6.3 of the report to provide detailed response regarding how the proposal comply the objectives in the Garfield Township Strategy</i> | Please refer to the updated planning report and clause 55 assessment.<br><br>No front fencing is proposed for the new dwelling. |
| 4   | <i>Amended site plan and floor plan showing:</i>   | Please refer to page TP05 of the architectural plans which includes all the required details.                                   |



|   |   |   |
|---|---|---|
|   | <ul style="list-style-type: none"> <li>a. Corner splay area for the proposed crossover, at least 2 metres along the frontage road from the edge of an exist lane and 2.5 metres along the exit lane from the frontage. Landscaping or structures (including but not limited to mailbox) in those areas must be less than 900mm in height.</li> <li>b. Additional 500mm clearance provided between two car parking spaces for Dwelling 2.</li> <li>c. Location of the lighting for the entrance and garage of Dwelling 2 (proposed) to demonstrate compliance with Standard B12 – Safety.</li> <li>d. Location of any existing front fencing to be retained and/or any proposed front fencing.</li> <li>e. Location of bins, clothesline and externally accessible storage shed for Dwelling 1 (existing dwelling).</li> <li>f. Overlooking diagrams to demonstrate compliance with Standard B22 – Overlooking and Standard B23 – Internal Views.</li> </ul> |   |
| 5 | <p><i>Amended elevation plans showing:</i></p> <ul style="list-style-type: none"> <li>a. Maximum building height on all elevations (measured from the Natural Ground Level (NGL) to the highest point of the roof).</li> <li>b. Depth of any proposed cut and/or fill (including retaining walls).</li> <li>c. Materiality, colour and height of internal fencing, boundary fencing and front fencing (if applicable) above NGL to Australian Height Datum.</li> <li>d. Height of proposed shed for Dwelling 2 on relevant elevation plans</li> <li>e. Height of the existing/proposed storage space for Dwelling 1 on relevant elevation plans</li> </ul>  | Please refer to page TP06 of the architectural plans which includes are the required information. |
| 6 | <i>Amended proposed Plan of Subdivision to show the details of the existing easement on the subject site</i>  | Please refer to page TP17 of the architectural which includes the amended Plan of Subdivision.    |

## Preliminary Assessment Concerns

1. The proposal does not generally align with the Garfield Township Strategy. The proposal is inconsistent with the design guidelines prescribed in the strategy, which aims to maintain the rural township character Inconsistencies arise with proposed Lot 2 in the following areas:

- Lot size range outlined in the strategy 700-100sqm for urban residential while the proposed Lot 2 being only 344sqm.
- Lot width (minimum) – Lot 2 does not achieve minimum 18m width only obtaining approximately 15m.
- Tree Retention - Proposal does not maximise retention of existing trees.

The proposed subdivision (especially small lot size for lot 2) will likely diminish the character of Garfield which is in direct conflict with what is sought to be achieved in the Garfield Township Strategy.

The proposal also shows many non-compliance issues, as detailed in the Clause 55 and 56 assessments below.

It is considered that the proposal is unable to achieve an acceptable outcome. Please be advised if the proposal is not revised in response all the comments and concerns listed, the application will be recommended for refusal.

## Response

The proposal aligns with Garfield Township Strategy and is compliant with Clause 55 and 56 assessments. Please refer to Section 5.3 of the updated Planning Report for a detailed response against the Garfield Township Strategy.

## 2. The proposal does not comply with the following standards in Clause 55 of the Cardinia Planning Scheme:

- Standard B6 Street Setback** The minimum street setback for Dwelling 2 is 9m. The proposed street setback for Dwelling 2 is less than the minimum requirement, therefore, the proposal fails to demonstrate compliance with Standard B6 – Street Setback. Amended plans and/or revised Clause 55 Assessment against Standard B6 must be submitted.
- Standard B13 Landscaping** The proposed SPOS area for Dwelling 2, measuring 3m wide, is unable to accommodate appropriate landscaping along the rear setback and not allow for vegetation growth. It is highly recommended to increase its size and/or dimensions to improve its useability to demonstrate compliance with objectives of Standard B28 – Private Open Space, and to provide appropriate landscaping along the northern and western boundary to demonstrate compliance with objectives of Standard B13 - Landscaping. In addition, the proposed development did not provide for the retention of large existing trees (especially the tree labelled as H10 on the Existing Conditions/Demolition Plan) on the subject site, which is not an appropriate response to the objectives of Standard B13 – Landscaping.
- Standard B23 Internal Views** Bed 1 of Dwelling 2 is very likely to overlook into the habitable room windows kitchen/dining room of Dwelling 1 through the windows of the mud room. The proposal fails to meet Standard B23 – Internal Views.
- Standard B28 Private Open Space** It appears Dwelling 1 (existing dwelling) does not have convenient access to the SPOS from a living room. Internal modifications should be considered to enable direct access from a living room to demonstrate compliance with Standard B28. As mentioned above, the SPOS is minimal in size and considered insufficient to meet the recreational needs of future residents given the number of bedrooms proposed. The minimal width limits the useability of the space and opportunities for canopy tree planting within the rear and side setbacks.
- Standard B30 Storage** The current location of the storage space for Dwelling 2 provides poor connection between the SPOS and the proposed clothesline. It is strongly recommended to

relocate the storage space and/or increase Dwelling 2's setbacks to the northern boundary to ensure that the storage space is conveniently accessible from both the SPOS and the laundry room.

Response

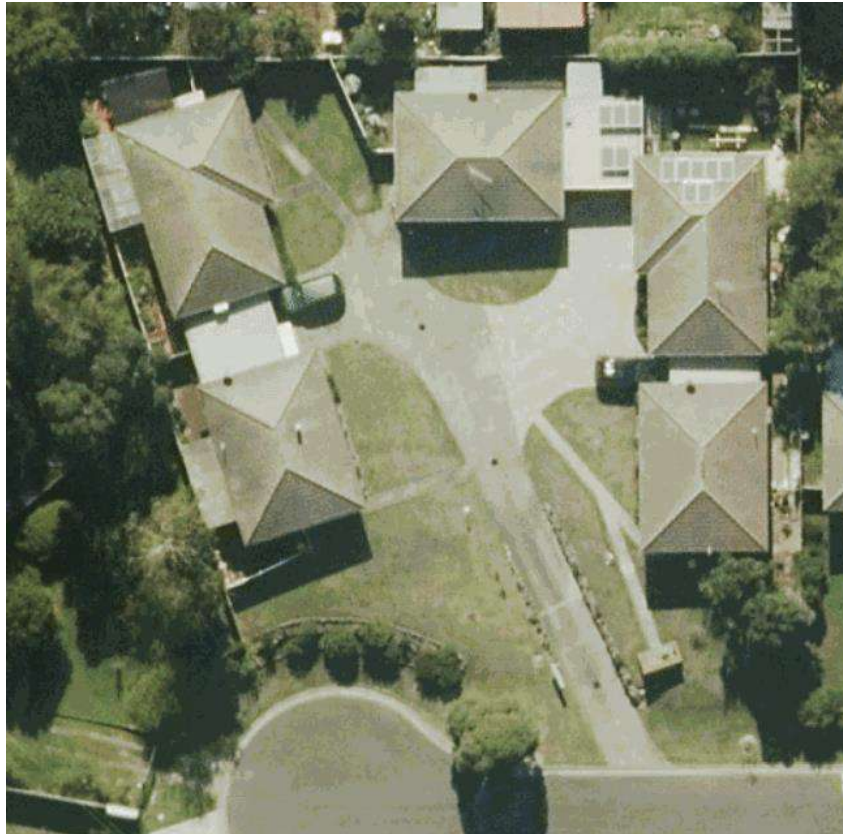
- a. The minimum setback require under the zone is the average setback distance of the abutting properties which equates to 7.95m. Additionally, under the Garfield Township Strategy, the minimum setback requirement is 7m. The proposed dwelling proposes a setback distance of 7.95m , and thus is compliant with both the Clause 55 and Garfield Township Strategy guidelines.
- b. Standard B28 Private Open Spaces states that the proposal should have - an area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room.

The proposed development does provide 188 sq.m of private open space out of which 25 sq.m is considered to be secluded private open space with a minimum width of 3.1m, thus the proposal is compliant with the standards.

Furthermore, the Standard B13 states to provide appropriate landscaping. The proposed development provides planting along western and southern boundaries. Additionally, removal of tree H10 is necessary to facilitate development. We understand that the objectives encourage retention of mature trees but in relation to the proposed development removal of the tree is necessary. Similar landscaping outcomes are quite common in the area , please refer to the images below:



*Figure 1. 30 and 32 Campbell Street , Garfield*



*Figure 2. 8-9 Kevis Ct, Garfield*

- c. The proposed development is features 1.8 metres high fencing along subdivision line to prevent any overlooking or internal views. Please refer to the architectural plans for further details.
- d. Standard B28 Private open spaces states the minimum requirements for private open space is 40 sq.m , whereas the proposal provides 188 sq.m which significantly exceeds the minimum requirements. In terms of usability of space, the rescod standards are met which deems that the place is usable.
- e. The proposed location of the clothesline has been strategically selected to ensure it is accessible exclusively through the laundry room. Given that the primary function of the clothesline is directly related to laundry activities, its placement is both practical and appropriate. Furthermore, this positioning contributes to the effective separation of uses within the dwelling, enhancing overall functionality and organization.

**3. The proposal does not comply with the Standard C6 Neighbourhood Character & Standard C8 Lot Area and Building Envelopes in in Clause 56 of the Cardinia Planning Scheme.**

As mentioned in the concerns section above, the proposal is not an appropriate response to the existing subdivision pattern of the area and does not respect the existing neighbourhood character of the surrounding area.

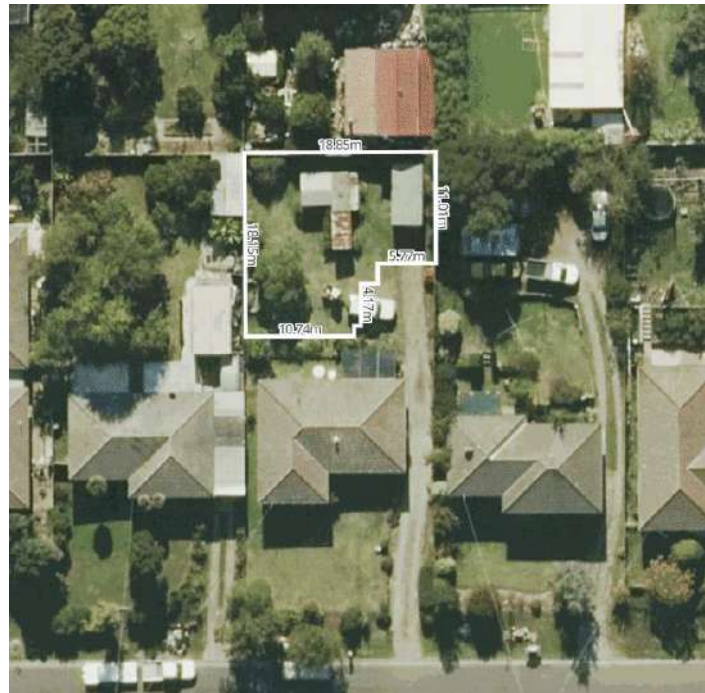
The size of Lot 2 is not an acceptable response to the Garfield Township Strategy. The proposal also does not meet the objectives of Standard C6, Standard C8, Standard B1 – Neighbourhood Character, and relevant decision guidelines in Clause 65.

The proposed development and subdivision of the land does not enable the appropriate siting of the proposed dwelling while retaining the existing dwelling, nor it enables the useability of private open space, retention of existing vegetation on site or accommodating additional landscaping on the site



## Response

The proposal development has a total lot area of 344 sq.m, which is appropriate in this emerging neighbourhood. Similar subdivisions can be seen in the neighbouring properties, please refer to the images below.



*Figure 3. 11 Kevis Ct, Garfield (Minimum Lot Size - 292 sq.m)*



*Figure 4. 8-9 Kevis Ct, Garfield (Minimum Lot Size - 164 sq.m)*

The above images demonstrate that smaller lot sizes are emerging in the neighbourhood and thus the proposed development is appropriate. For further information please refer to the updated planning report.

4. It appears a Feature Survey Plan (prepared by JCA Land Consultants) has been obtained for the subject site as shown on Page 8 of the Town Planning Report, however, it is not submitted upon lodgement of this planning application.

Please refer to the attached Survey Plan prepared by JCA consultants.

5. It is recommended to relocate the 1.2m tall mailbox to be outside of the corner splay area or reduce its maximum height to 900mm to demonstrate compliance with Clause 52.06 – Car Parking.

Please refer to the updated architectural plans.

6. Please be aware, a drainage easement is present along the western boundary, it is the responsibility of the applicant to ensure that the proposed development is suitably setback from this easement and asset and/or consent provided by the relevant authority.

Please refer to page TP17 of the architectural plans which show the updated subdivision drawings.

#### Further RFI request

Given the proximity of the proposed works (including additional crossover) to the large existing street tree along Mansell Court, please amend site plan to show the Diameter at Breast Height (DBH) measured at 1.3 metres above natural ground level, TPZ and SRZ of the existing street tree.

The proposed works are well within the allowed encroachment of 10%, thus do not cause any unreasonable impacts. Please refer to the updated architectural plans for further information.

Please feel free to reach out to us at [enakshi@propertysubdivision.com.au](mailto:enakshi@propertysubdivision.com.au) or 0406162630 if you have any questions.

Yours Faithfully,



**Town Planner**

Property Subdivision Pty Ltd.

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12<sup>th</sup> August 2025

Statutory Planner  
Cardinia Shire Council

Re: Response to RFI for Application No. T240702PA

Dear [REDACTED]

Property Subdivision Pty Ltd continues to act on behalf of the owner / applicant for the land located at 31 Campbell Street, Garfield. This letter is a response to the Request for Further Information dated 15<sup>th</sup> July 2025.

Additionally, we would like to request that a Section 173 agreement be included in the Planning Permit if granted.

In conjunction with the letter, we submit the following documents all of which should be read concurrently:

- Updated architectural plans.
- Updated Planning Report.
- Landscape Plans prepared by Crimson Lotus designs.
- WSUD plans prepared by Empire Thermal.

Please Refer below for the response:

| No. | Further Information Required  | Response   |
|-----|---|--|
| 1   | Updated Town Planning Report (dated 1 July 2025) to include:  |  |
| 1.1 | Assessment against Clause 52.06 Car Parking.  | <p>The proposed development , meets the statutory requirement .</p> <p>Two (2) car parking spaces is provided for each dwelling.</p> <p>For further information please look at our response against Clause 52.06.</p>  |
| 1.2 | Whether the existing dwelling will meet all applicable standards and objectives in Clause 55. The relevant plans must be updated accordingly. | <p>No structural works are proposed to the existing dwelling.</p> <p>As such, a detailed assessment of the existing dwelling is not required.</p> <p>The proposal meets statutory requirements for car parking and secluded private open space (SPOS).</p> <p>Breeze paths, bin storage areas, and general storage locations are clearly identified on the plans.</p> <p>Tree canopy coverage and site permeability have been assessed across the entire lot in accordance with planning guidelines.</p> |
| 2   | Amended Canopy Tree Plan and Landscape Plan that:   | Please refer to the updated architectural plan and landscape plan.   |



|     |   |   |
|-----|---|---|
| 2.1 | Clarify what the letter 'H' represents in relation to existing trees that are to be retained.   | The 'H' on the plan denotes tree height.                              |
| 2.2 | Update deep soil square metres annotation next to the proposed two (2) Type B trees to reflect the correct deep soil area.  | All openings have been of the existing dwelling have been demarcated. |
| 2.3 | Show a development summary table which includes: <ul style="list-style-type: none"> <li>• The number and mature canopy cover area of existing canopy trees to be retained, which can be used in calculating canopy cover.</li> <li>• The height and trunk circumference at 1.4 metres above ground level for all existing canopy trees to be retained on the site.</li> </ul> | Please refer to the amended plans.                                    |
| 3   | A written response to the below Preliminary Assessment Comments.  | Please refer to response to the preliminary comments.                 |

### **Preliminary Assessment Comments**

A preliminary assessment of the application has been undertaken and the following comments are provided for your consideration:

**1. Standard B5-1 Permeability and Stormwater Management in Clause 55 of the Cardinia Planning Scheme :**

The WSUD report, prepared by Empire Thermal Group July 2025, and the assessment was solely for the proposed dwelling and proposed Lot 2. It should be amended to demonstrate how the entire site can meet Standard B5-1.

The WSUD report also does not provide an adequate response to the ' site features and stormwater management responses' section on Page 76 of the Townhouse and Low-rise code Guidelines.

Please demonstrate how the proposal will meet the best practice quantitative performance objectives, as specified in Standard B5-01, for stormwater quality specified in the Urban Stormwater management guidance (EPA publication 1739.1, 2021) of:

Suspended solids 80% reduction in mean annual load.

Total phosphorous and Total nitrogen 45% reduction in mean annual load

Litter 70% reduction of mean annual load

### **Response**

Please refer to the updated WSUD plan.

**2. It is identified that the proposed driveway for Dwelling 2 will be finished with permeable paving as stated on Page 13 of the WSUD report. However, the site plan, the ground floor plan and landscape plan all state that the driveway will be finished with concrete. Please update all relevant plans to ensure consistency.**

### **Response**

Please refer to the updated WSUD plan and architectural plans.

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3. A number of Clause 55 standards have not been met for the existing dwelling, including but not limited to Standard B3-7, B3-8, B5-3. As item 1.2 mentioned in the 'Further Information Required' section above, please ensure the Town Planning Report and relevant plans have been clearly updated to demonstrate whether the existing dwelling will meet all applicable standards and objectives.

Response

As indicated in the architectural diagrams, the existing dwelling will remain unaltered, with no structural modifications proposed. This application, as outlined, seeks approval for a 'two-lot subdivision and the construction of one (1) additional dwelling'.

Thus, assessment of the existing dwelling under new provisions is not appropriate. However, we have indicated that the existing dwelling complies with multiple standards. Please refer to the updated Clause 55.

4. The current annotation for the proposed two (2) Type B trees' 'deep soil square metres' appear to be the 'minimum mature canopy cover' for Type B tree.

Response

Please refer to the updated Landscape Plans.

Please feel free to reach out to us at [enakshi@propertysubdivision.com.au](mailto:enakshi@propertysubdivision.com.au) or 0406162630 if you have any questions.

Yours Faithfully

  
Town Planner  
Property Subdivision Pty Ltd.

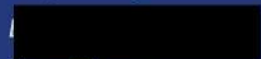
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# Town Planning Report

31 Campbell Street, Garfield

12<sup>th</sup> August 2025

Prepared by



Town Planner

Property Subdivision Pty Ltd

PROPERTY  

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SUBDIVISION

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## 1.0 Introduction

Property Subdivision Pty Ltd acts on behalf of the applicant in relation to this Planning Permit Application for the subdivision of land and construction of a dwelling at 31 Campbell Street, Garfield (Site).

This planning report is accompanied by the following documents all of which should be read in conjunction with the report :

- Updated architectural plans prepared by Property Subdivision Pty Ltd;
- RFI letter prepared by Property Subdivision Pty Ltd ;

The proposal encompasses a **two-lot subdivision** and construction of a new **single-storey** dwelling on the new lot.

| Application Summary          |  |
|------------------------------|--|
| Planning Scheme              | Cardinia Shire Council   |
| Site                         | 31 Campbell Street, Garfield   |
| Title                        | Lot 12 LP43303   |
| Existing Use                 | Residential  |
| Proposal                     | Construction of one (1) dwelling and a two-lot subdivision   |
| Zone                         | General Residential Zone – Schedule 1  |
| Overlays                     | n/a  |
| Permit Triggers              | Clause 32.08-3, a permit is required to subdivide land.<br>Clause 32.08-7, a permit is required to construct a dwelling if there is at least one dwelling existing on the lot.   |
| Aboriginal Cultural Heritage | N/a  |
| Bushfire                     | N/a  |
| Planning Policies            | Clause 16.01-1S Housing Supply<br>Clause 16.01-2S Housing affordability<br>Clause 21.01-3 Key Issues (Settlement and Housing)<br>Clause 21.01-5 Strategic Framework Plan<br>Clause 21.03-1 Housing<br>Clause 21.03-4 Rural Townships |
| Particular Provisions        | Clause 55 Two or more dwellings on a lot and Residential buildings<br>Clause 56 Subdivision<br>Clause 65 Decision Guidelines   |

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## 2.0 Site

The subject site is rectangular in shape and is situated at the intersection of Campbell Street and Mansell Court. The site features a frontage of 19.86 m along Campbell Street, with a depth of 44.09 meters. The land exhibits a gradual fall from north to south and includes various undulations. Currently, the site contains a single-storey dwelling with a sloping roof, as well as a detached garage, which is accessible via a crossover located in the northeastern corner of the property. The vegetation on the site is dense, with mature trees located within both the rear and front setbacks. The total site area is **1,074 square meters**, and it is set back 7.6 meters from Campbell Street. The front setback area is characterized by several mature canopy trees, in addition to smaller tree plantings.

Furthermore, we would like to highlight that the land is **not subject to any covenants**, but there is a 1.8 meter wide easement near the western boundary of the property.



Figure 1. Subject Site (Landchecker)



Figure 2. View of existing dwelling on site from Mansell Ct



Figure 3. View of subject site from Campbell Street frontage

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### 3.0 Surrounds

The subject site is situated approximately 18 kilometers east of the Pakenham Major Activity Centre, within a rapidly developing residential zone. This area predominantly features low-scale dwellings, primarily double-storey, with minimal vegetation in both the front and rear setbacks.

The following outlines the developments abutting the site:

- **North:** A single-storey dwelling with a semi-attached garage, featuring minimal vegetation in the front and rear setbacks.
- **West:** A single-storey dwelling with a sloping roof, set back approximately 7 metres from Mansell Court.
- **South:** Directly across the road, a single-storey dwelling with minimal vegetation along the side setbacks.
- **East:** Single-storey dwellings with sloping roofs and minimal vegetation in the front setbacks, with setbacks ranging from 7 to 9 metres from the street.

The surrounding area is experiencing growth, with several subdivisions already approved. Some notable developments in the vicinity, referenced for the purposes of this application, include:

- **26A Campbell Street:** A two-lot subdivision resulting in lot sizes of 652 sq.m.
- **11 Kevis Court:** A three-lot subdivision resulting in lot sizes ranging from 292 sq.m to 379 sq.m.
- **8-9 Kevis Court:** A six-lot subdivision resulting in lot sizes ranging from 158 sq.m to 207 sq.m.

Smaller lot sizes and medium-scale developments are becoming increasingly prevalent in the area

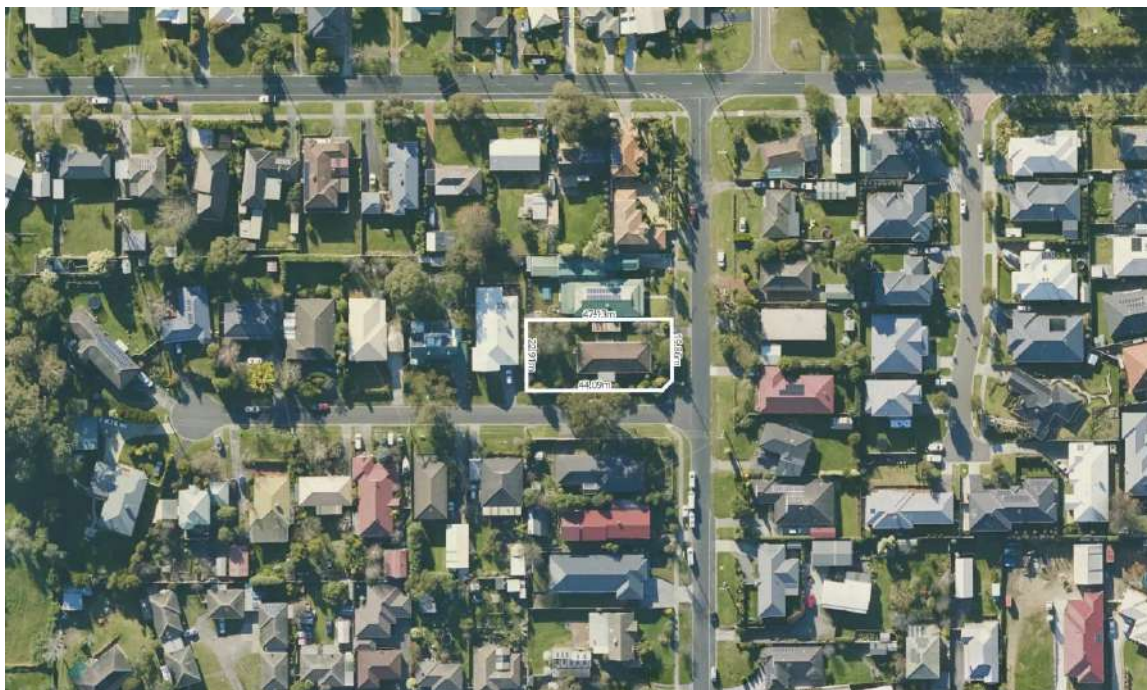


Figure 4. Surrounding Area (Landchecker)

### 3.1 Proximity to key amenities

The site is located near the following facilities:

- **Educational facilities** near the site:
  - o Garfield Kindergarten (500m)
  - o Bunyip Kindergarten (4.6 km)
  - o Garfield Primary School (800m)
  - o Bunyip Primary School (3.7 km)
  - o Longwarry primary School (9.1 km)
  - o Garfield North Outdoor Education Centre (5.5 km)
  - o St. Thomas Aquinas College (6.2 km)
  - o Drouin Secondary College (19.9 km)
  - o Pakenham Secondary College (23 km)
- **Public transport** options:
  - o Garfield Railway Station, located 900 metres south-west, providing services to Melbourne CBD and the outer eastern suburbs.
  - o Bus stops within 1 km of the site: Route 85 - Regional Bus to Drouin Station
- **Retail, dining facilities & other services:**
  - o 1.4 kilometres south-west is the Main Street featuring retail outlets, cafes, restaurants, and community services like Garfield post office, pharmacy & medical centre.
  - o Pakenham Place Shopping Centre, 19 kilometres west, offering a wide variety of retail shops and restaurants.
- **Public open spaces and recreational facilities nearby:**
  - o Greenland Court Playground and Reserve (180 metres north-east)
  - o Street playground (350 metres south-east)

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## 4.0 Proposal

The proposal entails the **construction of one (1) single-storey dwelling and a two-lot subdivision**. The objective is to retain the existing dwelling while subdividing the rear setback to facilitate the construction of a new, single-storey, three-bedroom dwelling.

The proposal summary is below:

|                                |                  |
|--------------------------------|------------------|
| <b>Total lot area</b>          | <b>344 sq.m</b>  |
| <b>Garden Area</b>             | 156 sq.m (45.3%) |
| <b>SPOS</b>                    | 25 sq.m          |
| <b>Maximum Building Height</b> | 5.86 m           |
| <b>Street Setback</b>          | 7.95 m           |
| <b>Frontage</b>                | 15.05 m          |

The design of the proposed dwelling draws inspiration from neighbouring residences, incorporating similar architectural features and materials. The dwelling is set back appropriately to minimize any visual bulk. Access to the property will be provided via a new crossover from Mansell Court. The dwelling includes a covered garage, along with provision for an additional parking space on the driveway.

The front setback of the dwelling offers opportunities for future planting, enhancing the overall character of the area. Furthermore, the proposal includes an adequate secluded private open space, featuring a deck, to ensure the provision of quality outdoor living areas.



Figure 5. Proposed render



## 5.0 Cardinia Shire Planning Scheme

### 5.1 Planning Policy Framework

The following clauses of the Planning Policy Framework are relevant to this proposal :

#### **Clause 16.01-1S Housing Supply**

*To facilitate well-located, integrated and diverse housing that meets community needs.*

The proposed dwelling is designed to address the growing population in the area and to accommodate the diverse housing needs of the community. By utilizing underutilized land, the proposal offers an enhanced outcome that contributes positively to the area's development. Furthermore, the single-storey design of the dwelling is inclusive, catering to a broader segment of the community. The interior of the dwelling has been thoughtfully designed to ensure adaptability, allowing for flexibility to meet the future needs of the residents.

#### **Clause 16.01-2S Housing affordability**

*To deliver more affordable housing closer to jobs, transport and services*

The site is located in close proximity to the Garfield Railway Station, making it ideal for the proposed outcome. The building design provides a reasonable outcome with adequate private open space and front setbacks. In addition to that the smaller lot size makes it a more affordable choice for moderate income households.

### 5.2 Municipal Planning Strategic Statement

The following clauses of the Municipal Planning Strategic Statement are relevant to this proposal:

#### **Clause 21.01-3 Settlement and Housing**

*The sustainable development of the Urban Established Areas, Urban Growth Area, and rural townships*

The proposed development is an appropriate scale outcome for the key issue faced by the municipality. The scale of the development is low and in keeping with the current neighbourhood character.

#### **Clause 21.01-5 Strategic Framework Plan**

*The purpose of the framework plan is to provide an overview of land use in the Cardinia Shire and to identify locations where specific land use outcomes will be supported and promoted.*

The strategic framework plan identifies the site to be within residential areas of Garfield. The proposed outcome is promoted and supported in the strategic context, as it maintains the current landuse and increases the use of the land.

**Clause 21.03-1 Housing**

*The urban area in the Cardinia Shire will continue to attract predominantly young families into the foreseeable future. However, as the housing market progressively matures and the needs of households change there will be increasing demand for more diverse forms of housing.*

The proposal acknowledges the ongoing changes in the area and presents a development that will benefit the growing community. The design of the proposed dwelling is compact and reflects the evolving housing patterns. As previously noted, smaller lot subdivisions are becoming increasingly common in the area, and this proposal aligns with that trend.

**Clause 21.03-4 Rural Townships**

Garfield is recognized as a significant rural township experiencing population growth. As the closest town to the Pakenham Major Activity Centre, it has become a highly sought-after residential locality. The proposed dwelling is designed to address and accommodate this increasing demand for housing in the area.

**5.3 Victoria's Housing Statement 2024-2034**

The government has set a target of 425,600 new homes in regional Victoria. The government of Victoria has recognised the growing population and has forecasted that Victoria will need 2.24 million homes by 2051. The government encourages the new homes to be affordable, diverse and inclusive.

The proposed development provides an enhanced outcome for the site and aids in the housing diversity of the area.

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## 5.3 Garfield Township Strategy 2002 – Residential Development

The Garfield Township Strategy outlines key principles to guide residential development. Notably, Section 3.3 of the strategy states:

*"The study recommended that minor growth should be allowed to occur to the north, west, and east of the existing town centre, subject to the provision of sewerage, with the aim of accommodating a population base of between 2,500 to 3,000 persons."*

This framework facilitates the introduction of higher-density housing. The strategy was originally developed in response to the projected population growth of Garfield in 2002. However, the town's population has since grown to approximately 2,501 residents and continues to increase. The lot sizes of 700-1,000 sq.m were initially proposed based on a population base of 1,100, a figure that has now doubled.

An assessment against the key criterias of the Garfield Township Strategy is given below :

| Criteria                              | Proposed  |
|---------------------------------------|---|
| Lot size : 700-1000 sq.m              | 344 sq.m<br><br>As previously mentioned, the lot size criteria were established based on the population projections of 2002; however, the population has since doubled. Lot sizes similar to those proposed have been approved in the area, making this development appropriate and aligned with the current demands of the township. |
| 7 m frontage setback                  | 7.95 m setback  |
| Site Coverage 50 %                    | 35.5%   |
| Lot layout to maximize tree retention | As outlined in Section 2 of the report, the abutting lots feature minimal vegetation. The proposed development involves the removal of certain trees to facilitate construction, which will ultimately contribute to an enhanced outcome for the land.  |

A response against the key themes of the Garfield Township Strategy is given below:

| Themes                      | Response  |
|-----------------------------|---|
| Promote sustainable growth  | The proposed development is both economically and socially sustainable. With a medium-density design, the proposal avoids any unreasonable visual bulk.               |
| Enhancing housing diversity | The proposal adds a diversity to the current housing market .   |
| Maintain Character Respect  | The proposed development is an appropriate response to the evolving character of the neighbourhood. With the approval of smaller lot sizes and a diversity of housing |

|                               |  |
|-------------------------------|--|
|                               | types within the area, the proposal is consistent with this emerging trend.  |
| <b>Efficient land use</b>     | The proposed development enhances the efficiency of the land, with an increase in density achieved in a sustainable manner. This represents the most appropriate outcome for the site.                           |
| <b>Medium density housing</b> | The proposed development can be identified as a medium density outcome for the neighbourhood. The proposal provides a diverse housing option for smaller households and ageing population.                       |
| <b>Connection to sewerage</b> | The subject site is connected to reticulated sewerage.   |
| <b>Solar orientation</b>      | The proposed development is oriented in a north-south direction, which represents the optimal arrangement for residential purposes, as it allows the secluded private open space to be positioned to face north. |

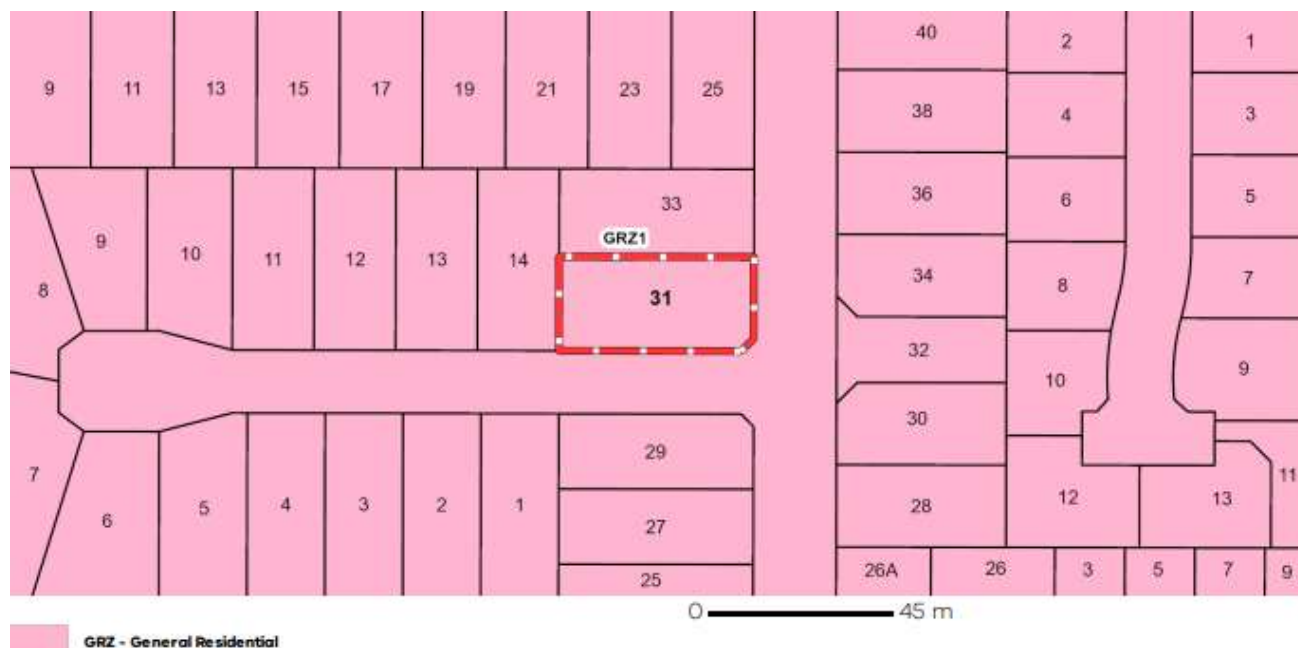
On the basis of above, we maintain that the proposal is appropriate to cater the current population needs and proposed lot size is in keeping with the current approved proposals in the zone.

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## 6.0 Zone

The subject site is located under General Residential Zone – Schedule 1 (GRZ1)



The overarching purpose of the zone is as follows:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

The planning permit triggers are as follows:

Clause 32.08-3, a permit is required to subdivide land.

*An application to subdivide land that would create a vacant lot less than 400 square metres capable of development for a dwelling or residential building, must ensure that each vacant lot created less than 400 square metres contains at least **25 percent as garden area**.*

Clause 32.08-4, construction of a dwelling (minimum garden area requirement).

An assessment against the relevant decision guidelines is given below :

| General   | Response  |
|---|---|
| <b>The Municipal Planning Strategy and the Planning Policy Framework.</b> | The proposal strongly aligns with the objectives by encouraging the efficient use of land in a developed area, particularly in a residential zone near essential services and transportation. Adding an |

|   |  |
|---|--|
|   | additional dwelling to the lot enhances housing supply while preserving the neighborhood's character, supporting a balanced approach to urban development and supply of residential land.                          |
| <b>The purpose of this zone.</b>  | The subject site is located near services and public transport, making it an ideal location to increase housing. The proposal introduces housing diversity which realises the housing growth in the neighbourhood. |
| <b>Subdivision</b>  |  |
| <b>The pattern of subdivision and its effects on the spacing of buildings</b> | The proposed pattern of subdivision is ideal in regards to the site and does not have any unreasonable impact to the spacing of the buildings.   |

On the basis of above, we maintain that the proposal is appropriate under the zone.

## 6.1 Exemption

An application under Clause 32.08-7 is exempt from the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82 (1) of the Act if all the applicable standards under Clause 55.02, 55.04-1, 55.04-2, 55.04-3, 55.04-4 and 55.05-2 are met.

## 7.0 Clause 52.06

The overarching purpose of the zone is as follows :

- *To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.*
- *To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.*
- *To support sustainable transport alternatives to the motor car.*
- *To promote the efficient use of car parking spaces through the consolidation of car parking facilities.*
- *To ensure that car parking does not adversely affect the amenity of the locality.*
- *To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.*

Under the Clause, **a planning permit is not required** as the proposed development meets the statutory requirements and provides two (2) car parking spaces per dwelling.

Furthermore, the proposal complies with the design standards for car parking as follows :

- **Accessway**

- The proposed car parking spaced will be accessed via a crossover on Mansell Court. The width of the crossover is to be 3m and a required corner splay area will be provided.
- **Car Parking Spaces**
  - The dimensions of the car parking space is 6m x 9m, thus the proposal is compliant.
- **Gradient**
  - The proposed gradient is less than 25% , thus the design is compliant.
- **Mechanical Parking**
  - No mechanical car parking proposed.
- **Urban Design**
  - The proposed garage does not cause any unreasonable visual bulk.
- **Safety**
  - Sensor lighting has been proposed for the garage entrance. The proposed garage is positioned to maximise passive surveillance and pedestrian visibility.
- **Landscaping**
  - The proposed additional car space is proposed to be a permeable driveway , thus the proposed design is compliant.

## 7.0 Conclusion

The proposed development is an appropriate outcome for the neighbourhood and contributes positively to the housing diversity of the area. The dwelling is well-suited to the site's context and aligns with the objectives of the General Residential Zone as well as the State and Local Planning Policy Frameworks.

Overall, the proposal represents a balanced and positive planning outcome for all stakeholders and aligns with future planning objectives of the area for the following areas:

- It complies with the strategic goals of the Cardinia Planning Scheme , particularly in terms of housing diversity and urban consolidation, by introducing varied housing options in an area mainly characterized by larger single dwellings.
- The proposal aligns with the overall residential development and environmental goals of the Garfield Township Strategy, supporting sustainable growth while maintain the township's distinct character.
- The design is well articulated, uses materials consistent with other new developments in the area, and the substantial street setback ensures it complements the existing neighbourhood character.
- The proposal meets relevant objectives and is highly compliant with Rescode standards, offering a site-sensitive design that respects the amenity of neighbouring properties and the area's character.

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# Appendix A : Townhouse and low rise code

31 Campell St, Garfield

Prepared by

Town Planner

Property Subdivision Pty Ltd

12<sup>th</sup> August 2025




PROPERTY  

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SUBDIVISION




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## Cardinia Planning Scheme

| Standard  | Response  |   | Compliance  |
|---|---|---|---|
| Neighbourhood Character Objectives  |   |   |   |
| <b>Standard B2-1<br/>Street Setback</b><br><br><i>To ensure that the setbacks of buildings from a street respond to the existing or preferred neighbourhood character and make efficient use of the site.</i><br><br>The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.  | Deemed to comply  | Proposed  |    |
|   | 6m  | <b>6m</b><br><br>The proposed setback is the minimum required. Thus, the proposal complies.<br><br>Existing dwelling is not being altered.  |   |
| <b>Standard B2-2<br/>Building Height</b><br><br><i>To ensure that the height of buildings respond to the existing or preferred neighbourhood character</i><br><br>The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.<br><br>If no maximum height is specified in the zone , schedule to the zone or an overlay, the maximum building height does not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height does not exceed 10 metres.                      | Deemed to comply  | Proposed  |    |
|   | 11 metres or three storeys  | <b>5.9m</b><br><br>The proposed maximum dwelling heights of all the dwelling is approximately 5m less than the maximum allowed. Thus, the proposal complies.<br><br>Existing dwelling is not being altered.   |   |
| <b>Standard B2-3<br/>Side and rear setbacks objectives</b><br><br><i>To ensure that the height and setback of a building from a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings.</i><br><br><b>B2-3-1</b><br>The building is setback at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.<br><br><b>B2-3-2</b><br>If the boundary is not to the south of the building, the building is setback at least 3 metres up to a height not exceeding 11 metres and at least 4.5 metres for a height | Deemed to Comply  | Proposed  |  |
|   | <ul style="list-style-type: none"><li>Rear – 1m</li><li>West – 1.4m</li></ul> | <ul style="list-style-type: none"><li>Rear– <b>3.7m</b></li><li>West – <b>3.1m</b></li></ul><br>As seen above, the proposed development applies <b>Standard B2-3.1</b> for side and rear setbacks.<br><br>The proposal is compliant.<br><br>Existing dwelling is not being altered. |   |



|   |                                 |   |   |
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| over 11 metres. If the boundary is to the south of the building, the building is setback at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east.   |                                 |   |   |
| <b>Standard B2-4</b><br><b>Walls on boundaries</b><br><br><i>To ensure that the location, length and height of a wall on a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings and small second dwellings</i><br><br><hr/> A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot does not abut the boundary for a length that exceeds the greater of the following distances: <ul style="list-style-type: none"> <li>• 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</li> <li>• The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot</li> </ul> | Deemed to comply                | Proposed  |   |
|   | No Walls on boundaries proposed |   |   |
| <b>Standard B2-5</b><br><b>Site Coverage</b><br><br><i>To ensure that the site coverage responds to the existing or preferred neighbourhood character and responds to the features of the site.</i><br><br><hr/> The site area covered by buildings does not exceed:<br>The maximum site coverage specified in a schedule to the zone;<br><br>or If no maximum site coverage is specified in a schedule to the zone, the percentage specified in Table B2-5.  | Maximum allowed                 | Proposed  |  |
|   | 65 %.                           | <b>35.5%</b><br><br>The proposed site coverage is 30 % lesser than the maximum allowed. Thus, the proposal is compliant.<br><br>Site coverage is calculated as a sum of both Lot 1 and Lot 2. |   |
| <b>Standard B2-6</b><br><b>Access</b>   | Required                        | Proposed  |   |

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| <p><i>To ensure the number and design of vehicle crossovers responds to the neighbourhood character.</i></p> <p>The width of accessways or car spaces (other than to a rear lane) does not exceed:</p> <ul style="list-style-type: none"> <li>• 33 per cent of the street frontage;</li> <li>• or 40 per cent of the street frontage if the width of the street frontage is less than 20 metres.</li> </ul>  | <p>The crossover can be upto 6.6m of the frontage.</p> | <p><b>3m</b></p> <p>The proposed crossover is to be constructed in accordance with the Relevant authorities and is compliant as it is less than 33 per cent of the Frontage.</p>   |    |
| <p><b>Standard B2-7</b><br/><b>Tree Canopy</b></p> <p><i>To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape.</i></p> <p><i>To preserve existing canopy cover and support the provision of new canopy cover.</i></p> <p><i>To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat.</i></p> <hr/> <p>Provide a minimum canopy cover as specified in Table B2-7.1.</p> | <p><i>Required</i></p> <p>214.8sq.m</p>                | <p><i>Proposed</i></p> <p><b>217.4sq.m</b></p> <p>The proposal incorporates 3 sq.m more than required Tree Canopy. Thus, the proposal is compliant.</p> <p>Tree canopy area is calculated based on the entire lot. Thus, both the lots comply.</p> |    |
| <p><b>Standard B2-8</b><br/><b>Front Fences</b></p> <p><i>To encourage front fence design that responds to the existing or preferred neighbourhood character</i></p> <hr/> <p>A front fence within 3 metres of a street is:</p> <ul style="list-style-type: none"> <li>• The maximum height specified in a schedule to the zone,</li> <li>• or If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B2-8</li> </ul>  | <p><i>Required</i></p>                                 | <p><i>Proposed</i></p> <p>No front fence is proposed.</p>  |  |
| <b>Liveability</b>   |  |  |   |
| <p><b>Standard B3-1</b><br/><b>Dwelling Diversity</b></p>  | Not Applicable   |  |   |

*To encourage a range of dwelling sizes and types in developments of ten or more dwellings.*

Developments include at least:

- One dwelling that contains a kitchen, bath or shower, bedroom and a toilet and wash basin at ground floor level for every 10 dwellings.
- One dwelling that includes no more and no less than 2 bedrooms for every 10 dwellings.
- One dwelling that includes no more and no less than 3 bedrooms for every 10 dwellings

**Standard B3-2  
Parking Location**

*To minimise the impact of vehicular noise within developments on residents*

Habitable room windows with sill heights of less than 3 metres above ground level are setback from accessways and car parks by at least:

- 1.5 metres; or
- If there is a solid fence with a height of at least 1.5 metres between the accessway or car park and the window, 1 metre; or
- 1 metre where window sills are at least 1.5 metres above ground level

*Deemed to Comply*

1m setback from the concrete driveway.

*Proposed*

No Habitable room windows face the parking location.

Existing dwelling remains unchanged.



**Standard B3-3  
Street Integration Objective**

*To integrate the layout of development with the street to support the safety and amenity of residents*

Where a development fronts a street, a vehicle accessway or abuts public open space:

- Passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space.
- The total cumulative width of all site services to be located within 3 metres of a street, do not take up more than 20 per cent of the width of the frontage and are screened

*Deemed to Comply*



*Proposed*


Both the bedrooms face the street, encouraging passive surveillance.

Additionally, all the site services are appropriately located and screened from the public realm.




Existing dwelling remains unchanged.






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| from view from the street or located behind a fence. Screens or fences are to provide no more than 25 per cent transparency.   |                                 |  |   |
| <b>Standard B3-4<br/>Entry Objectives</b><br><br><i>To provide each dwelling, apartment development or residential building with its own sense of identity.</i><br><br><i>To provide entries with weather protection, safe design, natural light and ventilation.</i><br><br><hr/> Each dwelling and each residential building has a ground level entry door that: <ul style="list-style-type: none"> <li>Has a direct line of sight from a street, accessway or shared walkway.</li> <li>Is not accessed through a garage.</li> <li>Has an external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door</li> </ul> | Deemed to Comply                | Proposed   |    |
|  |                                 | The proposed dwelling's porch is designed to have a direct line of sight towards Mansell Court.<br><br>The porch is not accessed through garage.<br><br>The porch is more than 1.44sq.m and has a width of more than 1.2m.<br><br>Thus, the proposal complies.<br><br>Existing dwelling remains unchanged. |   |
| <b>Standard B3-5<br/>Private Open Space</b><br><br><i>To provide adequate private open space for the reasonable recreation and service needs of residents.</i><br><br><hr/> A dwelling or residential building has private open space of an area and dimensions specified in a schedule to the zone.<br><br>If no area or dimension is specified in a schedule to the zone, a dwelling or residential building has private open space with direct access from a living area, dining area or kitchen consisting of:   | Deemed to Comply                | Proposed   |  |
|  | Min – 25 sq.m<br>Min width - 3m | 25sq.m.<br><br>The proposed secluded private open space has a minimum width of 3m.<br><br>Thus, the proposal is compliant.<br><br>The existing dwelling has been provided with 25sq.m of SPOS.<br><br>Thus, both dwellings are compliant.  |   |



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| <ul style="list-style-type: none"> <li>An area of 25 sq.m of secluded private open space, with a minimum dimensions of 3 metres width; or</li> <li>A balcony with atleast the area and dimensions specified in Table B3-5; or</li> <li>An area on a podium or similar of at least 15 sq.m, with a minimum dimension of 3 metres with; or</li> <li>An area on a roof of at least 10 sq.m,with a minimum dimension of 2m width.</li> </ul>  |   |   |   |
| <b>Standard B3-6</b><br><b>Solar access to open space</b><br><br><i>To allow solar access into the secluded private open space of new dwellings and residential buildings.</i><br><br><hr/> <p>The southern boundary of secluded private open space is set back from any wall on the north of the space at least <math>(2 + 0.9h)</math> metres, where 'h' is the height of the wall</p>  | Not Applicable  |   |   |
| <b>Standard B3-7</b><br><b>Functional Layout Objective</b><br><br><i>To ensure dwellings provide functional areas that meet the needs of residents</i><br><br><hr/> <p>Bedrooms:</p> <ul style="list-style-type: none"> <li>Meet the minimum internal room dimensions specified in Table B3-7.1; and</li> <li>Provide an additional area of at least 0.8 square metres to accommodate a wardrobe.</li> </ul> <p>Living areas (excluding dining and kitchen areas) meet the minimum internal room dimensions specified in Table B3-7.2</p> | Deemed to Comply  | Proposed  |  |
|   | Main Bedrooms<br>Min Width – 3m<br>Min depth – 3.4m<br><br>Other Bedrooms<br>Min width – 3m.<br>Min depth – 3m<br><br>Living Area<br>Min width – 3.6m<br>Min area- 10 sq.m. | All bedrooms are above the required minimum width and depth.<br><br>The proposed living room is more than 12sq.m, and 3.6m in width which is more than the required minimum.<br><br>As seen above, the proposed room dimensions are appropriate. Thus, the proposal is compliant.<br><br>Existing dwelling remains unchanged. |   |
| <b>Standard B3-8</b><br><b>Room Depth</b>   | Deemed to Comply  | Proposed  |   |





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| <p><i>To allow adequate daylight into single aspect habitable rooms</i></p> <hr/> <p>The depth of a single aspect habitable room does not exceed 2.5 times the ceiling height measured from the external surface of the habitable room window to the rear wall of the room.</p> <p>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</p> <ul style="list-style-type: none"> <li>• The room combines the living area, dining area and kitchen; and</li> <li>• The kitchen is located furthest from the window; and</li> <li>• The ceiling height is at least 2.7m measured from finished floor level to finished ceiling level, this excludes where services are provided above the kitchen; and</li> <li>• An overhang extends no more than 2m beyond the window of the single aspect habitable room.</li> </ul> | <p>Maximum room depth – 9 m</p> <p>Minimum ceiling height – 2.7m</p> | <p>None of the room depths exceed 9m. Please refer to the architectural plans.</p> <p>The minimum ceiling height proposed is – 2.74m</p> <p>Thus, the proposal is compliant.</p> <p>Existing dwelling remains unchanged, thus not to be assessed.</p> |    |
| <p><b>Standard B3-9</b><br/><b>Daylights to new windows</b></p> <p><i>To allow adequate daylight into new habitable room windows</i></p> <hr/> <p>A window in an external wall of the building is provided to all habitable rooms. Habitable rooms in a dwelling have a window that faces:</p> <ul style="list-style-type: none"> <li>• An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or</li> <li>• A verandah provided it is open for at least one third of its perimeter; or</li> <li>• A carport provided it has two or more open sides and is open for at least one third of its perimeter</li> </ul>  | <p><i>Deemed to Comply</i></p>                                       | <p><i>Proposed</i></p> <p>All habitable room windows are equipped with a window in external wall of the building.</p> <p>Thus, the proposal is compliant.</p> <p>Existing dwelling remains unchanged, thus not to be assessed.</p>                    |  |
| <p><b>Standard B3-10</b><br/><b>Natural Ventilation</b></p>  | <p><i>Deemed to Comply</i></p>                                       | <p><i>Proposed</i></p>  |  |



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| <p><i>To encourage natural ventilation of dwellings.</i></p> <p><i>To allow occupants to effectively manage natural ventilation of dwellings</i></p> <p>Dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:</p> <ul style="list-style-type: none"><li>• A maximum breeze path through the dwelling of 18 metres.</li><li>• A minimum breeze path through the dwelling of 5 metres.</li><li>• Ventilation openings with approximately the same size.</li></ul> <p>The breeze path is measured between the ventilation openings on different orientations of the dwelling</p> | <p>Maximum Breeze Path = 18m</p> <p>Minimum Breeze Path = 5m</p>         | <p>The dwelling has an average breeze path of 10m.</p> <p>Please refer to the architectural plans.</p> <p>Existing dwelling remains unchanged and has a breeze path of 9.4m.</p> |   |
| <p><b>Standard B3-11</b></p> <p><b>Storage</b></p> <p><i>To provide adequate storage facilities for each dwelling.</i></p> <hr/> <p>Each dwelling has exclusive access to at least 6 cubic metres of externally accessible storage space.</p> <p>Each dwelling has exclusive access to storage at least the total minimum storage volume that is specified in Table B3-11.</p>  | <p><i>Deemed to comply</i></p> <p>Minimum storage - 6 cubic. Metres.</p> | <p><i>Proposed</i></p> <p>The dwellings are equipped <b>6 cubic metres of storage.</b></p>   |  |
| <p><b>Standard B3-12</b></p> <p><b>Accessibility for apartment developments</b></p> <p><i>To ensure the design of dwellings meets the needs of people with limited mobility.</i></p> <hr/> <p>At least 50 per cent of dwellings in or forming part of an apartment development have:</p> <ul style="list-style-type: none"><li>• A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.</li><li>• A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main</li></ul>  | Not Applicable   |  |   |



| <p>bedroom, an adaptable bathroom and the living area.</p> <ul style="list-style-type: none"> <li>• A main bedroom with access to an adaptable bathroom.</li> <li>• At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table B3-12</li> </ul>   |   |
|---|---|
| External Amenity  |   |
| <p><b>Standard B4-1</b><br/><b>Daylight to existing windows</b></p> <p><i>To allow adequate daylight into existing habitable room windows.</i></p> <hr/> <p>Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> | <p>No existing windows are being affected.</p>                 |
| <p><b>Standard B4-2</b><br/><b>Existing north-facing windows</b></p> <p><i>To allow adequate solar access to existing north-facing habitable room windows</i></p> <hr/> <p>Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot:</p> <ul style="list-style-type: none"> <li>• A newbuilding is to be set back from the boundary by at least 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.</li> </ul>  | <p>No existing north facing windows are being affected.</p>  |


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| <ul style="list-style-type: none"> <li>For new buildings that meet the Standard B2-3.2 setback, the building is setback at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.</li> </ul>   |  |  |   |
| <b>Standard B4-3</b><br><b>Overshadowing secluded private open space</b><br><br><i>To ensure buildings do not significantly overshadow existing secluded private open space.</i><br><br><hr/> <p>The area of secluded private open space that is not overshadowed by the new development is greater than:</p> <ul style="list-style-type: none"> <li>50 per cent, or</li> <li>25 square metres with a minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September</li> </ul>  | <i>Deemed to comply</i><br><br>Minimum area not overshadowed – 25 sq.m | <i>Proposed</i><br><br>The proposed development is single storey.<br><br>Please refer to the overshadowing diagrams.<br><br>Thus, the proposal is compliant. |    |
| <b>Standard B4-4</b><br><b>Overlooking</b><br><br><i>To limit views into existing secluded private open space and habitable room windows</i><br><br><hr/> <p>In Clause 55.04-4 a habitable room does not include a bedroom.</p> <p>A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio:<br/> Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or</p> <ul style="list-style-type: none"> <li>Has sill heights of at least 1.7 metres above floor level; or Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or</li> <li>Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or</li> </ul> | <i>Deemed to comply</i>  | <i>Proposed</i><br><br>The proposed development is single storey and does not cause any overlooking.<br><br>Thus, the proposal is compliant.                 |  |



|   |                         |  |   |
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| <ul style="list-style-type: none"><li>Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins.</li></ul>  |                         |  |   |
| <b>Standard B4-5<br/>Internal views</b><br><br><i>To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</i><br><br><hr/><br>Within the development, a habitable room window, balcony, terrace, deck or patio that is located with a direct view into the secluded private open space of another dwelling:<br>Is offset a minimum of 1.5 metres from the edge of the secluded private open space; or <ul style="list-style-type: none"><li>Has a sill height of at least 1.7 metres above floor level; or</li><li>Has a fixed, visually obscure balustrade to at least 1.7 metre above floor level; or</li><li>Has permanently fixed external screens to at least 1.7 metres above floor level; or</li><li>Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins</li></ul> | <i>Deemed to comply</i> | <i>Proposed</i><br><br>The proposed development does not cause any unreasonable internal views.<br><br>Thus, the proposal is compliant.  |    |
| Sustainability  |                         |  |   |
| <b>Standard E5-1<br/>Permeability and Stormwater management</b><br><br><i>To reduce the impact of increased stormwater run-off on the drainage system and downstream waterways.</i><br><br><i>To facilitate on-site stormwater infiltration.</i><br><br><i>To encourage stormwater management that maximises the retention and reuse of stormwater.</i><br><br><hr/> <i>To contribute to urban cooling</i>  | <i>Deemed to comply</i> | <i>Proposed</i><br><br>Site permeability = 20%<br><br><b>62%</b><br><br>The proposed development has <b>42%</b> more than the minimum required percentage of permeable surfaces. |  |

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| The site area covered by the pervious surfaces should be at least 20 percent of the site.  |   | Thus, the proposal is compliant.  |   |
| <b>Standard E5-2</b><br><b>Overshadowing domestic solar energy systems</b><br><br><i>To ensure that the height and setback of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings.</i><br><br><hr/> Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot should be set back from the boundary to that lot by at least 1 metre at 3.6 metres above ground level, plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.<br><br>This standard applies to an existing building in a Township Zone, General Residential Zone or Neighbourhood Residential Zone. | Deemed to Comply  | Proposed  |    |
|  |   | The proposal is setback at an appropriate distance and does not cause any overshadowing on the abutting property's solar systems.<br><br>Thus, the proposal is compliant. |   |
| <b>Standard E5- 3</b><br><b>Rooftop solar energy generation area</b><br><br><i>To support the future installation of appropriately sited rooftop solar energy systems for a dwelling</i><br><br><hr/> An area on the roof capable of siting a rooftop solar energy area for each dwelling should be provided and: <ul style="list-style-type: none"> <li>• Have a minimum dimension of 1.7 metres.</li> <li>• Have a minimum area in accordance with Table E5-3.</li> <li>• Is oriented to the north, west or east.</li> <li>• Is positioned on the top two thirds of a pitched roof.</li> <li>• Can be a contiguous area or multiple smaller areas.</li> </ul>  | Deemed to Comply  | Proposed  |  |
|  | 2-3 bedroom dwelling – 26sq.m<br><br>4 or more bedroom dwelling – 34sq.m. | <b>45sq.m</b><br><br>The proposed solar generation area is 21sq.m more than the required.<br><br>Thus, the proposal is compliant.   |   |

|   |   |  |   |
|---|---|--|---|
| <ul style="list-style-type: none"> <li>Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area.</li> </ul>  |   |  |   |
| <b>Standard E5-4</b><br><b>Solar Access protection to new north facing windows</b><br><br>To encourage external shading of north facing windows to minimise summer heat gain.<br><br><hr/> North facing windows should be shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.   | <i>Deemed to Comply</i>   | <i>Proposed</i><br><br>All north facing windows are provided with at least a minimum 450mm of sun shading louvers.<br><br>Thus, the proposal is compliant. |    |
| <b>Standard E5-5</b><br><b>Waste and recycling</b><br><br><i>To ensure dwellings are designed to facilitate waste recycling.</i><br><br><i>To ensure that waste and recycling facilities are accessible and are of sufficient size to manage organic and general waste, and mixed and glass recycling.</i><br><br><i>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity.</i><br><br><hr/> The development should include an individual bin storage area for each dwelling, or a shared bin storage area for use by each dwelling, of at least the applicable area, depth and height specified in Table E5-5.1. | <i>Deemed to Comply</i><br><br>Individual bin storage area – 1.8 sq.m | <i>Proposed</i><br><br>The proposed dwelling has been equipped with the required bin storage area.<br><br>Thus, the proposal is compliant.                 |  |
| <b>Standard E5-6</b><br><b>Noise impacts</b>  | Not applicable  |  |   |

|  |                         |  |   |
|--|-------------------------|--|---|
| <p><i>To minimise the impact of mechanical plant noise located in the development.</i></p> <p>Mechanical plant, including mechanical car storage and lift facilities should not be located immediately adjacent to bedrooms of new or existing dwellings or small second dwellings, unless a solid barrier is in place to provide a line of sight barrier to transmission of noise and the location of all relevant bedrooms</p> |                         |  |   |
| <p><b>Standard E5-6</b><br/><b>Energy Efficiency for apartment developments</b></p> <p><i>To achieve energy efficient dwellings and buildings.</i></p> <p><i>To ensure dwellings achieve adequate thermal efficiency.</i></p> <p>Dwellings located in a climate zone identified in Table E5-7 should not exceed the maximum NatHERS annual cooling load</p>  | <i>Deemed to comply</i> | <i>Proposed</i>  |  |
|  |                         | <p>The proposed development incorporates several passive design strategies which ensure that the dwellings are energy efficient.</p> |   |

On the basis of above, we maintain that the proposal is compliant with the new deemed to comply standards. For further information, please feel free to reach out to [enakshi@propertysubdivision.com.au](mailto:enakshi@propertysubdivision.com.au) or 0406162630.

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# Appendix B : Clause 56 Assessment

31 Campbell Street, Garfield VIC 3814

Prepared by



Property Subdivision Pty Ltd

12<sup>th</sup> August 2025

PROPERTY  

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SUBDIVISION

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We are requesting approval for the subdivision of the site alongside the approval for the construction of an additional dwelling.

The subdivision boundaries are outlined in the development plans and will result in the following lot sizes:

- Lot 1 (fronting Campbell Street, containing the existing dwelling): **730** square metres.
- Lot 2 (fronting Mansell Court, containing the new dwelling): **344** square metres.

**This subdivision will not create any common property.**

We submit the following response to the relevant provisions of Clause 56 (Residential Subdivision):

| Clause 56 Assessment – Cardinia Shire Council  |  |
|--|--|
| <b>56.03-5 - Standard C6</b><br><b>Neighbourhood character objective</b><br><br><i>To design subdivisions that respond to neighbourhood character.</i>   | <b>Complies</b><br><br><p>The proposed subdivision meets neighbourhood character policy objectives within Clause 15.01-5S (Neighbourhood Character) as follows.</p> <p>The introduction of a new crossover and driveway on Mansell Court eliminates the need for a double crossover along Campbell Street.</p> <p>The design of the lot promotes a more active street frontage along Mansell Court.</p> <p>Furthermore, similar scale of subdivision can be seen in this emerging neighbourhood. Specifically at 8-9 Kevis ct and 11 Kevis ct. Both these lots are located under the same zone and neighbourhood, thus the proposed subdivision is an appropriate response in terms of neighbourhood character.</p> <p>The two-lot subdivision represents a modest and appropriate level of growth for the area. The orientation of the lots ensures that the built form will not obstruct solar access to north-facing windows or outdoor spaces.</p> |
| <b>56.04-2 - Standard C8</b><br><b>Lot area and building envelopes objective</b><br><br><i>To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features.</i> | <b>Complies</b><br><br><p>As outlined in the Clause 55 assessment and supported by the accompanying development plans, each proposed lot is designed with a dwelling that demonstrates a high level of compliance with ResCode requirements. The design of the dwellings achieves the objectives set forth in the planning framework, ensuring that the development meets the necessary standards for residential quality and amenity.</p>   |
| <b>56.04-3 - Standard C9</b><br><b>Solar orientation of lots objective</b><br><br><i>To provide good solar orientation of lots and solar access for future dwellings.</i>  | <b>Complies</b><br><br><p>The proposed lots have been carefully oriented to ensure that both dwellings receive adequate solar access. This orientation maximizes sunlight exposure, particularly from the north, contributing to energy efficiency and enhancing the overall living environment for future occupants.</p>  |
| <b>56.06-8 - Standard C21</b><br><b>Lot access objective</b><br><br><i>To provide for safe vehicle access between roads and lots.</i>  | <b>Complies</b>  |

|   |  |
|---|--|
|   | The existing crossover from Campbell Street will be retained to provide access to Dwelling 1. A new crossover is proposed at the south-west corner of the site, off Mansell Court, to provide access to Dwelling 2.  |
| <b>56.07-4 - Standard C25</b><br><b>Stormwater management objective</b><br><i>To encourage stormwater management that maximises the retention and reuse of stormwater.</i>  | <b>Complies</b><br>The proposal includes the provision of two 2000-liter Rainwater tanks to be located along the northern side of the lot to maximize retention and reuse of stormwater.   |
| <b>56.09-2 - Standard C28</b><br><b>Electricity, telecommunications and gas objectives</b><br><i>To provide public utilities to each lot in a timely, efficient and cost-effective manner.</i><br><i>To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources.</i> | <b>Complies</b><br>The Electricity will be connected to proposed Lot 2 via the supply along existing roads. Water to Lot 2 can be connected via the South East Water infrastructure within the area. Sewer to Lot 2 can be connected via the Melbourne Water infrastructure. Gas is not proposed to be connected to the site. A connection can be made to telecommunications infrastructure if required. |

On the basis of above we maintain that the proposal is appropriate under the zone and is compliant with the relevant standards of Clause 56.

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PHOTO No.1



PHOTO No.2



PHOTO No.3



PHOTO No.4



PHOTO No.5

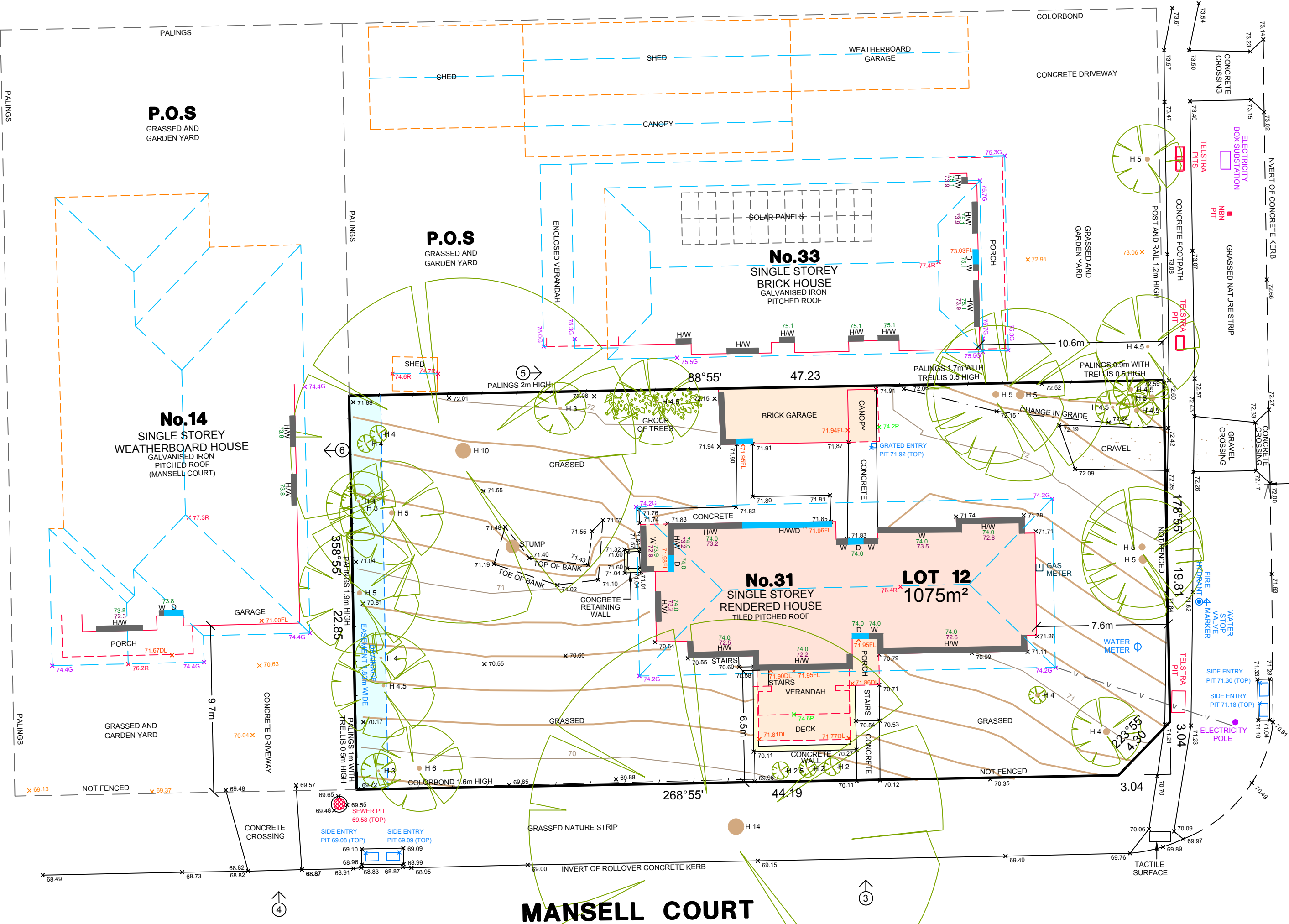


PHOTO No.6

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| SYMBOL   | DESCRIPTION |
|--|-------------|
| H 5  | T.B.M.      |
| TREE (TRUNK & SPREAD) DENOTES TREE APPROXIMATELY 5 METRES HIGH |             |
| ELECTRICITY POLE   |             |
| TELSTRA PIT  |             |
| GAS METER  |             |
| FIRE HYDRANT   |             |
| WATER METER  |             |
| WATER MARKER POST  |             |
| HABITABLE WINDOW   |             |
| WINDOW (NON-HABITABLE)   |             |
| DOOR   |             |
| DENOTES DIRECTION AND POSITION OF PHOTO FOUR                   |             |
| HEAD HEIGHT (GROUND FLOOR) SILL HEIGHT (GROUND FLOOR)          |             |
| HEAD HEIGHT (TOP FLOOR) SILL HEIGHT (TOP FLOOR)                |             |

| SYMBOL   | DESCRIPTION |
|--|-------------|
| ADJOINING PROPERTY LEVEL   |             |
| FLOOR LEVEL AT THRESHOLD UNLESS OTHERWISE SHOWN(X REPRESENTS THE LOCATION FOR THE LEVEL)   |             |
| DECK LEVEL (X REPRESENTS THE LOCATION FOR THE LEVEL SHOWN)   |             |
| PARAPETS   |             |
| RIDGELINES   |             |
| GUTTERING (LIP)  |             |
| THE ORANGE DASHED LINEWORK REPRESENTS DATA DERIVED FROM AERIAL PHOTOGRAPHY AND IS APPROXIMATE ONLY. ANY FEATURES IN THESE AREAS (SUCH AS WINDOWS & DOORS) CANNOT BE VERIFIED & FURTHER INVESTIGATION IS STRONGLY RECOMMENDED PRIOR TO ANY DESIGN OR WORKS. |             |
| APPROXIMATE LOCATION OF RIDGELINES/GUTTERS (LIP) (HEIGHT SHOWN THUS ARE TO LIP)  |             |
| APPROXIMATE LOCATION OF OVERHEAD SERVICE WIRES   |             |



CAMPBELL STREET

T.B.M. RIVET IN KERB RL 72.14

LAND SURVEYED:  
COUNTY OF MORNINGTON, PARISH OF BUNYIP  
PART OF CROWN ALLOTMENT 218  
LOT 12 ON LP 43303  
VOL. 8188 FOL. 960

IMPORTANT NOTE:  
- SEE JCA LAND CONSULTANTS 'RECORD OF HAVING A RE-ESTABLISHMENT TITLE BOUNDARIES' (DWG No. 3306511G1D.dwg) FOR TITLE DETAILS AND RELATIONSHIP TO FENCING.

| DATUM NOTES:   |          |      |      |       |
|--|----------|------|------|-------|
| - LEVELS SHOWN THUS ARE BASED ON AUSTRALIAN HEIGHT DATUM     |          |      |      |       |
| - LEVEL DATUM BASED ON MPDWB 91/B55 RL 73.935 - TBM RL 72.14 |          |      |      |       |
| - CONTOUR INTERVAL AT 0.2m                                   |          |      |      |       |
| REV.   | REVISION | DATE | APPD | CHECK |
|  |          |      |      |       |
|  |          |      |      |       |
|  |          |      |      |       |

|  |          |          |  |  |
|--|----------|----------|--|--|
| JCA Land Consultants certify that this plan is in all respects accurate and correctly represents the existing conditions on the 10/10/24 |          |          |  |  |
| Surveyors  | J.BURTON |          |  |  |
| Drawn  | P.SIER   | 23/10/24 |  |  |
| Checked  | T.S-M    | 23/10/24 |  |  |

EXPLANATORY NOTES:  
- DATA ON THIS PLAN MAY ONLY BE MANIPULATED WITH THE PERMISSION OF JCA LAND CONSULTANTS.  
- ACCURACY OF DETAIL LOCATION ± 0.05  
- ACCURACY OF REDUCED LEVELS ± 0.02  
- THIS HARD COPY PLAN IS A VERIFICATION PLOT OF COMPUTER FILE:  
DWG: 3306511F1D.dwg DATE: 23/10/24  
- LOCATION OF ABUTTING BUILDINGS AND ENVIRONS IS INDICATIVE ONLY UNLESS OTHERWISE SHOWN.  
- TREE SPREAD SHOWN ON THIS PLAN IS INDICATIVE ONLY.  
- ONLY SIGNIFICANT TREES HAVE BEEN LOCATED AND SHOWN ON THIS PLAN.  
- ALL VEGETATION SHOWN ON THIS PLAN IS TO BE VERIFIED BY AN ARBORIST.  
- WINDOW DESCRIPTIONS ANNOTATED ON THIS PLAN ARE INDICATIVE ONLY AND SHOULD BE VERIFIED BY THE ARCHITECT, OWNER OR BUILDER PRIOR TO ANY DESIGN.  
- ONLY VISIBLE SERVICES ARE SHOWN ON THIS PLAN.  
- IT IS STRONGLY RECOMMENDED THAT A MELBOURNE ONE CALL SERVICE (DIAL BEFORE YOU DIG, FAX 1300 652 077) ENQUIRY BE MADE TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES WITHIN THE SITE.

Scale: 1:200 @ A2

Client : PROPERTY SUBDIVISION Municipality : CARDINIA

PLAN OF FEATURE SURVEY  
31 CAMPBELL STREET  
GARFIELD

DWG: 3306511F1D  
Job No: 33065  
Sheet: 1 OF 1

The Subdivision Specialists  
Suite 9, 303 Maroondah Highway, Ringwood VIC 3134  
T: 03 9735 4888 E: jca@jcalc.com.au www.jcalc.com.au



RECORD OF HAVING  
RE-ESTABLISHED A CADASTRAL BOUNDARY

SURVEYING (CADASTRAL SURVEYS) REGULATIONS 2015 -  
- SCHEDULE 4, REGULATION 16

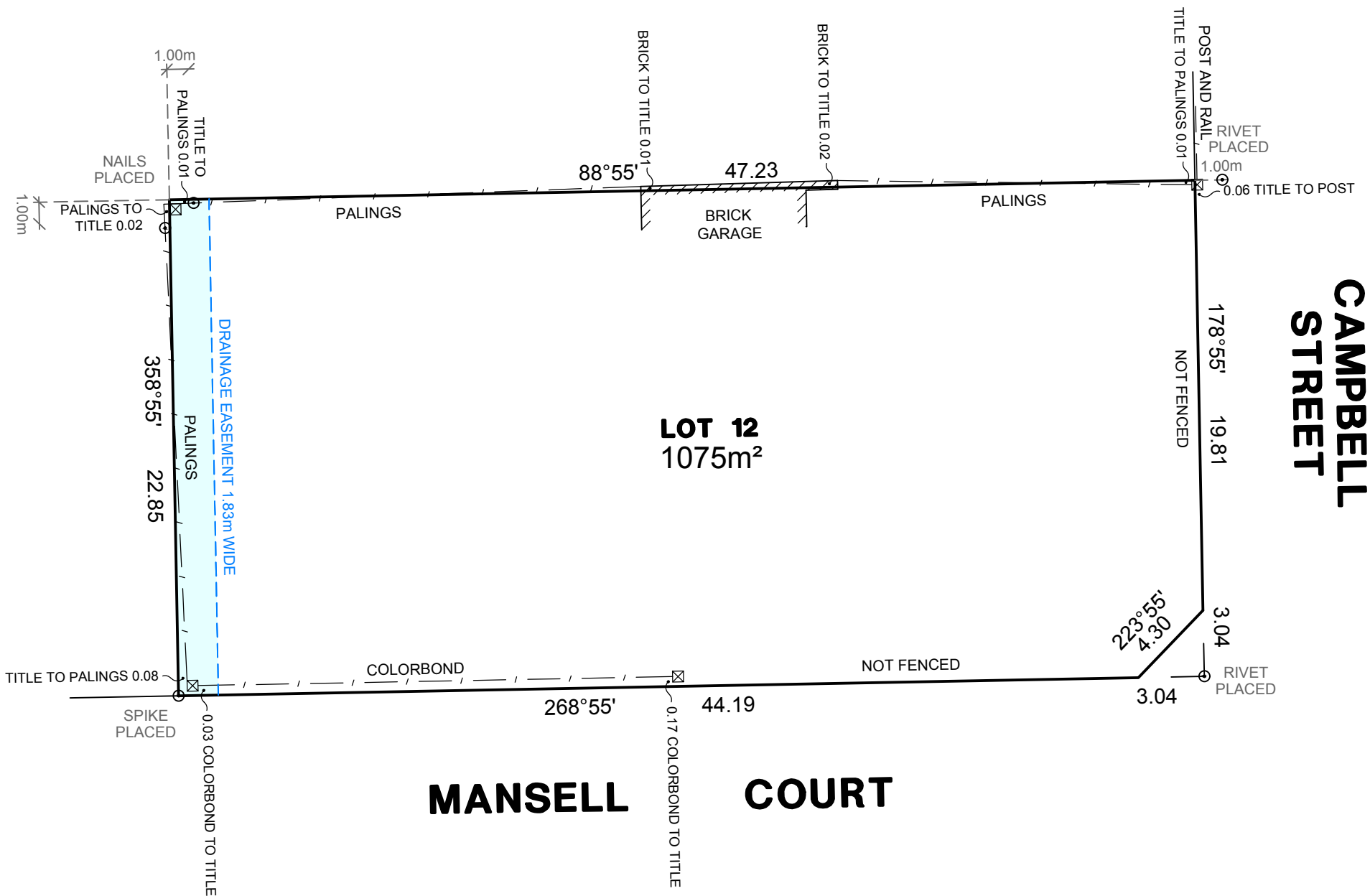
LOCATION OF LAND

Property Address: 31 CAMPBELL STREET  
GARFIELD, 3814

Lot Description: LOT 12 ON LP 43303

Title Description: VOL. 8188 FOL. 960

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IMPORTANT NOTE:  
- PLEASE NOTE FOR ANY FENCING OR BUILDINGS ENCROACHING ONTO THE SUBJECT SITE, THE ADJOINING LAND OWNER(S) MAY HAVE RIGHTS OF POSSESSION. AS THIS LAND MAY NOT BE RECOVERABLE IT IS RECOMMENDED THAT NO DESIGN BE MADE BEYOND THIS POINT UNTIL A RESOLUTION IS REACHED WITH THE ADJOINING OWNER.

Connections to Reference marks and offsets to occupation are not shown to scale.

| ORIGINAL SHEET SIZE: A3   |   | CERTIFICATION BY SURVEYOR   | SHEET 1 of 1 |  |
|---|---|---|--------------|--|
| SCALE<br>1:250  | <div><div>2.50510</div><div>LENGTHS ARE IN METRES</div></div> | I, Anthony Peter Ralph , of 9/303 Maroondah Hwy Ringwood certify that this plan has been prepared from a survey made under my direction and supervision in accordance with the Surveying Act 2004 and completed on 10/10/24 , that this plan is accurate and correctly represents the adopted boundaries and that survey accuracy accords with that required for by regulation 7 (1) of the Surveying (Cadastral Surveys) Regulations 2015. |              |  |
| REF. 3306511G1D   | VERSION 01  |   |              | P.S.<br>23/10/24                       |
| <div><div><div></div><div>JCALANDCONSULTANTS</div><div>The Subdivision Specialists</div><div>Suite 9, 303 Maroondah Highway, Ringwood VIC 3134<br/>T: 03 9735 4888 E: jca@jcalc.com.au www.jcalc.com.au</div></div></div> |   |   |              | Licensed Surveyor, Surveying Act 2004. |
|   |   |   |              |  |



| TOWN PLANNING - SHEET LIST |                                       |            |                  |
|----------------------------|---------------------------------------|------------|------------------|
| SHEET No.                  | SHEET NAME                            | SCALE      | CURRENT REVISION |
| TP01                       | COVER PAGE                            | NA @ A1    | D                |
| TP02                       | NEIGHBOURHOOD SITE DESCRIPTION        | 1:500 @ A1 |                  |
| TP03                       | EXISTING CONDITIONS / DEMOLITION PLAN | 1:100 @ A1 | C                |
| TP04                       | DESIGN RESPONSE / SITE PLAN           | 1:100 @ A1 | C                |
| TP05                       | GROUND FLOOR PLAN                     | 1:100 @ A1 | D                |
| TP06                       | ELEVATIONS                            | 1:100 @ A1 | C                |
| TP07                       | STREETSCAPES                          | 1:200 @ A1 | C                |
| TP08                       | SHADOW DIAGRAM 9am - 22nd SEPTEMBER   | 1:100 @ A1 | C                |
| TP09                       | SHADOW DIAGRAM 10am - 22nd SEPTEMBER  | 1:100 @ A1 | C                |
| TP10                       | SHADOW DIAGRAM 11am - 22nd SEPTEMBER  | 1:100 @ A1 | C                |
| TP11                       | SHADOW DIAGRAM 12pm - 22nd SEPTEMBER  | 1:100 @ A1 | C                |
| TP12                       | SHADOW DIAGRAM 1pm - 22nd SEPTEMBER   | 1:100 @ A1 | C                |
| TP13                       | SHADOW DIAGRAM 2pm - 22nd SEPTEMBER   | 1:100 @ A1 | C                |
| TP14                       | SHADOW DIAGRAM 3pm - 22nd SEPTEMBER   | 1:100 @ A1 | C                |
| TP15                       | GARDEN AREA PLAN                      | 1:100 @ A1 | C                |
| TP16                       | CANOPY TREE PLAN                      | 1:100 @ A1 | D                |
| TP17                       | PRELIMINARY SUBDIVISION PLAN          | 1:100 @ A1 |                  |

REVISION

D

RESPONSE TO COUNCIL RFI

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PRINCESS FREEWAY  
1,300m

GARFIELD RECREATION RESERVE  
600m

GARFIELD TRAIN STATION  
450m

GARFIELD KINDERGARTEN  
350m

GREENLAND COURT RESERVE  
150m

SHOPS  
450m

GARFIELD PRIMARY SCHOOL  
400m

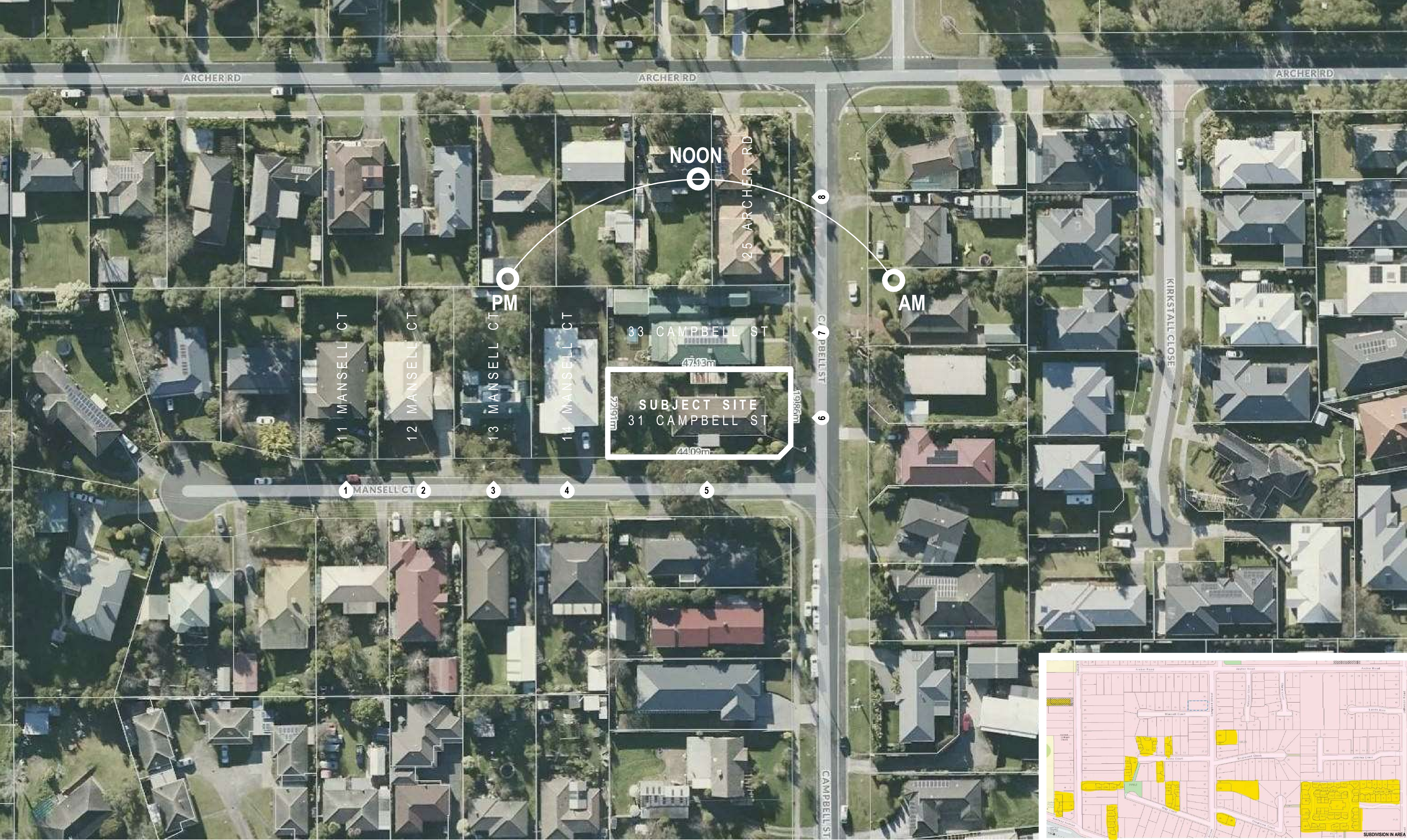


IMAGE 1  
11 MANSELL CT



IMAGE 2  
12 MANSELL CT



IMAGE 3  
13 MANSELL CT



IMAGE 4  
14 MANSELL CT



IMAGE 5  
31 CAMPBELL ST (SUBJECT SITE)



IMAGE 6  
31 CAMPBELL ST (SUBJECT SITE)



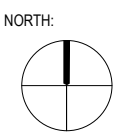
IMAGE 7  
33 CAMPBELL ST



IMAGE 8  
25 ARCHER RD

PROPERTY  
SUBDIVISION

NOTES:  
1. THE DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.  
2. THE DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.  
3. THE DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.



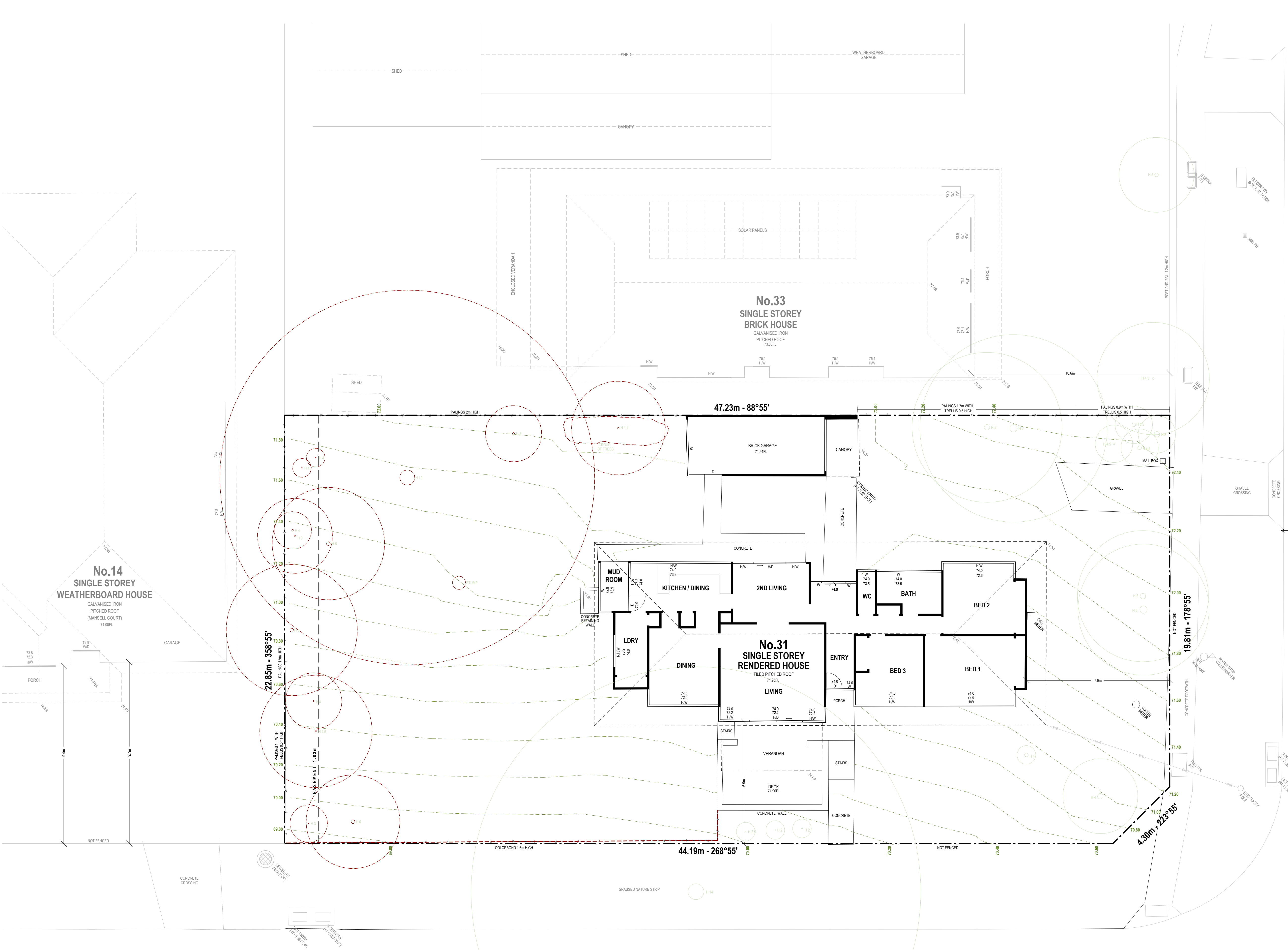
REV. DESCRIPTION DATE

DRAWING ISSUE:  
TOWN PLANNING DRAWINGS (ISSUE 5 - REV D)  
ISSUED: 12/08/2025  
SHEET NAME:  
NEIGHBOURHOOD SITE DESCRIPTION

PROJECT NAME:  
NEW DWELLING TO REAR OF LOT + SUBDIVISION  
PROJECT ADDRESS:  
31 CAMPBELL ST, GARFIELD, VIC, 3338

SHEET:  
TP02  
SCALE:  
1:500 @A1





SERVICES LEGEND

WATER

GAS

ELECTRICITY (UNDERGROUND)

ELECTRICITY (OVERHEAD)

TELSTRA

DRAINAGE / STORMWATER

SEWER

DEMOLITION LEGEND:

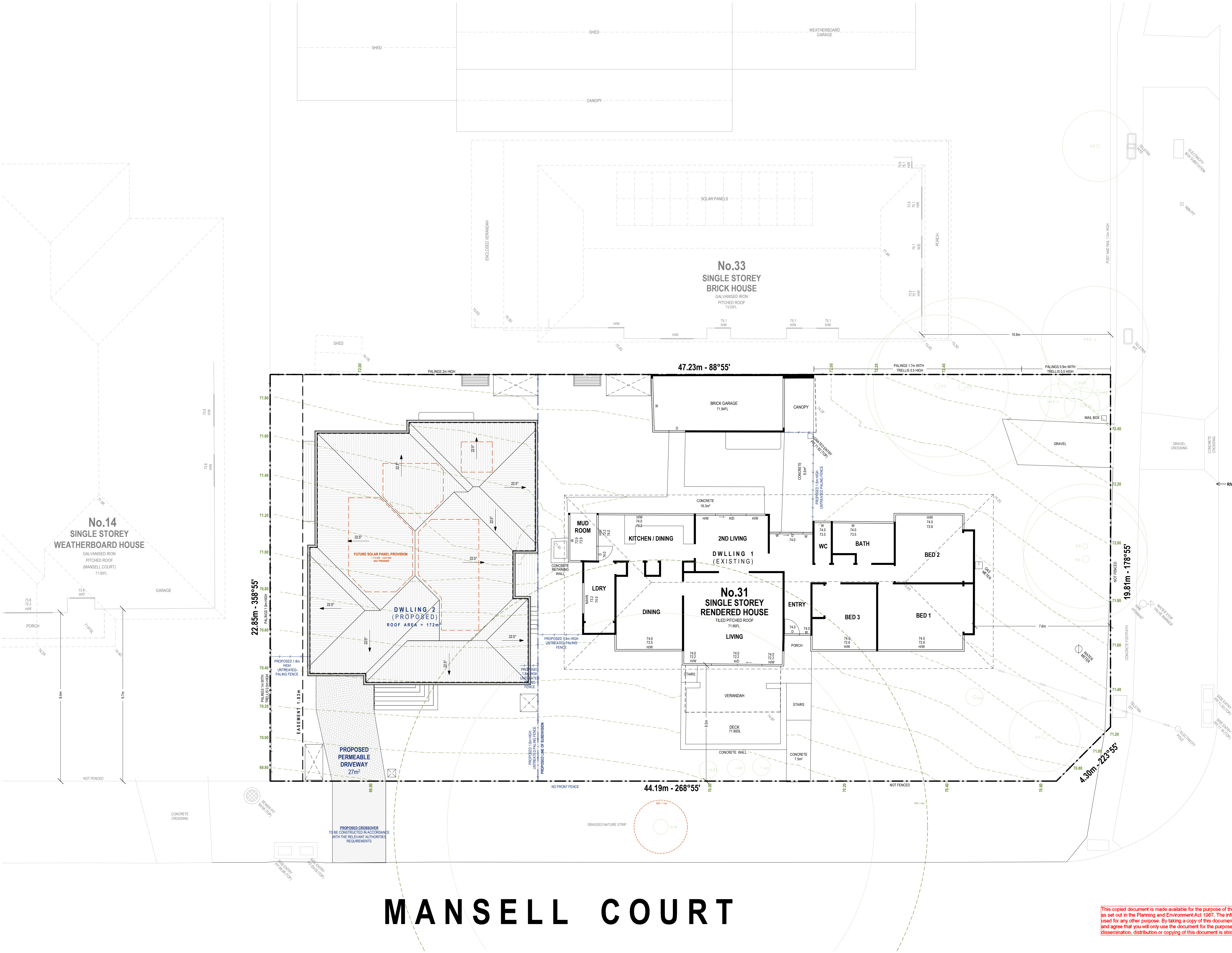
= STRUCTURE TO BE REMOVED

= TREE TO BE REMOVED

MANSSELL COURT

CAMPBELL STREET

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| SERVICES LEGEND |                           |
|-----------------|---------------------------|
|                 | WATER                     |
|                 | GAS                       |
|                 | ELECTRICITY (UNDERGROUND) |
|                 | ELECTRICITY (OVERHEAD)    |
|                 | TELSTRA                   |
|                 | DRAINAGE / STORMWATER     |
|                 | SEWER                     |

| TREE LEGEND |                                     |
|-------------|-------------------------------------|
|             | EXISTING TREES TO BE REMOVED        |
|             | EXISTING TREES TO BE RETAINED       |
|             | STRUCTURAL ROOT ZONE                |
|             | STRUCTURAL ROOT ZONE (ENCROACHMENT) |
|             | TREE PROTECTION ZONE                |
|             | TREE PROTECTION ZONE (ENCROACHMENT) |

| SITE - AREA SCHEDULE      |   |
|---------------------------|---|
| <b>SITE AREA:</b>         | 1074m <sup>2</sup>  |
| LOT 1:                    | 730m <sup>2</sup>   |
| LOT 2:                    | 344m <sup>2</sup>   |
| <b>GARDEN AREA:</b>       |   |
| LOT 1                     | 423m <sup>2</sup> (57.9%)<br>MIN. = 256m <sup>2</sup> (25%) |
| LOT 2                     | 160m <sup>2</sup> (46.5%)<br>MIN. = 86m <sup>2</sup> (25%)  |
| TOTAL                     | 583m <sup>2</sup> (54.3%)<br>MIN. = 278m <sup>2</sup> (25%) |
| <b>SITE COVERAGE:</b>     | 381m <sup>2</sup> (35.5%)<br>MAX. = 696m <sup>2</sup> (65%) |
| <b>PERMEABILITY</b>       | 666m <sup>2</sup> (62.0%)<br>MIN. = 215m <sup>2</sup> (20%) |
| <b>DWELLING 1 (POS):</b>  | 505m <sup>2</sup><br>MIN. = 25m <sup>2</sup>                |
| <b>DWELLING 2 (POS):</b>  | 188m <sup>2</sup><br>MIN. = 25m <sup>2</sup>                |
| <b>DWELLING 1 (SPOS):</b> | REF. TO SHEET TP05<br>MIN. = 25m <sup>2</sup> (3m MIN.)     |
| <b>DWELLING 2 (SPOS):</b> | REF. TO SHEET TP05<br>MIN. = 25m <sup>2</sup> (3m MIN.)     |

| DWELLING 1 - AREA SCHEDULE |                    |
|----------------------------|--------------------|
| NAME                       | AREA               |
| DW1 - GROUND FLOOR         | 169 m <sup>2</sup> |
| DW1 - VERANDAH             | 32 m <sup>2</sup>  |
| DW1 - GARAGE               | 24 m <sup>2</sup>  |
|                            | 225 m <sup>2</sup> |

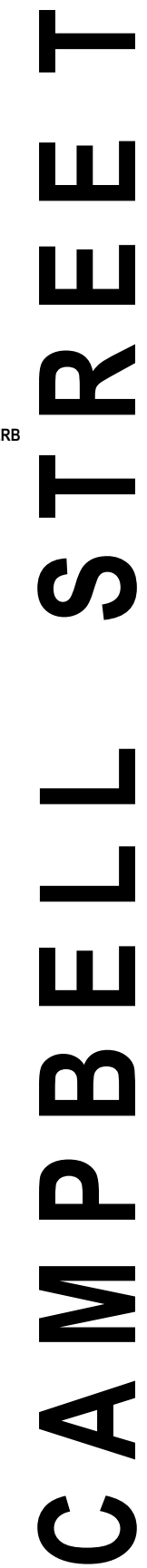
| DWELLING 2 - AREA SCHEDULE |                    |
|----------------------------|--------------------|
| NAME                       | AREA               |
| DW2 - GROUND FLOOR         | 130 m <sup>2</sup> |
| DW2 - PORCH                | 2 m <sup>2</sup>   |
| DW2 - GARAGE               | 24 m <sup>2</sup>  |
|                            | 156 m <sup>2</sup> |

MANSSELL COURT

CAMPBELL STREET

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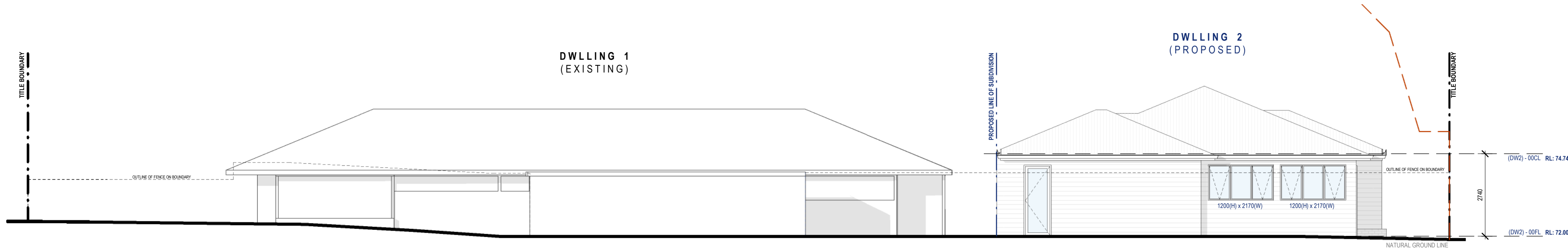


| SITE - AREA SCHEDULE |   |
|----------------------|---|
| SITE AREA:           | 1074m <sup>2</sup>  |
| LOT 1:               | 730m <sup>2</sup>   |
| LOT 2:               | 344m <sup>2</sup>   |
| GARDEN AREA:         |   |
| LOT 1                | 423m <sup>2</sup> (57.9%)<br>MIN. = 256m <sup>2</sup> (35%) |
| LOT 2                | 160m <sup>2</sup> (46.5%)<br>MIN. = 86m <sup>2</sup> (25%)  |
| TOTAL                | 583m <sup>2</sup> (54.3%)<br>MIN. = 350m <sup>2</sup> (33%) |
| SITE COVERAGE:       | 381m <sup>2</sup> (35.5%)<br>MAX. = 698m <sup>2</sup> (65%) |
| PERMEABILITY         | 666m <sup>2</sup> (62.0%)<br>MIN. = 215m <sup>2</sup> (20%) |
| DWELLING 1 (POS):    | 505m <sup>2</sup><br>MIN. = 25m <sup>2</sup>                |
| DWELLING 2 (POS):    | 188m <sup>2</sup><br>MIN. = 25m <sup>2</sup>                |
| DWELLING 1 (SPOS):   | REF. TO SHEET TP05<br>MIN. = 25m <sup>2</sup> (3m MIN.)     |
| DWELLING 2 (SPOS):   | REF. TO SHEET TP05<br>MIN. = 25m <sup>2</sup> (3m MIN.)     |



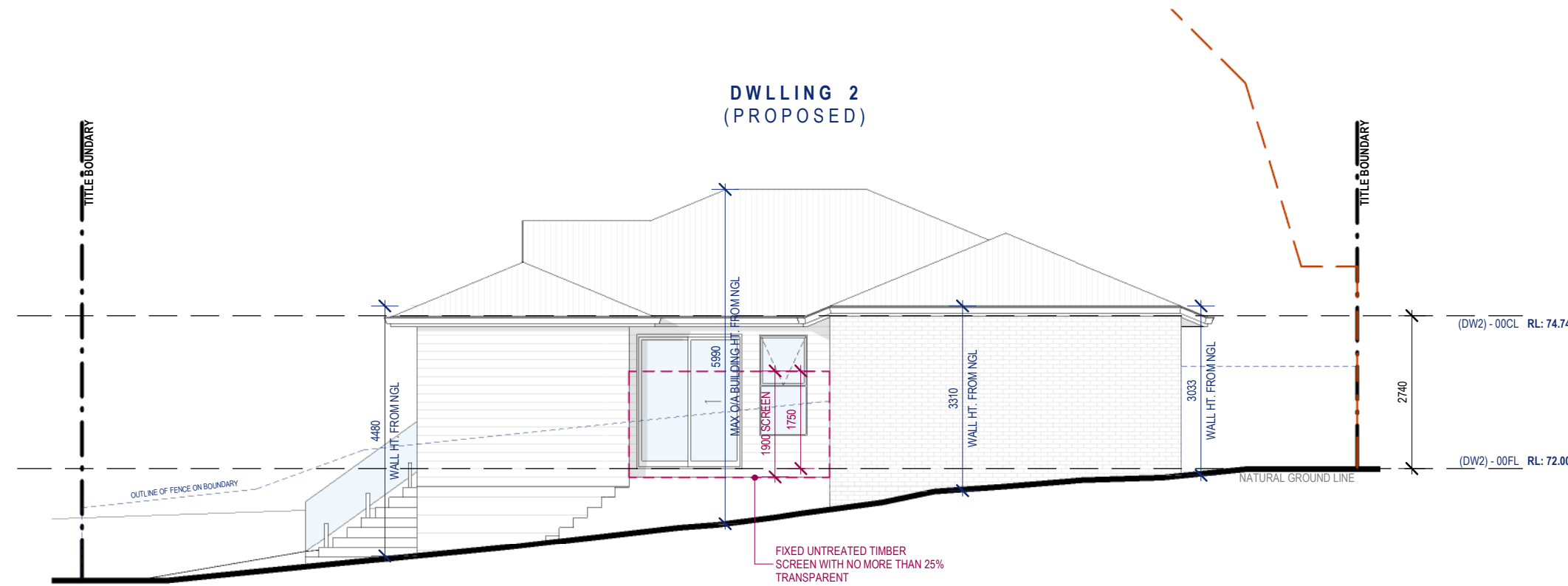
MATERIALS SCHEDULE

|  |  |
|--|--|
|  | <b>BRICK</b><br>RECYCLED BRICKS - OR SIMILAR                                 |
|  | <b>WEATHERBOARD (HORIZ.)</b><br>JAMES HARDIE LINEA 150 "WHITE" - OR SIMILAR  |
|  | <b>METAL ROOFING</b><br>COLORBOND SHEET ROOFING "WOODLAND GREY" - OR SIMILAR |
|  | <b>WINDOW &amp; DOOR FRAMING</b><br>COLORBOND "NIGHT SKY" - OR SIMILAR       |
|  | <b>FACIAS, GUTTERS, DOWNPIPES</b><br>COLORBOND "NIGHT SKY" - OR SIMILAR      |
|  | <b>CLEAR GLAZING</b><br>COLORBOND "NIGHT SKY" - OR SIMILAR                   |
|  | <b>OBSCURE GLAZING</b><br>COLORBOND "NIGHT SKY" - OR SIMILAR                 |



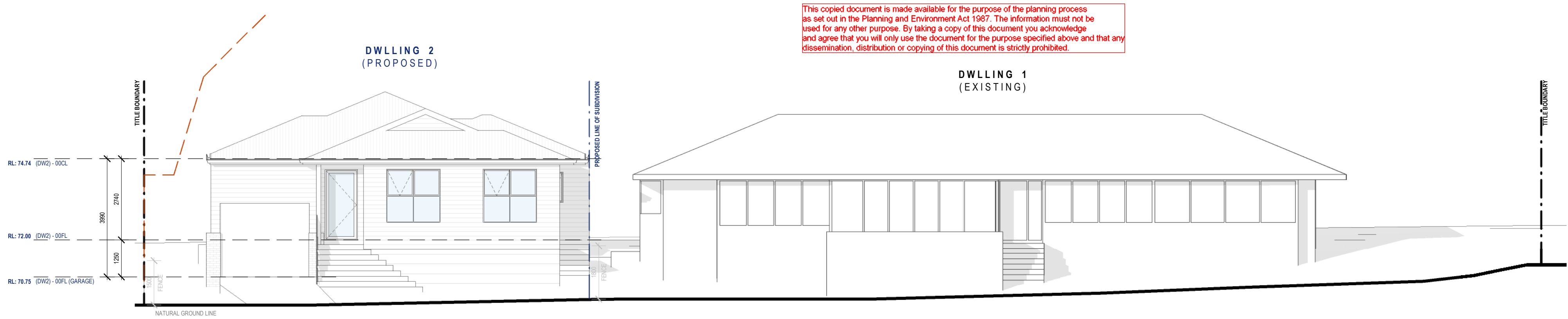
NORTH ELEVATION

1:100



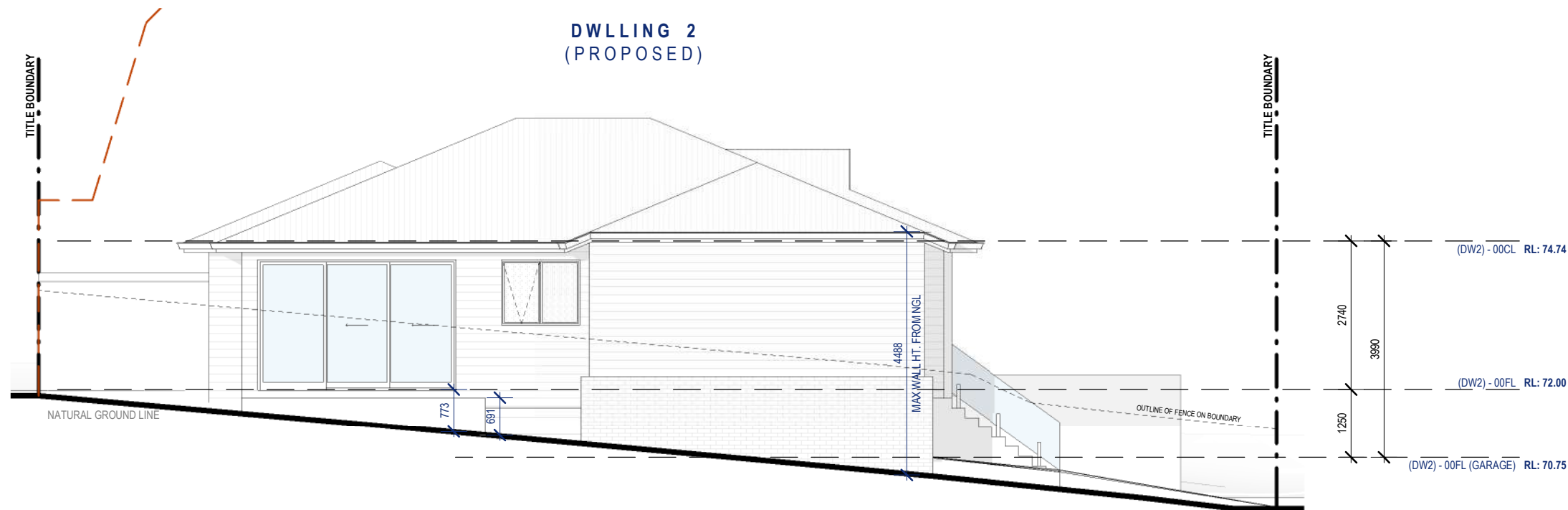
EAST ELEVATION

1:100



SOUTH ELEVATION

1:100



WEST ELEVATION

1:100



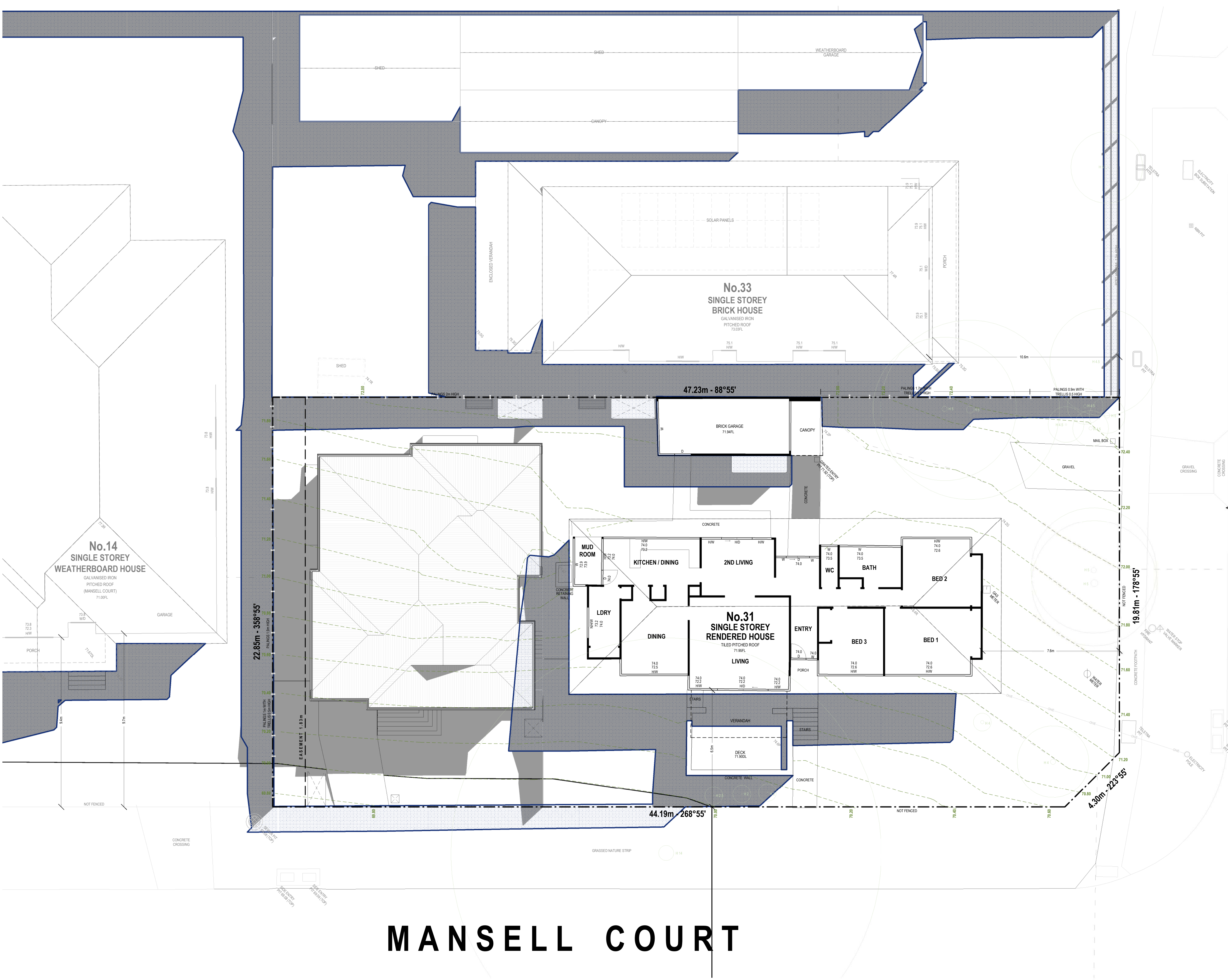
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**SHADOW LEGEND**

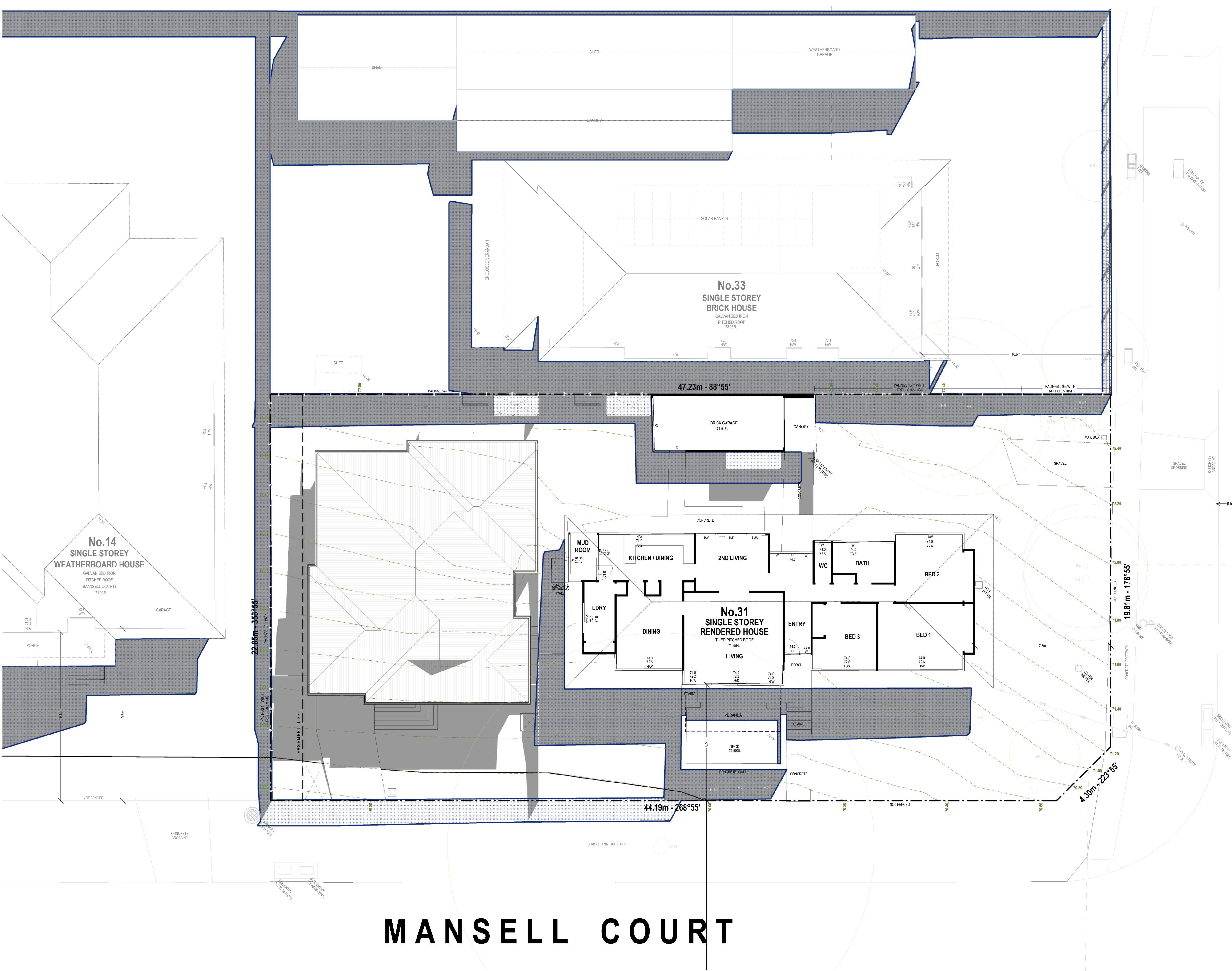
- EXISTING SHADOWS
- PROPOSED SHADOWS
- AREA WHERE EXISTING SHADOWS AND PROPOSED SHADOWS OVERLAP

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CAMPBELL STREET

MANSELL COURT





**SHADOW LEGEND**

- EXISTING SHADOWS
- PROPOSED SHADOWS
- AREA WHERE EXISTING SHADOWS AND PROPOSED SHADOWS OVERLAP

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CAMPBELL STREET

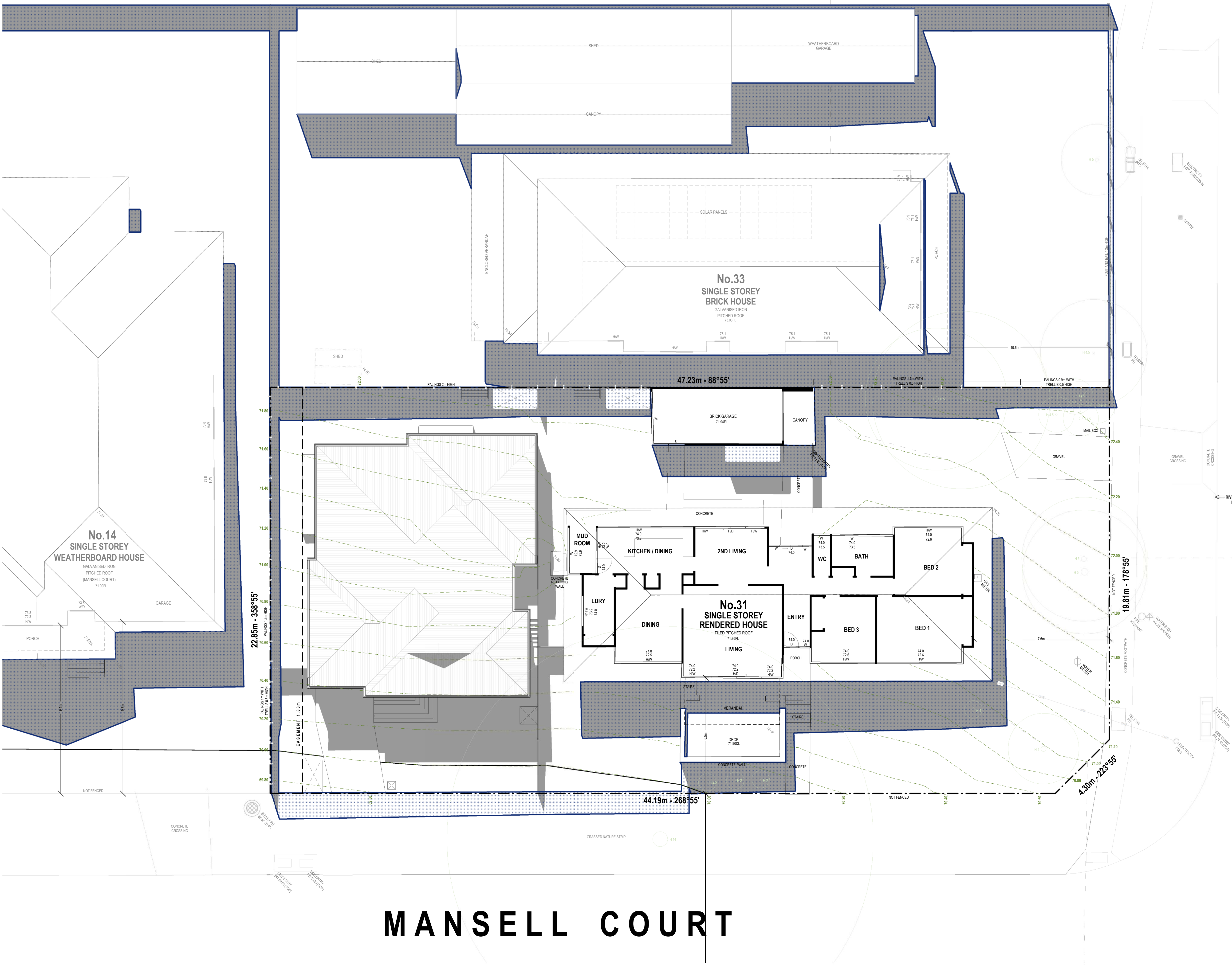
MANSELL COURT



# CAMPBELL STREET

# MANSELL COURT





**SHADOW LEGEND**

EXISTING SHADOWS

PROPOSED SHADOWS

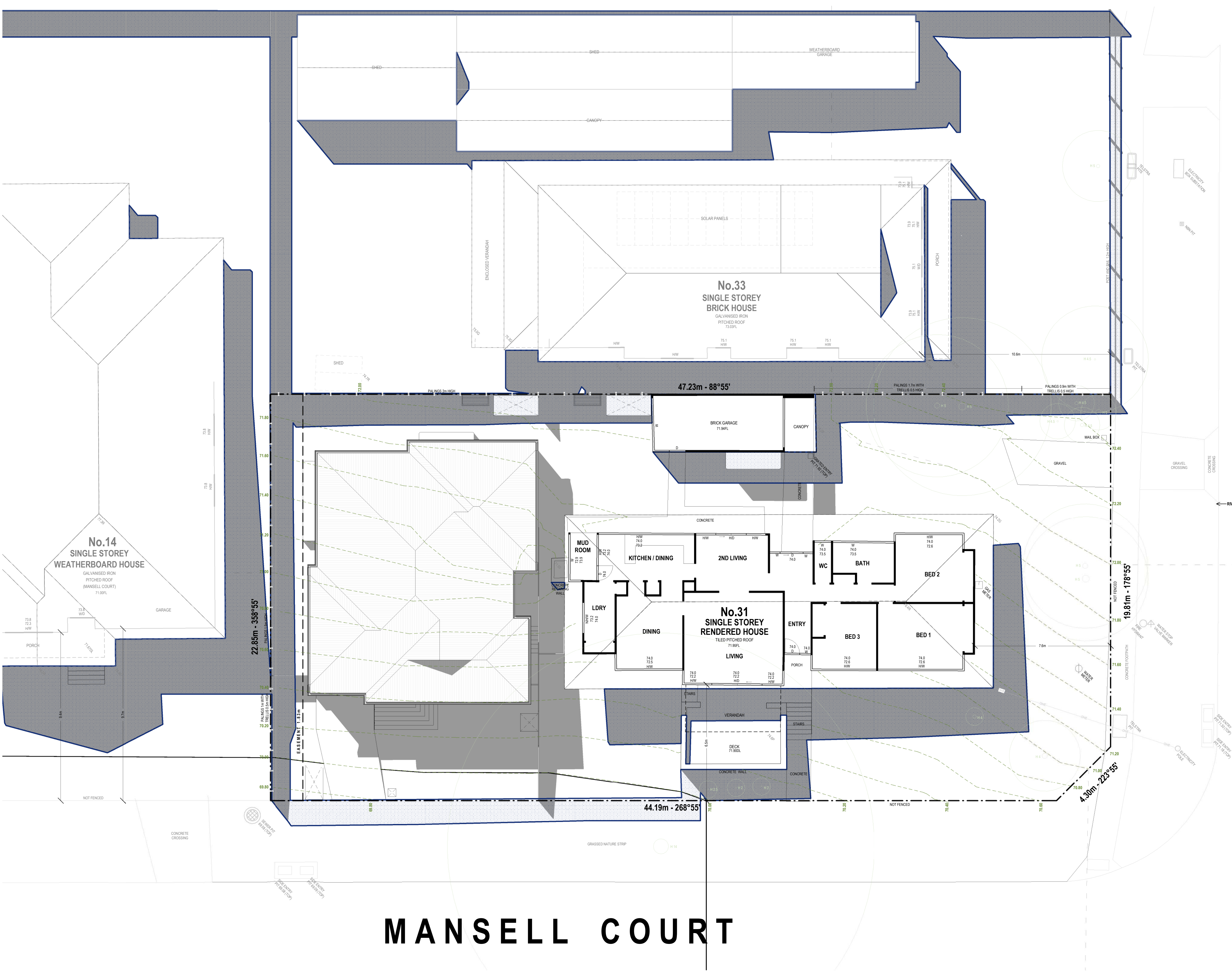
AREA WHERE EXISTING SHADOWS AND PROPOSED SHADOWS OVERLAP

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**SHADOW LEGEND**

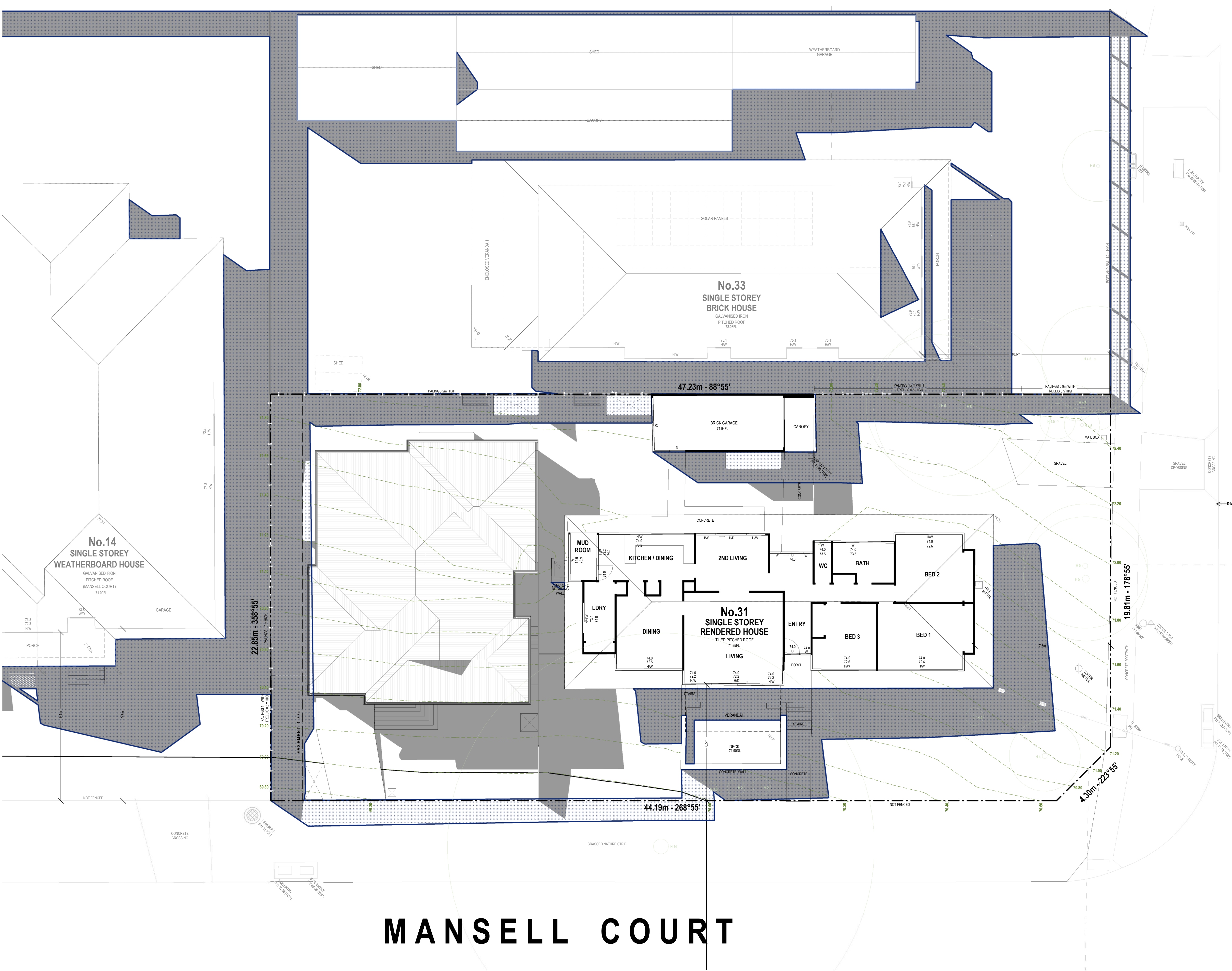
- EXISTING SHADOWS
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CAMPBELL STREET

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**SHADOW LEGEND**

EXISTING SHADOWS

PROPOSED SHADOWS

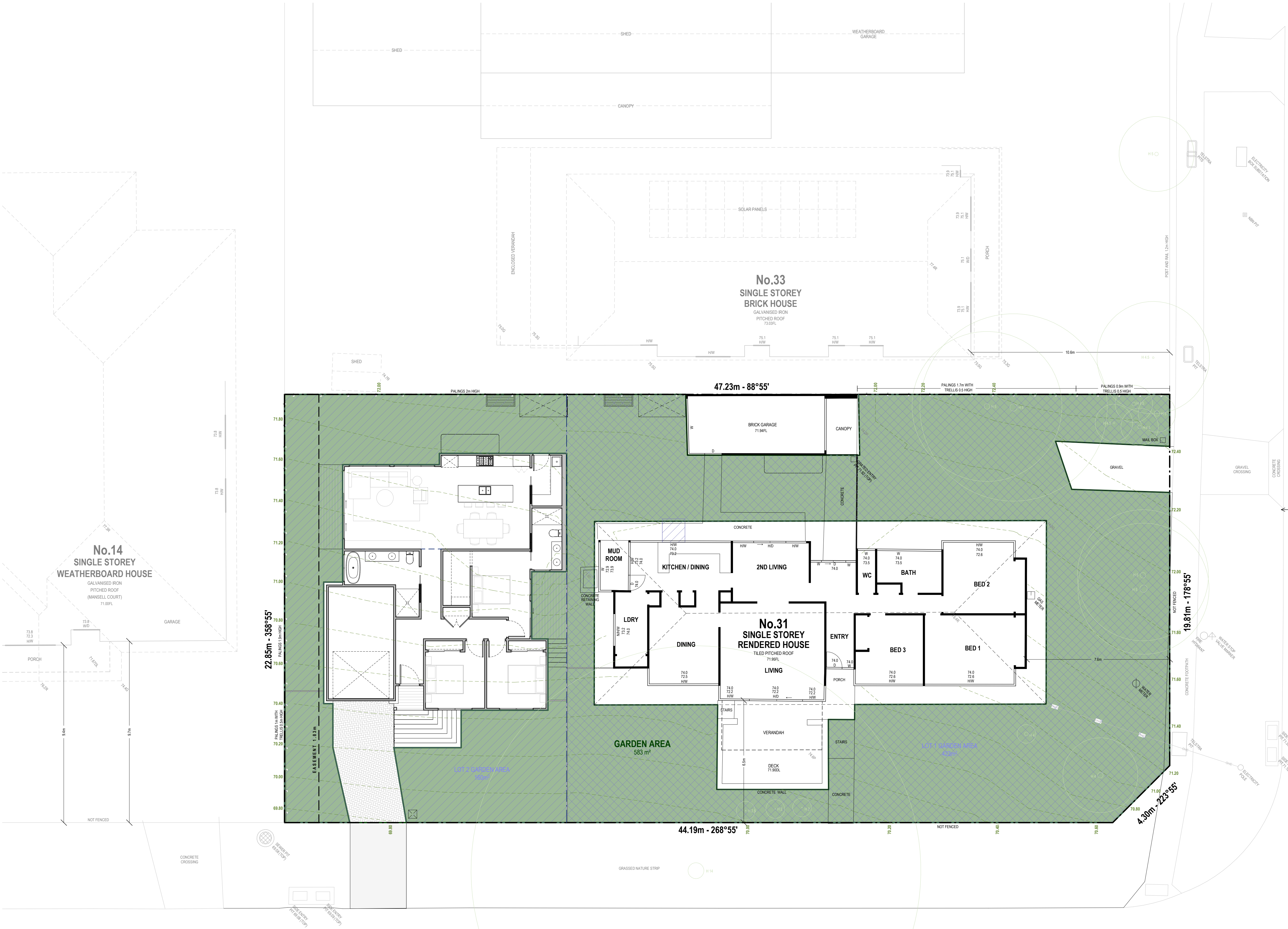
AREA WHERE EXISTING SHADOWS AND PROPOSED SHADOWS OVERLAP

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CAMPBELL STREET

MANSELL COURT





| GARDEN AREA LEGEND |                          |
|--------------------|--------------------------|
|                    | GARDEN AREA - TOTAL SITE |
|                    | GARDEN AREA - LOT 1      |
|                    | GARDEN AREA - LOT 2      |
|                    | DRIVEWAY                 |

| SITE - AREA SCHEDULE      |   |
|---------------------------|---|
| <b>SITE AREA:</b>         | 1074m²                                      |
| <b>LOT 1:</b>             | 730m²                                       |
| <b>LOT 2:</b>             | 344m²                                       |
| <b>GARDEN AREA:</b>       |   |
| <b>LOT 1</b>              | 423m² (57.9%)<br>MIN. = 256m² (35%)         |
| <b>LOT 2</b>              | 160m² (46.5%)<br>MIN. = 85m² (25%)          |
| <b>TOTAL</b>              | 583m² (54.3%)<br>MIN. = 376m² (35%)         |
| <b>SITE COVERAGE:</b>     | 381m² (35.5%)<br>MAX. = 689m² (65%)         |
| <b>PERMEABILITY</b>       | 666m² (62.0%)<br>MIN. = 215m² (20%)         |
| <b>DWELLING 1 (POS):</b>  | 505m²<br>MIN. = 35m²                        |
| <b>DWELLING 2 (POS):</b>  | 188m²<br>MIN. = 25m²                        |
| <b>DWELLING 1 (SPOS):</b> | REF. TO SHEET TP05<br>MIN. = 25m² (3m MIN.) |
| <b>DWELLING 2 (SPOS):</b> | REF. TO SHEET TP05<br>MIN. = 25m² (3m MIN.) |

CAMPBELL STREET

MANSELL COURT

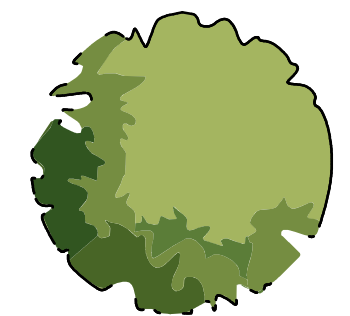
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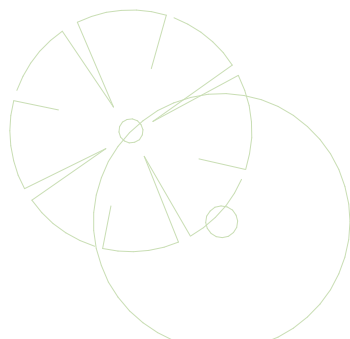




| CANOPY TREE SCHEDULE:      |          |             |                       |                        |                             |                             |
|----------------------------|----------|-------------|-----------------------|------------------------|-----------------------------|-----------------------------|
| TREE TYPE                  | DIAMETER | CANOPY AREA | MIN HEIGHT @ MATURITY | MIN. AREA OF DEEP SOIL | MIN. AREA OF PLANTER        | No. PROVIDED                |
| A                          | 4m       | 12.6m²      | 6m                    | 12m² (2.5m MIN.)       | 12m² (2.5m W x 0.8m D MIN.) | 3                           |
| B                          | 8m       | 50.3m²      | 8m                    | 49m² (4.5m MIN.)       | 28m² (4.5m W x 1.0m D MIN.) | 2                           |
| C                          | 12m      | 113.1m²     | 12m                   | 121m² (6.5m MIN.)      | 64m² (6.5m W x 1.5m D MIN.) | 0                           |
| 20% OF SITE AREA = 214.8m² |          |             |                       |                        |                             | TOTAL AREA PROVIDED 138.4m² |
|                            |          |             |                       |                        |                             | TOTAL EXISTING 79.0m²       |
|                            |          |             |                       |                        |                             | TOTAL 217.4m²               |

**TREE LEGEND:**  
LANDSCAPING SHOWN IS INDICATIVE ONLY

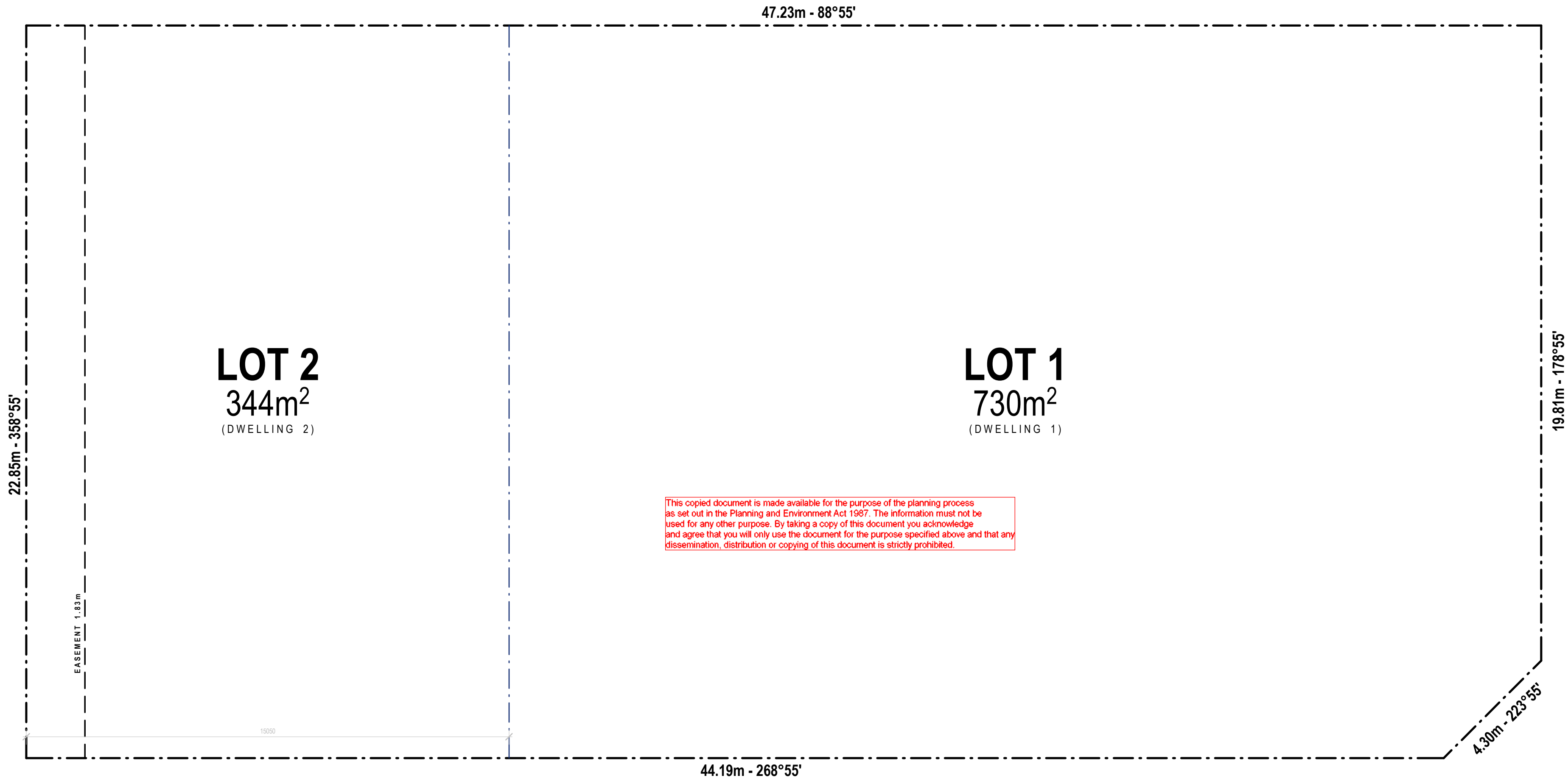
 PROPOSED TREE

 EXISTING TREES  
(BEING RETAINED)

CAMPBELL STREET

MANSSELL COURT

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CAMPBELL STREET

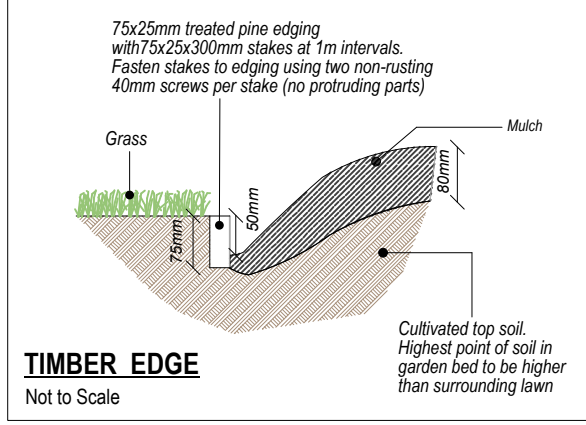
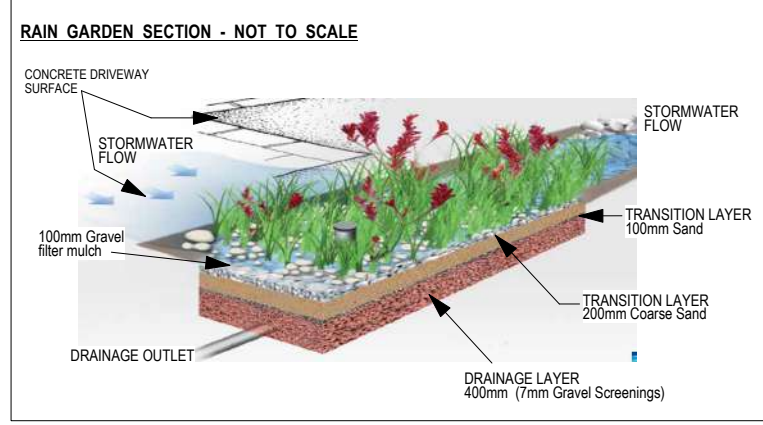
MANSELL COURT



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### CANOPY TREE SCHEDULE:

| TREE TYPE                              | DIAMETER | CANOPY AREA         | MIN HEIGHT @ MATURITY | MIN. AREA OF DEEP SOIL        | MIN. AREA OF PLANTER                    | NO. PROVIDED | AREA                |
|--|----------|---------------------|-----------------------|-------------------------------|---|--------------|---------------------|
| A                                      | 4m       | 12.6m <sup>2</sup>  | 6m                    | 12m <sup>2</sup> (2.5m MIN.)  | 12m <sup>2</sup> (2.5m W x 0.8m D MIN.) | 3            | 37.8m <sup>2</sup>  |
| B                                      | 8m       | 50.3m <sup>2</sup>  | 8m                    | 49m <sup>2</sup> (4.5m MIN.)  | 28m <sup>2</sup> (4.5m W x 1.0m D MIN.) | 2            | 100.6m <sup>2</sup> |
| C                                      | 12m      | 113.1m <sup>2</sup> | 12m                   | 121m <sup>2</sup> (6.5m MIN.) | 64m <sup>2</sup> (6.5m W x 1.5m D MIN.) | 0            | 0m <sup>2</sup>     |
| 20% OF SITE AREA = 214.8m <sup>2</sup> |          |                     |                       |                               |   |              |                     |
| TOTAL AREA PROVIDED                    |          |                     |                       |                               |   |              | 138.4m <sup>2</sup> |
| TOTAL EXISTING                         |          |                     |                       |                               |   |              | 79.0m <sup>2</sup>  |
| TOTAL                                  |          |                     |                       |                               |   |              | 217.4m <sup>2</sup> |

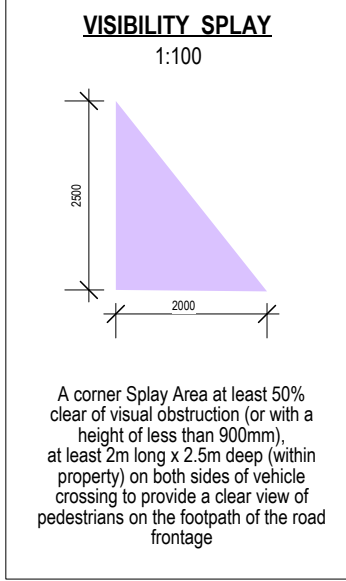
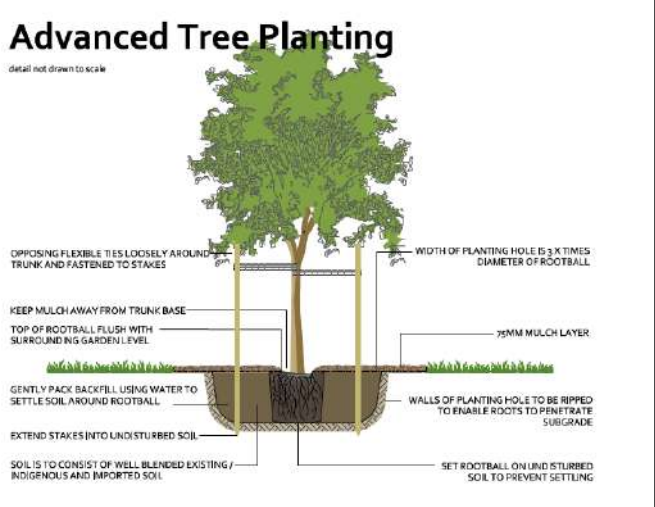
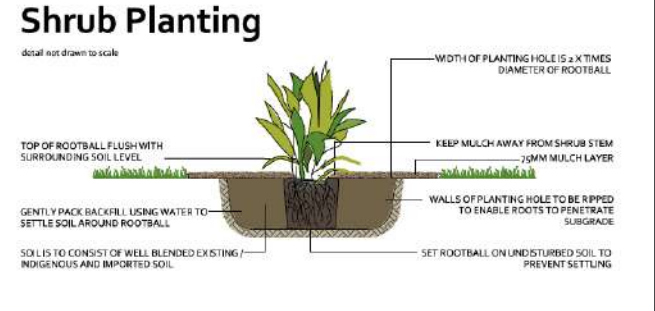


**Garden Beds**  

75mm ORGANIC PINE BARK MULCH  
400mm APPROVED MEDIUM LOAM SOIL  
MIN 150mm DEEP ROTARY HOED SUBGRADE

**Lawn areas**  

STRATHVIR/SIR WALTER SOFT LEAF  
BUFFALO OR SIMILAR INSTANT LAWN  
100MM APPROVED SANDY LOAM SOIL  
MIN 150mm DEEP ROTARY HOED SUBGRADE



### LANDSCAPE CONSTRUCTION SPECIFICATIONS

**SUBGRADE PREPARATION:**  
Site preparation to be carried out under suitable conditions and in accordance with standard horticultural practice. The use of machinery and tools that may damage soil structure is not acceptable. Garden bed and lawn sub-grade is to be cultivated to a depth of 150mm and shaped to achieve drainage falls prior to adding topsoil. If gypsum is required, this is to be distributed and cultivated into the sub-grade as per the manufacturer's instructions.  
Weeds are to be removed prior to sub-grade preparation, top-soiling and planting.

**SOIL PREPARATION:**  
Imported topsoil is to be supplied by an approved supplier to a depth of approximately 150-300mm (as required for garden beds. Do not spread in muddy conditions. The topsoil is to be a medium fertile loam capable of being compressed into a ball by hand when moist yet can be broken apart immediately after). It's pH will be 6.0 - 7.5 and free from perennial weeds and building rubble. The finished top level after settlement should be 75mm below the edging level to allow for mulch. Imported topsoil for lawn areas is to be supplied to a depth of approximately 100mm (or as required).

**TIMBER EDGING:**  
Timber edging is to be installed to separate all lawn, planting areas and hydrate topsoil / pebble areas. The treated pine timber (or similar) is to be 75mm x 25mm in size, secured with 300mm long stakes at 1000mm spacings.

**PLANTS AND PLANTING:**  
Trees and plants supplied are to be healthy and free from insects, diseases and weeds. The pot sizes indicated in the plant schedule are the minimum size to be supplied and installed. When each planting area is prepared, if soil is dry, fill with water and allow to drain away completely. Plant roots are to be banded outwardly if roots are matted in soil. Place plant in center of hole and ensure that the top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Soil is to be backfilled firmly into the hole and thoroughly watered in. Trees are to be staked with two hardwood stakes driven firmly into the ground but not through the rootball. Trees are to be secured to the stakes with strong but flexible tree ties that are tight enough to support the tree in windy conditions but loose enough to stimulate good tree growth and development. The tree ties must not girdle tree bark or restrict tree growth for at least the first three years of the growth.  
A slow release fertilizer (e.g. Osmocote or similar) is to be applied to all garden beds as specified by the manufacturer and be kept away from the plant trunks and then watered immediately. A layer of aged organic mulch to a minimum depth of 75mm is to be applied to all planting areas after planting is completed.

**IRRIGATION:**  
An automatic drip irrigation system is to be installed to water all planting areas.

STRUCTURAL ROOT ZONE

TREE PROTECTION ZONE

EXISTING TREES - ADJOINING SITE

EXISTING TREES TO BE RETAINED - ON SITE

TREES TO BE REMOVED

GRAVEL

DROUGHT TOLERANT LAWN (Buffalo or similar)

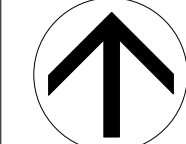
PERMEABLE DRIVEWAY

AUTOMATIC DRIP IRRIGATION SYSTEM INSTALLED TO WATER GARDEN BEDS

TIMBER EDGING INSTALLED TO SEPARATE LAWN, GARDEN BEDS & GRAVEL

ALL GARDEN BEDS TO HAVE MINIMUM 75MM LAYER OF DARK-COLOURED COMPOSTED MULCH (e.g. Black Pine Bark or Mushroom Compost)

| PLANTING SCHEDULE     |     |                           |   |                       |                      |                                |
|-----------------------|-----|---------------------------|---|-----------------------|----------------------|--------------------------------|
| ID                    | Qty | Common Name               | Botanical Name                                    | Height @ Maturity (m) | Width @ Maturity (m) | Pot Size @ Install (cm)        |
| Trees                 |     |                           |   |                       |                      |                                |
| Aim                   | 2   | Lightwood                 | Acacia implexa                                    | 8.0m                  | 4.0m                 | 40lt. - min 2mh @ installation |
| Bp'GP'                | 1   | Griffith Pink             | Brachychiton populneus x discolor 'Griffith Pink' | 8.0m                  | 4.0m                 | 40lt. - min 2mh @ installation |
| Em                    | 1   | Yellow Box                | Eucalyptus melliodora                             | 12m                   | 8.0m                 | 40lt. - min 2mh @ installation |
| Jm                    | 1   | Jacaranda                 | Jacaranda mimosifolia                             | 12m                   | 8.0m                 | 40lt. - min 2mh @ installation |
| Shrubs & Groundcovers |     |                           |   |                       |                      |                                |
| PfTR                  | 12  | Thin Red                  | Photinia x fraseri 'Thin Red'                     | 3.5m                  | 0.6m                 | 20                             |
| C'DB'                 | 14  | Dinner Bells              | Correa 'Dinner Bells'                             | 1.2m                  | 1.2m                 | 20                             |
| HPP'                  | 13  | Pretty in Pink            | Hebe 'Pretty in Pink'                             | 0.3m                  | 0.6m                 | 14                             |
| Mp                    | 8   | Carpet Spreading Myoporum | Myoporum parvifolium                              | 0.1m                  | 1.0m                 | 14                             |
| Sa                    | 7   | Goldfussia                | Strobilanthes anisophyllus                        | 1.0m                  | 1.0m                 | 20                             |
| S'Pi'                 | 19  | Dwarf Lillypilli          | Syzygium 'Pinnacle'                               | 5.0m                  | 1.0m                 | 25                             |
| WLH'                  | 19  | Low Horizon Westringia    | Westringia 'Low Horizon'                          | 0.3m                  | 0.7m                 | 14                             |
| Grasses               |     |                           |   |                       |                      |                                |
| D'A'                  | 7   | Aranda                    | Dianella 'Aranda'                                 | 0.3m                  | 0.3m                 | 14                             |
| L'SB'                 | 24  | Shara Blue                | Lomandra fluviatilis 'LM380' PBR 'Shara Blue'     | 0.5m                  | 0.5m                 | 14                             |



**CRIMSON LOTUS**  
LANDSCAPE DESIGN

A : 35 Central Park Avenue, Point Cook. VIC 3030  
M : 0406 015 464  
E : andreacurcio.cl@gmail.com

### LANDSCAPE PLAN - CARDINIA

**ADDRESS:** 31 Campbell Street, Garfield. Vic. 3338  
**PROJECT:** New Dwelling to the Rear of Lot & Subdivision  
**CLIENT:** PROPERTY SUBDIVISION  
**DATE:** June 2025

**DRAWN:** I.R.  
**REVISION:** 01  
**CHECKED:** A.C.  
**DATE:** Sept. 2025

The builder is responsible for the setting out of the Works, the checking of all dimensions and levels on site, and the reporting of any discrepancies to the Proprietor prior to commencement of Work. Do not scale from drawings.



Proposed new dwelling at the rear of an  
existing dwelling  
**31 Campbell Street, Garfield**

**Water Sensitive Urban Design (WSUD)**  
Prepared for Property Subdivision

August 2025

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## INTRODUCTION

Empire Thermal Group has been engaged to undertake a Water Sensitive Urban Design report for the proposed [dwelling at 31 Campbell Street, Garfield](#). This has been prepared to address the [Cardinia Shire Council's](#) stormwater management requirements for the planning permit.

The report includes an assessment of the proposed development to determine the potential impacts as a result of stormwater runoff from the site during rainfall. The report identifies a number of initiatives that will be undertaken to minimise these stormwater impacts.

## SITE LAYOUT PLAN

Please refer to Sheet TP04 of Town Planning Dated 11/08/2025 (attached)

### Particulars Listed Below

- Total Site Area – 1074m<sup>2</sup>
- Roof Area Connected to Rain Water Tanks – 405.2m<sup>2</sup>
- Roof Area Connected to Raingarden – 47m<sup>2</sup>
- Permeable Driveway – 18.36m<sup>2</sup>
- Remaining permeable area around the site of 603.44m<sup>2</sup> consisting of landscaped areas, permeable paving and other pervious surface

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## STORMWATER MANAGEMENT

### Objectives:

- To reduce the impact of stormwater run-off.
- To improve the water quality of stormwater run-off.
- To achieve best practice stormwater quality outcomes.
- To incorporate the use of water sensitive urban design, including stormwater re-use.

### Considerations:

- **STORM Calculations**

Melbourne Water's STORM tool was used to model best practice for stormwater management of the development with a minimum score of 100 required to achieve full compliance. The development has achieved a score of [100](#) as per the attached STORM rating Report.

|  STORM Rating Report |                           |                  |                                 |                                |             |                                   |
|---|---------------------------|------------------|---------------------------------|--------------------------------|-------------|-----------------------------------|
| TransactionID:  | 0                         |                  |                                 |                                |             |                                   |
| Municipality:   | CARDINIA                  |                  |                                 |                                |             |                                   |
| Rainfall Station:   | CARDINIA                  |                  |                                 |                                |             |                                   |
| Address:  | 31 Campbell Street        |                  |                                 |                                |             |                                   |
|   | Gartfield                 |                  |                                 |                                |             |                                   |
|   | VIC 3038                  |                  |                                 |                                |             |                                   |
| Assessor:   | Empire Thermal Group      |                  |                                 |                                |             |                                   |
| Development Type:   | Residential - Subdivision |                  |                                 |                                |             |                                   |
| Allotment Site (m2):  | 1,074.00                  |                  |                                 |                                |             |                                   |
| STORM Rating %:   | 100                       |                  |                                 |                                |             |                                   |
| Description   | Impervious Area (m2)      | Treatment Type   | Treatment Area/Volume (m2 or L) | Occupants / Number Of Bedrooms | Treatment % | Tank Water Supply Reliability (%) |
| Existing Dwelling   | 280.20                    | Rainwater Tank   | 5,000.00                        | 4                              | 80.40       | 98.30                             |
| New Dwelling connected to RWT   | 125.00                    | Rainwater Tank   | 5,000.00                        | 4                              | 134.00      | 92.10                             |
| New Dwelling connected to RG  | 47.00                     | Raingarden 100mm | 1.00                            | 0                              | 128.65      | 0.00                              |
| Driveway  | 0.00                      | None             | 0.00                            | 0                              | 0.00        | 0.00                              |

- Note an additional bedroom has been added to each dwelling due to the rainwater tank being connected to laundry

Rainwater runoff from the roof areas of the dwelling will be collected and stored in rainwater Tanks (Location as per plan).

If required, a charged pipe system or mechanically assisted system (pumped) or multiple tanks will be installed to collect water from part of the roof of each dwelling.

In the case of a charged pipe system, the pipes will not be running underneath the building footprint (slab) and the stakeholders (builder/developer/architect) will be required to explicitly acknowledge this solution and have the capacity to install it.

Rainwater collected will be used for toilet flushing in all units as well as laundry re-use (as required).

## STORMWATER TREATMENT TYPES

The following stormwater treatment types have been identified for the development as per the STORM assessment report:

### **Rainwater Tanks**

Rainwater tanks are connected to houses to capture stormwater running off the roof for reuse on the property. Once captured this water can be used to flush toilets, wash clothes, water gardens and wash cars, significantly reducing demand on drinking water.

#### ***How rainwater tanks work***

- Rainwater tanks collect stormwater run-off from impervious surfaces such as roofs, reducing the amount that enters our waterways. They are fitted with an overflow mechanism, meaning that once a tank is full the excess water is redirected into the stormwater drainage system.
- You can maximise the amount of water your rainwater tank captures by properly designing your roof, downpipes and tank location.
- Try to connect as much of the roof area to the rainwater tank. A slow irrigation dripper line to a suitable garden area can ensure your tank can always capture water.

The STORM calculator assumes the tank is connected to the toilet with a water use rate of 20 litres per person per day. The number of bedrooms is used as a surrogate for the number of people using the tank.





## STORMWATER TREATMENT TYPES

### Permeable Paving

Permeable pavement systems allow stormwater run-off to filter through the pavement section and infiltrate into the soil below. Water infiltration into the ground can undergo the processes of absorption, filtration and micro-biological degradation to reduce pollution from entering natural water waterways.

There are four types of permeable pavement systems: pervious concrete, porous asphalt, reinforced turf or gravel and permeable interlocking concrete pavers. Figure 3 shows the typically permeable paving make up, which consists of the following layers: permeable paving surface layer, aggregated bedding, base layer and underdrain soil.

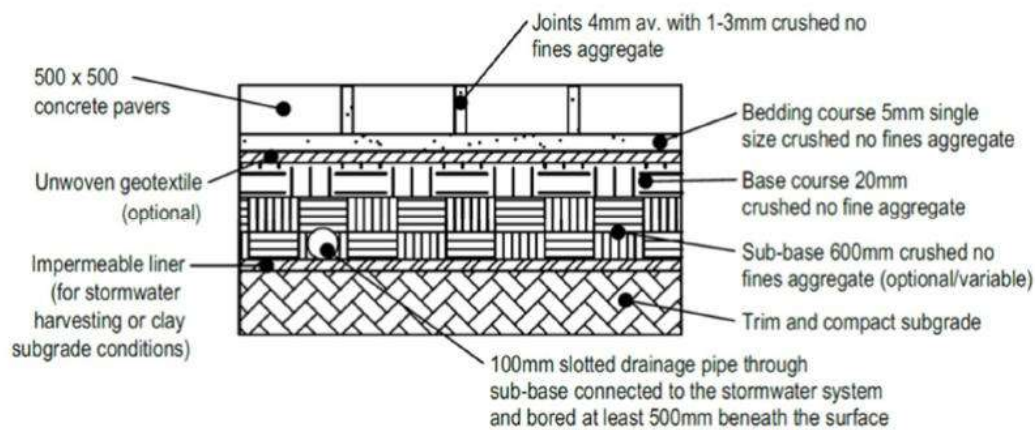


Figure 3: Typical permeable paving construction

Permeable paving also reduces the rate of stormwater running from the site, which reduces the effects of erosion.

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## STORMWATER TREATMENT TYPES

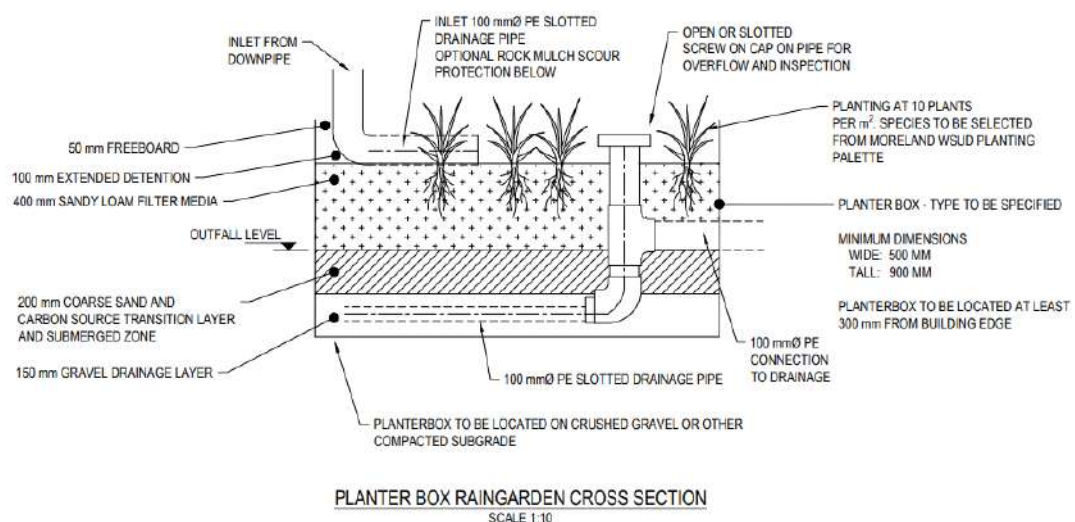
### Raingardens

Raingardens are specially-designed garden beds that filter stormwater runoff from surrounding areas or stormwater pipes. Raingardens are also called bioretention systems because they use soil, plants and microbes to biologically treat stormwater.

### *How raingardens work*

Although they may look similar to a normal garden, raingardens are designed to stop stormwater run-off from polluting our waterways with nutrients, rubbish and sediment. The raingardens consist of a filtered area that typically drains into a porous pipe.

1. Water collects and settles on the garden surface
2. Water soaks through the plants and filter media, trapping rubbish and sediment on the surface
3. Plants use the nutrients in the stormwater, and toxins stick to the soil
4. The soil and plant roots work together to naturally filter the water and remove pollutants



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## STORMWATER MANAGEMENT

### WSUD Objectives

This report has been prepared to satisfy [Cardinia Shire Council](#) Stormwater management (Water Sensitive Urban Design) Clause 55.

This policy applies to applications for:

- New Buildings
- Extensions to existing buildings which are 50m<sup>2</sup> in floor area or greater
- A subdivision in a commercial zone

This policy does not apply to an application for:

- A subdivision of an existing building.

The objective of the policy is to achieve best practice water quality performance objectives set out in the Urban Storm Water Best Practice Environment Management Guidelines, CSIRO 1999 (or as amended).

Currently, these water quality performances objectives are:

- Suspended Solids – 80% retention of typical urban annual load.
  - Total Nitrogen – 45% retention of typical urban annual load
  - Total Phosphorus – 45% retention of typical urban load
  - Litter – 70% reduction of typical urban annual load
- 
- To promote the use of water sensitive urban design, including stormwater re-use.
  - To mitigate the detrimental effect of development on downstream waterways, by the application of best practice stormwater management through water sensitive urban design for new development.
  - To minimise peak stormwater flows and stormwater pollutants to improve the health of waterbodies, including creeks, rivers and bays.

### WSUD Policy

It is policy to:

Require that the development applications provide for the achievement of the best practice performance objectives for suspended solids, total phosphorus and total nitrogen, as set out in the Urban Storm Water Best Practice Environment Management Guidelines, CSIRO 1999 (or as amended).

- Requires the use of stormwater treatment measures that improve the quality and reduce the flow of water discharged to waterways. This can include but not limited to:

- Collections and reuse of rainwater and stormwater on site
- Vegetated swales and buffer strips
- Rain gardens
- Installation of water recycling systems

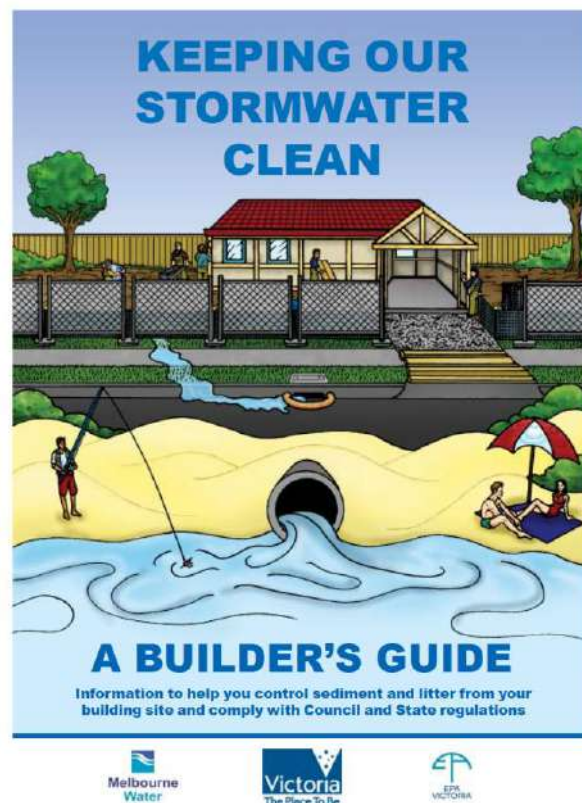
## STORMWATER MANAGEMENT

- Multiple use of water within a single manufacturing site
- Direction of flow from impervious ground surfaces to landscape areas.
- Encourage the use of measures to prevent litter being carried off-site in stormwater flows, including;
  - Appropriately designed waste enclosures and storage bins, and
  - The use of litter traps for developments with the potential to generate significant amounts of litter.
- Encourage the use of green roofs, walls and facades on buildings where practicable (to be irrigated with rainwater/stormwater) to enhance the role of vegetation on buildings in managing the quality and quantity of stormwater.

### Excavation, Sediment & Dust Control

In order to assist to control sediment and litter from the building site during construction and comply with Council and State regulations, the builder shall follow "Keeping Our Stormwater Clean: A Builder's Guide" which can be downloaded at the following link:

<https://www.clearwatervic.com.au/resource-library/guidelines-and-strategy/keeping-our-stormwater-clean-a-builders-guide.php>

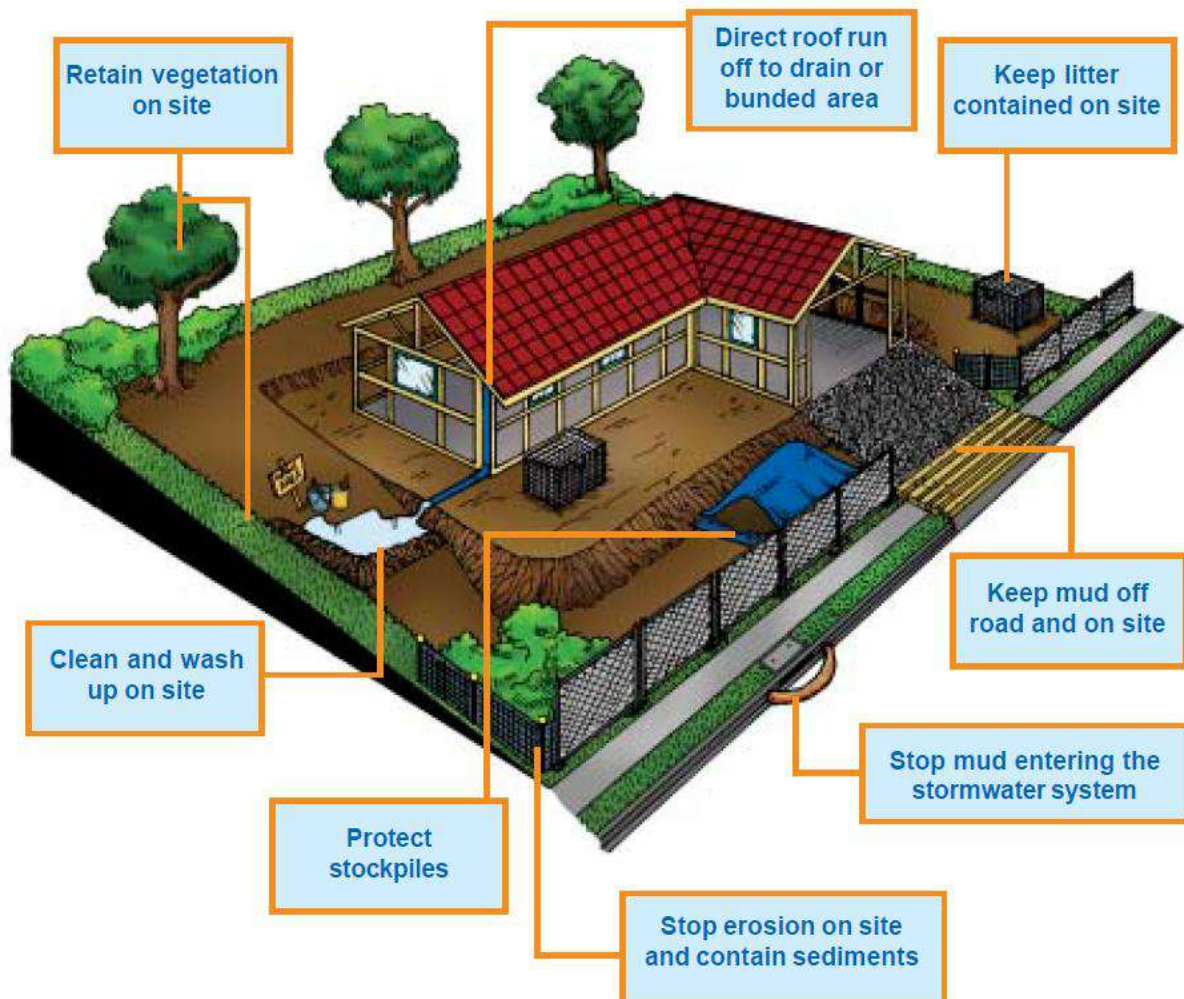




## STORMWATER MANAGEMENT DURING CONSTRUCTION

The following diagram out of the builder's guide will be implemented on site to ensure sediment & erosion control

**Check Council requirements and plan before you start work on site**



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## WSUD MAINTENANCE & INSTALLATION

### Installation

#### Rainwater Tank(s)

The rainwater tank(s) will be installed above ground near the plant room. Its manufacturer or material has not been nominated. It will be installed with a mesh insect cover over the inlet pipe to ensure the tank does not become a breeding ground for pests. Mesh needs to be installed over overflow pipes and if a man hole is present it needs to be properly sealed.

Please refer to the architectural drawings for the location of the rainwater tank.

#### Pumps

The pumps required either to divert the stormwater runoff to the rainwater tank or to distribute the collected water to the end uses (toilets and laundries) will be required to be installed as per the chosen manufacturer specifications.

#### Permeable Paving

Permeable paving used for the driveway shall be installed in strict accordance with the site plans and the permeable paving manufacturer's specific drawings and requirements.

#### Raingarden

The building of a raingarden, should be designed by the landscape architect and in accordance with the Melbourne Water "Building an inground raingarden", "Building an infiltration raingarden", or "Building a planter box raingarden" document/s

<https://www.melbournewater.com.au/community-and-education/help-protect-environment/raingardens>.

### Inspection Requirements

#### Rainwater Tanks

Inspections of roof areas and gutters leading to the tank should take place every 6 months. Rainwater in the tanks should be checked every 6 months for mosquito infestation. The rainwater tank should be examined every 2 years for sludge build up. Ensure the monitoring system (be it digital or a simple float system) is functioning properly by checking the water level in the rainwater tanks.

#### Pumps

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The pumps required will be required to be routinely inspected by listening for the day-to day operation of the pumps. Unusual noise or no noise should be investigated. Inspection should occur as per the chosen manufacturer specifications.

## 9.0 APPENDIXES

### Permeable Paving

Permeable paving should be inspected for damage after large storms (48.2mm in one hour is considered a large storm event in Melbourne – 1 in a 100 year storm) and should be inspected every 3 months.

During the inspection, the following should be looked for:

- Water ponding on porous joints or permeable pavers
- Soggy & boggy soils
- Uneven surface
- Rubbish, leaf litter and sediment
- Blocked underdrainage

### Raingarden

Raingardens should be inspected for damage after large storm events (48.2mm in one hour is considered a large storm event in Melbourne – 1 in 100 year storm) and should be inspected when garden maintenance occurs onsite (e.g. 3-monthly).

A full inspection of the raingarden should occur annually for a flow test, to identify any plant replacement requirements and whether silt build up has occurred.

Inspections roof areas and gutters leading to the raingarden should take place every 6 months.

### Clean Out / Maintenance Procedure

#### Rainwater Tank, Roof and Gutters

Rainwater tanks will require the roof and gutters onsite to be maintained; gutters should be checked, maintained and cleaned every six months to avoid blockages from occurring. If a leaf blocking system is installed this can be completed annually. Any trees onsite should be maintained every 6 months with branches overhanging the roof removed.

Water ponding in gutters should be avoided as this provides a breeding ground for mosquitos; tanks should also not become breeding grounds for mosquitoes. If mosquitoes are detected in the tank remedial steps need to occur to prevent breeding. If mosquitoes or other insects are found in rainwater tanks, the point of entry should be located and repaired. As well as preventing further access, this will prevent the escape of emerging adults. Gutters should be inspected to ensure they do not contain ponded water, and be cleaned if necessary. Please refer to

<http://www.health.gov.au/internet/publications/publishing.nsf/Content/ohpenhealth-raintank-cnt-l-ohp-enhealth-raintank-cnt-l-5-ohp-enhealth-raintank-cnt-l-5.5> for more information on mosquito control.

Rainwater tanks should be checked by regular maintenance person every 3-6 months to ensure that connection to the building is maintained and there are no blockages.

### Pumps

Maintenance should occur as per the chosen manufacturer specifications. All strainers and filters should be cleaned every 6 months. Good quality pump should provide trouble free service for up to 10 years.

### Permeable Paving

Permeable Paving should be maintained regularly, the following are typical maintenance tips for a healthy and well-functioning permeable pavement system.

- Regularly inspect for uneven surfaces. An uneven surface could be a result of the shifting of the sub-grade material. The paving surface or sub-grade material may need to be reset. Movement of the sub-grade material could be caused by tree roots, which may need to be removed.
- Regularly sweep the surface or use a high-pressure hose to remove coarse rubbish or sediments to prevent blockage of the pavers.
- Check for boggy soil. This means water is not drained away quickly enough. An underdrain may need to be installed to improve drainage.

### Raingarden

The following maintenance schedule for raingarden has been sourced from WSUD Maintenance Guidelines by Melbourne Water.

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| Item                                 | What to check for   | Action  | Frequency                    |
|--------------------------------------|---|---|------------------------------|
| <b>Civil components – Raingarden</b> |   |   |                              |
| <b>Inlet</b>                         | No evidence of erosion, blockage, damage or standing water.   | Clear inlet of accumulated sediment or debris.<br><br>Eroded areas should be locally re-profiled or reinforced, and re-planted if necessary.<br><br>Refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> if the erosion is either recurring or severe.   | Storm events<br><br>3 months |
| <b>Outlet</b>                        | No evidence of erosion, blockage, damage or standing water<br><br>Outlet freely draining.   | Clear outlet of accumulated sediment or debris.<br><br>Refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> if standing (backwatering into the raingarden) is present.   | Storm events<br><br>3 months |
| <b>Other structures</b>              | No evidence of erosion and damage to other structures, e.g. pits, pipes, access ramps, walls and rock protection.   | Repair minor damage to structures.<br><br>Eroded areas should be repaired (reinforced). This may involve minor re-profiling or re-planting works.<br><br>For severe damage, i.e. where flows have scoured down the side of a structure refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> .          | 3 months                     |
| <b>Batters and bunds</b>             | No evidence of erosion.   | Eroded areas should be locally re-profiled or reinforced, and re-planted if necessary.  | Annually                     |
| <b>Hydraulic conductivity</b>        | Filter media is draining freely.<br>No water ponded on the surface of the raingarden for more than 12 hours after rainfall.   | If water is ponded on the surface of the raingarden for more than 12 hours after rainfall, refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> .<br><br>Note: the disposal of raingarden filter material must comply with EPA Victoria guidelines for the disposal of contaminated soil (Appendix C). | Storm events                 |
| <b>Sediment accumulation</b>         | Sediment forebay less than 75% full.<br><br>No major sediment accumulation on surface of the raingarden.  | Clean out accumulated sediment from the sediment forebay.<br><br>Accumulated sediment to be removed from the surface of the raingarden and the system replanted as required.  | Annually                     |
| <b>Filter media surface</b>          | No surface scour, depressions.  | Filter surface to be repaired. This may involve evening out the surface, importing additional filter media and replanting.  | 3 months                     |
| <b>Fine sediment surface crust</b>   | No impermeable or clayey surface on the filter media.<br><br>No major surface crusting (<3mm depth across less than 10% of the filter area is permissible).                         | Repair surface layer by scarify filter media surface, re-profiling and re-establishing vegetation, if required.<br><br>If the problem persists refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> .  | 3 months                     |
| <b>Mulch layer</b>                   | Even depth and distribution of the mulch layer.<br><br>Surface of the mulch layer is at least 100 mm below the top of the outflow pit.<br><br>Mulch is not touching the plant stems | Re-distribute or replace mulch that has been washed out or displaced. This may involve retaining mulch using jute mats or nets.<br><br>Remove mulch that is touching plant stems.   | 3 months                     |
| <b>Algal or moss growth</b>          | No major algal growth (less than 10% of raingarden area is permissible).<br><br>No moss growth.   | If significant patches of algal growth or moss persist across the surface of the raingarden (i.e. greater than 10% of the surface) then refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> .   | 3 months                     |
| <b>Inspection opening</b>            | Water level is below filter media layer.<br><br>No sediment accumulation in underdrain system.  | Refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> if standing water is present in the filter media layer.<br><br>Flush the underdrain system using low pressure water jet to remove accumulated sediment.   | Annually                     |

|  |  |   |          |
|--|--|---|----------|
| <b>Vegetation cover – filter media</b> | Greater than 90% vegetation cover.<br>Plants healthy, free from disease and vigorously growing.  | Remove any dead or diseased vegetation.<br>Replant individual bare patches (greater than 5% of the area) using either new plants or by dividing and translocating existing plants.  | 3 months |
| <b>Vegetation cover – batters</b>      | Continuous vegetation cover along the lower batter.<br>Greater than 90% vegetation cover.<br>Plants healthy, free from disease and vigorously growing. | If bare areas represent greater than 30% of the raingarden area, refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> .  | Annually |
| <b>Weeds – filter media – batters</b>  | Less than 10% of the filter media surface area and batters covered in weeds.   | Physically remove weeds from filter media surface and batters.<br>Do not use herbicides as these may harm the desirable raingarden vegetation and contaminate the filter media.<br>Refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> if weed ingress is a persistent problem (i.e. weed coverage is persistently greater than 30%). | 3 months |
| <b>Litter</b>                          | Filter media surface and batters free of litter (i.e. less than 1 piece litter per 4m <sup>2</sup> ).  | Remove all litter and excessive debris  | 3 months |
| <b>Pests</b>                           | No damage by pest animals and insects.   | Seek specialist advice if persistent insect damage is observed.<br>Refer to Water by Design (2012) <i>Rectifying Vegetated Stormwater Treatment Assets</i> if there is evidence of pest animal damage.  | 3 months |

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## 9.0 APPENDIXES

### Commissioning

#### Rainwater Tank

All rainwater tanks should be washed or flushed out prior to use. All inlets and outlets should be correctly sealed to prevent insects entering. Connection to all toilets and laundries in the development should be tested (dye test or equivalent). Please note if new roof coating or paint is to be installed then the first few run-offs after installation need to be discarded.

#### Pumps

Commissioning should occur as per the chosen manufacturer specifications.

#### Permeable Paving

Commissioning should occur as per the chosen manufacturer specifications.

#### Raingardens

All layers should be installed as specified and commissioning (drainage tests, running water through the raingarden) should occur prior to building sign off.

### Summary

The following needs to occur onsite to ensure compliance with WSUD requirements and maintain the operation of the rainwater tank and connections on site.

| Task                    | When?          | Requirement   |
|-------------------------|----------------|---|
| Inspect Rainwater tanks | Every 6 months | <ul style="list-style-type: none"><li>• Check for any damage/compression</li><li>• Mosquitos' infestation</li></ul>                             |
|                         | Every 2 years  | <ul style="list-style-type: none"><li>• Sludge Build up - if sludge build-up occurs a vacuum tank needs to be called out to the site.</li></ul> |



|                                |   |  |
|--------------------------------|---|--|
| Inspect roofs & gutters        | Every 6 months                                  | <ul style="list-style-type: none"><li>• Clean out of leaves/debris.</li><li>• Remove any overhanging branches onsite.</li></ul>  |
| Inspection of Permeable Paving | 3 times a year<br>Following a large storm event | <ul style="list-style-type: none"><li>• Check joints</li><li>• Check soil</li><li>• Check for blockages</li><li>• Check for ponding</li><li>• Check for uneven surfaces</li></ul>  |
| Inspection of Raingarden       | 3 times a year<br>Following a large storm event | <ul style="list-style-type: none"><li>• Remove leaf litter &amp; gross pollutants</li><li>• Check for blockages</li><li>• Check for ponding</li><li>• Ensure inlet &amp; outlet points are clear of sediment litter &amp; debris</li></ul> |

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### Rainwater Tank Maintenance

Regular maintenance is needed to ensure that your rainwater is safe for all requirements around the home, particularly for drinking. Design and construct the system so that the maintenance schedule can be carried out.

#### Monthly:

- Check and clean tank inlet screens, outlet screens, and leaf-shedding rain-heads.
- Check and clean the first flush diverter.

#### Annually:

- Check roofs and gutters and remove debris.
- Check filters and replace if necessary.
- Remove overhanging vegetation where possible.

#### 3-5 yearly:

- De-sludge your tank.
- In the longer term, rainwater pumps typically need servicing or replacing after approximately 10 years of use.

Guidance shall be sought via the Australian Government Department of Health, [Guidance on use of rainwater tanks](#).

Remaining permeable area around the site consisting of landscaped areas, permeable paving and other pervious surface

For Dwelling 2 - 125m<sup>2</sup> of roof catchment area to be directed to 5000 litre tank for toilet flushing and laundry re-use

### Raingarden Maintenance

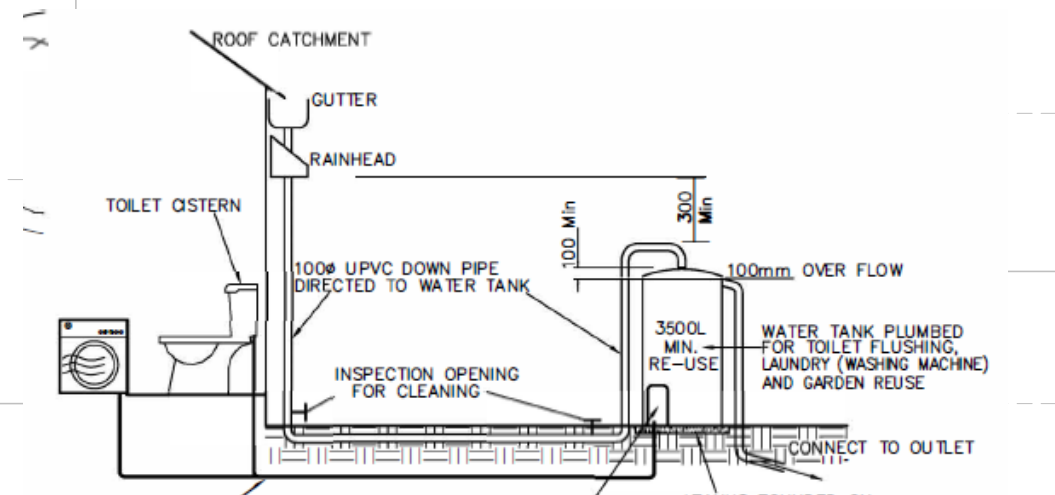
Regular maintenance is needed to ensure that the raingarden system is operating sufficiently and effectively to maintain a healthy stormwater system.

#### Quarterly:

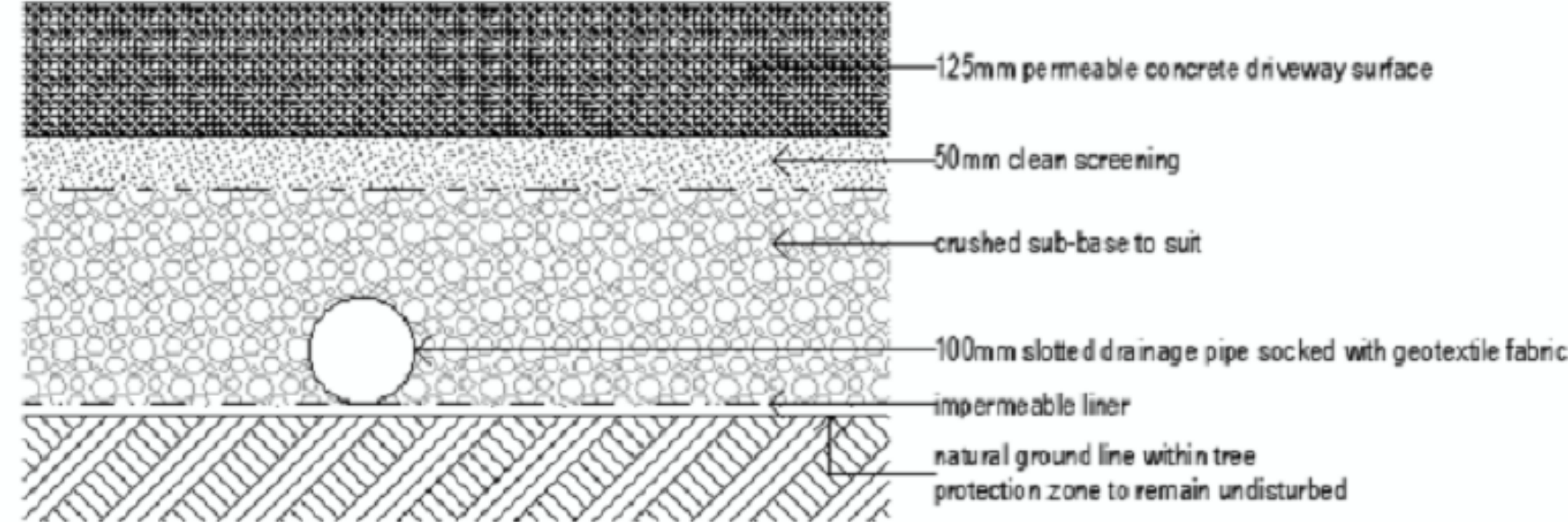
- Remove leaf litter and gross pollutants
- Check for biofilms (algal biofilms may develop on the surface of the filter media leading to clogging issues)
- Monitor ponding of water following rainfall events
- Check for permanently boggy/pooled areas
- Check for erosion/scouring
- Check for evidence of preferential flow paths
- Replace filter media in eroded areas
- Add rock protection around inlets (if required)
- Check depth and even distribution of mulch
- Check mulch is not touching plant stems
- Check for sediment/silt accumulation in mulch layer
- Replace mulch (if required)
- Retain mulch using jute mats or nets (if required)
- Inspect plant health and cover
- Replace dead plants (maintain a consistent vegetation density of 6-10 plants per square metre across the raingarden filter media)
- Remove weeds (avoid use of herbicides)
- Prune plants (where applicable)
- Water plants (if required during establishment phase)
- Check infrastructure for damage and repair as required
- Ensure inlet and outlet points are clear of sediment, litter and debris

#### Annually:

- Remove sediment (or scarify filter media surface if required)
- Inspection opening for underdrain (slotted drainage pipe):
  - Check water level
  - Check for sediment accumulation
  - Flush the underdrain system (if required)



STORMWATER DRAINAGE DETAILS FOR CHARGED SYSTEM TO 3500L RAINWATER TANK



## PERMEABLE CONCRETE DRIVEWAY TYP.

### Maintenance Schedule for Permeable Paving

#### During or after a major rain event (particularly in the first 12 months):

- Visually monitor infiltration performance.
- Check that driveway dewater between events.

#### Quarterly (monthly during the first 12 months):

- Check that driveway surface and immediate catchment area is free of sediment and debris.
- If required, brush or vacuum sweep area to remove sediment and debris.

#### Annually:

- Check infiltration performance and sediment accumulation.
- Inspect surface of driveway for deterioration or structural damage.
- Vigorous brush and pressure wash areas showing reduced performance.

#### 3-5 yearly (at least within 10 years):

- Perform infiltration test.
- Undertake wet suction cleaning if required.

Maintenance of the permeable driveway is the responsibility of the applicant and/or property owner.

For the existing dwelling - 280.2m<sup>2</sup> of roof catchment area to be directed to 5000 litre tank for toilet flushing and laundry re-use. Rainwater Tank location tbc by builder/designer

For Dwelling 2 - 47m<sup>2</sup> of roof catchment area to be collected and discharged into a 1m<sup>2</sup> 100mm raingarden. The raingarden is to be fully lined with an impervious liner and have its overflow & aggie drain connected to the stormwater system. Refer to site plan for raingarden location

Permeable Paving

# MANSSELL COURT

# WSUD Plan 11.08.2025

### SERVICES LEGEND

|   |                           |
|---|---------------------------|
| —W—W—   | WATER                     |
| —G—G—   | GAS                       |
| —E—E—   | ELECTRICITY (UNDERGROUND) |
| —OHE—OHE—                                     | ELECTRICITY (OVERHEAD)    |
| —TELSTRA—TELSTRA—                             | TELSTRA                   |
| —DRAINAGE / STORMWATER—DRAINAGE / STORMWATER— | DRAINAGE / STORMWATER     |
| —SEWER—SEWER—                                 | SEWER                     |

### TREE LEGEND

|  |                                     |
|--|-------------------------------------|
|  | EXISTING TREES TO BE REMOVED        |
|  | EXISTING TREES TO BE RETAINED       |
|  | STRUCTURAL ROOT ZONE                |
|  | STRUCTURAL ROOT ZONE (ENCROACHMENT) |
|  | TREE PROTECTION ZONE                |
|  | TREE PROTECTION ZONE (ENCROACHMENT) |

### SITE - AREA SCHEDULE

|                          |   |
|--------------------------|---|
| <b>SITE AREA:</b>        | 1074m <sup>2</sup>  |
| LOT 1:                   | 730m <sup>2</sup>   |
| LOT 2:                   | 344m <sup>2</sup>   |
| <b>GARDEN AREA:</b>      |   |
| LOT 1                    | 423m <sup>2</sup> (57.9%)<br>MIN. = 256m <sup>2</sup> (25%)                                   |
| LOT 2                    | 160m <sup>2</sup> (46.5%)<br>MIN. = 86m <sup>2</sup> (25%)                                    |
| <b>TOTAL</b>             | 583m <sup>2</sup> (54.3%)<br>MIN. = 376m <sup>2</sup> (25%)<br>MAX. = 696m <sup>2</sup> (65%) |
| <b>SITE COVERAGE:</b>    | 381m <sup>2</sup> (35.5%)   |
| <b>PERMEABILITY</b>      | 666m <sup>2</sup> (62.0%)<br>MIN. = 215m <sup>2</sup> (20%)                                   |
| <b>DWELLING 1 (POS):</b> | 505m <sup>2</sup><br>MIN. = 25m <sup>2</sup>  |
| <b>DWELLING 2 (POS):</b> | 188m <sup>2</sup><br>MIN. = 25m <sup>2</sup>  |
| <b>DWELLING 1 (SPS):</b> | REF. TO SHEET TP05<br>MIN. = 25m <sup>2</sup> (3m MIN.)                                       |
| <b>DWELLING 2 (SPS):</b> | REF. TO SHEET TP05<br>MIN. = 25m <sup>2</sup> (3m MIN.)                                       |

### DWELLING 1 - AREA SCHEDULE

| NAME               | AREA               |
|--------------------|--------------------|
| DW1 - GROUND FLOOR | 169 m <sup>2</sup> |
| DW1 - VERANDAH     | 32 m <sup>2</sup>  |
| DW1 - GARAGE       | 24 m <sup>2</sup>  |
| <b>DW1 - TOTAL</b> | 225 m <sup>2</sup> |

### DWELLING 2 - AREA SCHEDULE

| NAME               | AREA               |
|--------------------|--------------------|
| DW2 - GROUND FLOOR | 130 m <sup>2</sup> |
| DW2 - PORCH        | 24 m <sup>2</sup>  |
| DW2 - GARAGE       | 24 m <sup>2</sup>  |
| <b>DW2 - TOTAL</b> | 156 m <sup>2</sup> |



## STORM Rating Report

TransactionID: 0  
Municipality: CARDINIA  
Rainfall Station: CARDINIA  
Address: 31 Campbell Street

Assessor: Garfield  
VIC 3338  
Development Type: Empire Thermal Group  
Residential - Subdivision  
Allotment Site (m<sup>2</sup>): 1,074.00  
STORM Rating %: 100

| Description                   | Impervious Area (m <sup>2</sup> ) | Treatment Type   | Treatment Area/Volume (m <sup>2</sup> or L) | Occupants / Number Of Bedrooms | Treatment % | Tank Water Supply Reliability (%) |
|-------------------------------|-----------------------------------|------------------|---|--------------------------------|-------------|-----------------------------------|
| Existing Dwelling             | 280.20                            | Rainwater Tank   | 5,000.00                                    | 4                              | 80.40       | 98.30                             |
| New Dwelling connected to RWT | 125.00                            | Rainwater Tank   | 5,000.00                                    | 4                              | 134.00      | 92.10                             |
| New Dwelling connected to RG  | 47.00                             | Raingarden 100mm | 1.00  | 0                              | 128.65      | 0.00                              |
| Driveway                      | 0.00                              | None             | 0.00  | 0                              | 0.00        | 0.00                              |



PROPERTY INFORMATION CERTIFICATE  
Building Regulations 2018  
Building Regulation 51(2)



13 September 2024

Property number: 4153901400  
Your reference 31 CAMPBELL ST, GARFIELD  
Receipt number 7476319512

Property Subdivision

**Land (property) Address:** Lot 12 (31) Campbell St, Garfield VIC 3814  
**Proposed Development** 2 lot subdivision + Development

|  |            |
|--|------------|
| <b>Is the building or land in an area:</b>                   |            |
| That is liable to flooding (Reg. 153)?                       | <b>NO*</b> |
| That is a likely to be subject to termite attack (Reg. 150)? | <b>YES</b> |
| For which BAL level has been specified in a planning scheme? | <b>**</b>  |
| That is subject to significant snowfalls (Reg. 152)?         | <b>NO</b>  |
| Designated land or Designated works (Reg. 154)?              | <b>NO*</b> |

**\*NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 20 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

**\*\* NOTE:** BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) [DELWP Vic Plan Maps](#)

#### **PLANNING UNIT**

For planning information please complete the planning information request located on our website [Planning information or advice](#) and pay the associated fee.

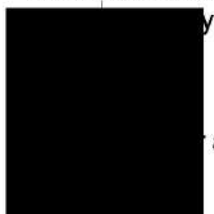
#### **COMMUNITY INFRASTRUCTURE LEVY**

'Community infrastructure' levies are financial contributions made by landowners towards locally provided infrastructure that is required to meet the future needs of the community. **Community Infrastructure Levy is applicable to new dwellings constructed in Pakenham, Officer, and some areas of Beaconsfield.**

**Is the property subject to the Community Infrastructure Levy (payable by owner?)** **NO**

#### **ASSET PROTECTION UNIT**

The asset protection permit application fee and bond must both be paid, and your permit issued **before works start**. Please refer to our website for further details: [Apply for an asset protection permit](#)



and on Behalf of **Municipal Building Surveyor**

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