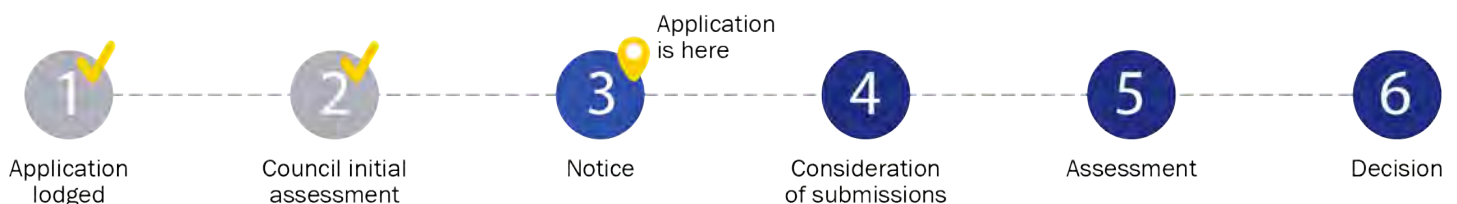


Notice of Application for a Planning Permit

The land affected by the application is located at:	L158 PS649677 V11683 F172 9 Tranquil Way, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a building or construct or carry out works
42.01-2	Construct a fence
APPLICATION DETAILS	
The applicant for the permit is:	Universal Planning
Application number:	T250309
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	26 September 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected. <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



Application Summary

Portal Reference A22527LC

Basic Information

Proposed Use development of a single storey dwelling
 Current Use vacant
 Cost of Works \$640,000
 Site Address 9 Tranquil Way Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	Universal Planning	P.O. Box 234, Doncaster Heights VIC 3109	W: 0448-147-238 E: info@universalplanning.info
Owner			
Preferred Contact	Universal Planning	P.O. Box 234, Doncaster Heights VIC 3109	W: 0448-147-238 E: info@universalplanning.info

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 5 More than \$500,000 but not more than \$1,000,000	\$1,535.00	100%	\$1,535.00
Total			\$1,535.00

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Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm

Phone: 1300 787 624

After Hours: 1300 787 624

Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
02-06-2025	A Copy of Title	LAND TITLE.pdf
02-06-2025	Site plans	TOWN PLANNING DRAWINGS JUNE 2.pdf
02-06-2025	Overlay Requirements	TP Report - 9 Tranquil Way.pdf
02-06-2025	Additional Document	9 Tranquil Way Pakenham - Landscape Plan.pdf
02-06-2025	Encumbrance	SECTION 173 AGREEMENT.pdf
02-06-2025	Overlay Requirements	PLAN OF SUBDIVISION.pdf
02-06-2025	Overlay Requirements	9 Tranquil Way, Pakenham cover letter.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	<div></div> Town Planner	PO BOX 234, Doncaster Heights VIC 3109	W: 0448-147-238 E: info@universalplanning.info
Submission Date	02 June 2025 - 03:39:PM		

Declaration

☒ By ticking this checkbox, I, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250309 PA
Address of the Land:	9 Tranquil Way, Pakenham VIC 3810

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	UNIVERSAL PLANNING
Address:	PO BOX 234, Doncaster Heights VIC 3109
Phone:	0448147238
Email:	info@universalplanning.info

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Construction of a dwelling and a fence		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input checked="" type="checkbox"/>	Unchanged <input type="checkbox"/>	New amount \$

DECLARATION

I declare that all the [redacted] (not myself) has been notified of this request.	
Name:	[redacted]
Signature:	[redacted]
Date:	[redacted]

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 11683 FOLIO 172

Security no : 124124341778W
Produced 11/05/2025 03:18 PM

LAND DESCRIPTION

Lot 158 on Plan of Subdivision 649677S.

PARENT TITLES :

Volume 08652 Folio 976 Volume 08810 Folio 340

Created by instrument AM859497W 16/06/2016

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AK575312M 06/09/2013

DIAGRAM LOCATION

SEE PS649677S FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 9 TRANQUIL WAY PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

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DOCUMENT END

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Document Type	Plan
Document Identification	PS649677S
Number of Pages (excluding this cover sheet)	12
Document Assembled	11/05/2025 15:18

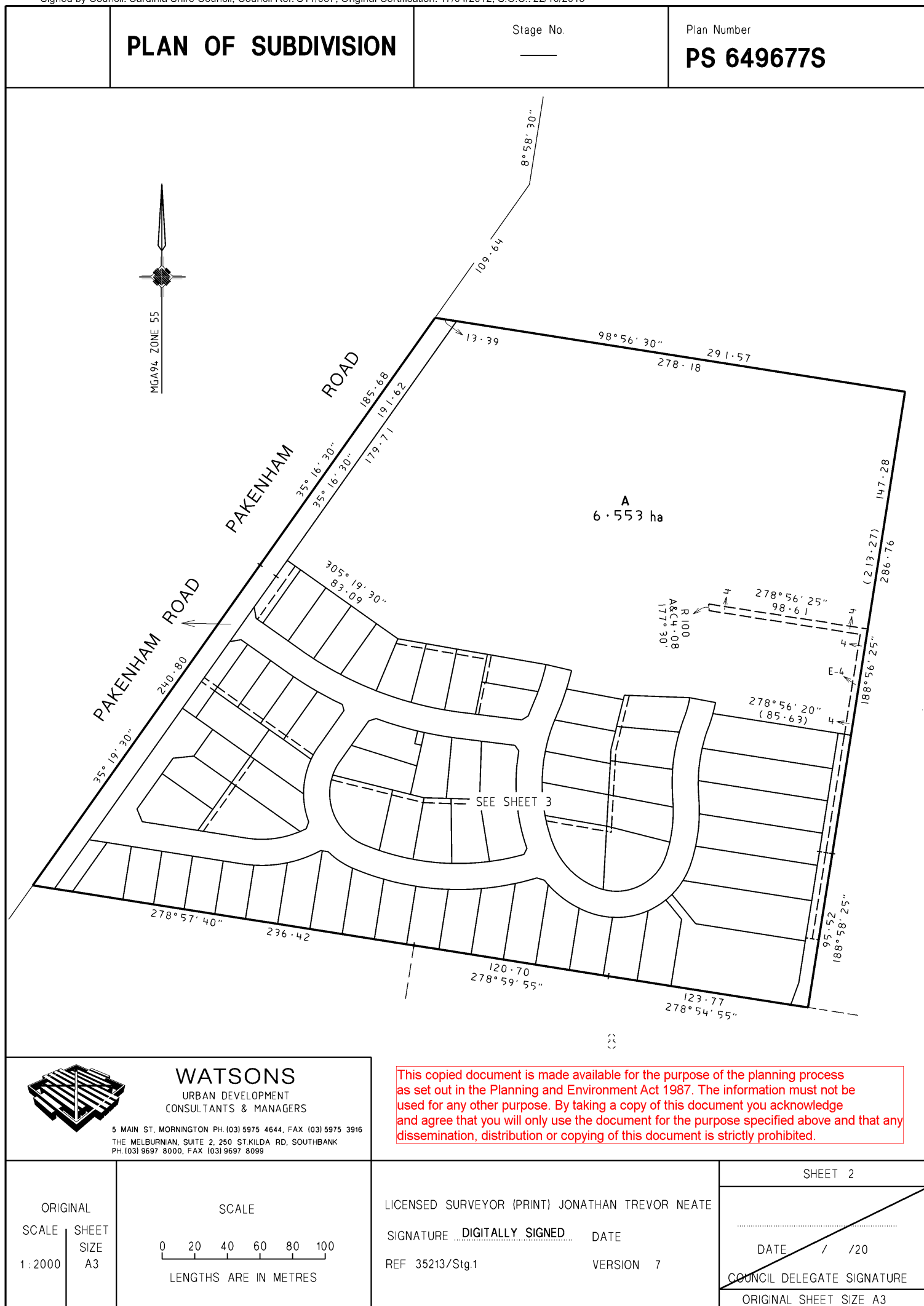
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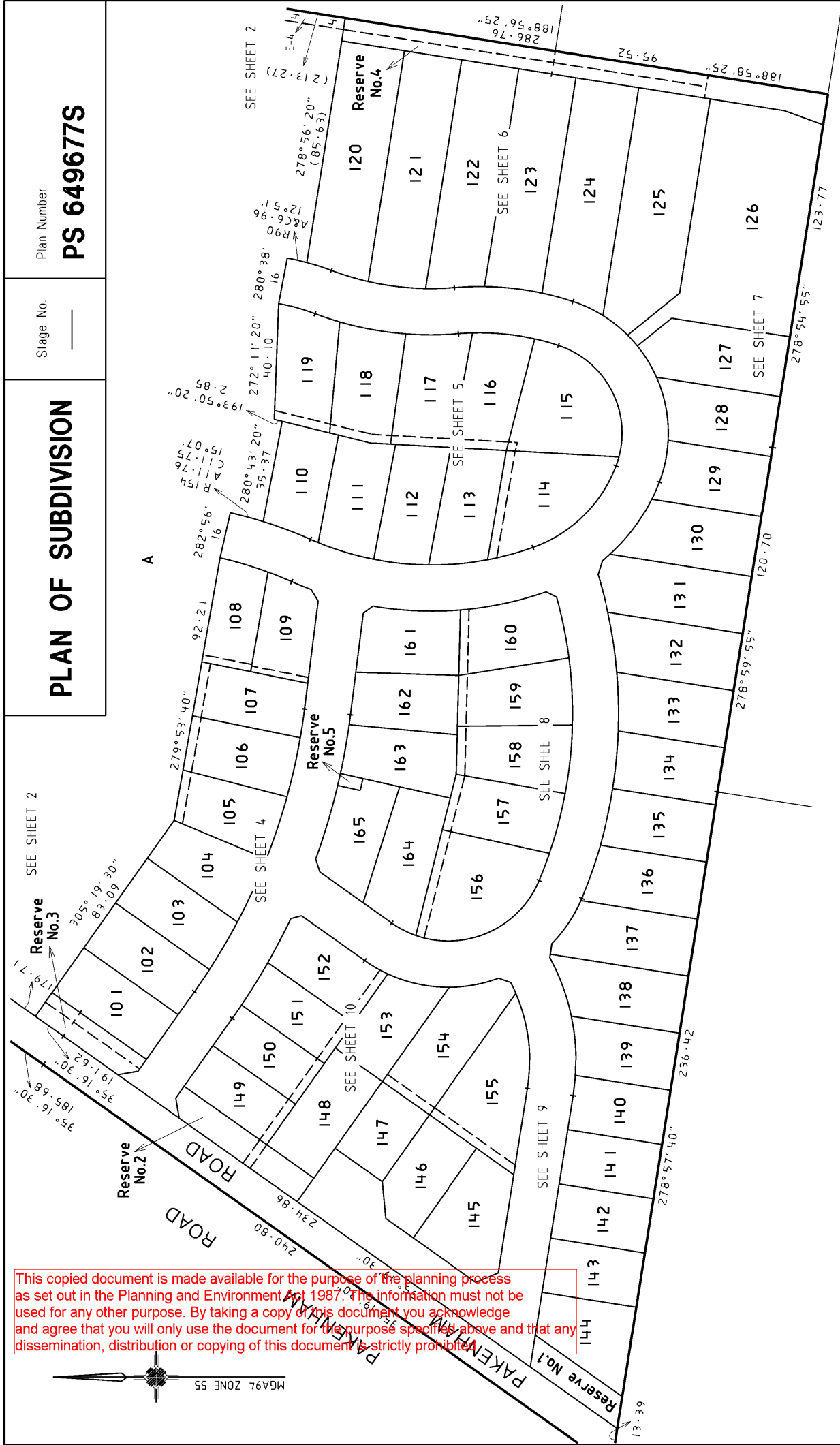
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PLAN OF SUBDIVISION		Stage No. —	LRS use only EDITION 1	Plan Number PS 649677S
Location of Land Parish: Nar Nar Goon Township: — Crown Portion: 3 (Part) & 7 (Part) Parish: Nar Nar Goon Township: Pakenham Crown Allotment: 32 (Part) & Part of Former Government Road Title Reference: Vol. 8810 Fol. 340 Vol. 8652 Fol. 976 Last Plan Reference: Lot 1 LP 8840 Lot 2 LP 8840 Postal Address: 120-150 Pakenham Road (at time of subdivision) Pakenham 3810 MGA94 Co-ordinates: E 366 500 Zone: 55 (of approx. centre of land in plan) N 5 786 800		Council Certificate and Endorsement Council Name: Cardinia Shire Council Ref: _____ 1. This plan is certified under section 6 of the Subdivision Act 1988. 2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 / / 20 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988. <u>OPEN SPACE</u> (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage..... Council Delegate Council Seal Date / / 20 Re-certified under section 11(7) of the Subdivision Act 1988 Council Delegate Council Seal Date / / 20		
Vesting of Roads and/or Reserves				
Identifier	Council/Body/Person			
Roads R-1	Cardinia Shire Council			
Roads R-2	Roads Corporation			
Reserve No.1	Cardinia Shire Council			
Reserve No.2	Cardinia Shire Council			
Reserve No.3	Cardinia Shire Council			
Reserve No.4	Cardinia Shire Council			
Reserve No.5	SPL Electricity Pty Ltd			
Notations				
Staging		This is is not a staged subdivision Planning Permit No. T060892		
Depth Limitation		Does not apply.		
THIS IS A SPEAR PLAN				
Lots 1 to 100 (Both Inclusive) have been omitted from this stage.				
<div style="border: 1px solid red; padding: 5px; color: red; margin: 10px auto; width: 80%;"> This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. </div>				
Estate: GALWAY GOLD Development No.: 1 No. of Lots: 65 Area: 8.210 ha Melways: 317 C3		Survey This plan is is not based on survey. See BP 2601B. This survey has been connected to permanent marks no(s) PM 89 & PM 313 This survey is not in a Proclaimed Survey Area.		
Easement Information				LRS use only
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				Statement of Compliance/ Exemption Statement Received <input checked="" type="checkbox"/> DATE 20 / 11 / 2013
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1 & E-3	Drainage	See Diag.	This Plan	Cardinia Shire Council
E-2, E-3 & E-5	Sewerage	See Diag.	This Plan	South East Water Limited
E-4 & E-5	Water Supply	See Diag.	This Plan	South East Water Limited
LRS use only				PLAN REGISTERED TIME 3.52pm DATE 3 / 12 / 2013 Kevin Bond Assistant Registrar of Titles
SHEET 1 OF 11 SHEETS				DATE / / 20 COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3
 WATSONS URBAN DEVELOPMENT CONSULTANTS & MANAGERS 5 MAIN ST, MORNINGTON PH.(03) 5975 4644, FAX (03) 5975 3916 THE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTHBANK PH.(03) 9697 8000, FAX (03) 9697 8099		LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE SIGNATURE <u>DIGITALLY SIGNED</u> DATE _____ REF 35213/Stg.1 VERSION 7		



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PLAN OF SUBDIVISION

Stage No. _____

Plan Number

PS 649677S



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SHEET SIZE A3

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LENGTHS ARE IN METRES

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REF 35213/Stg.1

SHEET 3

DATE / /20

COUNCIL DELEGATE SIGNATURE

ORIGINAL SHEET SIZE A3

PLAN OF SUBDIVISION

Plan Number

PS 649677S

Stage No.

Reserve No.3
387 m²

eserve
No.2 /

GALWAY

RISE

TRANQUIL
WAY

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LENGTHS ARE IN METRES

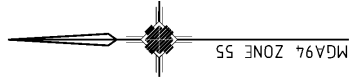
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SHEET 4

SEE SHEET 8

SEE SHEET 10

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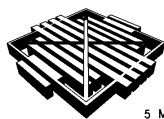
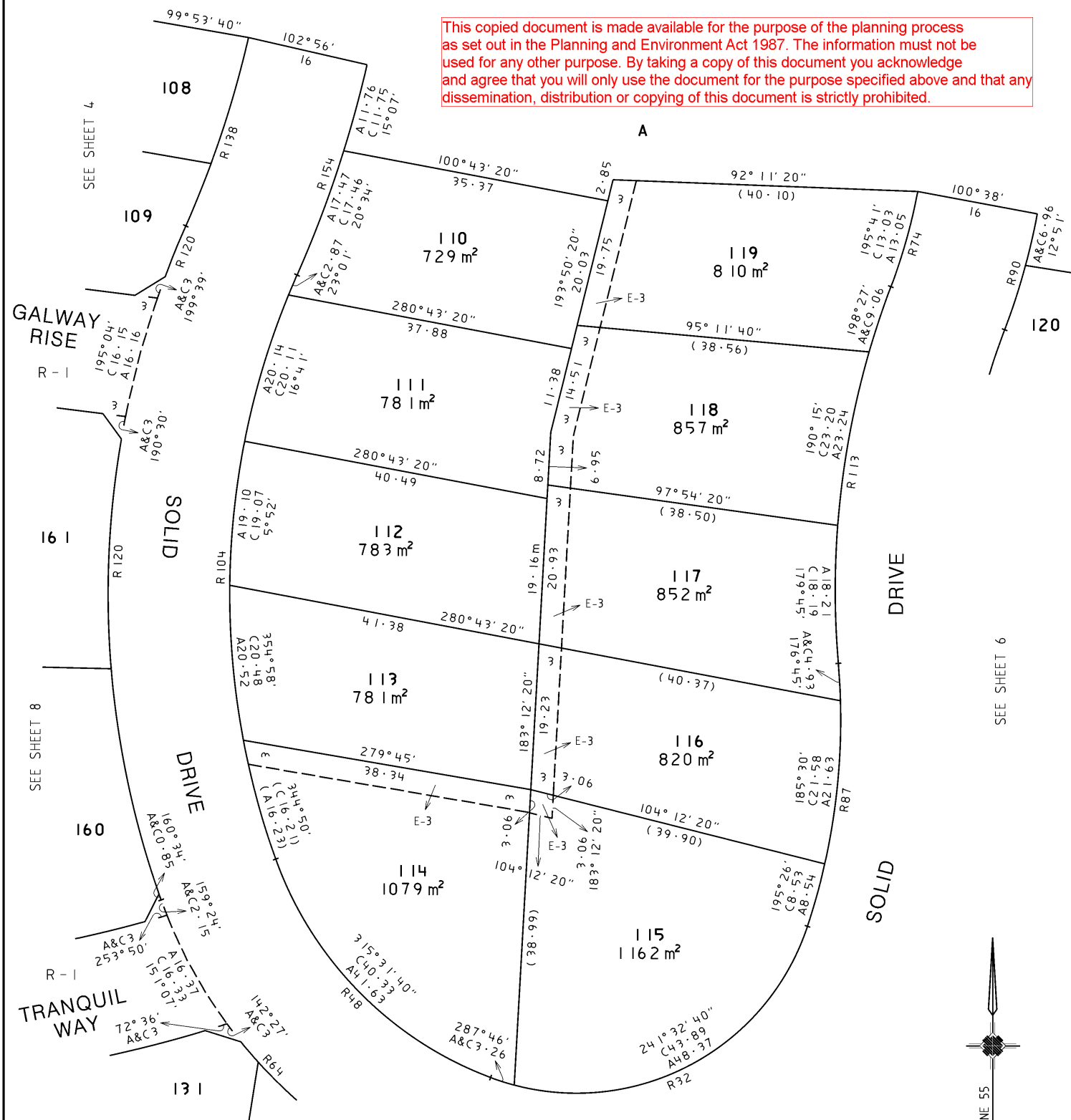
PLAN OF SUBDIVISION

Stage No.

Plan Number

PS 649677S

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SEE SHEET 7



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A3

SCALE

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REF 35213/Stg1

VERSION 7

SHEET 5

DATE / /20

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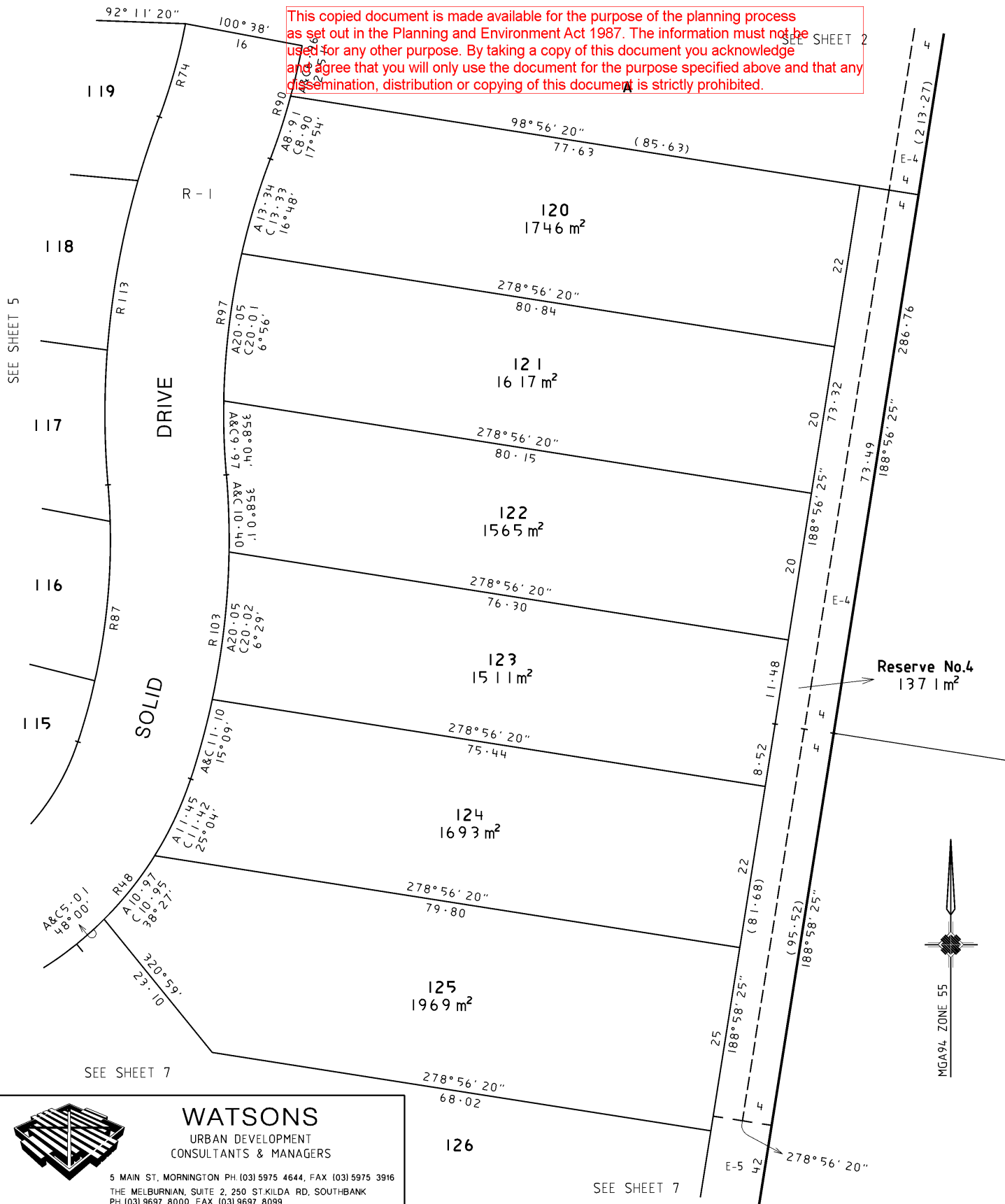
PLAN OF SUBDIVISION

Stage No.

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VERSION 7

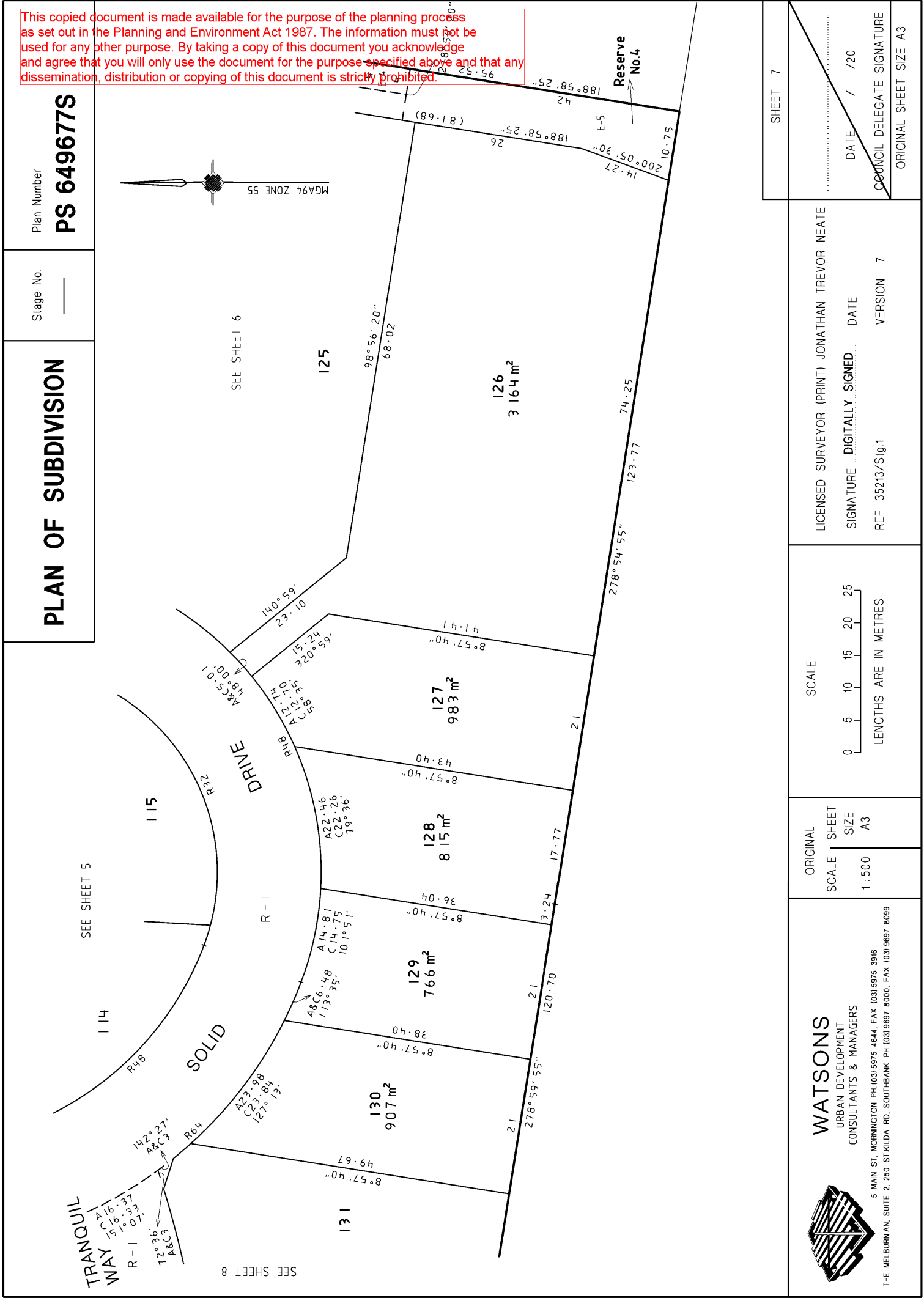
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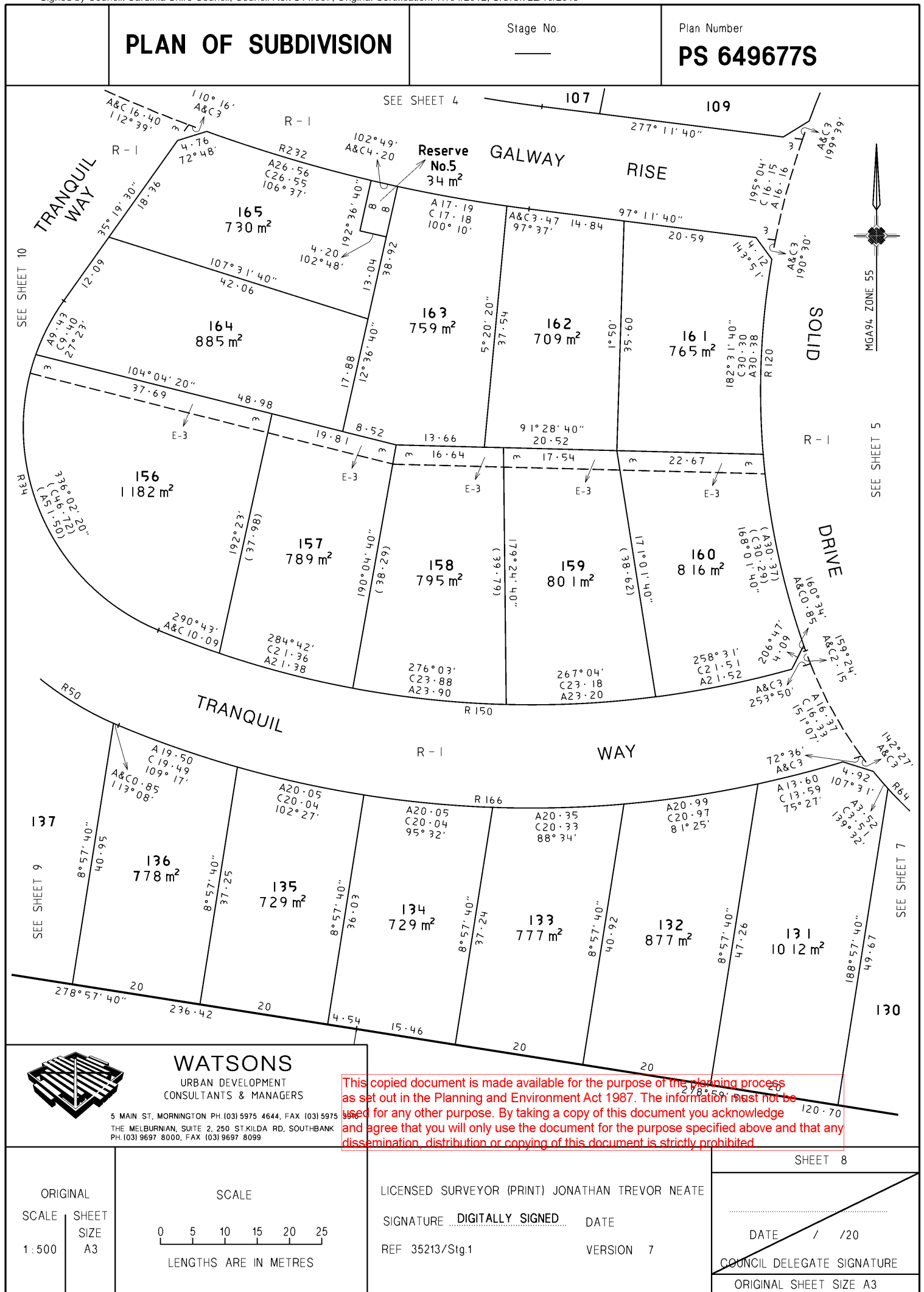
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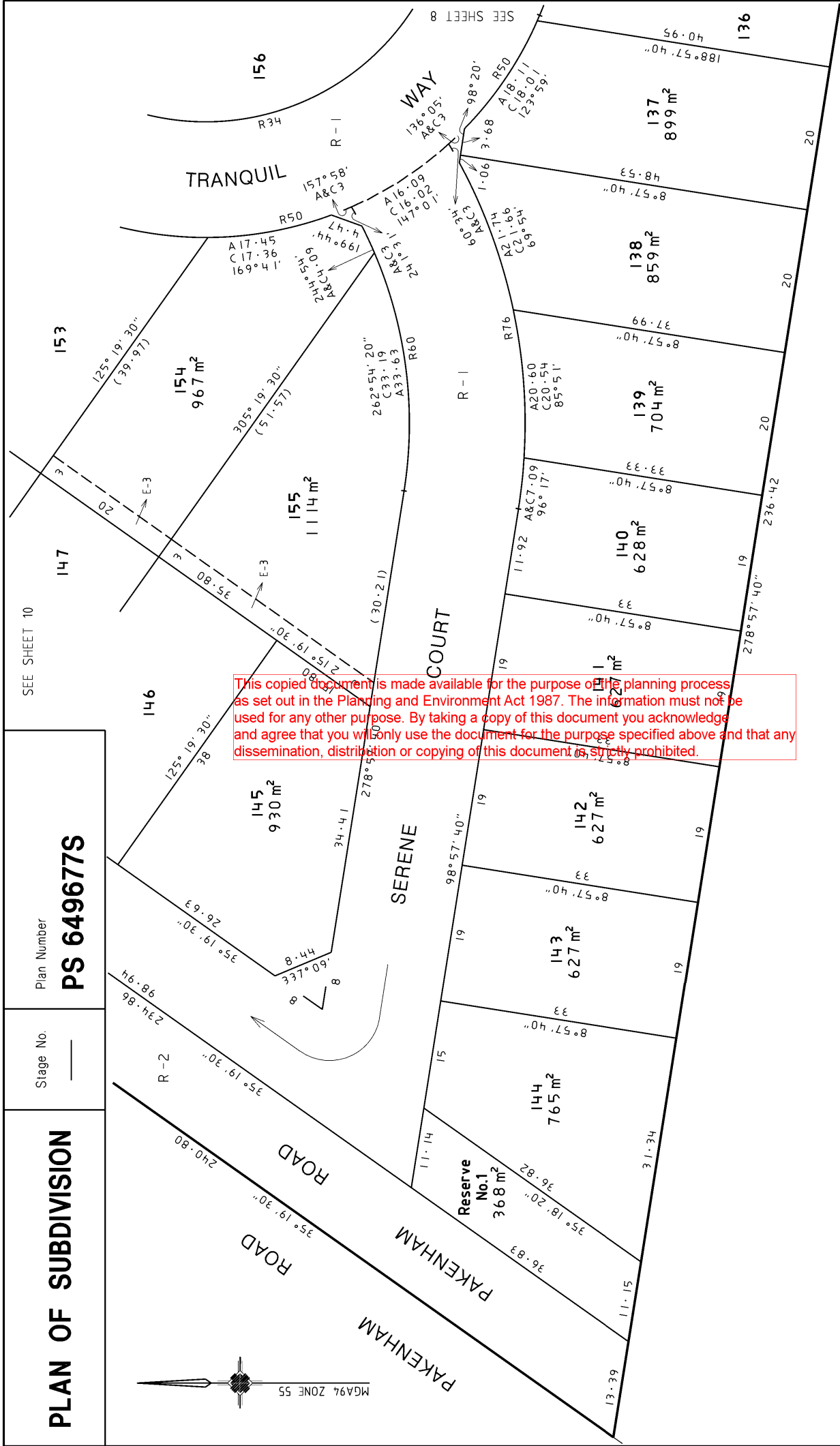




PLAN OF SUBDIVISION

Stage No. _____

Plan Number
PS 649677S



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LENGTHS ARE IN METRES

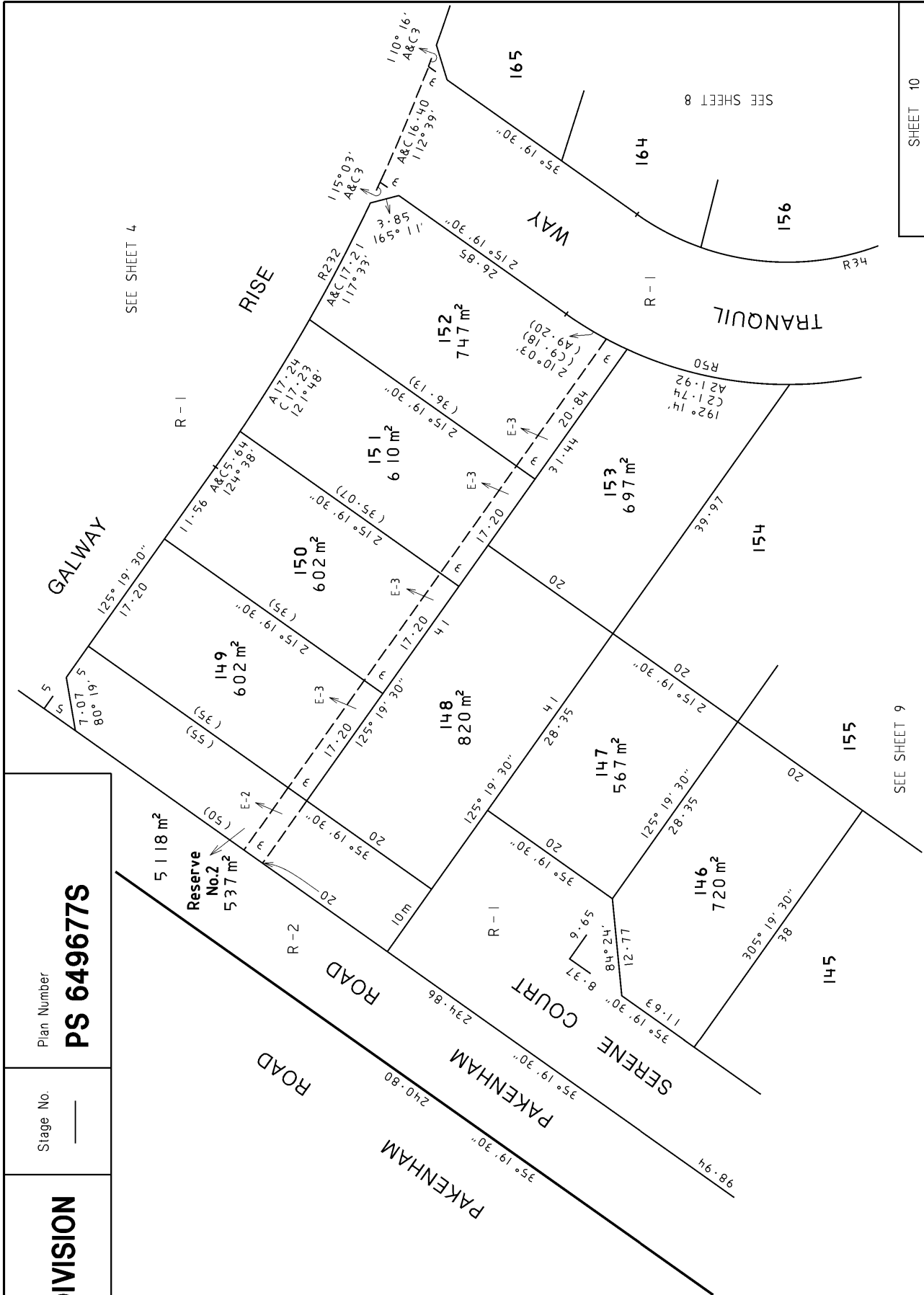
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SIGNATURE **DIGITALLY SIGNED** DATE
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PLAN OF SUBDIVISION

Stage No. _____

Plan Number
PS 649677S



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LENGTHS ARE IN METRES

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SIGNATURE **DIGITALLY SIGNED** DATE
REF 35213/Stg.1 VERSION 7

SHEET 10
DATE / /20
COUNCIL DELEGATE SIGNATURE
ORIGINAL SHEET SIZE A3

PLAN OF SUBDIVISION	Stage No. —	Plan Number PS 649677S
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SUBDIVISION ACT 1988

CREATION OF RESTRICTION A

Upon registration of this plan the following restriction is to be created.

Land to benefit: Land in this plan.

Land to be burdened: Lots 120 to 126 (Both Inclusive).

Description of Restriction:

The registered proprietor or proprietors for the time being a burdened lot to which this restriction applies shall not allow dwellings and garages to be located outside the building envelope (hatched area) shown in the Building Envelope Schedule within the Instrument for PS 649677S, unless with the written consent of the Responsible Authority.

SUBDIVISION ACT 1988

CREATION OF RESTRICTION B

Upon registration of this plan the following restriction is to be created.


Land to benefit: Land in this plan.

Land to be burdened: Lots 106, 114, 115 and 122 to 126 (Both Inclusive).

Description of Restriction:

The registered proprietor or proprietors for the time being a burdened lot to which this restriction applies shall not allow removal of any trees within the Tree Protection Envelopes (cross hatched area) shown in the Tree Protective Envelope Schedule within the instrument for PS 649677S unless with the written consent of the Responsible Authority.

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 <p>WATSONS URBAN DEVELOPMENT CONSULTANTS & MANAGERS</p> <p>5 MAIN ST, MORNINGTON PH.(03) 5975 4644, FAX (03) 5975 3916 THE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTHBANK PH.(03) 9697 8000, FAX (03) 9697 8099</p>	<p>LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE</p> <p>SIGNATURE <u>DIGITALLY SIGNED</u> DATE</p> <p>REF 35213/Stg.1 VERSION 7</p>	<p>SHEET 11</p> <hr style="border: 0; border-top: 1px solid black; height: 1px;"/> <p>DATE / /20</p> <p>COUNCIL DELEGATE SIGNATURE</p> <p>ORIGINAL SHEET SIZE A3</p>
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Plan of Subdivision PS649677S

Certification by Council (Form 5)

SUBDIVISION (PROCEDURES) REGULATIONS 2000

SPEAR Reference Number: S014069H

Plan Number: PS649677S

Responsible Authority Name: Cardinia Shire Council

Responsible Authority Reference Number 1: S11/087

Surveyor's Plan Version: 7

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

Has not been made at Certification

Digitally signed by Council Delegate:



Organisation:

Cardinia Shire Council

Date:

17/04/2012

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FORM 18 Section 181

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE
MAKING OF A RECORDING OF AN AGREEMENT**

Planning and Environment Act 1987

Lodged by:

Name:



SOLICITOR

Phone:

9571.5236

Address:

16 Ash Grove, Malvern East 3145

Ref:

Galway View Pty. Ltd.

Customer Code:

01786Y

The Authority having made an agreement referred to in section 181(1) of the Planning and Environment Act 1987 requires a recording to be made in the Register for the land.

Land: Volume 8810 Folio 340 and Volume 8652 Folio 976

Authority:

Cardinia Shire Council

Henty Way, Pakenham, Victoria, 3810

Section and Act under which agreement made:

S 173 of Planning and Environment Act 1987

A copy of the

Signature for t

Name of Office

Date:

22/8/13

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- 1 DEFINITIONS**
- 2. INTERPRETATION**
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AGREEMENT

THIS AGREEMENT is made the *26th* day of *August* 2013

BETWEEN:

CARDINIA SHIRE COUNCIL
of Henty Way, Pakenham, in the State of Victoria

("the Council")

- and -

Galway View Pty Ltd, 505 St Kilda Road, Melbourne in the State of Victoria

("the Owner")

INTRODUCTION

- A. Council is the Responsible Authority pursuant to the Act for the Planning Scheme.
- B. The Owner is the registered proprietor of the Land.
- C. On 18 September 2007 the Council issued Planning Permit No. T060892 permitting subdivision of the land into 110 lots, the provision of public open space and tree reserves, creation of access to a Road Zone Category 1 and the removal of native vegetation generally in accordance with the endorsed plan. Condition 3 of the Planning Permit requires the Owner to enter into this Agreement to provide for the matters set out in that condition.
- D. A Plan of Subdivision was not certified within two years of the date of the Planning Permit. An extension of time was approved by Council on 16 September 2009 and 10 October 2011. Endorsed Plans were approved on 22 September 2012 and this revised the lot numbers compared to the original permit application plans (Watsons Pty Ltd Revision E). The lots previously numbered 36 to 47 inclusive on Watsons Pty Ltd Revision E and obligated in Condition 3 of the Planning Permit are renumbered lots 120 to 126 inclusive and lots 223 to 227 inclusive on the Endorsed Plan.
- E. The parties enter into this Agreement:-
 - (a) to give effect to the requirements of Condition 3 of the Planning Permit; and
 - (b) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Land.

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IT IS AGREED:

1. DEFINITIONS

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

- 1.1 **"the Act"** means the *Planning and Environment Act 1987*.
- 1.2 **"this Agreement"** means this Agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.
- 1.3 **"Amended Planning Permit Plan"** means the amended plans approved under the Planning Permit as an Endorsed Plan generally in accordance with Watsons Pty Revision E dated 4 September 2007 but modified in accordance with condition 1 of the Planning Permit.
- 1.4 **"Building"** has the same meaning as in the Act.
- 1.5 **"Building Envelope"** means the building envelope shown for a particular lot in the Plan of Subdivision and has the same meaning as in regulation 406 of the Building Regulations.
- 1.6 **"Dwelling"** has the same meaning as in the Cardinia Planning Scheme.
- 1.7 **"Eastern most allotments"** being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.8 **"Endorsed Plan"** means the plans endorsed with the stamp of the Council from time to time known as the Amended Planning Permit Plan and Landscape Masterplan which form part of the Planning Permit.
- 1.9 **"Land"** means the land situated at 120-150 Pakenham Road, Pakenham, being all of the land contained in Certificate of Title Volume Folio 8810 340 and Certificate of Title Volume Folio 8652 976 and any reference to the Land includes any lot created by the subdivision of the Land or any part of it.
- 1.10 **"Landscape Masterplan"** means the plan approved under the Planning Permit as an Endorsed Plan which shall provide for, inter alia, the revegetation of the ridgeline/ rear of lots 120 to 126 inclusive and lots 223 to 227 inclusive and trees to be retained generally in accordance with the Planning Permit.
- 1.11 **"Lot"** means a lot or allotment on the Endorsed Plan.
- 1.12 **"Planning Permit"** means Planning Permit T060892 dated 18 September 2007.

- 1.13 **"Planning Scheme"** means the Cardinia Planning Scheme and any other planning scheme that applies to the Land.
- 1.14 **"Ridgeline"** means the Pakenham North Ridge a natural topographic feature which affects part of the Land being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.15 **"Ridgeline Elevation"** means the changing level or height of the Ridgeline.
- 1.16 **"Statement of Compliance"** means a Statement of Compliance under the Subdivision Act 1988.

2. INTERPRETATION

In this Agreement unless the context admits otherwise:

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- 2.1. the singular includes the plural and vice versa.
- 2.2. a reference to a gender includes a reference to each other gender.
- 2.3. a reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4. if a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5. a word or expression used in this Agreement has its ordinary meaning unless that word or expression is defined in this Agreement. If a word or expression is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6. any reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7. the introductory clauses to this Agreement are and will be deemed to form part of this Agreement.

3. SECTION 173 AGREEMENT

3.1 Purpose

This agreement is made under section 173 of the Act. In entering into it the Parties intend to achieve or advance the objectives of planning in Victoria or the objectives of the Planning Scheme.

3.2 Burden of covenants

The Council and the Owner intend that the burden of the Owner's covenants run with the Land.

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4. SPECIFIC OBLIGATIONS OF THE OWNER

The owner acknowledges and agrees that:

4.1 Building Restrictions

No building shall be constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive outside the building envelopes shown on the Endorsed Plan except with the prior written consent of Council.

4.2 Height Controls

Any dwelling constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive must not be higher than 2.0 metres above the highest point of the ridgeline elevation on that lot.

4.3 Re-vegetation

Re-vegetation and landscaping across the ridgeline (the rear of the Eastern most allotments) must be carried out generally in accordance with the approved Landscape Masterplan prior to the issue of a Statement of Compliance.

5. FURTHER OBLIGATIONS OF THE OWNER

The Owner further agrees that:

5.1 Notice and Registration

- 5.1.1 the Owner will bring this Agreement to the attention of all prospective purchasers, mortgagees, transferees and assigns.

5.2 Further Actions

- 5.2.1 the Owner will do all things necessary to give effect to this Agreement.
- 5.2.2 the Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the register on the Certificate of Title to the Land in accordance with section 181 of the Act and do all things necessary to enable Council to do so, including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable a recording to be made in the register under that section.

5.3 Council's costs to be paid

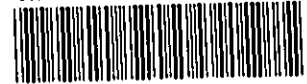
- 5.3.1 the Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.

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6. AGREEMENT UNDER SECTION 173 OF THE ACT

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement, and insofar as they can be so treated, this Agreement is made pursuant to section 173 of the Act.

7. OWNERS WARRANTY

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land which may be affected by this Agreement.

8. SUCCESSORS IN TITLE

8.1 Without limiting the operation or effect which this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Land, successors in title shall be required to:-

- (a) give effect to and do all acts and sign all documents which require those successors to give effect to this Agreement; and
- (b) execute a Deed agreeing to be bound by the terms of this Agreement.

9. GENERAL MATTERS

9.1 Notices

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 9.1.1 by delivering it personally to that party;
- 9.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- 9.1.3 sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

9.2 A notice or other communication is deemed served:

- 9.2.1 if delivered, on the next following business day;
- 9.2.2 if posted, on the expiration of two business days after the date of posting; or

9.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested transmission before the end of that business day.

9.3 No Waiver

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

9.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

9.5 No Fettering of Council's Powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

10. COMMENCEMENT OF AGREEMENT

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

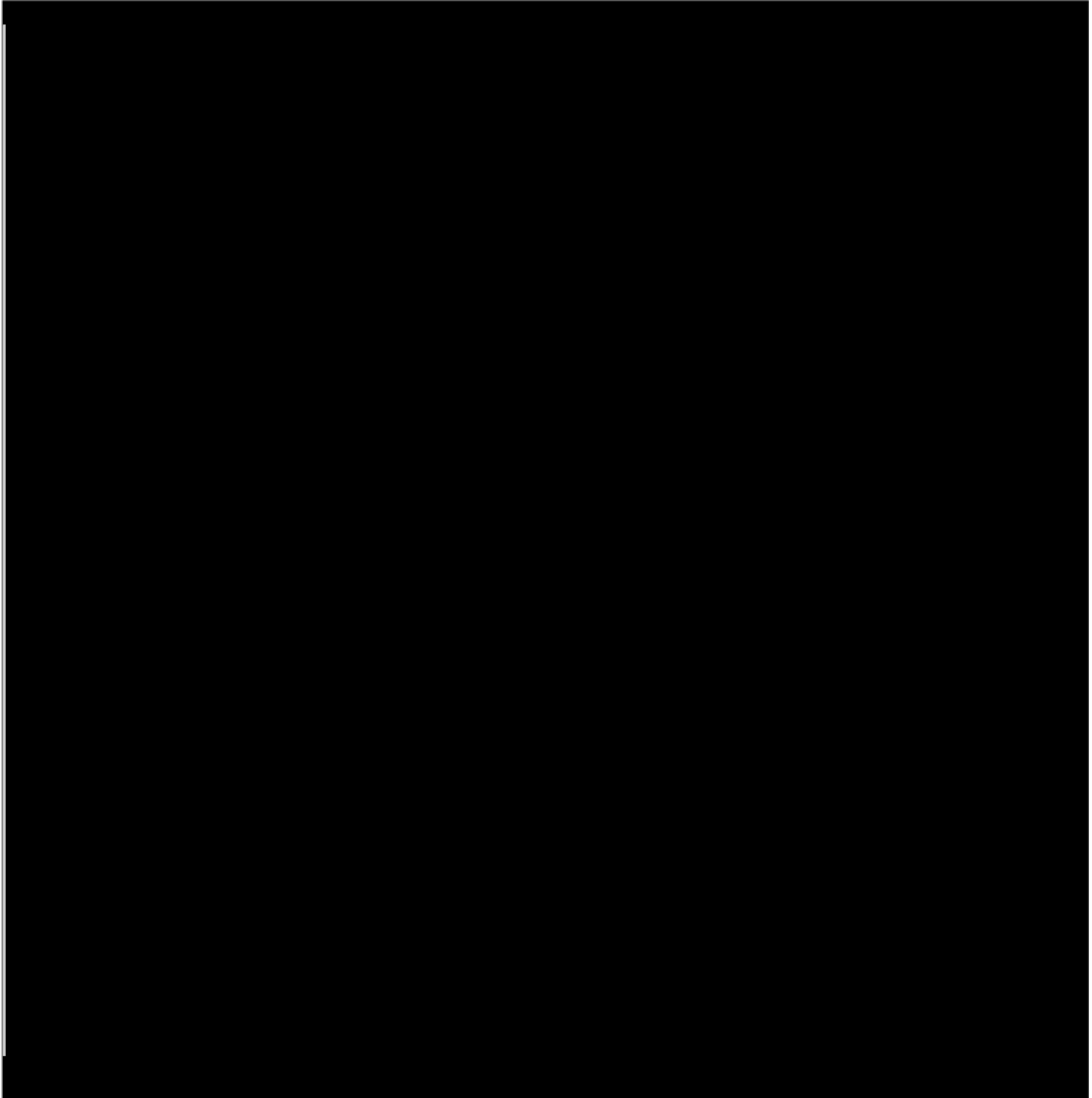
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SIGNING PAGE

EXECUTED by the parties on the date set out at the commencement of this Agreement.



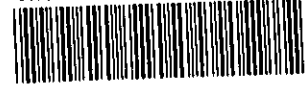
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DATED

CARDINIA SHIRE COUNCIL

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- and -

GALWAY VIEW PTY LTD
ACN 007 183 897

**AGREEMENT
UNDER SECTION 173
OF THE PLANNING
AND ENVIRONMENT
ACT 1987**

Land: Lot 1 & 2 LP8840, 120-150 Pakenham Road, Pakenham 3810



Universal Planning

June 2, 2025

Manager of Planning
Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

Dear Sir/Madam

Planning Permit Application – 9 Tranquil Way, Pakenham VIC 3810

We act for the Registered Proprietor of the above site, formally described as Lot 158 on Plan of Subdivision 649677S and make this application for a planning permit under Section 47 of the *Planning and Environment Act, 1987*.

Accordingly, we enclose for Councils assessment:

- Our application for a Planning Permit.
- Land Title, Plan of Subdivision, and Section 173 Agreement.
- Plans prepared by [REDACTED]
- Landscape Plan prepared by Monarch Garden Design.
- Town Planning Report prepared by Universal Planning.

We trust that Council have all the required information to commence with the assessment of this application. Please contact the undersigned should further or better particulars be required.



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1.0 Introduction and Overview

Universal Planning has been engaged to prepare a Planning Assessment Report for the development of a single storey dwelling at 9 Tranquil Way, Pakenham, VIC 3810. The subject site is formally described as Lot 158 on Plan of Subdivision 649677S.

The application for this Planning Permit is made under the provisions of Section 47 of the *Planning & Environment Act (1987)*.

The applied permit 'triggers' are:

Clause 42.01-2	A permit is required to construct a building or carry out works.
----------------	--

Table 1: Permit Triggers (Source: Shire of Cardinia Planning Scheme)

This report addresses the matters set out in the planning scheme and demonstrates why the proposal should receive Council's approval.

2.0 Location and Surrounds

The 795 sqm (vacant) subject site is located on the northern side of Tranquil Way between and has the following lot interfaces:

North	to #12 and #14 Galway Rise	16.64 metres
South	to Tranquil Way	23.90 metres
East	to #11 Tranquil Way*	39.79 metres
West	to #7 Tranquil Way	38.29 metres

Table 2: Lot interfaces (source: PS649677S)

The subject site is vacant of any buildings and is clear of any shrubs or vegetation. The property has a slop of approximately 7 metres from the southern eastern corner of the site to the north western corner. Surrounding properties to the south comprise of single and double storey dwellings. On each of these properties, there is limited landscaping of the front setbacks.

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Photo 1: Tranquil Way, view west, from the subject site (photo: 10/05/2025)



Photo 2: Tranquil Way, view east, from the subject site (photo: 10/05/2025)

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Photo 3: View west from the subject site (photo: 10/05/2025)



Photo 4: As above (photo: 10/05/2025)

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Photo 5: Notice to adjoining property #11 (photo: 10/05/2025)

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Photo 6: To the north of the subject site (photo: 10/05/2025)



Photo 7: As above (photo: 10/05/2025)

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Photo 8: Existing Crossover to #9 (photo: 10/05/2025)



Photo 9: Properties to the south of the subject site (photo: 10/05/2025)

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Photo 10: As above (photo: 10/05/2025)



Photo 11: As above (photo: 10/05/2025)

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Photo 12: As above (photo: 10/05/2025)



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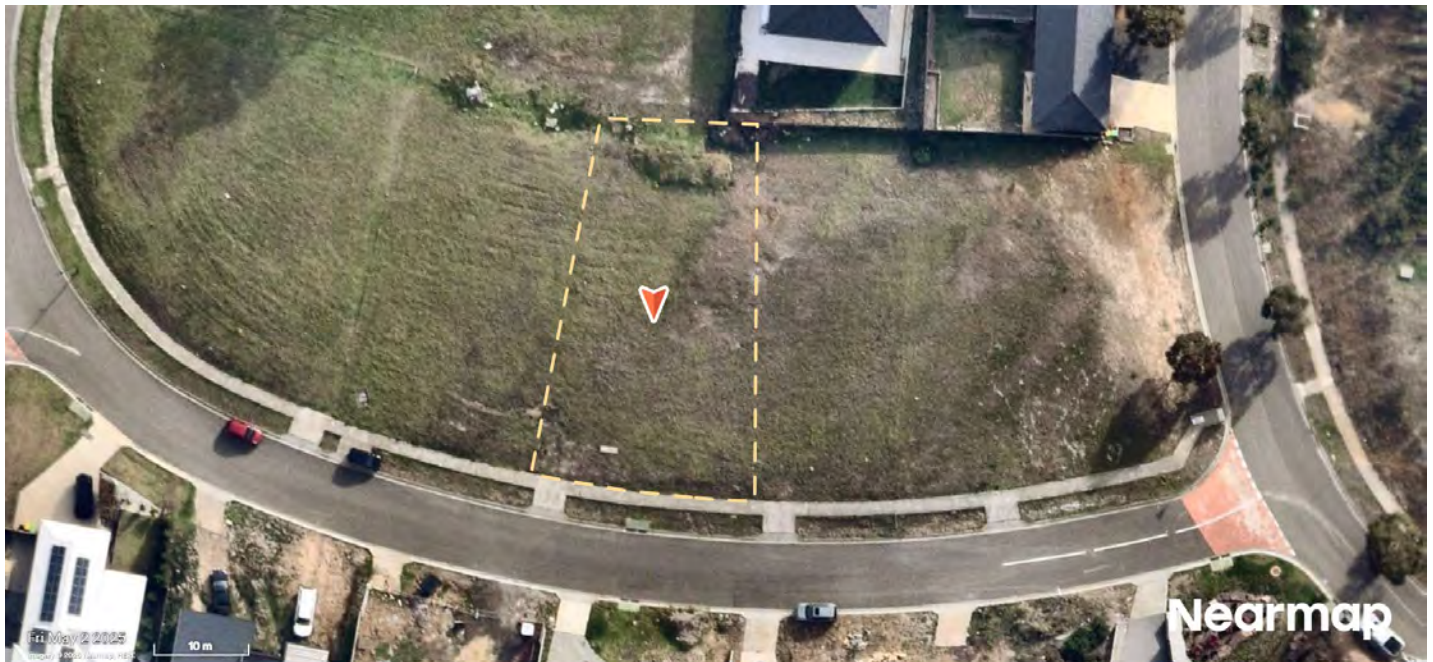


Figure 2: Aerial view of the subject site (Source: Nearmaps May 2, 2025)

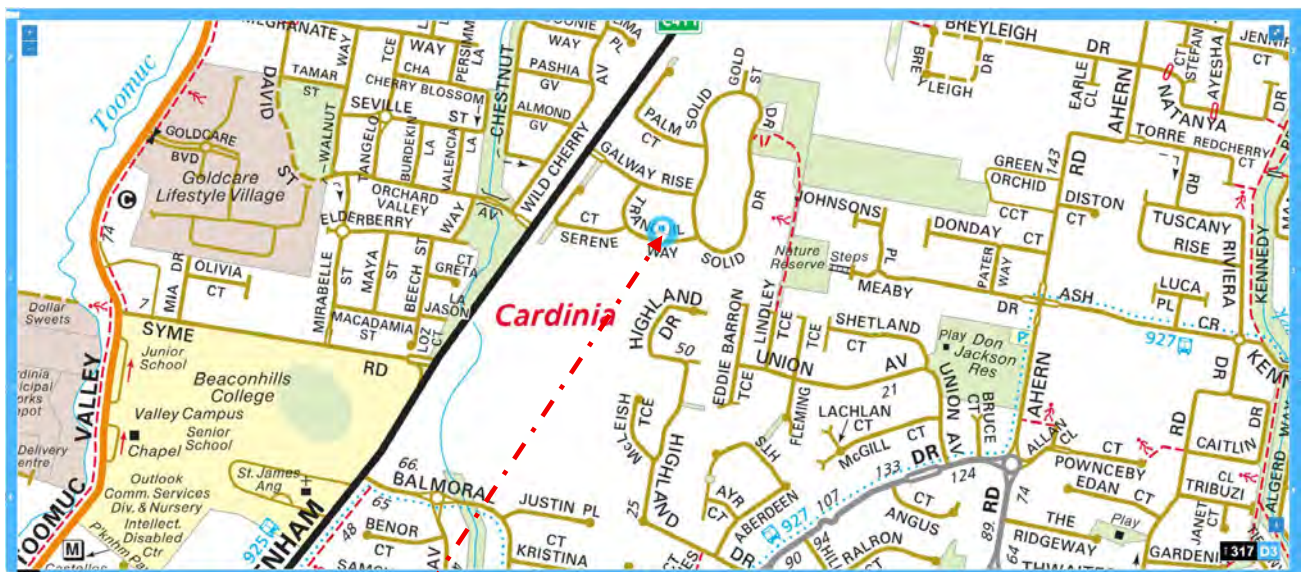


Figure 3: Locational view of the subject site (Source: Melways Online)

3.0 Zoning, Overlays & Permit Triggers

The subject property is zoned General Residential - Schedule under the Shire of Cardinia Planning Scheme.

2 Overlays apply:

- A Development Contributions Overlay, and;
- A Environmental Significant Overlay (Schedule 4).

The purpose of the General Residential Zone is to (our emphasis added):

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Planning Zones

GENERAL RESIDENTIAL ZONE (GRZ)

GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)

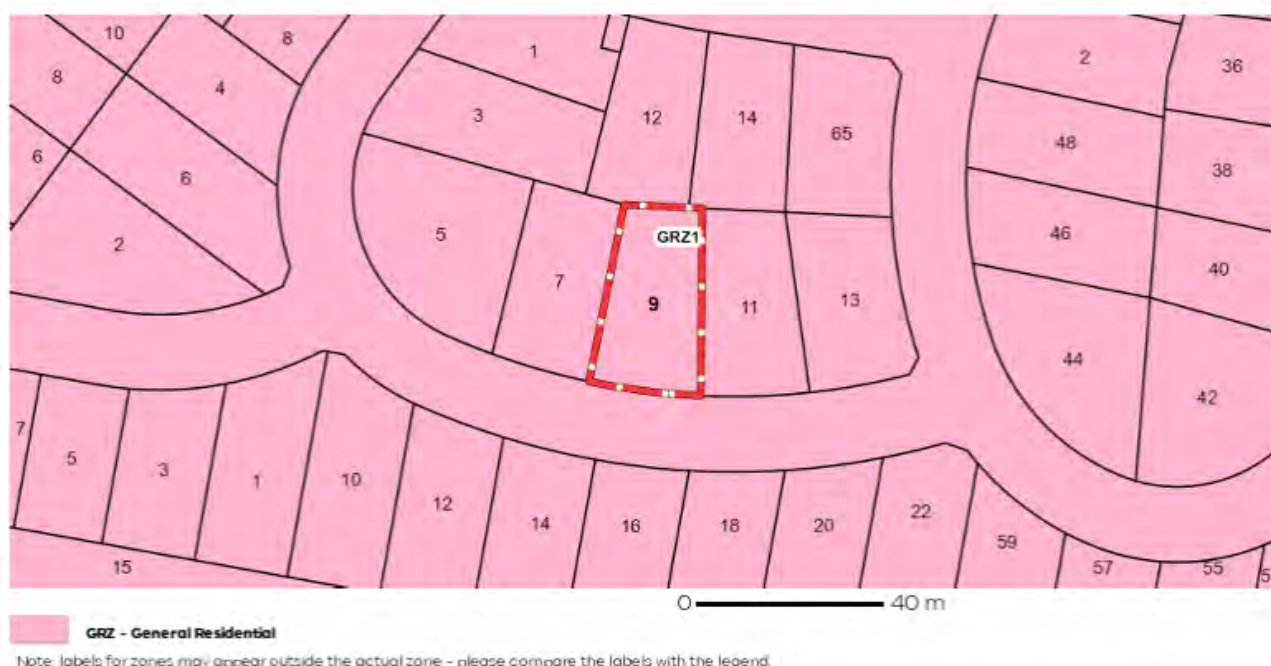


Figure 4: Subject Site zoned General Residential Zone (Source: VicPlan, DTP)

The zoning does not trigger the need for a planning permit.

The purpose of the ESO is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To identify areas where the development of land may be affected by environmental constraints.*
- *To ensure that development is compatible with identified environmental values.*

Schedule 4 (Pakenham North Ridge) contains the following Statement of Significance:

The Pakenham ridge has regional significance for biodiversity. It makes a substantial contribution to biodiversity in the Gippsland Plain Bioregion as well as the Pakenham area. The area has remnants of Grassy Forest, an ecosystem that is vulnerable in the area. The Cobra Greenhood Orchid (Pterostylis grandiflora) which is of state

significance, and the Green Scentbark (Eucalyptus fulgens) which is of state/national significance, are found in the area. The area is characterised by a geology of Devonian Granitic and Silurian Sediment origin, moderate to steep slopes, and areas of remnant vegetation. These characteristics contribute to environmental values including landscape quality, water quality, and habitat of botanical and zoological significance. These characteristics are also a significant factor contributing to environmental hazards such as erosion, salinity and fire risk, and susceptibility to visual intrusion from buildings and works.

ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 4 (ESO4)

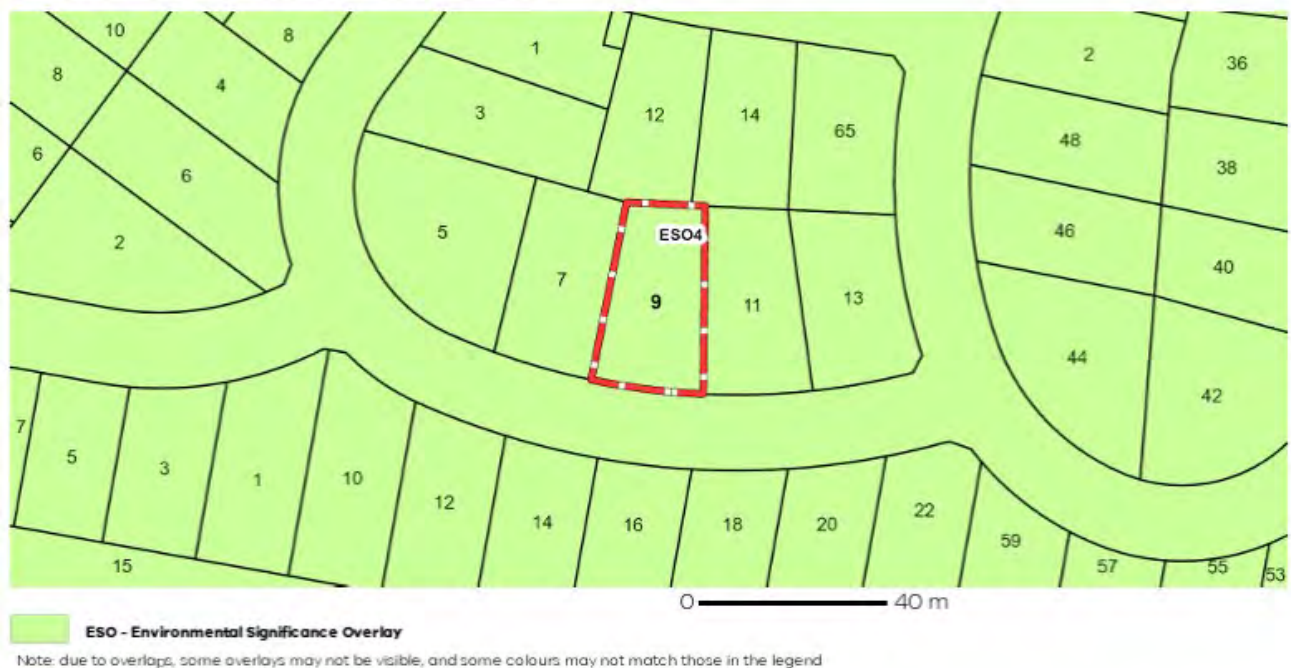


Figure 4: Subject Site zoned General Residential Zone (Source: VicPlan, DTP)

The relevant permit trigger is Clause 42.01-2 wherein a Planning Permit is required to construct a dwelling or construct or to carry out works.

4.0 Overview of Proposed Development

The proposal is for the construction of four-bedroom, single storey dwelling that comprises of the following:

- Double garage
- Entry porch.
- Entry hall.
- Master bedroom with WIB and ensuite.
- Study.
- Kitchen, with walk in pantry.
- Living room.
- Dining room.
- Theatre room.

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- Bedroom 1.
- Bedroom 2.
- Bedroom 3 (with ensuite).
- Laundry room.
- Bathroom.
- Powder room.
- Outdoor alfresco (which leads off the living room).



Figure 5: Ground Floor of proposed dwelling (Source: Aliya Homes TP100)

The area analysis of the proposed dwelling is:

DWELLING AREA SCHEDULE		
ZONE	AREA	SQUARES
GROUND FL:	246.81m ²	26.57sq
GARAGE:	35.76	3.85sq
PORCH:	5.24m ²	0.56sq
ALFRESCO:	15.13m ²	1.63sq
TOTAL:	302.94m ²	32.61sq

Figure 6: Dwelling Schedule (Source: Aliya Homes TP100)

AREA SCHEDULE	
GROUND FLOOR BUILDING AREA:	302.94m ²
TOTAL PERMEABILITY AREA	36.20m ²
LOT AREA:	795.00m ²
PERMEABILITY	57.34%
SITE COVERAGE	38.11%
TOTAL GARDEN AREA PROVIDED :	457.40
PERCENTAGE OF PROVIDED GARDEN AREA :	57.53%

Figure 6: Area Analysis (Source: Aliya Homes TP100)

As per above, as the Lot size is 795 sqm, the garden area requirement must meet 35% or 278.25 sqm, which this proposal comfortably meets:

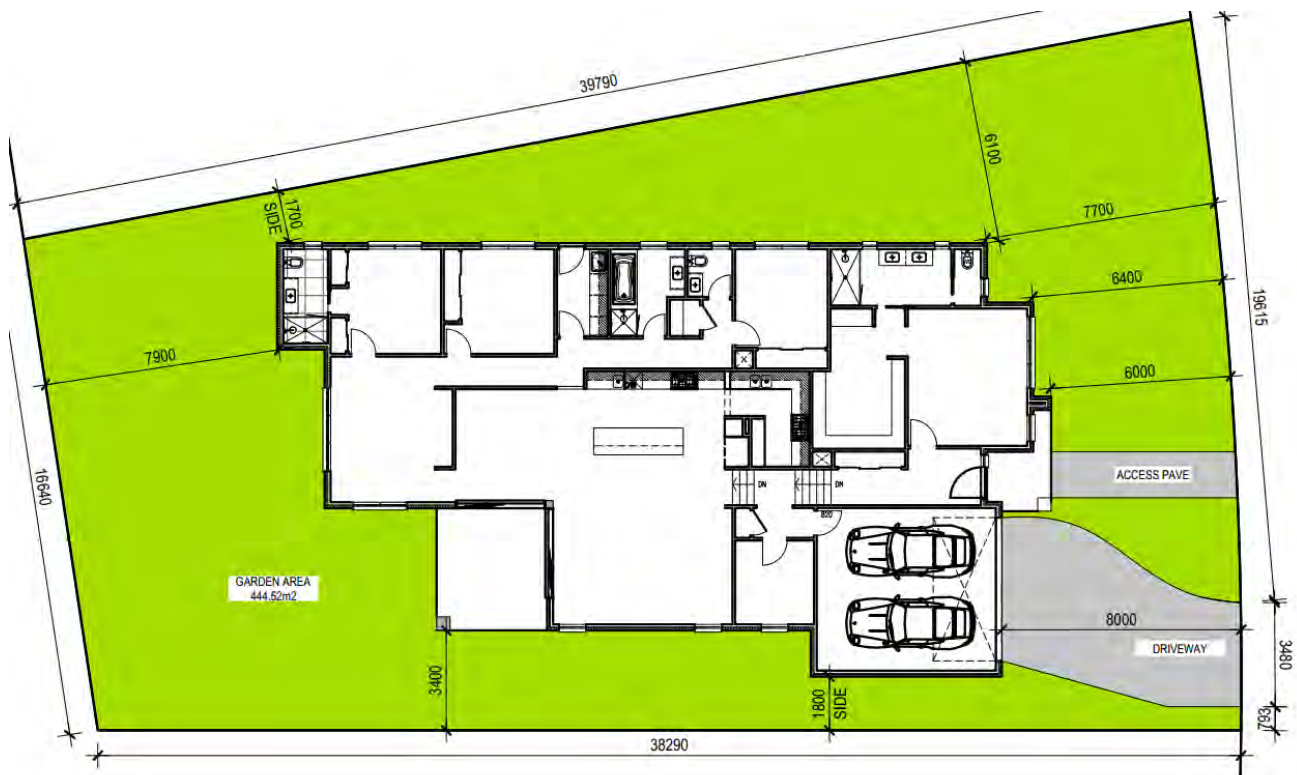


Figure 7: Garden Area Analysis (Source: Aliya Homes TP100)

The proposed setbacks are to be:

North	7.8 metres (min)	8.6 metres (max)
East	1.7 metres (min)	6.7 metres (max)
West	1.8 metres (min)	3.4 metres (max)
South (street facing)	6 metres (min)	8 metres (max)

Table 3: Proposed Setbacks (source: Aliya Homes TP100)

No front fencing is proposed.

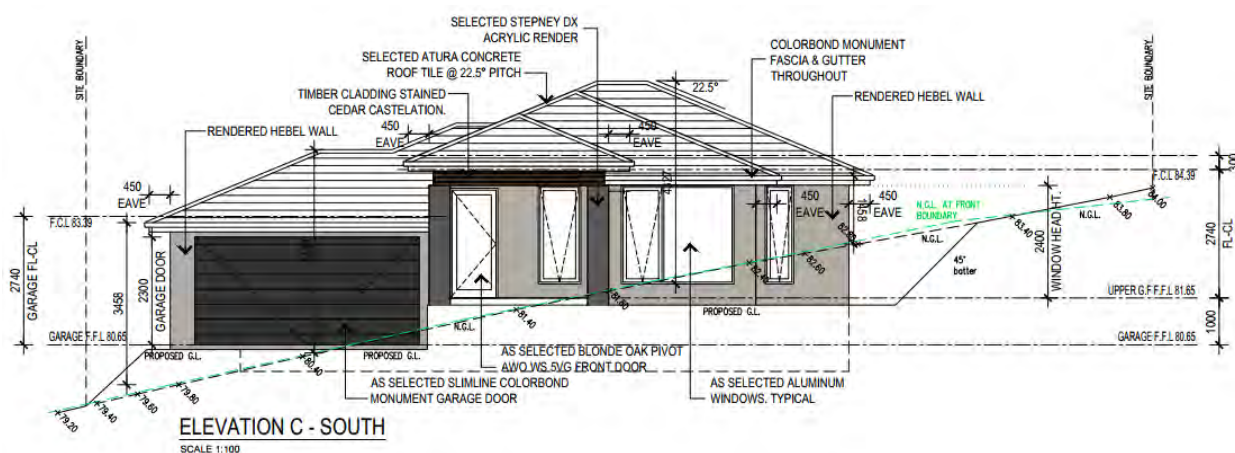


Figure 8: South elevation, how the dwelling will present to the street (Source: Aliya Homes TP200)

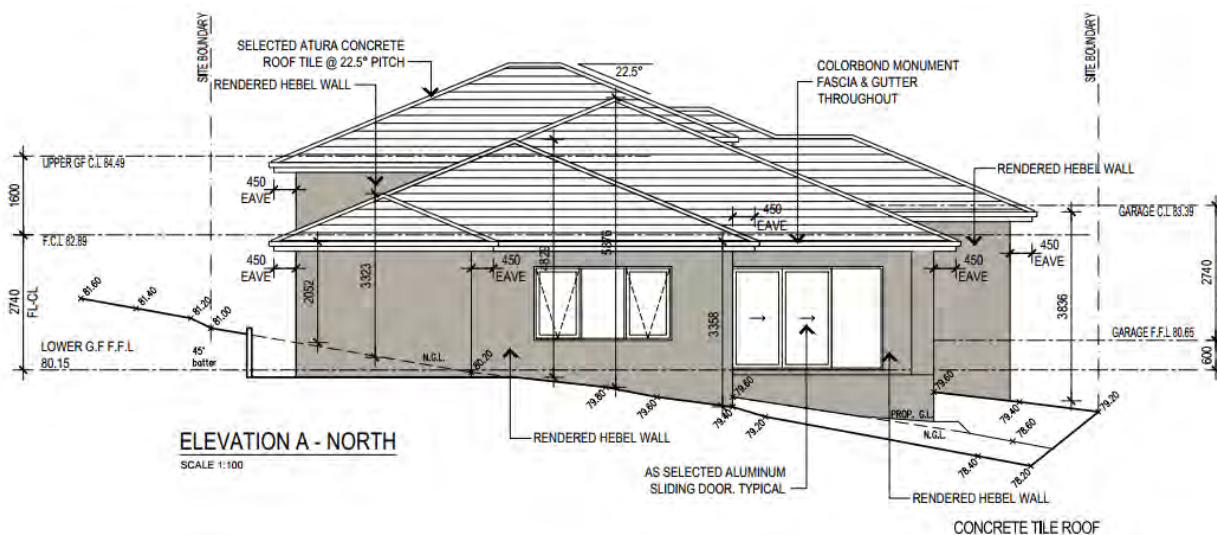


Figure 9: North elevation (Source: Aliya Homes TP200)

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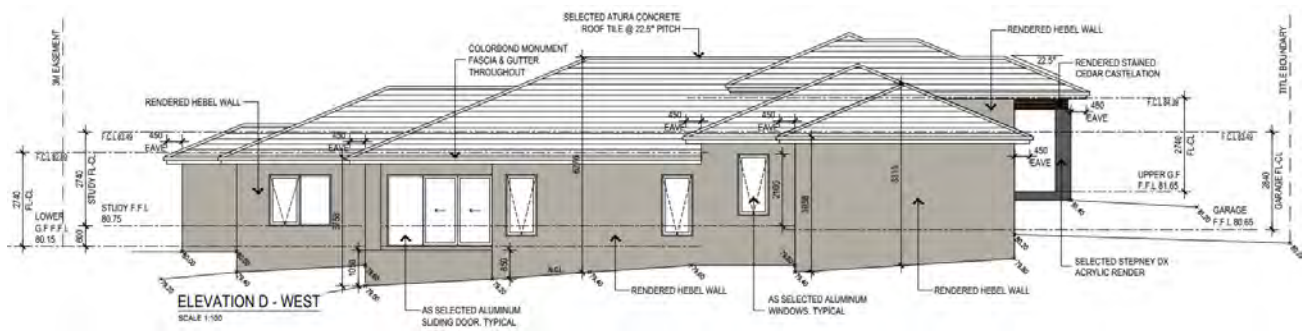


Figure 10: West elevation as it appears towards #7 Tranquil Way (Source: Aliya Homes TP200).

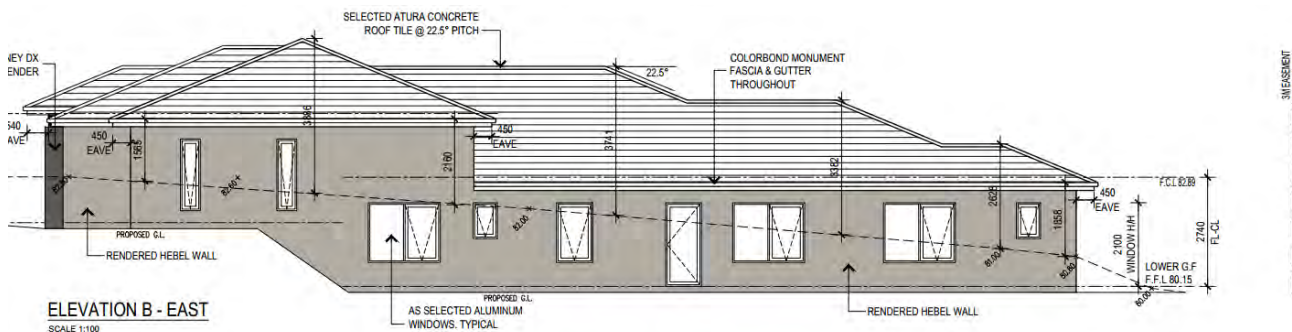


Figure 11: West elevation as it appears towards #7 Tranquil Way (Source: Aliya Homes TP200).

Colour and materials consist of mix of non-reflective materials that are respectful to the area and complement the street.


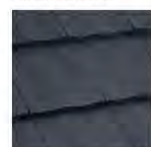






<p>FINISHES SCHEDULE:</p> <p>ROOF: SELECTED ATURA BARAMUNDI CONCRETE TILE ROOFING, WITH SELECTED COLORBOND FASCIA & GUTTER TO BE FINISHED IN COLORBOND MONUMENT.</p> <p>FRONT DOOR: SELECTED AWO 5VG IN BLACK TINT STAIN WITH GLASS TRANSLUCENT.</p> <p>FRAMING: SELECTED ALUMINIUM FRAMING TO BE FINISHED IN BLACK .</p> <p>FASCIA: SELECTED FASCIA TO BE FINISHED IN COLORBOND MONUMENT.</p> <p>GARAGE DOOR: SELECTED SLIMLINE COLORBOND MONUMENT.</p> <p>RENDERED: SELECTED DULUX WINTER TERRACE ACRYLIC RENDER.</p> <p>PORCH PIERS: SELECTED ACRYLIC RENDER STEPNEY DX.</p> <p>PORCH FEATURE CLADDING: SELECTED TIMBER CLADDING STAINED CEDAR CASTELATION.</p>	 <p>PORCH FEATURE</p>  <p>CONCRETE TILE ROOF</p>  <p>DWELLING</p>  <p>PORCH PIERS</p>  <p>FRONT DOOR</p>  <p>WINDOW / DOOR ALUMINIUM FRAMING</p>  <p>MONUMENT Colorbond GUTTER & FASCIA</p>  <p>GARAGE DOOR</p>
---	---

Figure 12: Materials Schedule (Source: Aliya Homes TP200).

5.0 Landscape Plan

Forming part of this application is a professionally prepared Landscape Plan prepared by Monarch Garden Design. It is proposed that 5 new canopy trees that can grow to 7 metres are planted across the site (with canopy spreads of between 5-6 metres) and a further 6 trees with a mature height of 6 metres is proposed across the site. In all there will be over 232 types of ground cover, small shrubs, trees and canopies dispersed across the site which will not only add visual interest but will be a haven for wildlife.

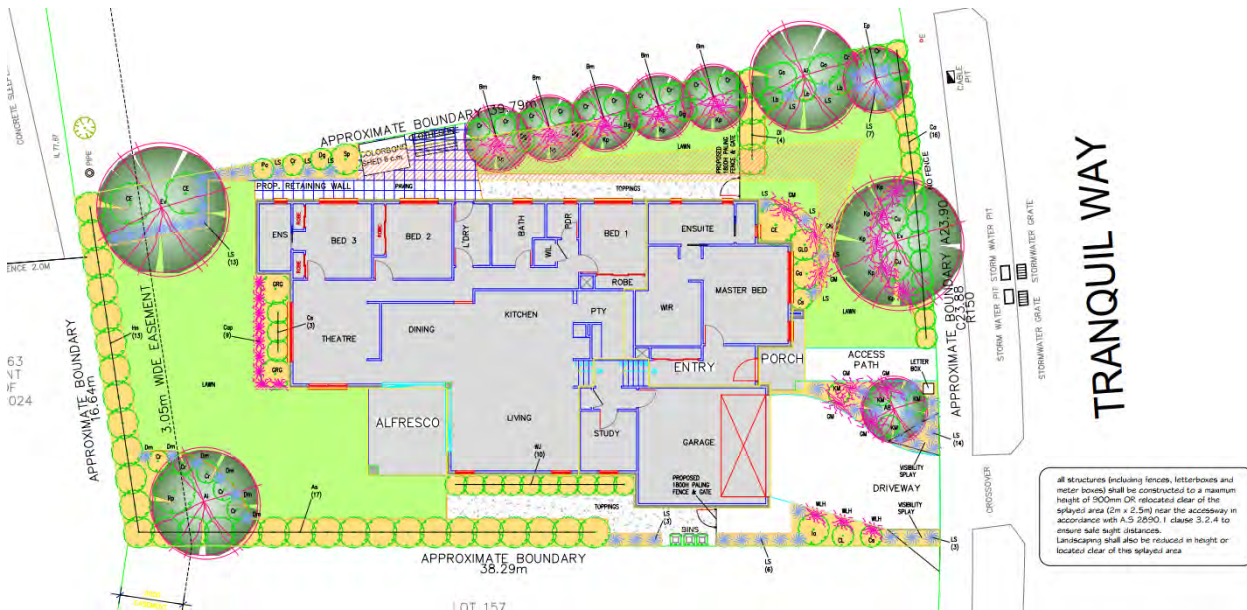


Figure 13: Proposed Landscape Plan (Source: Monarch Garden Design, revision A).

6.0 Response to the ESO-4

We have provided a written statement outlining how the proposal responds to the environmental objectives and decision guidelines within Schedule 4 to the Environmental Significance Overlay particularly:

- Locating buildings and works in low-lying positions on a site.
- Response to the slope as per clause 44

The subject site is affected by the Environmental Significant Overlay (**ESO**) – Schedule 4 “Pakenham North Ridge” under Clause 42.01 of the Cardinia Planning Scheme.

Schedule 4 “Pakenham North Ridge” has the following Environmental objectives:

- To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.
- To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.

- *To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.*
- *To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.*
- *To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors.*

The proposal aligns with the Environmental objectives of Schedule 4:

- The siting of the dwelling is appropriate relative to the lack of direct environmental impacts to the subject site and the landscape design incorporation of native ground covers, shrubs and trees.
- The single storey form, built site coverage and extensive landscaping design aligns with the natural environs of the broader ridge and views across the residential estate area.
- Whilst not sited on the specific lowest point of the site, the dwelling design is sympathetic to the overall pattern of dwellings and the downward slope of the estate with the dwelling addressing the street frontage, minimising built form dispersion across the site and incorporating a balanced level of cut and fill.

The following offers an assessment of the proposal against the Decision Guidelines of Schedule 4:

General

- The proposal is considerate to the environmental objectives of Schedule 4 with the building designed to respond to the natural typography of the site as well as minimising any environmental impacts.
- The building height (being single storey) and building footprint balance the level of cut and fill within the slope of the site whilst maintaining the prevalence of the ridgeline to the east.
- The development is consistent with the intent of the initial residential subdivision and maintains the integrity of the natural ridgelines and views from the site and broader area via it's proximity to street frontage and street and side building setbacks that allow spacing that is reflective of the natural environs.
- The siting of the dwelling toward the street frontage in addition to the extent of cut and fill and sloping narrowing driveway contributes to directing drainage and flow to the street frontage rather than the built form being located further to the rear of the property with an extensive lengthy driveway.

Buildings and works

- The subject site is clear of any vegetation with no disturbance proposed by any hardscaping features reflective of the development.
- The single storey form of the dwelling is consistent with the prevailing residential height of the area (#2 Galway Rise, #10 Tranquil Way, Lot 237 Palm Court, #14 Galway Rise and #9 Galway Rise), as well as located toward the street frontage to

the south. This contributes to protecting the broader ridgeline views further north as well as the overall views from the north down to the southern aspect of the estate area.

- The location of the dwelling and accompanying building height and scale ensures views within the area are not significantly disturbed by the proposal. The building has a site coverage of 38.11% with a resulting extensive permeable site area.
- All materials are of a non-reflective nature with muted earthen type tones employed across the site.

Vegetation and habitat

- The proposal generates limited scope for impacts upon habitat values and protected species of the area.
- The proposed landscaping provides for open lawn areas reflective of the ridgeline with the property boundary landscaping comprising of levels of garden beds with shrubs (16 x *White Correa* with a mature height of 1.5 metres along the street frontage, 13 x *Yello Hakea* along the northern boundary (mature height of 2.5 metres) 8 trees of between 6 metres – 13 metres along the easter fence line and 17 Hop Wattle bushes along the western boundary that have a mature height of 4 metres. This partnered with the larger trees allows for a dispersing of plant and tree densities and types of native species that is conducive of enhancing the vegetation of the residential area.

Response to slope

- The design of the dwelling provides for a minimal building footprint in addition to being responsive to the location of dwellings to address the street frontage within the residential estate.
- The design accommodates parking spaces within the front form of the dwelling, minimising the need for extensive driveways across the site and into the slope of the site.
- The proposal aims to balance the desire of a built form accommodating the residents needs whilst providing a sympathetic approach to the slope of the site. This is evident via the minimal extent of site coverage, front address dwelling design and minimal outdoor hardscaping areas.

Waterways

- The overall site achieves a high level of permeable area via its landscaping design and limited built form footprint.
- Drainage design will be undertaken as per the relevant authority requirements.

Salinity

- The proposal provides for vegetation of the land sympathetic to indigenous species with consideration provided for species in relation to soil types and the environmental features of the area, as per the proposed landscape plan.

We see no town planning reason as to why this application should not be approved and would welcome a discussion with Council on any issues of concern.



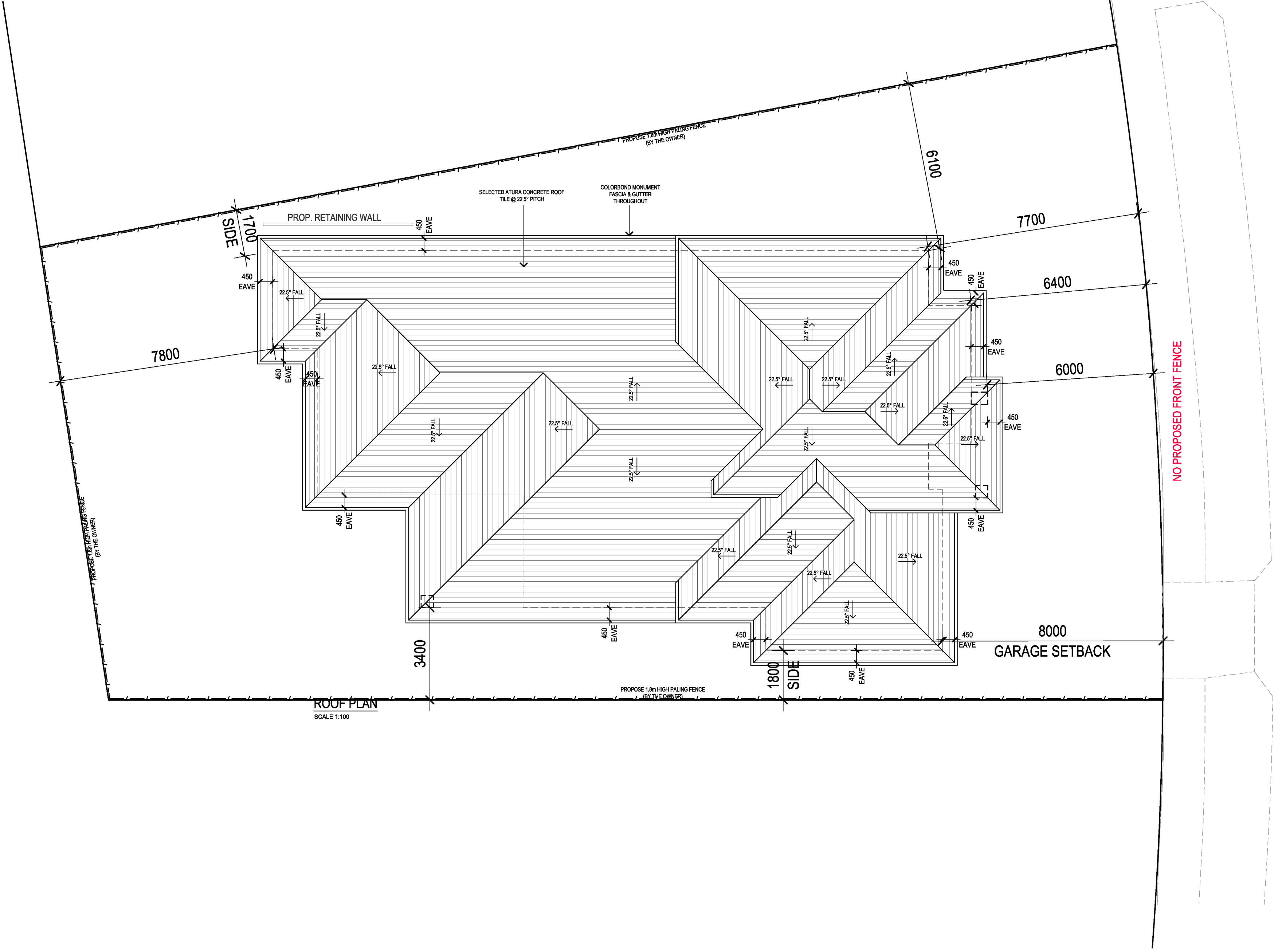
BRTTP (1986) MPIA (#83700)


Universal Planning
PO Box 234, Doncaster Heights, VIC 3109
www.universalplanning.info

June 2, 2025

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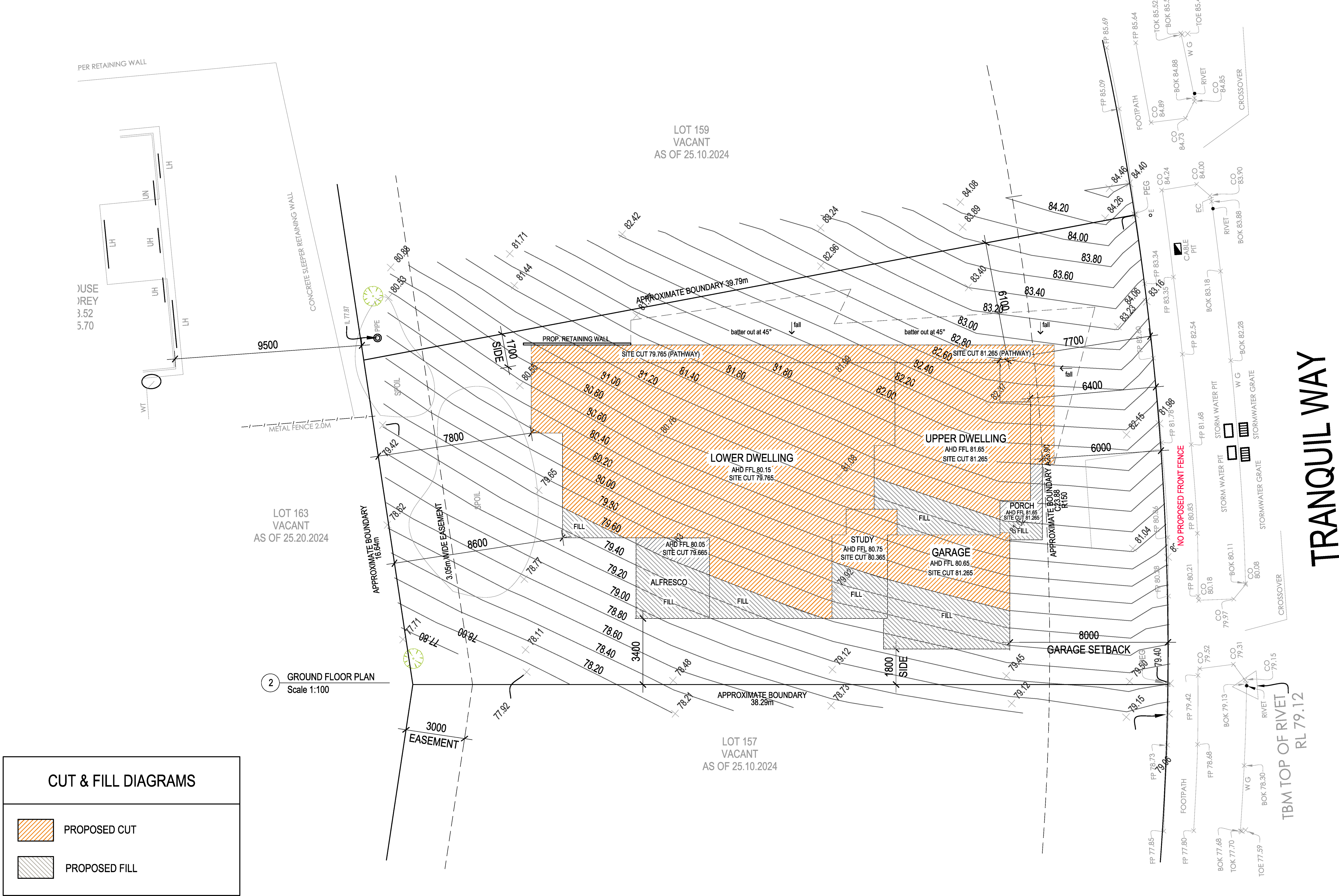
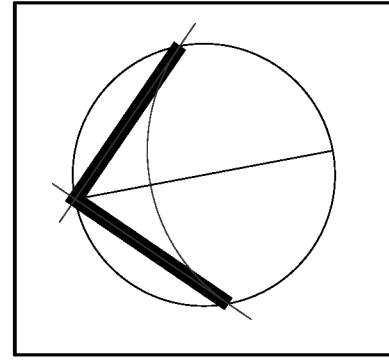
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NOTES	
	<p>300mm DEEP BULKHEAD UNLESS NOTED OTHERWISE</p> <ul style="list-style-type: none"> • 2340mm HIGH INTERNAL DOOR HEIGHTS. • 2340mm HIGH ENTRY DOOR HEIGHT. • REFER COLOR DOC FOR CORNICE THROUGHOUT UNLESS NOTED OTHERWISE. • REFER TO COLORDOC FOR ARCHITRAVES & SKIRTING SIZES THROUGHOUT

A diagram showing a circular opening, likely a door or window, with a hatched area representing the bulkhead above it. The hatching is diagonal, matching the symbol used in the notes.

<div>ALIYA HOMES</div>	Telephone: 03 7068 2828 Address: 1/19 Enterprise Drive, Bundoora, VIC 3083 Website: Aliyahomes.com.au	<div>Job Address:</div> <div>No.9 TANQUIL WAY, PAKENHAM</div>	House Name: CUSTOM Facade: CUSTOM Options: N/A	Signatures Client:	<table><tr><th>Rev.</th><th>Date</th><th>Description</th><th>Drawn By</th></tr><tr><td>A</td><td>02/06/25</td><td>TOWN PLANNING DRAWINGS</td><td>AR</td></tr><tr><td>B</td><td>07/07/25</td><td>TP DRAWINGS RFI - 30.06.25</td><td>AR</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	Rev.	Date	Description	Drawn By	A	02/06/25	TOWN PLANNING DRAWINGS	AR	B	07/07/25	TP DRAWINGS RFI - 30.06.25	AR																					Drawing Title: SITE / ROOF PLAN Scale: 1/100 AS INDICATED @A3 Checked By: XX Melways Ref: TBC	Job No: 300205 Revision No: R2	Sheet No: TP103
	Rev.		Date	Description	Drawn By																																			
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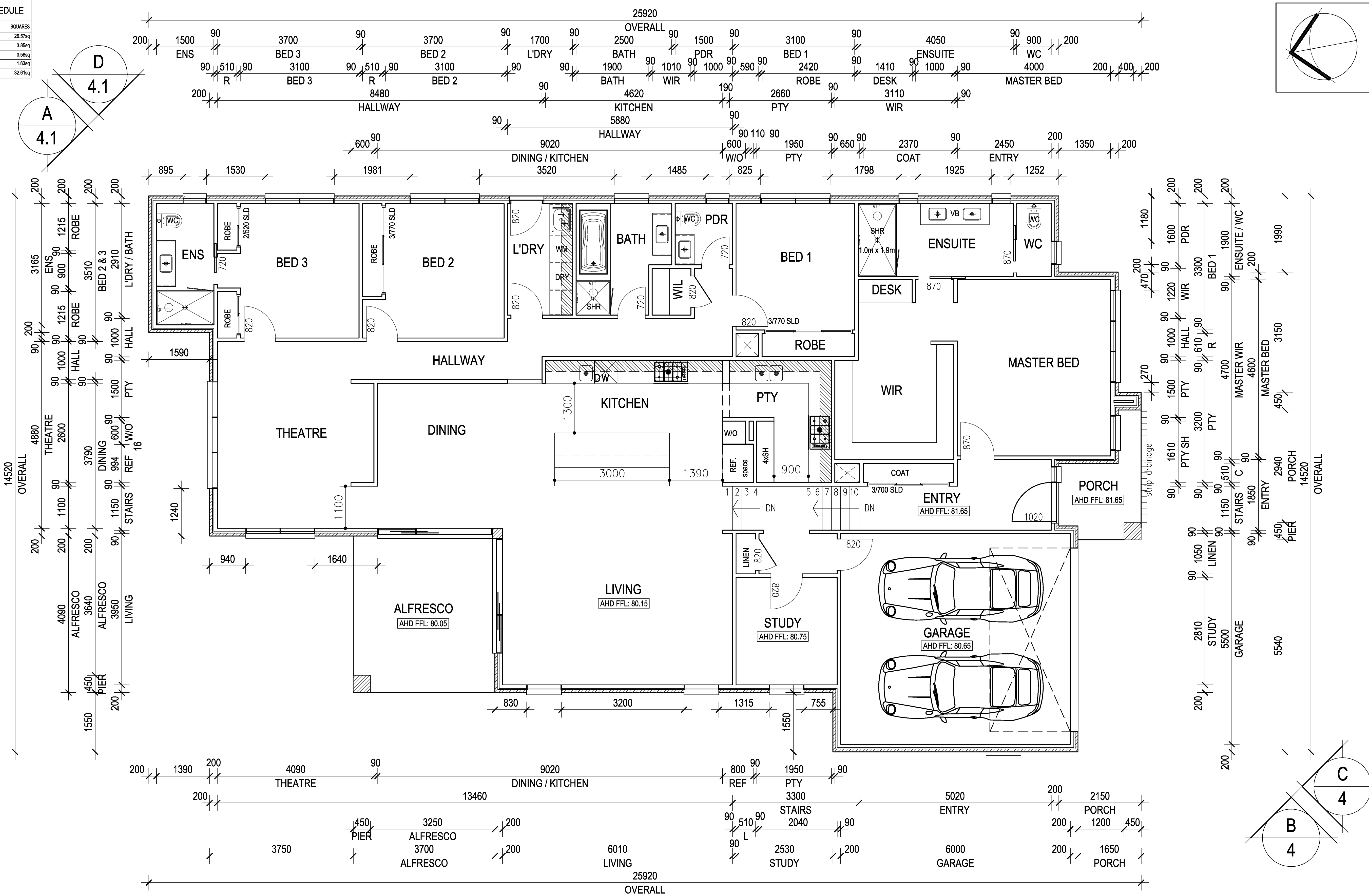
CUT & FILL DIAGRAMS

PROPOSED CUT

PROPOSED FILL

DWELLING AREA SCHEDULE		
ZONE	AREA	SQUARES
GROUND FL:	246.81m²	26.57sq
GARAGE:	35.7sq	3.85sq
PORCH:	5.24m²	0.56sq
ALFRESCO:	15.13m²	1.63sq
TOTAL:	302.94m²	32.61sq

AREA SCHEDULE	
GROUND FLOOR BUILDING AREA:	302.94m²
TOTAL PERMEABILITY AREA:	36.20m²
LOT AREA:	795.00m²
PERMEABILITY:	57.34%
SITE COVERAGE:	38.11%
TOTAL GARDEN AREA PROVIDED:	457.40
PERCENTAGE OF PROVIDED GARDEN AREA:	57.53%



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ACN: 168 181 100

Client Name:



Job Address:

No.9 TANQUIL WAY, PAKENHAM

House Name:
CUSTOM
Facade:
CUSTOM
Options:
N/A

Signatures
Client:

Rev.	Date	Description	Drawn By
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B	07/07/25	TP DRAWINGS RFI - 30.06.25	AR

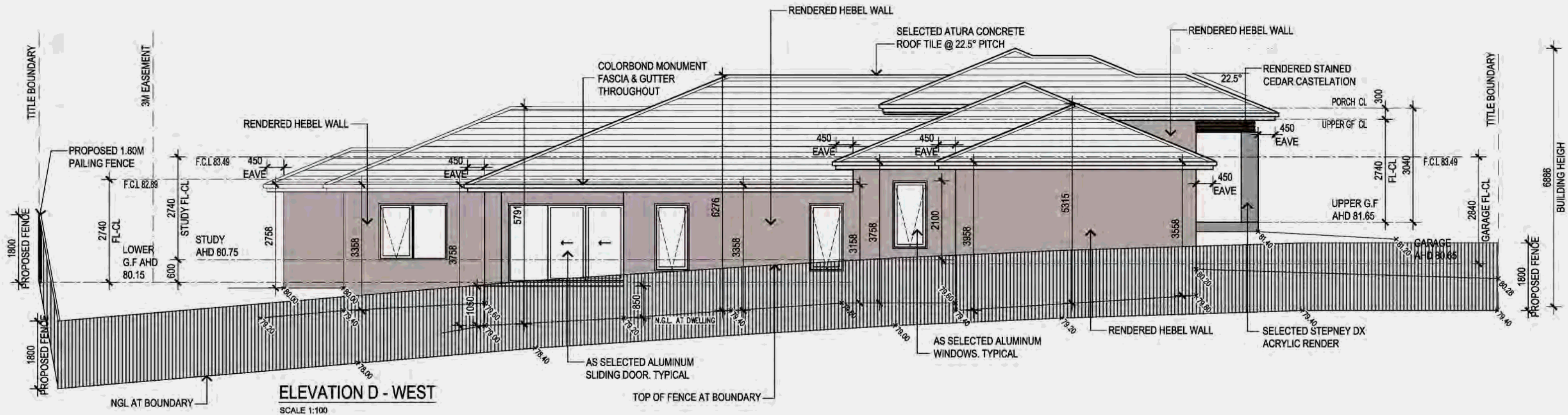
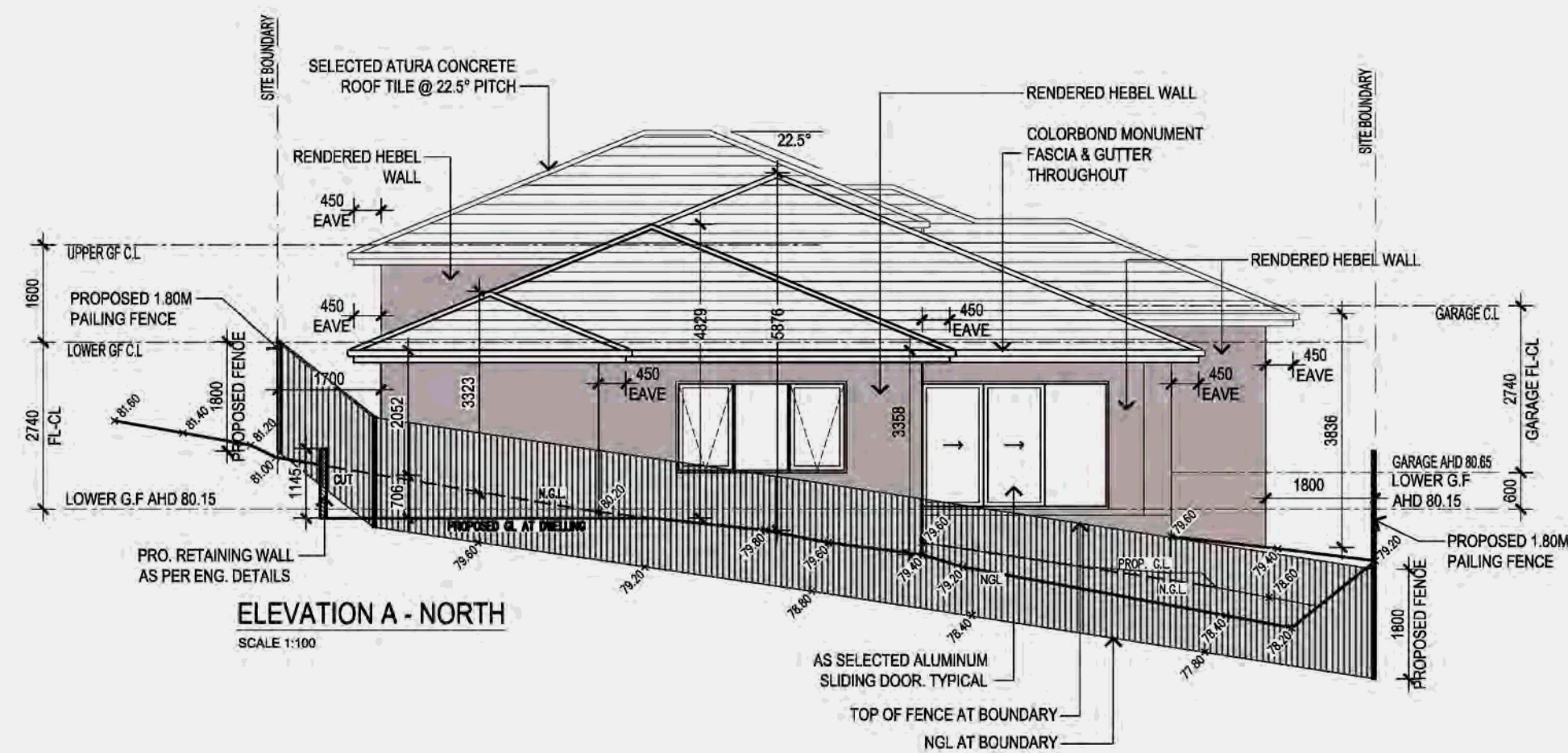
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GROUND FLOOR PLAN

Scale: 1/50 @A3
Checked By: XX
Melways Ref: TBC

Job No: 300205
Revision No: R2

Sheet No: TP102

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FINISHES SCHEDULE:

ROOF: SELECTED ATURA BARAMUNDI CONCRETE TILE ROOFING, WITH SELECTED COLORBOND FASCIA & GUTTER TO BE FINISHED IN COLORBOND MONUMENT.

FRONT DOOR: SELECTED AWO 5VG IN BLACK TINT STAIN WITH GLASS TRANSLUCENT.

FRAMING: SELECTED ALUMINIUM FRAMING TO BE FINISHED IN BLACK .

FASCIA: SELECTED FASCIA TO BE FINISHED IN COLORBOND MONUMENT.

GARAGE DOOR: SELECTED SLIMLINE COLORBOND MONUMENT.

RENDERED: SELECTED DULUX WINTER TERRACE ACRYLIC RENDER.

PORCH PIERS: SELECTED ACRYLIC RENDER STEPNEY DX.

PORCH FEATURE CLADDING: SELECTED TIMBER CLADDING STAINED CEDAR CASTELATION.

PORCH FEATURE

CONCRETE TILE ROOF

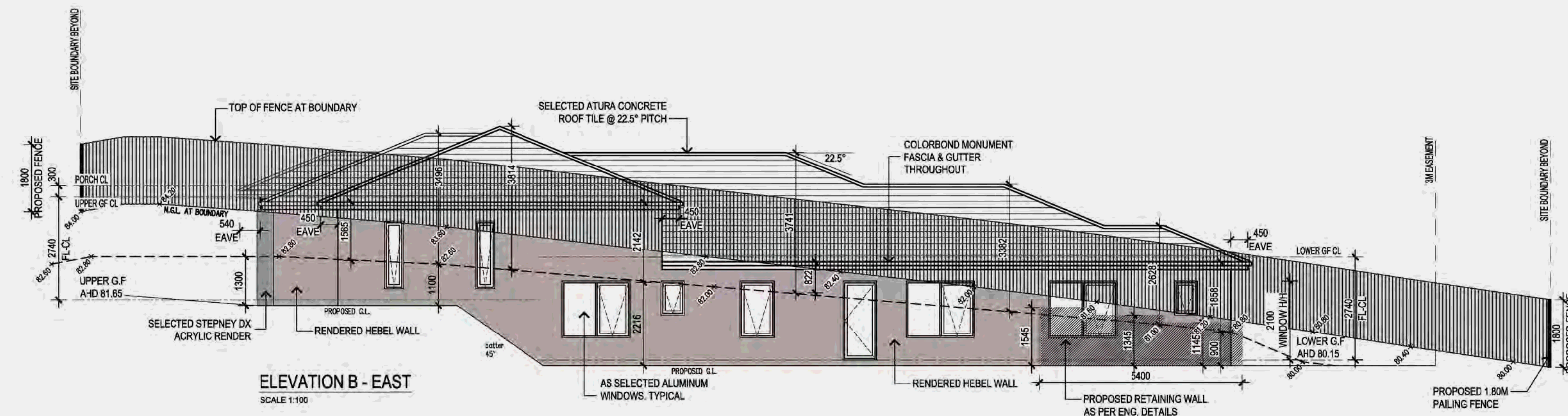
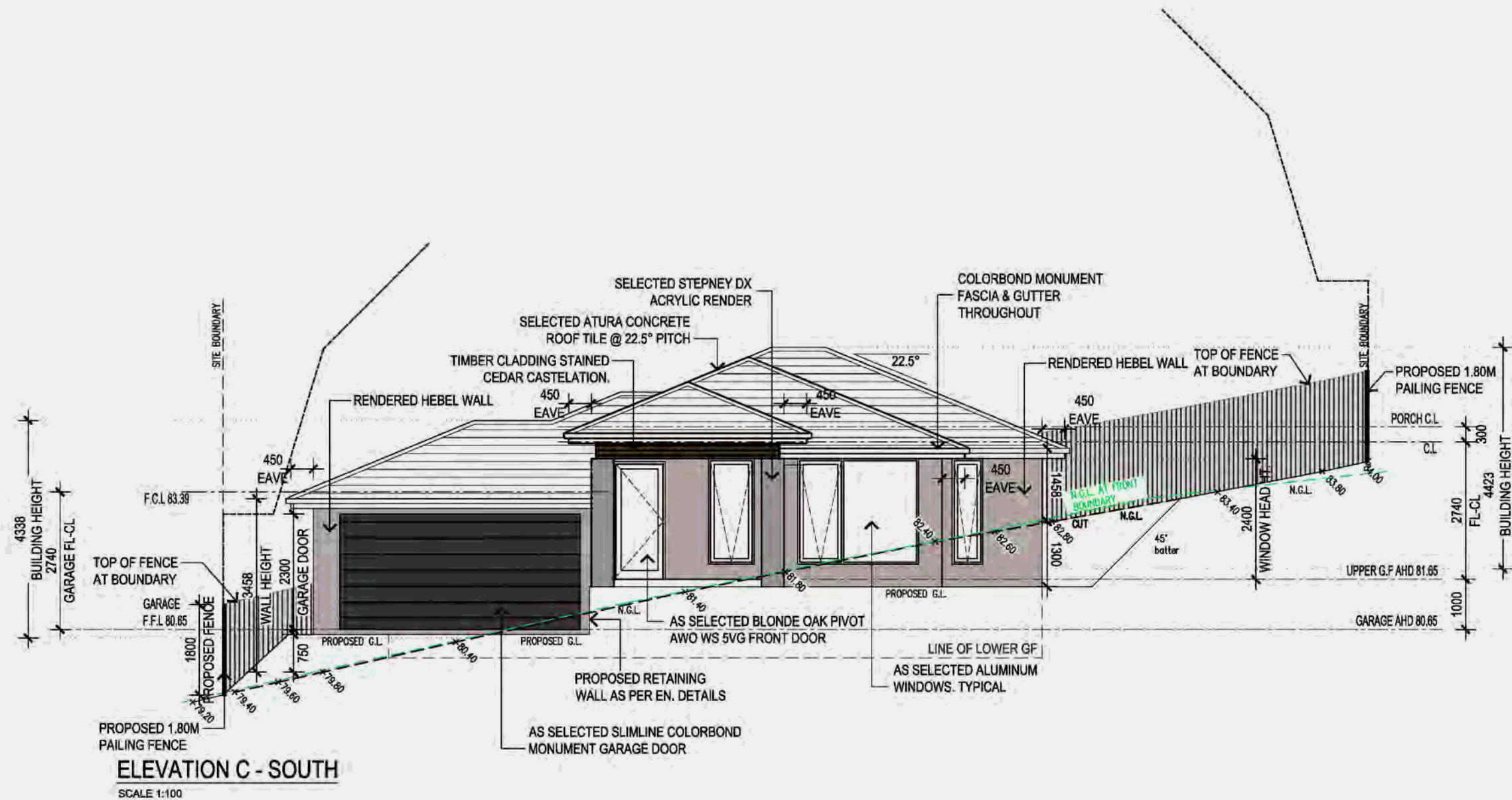
DWELLING

PORCH PIERS

GARAGE DOOR

CONCRETE TILE ROOF

WINDOW / DOOR ALUMINIUM FRAMING



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ALIYA
HOMES

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A	02/06/25	TOWN PLANNING DRAWINGS	AR
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ELEVATIONS

Scale: AS INDICATED @A3
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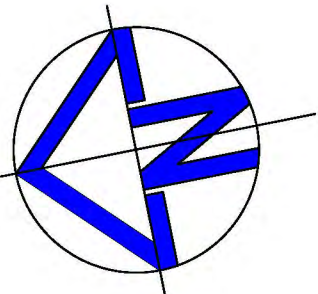
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300205
Revision No:
R2

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TP200

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PROPOSED LANDSCAPE PLAN

SCALE 1:100



PLANTING SCHEDULE

TREES

PROPOSED CANOPY TREES TO BE ADVANCED SPECIES WITH A MINIMUM HEIGHT OF 1.5 METRES AT TIME OF PLANTING.

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	WIDTH (m)	POT SIZE (mm)	NO.
AB	Agonis flexuosa	'Burgundy'	6	3	300	1
AI	Acacia implexa	Lightwood	10	5	400	2
Bm	Banksia marginata	Silver Banksia	6	3	300	5
Ep	Eucalyptus pauciflora	'Little Snowman'	7	3	300	1
Ev	Eucalyptus viminalis ssp. pyramidalis	Gippsland Manna Gum	12	6	400	2

SHRUBS

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	WIDTH (m)	POT SIZE (mm)	NO.
As	Acacia stricta	Hop Wattle	4	3	150	17
Ca	Correa alba	White Correa	1.5	1.5	150	16
CE	Callistemon sp.	'Eureka'	3	2	150	3
CL	Callistemon sp.	'Little John'	1	1	150	1
Cr	Correa reflexa	Native Fuchsia	1	1	150	18
Cs	Crowea saligna	Willow Leaved Crowea	1	1	150	5
Cu	Chomelacium uncinatum	Geraldton Wax	1.5	1.5	150	2
Dg	Dillwynia glaberrima	Smooth Parrot-pea	1	1	150	5
Di	Daviesia latifolia	Hop Bitter-pea	2.5	1.5	150	4
Ga	Grevillea alpina	Mountain Grevillea	2	1.5	150	1
GLO	Grevillea sp.	'Lady 'o'	1.5	1.5	150	1
Go	Goodenia ovata	Hop Goodenia	1.5	1.5	150	2
GRG	Grevillea sp.	Robyn Garden	1.5	1.5	150	2
Hn	Hakea nodosa	Yellow Hakea	2.5	1.5	150	13
Ia	Indigofera australis	Austral Indigo	2	1.5	150	1
KM	Kunzea baxteri	'Mandy's Surprise'	1	1	150	4
Lb	Leucophyta brownii	Cushion Bush	1	1	150	3
Po	Platylobium obtusangulum	Common Flat-pea	1	1	150	1
Rp	Ricinocarpus pinifolius	Wedding Bush	2	2	150	1
Sp	Spyridium parvifolium	Dusty Miller	2	1.5	150	1
WJ	Westringia fruticosa	'Jervis Gem'	1	1	150	10

GROUND COVER

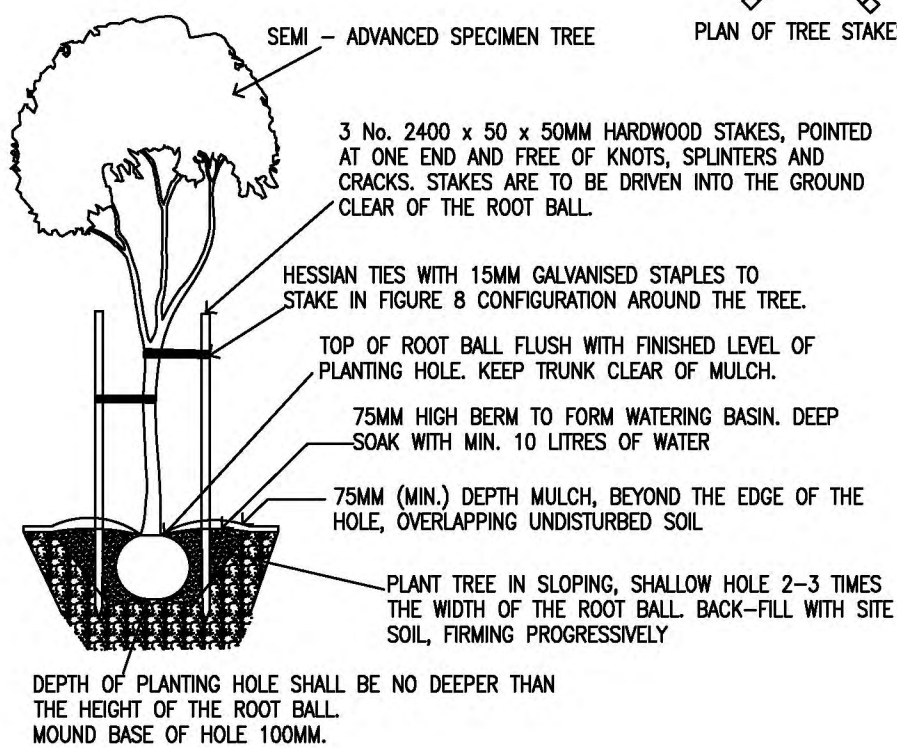
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	WIDTH (m)	POT SIZE (mm)	NO.
Cap	Chrysanthemum apiculatum	Common Everlasting	0.3	0.75	100	9
Dm	Diplazium moraea	Butterfly Flag	0.6	0.6	100	6
GM	Grevillea sp.	'Mt. Tamarilla'	0.2	1.5	150	7
Kp	Kennedia prostrata	Running Postman	Prostrate	1.5	150	10
LS	Lomandra confertifolia	'Seascape'	0.6	0.75	100	55
WLH	Westringia fruticosa	'Low Horizon'	0.3	1	150	3

TRANQUIL WAY

all structures (including fences, letterboxes and meter boxes) shall be constructed to a maximum height of 900mm OR relocated clear of the played area (2m x 2.5m) near the accessway in accordance with A.5 2890.1 clause 3.2.4 to ensure safe sight distances. Landscaping shall also be reduced in height or located clear of this played area

TREE PLANTING DETAIL

(not to scale)



MAINTENANCE AND ESTABLISHMENT NOTES

ALL TREES TO BE STAKED WHEN PLANTED (REFER TO TREE PLANTING DETAIL).

TREES AND SHRUBS ARE TO BE PLANTED OUTSIDE OF SUMMER MONTHS, TO THE EXTENT PRACTICABLE, IN ORDER TO REDUCE STRESS DUE TO HOT WEATHER AND AFTER CONSTRUCTION IS COMPLETED.

ALL WEED SPECIES ARE TO BE REMOVED.

PLANTS TO BE WATERED IMMEDIATELY AFTER PLANTING AND ONCE A DAY FOR THE FIRST WEEK. WATERING IS THEN TO BE REDUCED TO EVERY 2-3 DAYS (IN ACCORDANCE WITH CURRENT WATER RESTRICTIONS). ONCE ESTABLISHED, PLANTS ARE TO BE WATERED WHEN NECESSARY, PARTICULARLY THROUGHOUT THE SUMMER MONTHS.

GARDEN BEDS ARE TO BE COVERED WITH 100MM OF MULCH (EITHER EUCA-MULCH OR PINE BARK).

GARDEN BEDS ARE TO BE WEEDED EVERY 2 MONTHS FOR THE INITIAL 2 YEAR ESTABLISHMENT PERIOD.

ALL PLANTS ARE TO BE PRUNED AS NECESSARY AND ANY PLANTS THAT HAVE DIED ARE TO BE REPLACED.

LAWNS ARE TO BE MOWED REGULARLY IN ORDER TO MAINTAIN A NEAT AND TIDY APPEARANCE.

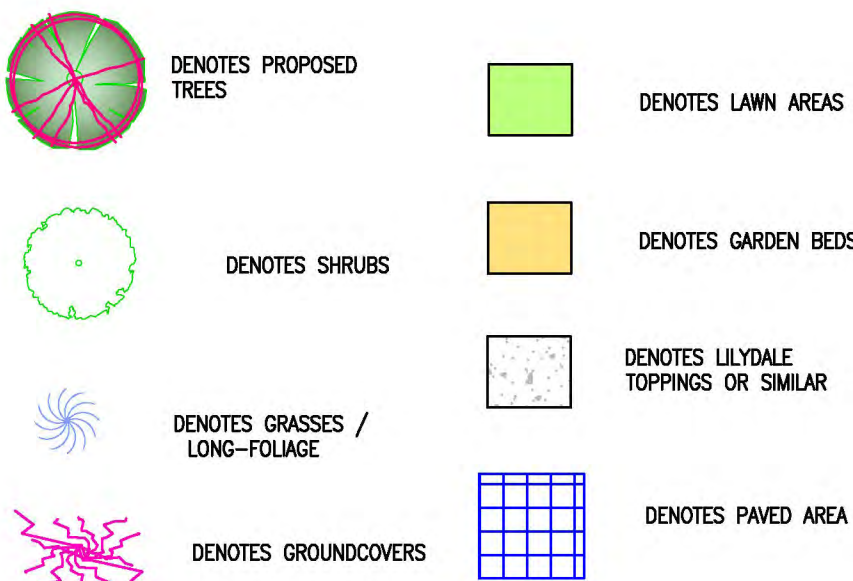
SERVICES

ALL SERVICES SHOULD BE LOCATED ON SITE PRIOR TO ANY WORKS AND CAN BE OBTAINED FROM 'DIAL BEFORE YOU DIG' ON - PHONE 1100 OR www.1100.com.au



All services indicated are approximate and must be located on site prior to commencement of all works

LEGEND



NOTES

GARDEN BEDS TO BE COVERED WITH 100MM OF MULCH. MULCH TO BE USED TO BE EITHER EUCA-MULCH OR PINEBARK.

GARDEN BEDS TO BE EDGED WITH TREATED PINE EDGING.

PLANTINGS OF Correa alba ARE TO BE MAINTAINED TO PROVIDE LOW/MEDIUM HEDGE.

PROPOSED CANOPY TREES TO BE ADVANCED SPECIES WITH A MINIMUM HEIGHT OF 1.5 METRES AT TIME OF PLANTING.

ALL PLANTS USED ARE NATIVE SPECIES AND WHERE POSSIBLE INDIGENOUS SPECIES HAVE BEEN USED.

AN AUTOMATIC IRRIGATION SYSTEM IS TO BE INSTALLED AND GARDEN BEDS ARE TO BE WATERED IN CONJUNCTION WITH CURRENT DROUGHT AND WATER RESTRICTIONS.

GARDEN AREAS SHALL BE USED AS GARDENS ONLY AND SHALL BE MAINTAINED IN A PROPER, TIDY AND HEALTHY CONDITION TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

SHOULD ANY TREE OR SHRUB BE REMOVED OR DESTROYED IT MAY BE REQUIRED TO BE REPLACED BY A TREE OR SHRUB OF SIMILAR SIZE AND VARIETY.

ALL SERVICES SHOULD BE LOCATED ON SITE PRIOR TO ANY WORKS AND CAN BE OBTAINED FROM 'DIAL BEFORE YOU DIG' ON - PHONE 1100 OR www.1100.com.au

PROPOSED LANDSCAPE PLAN FOR A SINGLE DWELLING

DATE:	SCALE:	JOB NUMBER:	ISSUE:
30-5-25	1:100	25-1226	A
DATE:	AMENDMENTS:	DATE:	AMENDMENTS:
30-5-25	ORIGINAL ISSUE 'X' - T.O.		

JOB ADDRESS:
**9 TRANQUIL WAY
PAKENHAM**

FOR: UNIVERSAL PLANNING P/L

LANDSCAPE DESIGNED BY:
**MONARCH
GARDEN DESIGN**

CONTACT: