
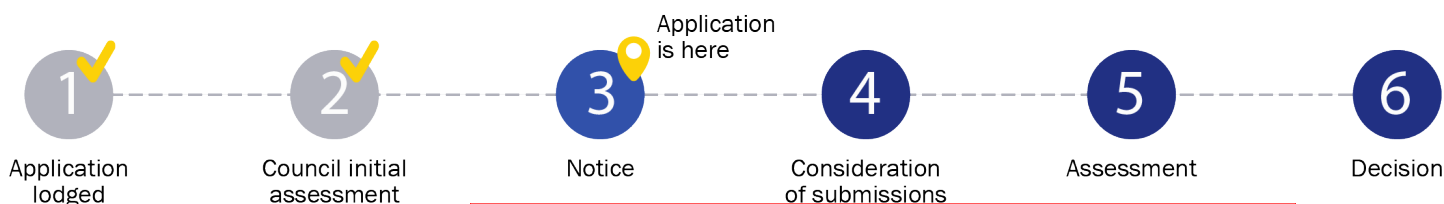


Notice of Application for a Planning Permit

The land affected by the application is located at:	L117 PS848743 V12580 F407 16 Scenic Rise, Pakenham VIC 3810
The application is for a permit to:	Buildings and works for the construction of one (1) dwelling
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a building or construct or carry out works
42.01-2	Construct a fence
APPLICATION DETAILS	
The applicant for the permit is:	Beachwood Homes
Application number:	T250326
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	
23 September 2025	
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected. <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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ePlanning

Application Summary

Portal Reference A22518G0

Basic Information

Proposed Use	residential development
Current Use	vacant subdivision allotment
Cost of Works	\$550,000
Site Address	16 Scenic Rise Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Documents Uploaded

Date	Type	Filename
06-06-2025	A Copy of Title	11598 - Title & POS - Owner.pdf
06-06-2025	Site plans	16 Scenci Rise Pakenham Plans inc of design approval.pdf
06-06-2025	Overlay Requirements	11598 - Survey.pdf
06-06-2025	Additional Document	16 Scenic Rise Pakenham Report Draft.pdf



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

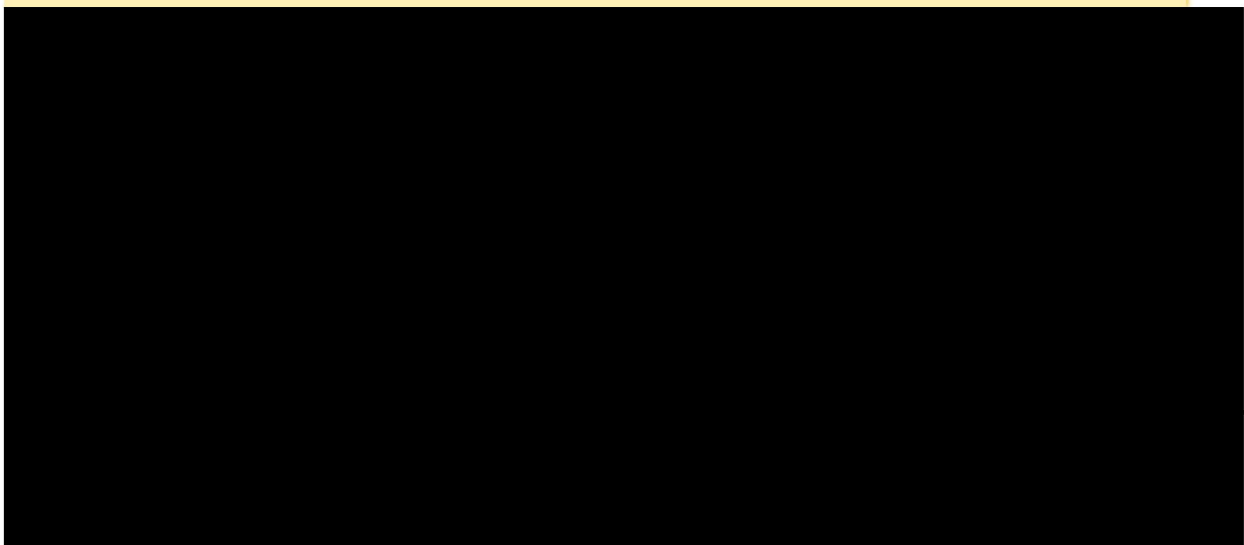
Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

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☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250326 PA
Address of the Land:	L117 PS848743 V12580 F407, 16 Scenic Rise, Pakenham VIC 38
Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Construction of a dwelling and a fence		

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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 12580 FOLIO 407

Security no : 124126767409R

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LAND DESCRIPTION

Lot 117 on Plan of Subdivision 848743W.
PARENT TITLE Volume 12330 Folio 801
Created by instrument PS848743W 31/10/2024

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY956743N 14/03/2025
AUSTRALIA AND NEW ZEALAND BANKING GROUP LTD

COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 16 SCENIC RISE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Effective from 14/03/2025

DOCUMENT END



Department of Environment, Land, Water & Planning

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 01/08/2025 02:56:42 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC



Department of Environment, Land, Water & Planning

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Electronic Instrument Statement

Postcode 3809

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	DAVID PHILIP LITTLEJOHN
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

Imaged Document Cover Sheet

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 447 Collins Street, Melbourne VIC 3000 Australia
PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

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Deed of Agreement

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Date 06/10/2023

Parties	Cardinia Shire Council of 20 Siding Avenue, Officer 3809 (Council)
	BNG (PAKENHAM) PTY LTD (ACN 640125686) of Level 5, 991 Whitehorse Road, Box Hill VIC 3128 (Owner)

Recitals	<p>A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.</p> <p>B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.</p> <p>C. On 19 December 2017 Council issued Planning Permit No. T160690 (Planning Permit), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.</p> <p>D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (Amended Planning Permit).</p> <p>E. Condition 41 of the Amended Planning Permit provides that:</p> <p><i>Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:</i></p> <p>a) <i>A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.</i></p> <p>b) <i>A requirement that each land owner must maintain the</i></p>
----------	--

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

- Act** means the *Planning and Environment Act 1987* (Vic).
- Agreement** means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.
- Building Design Guidelines** means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

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8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

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8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

Schedule

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Mortgagee's Consent

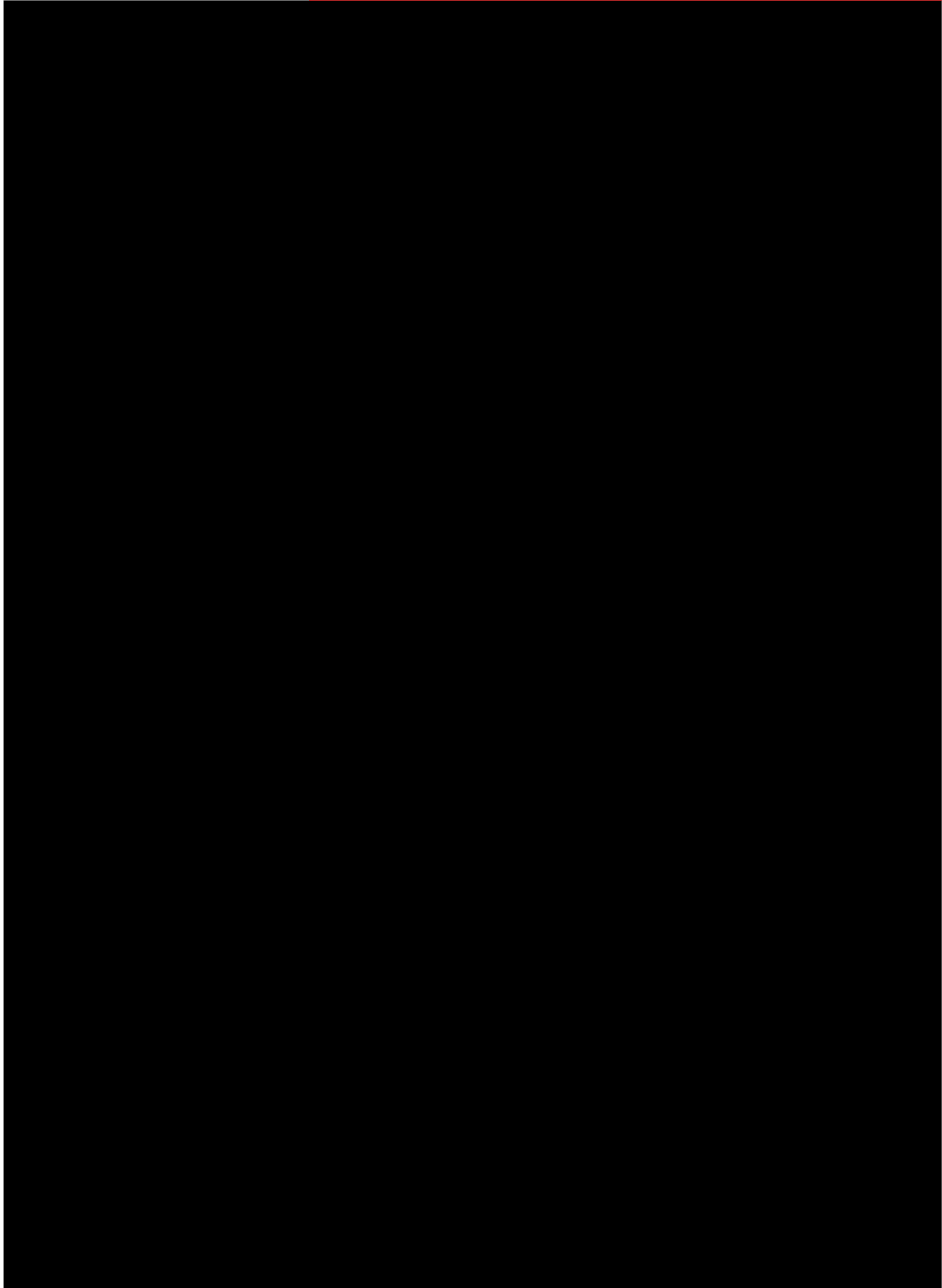
Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd ()



Executed as a deed

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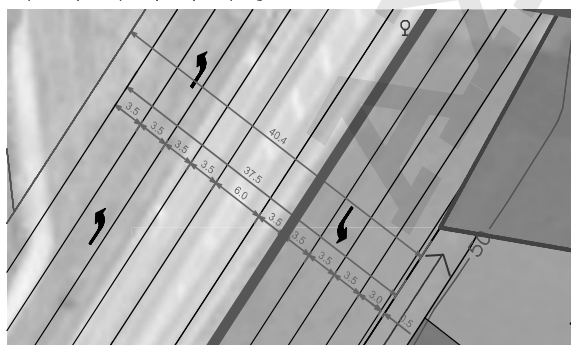
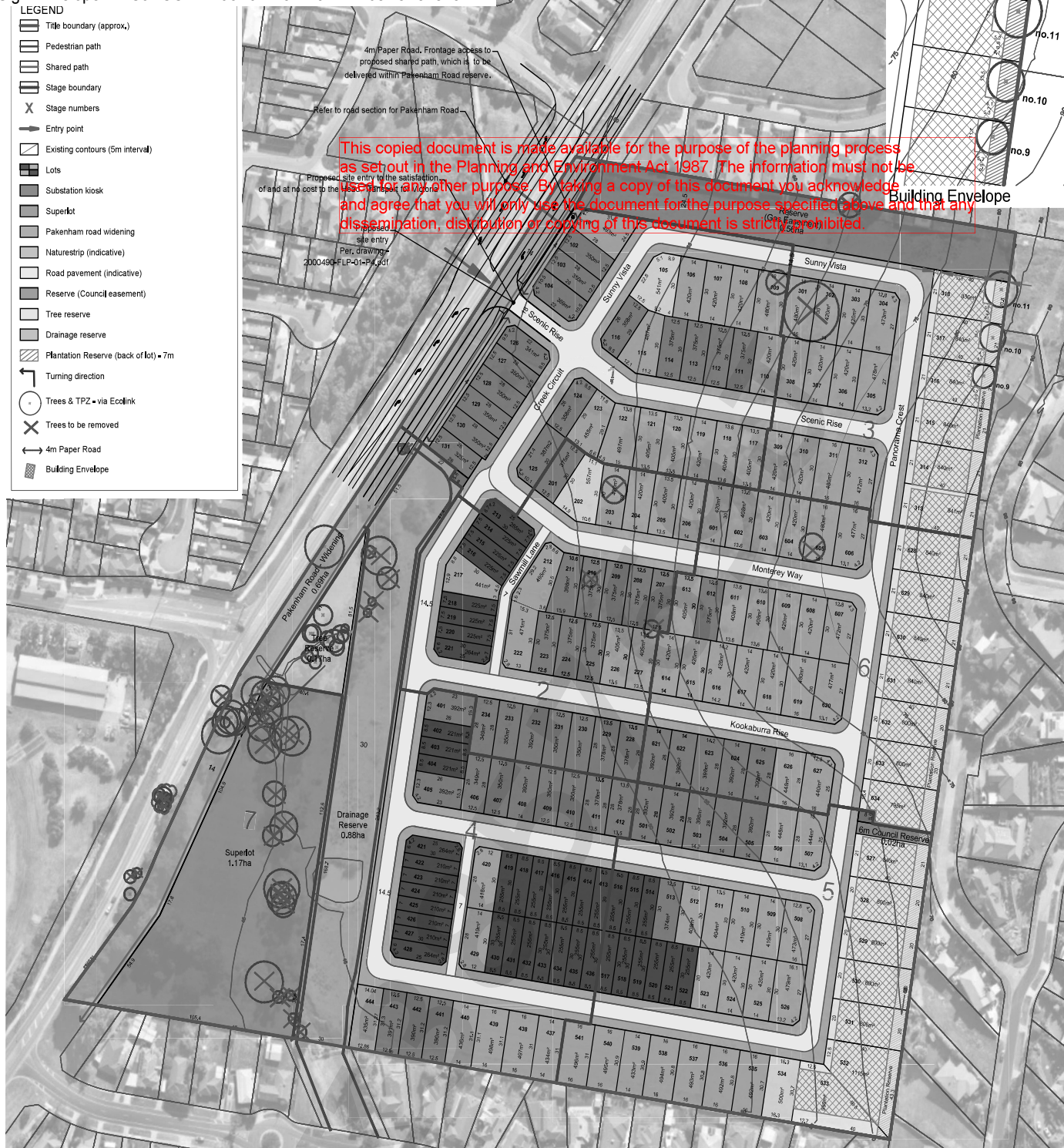
Schedule 1

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Building Envelope Plan

AX385769J

LEGEND	
	Title boundary (approx.)
	Pedestrian path
	Shared path
	Stage boundary
	Stage numbers
	Entry point
	Existing contours (5m interval)
	Lots
	Substation kiosk
	Superlot
	Pakenham road widening
	Naturestrip (indicative)
	Road pavement (indicative)
	Reserve (Council easement)
	Tree reserve
	Drainage reserve
	Plantation Reserve (back of lot) = 7m
	Turning direction
	Trees & TPZ - via Ecdlink
	Trees to be removed
	4m Paper Road
	Building Envelope



Pakenham Road - Cross Section

Notes:

- This plan is subject to Council approval.
- All dimensions and areas are subject to survey and final computations.
- The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
- All roads are 16m local access level 1 unless noted otherwise.
- Road pavement is indicative only and subject to detailed engineering design.
- Arc dimensions shown are length of arc (not chord)

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

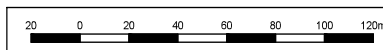
* Stage includes 1 Superlot

Lot Schedule by Area		
Lot Size	Number of Lots	%
0-299m ²	42	20.8
300-399m ²	56	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9
Total	202	100

* Table does not include superlot

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

* Indicates inclusion in NDA



Subdivision Plan
110 Pakenham Road, Pakenham
BNG Group

APPROVED AMENDED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME
PERMIT No.: T160690-2
SHEET: 1 OF 1
APPROVED BY: Dean Haeusler
CARDINIA SHIRE COUNCIL
DATE: Monday, 10 October 2022

12	مخطط	Pakenham road layout	KT	KT
13	مخطط	Added building envelopes	KT	KT
14	مخطط	Updated road and staging boundary	KT	KT
15	مخطط	Updated staging boundary	KT	KT
16	مخطط	Updated lot numbers, building envelope and	OX	KT
Version	Date	Description	Drafted	Approved

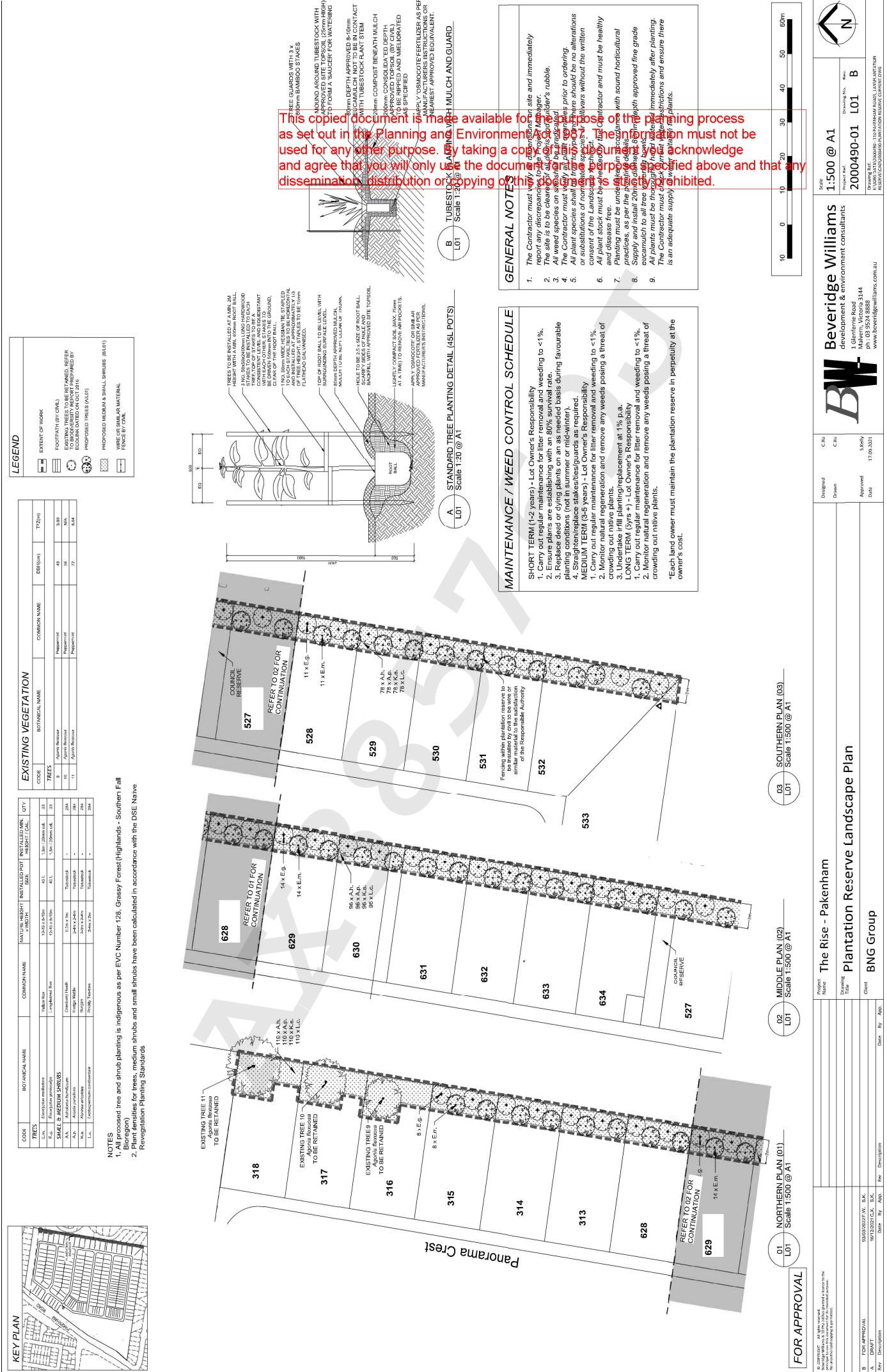
Date: 01.09.2022
Version No:
16
Job No: 2000490
Scale (A1): 1:1000
(A3): 1:2000

Schedule 2

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Vegetation Plan

AX385769J



Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	PS848743W
Number of Pages (excluding this cover sheet)	4
Document Assembled	01/08/2025 14:56

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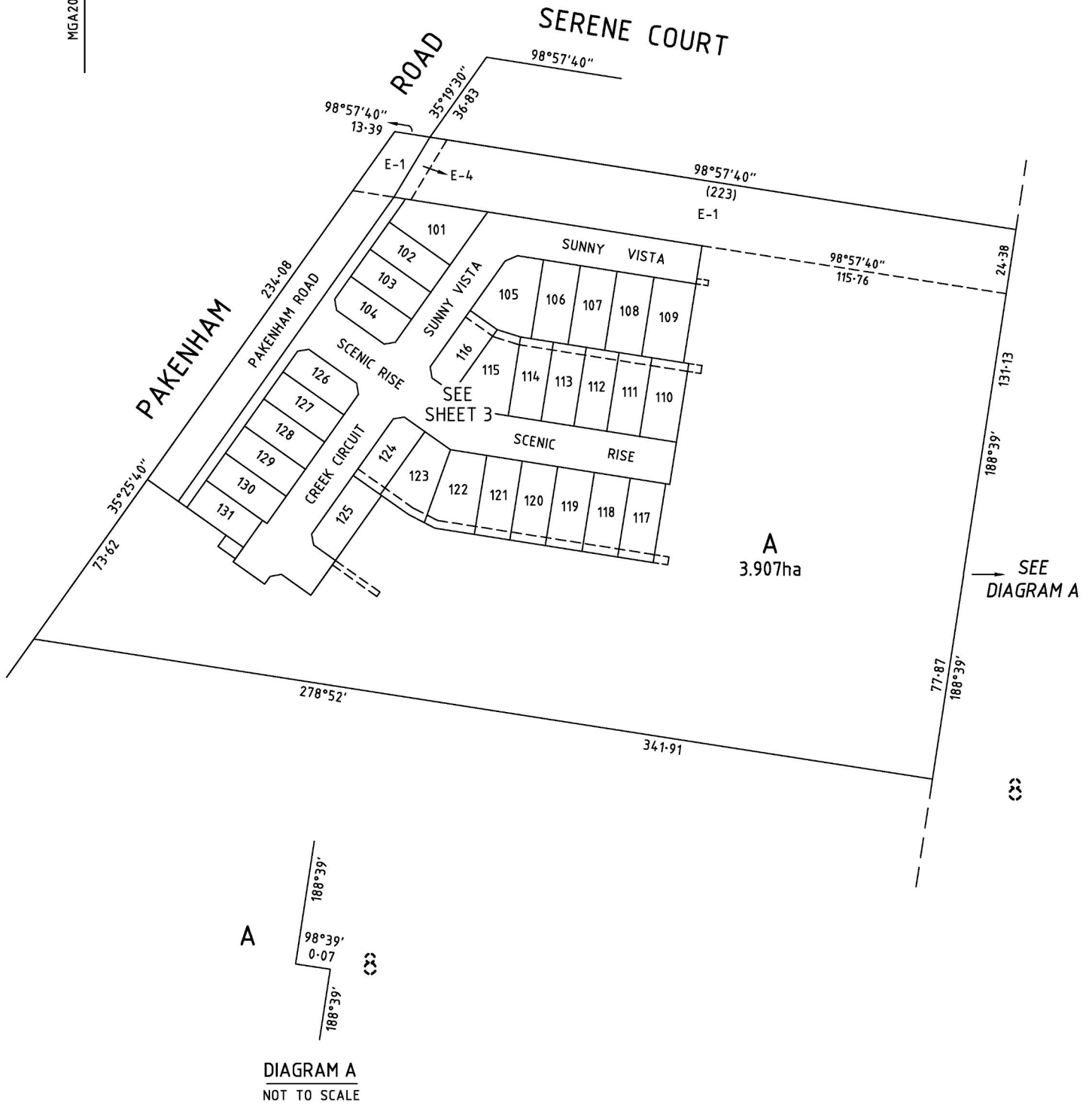
PLAN OF SUBDIVISION		EDITION 1	PS848743W	
LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT) & 33(PT) TITLE REFERENCE: VOL. 12230 FOL. 801 LAST PLAN REFERENCE: LP6710 (LOT 3) POSTAL ADDRESS: 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 366 250 ZONE: 55 (of approx centre of land in plan) N: 5 786 580 GDA 2020		Council Name: Cardinia Shire Council <small>Council Reference Number: S2-01186 Planning Permit Reference: T160690 SPEAR Reference Number: S182115M</small> Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024 Statement of Compliance issued: 28/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON	LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4. WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958		
ROAD R1 ROAD R2 RESERVE No.1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD			
NOTATIONS				
DEPTH LIMITATION: DOES NOT APPLY This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675 <div style="border: 1px solid black; padding: 2px; font-size: 8pt;"> Estate: The Rise - Pakenham Phase No.: 01 No. of Lots: 31 + Lot A PHASE AREA: 2.142ha </div>				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4	PIPELINE	24.38	INST. D613929	VICTORIA PIPELINES COMMISSION
E-2	DRAINAGE	3	THIS PLAN	CARDINIA SHIRE COUNCIL
E-2, E-3	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	THIS PLAN	SOUTH EAST WATER CORPORATION
 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		SURVEYORS FILE REF: 2000490/01 2000490-01-PS-V11.DWG Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M		ORIGINAL SHEET SIZE: A3 SHEET 1 OF 4 Land Use Victoria Plan Registered 02:18 PM 31/10/2024 Assistant Registrar of Titles

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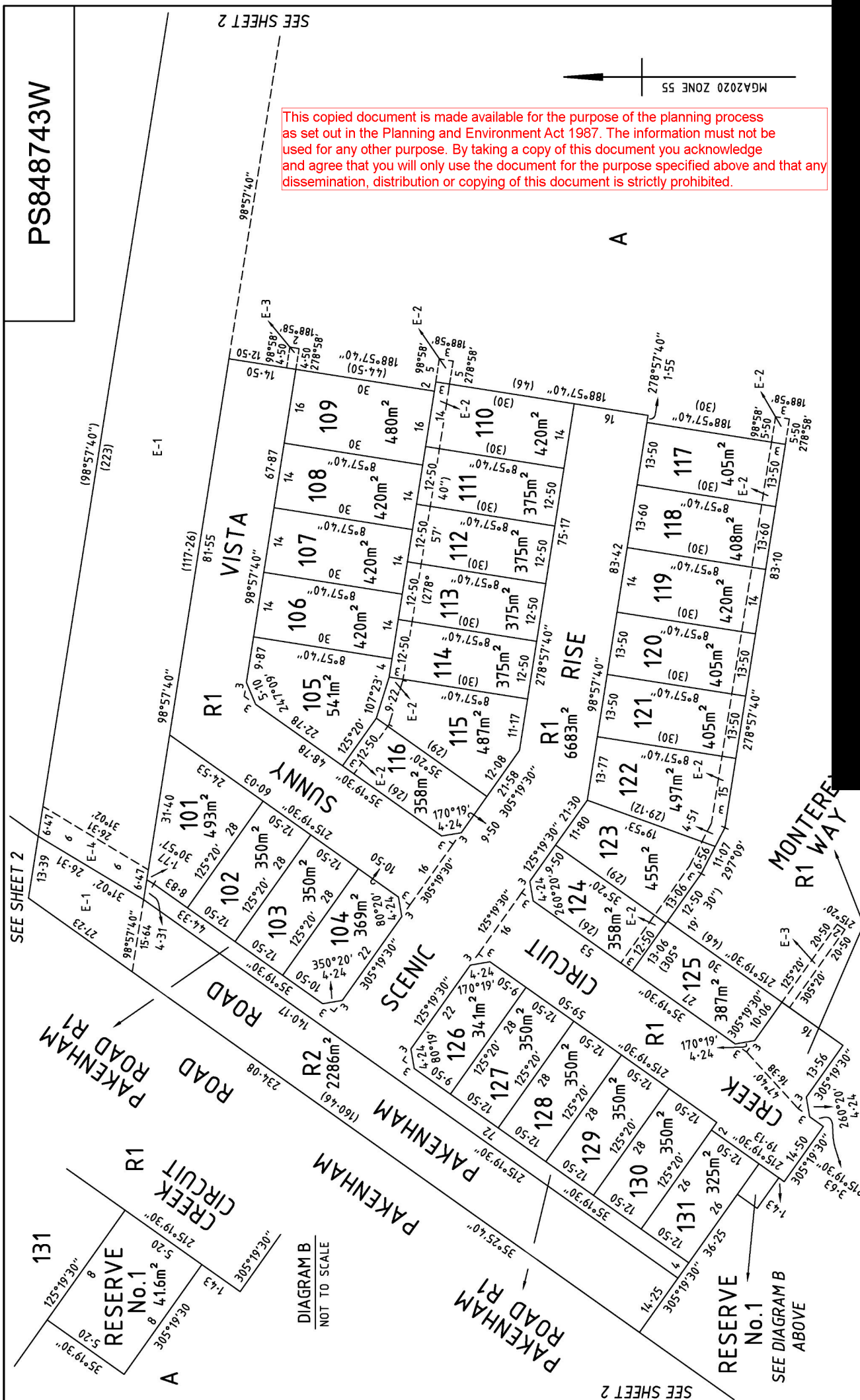
PS848743W



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SURVEYORS
REFERENCE

2000490
/01

Beveridge Williams
development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au



SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

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LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

Planning Report

16 Scenic Rise,
Pakenham

Client

Beachwood Homes

Issued

5/06/2025



Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

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BW
Beveridge Williams

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Client:	Beachwood Homes	Surveying
Issued:	5/06/2025	Asset Recording
Version:	1	Civil Engineering
Prepared by:	SO	Infrastructure Engineering
Checked by:	JG	Traffic & Transport Engineering
Project Manager:	AB	Environmental Consulting
Project Number:	2500763	Water Resource Engineering
		Strata Certification (NSW)
		Town Planning
		Urban Design
		Landscape Architecture
		Project Management

Revision Table

REV	DESCRIPTION	DATE	AUTHORISED
1	Planning Application	05/06/2025	AB

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2. THE SITE AND SURROUNDS	4
3. PROPOSAL	6
4. PLANNING CONTROLS	7
5. CONCLUSION	11

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1. INTRODUCTION

Beveridge Williams is pleased to submit this application on behalf of the landowner at 16 Scenic Rise, Pakenham (Lot 117, PS848743W). The application seeks approval for a single dwelling to be constructed on the land pursuant to the Environmental Significance Overlay - Schedule 5 (Pakenham North Ridge).

The land is also in a General Residential Zone - Schedule 1 and subject to the Developer Contributions Plan Overlay - Schedule 1. However, neither of these controls triggers the need for a planning permit.

The site is a newly created vacant parcel within Stage 1 of The Rise Estate (previously known as 110 Pakenham Road, Pakenham). The subdivision of the land has been subject to a thorough assessment process which commenced in 2017 with the granting of a permit. Titles in Stage 1 and Stage 2 have recently been released. Stage 3 and Stage 4 are under construction, and Stage 5 and Stage 6 are expected to commence construction soon.

This report concludes that the dwelling design is consistent with the intent of the Environmental Significance Overlay - Schedule 5 (Pakenham North Ridge), noting most objectives under the overlay have already been resolved through the subdivision.

2. THE SITE AND SURROUNDS

Planning Permit T160690 was issued on 19 December 2017 for:

Staged subdivision of the land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans at 110 Pakenham Road, Pakenham.

The permit's approval followed the consideration of a number of detailed specialist reports, including:

- A Highest and Best Use Assessment (Essential Economics, May 2016)
- A Biodiversity Assessment (Ecolink, October 2016) with a separate detail flora and fauna surveyed conducted.
- An Arborist Report (Bluegum, July 2016)
- A Drainage Strategy and Slope Analysis (Taylors, July 2016)
- Geotechnical Reports (Atma Environmental, February 2017 and A.S. James Pty Ltd, March 2018)
- A Traffic Engineering Assessment (Traffix Group, October 2016).
- A CHMP (No. 14643)

The subdivision has proceeded, subject to some relatively minor revisions to the original masterplan, via the planning process and Council's approval of Functional Layout Plans and Detailed Engineering Drawing.

The current approved masterplan (Version 21, approved 19 November 2024) shows 6 stages and a total of 203 lots. Stages 1 and 2 were recently finished providing for 65 residential lots that vary in size between 225sqm and 550sqm over the lower slopes of the estate.

To facilitate the completion of Stages 1 and 2, the following actions under the subdivision permit have occurred:

- A Section 173 Agreement has been registered on the parent title, introducing building envelopes and landscape requirements on elevated lots in Stages 3, 5 and 6 (Condition 41).
- Vegetation offsets have been secured (Condition 37),
- Developer contributions have been paid (Condition 27),
- Open space contributions have been paid (Condition 26)
- Dwelling Design Guidelines and building envelopes have been approved by Council (Condition 6), and implemented via a restriction on title. Except for the small lots below 300sq, new lots in Stage 1 and Stage 2 are subject to building envelopes.
- The intersection at the entrance to the estate off Pakenham Road has been constructed.
- The land has been cleared of vegetation, re-graded, with retaining walls and fences constructed within Stage 1 and Stage 2. Roads, footpaths and services are in place.



Figure 1 - The Estate under construction, 1/1/2024



Figure 2 – The Rise Estate, February 2025 (the red rectangle shows the location of 16 Scenic Rise)

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The site is located on the south side of Scenic Rise and covers an area of 410sqm, with a frontage to Scenic Rise of 13.5m and a depth of 30m.

The site survey shows the land is subject to cross fall of approximately 1.5m (from 66.4m AHD at the base of the retaining wall along the east boundary to 64.9m AHD at the top of the retaining wall along the west boundary). There is some additional fall in the north-west corner. The concrete sleeper retaining walls that surround the site have a maximum height of 1.045m.

Covenant PS202144W requires the development of dwellings in accordance with The Rise (Pakenham) Estate Design Guidelines. The building envelope, which forms part of this restriction on Lot 117, shows any building must have a 4m setback to Scenic Rise and a 3m setback from the rear (southern) boundary.

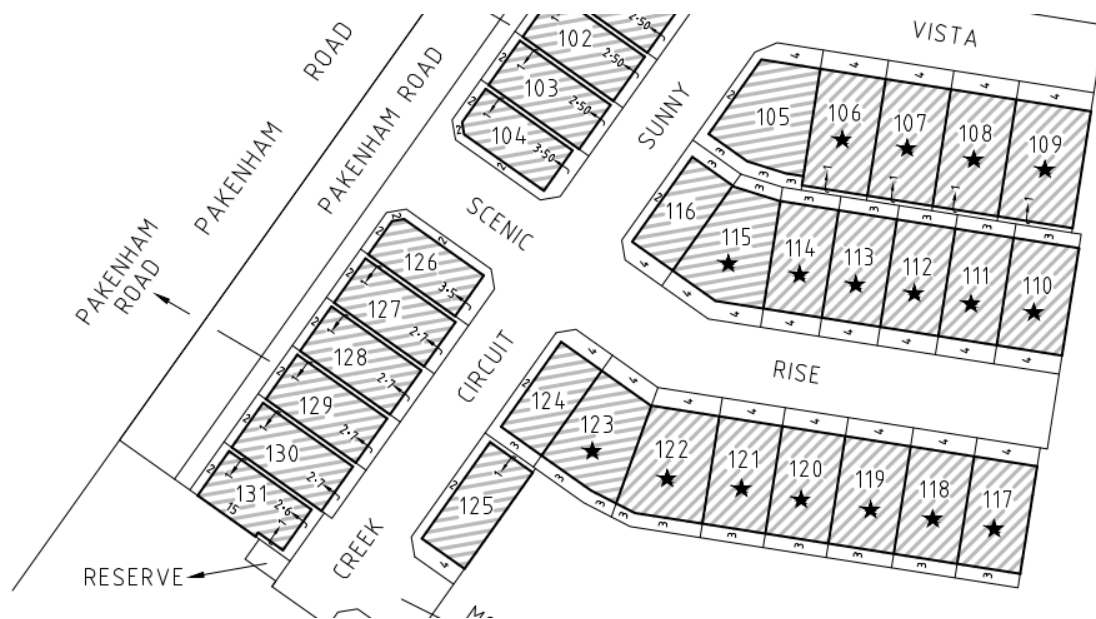


Figure 3 - Building Envelopes

The surrounding lots are currently vacant and vary ever so slightly in size. The conventional lots located to the east and west of the subject site are approximately 420 square metres and 408 square metres, respectively. Similarly, the lots to the north and south are also 420 square metres and 408 square metres in area.

3. PROPOSAL

It is proposed to construct a double storey dwelling on the subject site. The dwelling will be setback 5.245 metres from Scenic Rise, with the front porch representing the most forward-protruding built form element at a setback of 4 metres. The rear setback is 7.765 metres, and the garage is to be constructed along the western boundary. The design has been carefully tailored to respond to the natural slope of the site, with the ground level elevated at the front and lowered toward the rear to address the varying terrain levels. The proposed Finished Floor Level of the dwelling is 65.395 metres to AHD.

The proposal includes the construction of 1.8 metre high timber paling fencing along the side and rear boundaries, integrated with the existing retaining walls to manage level differences.

The dwelling features a combination of exposed brickwork and rendered brickwork to the façade, complemented by a pitched gable roof finished in Colorbond. The ground floor includes open-plan living and meals areas, a study, and a laundry, while the first floor accommodates four bedrooms and a rumpus room. The overall height of the dwelling is 7.187 metres.

The dwelling is shown on Beachwood Homes plans Ref:115598, Issue D, dated 01/05/2025.

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4. PLANNING CONTROLS

The land is subject to the **General Residential Zone, Schedule 1**. A planning permit is not required under this control as the lot area exceeds 300sqm.

The land is subject to **Development Contribution Plan Overlay, Schedule 1**. A development contribution has been paid pursuant to Planning Permit T160690 when the land was subdivided. There are no permit triggers or requirements associated with constructing a single dwelling.

The land is within the **Environmental Significance Overlay, Schedule 4 (ESO4)** which applies to Pakenham North Ridge. Planning permission is required under this overlay to subdivide land, remove vegetation, construct a building or construct or carry out works, and construct a fence.

This application seeks the construction of a dwelling and boundary fencing. We note planning permission has already been granted for both subdivision of the land and the removal of vegetation. In each of these instances, the ESO4 was considered.

ESO4 covers the whole of the parent title (110 Pakenham Road), and land to the north (see Figure 5).



Figure 4 – The extent of ESO4

The purpose of the ESO is:

- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.



Figure 5 – The 'Pakenham North Ridge' prior to subdivision occurring (in 2015)

Schedule 4 outlines the following Statement of Significance:

*The Pakenham ridge has regional significance for biodiversity. It makes a substantial contribution to biodiversity in the Gippsland Plain Bioregion as well as the Pakenham area. The area has remnants of Grassy Forest, an ecosystem that is vulnerable in the area. The Cobra Greenhood Orchid (*Pterostylis grandiflora*) which is of state significance, and the Green Scentbark (*Eucalyptus fulgens*) which is of state/national significance, are found in the area.*

The area is characterised by a geology of Devonian Granitic and Silurian Sediment origin, moderate to steep slopes, and areas of remnant vegetation. These characteristics contribute to environmental values including landscape quality, water quality, and habitat of botanical and zoological significance. These characteristics are also a significant factor contributing to environmental hazards such as erosion, salinity and fire risk, and susceptibility to visual intrusion from buildings and works.

The Environmental Objectives to be met under the Overlay are:

- To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.
- To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.
- To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.
- To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.
- To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors.

The ecology and biodiversity of the Pakenham North Ridge were considered as part of the subdivision approval. Permission was granted to remove most of the vegetation from the parent title. The land has since been graded and reformed to provide roads, services and flat ground for dwelling construction using retaining walls and fill in accordance with geotechnical assessments and detailed engineering plans. Matters such as water runoff, erosion and bushfire risk were also addressed during the subdivision process and managed through the construction of the estate.

Some land within The Rise Estate is steep and elevated above the valley floor. Building envelopes and a 7m wide plantation reserve are implemented through a Section 173 Agreement on elevated lots in Stages 3, 5 and 6. However, for the main, the land gently rises to the east and the long boundary of lots in the estate generally follows the north-south contour lines to minimise the height of retaining walls along the side and rear boundaries and allow the dwelling to step-up the slope.

The subject site is situated on moderately level terrain with minimal slope-related constraints. The underlying considerations for a new dwelling and fencing are limited under this control, as the primary objective of protecting biodiversity is not relevant to individual lots that have been graded and regraded as part of the subdivision.

In response to the other considerations, the proposed dwelling scales, through its height and massing, in a manner that will not impact the ridge or skyline. In time, the dwelling will be viewed with a roof profile that is slightly higher than the built form to the south and west (dwellings constructed at a lower elevation) and slightly lower than the built form to the north and east (dwellings constructed at a higher elevation). Eventually, the dwelling will represent just one roof profile in a sea of other roofs that step-up the hillside. This stepping up of built form is most evident to the north of the site in the neighbouring estate where more construction activity has occurred (see Figure 7).



Figure 7 – Dwellings stepping-up the hillside in Serene Court.

The proposed construction materials consist of exposed brick combined with rendered brick and a dark blue Colourbond roof. These materials are non-reflective and harmonise with the natural landscape, as well as the existing buildings within the ESO4 area.

The proposed dwelling, indicated by the red star in Figure 8, will not obstruct views of native vegetation, natural landforms, or the ridge.



Figure 7 – The Rise Estate under construction (Google Streetview)

The relatively low site coverage of the proposed dwelling (at 41.8%) provides appropriate space for landscaping to enhance the landscaped character of the area.

Lastly, the proposed lapped and capped timber paling fences along the side and rear boundaries accords with the requirements of The Rise (Pakenham) Estate Design Guidelines.

The following table is a consideration of the ESO objectives:

Objectives of ESO4	Response to Objectives
To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.	It was considered that the subdivision reasonably achieved this outcome when the permit was granted.
To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.	<p>The siting and design of the dwelling will have no adverse impact on the environmental or landscape value of the surrounds. The subdivision has achieved vacant lots that step-up the hillside to manage the slope and potential for visual impacts. The site is relatively flat and removed from the steeper area of the subdivision to the northeast. The dwelling will have no impact on the ridge or the natural landform either in the short-term, or when surrounded by other new dwellings.</p> <p>The proposed dwelling will not impact remnant vegetation or habitat as the land has been cleared and re-graded.</p>
To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.	<p>The siting and design of the dwelling respond to environmental 'hazards'.</p> <p>The tiering of the land through the subdivision using retaining walls and fill was proposed to accommodate traditional 'slab' construction of dwellings in accordance with the geotechnical reports provided.</p> <p>The subdivision was designed with underground drainage solutions to avoid erosion.</p> <p>The site is not in a bushfire prone area or subject to policy consideration in Clause 13.02 of the Cardinia Planning Scheme. The subdivision was designed with a road layout providing appropriate fire vehicle access and hydrants.</p>
To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.	The low site coverage allows for suitable landscaping that aligns with the Pakenham North Ridge landscape, as shown in the submitted landscape plan.
To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors.	The site is not within an area of high conservation value and does not form part of a wildlife habitat or corridor.

The objectives and decision guidelines of ESO4 do not require general consideration of neighborhood character beyond the environmental objectives outlined in the Overlay. However, Council can take comfort that the proposed dwelling has been considered against The Rise Estate Design Guidelines that Council required through the planning permit for subdivision and the proposed dwelling has achieved compliance (refer to Design Assessment Panel plans dated 05/06/2025).

The proposed dwelling is setback from Scenic Rise and is appropriately positioned within the designated building envelope. The floor slab has been constructed at a midpoint to minimise earthworks, requiring only modest fill at the front and some excavation at the rear of the dwelling.

The dwelling's garage is proposed on the correct side of the dwelling to utilise the constructed vehicle crossing and is setback behind the dwelling's front facade. There is a street tree immediately in front of the site which will need to be maintained during construction.

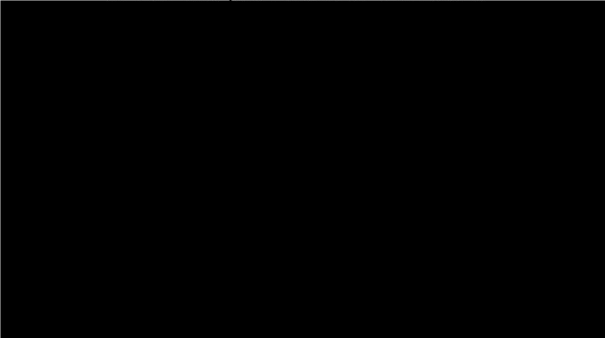
The objectives and decision guidelines of ESO4 do not require general consideration of amenity impacts. This will be considered by the relevant building surveyor.

The Planning Policy Framework has been considered in respect to the permit trigger, but no policy is considered to help aid the application of discretion provided through ESO4. Decision Guidelines at Clause 65.01 have also been considered in relation to the discretion provided through ESO4.

The proposal therefore accords with the ESO4 objectives and decision guidelines. The development is *compatible with identified environmental values* as required by the Environmental Significance Overlay.

5. CONCLUSION

The site does not exhibit the biodiversity values intended to be protected and enhanced under ESO4. Consideration has been given to the broader landscape impacts of the proposed development. The proposed dwelling is a typical development within the context of a residential subdivision and meets design outcomes as set out in the relevant Estate design guidelines, including its scale, massing and construction materials and will not have an adverse impact on the hillside topography or ridgeline to the north and east of the site. As such, a planning permit should be granted under the provisions of the ESO4.



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1st Floor,
58-62 Jackson Court
Doncaster East 3109

T: (03) 9095 8885
E: info@buratt-taylor.com.au
W: www.buratt-taylor.com.au

SITE ASSESSMENT

Date : 3/03/2025 **Job Number** : 100642
Site : LOT 117 (NO.16) SCENIC RISE PAKENHAM
Municipality : Cardinia **Mel. Ref** : 317 C3

Is re-establishment survey required? No
Subdivision : Recent
Existing Pegs : Yes
Site levels : Settled
Any trees on site : No
Services : Completed
Gas : Check Availability
Sewer : Yes
Electricity : Underground
Water : Yes Tapping : No
Watermain :
Discharge Point : Yes See Plan
Surrounding development : None
Neighbouring blocks have trees : No
Road : Built
Type : Bitumen
Footpath : Yes Condition : ok
Kerb and channel : Yes
Crossing Provision : Yes

Comments:

Note:

The information described above is based on a visual assessment and must be used as a guide only. Before drafting, quoting and construction, the builder is to confirm that all site features described above are true and correct. Property service information must be obtained from the relevant authorities. Buratt-Taylor will not be liable for any discrepancy. Discrepancies must be referred to this office prior to quoting and construction.

NOTE :

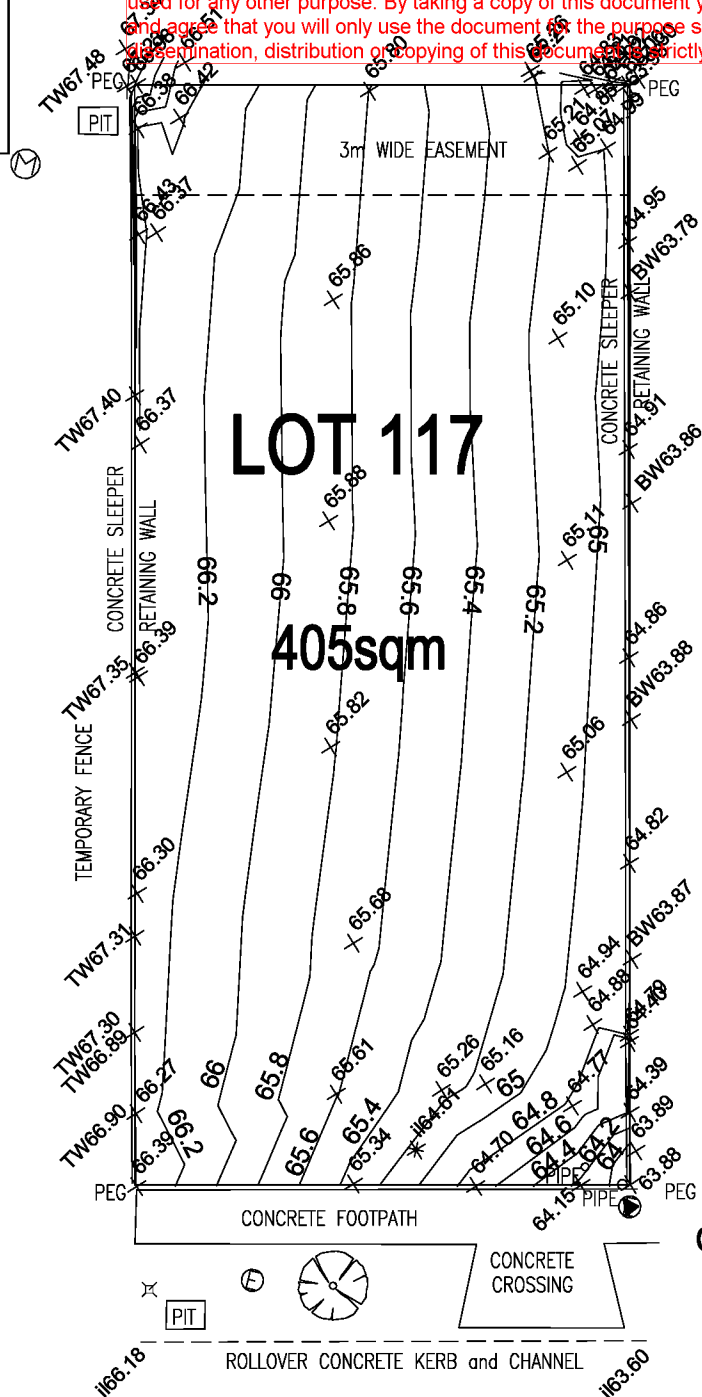
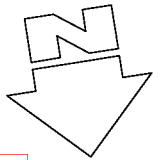
This survey is not a re-establishment survey of this and/or features.
Property boundaries are unfenced unless noted otherwise.
Trees under 2m high unless noted otherwise.
Only adjacent features to be located.
Windows are shown as habitable / non habitable, otherwise unknown and must be confirmed by the builder prior to construction.
The locations of driveways, surface pits, valve covers, upright pipes, etc. shown on this feature survey must be checked prior to construction. No direct knowledge is claimed of the location of underground services.
Before any excavation or construction commences, all underground services must be located to avoid damage.
Levels to AUSTRALIAN HEIGHT DATUM (A.H.D.) are to be confirmed independently before any site works to ensure they are correct.
This feature survey has not been conducted by a licensed surveyor and if there is a specific requirement than an independent licensed surveyor must be engaged to conduct the feature survey.
Proposed finished garage level is to be confirmed by the builder and contractor during earthworks to ensure a minimum driveway grade is achieved in accordance with the relevant authorities and Australian standards for vehicle access.
The location and invert level (IL) of the assumed Legal Point of Discharge (LPDD) is to be confirmed by the builder/contractor prior to quoting, design and construction. Buratt-Taylor will not be liable if different to that shown.
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VACANT

03-03-2025

278°57'40" 13-50

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VACANT
03-03-2025

LOT 118
VACANT
03-03-2025

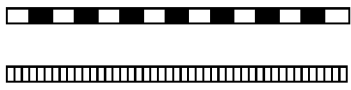
T.B.M.
CENTER ELEC. PIT
R.L. 63.91m A.H.D.

98°57'40" 13-50
SCENICE RISE

DRAINAGE NOTES:

1. SITE DRAINAGE SHALL COMPLY WITH NCC 3.12 'DRAINAGE' & A.S. 3500 'NATIONAL PLUMBING & DRAINAGE CODE'.
2. BASE OF CUT GRADED TO SILT TRAP AT 1:100MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
3. TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
4. DURING CONSTRUCTION, WATER RUN OFF SHALL BE COLLECTED AND CHanneled AWAY FROM THE BUILDING.
5. STORMWATER DRAINS ARE INDICATIVE ONLY, CONTRACT DRAINER IS TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.

- ALL LANDSCAPING BY OWNERS, BUILDER TO PROVIDE SILL RISER PROVISION AT NOMINATED LOCATIONS FOR FITTING/CONNECTION OF GRATED INLET PITS BY OWNERS, BEING INCORPORATED AS PART OF THE LANDSCAPE DESIGN.
- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
- GRATED INLET PIT / SILT TRAP CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
- CUT TOE, SPOON DRAIN, AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. FALL. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- AGGI DRAINS AT BASE OF CUT OVER 300mm, AGGI DRAINS TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM
- GRATED DRAIN TO FRONT OF GARAGE DOOR TO BE CONNECTED BACK TO LPOD VIA STORMWATER SYSTEM

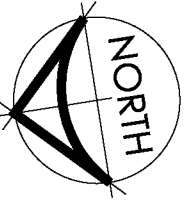


DRIVEWAY BY CLIENT AFTER HANDOVER

NOTE - 1.8m MAX. HIGH CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS BY CLIENT AFTER HANDOVER. FENCE TO TERMINATE 1.5m FROM THE MAIN BUILDING LINE AND 1m BEHIND THE NEIGHBOURING DWELLING.

3.0kW SOLAR PV SYSTEM 7 PANELS (NUMBER OF PANELS INDICATIVE ONLY AND FINAL NUMBER OF PANELS ARE AS PER SUPPLIER'S DISCRETION.)

- INDICATES - CUT AREA
- INDICATES - FILL AREA



NOTES - RESCODE CLAUSE 54.

- ALL LEVELS ARE TO A.H.D U.N.O.
- SITE DIMENSIONS TO BE VERIFIED BY TITLE
- FLOOR LEVELS ARE DETERMINED BY ASSUMED LEVELS ADJACENT TO RESIDENCE AND MAY BE ADJUSTED ON SITE BY BUILDER AT BUILDER'S DISCRETION.
- FSL MIN 150mm ABOVE FSL FOR SLABS.
- FLOOR LEVEL MIN 225mm ABOVE FSL OR PAVING ADJACENT TO O.R.G. (OVER FLOW RELIEF GRATE).
- FSL MIN 400mm (NOMINAL) ABOVE FSL FOR STUMPS
- SHEET FLOORING: MIN 200mm CLEAR UNDER BEARER
- STRIP FLOORING: MIN 150mm CLEAR UNDER BEARER
- TERMITE AREAS: MIN 400mm CLEAR UNDER BEARER UNLESS METHOD OF PROTECTION OR RELEVANT STANDARDS RECOMMEND OTHERWISE
- A MAXIMUM OF 600mm OF GRANULAR OR 300mm OF CLAY/SILT FILLING INCLUDING ANY EXISTING FILLING MAY BE PLACED UNDER SLAB PANELS.
- REFER TO APPENDIX OF SOIL REPORT FOR CONSTRUCTION AND MAINTENANCE REQUIREMENTS
- ALL LEVELS ARE FINISHED SURFACE LEVELS U.N.O.
- MAX 200mm FILL AT EXTERNAL DOORS
- GRADE FSL AWAY FROM RESIDENCE

A5. SITE COVERAGE STATISTICS

SITE AREA	405.0 m ²	HARD PAVING	0.0 m ²
BUILDING AREA	169.3 m ²	TOTAL HARD COVER	169.3 m ²
SITE COVERAGE	41.8 %	PERMEABLE AREA	58.20 %

* NOTE: 20 % TO BE PERMEABLE & NOT COVERED

RETAINING WALLS & EXCAVATIONS

DESIGN SURCHARGE OF 5 kpa TO BE INCLUDED

- BRICK, CONCRETE OR OTHER, SLEEPER OR SIM. RETAINING WALL
- MAX 1.00H
- MAX 1.00H

RETAINING WALLS TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION. ALLOW 5KPa SURCHARGE ON BOUNDARY U.N.O. RETAINING WALLS TO BE CONSTRUCTED & PROTECTION NOTICE SERVED IN ACCORDANCE WITH BUILDING CONTROL ACT 1993. OWNER/CONTRACTOR IS TO PROVIDE INSURANCE, SURVEY OF EXISTING CONDITIONS & NEIGHBOUR'S CONSENT FOR CONSTRUCTION IN ACCORDANCE WITH ACT. BATTERS ARE AT 45° & THATCHED OR LANDSCAPED U.N.O. CUT OFF DRAINS AT BASE OF EXCAVATION TO CONNECT TO STORM WATER DRAINS VIA SILT PIT WITH GRATED COVER BY OWNER OR CONTRACT VARIATION

- BATTERS ARE GRADED AT 45° CLAY 30° SAND. BATTERS ARE TO BE THATCHED WITH ROCK, MESH, MULCH OR AS DESIRED, BY OTHERS.
- EXTENT OF EXCAVATION
- ALL SITE WORKS ARE TO BE PROVIDED BY OWNER OR BY CONTRACT VARIATION

TBM TEMPORARY BENCH MARK

- A TREE TO BE REMOVED
- B TREE TO BE RETAINED

TREE ROOT PROTECTION, WHERE REQUIRED, SHALL BE IN ACCORDANCE WITH TN61, AND CONSTRUCTED IN ACCORDANCE WITH ENGINEER'S DESIGN. TO BE PROVIDED BY OWNER OR CONTRACT VARIATION

ADVISORY NOTE: DRIVEWAY GRADES

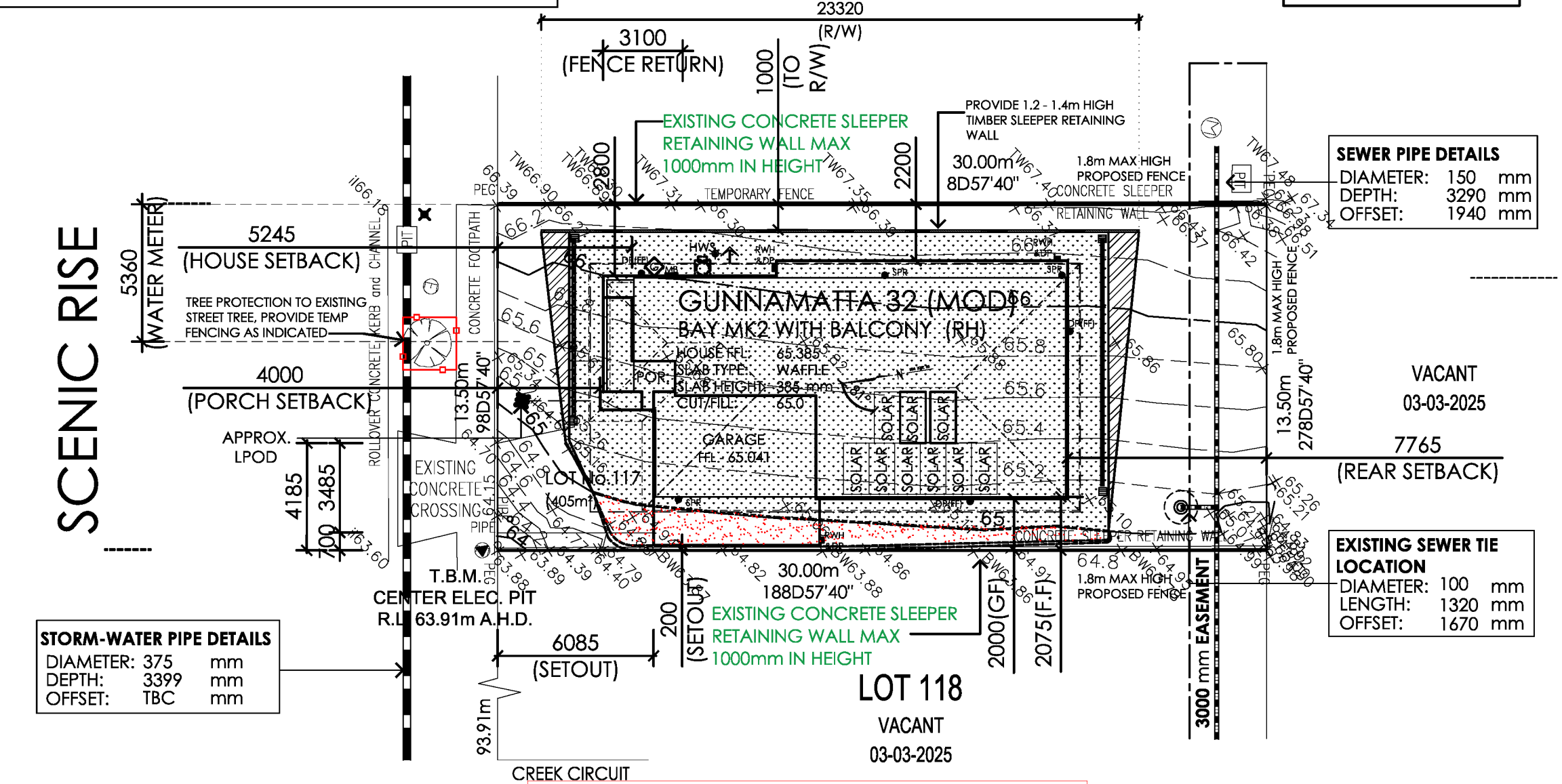
OWNERS/CLIENTS ARE ADVISED THAT DRIVEWAY GRADIENTS WITHIN THE PROPERTY SHOULD BE AT 1 in 5 MAXIMUM AND THAT TRANSITIONS MAY BE REQUIRED AT CHANGE OF GRADES. REFER TO A.S.2890 FOR DESIGN REQUIREMENTS. IF SITE CONDITIONS REQUIRE A STEEPER GRADE THAN 1 in 5 THE OWNERS ACKNOWLEDGE BY SIGNING THIS DRAWING THAT VEHICLE ACCESS MAY BE COMPROMISED.

SCENIC RISE

STORM-WATER PIPE DETAILS
DIAMETER: 375 mm
DEPTH: 3399 mm
OFFSET: TBC mm

SEWER PIPE DETAILS
DIAMETER: 150 mm
DEPTH: 3290 mm
OFFSET: 1940 mm

EXISTING SEWER TIE
LOCATION
DIAMETER: 100 mm
LENGTH: 1320 mm
OFFSET: 1670 mm

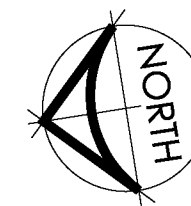


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VARIATION
VARIATION No. - PCV 1.3
DRAFTSPERSON - VN
DATE - 30.04.2025

SITE PLAN

SOLAR	3.0kW SOLAR PV SYSTEM 7 PANELS (NUMBER OF PANELS INDICATIVE ONLY AND FINAL NUMBER OF PANELS ARE AS PER SUPPLIER'S DISCRETION.)
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NOTES - RESCODE CLAUSE 54.

ALL LEVELS ARE TO A.H.D U.N.O.

SITE DIMENSIONS TO BE VERIFIED BY TITLE

FLOOR LEVELS ARE DETERMINED BY ASSUMED LEVELS

ADJACENT TO RESIDENCE AND MAY BE ADJUSTED ON SITE BY

BUILDER AT BUILDER'S DISCRETION.

- FFL MIN 150mm ABOVE FSL FOR SLABS.
- FLOOR LEVEL MIN 225mm ABOVE FSL OR PAVING ADJACENT TO O.R.G. (OVER FLOW RELIEF GRATE).
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- GRADE FSL AWAY FROM RESIDENCE

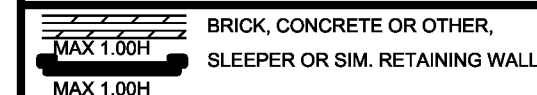
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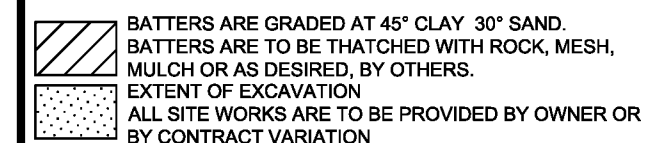
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DESIGN SURCHARGE OF 5 kpa TO BE INCLUDED



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TBM TEMPORARY BENCH MARK

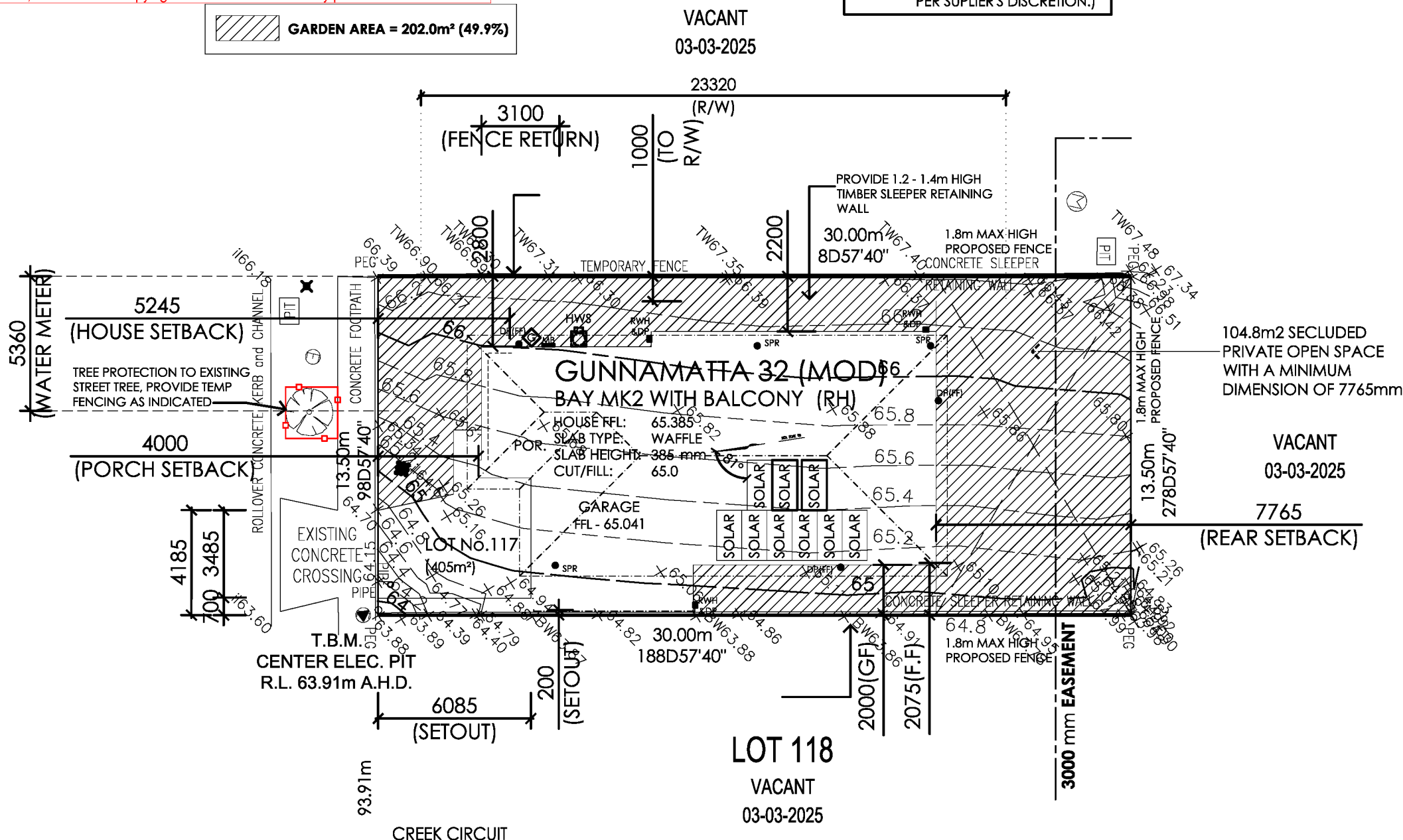
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SCENIC RISE



VARIATION

VARIATION No. - **PCV 1.3**
DRAFTSPERSON - **VN**
DATE - **30.04.2025**

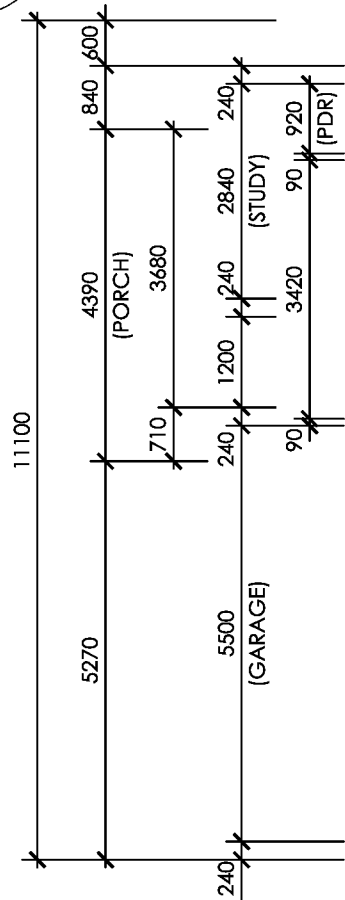
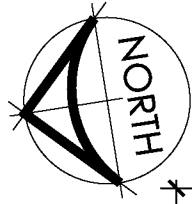
GARDEN AREA

B

VARIATION

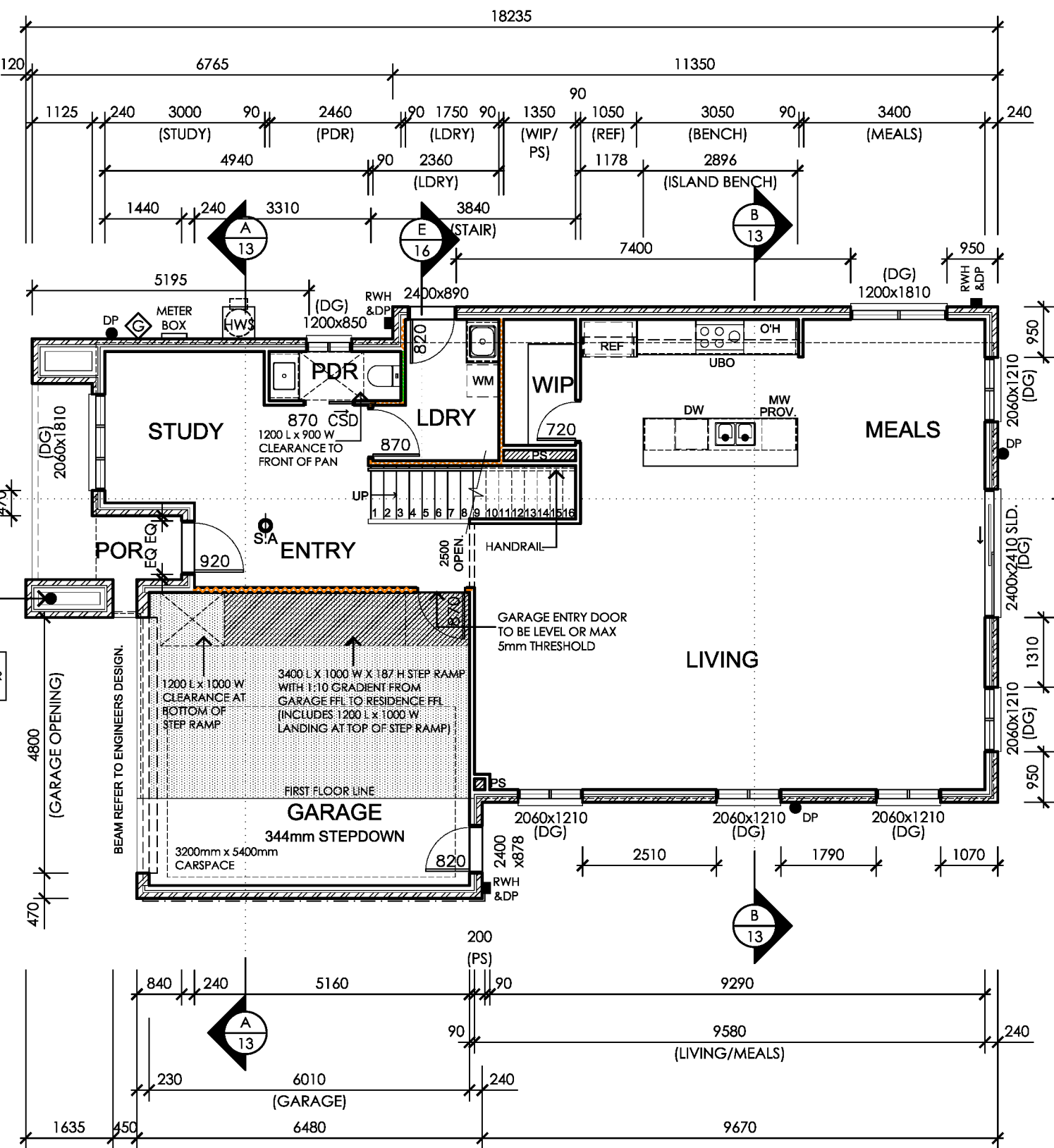
VARIATION No. - **PCV 1.3**
DRAFTSPERSON - **VN**
DATE - **30.04.2025**

NOTE - 2740mm HIGH
DROPPED CEILING



C
15

STORMWATER
CONNECTION FOR
BALCONY DRAIN



GROUND FLOOR:	124.4 m ²	13.39sq
FIRST FLOOR:	142.0 m ²	15.29sq
RESIDENCE:	266.4 m ²	28.68sq
GARAGE:	37.3 m ²	4.01sq
PORCH:	7.6 m ²	0.82sq
BALCONY:	4.6 m ²	0.50sq
OUTDOOR LIVING:	0.0 m ²	0.00sq
TOTAL:	315.9 m ²	34.00sq

NOTE - NOGGINGS & STRUCTURAL
TIMBER SUPPORT FOR FUTURE GRAB
RAIL(S) AS PER NCC 2022. REFER TO
BATHROOM & SANITARY COMPARTMENT
WALL REINFORCEMENT DETAILS

A

E

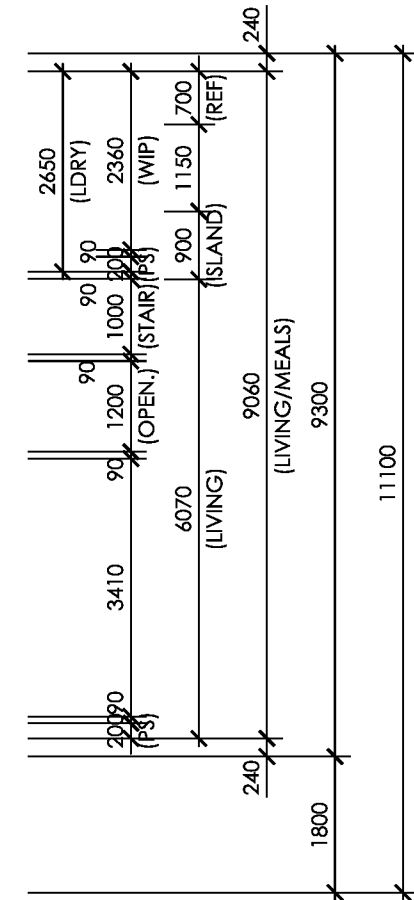
C

PROVIDE NON-SLIP
RESISTANCE TO STAIR TREADS
IN ACCORDANCE WITH NCC
CLAUSE 11.2.4 AND AS 4586

NOTE - 100mm STEPDOWN TO ALL
EXTERNAL CONCRETE SURFACES

NOTE - DUCTED VENT THROUGH
WALL TO BE PROVIDED TO THE
RANGEHOOD AND EXHAUST FAN

NOTE - 2340mm DOORS
THROUGHOUT GROUND FLOOR.



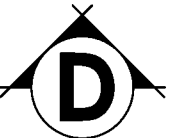
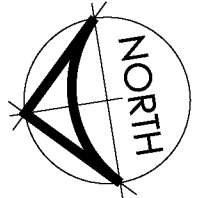
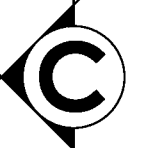
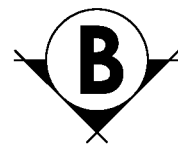
ENERGY NOTES:
7.5 STARS
71.2 MJ/M²
FLOOR INSULATION = R0.62
FIRST FLOOR INSULATION = R3.5
CEILING INSULATION = R5.0 (EXC. GARAGE)
CEILING INSULATION = R6.0 (PERIMETER)
EXT. WALL INSULATION = R2.5 (EXC. GARAGE)
INT. WALL INSULATION = R2.5 (GARAGE & L'DRY)
DOUBLE GLAZING - AS PER FLOOR PLAN

D

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GROUND FLOOR PLAN

- EXTEND KITCHEN/LAUNDRY OPTION



NOTE - NOGGINGS FOR FUTURE GRAB RAIL(S) AS PER NCC 2022.
REFER TO BATHROOM & SANITARY COMPARTMENT WALL REINFORCEMENT DETAILS

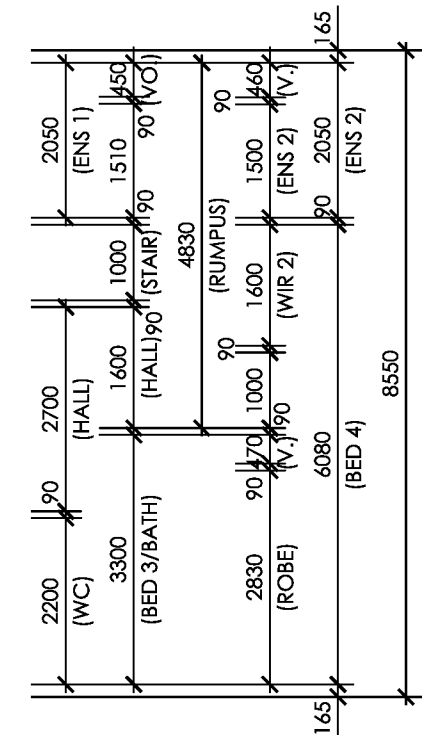
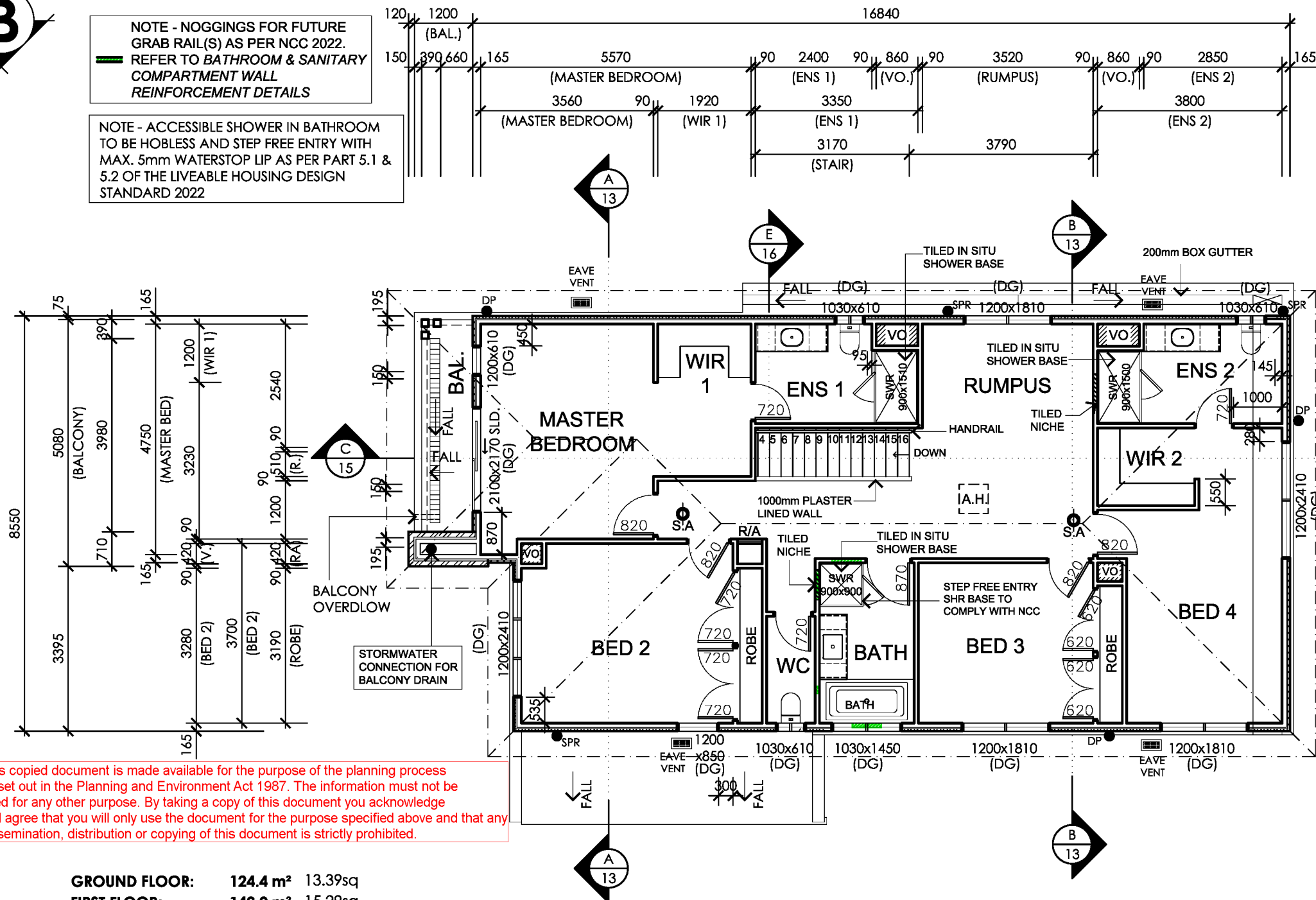
NOTE - ACCESSIBLE SHOWER IN BATHROOM TO BE HOBLESS AND STEP FREE ENTRY WITH MAX. 5mm WATERSTOP LIP AS PER PART 5.1 & 5.2 OF THE LIVEABLE HOUSING DESIGN STANDARD 2022

PROVIDE NON-SLIP RESISTANCE TO STAIR TREADS IN ACCORDANCE WITH NCC CLAUSE 11.2.4 AND AS 4586

NOTE - ALL WINDOWS TO BE CENTRED UNLESS NOTED OTHERWISE

NOTE - MAXIMUM ALLOWABLE WINDOW OPENING TO BE 125mm FOR ALL FIRST FLOOR WINDOWS

NOTE - DUCTED VENT TO BE PROVIDED THROUGH ROOF TO EXHAUST FANS



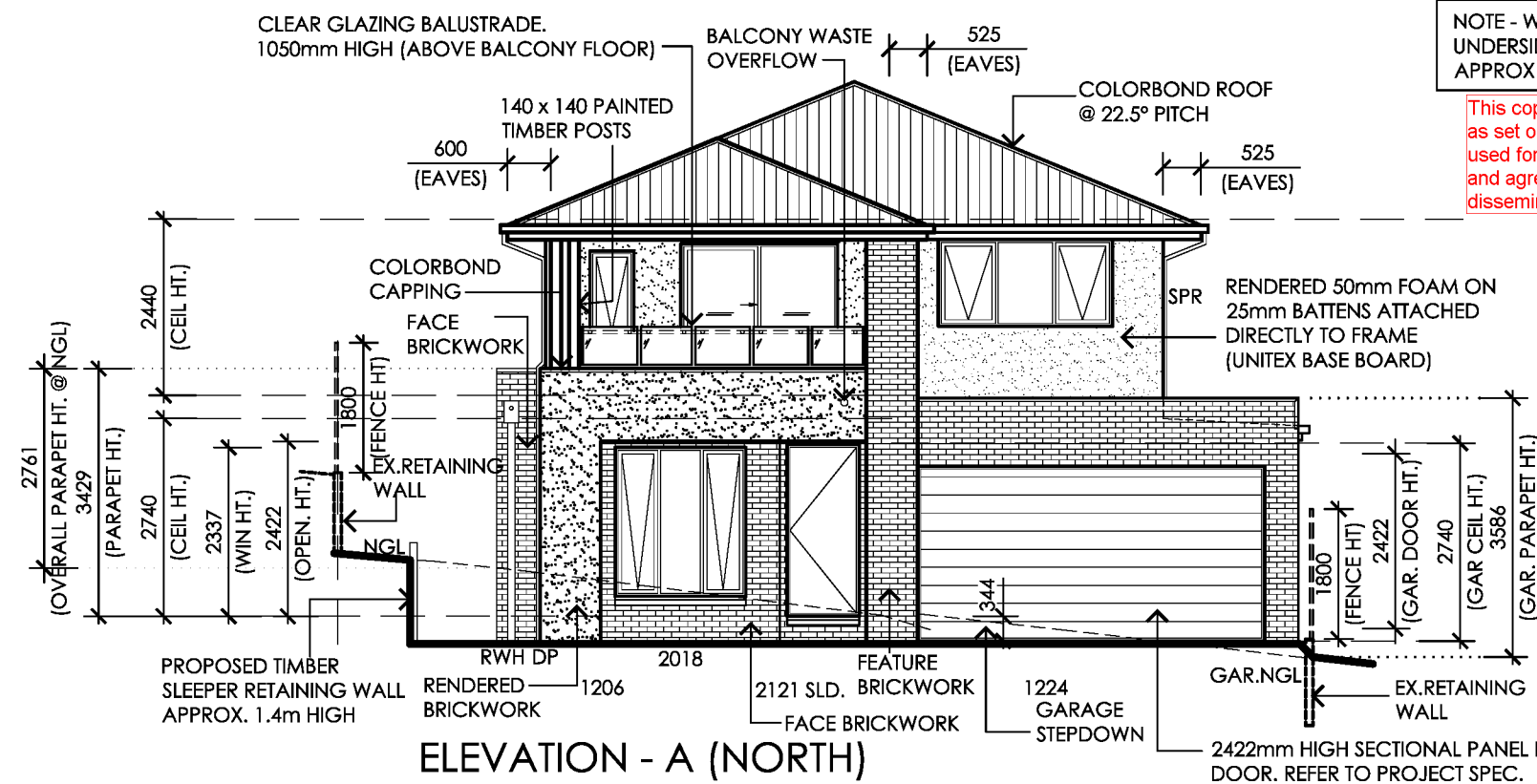
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DOUBLE GLAZING - AS PER FLOOR PLAN

VARIATION

VARIATION No. - **PCV 1.3**
DRAFTSPERSON - **VN**
DATE - **30.04.2025**



ELEVATION - A (NORTH)

SCALE 1:100
(BAY MK2 FACADE)

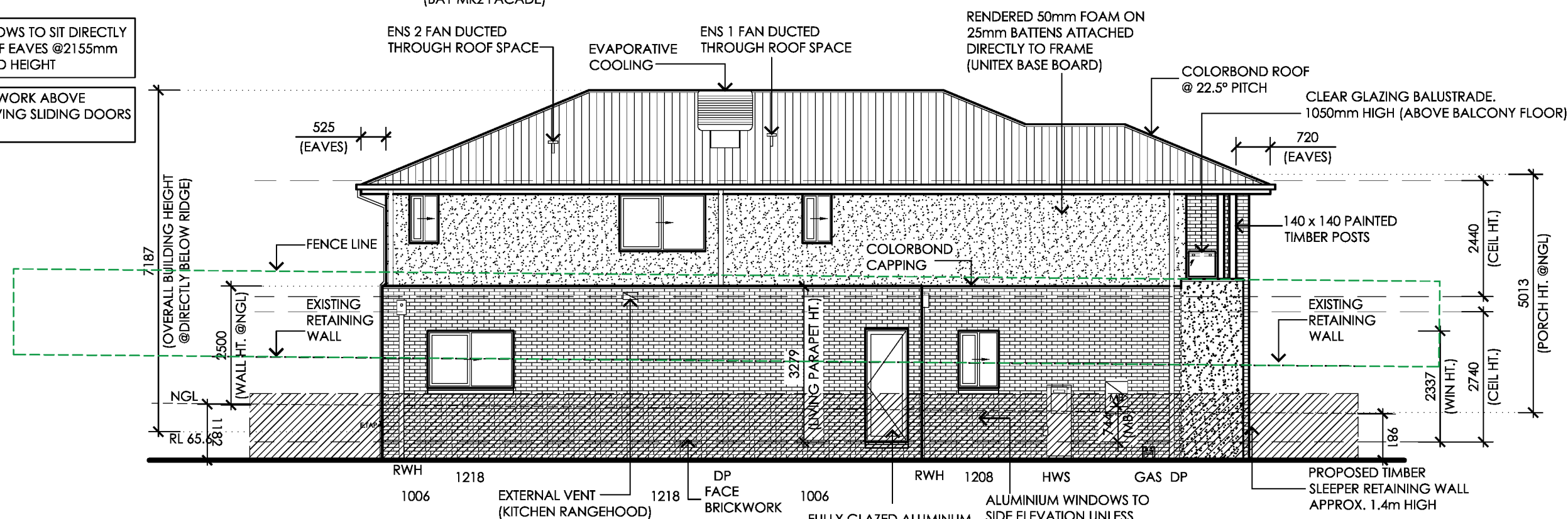
NOTE - WINDOWS TO SIT DIRECTLY
UNDERSIDE OF EAVES @2155mm
APPROX HEAD HEIGHT

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VARIATION

VARIATION No. - **PCV 1.3**.....
DRAFTSPERSON - **VN**.....
DATE - **30.04.2025**

SAFETY GLAZING TO A.S.1288
REFER TO GENERAL NOTES



ELEVATION - B (EAST)

SCALE 1:100

SAFETY GLAZING TO A.S.1288
REFER TO GENERAL NOTES

NOTE - WINDOWS TO SIT DIRECTLY
UNDERSIDE OF EAVES @2155mm
APPROX HEAD HEIGHT

NOTE - BRICKWORK ABOVE
OUTDOOR LIVING SLIDING DOORS
& WINDOWS

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VARIATION No. - **PCV 1.3**
DRAFTSPERSON - .. **VN**
DATE - **30.04.2025**

ELEVATION - C (SOUTH)
SCALE 1:100

NOTE - WINDOWS TO SIT DIRECTLY
UNDERSIDE OF EAVES @2155mm
APPROX HEAD HEIGHT

ELEVATION - D (WEST)
SCALE 1:100

GARAGE WALL HEIGHT CALCULATIONS:
AREA - 19.66m² / LENGTH - 6.48m = 3.033m

**SAFETY GLAZE TO A.S.1288
REFER TO GENERAL NOTES**

**ALUMINIUM WINDOWS TO
SIDE ELEVATION UNLESS
NOTED OTHERWISE**

EXISTING RETAINING WALL

**EXISTING RETAINING WALL
FENCE LINE**

FACE BRICKWORK

SPR

**COLORBOND ROOF
@ 22.5° PITCH**

COLORBOND CAPPING

ETAP

RL 65.6

DP

2012

1218

1218

1014

1006

1208

344

365

3586 (GAR. HT.)

3279 (BRICK HT.)

3562 (GAR. HT.)

2740 (CEL. HT.)

2337 (WIN. HT.)

2440 (CEL. HT.)

5905 (WALL HT. @NGL)

7187 (OVERALL BUILDING HEIGHT @DIRECTLY BELOW RIDGE)

525 (EAVES)

450 (EAVES)

525 (EAVES)

3709 (GAR PARAPET HT.)

2740 (GAR CEL. HT.)

POR. NGL

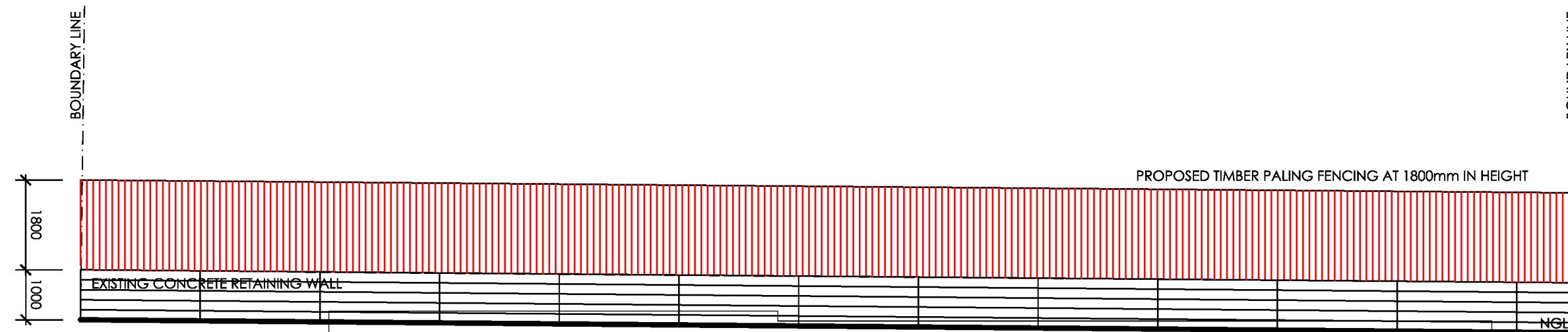
GAR. NGL

GARAGE STEPDOWN

UNITEX BASE BOARD

GARAGE WALL HEIGHT CALCULATIONS:
AREA -19.66m² / LENGTH - 6.48m = 3.033m

SAFETY GLAZE TO A.S.1288
REFER TO GENERAL NOTES



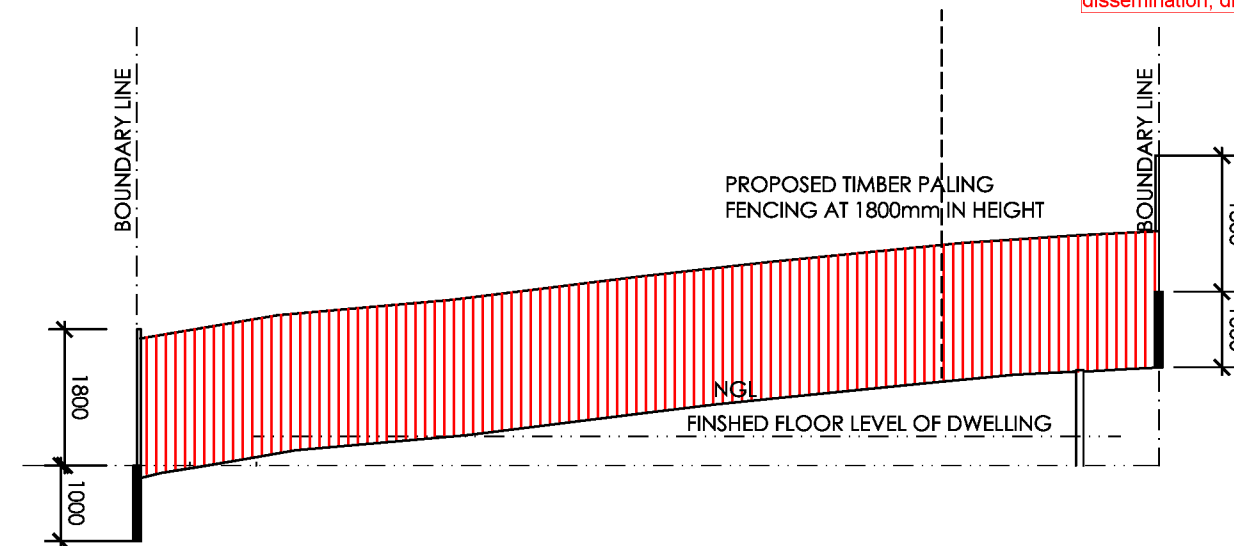
ELEVATION - B (EAST)

SCALE 1:100

PROPOSED CONCRETE RETAINING WALL

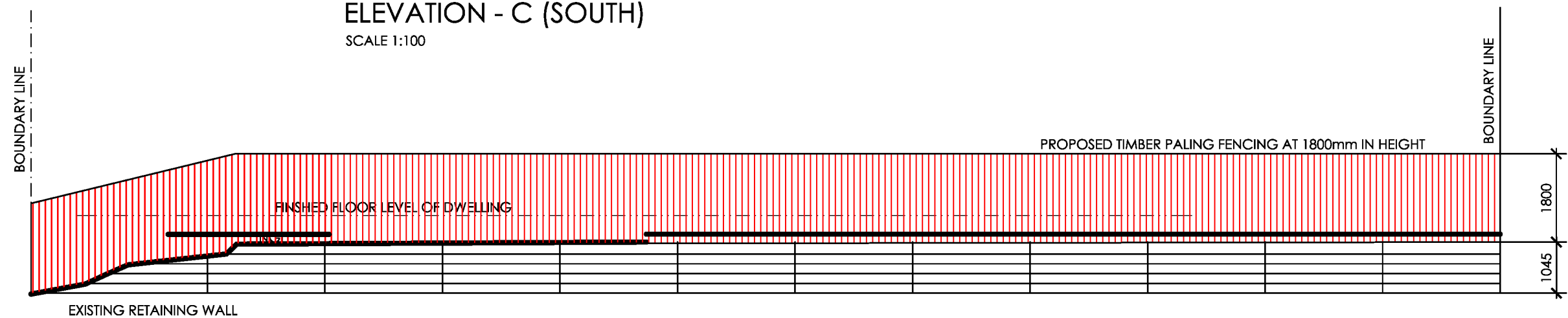
FINISHED FLOOR LEVEL OF DWELLING

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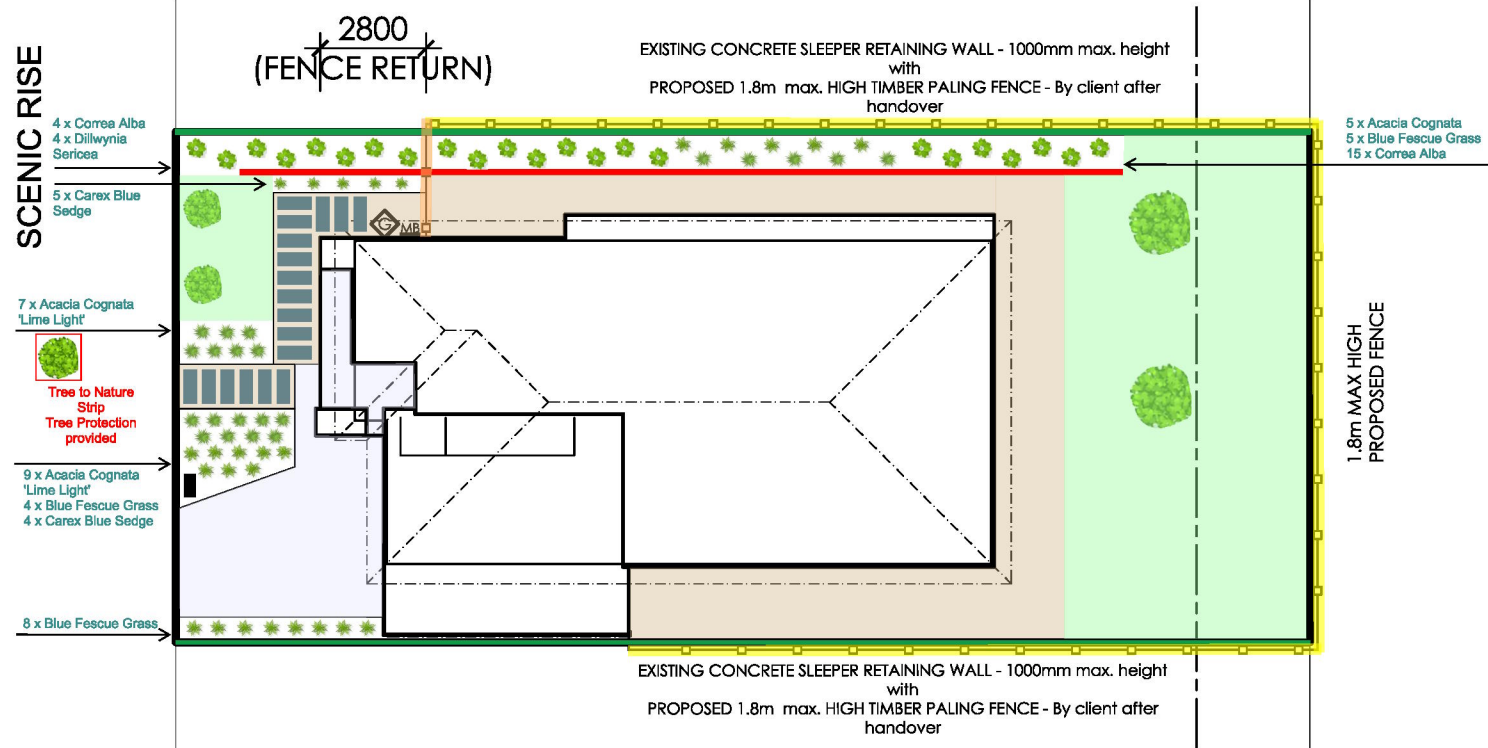
ELEVATION - C (SOUTH)

SCALE 1:100



ELEVATION - D (WEST)

SCENIC RISE



NOTE - OPTICOMM PROVISIONS
INSTALLED TO DWELLING READY FOR
CONNECTION

SOLAR:
6.4kW SOLAR PV SYSTEM 15 PANELS - (NUMBER OF PANELS INDICATIVE ONLY -
FINAL NUMBER OF PANELS AT SUPPLIER DISCRETION)

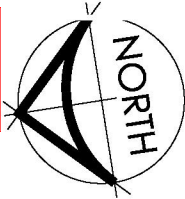
LANDSCAPING NOTES:
PLANT SELECTION SHOULD MINIMISE THE NEED FOR GARDEN WATERING.
GARDEN BEDS TO BE MULCHED TO CONSERVE WATER, PREVENTING EVAPORATION
& REDUCING RUN-OFF.
NATURE STRIP TO BE ESTABLISHED IN TURF ONLY.
OTHER PLANT RECOMMENDATIONS CAN BE OBTAINED FROM CARDINIA COUNCIL.

DRIVEWAY:
PROPOSED DRIVEWAY BY CLIENT AFTER HANDOVER:
MUST BE OF NEUTRAL TONE AND COMPLIMENT THE DWELLING EXTERNAL PALETTE.
PLAIN CONCRETE IS NOT PERMITTED.

SIDE & REAR FENCING:
CONSTRUCTED FROM LAPPED TIMBER PALINGS WITH TIMBER CAPPING, EXPOSED
TIMBER POSTS TO A HEIGHT OF 1.8m SETBACK MINIMUM 1.5m FROM FRONT
BUILDING LINE OR 1m BEHIND NEIGHBOURING DWELLING.
RETURN FENCING:
CONSTRUCTED FROM STAINED HARDWOOD WITH HORIZONTAL SLATING EXTENDING
FROM BOUNDARY TO THE DWELLING AT THE ABOVE MENTIONED SETBACKS.
CORNER LOT FENCING:
CONSTRUCTED FROM TIMBER PALINGS WITH TIMBER CAPPING, EXPOSED TIMBER
POSTS TO A HEIGHT OF 1.8m LIMITED TO A MAXIMUM OF 70% OF THE ALLOTMENT
LENGTH.

LOT 117, 16 SCENIC RISE, PAKENHAM

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FRONT LANDSCAPING SCHEDULE

SIDE & REAR FENCING - See notes below
RETURN FENCING - See notes below

DRIVEWAY & PORCH/PATH:
Charcoal Stipple Finish Colour-Through Concrete

LETTERBOX:
Pillar Style to complement the dwelling

MATURE CANOPY TREE:
* Magnolia - Little Gem - 400mm pot size (3-4m in height - front yard x 2)
* Eucalyptus Leucoxylon Rosea - Red Flowering Dwarf Yellow Gum - 800mm pot size (15m in
height - rear yard x 2)

PLANTING SCHEDULE:
* Large Shrub - 300mm pot size - Correa Alba x 19
* Medium Shrub - 200mm pot size - Dillwynia Sericea x 4

PLANTING SCHEDULE:
* Small Shrub - 150mm pot size - Acacia Cognata "Lime Light" x 16

PLANTING SCHEDULE:
* Blue Fescue Grass - Festuca Glauca - max. 50mm height x 17
* Carex 'Blue Sedge' - Carex Flacca Glauca - max. 30mm height x 9

STEPPING STONE IN GRAVEL

**LANDSCAPED GRAVEL PATHWAY TO PERIMETER OF
DWELLING**

DEVELOPER CONCRETE SLEEPER RETAINING WALL
Full length of boundary at approx. 1000mm height

PROPOSED TIMBER SLEEPER RETAINING WALL
Total length 23320mm ranging from 1200mm to 1400m height

LANDSCAPE PLAN IS NOT TO SCALE.
CONCEPTUAL PLAN ONLY.
SCALED ITEMS SHOWN ON REV #D
DRAWINGS SITE PLAN & ELEVATIONS