

# Notice of Application for a Planning Permit

The land affected by the application is located at:	L117 LP13494 20 Lakeside Drive, Emerald VIC 3782
The application is for a permit to:	Buildings and Works (Construction of an Outbuilding) and Removal of Vegetation

A permit is required under the following clauses of the planning scheme:

42.02-2	Remove, destroy or lop vegetation
43.02-2	Construct a building or construct or carry out works
44.06-2	Construct a building or construct or carry out works associated with accommodation

## APPLICATION DETAILS

The applicant for the permit is:	Johns Lyng Group
Application number:	T250265

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

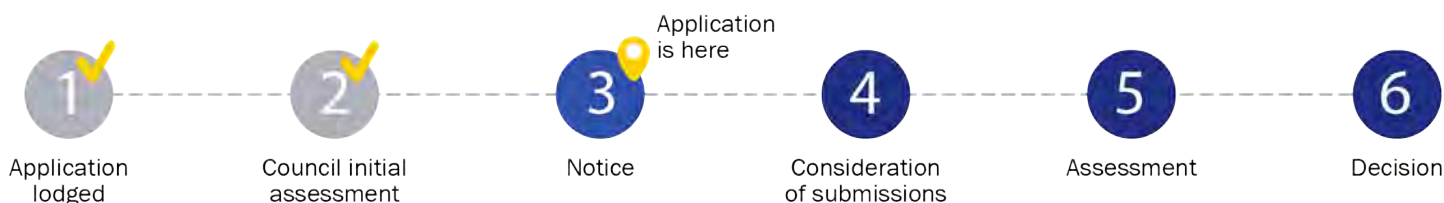
This can be done during office hours and is free of charge.

Documents can also be viewed on Council's website at [cardinia.vic.gov.au/advertisedplans](http://cardinia.vic.gov.au/advertisedplans) or by scanning the QR code.



## HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		26 September 2025
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul>	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



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## ePlanning

### Application Summary

Portal Reference A22544R1

### Basic Information

Proposed Use	The Johns Lyng Group has been engaged to complete repair work to the storm damaged shed at the subject property. Due to the extent of damage, the shed needs to be re-constructed, including the concrete slab. Please note that this planning permit is specifically for the shed's concrete slab only. The Johns Lyng Group is an insurance builder, which means that our scope of works is built on a like-for-like basis. The shed will be re-constructed to match its existing conditions, including its position on the lot, colours, sizing, and finishes. Please be advised and review the submitted document for this application. The use of this shed was purely for storage.
Current Use	A shed at the rear of the property. The use of this shed was purely for storage. The Johns Lyng Group is an Insurance builder, which means our scope is built on a like-for-like basis. Therefore, the document that we submit with the planning application reflects both our proposal and the shed's existing conditions.
Cost of Works	\$65,022
Site Address	20 Lakeside Drive Emerald 3782

### Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

### Contacts

Type	Name	Address	Contact Details
Applicant	Johns Lyng Group	1 Williamsons Rd, Doncaster VIC 3108	W: 03-9272-0000 M: 0461-497-316 E: ppradaswari@johnslyng.com.au
Owner			
Preferred Contact	Johns Lyng Group	1 Williamsons Rd, Doncaster VIC 3108	W: 03-9272-0000 M: 0461-497-316 E: ppradaswari@johnslyng.com.au

### Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 3 More than \$10,000 but not more than \$100,000	\$694.00	100%	\$694.00
Total			\$694.00



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VC, 3810

**Email:** mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

Documents Uploaded

Date	Type	Filename
14-05-2025	A Copy of Title	Title.pdf
14-05-2025	Encumbrance	POS.pdf
14-05-2025	Alteration statement	Johns_Lyng_Insurance_Builders_-_5227499833.2_-_ (7.5x16x4.9)_-Engineering_RegA5 (1).pdf
14-05-2025	Site plans	24756_Plans (2025-02-27).pdf
14-05-2025	Additional Document	Concrete Slab Scope with Cost for JVB501961.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	<div>Johns Lyng G</div>	1 Williamsons Rd, Doncaster VIC 3108 1 Williamsons Rd, Doncaster VIC 3108, Doncaster VIC 3108	W: 0461-497-316 M: 0461-497-316 E: ppradaswari@johnslyng.com.au
Submission Date	14 May 2025 - 12:26:PM		

Declaration

☒ By ticking this checkbox, I  declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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20 Siding Avenue, Officer, Victoria  
  
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# Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

## PERMIT APPLICATION DETAILS

Application No.:	T250265 PA
Address of the Land:	L117 LP13494, 20 Lakeside Drive, Emerald VIC 3782

## APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	Johns Lyng Group
Address:	1 Williamsons Road, Doncaster VIC 3108
Phone:	0461 497 316
Email:	ppradaswari@johnslyng.com.au

## AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant <b>before</b> notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority <b>before</b> notice:	<input type="checkbox"/>
Section 57A – Amendment to application <b>after</b> notice is given:	<input type="checkbox"/>

## AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
The town planning was initially applied for the construction of concrete slab. However, we would like to amend the application for both the concrete slab and the shed as per the reviewed town planning drawings by the assigned planner. [REDACTED]		



<b>Specify the estimated cost of any development for which the permit is required:</b>		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

## DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.		
Name:		
Signature:		
Date:	01/07/2025	

## LODGEMENT

<p>Please submit this form, including all amended plans/documents, to <a href="mailto:mail@cardinia.vic.gov.au">mail@cardinia.vic.gov.au</a></p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at <a href="https://eplanning.cardinia.vic.gov.au/">https://eplanning.cardinia.vic.gov.au/</a></p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

## IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 08063 FOLIO 008

Security no : 124122413977H  
Produced 27/02/2025 02:22 PM

**LAND DESCRIPTION**

Lot 117 on Plan of Subdivision 013494.  
PARENT TITLE Volume 06653 Folio 496  
Created by instrument 2678186 28/09/1954

**REGISTERED PROPRIETOR**

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE LP013494 FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 20 LAKESIDE DRIVE EMERALD VIC 3782

**ADMINISTRATIVE NOTICES**

NIL

DOCUMENT END

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Document Type	<b>Plan</b>
Document Identification	<b>LP013494</b>
Number of Pages (excluding this cover sheet)	<b>5</b>
Document Assembled	<b>27/02/2025 14:22</b>

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# PLAN OF SUBDIVISION

Part of Crown Allotments 41<sup>E</sup> and 40<sup>F</sup>  
PARISH OF NANGANA  
and Part of Crown Allotments 53<sup>A</sup> and 53<sup>B</sup>

## PARISH OF GEMBROOK

COUNTY OF EVELYN

VOL. 5717 FOL. 1143307

Measurements are in Feet & Inches

Conversion Factor

FEET X 0.3048 = METRES

DEPTH LIMITATION:

50 FEET (C.A. 40F)

ROAD HATCHED BLUE OVER BROWN HAS  
BEEN DISCONTINUED VIDE A.O. IN LED 4503  
1-5-86

J. Svanovic  
Assistant Registrar of Titles

### ENCUMBRANCES

AS TO THE LAND SHOWN E-1 & E-2  
THE EASEMENT OF WAY AND DRAINAGE  
CREATED IN C/E F 439444  
IN FAVOUR OF LOT 103

AS TO THE LAND COLOURED BROWN:  
ANY EASEMENTS AFFECTING THE SAME

# LP 13494

## EDITION 7

PLAN MAY BE LODGED 9.4.31

### COLOUR CODE

E-1 & BL = BLUE G=GREEN  
BR=BROWN P=PURPLE  
Y=YELLOW R=RED  
H=HATCH CH=CROSS HATCH  
R H=RED HATCH BLH=BLUE HATCH

### APPROPRIATIONS

THE LAND COLOURED BLUE  
IS APPROPRIATED OR SET  
APART FOR EASEMENTS OF  
DRAINAGE AND SEWERAGE  
AND IS 6 FEET WIDE

THE LAND COLOURED BROWN  
IS APPROPRIATED OR SET  
APART FOR ROADS

ROAD SHOWN HATCHED RED  
DISCONTINUED VIDE A.O. IN L.G.D. 3712  
27-8-85

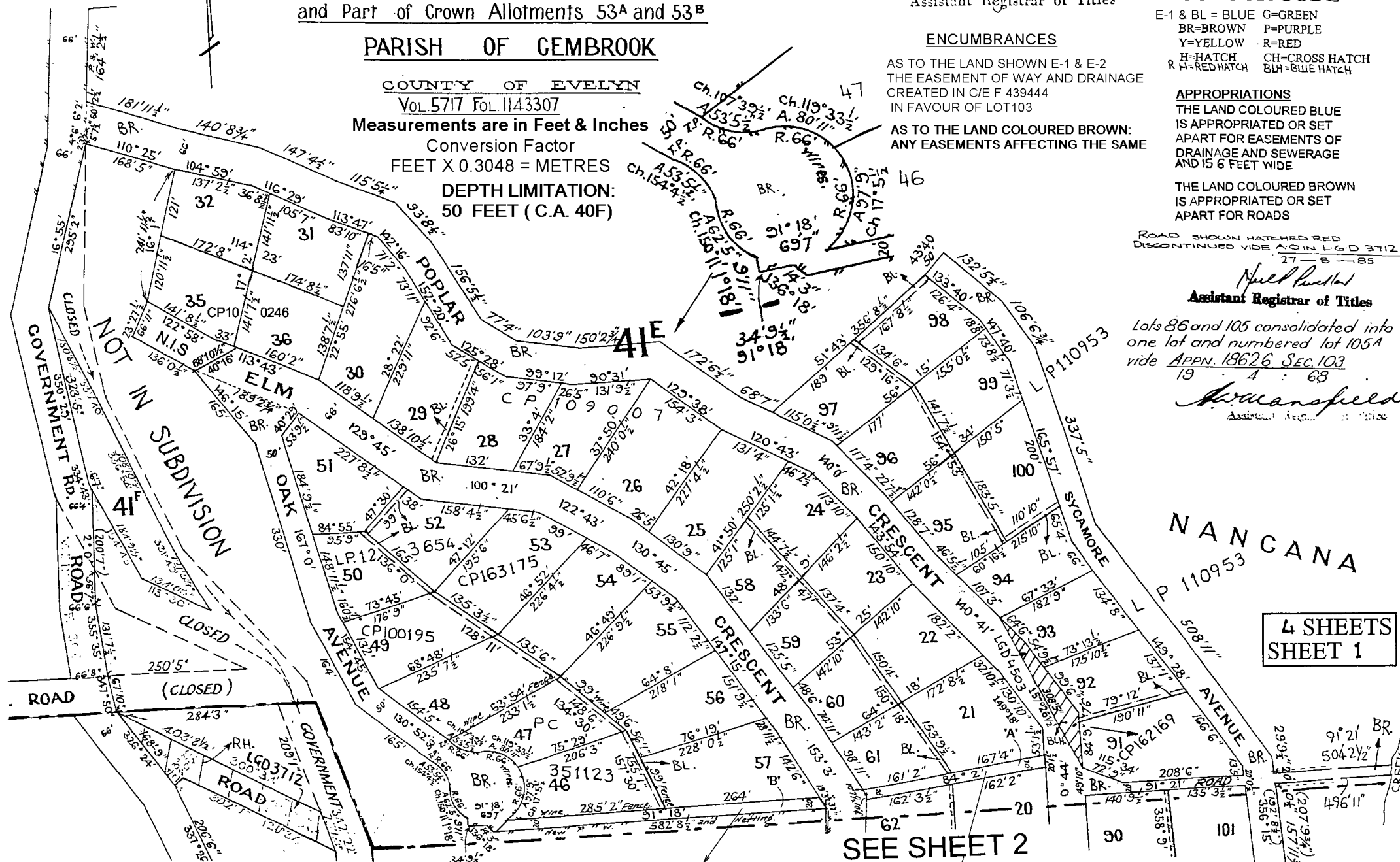
Assistant Registrar of Titles

Lots 86 and 105 consolidated into  
one lot and numbered lot 105A  
vide APPN. 18626 SEC. 103  
19 4 68

Assistant Registrar of Titles

# NANGANA

4 SHEETS  
SHEET 1



ROAD DISCONTINUANCE  
(SEE TP 905806V)

ROAD DISCONTINUANCE  
(SEE TP 905797T)

SEE SHEET 2



LP 13494



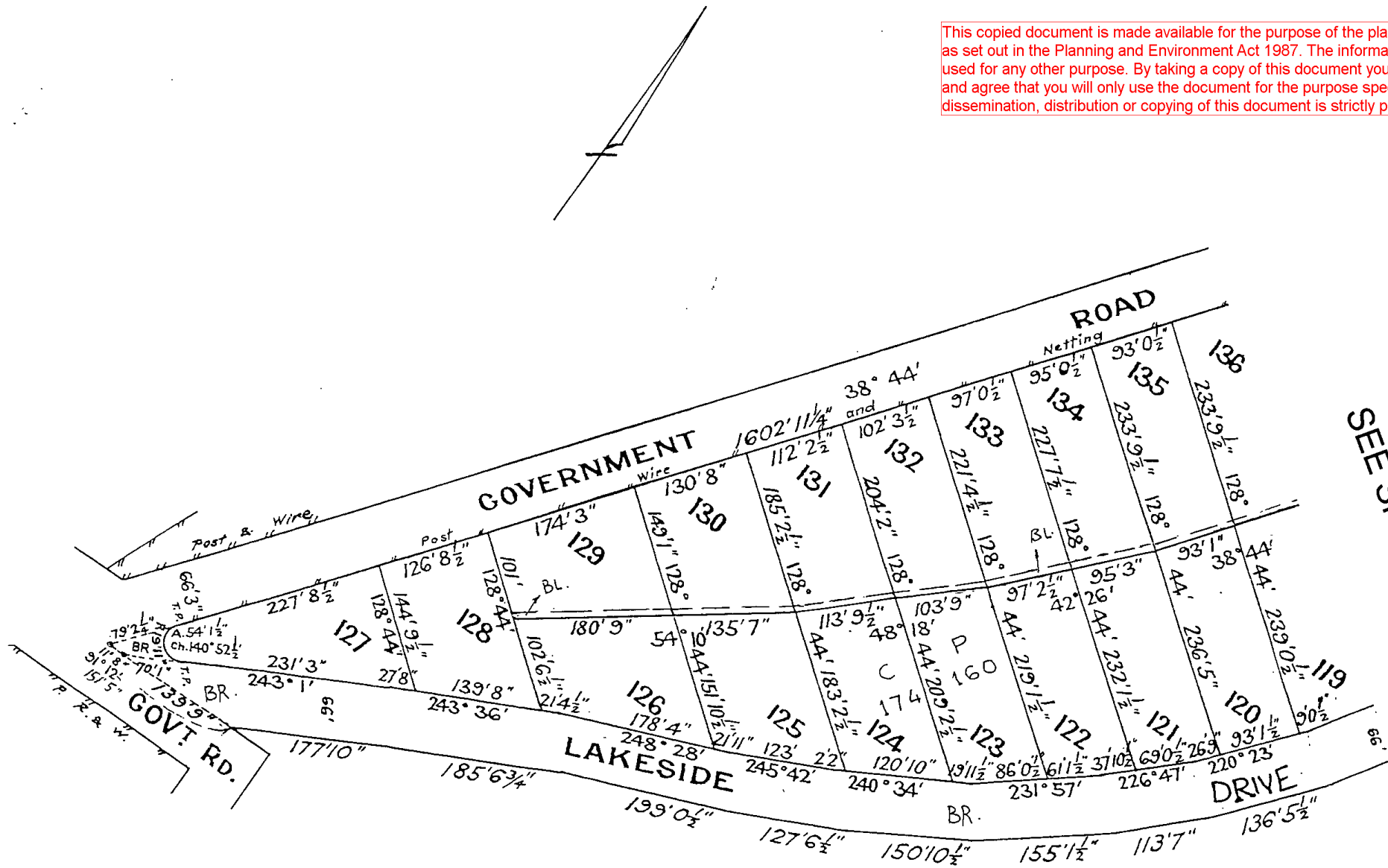
4 SHEETS  
SHEET 2

SEE SHEET 2

4 SHEETS  
SHEET 3

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SEE SHEET 3



# MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED.  
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL PLAN/DOCUMENT.

## PLAN NUMBER

### LP 13494

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
LOT 88	E-1 & E-2	CREATION OF EASEMENT	C/E F 439444			2	MLB
LOTS 31, 32, 35 & 36		REMOVAL OF DRAINAGE & SEWERAGE EASEMENT	PS524756U	24/5/2006		3	RCL
'A'		ROAD DISCONTINUANCE ( SEE TP 905797T )	AE963097C	21/03/2007		4	REN
'B'		ROAD DISCONTINUANCE (SEE TP905806V)	AE963099X	21/3/07		5	REN
ELM STREET		DISCONTINUED AS TO PART ( SEE TP 894860T )	AH233846H	19/5/10		6	IT
ROAD	BR	EASEMENTS ENHANCED				7	AD

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# Arboricultural Report

## Arboricultural Impact Assessment

---



Provide specialist arboriculture advice for  
vegetation management in the urban  
forest.

20 Lakeside Drive  
Emerald VIC 3782

### Commissioned By:

Johns Lyng Group  
[REDACTED]

Ph: 0461 497 316

E: ppradaswari@johnslyng.com.au

### Report No.

134-2025

### Report Date:

04/08/2025

### Prepared By:

[REDACTED]  
AQF Level 5 - Dip. Arb

Consulting Arborist

QTRA Accreditation: 7697

### Reviewed by:

[REDACTED]  
AQF Level 5 - Dip. Hort Arb

Consulting Arborist

QTRA Accreditation: 7092

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# Table of Contents

<b>INTRODUCTION</b>	<b>3</b>
CRITICAL ISSUES	3
DETERMINING NOTIONAL ROOT ZONES & TREE PROTECTION ZONES	4
VARIATIONS TO THE NRZ	4
<b>METHODOLOGY</b>	<b>5</b>
<b>OBSERVATIONS</b>	<b>6</b>
<b>DISCUSSION / IMPACT ASSESSMENT</b>	<b>7</b>
<b>APPENDIX 1 - PROPOSED PLANS</b>	<b>10</b>
<b>APPENDIX 2 - EXISTING SITE - AERIAL IMAGE</b>	<b>11</b>
<b>APPENDIX 3 - TREE PHOTOS</b>	<b>12</b>
<b>APPENDIX 4 - GLOSSARY</b>	<b>15</b>
<b>APPENDIX 5 - TREE DESCRIPTORS</b>	<b>17</b>
<b>REFERENCES</b>	<b>20</b>
DISCLAIMER	20

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## Introduction

Rigoni Tree Solutions (RTS) has been engaged by Johns Lyng Group on behalf of the property owner to undertake an Arboricultural Impact Assessment (AIA) and prepare the Tree Protection Specifications (TPS) and a Tree Protection Plan (TPP) for 20 Lakeside Drive, Emerald (Subject Property) in relation to the proposed construction to reinstate a shed/garage damaged when a tree on an adjoining property failed.

The overall site is located within a Low Density Zone (LDRZ2), Vegetation Protection Overlay (VPO1), Design and Development Overlay (DDO1) and Bushfire Management Overlay (BMO) in the City of Cardinia (the 'Responsible Authority') (DTP, 2025).

The VPO1 requires a permit to remove, destroy or lop any vegetation unless exempt under clause 52.12 Bushfire Protection, within 6m of an existing dwelling on a lot less than 0.4ha, normal pruning practices or if the species is listed as an environmental weed.

Notional Root Zone (NRZ), Structural Root Zones (SRZ) and Tree Protection Zone (TPZ) have been calculated for each tree, with measurements provided to assist with the design and development phases.

### CRITICAL ISSUES

Demolition and construction works can negatively affect retained trees both directly through mechanical injury and indirectly in ways that are not evident immediately but affect the health of the tree in the long term. It is for this reason that tree protection measures should be implemented and adhered to throughout the entire development process.

Arboricultural techniques cannot repair construction damage to a tree or the degradation to its environment. Arborists only have a limited ability to 'cure' specific injuries or generalized stress caused by construction activities. Once a tree has been damaged, few remedial treatments are available (Matheny & Clark 1998).

Direct damage to roots through trenching and site cuts can remove absorbing roots and sever structural roots. Root activity can be compromised by various activities: soil compaction, sealing the soil surface by adding soil fill over roots. These activities limit the amount of oxygen and moisture that may reach the roots, and without which roots cannot function. Tree trunks and branches are easily damaged by machinery during works. It is important that trees are properly protected throughout all stages of the project starting at the design phase.

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## DETERMINING NOTIONAL ROOT ZONES & TREE PROTECTION ZONES

The following information has been adapted from the Australian Standard for the Protection of trees on development sites (AS4970-2025):

The Notional Root Zone (NRZ) is the principal means of protecting trees on development sites below ground. The Tree Protection Zone (TPZ) is a combination of the root area (NRZ) and crown area requiring protection. It is an area isolated from construction disturbance, so that the tree remains viable.

The radius of the NRZ is calculated for each tree by multiplying its diameter at standard height (DSH) by 12. DSH is measured 1.4m above ground level. The NRZ radius is applied from the centre of the stem at ground level. The following also applies:

- The NRZ incorporates the structural root zone (SRZ).
- A NRZ should not be less than 2 m nor greater than 15 m (except where crown protection is required).
- The NRZ of palms, other monocots, cycads and tree ferns should not be less than 1 m outside the crown projection.

The Tree Protection Zone (TPZ) is the specified zone above and below ground to protect the trees roots and crown during the development.

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## VARIATIONS TO THE NRZ

It may be possible to encroach into or make variations to the standard NRZ. Encroachment includes excavation, compacted fill and machine trenching.

### MINOR ENCROACHMENT

If the proposed encroachment is less than 10% of the area of the NRZ and is outside the SRZ detailed root investigations should not be required. The area lost to this encroachment should be compensated for elsewhere and contiguous with the NRZ. Variations must be made by the Project Arborist considering relevant factors listed.

### MODERATE ENCROACHMENT

If the proposed encroachment is greater than 10% and less than or equal to 20%, the Project Arborist must demonstrate that the tree(s) will remain viable. This may be through the implementation of suitable design measures and construction controls or possible further investigations such as non-destructive methods where suitable. The area lost to this encroachment should be compensated for elsewhere and contiguous with the NRZ.

### MAJOR ENCROACHMENT

If the proposed encroachment is greater than 20% of the NRZ or inside the SRZ, the Project Arborist is to explore alternative designs with the design team and/or demonstrate that the tree will remain viable. A more detailed investigation is necessary. This can include research such as root investigations, soil analysis, historical records of the tree or site, relevant literature and examples of similar encroachments. The area lost to this encroachment should be compensated for elsewhere and contiguous with the NRZ.

On Monday 28<sup>th</sup> July 2025, a detailed inspection was undertaken from the ground by [REDACTED]. Observations, estimations, measurements and photographs were taken during the inspection. Samples from the trees, including fruit, buds, bark and leaves were gathered to help in identifying the genus/species.

Detailed individual tree data (measurements and assessments) can be found in the observations section, starting on the next page. The proposed plans are shown in Appendix 1 whilst the existing site plan showing all trees numbers and locations is in Appendix 2. Tree photos can be found in Appendix 3, with tree descriptors located in Appendix 5 of this report for reference in understanding the data collected for the tree assessed.

Data collected for the trees included:

- **Genus and species identification**
- **Common name of each tree**
- **An estimation of tree height and canopy width**
- **Origin of the species**
- **Measuring the Diameter at Standard Height (DSH) (measured at 1.4m above ground level) and Diameter at Base (DAB) (measured at ground level) of each tree**
- **An estimation of tree age**
- **The health of each tree**
- **The structure of each tree**
- **The hazard that each tree presents to the site**
- **The Useful Life Expectancy (ULE) of each tree**
- **The Arboricultural Significance and retention value of each tree, as calculated on the STARS regimen.**
- **Tree Protection Zone (TPZ) in accordance with AS4970-2005**
- **Notional Root Zone (NRZ) in accordance with AS4970-2025**
- **Structural Root Zone (SRZ) in accordance with AS4970-2025**

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A visual assessment was done above ground on the root system with no evidence of problematic structural issues. Underground exploration was done only in the areas indicated in this report, otherwise no other underground exploration was undertaken, and no liability can be taken for any faults occurring underground. All the information given is in accordance with normal weather conditions and not in severe weather events. The assessment information relates to evidence taken on the day of inspection only and does not include changes thereafter. Rigoni Tree Solutions recommends reassessing the tree annually or directly after severe weather events.

**Note:** Tree descriptors are located in the appendix of this report for reference in understanding the data collected for the tree assessed.

# Observations

Table 1 Detailed tree data tree survey at 20 Lakeside Drive, Emerald. All measurements are in metres. Map: Appendix 1 Aerial Site Maps. GL = Ground Level.

Tree #	Genus/species (Common name)	Height (m)	Width (m)	Origin	Age	Health	Structure	Hazard	ULE	Significance	DSH (m)	DAB (m)	NRZ (m)	SRZ (m)	Permit req	Comments
TG1	<i>Photinia x fraseri</i> 'Robusta' (Red-tip Photinia)	7	3x3	Exotic	Semi Mature	Fair	Fair	Low	Long	Medium	0.20	0.22	2.40	1.75	NA	Offsite group of 8 trees on a neighbouring property. Canopies overhang subject site by ~2.8m to within 1m of shed footprint
T2	<i>Pittosporum undulatum</i> (Sweet Pittosporum)	7	6x4	Vic. Native	Semi Mature	Good	Fair	Low	Long	Medium	0.21	0.24	2.52	1.82	NA	Offsite tree on a neighbouring property. Overhangs subject property by 3m at the western end of the shed footprint
T3	<i>Pinus radiata</i> (Monterey Pine)	24	10x10	Vic. Native	Mature	Fair	Fair	Low	Long	Medium	1.00	1.11	12.00	3.46	NA	Offsite tree on a neighbouring property. Canopy predominantly above 10m due to structure
TG4	<i>Acacia melanoxylon</i> (Blackwood)	12	4x4	Vic. Native	Semi-Mature	Fair	Fair	Low	Medium	Medium	0.36	0.40	4.32	2.25	Yes	Onsite group of 3 trees. Northern tree is parent tree with the other two trees smaller and likely self-seeded. Lower limbs extend to ~3.5m from west end of shed footprint. The English ivy around trunk
T5	<i>Eucalyptus obliqua</i> (Messmate Stringybark)	19	9x9	Locally occurring	Semi-Mature	Good	Good-Fair	Low	Long	High	0.82	0.93	9.84	3.21	NA	Offsite tree on a neighbouring property
T6	<i>Cinnamomum camphora</i> (Camphor Laurel)	10	10x10	Exotic	Semi-Mature	Good	Fair	Low	Long	Medium	0.59	0.68	7.08	2.81	NA	Offsite tree on a neighbouring property. Multistemmed from GL. Canopy in contact with T5
TG7	<i>Cupressus leylandii</i> (Leyland Cypress)	15	8x8	Exotic	Semi-Mature	Good	Good-Fair	Low	Long	Medium	0.59	0.67	7.08	2.80	NA	Offsite group of 3 trees on a neighbouring property. Closest tree is largest and the one measured. Other two in group are smaller. ~9.5m to nearest edge of shed footprint. Western canopy to within 4m of shed footprint

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Seven trees/tree groups have been assessed as part of this report with one group onsite, one tree on a shared boundary and the remainder offsite on adjoining properties. Whilst other vegetation was present onsite and on adjoining properties, only trees within 15 metres of the proposed reinstated shed were assessed as requested by the Responsible Authority.

The proposal calls for the construction of a reinstated shed/garage in the rear setback after the original shed was severely damaged when a tree on an adjoining property failed, impacting the shed.

Of the seven tree/tree groups included within this report, none are impacted by the proposed shed construction for the following points:

- The reinstated shed is to be located within the same location as the damaged shed and there is no new encroachment as the trees are acclimatised to the site conditions
- All trees are at a higher grade than the footings of the shed with a retaining wall between the trees and shed. The retaining wall is between 600-1000mm high. Given the size and locations of the trees, it is unlikely these trees have any roots in the impacted area

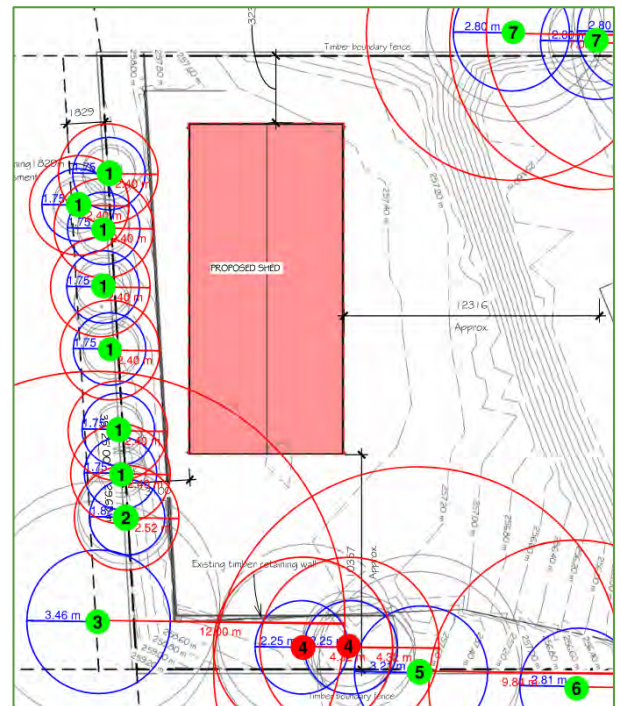


Image 1: Site layout and NRZ/SRZ radii

As such, no trees are required to be removed (lost) in terms of reinstating the shed and provided the trees are protected as per the sites TPS & TPP, they are unlikely to be adversely impacted by the proposal.

However, in terms of s52.12 and s53.02 for defensible space (light blue areas in image 2) show trees within a 10 metre defensible space. Tree Group 1 and Trees 2-3 & 5-6 are offsite on adjoining properties and cannot be removed.

Suitable defensible space can however be created by undertaking the following actions.

1. Removal of Tree Group 4 - This group of *Acacia melanoxylon* (Blackwood) are onsite and their structure precludes pruning for clearance. Their removal will not adversely impact the local environment not local area aesthetics. The species are comparatively short lived compared to the other trees within the report.

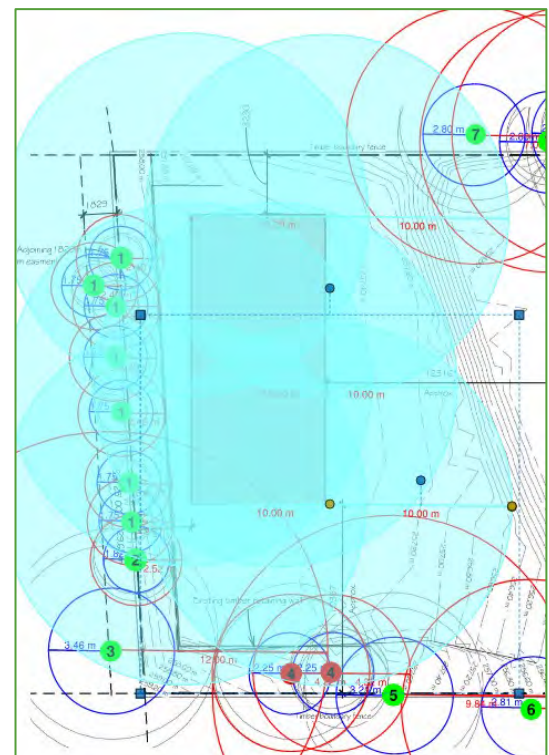


Image 2: 10m radius from the proposed reinstated shed

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## 2. Undertake pruning of offsite trees

- a) Tree Group 1 & Tree 2 - Prune overhanging branches and limbs back to the fence line or behind the fence line. This will maximise clearance of flammable materials from the shed, creating a distance of approximately 4m from the shed. These trees are considered small and a sufficient distance from the shed. The area between the shed and trees is to be maintained as clear of flammable materials
- b) Tree 3 - The structure of this tree precludes works required. Most of the canopy (most flammable part of a tree) is at a height of ~10m or higher and above the shorter trees within TG1 and T2, reducing the likelihood this tree contributing to fire impact upon surrounding vegetation and the proposed shed
- c) Tree 5 & 6 - Canopy reduction pruning (detailed below) will create a minimum canopy separation of 5 metres, allowing retention of both larger, significant trees

Where the above recommendations are implemented, only three trees are required to be lost, whilst the pruning recommendations will create maximum distances from the shed and/or create minimum canopy separations between offsite significant trees.



Image 3: Pruning requirements for TG1



Image 4: Pruning requirements for TG1 (cont.)

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Image 5: Pruning requirements for T2



Image 6: Pruning requirements for T5 & T6



Image 7: Pruning requirements for TG7

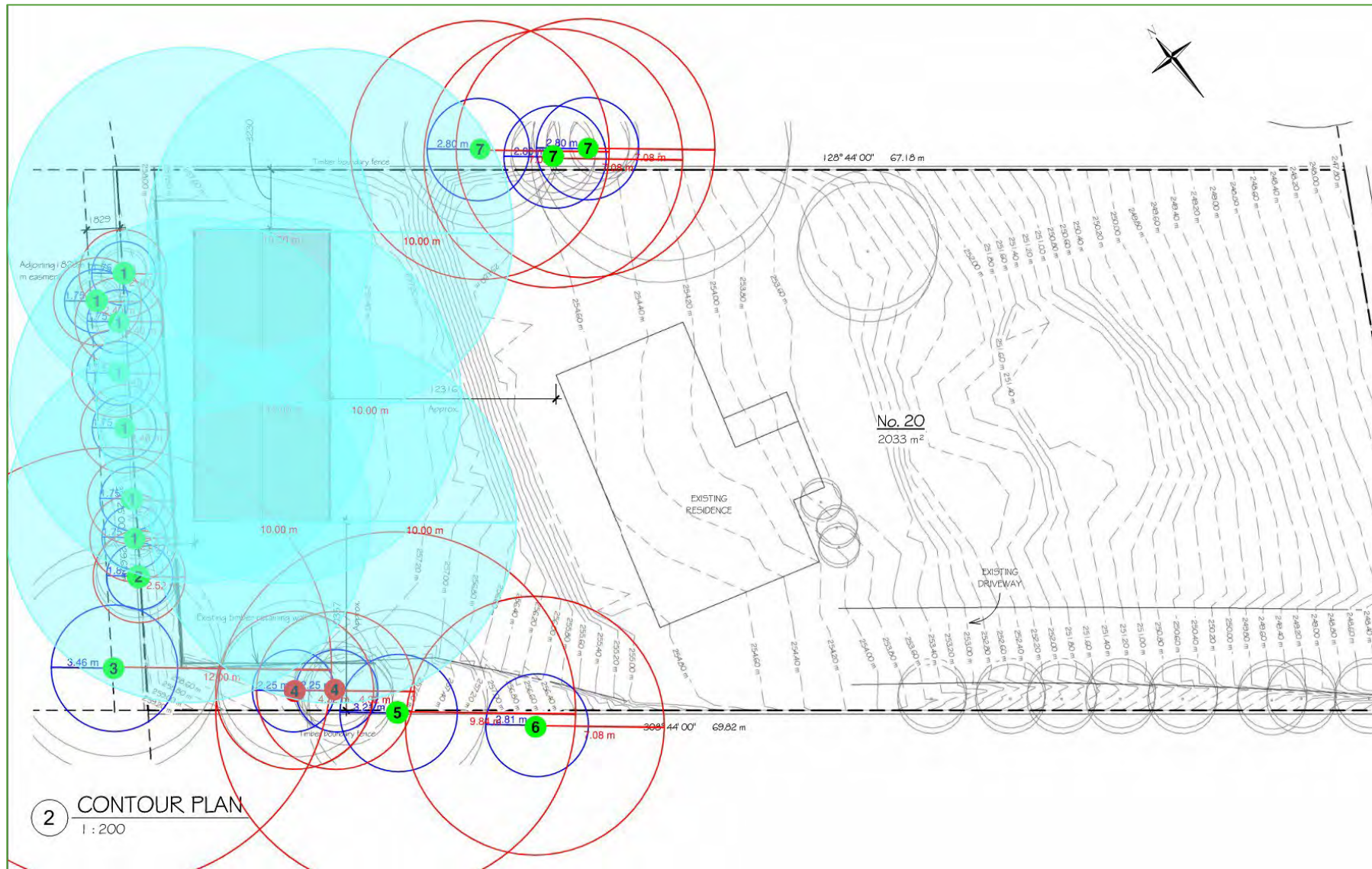
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Whilst trees may be pruned to property boundaries without consent of the tree owners, we recommend speaking with the respective tree owners prior to pruning works.

All pruning works must be completed by a minimum AQF Level 3 Arborist in accordance with *AS4373-2007 Pruning of Amenity Trees* to ensure the trees are not adversely impacted by inappropriate pruning methods.



## Appendix 1 - Proposed plans



All mark ups are scaled to source plan.  
Source: 'Contour Plan' by Draft Comps Services dated 30/06/2025 Rev A



## Appendix 2 - Existing site - Aerial image



Overall map of subject site (Green clouds denote tree groups)  
Source: Near Maps, 2025 (image date 15/12/2024)



## Appendix 3 - Tree photos



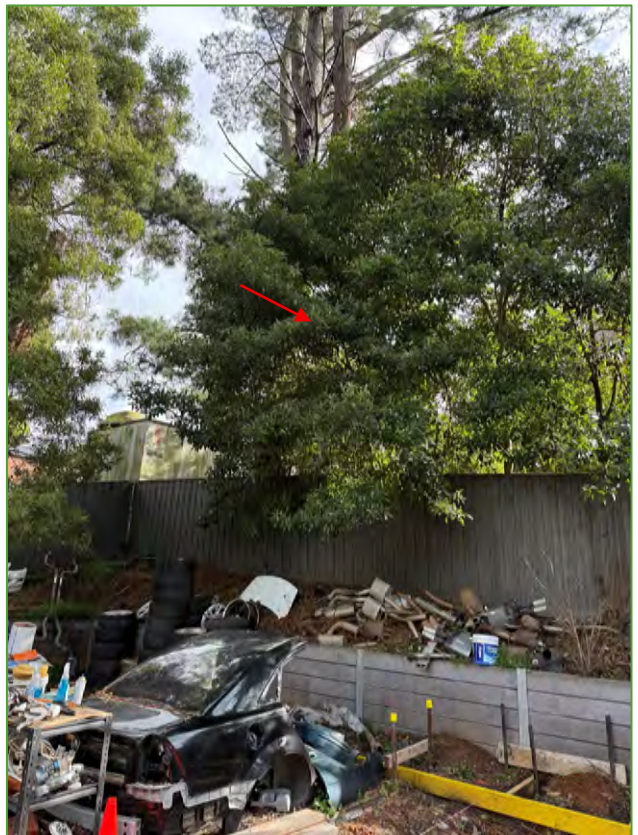
Tree Group 1



Tree Group 1 (cont.)



Tree Group 1 (cont.)



Tree 2

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Tree 2 (cont.)



Tree 3



Tree Group 4



Tree Group 4 (cont.)

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Tree 5



Tree 6



Tree 6 (cont.)



Tree Group 7

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## Appendix 4 - Glossary

### Australian Qualification

<b>Framework (AQF)</b>	A national framework for all educational and training purposes in Australia.
<b>Arborist:</b>	The person with training to AQF Level 3 in Arboriculture, or above, or equivalent recognized and relevant experience that enables the person to perform the tasks required by this Standard.
<b>Branch:</b>	A lateral shoot on a main axis such as a trunk or another branch. A branch arising off a trunk is a first order branch. A branch arising off a first order branch is a second order branch and so on. Second and successive orders of branches may be referred to as 'lateral branches.'
<b>Buttress root:</b>	Roots at the trunk base that help support the tree.
<b>Bulge:</b>	Swellings on branches, trunks or root flares; often caused by new tissue formed as a response to movement and that reinforces the wood structure at the weak area
<b>Canopy:</b>	A layer or multiple layers of branches and foliage at the top or crown of the tree.
<b>Codominant stems:</b>	Stems or trunks of about the same size originating from the same position from the main stem.
<b>Competition:</b>	Reduction in fitness due to shared use of a resource that is in limited supply.
<b>Crown:</b>	Portion of the tree consisting of branches and leaves and any part of the trunk from which branches arise.
<b>Decay:</b>	The process of degradation of woody tissues by micro-organisms.
<b>Defect:</b>	An imperfection, weakness, or lack of something necessary. In trees, defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.
<b>Duty of care:</b>	Legal obligation that requires an individual to apply reasonable actions when performing tasks that may potentially harm others.
<b>Epicormic bud:</b>	Latent or adventitious bud located at the cambium and concealed by the bark.
<b>Epicormic shoots:</b>	Shoots produced from epicormic buds at the cambium of trunks or branches.
<b>Failure:</b>	(Of tree or tree part) - breakage of stem, branch or roots, or loss of mechanical support in the root system
<b>Hanging branches:</b>	Unattached, cut or broken branches that are caught in the canopy.
<b>Hazard:</b>	Situation or condition that is likely to lead to a loss, personal injury, property damage, or disruption of activities; a likely source of harm. In relation to trees, a hazard is the tree part(s) identified as a likely source of harm.
<b>Included bark:</b>	Bark that grows between two closely positioned limbs or stems that eventually seals and joins the two structures together seemingly as one.
<b>Lever arm:</b>	The distance between the applied force (or centre of force) and the point where the object will bend or rotate



<b>Likelihood:</b>	The chance of an event occurring. In the context of tree failures, the term may be used to specify: (1) the chance of a tree failure occurring; (2) the chance of impacting a specified target; and (3) the combination of the likelihood of a tree failing and the likelihood of impacting a specified target.
<b>Lopping:</b>	The practice of cutting branches or stems between branch unions or internodes.
<b>Mitigation:</b>	In tree risk management, the process for reducing risk.
<b>Overextended branch:</b>	Branch that extends outside the normal crown area.
<b>Pruning:</b>	Removing branches (or occasionally roots) from a tree or other plant, using approved practices, to achieve a specified objective.
<b>Reaction wood:</b>	Wood formed in leaning or crooked stems, or on upper or lower sides of branches, as a means of counteracting the effects of gravity ( <i>or other forces</i> ).
<b>Risk:</b>	The combination of the likelihood of an event and the severity of the potential consequences. In the context of trees, risk is the likelihood of a conflict or tree failure occurring affecting a target, and the severity of the associated consequences-personal injury, property damage, or disruption of activities.
<b>Scaffold limbs:</b>	Permanent or structural limbs that form the scaffold architecture or structure of the tree.
<b>Structural defect:</b>	Feature, condition, or deformity of a tree that indicates a weak structure or instability that could contribute to tree failure.
<b>Target:</b>	people, property, or activities that could be injured, damaged, or disrupted by a tree.
<b>Union:</b>	The action of joining together or the fact of being joined together.
<b>Woundwood:</b>	Lignified, differentiated tissue produced on woody plants as a response to wounding.

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## Appendix 5 - Tree descriptors

### AGE

Young	Juvenile or recently planted approximately 1-7 years.
Semi-mature	Tree actively growing.
Mature	Tree has reached expected size in situation.
Senescent	Tree is over mature and has started to decline.

### HEALTH

Good	Foliage of tree is entire, with good colour, very little sign of pathogens and of good density. Growth indicators are good i.e., Extension growth of twigs and wound wood development. Minimal or no canopy dieback (deadwood).
Fair	Tree is showing one or more of the following symptoms: <25% dead wood, minor canopy dieback, foliage generally with good colour though some imperfections may be present. Minor pathogen damage present, with growth indicators such as leaf size, canopy density and twig extension growth typical for the species in this location.
Poor	Tree is showing one or more of the following symptoms of decline; >25% deadwood, canopy dieback is observable, discoloured or distorted leaves. Pathogens present, stress symptoms are observable as reduced leaf size, extension growth and canopy density.
Dead or dying	Tree is in severe decline; >55% deadwood, very little foliage, possibly epicormic shoots and minimal extension growth.

### STRUCTURE

Good	Trunk and scaffold branches show good taper and attachment with minor or no structural defects. Tree is a good example of species with well-developed form showing no obvious root problems or pests and diseases.
Fair	Tree shows minor structural defects or minor damage to trunk e.g., bark missing, there could be cavities present. Minimal damage to structural roots. Tree could be seen as typical for this species.
Poor	There are major structural defects, damage to trunk or bark missing. Co-dominant stems could be present with likely points of failure. Girdling or damaged roots obvious. Tree is structurally problematic.
Hazardous	Tree is immediate hazard with potential to fail, this should be rectified as soon as possible.

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## HAZARD

Low	Tree appears to be structurally sound, is healthy with no signs of pests and disease, has good health and is clear of any hazards.
Medium	Tree displays signs of structural problems, evidence of pests or disease, signs of poor health, deadwood, decay, may be growing into an area that could create a hazard.
High	Tree is immediate hazard with the potential to fail, this should be rectified as soon as possible.

## ULE - Useful Life Expectancy

Long	<ul style="list-style-type: none"> <li>Trees that appear to be retainable with an acceptable level of risk for more than 40 years.</li> <li>Structurally sound trees located in positions that can accommodate future growth.</li> <li>Storm damaged or defective trees that could be made suitable for retention in the long term by remedial tree surgery.</li> <li>Trees of special significance for historical, commemorative or rarity reasons that would warrant extraordinary efforts to secure their long-term retention.</li> </ul>
Medium	<ul style="list-style-type: none"> <li>Trees that appear to be retainable with an acceptable level of risk for 15-40 years.</li> <li>Trees that may only live between 15-40 years.</li> <li>Trees that may live for more than 40 years but would be removed to allow the safe development of more suitable individuals.</li> <li>Trees that may live for more than 40 years but would be removed during the course of normal management for safety and nuisance reasons.</li> <li>Storm damaged or defective trees that can be made suitable for retention in the medium term by remedial work.</li> </ul>
Short	<ul style="list-style-type: none"> <li>Trees that appear to be retainable with an acceptable level of risk for 5-15 years.</li> <li>Trees that may live for 5-15 years.</li> <li>Trees that may live for more than 15 years but would be removed to allow the safe development of more suitable individuals.</li> <li>Trees that may live for more than 15 years but would be removed during the course of normal management for safety and nuisance reasons.</li> <li>Storm damaged or defective trees that can be made suitable for retention in the medium term by remedial work.</li> </ul>
Remove	<ul style="list-style-type: none"> <li>Trees with a high level of risk that would need removal within the next 5 years.</li> </ul>
Dead Tree	<ul style="list-style-type: none"> <li>Dying or suppressed and declining trees through disease or inhospitable conditions.</li> <li>Dangerous trees through instability or recent loss of adjacent trees.</li> <li>Dangerous trees through structural defects including decay, included bark, wounds or poor form.</li> <li>Damaged trees that are considered unsafe to retain.</li> </ul>

## ORIGIN

Indigenous	Occurs naturally in the area of the subject site
Victorian native	Occurs naturally in some parts of the State of Victoria
Australian native	Occurs naturally in some parts of Australia
Exotic	Occurs naturally outside of Australia

## Tree Significance

### IACA Significance of a Tree, Assessment Rating System (STARS)

The tree is to have a minimum of 3 criteria in a category to be classified in that group.

High	<ul style="list-style-type: none"> <li>• The tree is in good condition and good vigour.</li> <li>• The tree has a form typical for the species.</li> <li>• The tree is a remnant or is a planted locally indigenous specimen and/or is rare or uncommon in the local area or of botanical interest or of substantial age.</li> <li>• The tree is listed as a Heritage Item, Threatened Species or part of an Endangered ecological community or listed on Councils significant Tree Register.</li> <li>• The tree is visually prominent and visible from a considerable distance when viewed from most directions within the landscape due to its size and scale and makes a positive contribution to the local amenity.</li> <li>• The tree supports social and cultural sentiments or spiritual associations, reflected by the broader population or community group or has commemorative values.</li> <li>• The tree's growth is unrestricted by above and below ground influences, supporting its ability to reach dimensions typical for the taxa in situ - tree is appropriate to the site conditions.</li> </ul>
Medium	<ul style="list-style-type: none"> <li>• The tree is in fair-good condition and good or low vigour.</li> <li>• The tree has form typical or atypical of the species.</li> <li>• The tree is a planted locally indigenous or a common species with its taxa commonly planted in the local area</li> <li>• The tree is visible from surrounding properties, although not visually prominent as partially obstructed by other vegetation or buildings when viewed from the street,</li> <li>• The tree provides a fair contribution to the visual character and amenity of the local area,</li> <li>• The tree's growth is moderately restricted by above or below ground influences, reducing its ability to reach dimensions typical for the taxa in situ.</li> </ul>
Low	<ul style="list-style-type: none"> <li>• The tree is in fair-poor condition and good or low vigour.</li> <li>• The tree has form atypical of the species.</li> <li>• The tree is not visible or is partly visible from surrounding properties as obstructed by other vegetation or buildings,</li> <li>• The tree provides a minor contribution or has a negative impact on the visual character and amenity of the local area,</li> <li>• The tree is a young specimen which may or may not have reached dimension to be protected by local Tree Preservation orders or similar protection mechanisms and can easily be replaced with a suitable specimen,</li> <li>• The tree's growth is severely restricted by above or below ground influences, unlikely to reach dimensions typical for the taxa in situ - tree is inappropriate to the site conditions,</li> <li>• The tree is listed as exempt under the provisions of the local Council Tree Preservation Order or similar protection mechanisms,</li> <li>• The tree has a wound or defect that has potential to become structurally unsound.</li> <li>• Environmental Pest / Noxious Weed Species</li> <li>• The tree is an Environmental Pest Species due to its invasiveness or poisonous/ allergenic properties,</li> <li>• The tree is a declared noxious weed by legislation.</li> <li>• Hazardous/Irreversible Decline</li> <li>• The tree is structurally unsound and/or unstable and is considered potentially dangerous, - The tree is dead, or is in irreversible decline, or has the potential to fail or collapse in full or part in the immediate to short term.</li> <li>• It is insignificant within the landscape and could not reasonably tolerate changes to its environment.</li> </ul>

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## DISCLAIMER

- Rigoni Tree Solutions shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including the payment of an additional fee for such services.
- The risk of trees remains the responsibility of the client or property owner.
- All, or any part of the contents of this report, or any copy thereof, shall not be used for any purpose by anyone but the person to whom it is addressed, without the written consent of Rigoni Tree Solutions.
- Payment and receipt of this report is considered acceptance of the above condition.

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2025

## **BUSHFIRE MANAGEMENT PLAN (BMP)**

**Prepared For Johns Lyng Insurance Building Solutions (Victoria) Pty Ltd**

**Site address**

**20 LAKESIDE DRIVE EMERALD 3782**

Prepared by [REDACTED]

**Bushfire Planning Consultant**

**Grad. Cert. Bushfire Planning & Management (2nd Class Hons, Div. B), University of Melbourne**

## **Preliminary Compliance Review Report Non-Habitable Outbuilding (Shed Redevelopment) 28 March 2025**

**Reference: 8225 250305 BMP JLG Lakeside Emerald 20 Dv**

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# TABLE OF CONTENTS

DOCUMENT CONTROL.....	4
DOCUMENTS REVIEWED .....	4
SUMMARY .....	5
REGULATORY PATHWAYS CHECKLIST .....	5
IMPORTANT ASSUMPTIONS AND LIMITATIONS .....	9
1. INTRODUCTION.....	11
2. APPLICATION DETAILS.....	13
3. SITE DESCRIPTION.....	14
3.1 AERIAL SITE PHOTO 2025.....	15
3.2 AERIAL SITE PHOTO 2017.....	16
3.3 AERIAL SITE PHOTO 2012.....	17
3.4 AERIAL SITE PHOTO 2010.....	18
3.5 SITE PHOTOS – VEGETATION WITHIN BOUNDARY.....	19
4. COMPLIANCE ADVISORY SUMMARY.....	21
4.1 COMPLETE VEGETATION MANAGEMENT COMPLIANCE.....	22
5. STATEMENT .....	24
APPENDIX A - PLANNING INFORMATION.....	25
APPENDIX B - A3 BUSHFIRE MANAGEMENT PLAN .....	29
APPENDIX C - SITE PLANS.....	30
APPENDIX D - CLASSIFICATION OF VEGETATION AS3959:2018 TABLE 2.3 .....	34
APPENDIX E - EXCLUSIONS – LOW-THREAT AND NON-VEGETATED AREAS .....	36
APPENDIX F - BUSHFIRE ATTACK LEVELS AND CONSTRUCTION STANDARDS .....	37

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APPENDIX G – 53.02-5 TABLE 7 : DEFENDABLE SPACE, CONSTRUCTION, WATER SUPPLY, VEHICLE ACCESS, VEGETATION MANAGEMENT AND OUTBUILDING CONSTRUCTION REQUIREMENTS.....	38
APPENDIX H - VEGETATION MANAGEMENT REQUIREMENTS 66.03 –AVOIDING FIRE AUTHORITY REFERRAL NON-HABITABLE OUTBUILDING.....	39
APPENDIX I - ARBORICULTURAL AND BUSHFIRE MANAGEMENT OVERLAY COMPLIANCE ASSESSMENT.....	40
REFERENCES.....	41

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# Document Control

File reference	File type	Modifications	Author	Date
8225 250305 BMP JLG Lakeside Emerald 20 Dv	BMP	Preliminary Report – Compliance Re- view BMP	DB	28/03/2025

## Documents Reviewed

Title	Date	Author	Company
24756_Plans (2025-02-27)	14/03/2025	BB	Draft Comps Services
Images_for_JVBS01961	14/03/2025	AB	Johns Lyng Insurance Building Solutions (Victoria) Pty Ltd
Johns_Lyng_Insurance_Builders_- _5227499833.2_-_ (7.5x16x4.9)_- _Engi- neering_RegA5 (1)	14/03/2025	JLBS	Johns Lyng Insurance Building Solutions (Victoria) Pty Ltd

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# Summary

This BMP addresses compliance with Clause 44.06 Bushfire Management Overlay (BMO) and associated planning provisions for the redevelopment of a non-habitable outbuilding (shed) at 20 Lakeside Drive, Emerald.

Following direct consultation with fire authorities, this report confirms the redevelopment can comply with CFA's standard non-referral conditions provided the outlined recommendations are met, specifically:

- Defendable space: 10m (or boundary if lesser).
- Canopy separation: 2m.

An arborist assessment is recommended to confirm canopy separation compliance and or tree retention removal requirements for compliance.

Provided these standard conditions are met, CFA referral under Clause 66.03 is not required.

## Regulatory Pathways Checklist

This simplified pathway clarifies BMO conditions and explicitly confirms the requirements (including construction standards) for the non-habitable outbuilding reconstruction at 20 Lakeside Drive, Emerald, ensuring CFA referral is not triggered.

### Step 1: Applicability of Bushfire Management Overlay (BMO)

Question	Answer	Relevant Clause
Is the site located within a BMO?	<input checked="" type="checkbox"/> Yes	Clause 44.06 (Department of Transport and Planning, 2025)
Does a specific BMO Schedule apply?	<input type="checkbox"/> No	Clause 53.02- (Department of Transport and Planning, 2025) <sup>1</sup>

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**✓ Step 2: Determination of Appropriate Regulatory Pathway**

Scenario (choose one)	Ap-plica-ble?	Relevant Clause	Pathway Deci-sion	Scenario (choose one)
Non-habitable out-building meeting CFA non-referral conditions	<input checked="" type="checkbox"/> Yes	Clause 44.06-6 & 66.03 (Department of Transport and Planning, 2025)	<input checked="" type="checkbox"/> CFA Referral NOT required (standard conditions apply)	Non-habitable out-building meeting CFA non-referral conditions
Single dwelling within existing settlement	<input type="checkbox"/> No	Clause 53.02-3	<input type="checkbox"/> Pathway 1	Single dwelling within existing settlement
Single dwelling outside existing settlement	<input type="checkbox"/> No	Clause 53.02-4	<input type="checkbox"/> Pathway 2	Single dwelling outside existing settlement
Subdivision or multiple dwellings	<input type="checkbox"/> No	Clause 53.02-4.4	<input type="checkbox"/> Pathway 3	Subdivision or multiple dwellings

**Conclusion:**

**✓ Clearly identified pathway: CFA Referral NOT Required**

**(Subject to compliance with standard CFA non-referral conditions.)**

**✓ Step 3: CFA Standard Conditions Checklist**

CFA Condition for Non-Referral	Compliance Status	Actions Re-quired
Non-habitable outbuilding	<input checked="" type="checkbox"/> Compliant	None required
Defendable Space (10 metres or property boundary, whichever lesser)	<input checked="" type="checkbox"/> Achievable (with arborist or Vegetation Assessment Officer))	Arborist verification
Canopy Separation (min. 2 metres between tree canopies)	<input checked="" type="checkbox"/> Achievable (with arborist)	Arborist verification

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**✔ Step 4: Vegetation Management & Existing Rights Verification**

Vegetation & Overlays Check	Compliance Status	Actions Required	Verified
Vegetation removal exempt under Clause 42.02 (Vegetation Protection Overlay- Schedule 1)?	<input checked="" type="checkbox"/> Likely Applicable (recent regrowth and proximity exemptions)	Arborist confirmation required	<input type="checkbox"/> Pending
Existing use rights (Clause 63.10) applicable based on historical presence (pre-2012)?	<input checked="" type="checkbox"/> Likely Applicable	Independent planning verification recommended	<input type="checkbox"/> Pending
Vegetation management conflicts with other environmental overlays (ESO/VPO1 objectives)?	<input checked="" type="checkbox"/> Potential Conflict (VPO1)	Arborist/ecologist verification required to confirm vegetation management aligns with Clause 42.02 Schedule 1 exemptions and overlay objectives.	<input type="checkbox"/> Pending

**Recommended Actions:**

**Engage arborist or ecological specialist to verify the recommended vegetation management aligns with environmental overlay requirements and exemptions.**

**Ensure recommendations balance compliance requirements under BMO with environmental protection provisions (VPO1).**

**✔ Step 5: Construction Requirements (Clause 53.02-5, Table 7)**

Construction Standards Assessment	Condition Status	Actions Required
Is the outbuilding located more than 10m from any dwelling?	<input checked="" type="checkbox"/> Yes	No additional construction standards (Table 7) required. <input checked="" type="checkbox"/>
Are BAL construction standards (Table 7) triggered?	<input type="checkbox"/> No (due to sufficient separation)	No further action re

**Conclusion:**

**✔ Outbuilding construction standards under Table 7 of Clause 53.02-5 are explicitly not applicable, due to the sufficient separation (>10m) from existing dwellings.**

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**✔ Step 6: Final Compliance Decision (CFA Referral)**

Overall Compliance Status	CFA Referral Requirement
<input checked="" type="checkbox"/> All CFA conditions met (subject to arborist/planning verification)	<input checked="" type="checkbox"/> No CFA Referral Required

**Recommended Next Steps:**

**Engage a qualified arborist/ecologist to confirm vegetation exemptions under Clause 42.02 (VPO1).**

**Independently verify existing use rights (Clause 63.10) through professional planning confirmation.**

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# Important Assumptions and Limitations

This Bushfire Management Plan (BMP) has been prepared based upon the following assumptions and limitations, which clearly outline the consultant's professional boundaries, responsibilities, and the client's obligations:

## 1. Scope & Professional Limitations:

- The consultant is an FPAA BPAD Level 1 accredited Bushfire Planning and Design Practitioner, holding a Graduate Certificate in Bushfire Planning and Management (University of Melbourne).
- The consultant specialises in bushfire behaviour assessment, emergency planning, and Bushfire Attack Level (BAL) assessments.
- The scope of this BMP includes bushfire hazard assessment and compliance reporting consistent with Clause 44.06 (Bushfire Management Overlay) and Clause 53.02 (Bushfire Planning) of the Victorian Planning Provisions (VPP).
- However, the consultant's FPAA Level 1 accreditation specifically pertains to BAL assessments, bushfire hazard identification, and emergency planning, and does not constitute formal statutory planning or arboricultural accreditation.
- All recommendations in this report relating to statutory planning, arboriculture, ecological or engineering matters are strictly advisory. Clients must independently verify such matters through appropriately accredited planning, arboricultural, ecological, or engineering specialists.

## 2. Site Assessment & Existing Conditions:

- Site assessments (including vegetation classifications and canopy separation evaluations) are based upon observable conditions at the time of the site inspection, supported by aerial and drone imagery collected on the assessment date.
- Vegetation conditions, species identification, and regrowth-age estimations provided herein are indicative only, based upon visual assessments, historical aerial imagery, and the consultant's extensive field experience.
- Detailed arboricultural and ecological assessments must be independently verified by suitably qualified professionals, if required.

## 3. Drone Imagery & Aerial Data Collection:

- Drone and aerial imagery utilised for vegetation assessments and mapping have been collected strictly in accordance with CASA (Civil Aviation Safety Authority) regulations and applicable privacy laws.
- Imagery resolution and clarity may vary due to factors including weather conditions, canopy density, site-specific obstructions, or other uncontrollable circumstances at the time of assessment.

## 4. Regulatory Compliance & Interpretation:

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- Interpretations of planning regulations, CFA conditions, and exemption criteria within this report are provided in good faith, based upon publicly available regulatory frameworks, current at the time of assessment, and consultation with relevant fire authorities.
- Regulatory compliance requirements are subject to change. Recommendations herein reflect regulations and conditions only as of the date of this assessment.

#### **5. Existing Use Rights & Historical Conditions:**

- Historical site conditions (e.g., previous structures, vegetation growth) have been substantiated through available aerial imagery, site inspections, and records provided by the client or relevant authorities.
- Confirmation of existing use rights (Clause 63.10) or exemptions under the Vegetation Protection Overlay (Clause 42.02 VPO1) must be independently confirmed by a suitably qualified planning professional or responsible authority.

#### **6. Client Responsibilities:**

- The client is responsible for confirming the validity of recommendations and seeking appropriate permits or approvals from relevant authorities prior to undertaking vegetation management, construction, or other site modifications.
- Any variation from recommendations provided in this report must be independently verified by relevant specialists (e.g., arborists, planners, ecologists), as deviations could affect compliance status and may trigger CFA referral requirements or additional planning permissions.

#### **7. Liability & Professional Responsibility:**

- While every effort has been made to ensure accuracy, this Bushfire Management Plan is advisory in nature and subject to the limitations detailed above.
- The consultant shall not be liable for actions or decisions taken solely on the basis of this report, without appropriate independent verification, specialist consultation, or approval from relevant authorities.

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# 1. Introduction

This Bushfire Management Plan (BMP) has been prepared for Johns Lyng Insurance Building Solutions (Victoria) Pty Ltd, assessing compliance requirements for the redevelopment of a non-habitable outbuilding (shed), Class 10a (Victorian Building Authority, 2025) located at 20 Lakeside Drive, Emerald, VIC 3782.

The purpose of this report is to clarify compliance obligations under the Bushfire Management Overlay (BMO) pursuant to Clause 44.06 of the Victorian Planning Provisions (VPP), particularly the explicit CFA non-referral conditions outlined in Clause 66.03 (Referral of Permit Applications).

Clause 66.03 specifies that CFA referral is explicitly not required for a non-habitable outbuilding meeting the following precise conditions:

## 1. Ancillary Use:

The outbuilding must be ancillary to an existing dwelling.

## 2. Defendable Space (Clause 53.02-5, Table 6):

10 metres of defendable space must be provided and managed in accordance with the following vegetation management requirements:

- Grass must be short-cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be regularly removed during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be placed close to vulnerable parts of the building.
- Plants taller than 10 centimetres must not be placed within 3 metres of a window or glass feature of the building.
- Shrubs must not be located beneath tree canopies.
- Individual and clumped shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- There must be at least 2 metres of clearance between the lowest tree branches and ground level.

## 3. Canopy Separation (Explicit Variation in Clause 66.03):

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Although Table 6 of Clause 53.02-5 typically requires 5-metre canopy separation, this condition is explicitly varied under Clause 66.03 for non-habitable outbuildings, requiring only 2-metre canopy separation within the defensible space.

#### **4. Construction Requirements (Clause 53.02-5, Table 7):**

If the outbuilding is located less than 10 metres from a dwelling, it must comply with Table 7 construction standards.

*(In this specific case, the outbuilding is located more than 10 metres from any dwelling; therefore, this construction requirement does not apply.)*

Historical aerial imagery dating from 2012 establishes existing use rights (Clause 63.10) relating to the shed reconstruction, which predates recent vegetation regrowth and the implementation of Clause 42.02 Schedule 1 (Vegetation Protection Overlay - VPO1).

Clearly outlined recommendations (arborist/ecologist assessments, independent planning verification) in this BMP will explicitly verify compliance with vegetation management and environmental overlay objectives.

#### **This report addresses compliance clearly and explicitly under the following clauses:**

- Clause 44.06 – Bushfire Management Overlay (BMO) (Department of Transport and Planning, 2025)
- Clause 66.03 – Referral of Permit Applications (Department of Transport and Planning, 2025)
- Clause 53.02-5 Table 6 & Table 7 – Vegetation and construction requirements (Department of Transport and Planning, 2025)
- Clause 42.02 Schedule 1 – Vegetation Protection Overlay (VPO1 exemptions) (Department of Transport and Planning, 2025)
- Clause 63.10 – Existing Use Rights (Department Of Transport and Planning, 2025)

All assumptions, professional limitations, and explicit client responsibilities are comprehensively detailed within the "Important Assumptions and Limitations" section provided within this report.

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## 2. Application Details

Category	Details
Site Address	20 LAKESIDE DRIVE EMERALD 3782
Planning Scheme Zone	Refer to Appendix A – Planning Information
Assessor	
Assessment Date	19/03/2025
Report/Job Number	8225

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### 3. Site Description

Category	Details
Site Address	20 Lakeside Drive, Emerald VIC 3782
CFA Fire District	Central Fire District (District 13)
Land Size (Title Area)	Approximately 1,023m <sup>2</sup>
Existing Use/Development	Established dwelling with historically present ancillary non-habitable outbuilding (shed).
Vegetation & Defendable Space Summary	Managed residential vegetation, recent regrowth (indigenous canopy trees/shrubs). Achievable compliance under Clause 66.03 CFA conditions (10m defendable space, 2m canopy separation).
Relevant Overlays	Refer Appendix A (Planning Information)
Historical Use Rights	Shed historically present pre-2012; refer to Clause 63.10 (existing use rights), supported by aerial imagery 3.1. Aerial Site Photo.

#### Key Fire Behaviour Considerations

- ✔ Established residential area with manageable fuel loads.
- ✔ Ember attack possible but direct flame exposure significantly mitigated by site vegetation management and defendable space.
- ✔ No significant slope constraints impacting non-habitable outbuilding risk under standard CFA conditions.

(Detailed overlays, aerial images, and further context available in Appendix A.)

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3.1 Aerial Site Photo 2025



Figure 1 (March 2025 Photo ID: DJI\_20250319125425\_0223\_D.JPG Lat-37.918375 Long 145.451011 True Heading 339 19/03/2025 12:54pm Shed Not Present – Drone Image Capture.)



3.2 Aerial Site Photo 2017



Figure 2 October 2017 Shed Present, 20 Lakeside Drive , Vic, Emerald – Courtesy Google Earth Pro



3.3 Aerial Site Photo 2012

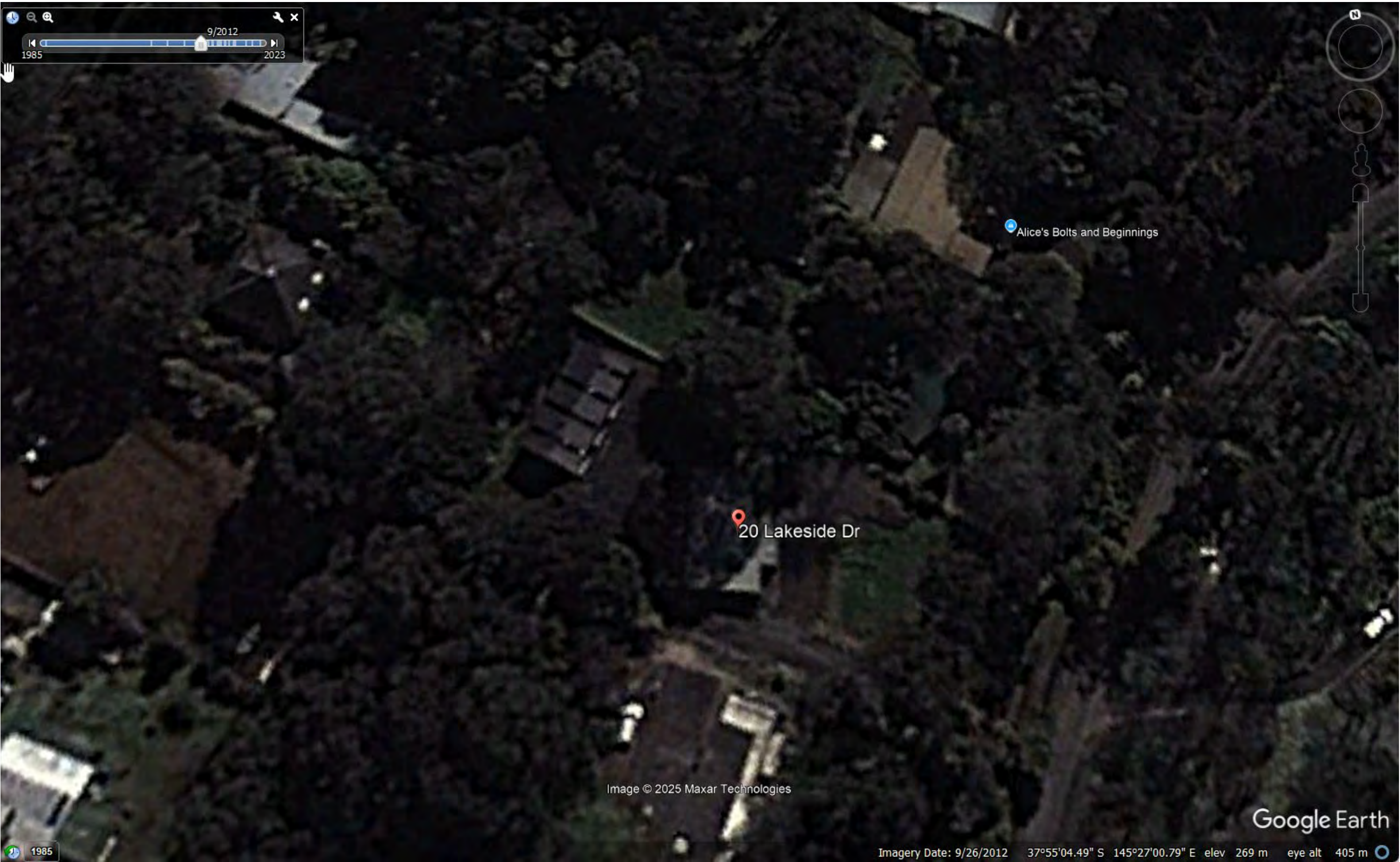


Figure 3 September 2012 - Shed Present - 20 Lakeside Drive, 20 Lakeside Drive , Vic, Emerald – Courtesy Google Earth Pro



3.4 Aerial Site Photo 2010



Figure 4 February 2010 Shed not Present - 20 Lakeside Drive, Emerald, Victoria- Courtesy Google Earth Pro



3.5 Site Photos – Vegetation Within Boundary

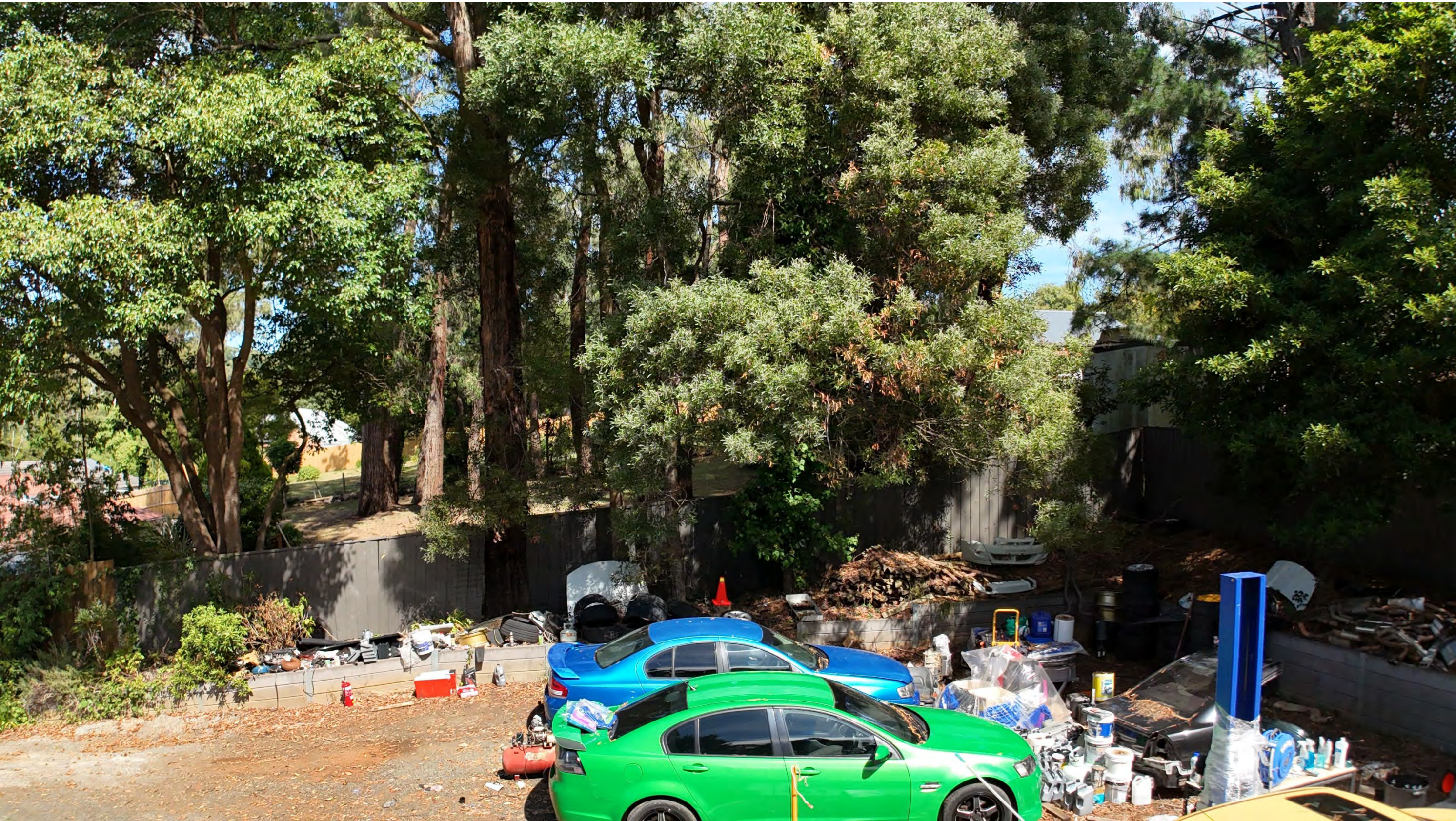


Figure 5 (Photo South West Aspect DJI\_20250319125830\_0240\_D.JPG Lat-37.918369 Long 145.451017 True Heading 206.3 19/03/2025 12:58pm)

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Figure 6 (Photo South Aspect DJI\_20250319125842\_0241\_D.JPG Lat-37.918369 Long 145.451019 True Heading 143.6 19/03/2025 12:58pm)

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## 4. Compliance Advisory Summary

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This Compliance Review assesses the redevelopment of a non-habitable outbuilding (shed) at 20 Lakeside Drive, Emerald, under the CFA non-referral provisions (Clause 66.03, VPP). Compliance is conditional upon confirmation and implementation of vegetation management criteria, explicitly detailed below.

**Compliance Status Summary Table:**

Compliance Requirement	Current Status	Action Required	Responsibility
Ancillary Use	✅ Compliant	None required	Client
Defendable Space (10m or property boundary)	⬤ Pending Verification	Arborist assessment required	Client / Arborist
Vegetation Management (Clause 53.02-5 Table 6)	⬤ Partially Compliant	Arborist assessment required for compliance verification (below)	Client / Arborist
2m Canopy Separation (Clause 66.03 Variation)	⬤ Not Currently Compliant	Arborist assessment urgently required	Client / Arborist
Construction Standards (Table 7, >10m from dwelling)	✅ Compliant (No Action)	None required	Client
Existing Use Rights (Clause 63.10)	✅ Likely Compliant	Independent planning verification recommended	Client / Planner
VPO1 (Clause 42.02 Schedule 1) Exemptions	⬤ Pending Verification	Arborist/ecologist assessment required	Client / Arborist
Clause 52.12 Fenceline Management Exemptions	⬤ Pending Verification	Arborist confirmation advised (especially if recent fence construction)	Client / Arborist

**Legend:** ✅ Complete | ⬤ Pending Verification | ❌ Non-Compliant



## 4.1 Complete Vegetation Management Compliance

### Defendable Space (Clause 53.02-5, Table 6, with Clause 66.03 variation) requires:

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- Grass short-cropped and regularly maintained during declared fire danger periods.
- Regular removal of leaves and vegetation debris.
- Flammable objects kept away from vulnerable building areas.
- No vegetation >10 cm height within 3m of building windows/glass.
- Shrubs must not exist under tree canopies, limited to 5m<sup>2</sup> area, and spaced at least 5m apart.
- Trees must not overhang/touch building elements.
- **2m canopy separation** (specifically for non-habitable outbuildings per Clause 66.03) (Refer Appendix H).
- At least 2m clearance from lowest tree branches to ground level.

### Current Status:

- Existing mature trees (Eucalyptus Stringybark Species, Acacia melanoxylon (Blackwood)) near the fence-line and between dwelling and outbuilding currently do not achieve required 2m canopy separation.
- Recent vegetation regrowth (between dwelling and outbuilding) may be exempt under Clause 42.02 VPO1 Schedule 1 and/or qualify for Clause 52.12 exemption.

### Recommended Action:

An arboricultural assessment is urgently recommended to clearly identify vegetation management requirements, specifically:

- Tree retention/removal to achieve required **2m canopy separation**.
- Confirmation of exemptions under VPO1 42.02 Schedule 1 and Clause 52.12 (fence line management).

### Existing Use Rights Verification (Clause 63.10)

- Historical aerial imagery (**dating from 2012**) Figure 3 September 2012 - Shed Present - 20 Lakeside Drive, 20 Lakeside Drive , Vic, Emerald – Courtesy Google Earth Pro verifies the prior existence of the outbuilding, strongly indicating existing use rights under Clause 63.10.

**Recommended Action:**

An independent planning professional or the responsible authority should formally confirm existing use rights, ensuring compliance and reducing regulatory uncertainty.

**Conclusion**

This compliance review explicitly confirms the redevelopment is capable of achieving compliance under CFA's standard non-referral conditions (**Clause 66.03 Refer Appendix H**) if the outlined recommendations—especially those relating to vegetation management—are promptly addressed. CFA referral will **not** be necessary if the vegetation conditions, as clearly specified, are met.

The completion of an arborist assessment and planning confirmation remain essential next steps to transition this preliminary compliance report into full compliance status.

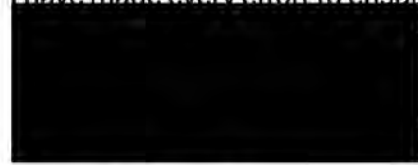
A final Bushfire Management Plan (BMP), and Arboricultural and Bushfire Management Overlay Compliance Assessment (Pending Arborist Verification) incorporating these confirmed findings, will be required to ensure compliance documentation aligns fully with all relevant statutory planning and environmental overlay objectives.

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## 5. Statement

I have made every effort to ensure that the information in this assessment is accurate and represents the conditions on and surrounding area on the assessment date.



Date: 19/03/2025

I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the assessment date. Assessments can be subject to CFA & FRV Referrals and hence open to varying observations of vegetation classification.

### Community Information Guides

<https://www.cfa.vic.gov.au/plan-prepare/community-information-guides>

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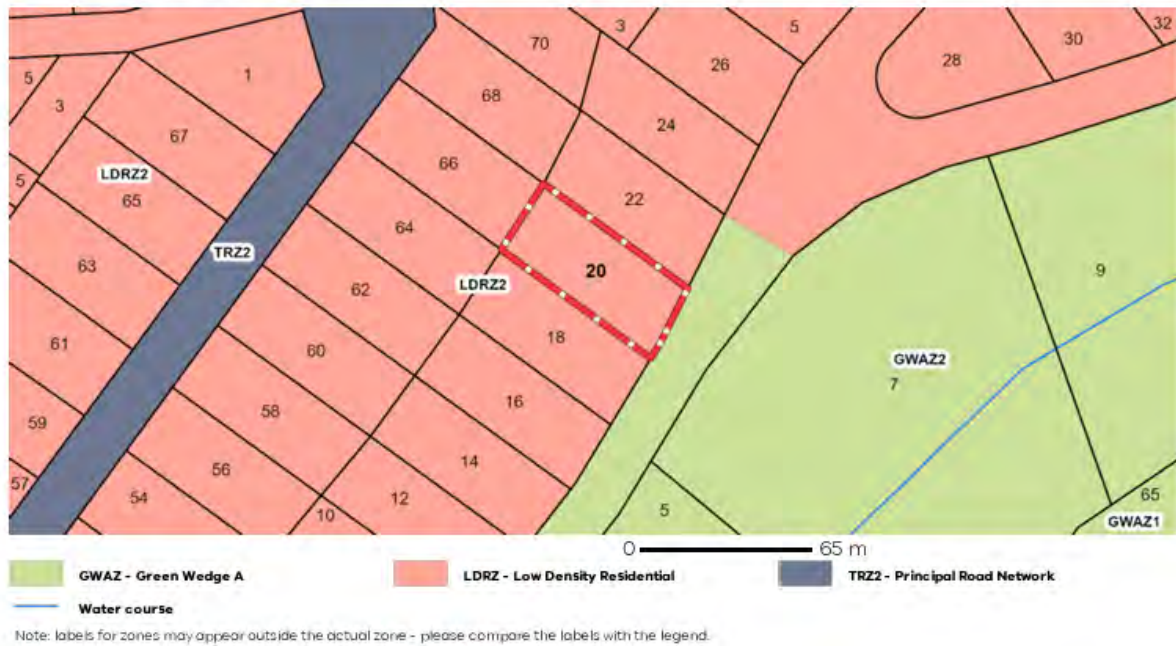




## Planning Zones

LOW DENSITY RESIDENTIAL ZONE (LDRZ)

LOW DENSITY RESIDENTIAL ZONE - SCHEDULE 2 (LDRZ2)



**Figure 8 Planning Zone Courtesy of Department of Transport and Planning, (Victoria State Government, 2025)**

BUSHFIRE MANAGEMENT OVERLAY (BMO)



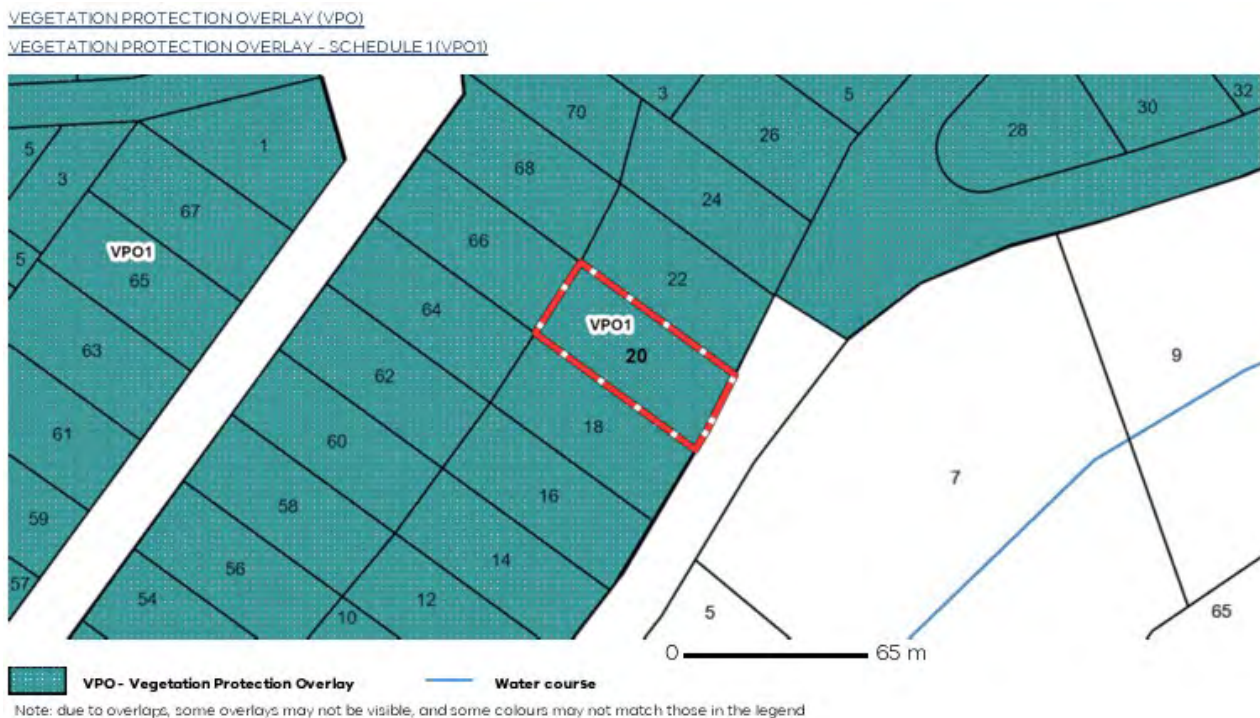
**Figure 9 Bushfire Management Overlay Courtesy of Department of Transport and Planning, (Victoria State Government, 2025)**

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**Figure 10 Design & Development Overlay Courtesy of Department of Transport and Planning, (Victoria State Government, 2025)**



**Figure 11 Vegetation Protection Overlay Courtesy of Department of Transport and Planning, (Victoria State Government, 2025)**

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## Designated Bushfire Prone Areas

**This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.**

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

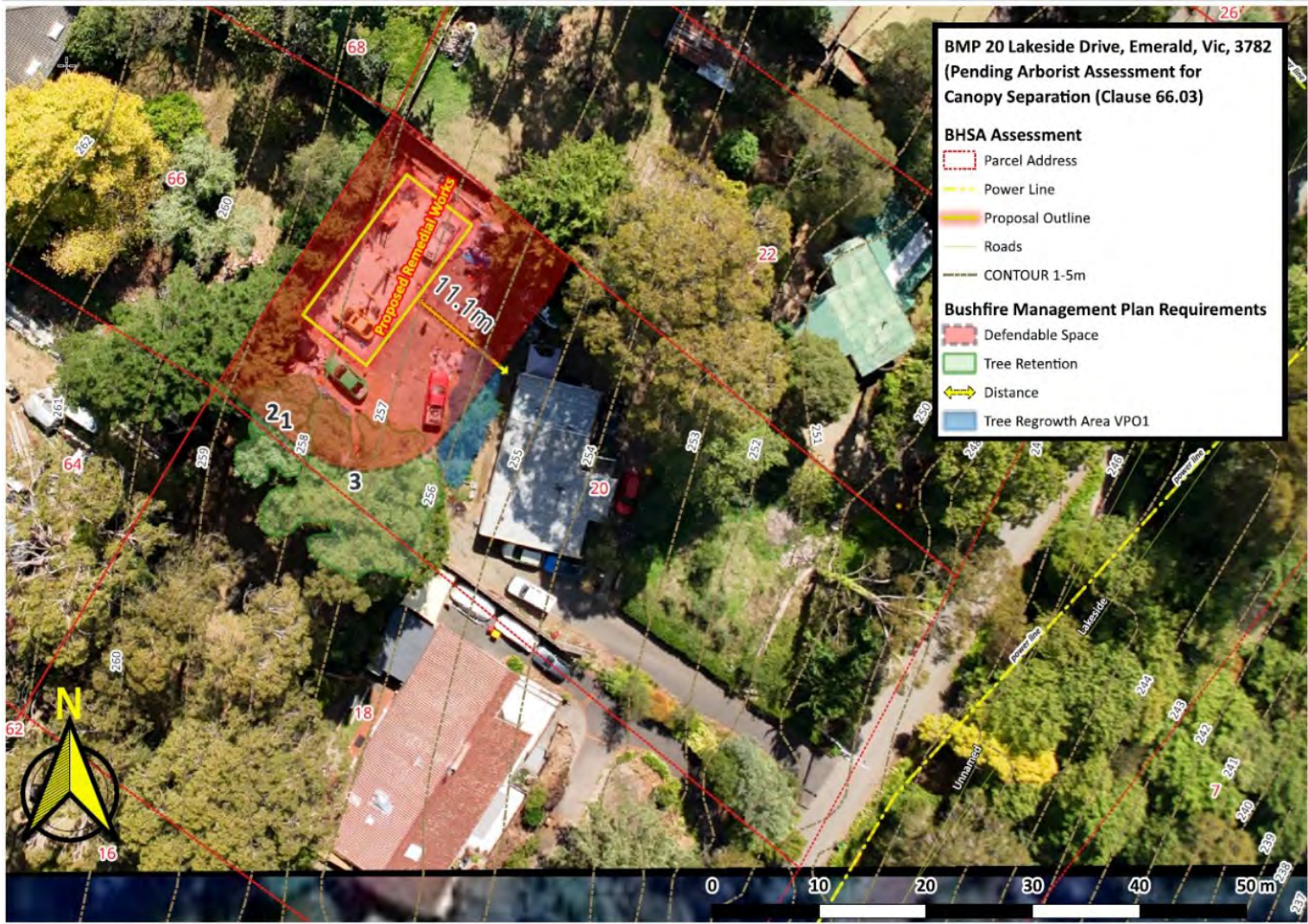
**Figure 12 Bushfire Prone Area Courtesy of Department of Transport and Planning, (Victoria State Government, 2025)**

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# Appendix B - A3 Bushfire Management Plan

## Outbuildings Bushfire Management Plan – 20 Lakeside Drive, Emerald, Vic, 3782



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Prepared By: Dan Benincasa - Greenwood Consulting Pty Ltd  
Version: 1.0  
Date: 28/03/2025

### Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed

### Bushfire Protection Measures

- a) **Defendable Space**
- Defendable space for a distance of 10 metres around the proposed building or to the property boundary, whichever is the lesser is provided and is managed in accordance to the following requirements:
- Grass must be short cropped and maintained during the declared fire danger period.
  - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
  - Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
  - Plants greater than 10 centimetres in height must not be placed within 3 metres of a window or glass feature of the building.
  - Shrubs must not be located under the canopy of trees.
  - Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
  - Trees must not overhang or touch any elements of the building.
  - The canopy of trees must be separated by at least 2 metres.
  - There must be a clearance of at least 2 metres between the lowest tree branches and ground level.
- b) **Construction Requirement**
- ✓ Non habitable outbuilding ancillary to a dwelling **is more** than 10 metres from a dwelling has **no** construction requirements.
  - Non habitable outbuilding ancillary to a dwelling **is less** than 10 metres from a dwelling must meet the construction requirements of Table 7 to Clause 53.02-5.

Table 7 Outbuilding construction requirement

Building construction condition
The proposed outbuilding is separated from the adjacent building by a wall that extends to the underside of a non-combustible roof covering and: <ul style="list-style-type: none"><li>has a FRL of not less than 60/60/60 for loadbearing walls and -/60/60 for non-load bearing walls when tested from the attached structure side, or</li><li>is of masonry, earth wall or masonry-veneer construction with the masonry leaf of not less than 90 millimetres in thickness.</li></ul>
Any openings in the wall shall be protected in accordance with the following: <ul style="list-style-type: none"><li>i. Doorways – by FRL -/60/30 self-closing fire doors</li><li>ii. Windows – by FRL -/60/- fire windows permanently fixed in the closed position</li><li>iii. Other openings – by construction with a FRL of not less than -/60/-</li></ul>
Note: Control and construction joints, subfloor vents, weepholes and penetrations for pipes and conduits need not comply with Item iii.



Appendix C - Site Plans

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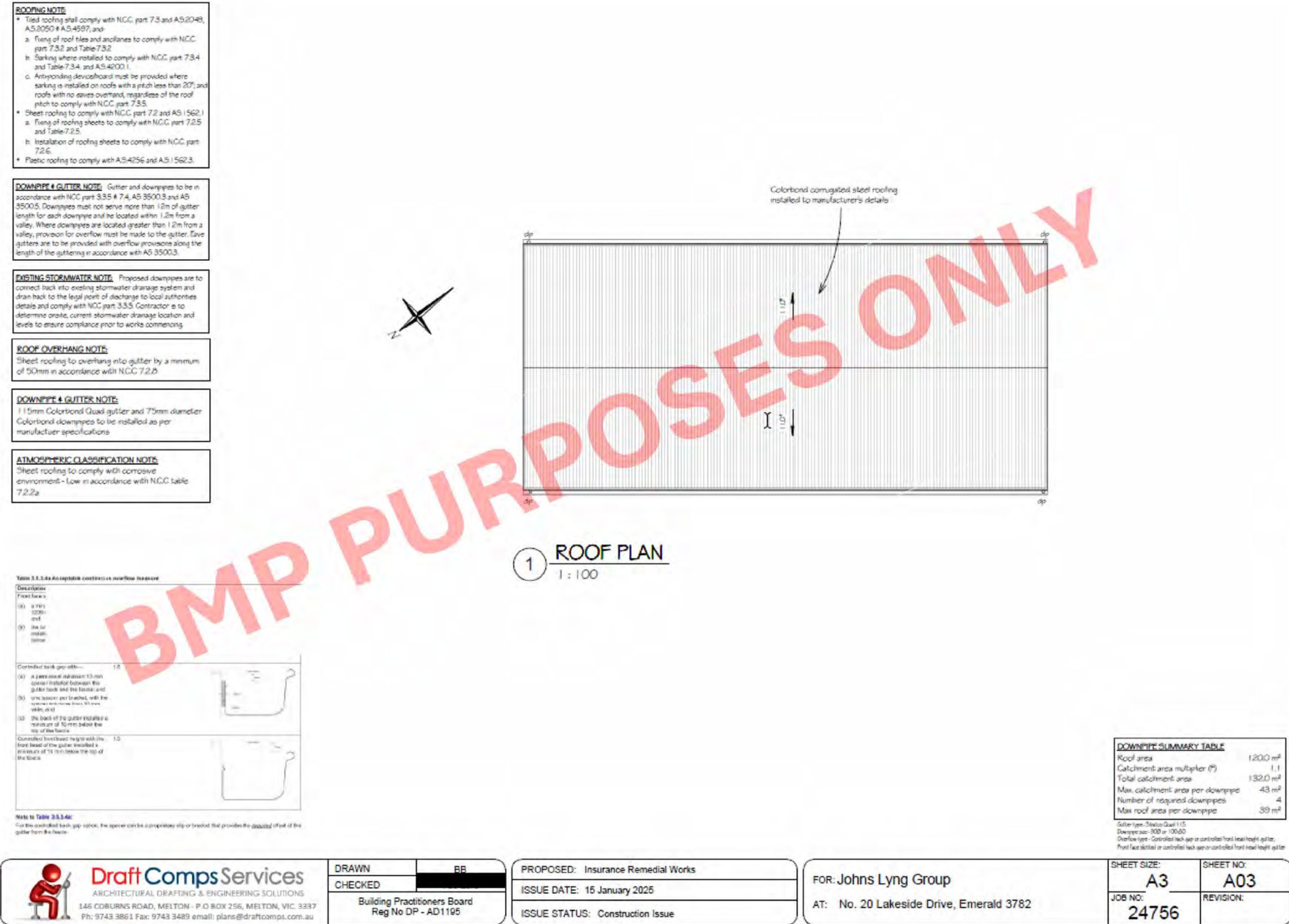
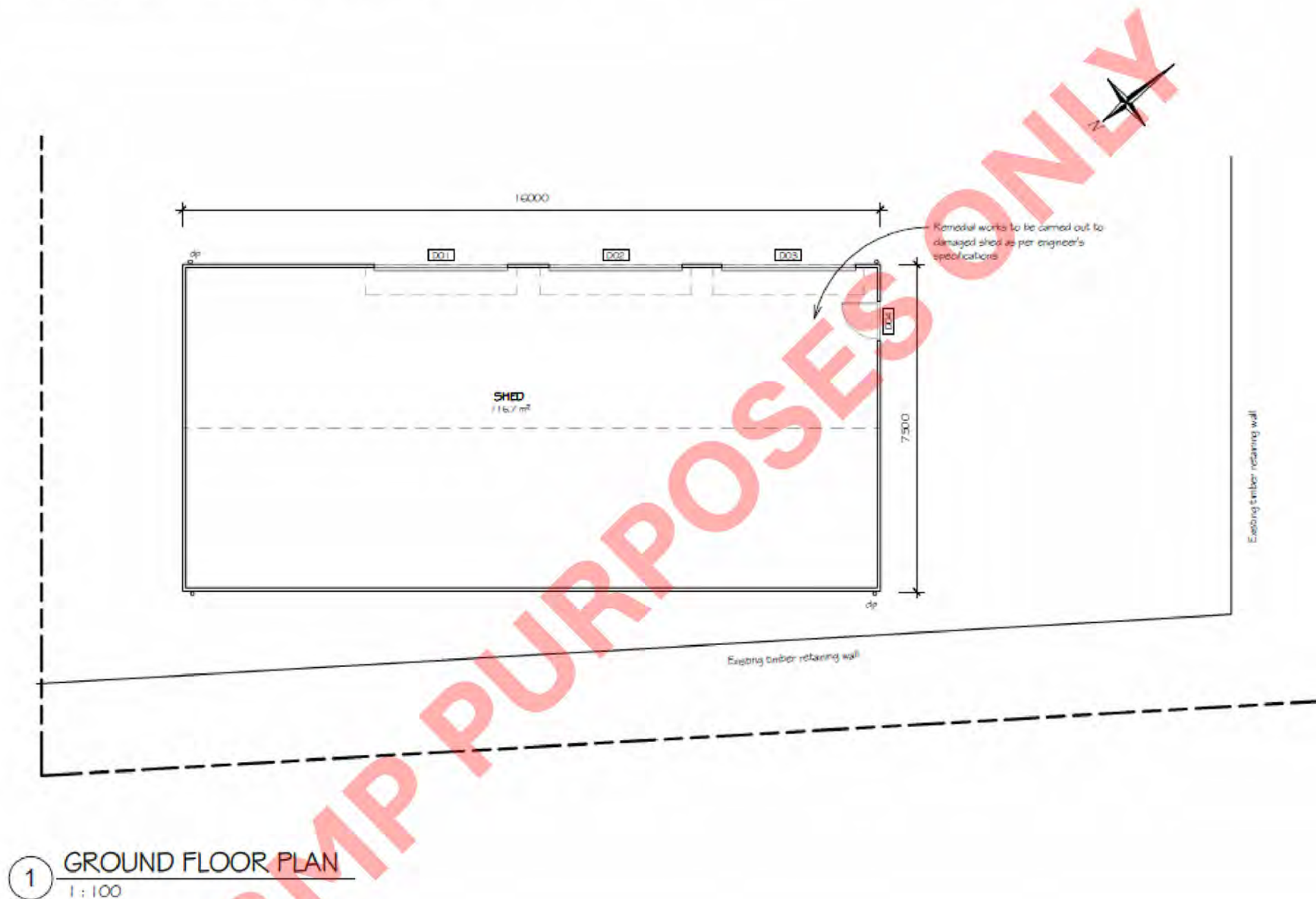


Figure 13 - Roof Plan - 24756\_Plans (2025-02-27), 15/01/2025, A03, Courtesy of Draft Comps Services, 2025

DOOR SCHEDULE						
No.	Height	Width	Frame Type	Gazons	Comments	Door type
01	4200	3050	Steel			Roller door
02	4200	3050	Steel			Roller door
03	4200	3050	Steel			Roller door
04	2040	880	Steel			Roller door

Door sizes are nominal only, final dimension to be verified with manufacturer

AREA SCHEDULE		
Name	Area	Squares
SHED	1200 m <sup>2</sup>	12.9
Grand total	1200 m <sup>2</sup>	12.9



**SHED NOTE**  
Plans to be read in conjunction with structural drawings by Best Sheds

**EXISTING CONDITIONS NOTE** All existing measurements, roof pitch, materials, levels and structures are approximate only. Contractor/builder to verify all existing conditions on site prior to any works commencing. Any discrepancies shall be advised prior to commencement of works.

**REMEDIAL WORKS NOTE** Builder/contractor to confirm all details on site prior to commencement of works, drawings shall be checked against building scope of works summary. Any discrepancies shall be reported back to the office for further direction.

**ARTIFICIAL LIGHTING**  
Artificial lighting to comply with NCC 15.7.6. The lamp power density or illumination power density of artificial lighting, excluding halogen flood light, must not exceed:  
1. In a class 1 building 5 W/m<sup>2</sup>  
2. On a veranda or balcony attached to a class 1 building 4 W/m<sup>2</sup>  
3. In a class 10 building 3 W/m<sup>2</sup>  
**Class 1 building 5 W/m<sup>2</sup>**  
Not Applicable  
**Veranda or balcony attached to a class 1 building 4 W/m<sup>2</sup>**  
Not Applicable  
**Class 10 building 3 W/m<sup>2</sup>**  
12000m<sup>2</sup> x 3W/m<sup>2</sup> = 360.00 Watts maximum allowance  
**Note:** Halogen lamps must be specially switched from fluorescent lamps. Artificial lighting around the perimeter of a building must be controlled by a daylight sensor or have an average light source efficacy of not less than 40 Lumens/W.


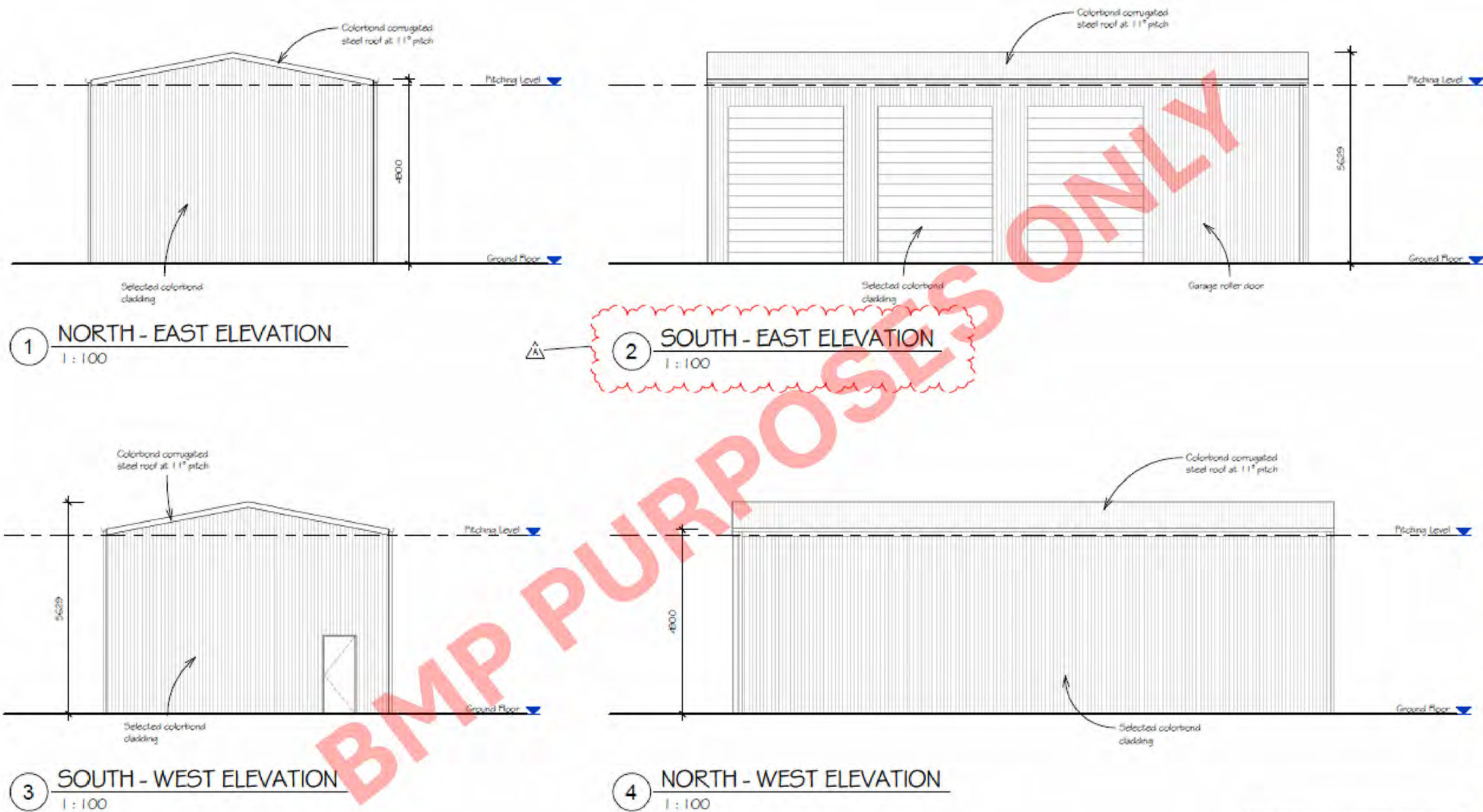
 <b>Draft Comps Services</b> ARCHITECTURAL DRAFTING & ENGINEERING SOLUTIONS 146 COBURNS ROAD, MELTON - P.O BOX 256, MELTON, VIC. 3337 Ph: 9743 3851 Fax: 9743 3489 email: plans@draftcomps.com.au	DRAWN CHECKED Building Practitioners Board Reg No DP - AD1195	PROPOSED: Insurance Remedial Works ISSUE DATE: 15 January 2025 ISSUE STATUS: Construction Issue	FOR: Johns Lyng Group AT: No. 20 Lakeside Drive, Emerald 3782	SHEET SIZE: <b>A3</b> JOB NO: <b>24756</b>	SHEET NO: <b>A04</b> REVISION:
	Printed 27/02/2025 4:05:33 PM © All plans and design rights are copyright to Draft Comps Services Pty. Ltd. and must not be reproduced				

Figure 14 Ground Floor Plan - 24756\_Plan (2025-02-27), 15/01/2025, A04, Courtesy of Draft Comps Services, 2025

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**CLADDING NOTE:** All cladding to be installed in accordance with manufacturer's requirements & NCC specifications.



DRAWN	BB
CHECKED	
Building Practitioners Board Reg No DP - AD1195	

PROPOSED: Insurance Remedial Works
ISSUE DATE: 15 January 2025
ISSUE STATUS: Construction Issue

FOR: Johns Lyng Group	SHEET SIZE: A3	SHEET NO: A05
AT: No. 20 Lakeside Drive, Emerald 3782	JOB NO: 24756	REVISION: A

A	Front elevation updated	MR	2025-02-27
REV	REVISION DESCRIPTION	BY	DATE

Printed: 27/02/2025 4:05:36 PM  
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Figure 15 Elevation Plan - 24756\_Plan (2025-02-27), 15/01/2025, A05, Courtesy of Draft Comps Services, 2025



## ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "41.65m/s", WIND REGION "A5", TERRAIN CATEGORY "2.5", IMPORTANCE LEVEL "2"  
Internal Pressure: 0.5  
Design Snow Load: 0.00 KPa, Roof Snow Load: 0.00 KPa

Customer: Johns Lyng Insurance Builders  
Site Address: 20 Lakeside Drive, Emerald VIC 3782

Main Building: Span: 7.5, Length: 16, Height: 4.9, Roof Pitch: 11 degrees  
The length being comprised of 4 bays, the largest bay is 4m bays.  
Left LeanTo: NA  
Right LeanTo: NA

Total Kit Weight: 4584.87kg

INTERNAL PORTALS
Column: 2C25019
Rafter: 2C25019
Knee Brace: 2C15015
Knee Brace Length: 1900
Apex Brace: 2C15015
Apex Brace Length: 3400

END PORTALS
Column: C25019
Rafter: C25019
Knee Brace: NA
Knee Brace Length: NA
Apex Brace: NA
Apex Brace Length: NA
Endwall Mullion: C25019

LEFT LEAN TO PORTALS
Internal Column: NA
Internal Rafter: NA
End Column: NA
End Rafter: NA
Knee Brace: NA
Knee Brace Length: NA

RIGHT LEAN TO PORTALS
Internal Column: NA
Internal Rafter: NA
End Column: NA
End Rafter: NA
Knee Brace: NA
Knee Brace Length: NA

NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS				
Eave Purlin:	TH120100			
Side Wall Girts:	TH120100	Max Spacing:	1250	Overlap: 10%
Front End Wall Girts:	TH120100	Max Spacing:	1250	Overlap: 10%
Back End Wall Girts:	TH120100	Max Spacing:	1250	Overlap: 10%
Roof Purlins:	TH120100	Max Spacing:	1250	Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.25m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M16x105 Sleeve Anchor
Frame Bolts: M16x45 Purlin Assembly Zinc (Mild)
Frame Screws: Frame Screw 14x14x22
Cross Bracing Strap: 32mm x 1.2 strap
Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Mountain Blue
External Wall Sheets: Mountain Blue
Roller Doors: Mountain Blue
Flashings: Mountain Blue
PA Doors: Mountain Blue
Windows: NA

### DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES

This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.8 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

### ENGINEERING

The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"- "P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2009 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

### CONSTRUCTION

Erection of the structure is to be in compliance with local and state ordinances.

Occupational Health and Safety Regulations and with plans provided.

### GENERAL

The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

### SNOW LOAD

Following conditions only apply to buildings with snow loading:

- No maintenance or roof traffic permitted on the roof while there is snow present,
- No other structure to be erected within 500mm of the gutters of this building.

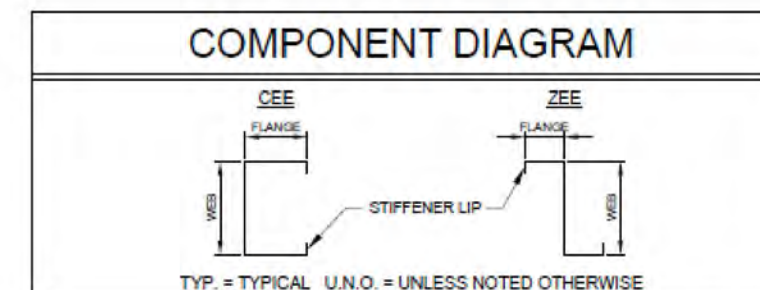


Figure 16 Engineering Schedule - Johns\_Lyng\_Insurance\_Builders\_-\_5227499833.2\_-\_ (7.5x16x4.9) - Engineering\_RegA5 , 19/12/2024, A05, Courtesy of Best Sheds, 2024



# Appendix D - Classification of Vegetation

## AS3959:2018 Table 2.3

Vegetation Classification	Vegetation Type	Description
<b>A</b>  Forest	Tall open forest	Trees over 30 m high; 30–70% foliage cover (may include understorey ranging from rainforest and tree ferns to low trees and tall shrubs).
	Tall woodland	Found in areas of highly reliable rainfall. Typically dominated by eucalypts
	Open Forest	Trees 30 m high; 30–70% foliage cover (may include understorey of sclerophyllous low trees and tall scrubs or grass). Typically dominated by eucalypt
	Low open forest	
	Pine Plantation	Trees 30 m in height at maturity, comprising Pinus species or other soft-wood species, are planted as a single species for timber production.
<b>B</b>  Woodland	Woodland	Trees 10–30 m high; 10–30% foliage cover dominated by eucalypts; low understorey trees to tall shrubs typically dominated by Acacia, Callitris or Casuarina
	Open woodland	
	Low woodland	Low trees and shrubs 2–10 m high; foliage cover less than 10%. Eucalypts and Acacias dominate it. Often have a grassy understorey or low shrubs.
	Low open woodland	Acacias and Casuarina woodlands grade to Atriplex shrublands in the arid and semi-arid zones.
	Open shrubland	
<b>C</b>  Shrubland	Closed heath	Found in wet areas affected by poor soil fertility or shallow soils. Shrubs 1–2 m high, often comprising Banksia, Acacia, Hakea and Grevillea. Wet heaths occur in sands adjoining dunes of the littoral (shore) zone. Montane heaths occur on shallow or waterlogged soils
	Open heath	
	Low shrubland	Shrubs less than 2 metres high and more than 30% foliage cover are commonly found in the understoreys, which may also contain grasses. Acacia and Casuarina are often dominant in the arid and semi-arid zones
<b>D</b>  Scrub	Closed scrub	Found in areas wet enough to support eucalypt trees, which are affected by poor soil fertility or shallow soils. >30% foliage cover. Dry heaths occur in rocky areas. Shrubs 1–2 m high. Typical of coastal wetlands.
	Open scrub	Trees greater than 2 m high, 10–30% foliage cover. It is dominated by eucalypts or co-dominant Melaleuca and Myoporum with a mixed understorey.
<b>E</b>  Mallee/  Mulga	Tall shrubland	Vegetation dominated by shrubs (especially eucalypts and Acacias) with a multi-stemmed habit, usually greater than 2 m in height <30% foliage cover. Understorey of widespread dense low shrubs (Acacia) or sparse grasses
<b>F</b>	Tall closed forest	Trees 10–40 m in height; >90% foliage cover; understorey may contain a large number of species with a variety of heights

Rainforest	Closed forest	
	Low closed forest	
G  Grassland only  (FDI 50 only)	Low open shrubland	This applies to all forms, including situations with both shrubs and trees where the overstorey foliage cover is less than 10%
	Hummock grassland	
	Closed tussock grassland	
	Open tussock	
	Sparse open tussock	
	Densely sown pasture	
	Sown pasture	
	Open herb field	
	Sparse open herb field	

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#### NOTES:

**Although classified as unmanaged, Grassland is not considered in the Bushfire Attack Level (BAL), except in Tasmania.**

**Overstoreys of open woodland, low open woodland, tall open shrubland and low open shrubland should be classified to the vegetation type based on their understoreys; others to be classified based on their overstorey.**

**Vegetation height is the average height of the top of the overstoreys.**



# Appendix E - Exclusions – Low-threat and non-vegetated areas

## 2.2.3.2 Exclusions—Low threat vegetation and non-vegetated areas

The following vegetation shall be excluded from a BAL assessment:

- (a) Vegetation of any type that is more than 100 m from the site.
- (b) Single areas of vegetation less than 1 ha in area and not within 100 m of other areas of vegetation being classified vegetation.
- (c) Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site, or each other or of other areas of vegetation being classified vegetation.
- (d) Strips of vegetation less than 20 m in width (measured perpendicular to the elevation exposed to the strip of vegetation) regardless of length and not within 20 m of the site or each other, or other areas of vegetation being classified vegetation.
- (e) Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings and rocky outcrops.
- (f) Vegetation regarded as low threat due to factors such as flammability, moisture content or fuel load. This includes grassland managed in a minimal fuel condition, mangroves and other saline wetlands, maintained lawns, golf courses (such as playing areas and fairways), maintained public reserves and parklands, sporting fields, vineyards, orchards, banana plantations, market gardens (and other non-curing crops), cultivated gardens, commercial nurseries, nature strips and windbreaks.

### NOTES:

- 1 Minimal fuel condition means there is insufficient fuel available to significantly increase the severity of the bushfire attack (recognizable as short-cropped grass for example, to a nominal height of 100 mm).
- 2 A windbreak is considered a single row of trees used as a screen or to reduce the effect of wind on the leeward side of the trees.

### NOTES:

Minimal fuel condition means insufficient fuel is available to significantly increase the severity of the bushfire attack (recognisable as short-cropped grass, for example, to a nominal height of 100mm).

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# Appendix F - Bushfire attack levels and construction standards

**TABLE 3.1**

**BUSHFIRE ATTACK LEVELS AND CORRESPONDING SECTIONS FOR SPECIFIC CONSTRUCTION REQUIREMENTS**

Bushfire Attack Level (BAL)	Classified vegetation within 100 m of the site and heat flux exposure thresholds	Description of predicted bushfire attack and levels of exposure	Construction Section
BAL—LOW	See Clause 2.2.3.2	There is insufficient risk to warrant specific construction requirements	4
BAL—12.5	$\leq 12.5 \text{ kW/m}^2$	Ember attack	3 and 5
BAL—19	$> 12.5 \text{ kW/m}^2$ $\leq 19 \text{ kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux	3 and 6
BAL—29	$> 19 \text{ kW/m}^2$ $\leq 29 \text{ kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux	3 and 7
BAL—40	$> 29 \text{ kW/m}^2$ $\leq 40 \text{ kW/m}^2$	Increasing levels of ember attack and burning debris ignited by windborne embers together with increasing heat flux with the increased likelihood of direct contact with flames	3 and 8
BAL—FZ	$> 40 \text{ kW/m}^2$	Direct exposure to flames from fire front in addition to heat flux and ember attack	3 and 9

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# Appendix G – 53.02-5 Table 7 : Defendable space, construction, water supply, vehicle access, vegetation management and outbuilding construction requirements

Table 7 Outbuilding construction requirement	
Building construction condition	
The proposed outbuilding is separated from the adjacent building by a wall that extends to the underside of a non-combustible roof covering and:	
<ul style="list-style-type: none"><li>has a FRL of not less than 60/60/60 for loadbearing walls and -/60/60 for non-load bearing walls when tested from the attached structure side, or</li><li>is of masonry, earth wall or masonry-veneer construction with the masonry leaf of not less than 90 millimetres in thickness.</li></ul>	
Any openings in the wall shall be protected in accordance with the following:	
<ul style="list-style-type: none"><li>i. Doorways – by FLR -/60/30 self-closing fire doors</li><li>ii. Windows – by FRL -/60/- fire windows permanently fixed in the closed position</li><li>iii. Other openings – by construction with a FRL of not less than -/60/-</li></ul>	
<i>Note: Control and construction joints, subfloor vents, weepholes and penetrations for pipes and conduits need not comply with Item iii.</i>	

[View table in full screen](#)

## Note 1:

These conditions are required for some non habitable outbuildings ancillary to a dwelling that do not require referral to the relevant fire authority. Applications for non habitable outbuildings can also use the bushfire protection measures in Clause 53.02 however referral to the relevant fire authority will be required.

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# Appendix H - Vegetation Management Requirements 66.03 –Avoid- ing Fire Authority Referral Non- Habitable Outbuilding

Clause	Kind of application	Referral authority	Type of referral authority
Clause 44.06-6 (BMO)	<p>An application to construct a building or carry out works associated with a dwelling.</p> <p>This does not apply to a non habitable outbuilding that meets the following requirements:</p> <ul style="list-style-type: none"> <li>■ The outbuilding is ancillary to a dwelling,</li> <li>■ 10 metres of defensible space is provided around the outbuilding in accordance with the vegetation management requirements at Table 6 of Clause 53.02,</li> <li>■ The canopy of each tree within the defensible space is separated by at least 2 metres, and</li> <li>■ Where the outbuilding is located less than 10 metres from a dwelling the outbuilding construction requirements at Table 7 of Clause 53.02 are met.</li> </ul>	Relevant fire authority	Recommending referral authority



# Appendix I - Arboricultural and Bushfire Management Overlay Compliance Assessment

Figure 17 Arboricultural Assessment

TO BE CONFIRMED

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# References

Department of Transport and Planning. (2025, March Friday, 28th). *Clause 44.06 Bushfire Management Overlay*. Retrieved from Victoria Planning Schemes Online: <https://planning-schemes.app.planning.vic.gov.au/Victoria%20Planning%20Provisions/ordinance/44.06>

Department of Transport and Planning. (2025, March Friday, 28th). *Clause 53.02 Bushfire Planning*. Retrieved from Victoria Planning Schemes Online: <https://planning-schemes.app.planning.vic.gov.au/Victoria%20Planning%20Provisions/ordinance/53.02>

Department Of Transport and Planning. (2025, March Friday, 28th). *Clause 63.10 Damaged or Destroyed Building Or Works*. Retrieved from Vcitoria Planning Provsions: <https://planning-schemes.app.planning.vic.gov.au/Victoria%20Planning%20Provisions/ordinance/63.10>

Department of Transport and Planning. (2025, March Friday, 28th). *Clause 66.03 Referral of Permit Applications Under Other State Standard Provisions*. Retrieved from Victoria Planning Provisions: <https://planning-schemes.app.planning.vic.gov.au/Victoria%20Planning%20Provisions/ordinance/66.03>

Department of Transport and Planning. (2025, March Friday, 28th). *Schedule 1 To Clause 42.02 Vegetation Protection Overlay*. Retrieved from Cardinia planning scheme: <https://planning-schemes.app.planning.vic.gov.au/CARDINIA/ordinance/42.02-s1>

Victoria State Government. (2025, March). *Property and parcel search*. Retrieved from Department of Transport and Planning, Victoria.: <https://www.land.vic.gov.au/property-and-parcel-search>

Victorian Building Authority. (2025, March). *Building Classes*. Retrieved from Victorian Building Authority: <https://www.vba.vic.gov.au/building/regulatory-framework/building-classes>

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NO. 20 LAKESIDE DRIVE, EMERALD

**REMEDIAL WORKS SUMMARY NOTE:** The following plans have been drawn in accordance with Johns Lyng Group job number JVBSO/36/1 that relates to the project enclosed. Works are to be carried out to the existing project where damages have occurred within the property relating back to the scope of works, for further information please refer to the applicable job sheet.

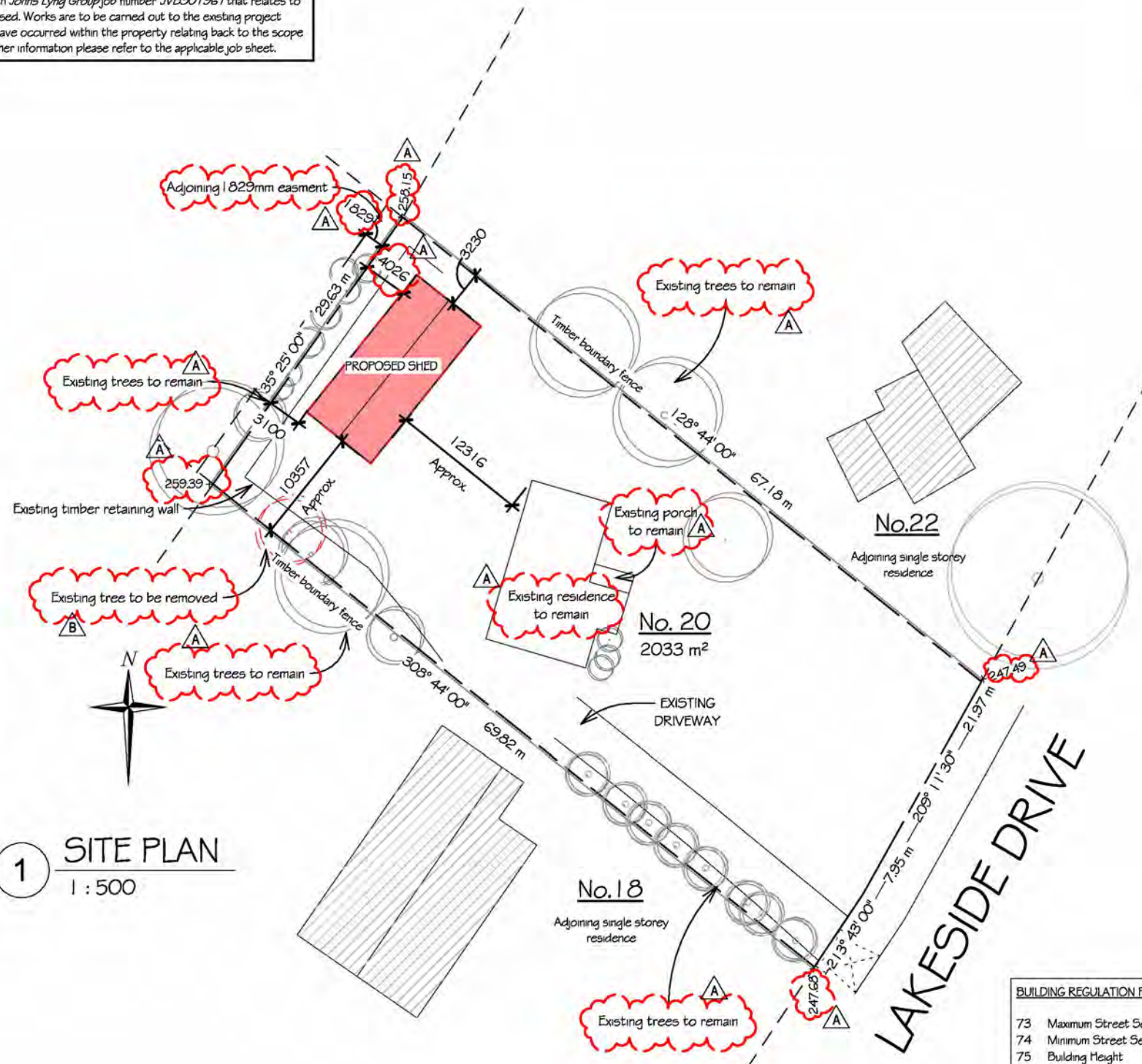
SITE AREAS:	
Site area:	2033.00m <sup>2</sup>
Building area:	264.00m <sup>2</sup>
Coverage:	12.99%
Permeability:	87.01%

TERMITE REQUIREMENTS
The site is not in a designated termite prone area and therefore is not subject to any termite management construction requirements
NOT APPLICABLE

BUSHFIRE REQUIREMENTS
The site is in a designated bushfire prone area, any construction requirements where required to comply with AS 3959



**EXISTING CONDITIONS NOTES:** All existing measurements, roof pitch, materials, levels and structures are approximate only. Contractor/builder to verify all existing conditions on site prior to any works commencing, any discrepancies shall be advised prior to commencement of works.



1 SITE PLAN  
1 : 500



A SITE LOCALITY PLAN  
N.T.S.

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BUILDING REGULATION PART 5 : SITING CHECKLIST		
73	Maximum Street Setbacks	--: Not applicable
74	Minimum Street Setbacks	--: Not applicable
75	Building Height	--: Complies
76	Site Coverage	--: Complies
76A	Minimum Garden Area	--: Not applicable
77	Permeability	--: Complies
78	Car Parking	--: Not applicable
79	Side and Rear Setbacks	--: Complies
80	Walls and Carport on Boundaries	--: Not applicable
81	Daylight to Existing Habitable Room Windows	--: Complies
82	Solar Access to Existing North Facing Habitable Room Windows	--: Complies
83	Overshadowing of Recreational Private Open Space	--: Complies
84	Overlooking	--: Complies
85	Daylight to Habitable Room Windows	--: Complies
86	Private Open Space	--: Complies

B	Removal of tree 4	BB	2025-08-13
A	Additional information as per Council request	BB	2025-07-01
REV.	REVISION DESCRIPTION	BY	DATE

**Draft Comps Services**  
ARCHITECTURAL DRAFTING & ENGINEERING SOLUTIONS  
146 COBURNS ROAD, MELTON - P.O BOX 256, MELTON, VIC. 3337  
Ph: 9743 3861 Fax: 9743 3489 email: plans@draftcomps.com.au

DRAWN: [Redacted]  
CHECKED: [Redacted]  
Building Practitioners Board  
Reg No DP - AD1195

PROPOSED: Insurance Remedial Works  
ISSUE DATE: 30 June 2025  
ISSUE STATUS: Authority Approval

FOR: Johns Lyng Group  
AT: No. 20 Lakeside Drive, Emerald 3782

SHEET SIZE: A3  
JOB NO: 24756  
SHEET NO: A01.1  
REVISION: B



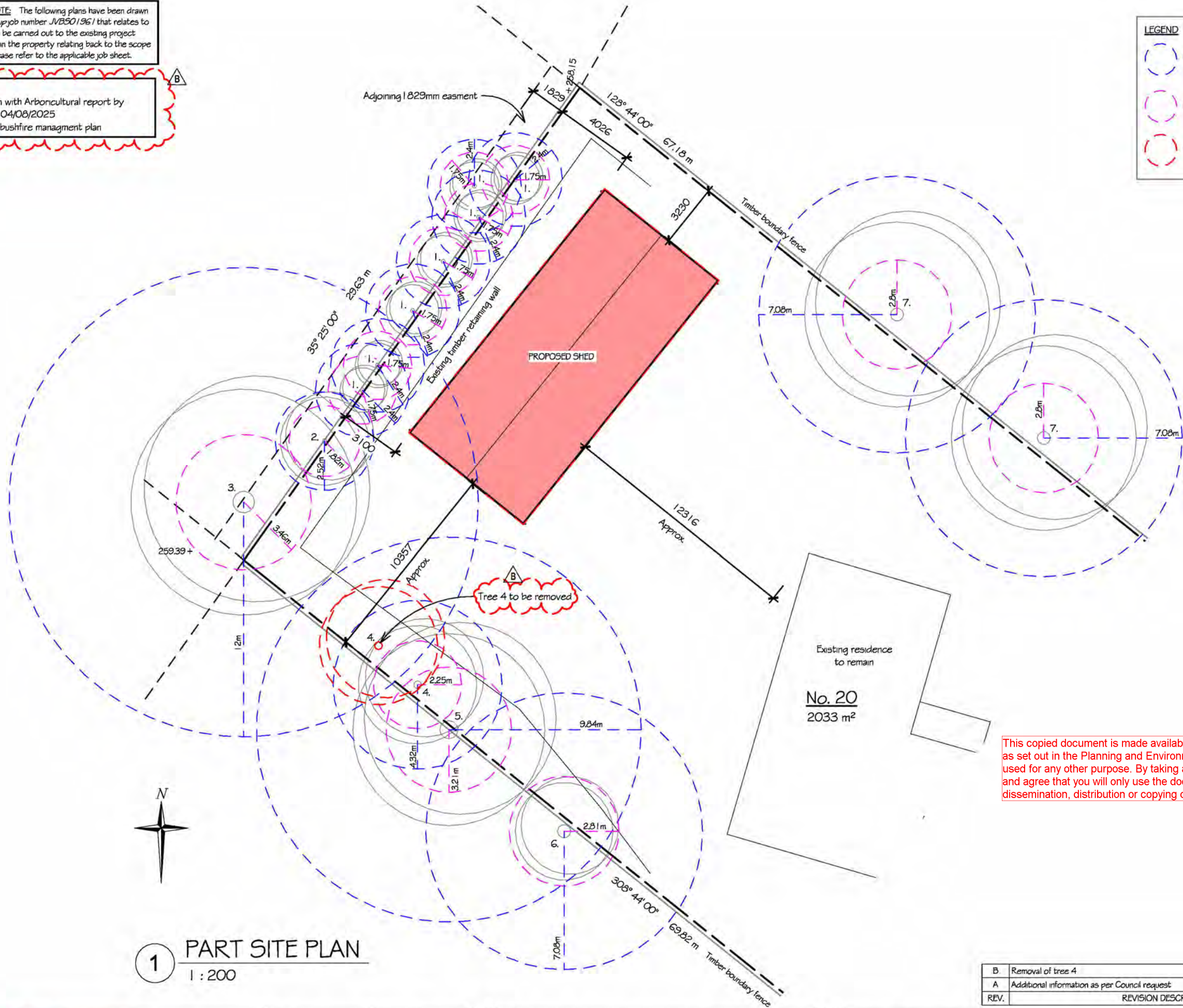




**REMEDIAL WORKS SUMMARY NOTE:** The following plans have been drawn in accordance with Johns Lyng Group job number JV3501961 that relates to the project enclosed. Works are to be carried out to the existing project where damages have occurred within the property relating back to the scope of works, for further information please refer to the applicable job sheet.

**DESIGN NOTE:**  
Plans to be read in conjunction with Arboncultural report by Rigoni Tree Solutions dated 04/08/2025  
Tree 4 to be removed as per bushfire management plan

- LEGEND**
- DENOTES NOTIONAL ROOT ZONE (NRZ)
  - DENOTES STRUCTURAL ROOT ZONE (SRZ)
  - DENOTES TREE TO BE REMOVED



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B	Removal of tree 4	BB	2025-08-13
A	Additional information as per Council request	BB	2025-08-07
REV.	REVISION DESCRIPTION	BY	DATE



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**A01.3**  
REVISION:  
**B**



**DEMOLITION NOTES:** All demolition works are to be carried out in a safe manner with all loadbearing walls, lintels and the like verified on site prior to any works being commenced. Any discrepancies between on site conditions and these plans are to be verified with this office prior to works being carried out. Builder/contractor is to make good all surfaces after removal & or/ demolition works have been carried out with all best efforts made to match any existing materials where required and any variations to those materials on site unable to be matched to be verified by the client/owner prior to commencement. Before commencement of works loadbearing walls as depicted on the drawings are to be propped accordingly during demolition period to ensure a safe worksite. Remove all existing construction finishes/ materials necessary for the completion of the work as depicted on the drawings, including but not limited to those shown on the drawings. Disconnect or alter any existing mechanical, plumbing and electrical fixtures or components where required, patch as required all constructions to remain in accordance with the drawings.

**EXISTING CONDITIONS NOTES:** All existing measurements, roof pitch, materials, levels and structures are approximate only. Contractor/builder to verify all existing conditions on site prior to any works commencing, any discrepancies shall be advised prior to commencement of works.

**REMEDIAL WORKS NOTE:** Builder/contractor to confirm all details onsite prior to commencement of works, drawings shall be checked against building scope of works summary any discrepancies shall be reported back to this office for further direction.



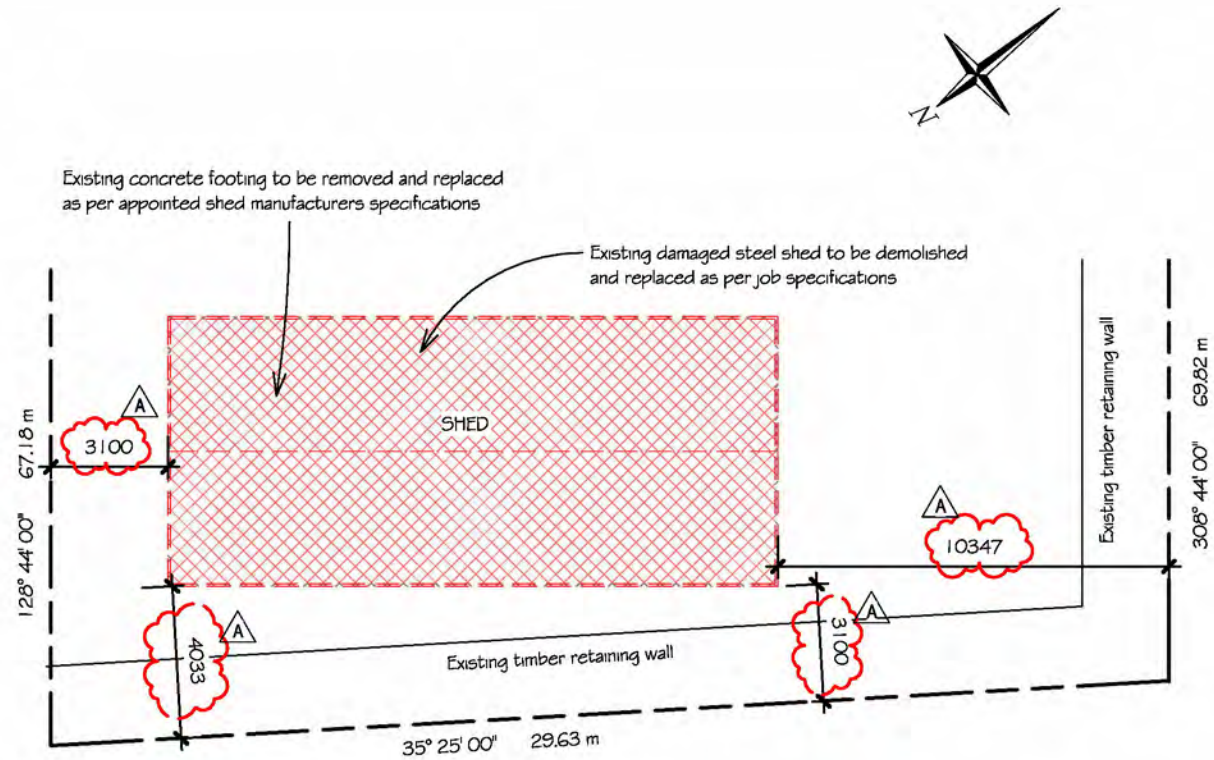
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PIC A



PIC B



PIC C



PIC D

# 1 EXISTING/DEMOLITION FLOOR PLAN

1 : 200



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MR  
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SHEET SIZE:  
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JOB NO:  
**24756**

SHEET NO:  
**A02**

REVISION:  
**A**

A	Additional information as per Council request	BB	2025-07-01
REV.	REVISION DESCRIPTION	BY	DATE



- ROOFING NOTE:**
- Tiled roofing shall comply with N.C.C. part 7.3 and AS 2049, AS 2050 & AS 4597; and:
    - Fixing of roof tiles and ancillaries to comply with N.C.C. part 7.3.2 and Table 7.3.2
    - Sarking where installed to comply with N.C.C. part 7.3.4 and Table 7.3.4, and AS 4200.1.
    - Anti-ponding device/board must be provided where sarking is installed on roofs with a pitch less than 20°; and roofs with no eaves overhand, regardless of the roof pitch to comply with N.C.C. part 7.3.5.
  - Sheet roofing to comply with N.C.C. part 7.2 and AS 1562.1
    - Fixing of roofing sheets to comply with N.C.C. part 7.2.5 and Table 7.2.5.
    - Installation of roofing sheets to comply with N.C.C. part 7.2.6.
  - Plastic roofing to comply with AS 4256 and AS 1562.3.

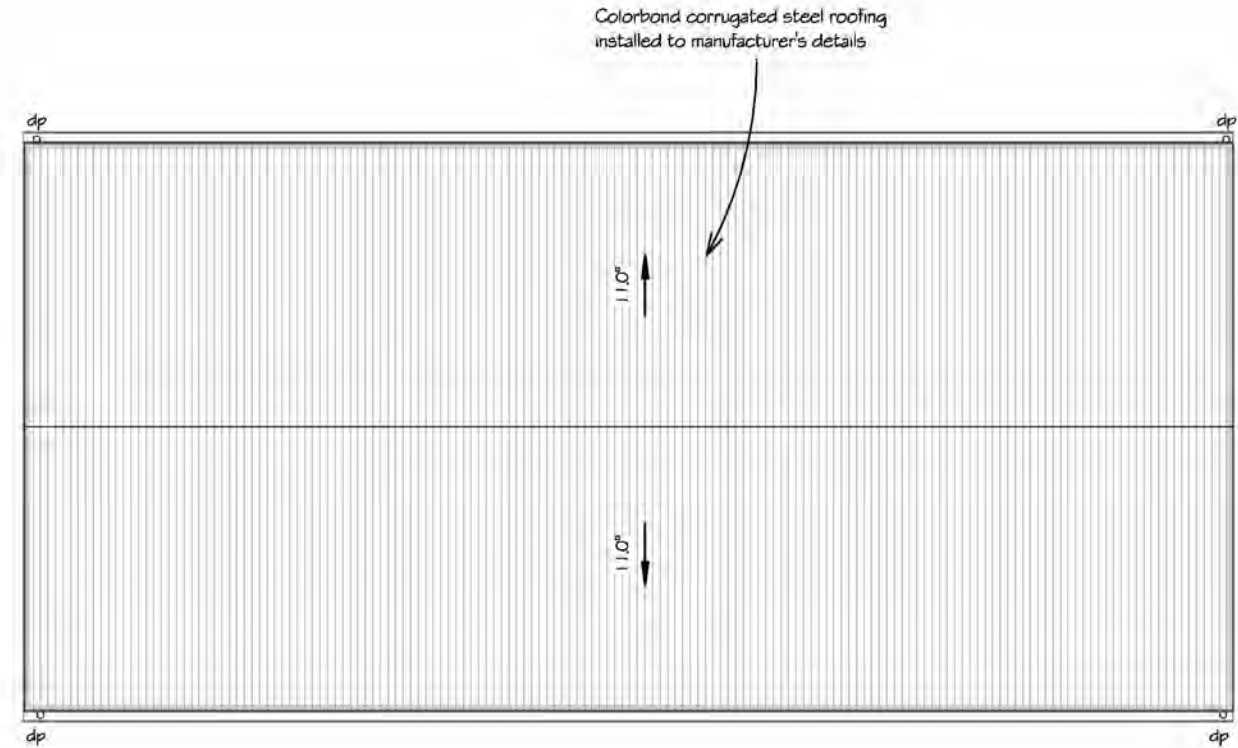
**DOWNPIPE & GUTTER NOTE:** Gutter and downpipes to be in accordance with NCC part 3.3.5 & 7.4, AS 3500.3 and AS 3500.5. Downpipes must not serve more than 1.2m of gutter length for each downpipe and be located within 1.2m from a valley. Where downpipes are located greater than 1.2m from a valley, provision for overflow must be made to the gutter. Eave gutters are to be provided with overflow provisions along the length of the guttering in accordance with AS 3500.3.

**EXISTING STORMWATER NOTE:** Proposed downpipes are to connect back into existing stormwater drainage system and drain back to the legal point of discharge to local authorities details and comply with NCC part 3.3.5. Contractor is to determine onsite, current stormwater drainage location and levels to ensure compliance prior to works commencing.

**ROOF OVERHANG NOTE:**  
Sheet roofing to overhang into gutter by a minimum of 50mm in accordance with N.C.C 7.2.B

**DOWNPIPE & GUTTER NOTE:**  
115mm Colorbond Quad gutter and 75mm diameter Colorbond downpipes to be installed as per manufacturer specifications

**ATMOSPHERIC CLASSIFICATION NOTE:**  
Sheet roofing to comply with corrosive environment - Low in accordance with N.C.C table 7.2.2a



## 1 ROOF PLAN

1 : 100

Table 3.5.3.4a Acceptable continuous overflow measure

Description:	
Front face:	
(a) a minimum of 1200 mm	
(b) the top of the gutter	
Controlled back gap with—	
(a) a permanent minimum 10 mm space installed between the gutter back and the fascia and	
(b) one spacer per bracket, with the spacer not more than 50 mm wide, and	
(c) the back of the gutter installed a minimum of 10 mm below the top of the fascia	
Controlled front bead height with the front bead of the gutter installed a minimum of 10 mm below the top of the fascia	

**Note to Table 3.5.3.4a:**  
For the controlled back gap option, the spacer can be a proprietary clip or barbed steel provided the minimum effect of the gutter from the fascia.

DOWNPIPE SUMMARY TABLE	
Roof area	120.0 m <sup>2</sup>
Catchment area multiplier (F)	1.1
Total catchment area	132.0 m <sup>2</sup>
Max. catchment area per downpipe	43 m <sup>2</sup>
Number of required downpipes	4
Max roof area per downpipe	39 m <sup>2</sup>

Gutter type - Strato Quad 115  
Downpipe size - 900 or 100/50  
Overflow type - Controlled back gap or controlled front bead height gutter,  
Front face slotted or controlled back gap or controlled front bead height gutter



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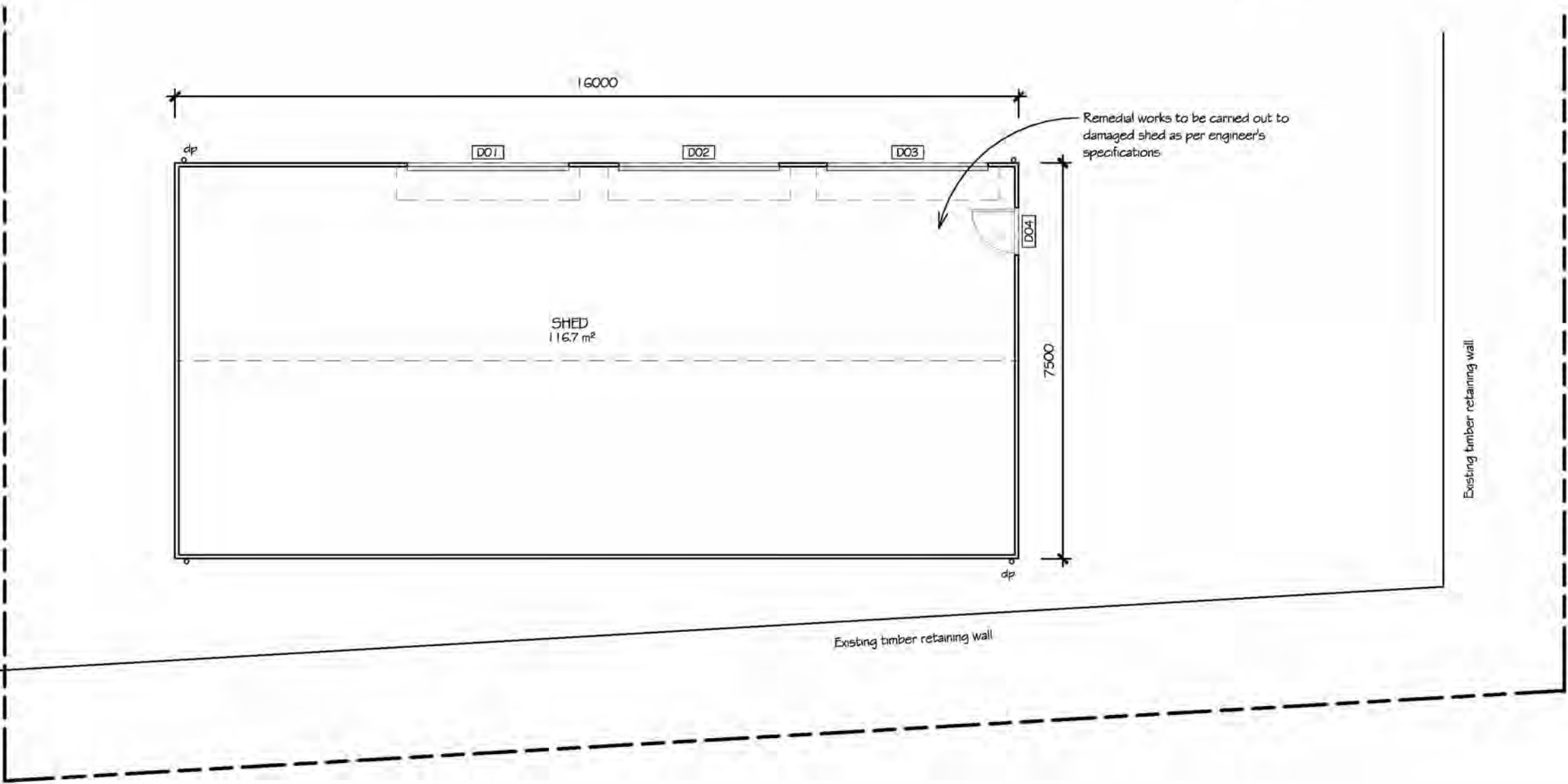
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**A03**  
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DOOR SCHEDULE						
No.	Height	Width	Frame Type	Glazing	Comments	Door type
01	4200	3050	Steel			Roller door
02	4200	3050	Steel			Roller door
03	4200	3050	Steel			Roller door
04	2040	820	Steel			Solid core

Door sizes are nominal only; final dimension to be verified with manufacturer.

AREA SCHEDULE		
Name	Area	Squares
SHED	120.0 m <sup>2</sup>	12.9
Grand total	120.0 m <sup>2</sup>	12.9



1 GROUND FLOOR PLAN  
1 : 100

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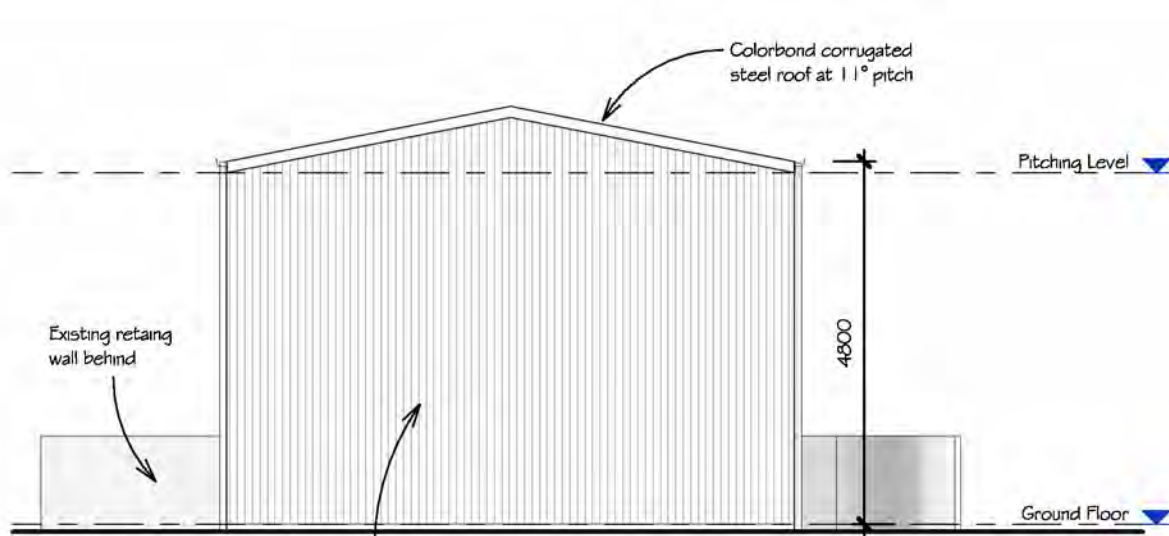
**SHED NOTE:**  
Plans to be read in conjunction with structural drawings by Best Sheds

**EXISTING CONDITIONS NOTES:** All existing measurements, roof pitch, materials, levels and structures are approximate only. Contractor/builder to verify all existing conditions on site prior to any works commencing, any discrepancies shall be advised prior to commencement of works.

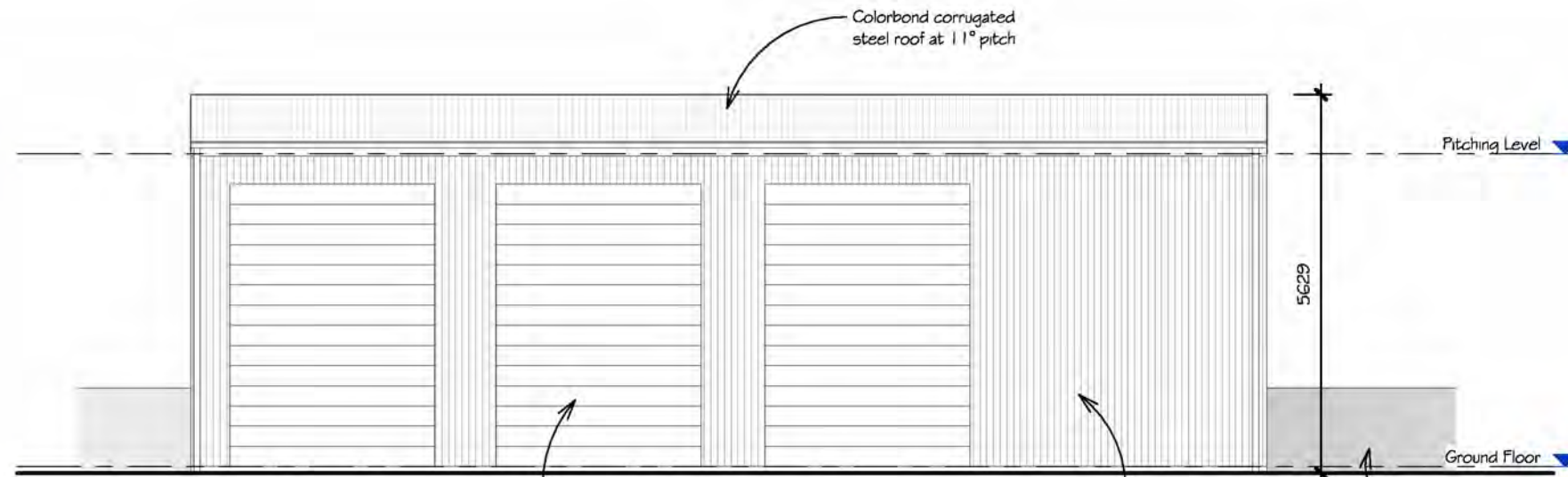
**REMEDIAL WORKS NOTE:** Builder/contractor to confirm all details onsite prior to commencement of works, drawings shall be checked against building scope of works summary any discrepancies shall be reported back to this office for further direction.

**ARTIFICIAL LIGHTING:**  
Artificial lighting to comply with NCC 13.7.6. The lamp power density or illumination power density of artificial lighting, excluding heaters that emit light, must not exceed:  
1. In a class 1 building, 5 W/m<sup>2</sup>  
2. On a verandah or balcony attached to a Class 1 building, 4 W/m<sup>2</sup>  
3. In a Class 10 building, 3 W/m<sup>2</sup>  
Class 1 building, 5 W/m<sup>2</sup>  
Not Applicable  
Verandah or balcony attached to a Class 1 building, 4 W/m<sup>2</sup>  
Not Applicable  
Class 10 building, 3 W/m<sup>2</sup>  
120,000m<sup>2</sup> x 3W/m<sup>2</sup> = 360,000 Watts maximum allowance  
Note: Halogen lamps must be separately switched from fluorescent lamps, artificial lighting around the perimeter of a building must be controlled by a daylight sensor, or have an average light source efficacy of not less than 40 Lumens/W.

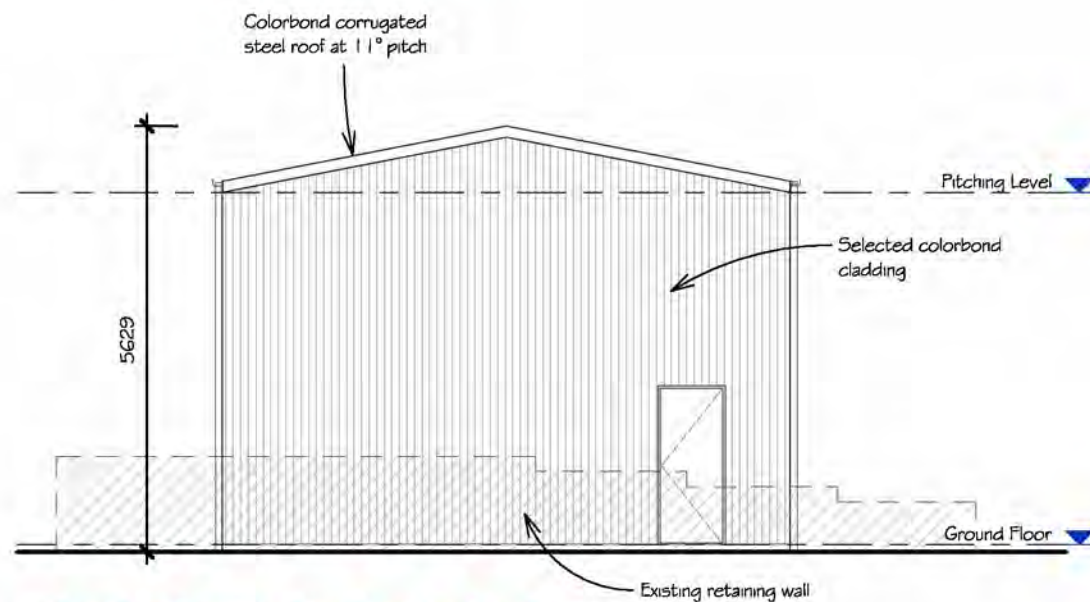




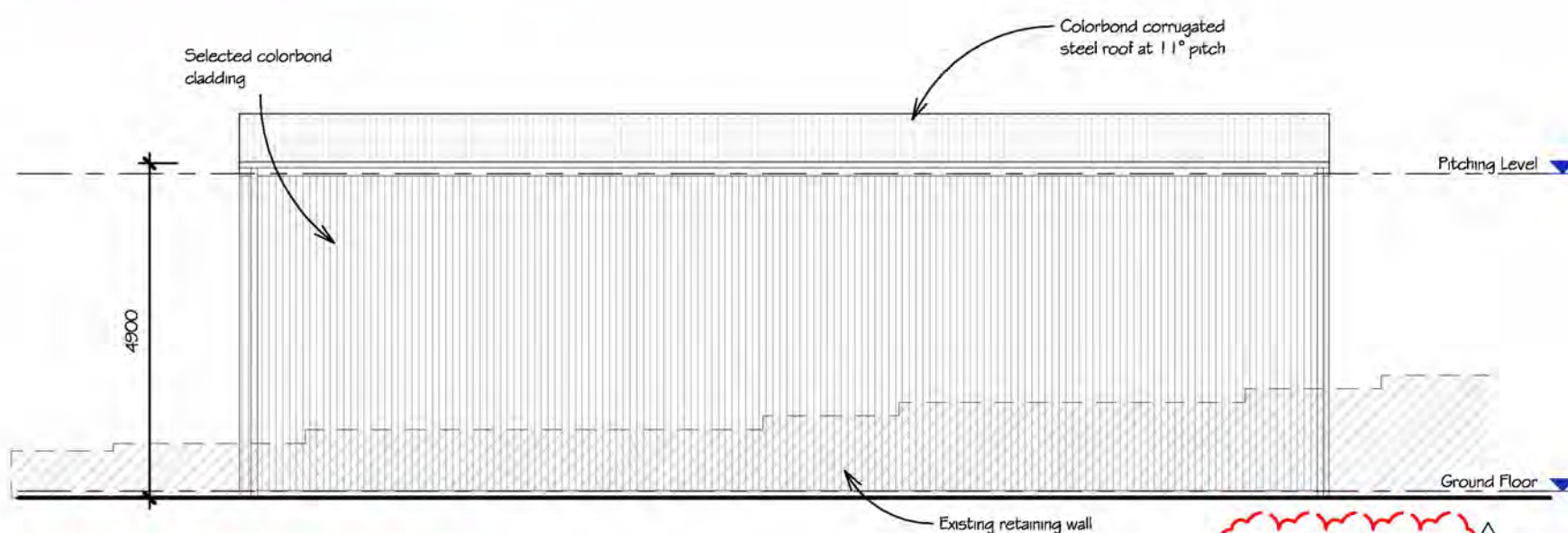
1 NORTH ELEVATION  
1 : 100



2 EAST ELEVATION  
1 : 100



3 SOUTH ELEVATION  
1 : 100



4 WEST ELEVATION  
1 : 100

NO EARTHWORKS REQUIRED

COLOURS AND MATERIALS SCHEDULE		
Roof	- Corrugated steel	- Mountain Blue
Gutter	- Steel	- Mountain Blue
Downpipe	- Steel	- Mountain Blue
Cladding	- Corrugated Steel	- Mountain Blue
Roller door	- Steel	- Mountain Blue

CLADDING NOTE: All cladding to be installed in accordance with manufacturer's requirements & N.C.C specifications.

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