
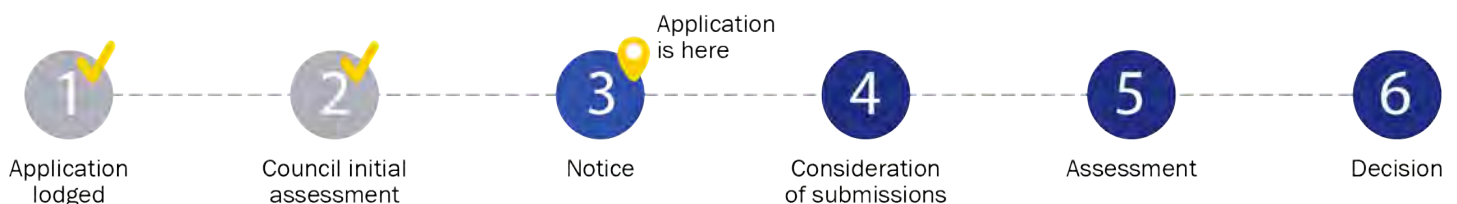


Notice of Application for a Planning Permit

The land affected by the application is located at:	L204 PS902144 V12580 F622 9 Monterey Way, Pakenham VIC 3810	
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a fence	
42.01-2	Construct a building or construct or carry out works	
APPLICATION DETAILS		
The applicant for the permit is:	FTS PTY LTD	
Application number:	T250397	
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		16 September 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>





ePlanning

Application Summary

Portal Reference A3256729

Basic Information

Proposed Use refer to planning letter
Current Use vacant
Cost of Works \$402,000
Site Address 9 Monterey Way Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	FTS PTY LTD	7/a Launceston St, Williamstown North VIC 3016	W: 0449-985-619 E: jobs@ftsonline.com.au
Owner			
Preferred Contact	FTS PTY LTD	7/a Launceston St, Williamstown North VIC 3016	W: 0449-985-619 E: jobs@ftsonline.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,462.50	100%	\$1,462.50
Total			\$1,462.50

Documents Uploaded

Date	Type	Filename
07-07-2025	Additional Document	Planning letter v2.pdf
07-07-2025	Overlay Requirements	Uncategorised 753358-Work-131087-1.pdf
07-07-2025	Site plans	Uncategorised 753358-Work-131087-1.pdf
07-07-2025	A Copy of Title	Title.pdf



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	FTS PTY LTD	7a Launceston St, Williamstown North VIC 3016	W: 0449-985-619 E: jobs@ftsonline.com.au
Submission Date	07 July 2025 - 09:23:AM		

Declaration

☒ By ticking this checkbox, I, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

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Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250397
Address of the Land:	9 Monterey Way, Pakenham VIC 3810

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	First to Site Pty Ltd
Address:	7A Launceston Street, Williamstown North, VIC 3016
Phone:	0449 985 619
Email:	giovannia@ftsonline.com.au

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
form to update the proposal description to "Construction of a dwelling and a fence"		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input checked="" type="checkbox"/>	Unchanged <input type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	26/8/25

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
--

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12580 FOLIO 622

Security no : 124126431139B
Produced 22/07/2025 03:38 PM

LAND DESCRIPTION

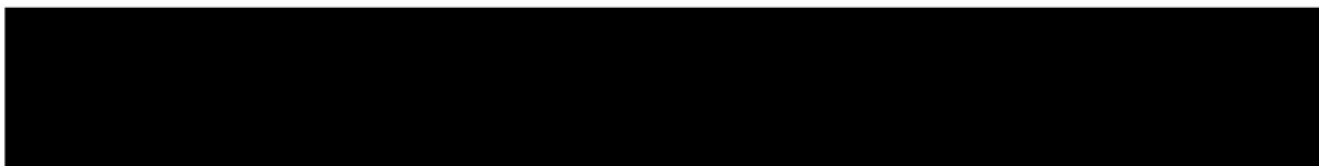
Lot 204 on Plan of Subdivision 902144W.

PARENT TITLES :

Volume 12330 Folio 800 Volume 12580 Folio 422

Created by instrument PS902144W 01/11/2024

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



COVENANT PS902144W 01/11/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS902144W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

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-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 9 MONTEREY WAY PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL



DOCUMENT END



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 22/07/2025 03:38:10 PM

Status	Registered	Dealing Number	AY880230Q
Date and Time Lodged	14/02/2025 05:12:02 PM		

Lodger Details

Lodger Code	15940N
Name	COMMONWEALTH BANK OF AUSTRALIA
Address	
Lodger Box	
Phone	
Email	
Reference	

TRANSFER

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Land Title Reference

12580/622

Transferor(s)

Name	BNG (PAKENHAM) PTY LTD
ACN	640125686

Estate and/or Interest being transferred

Fee Simple

Consideration

\$AUD 392000.00

Transferee(s)

Tenancy (inc. share)	Joint Tenants
----------------------	---------------

Given Name(s)

Family Name

Address

Unit Type	UNIT
-----------	------

Unit Number	201
-------------	-----

Street Number	538
---------------	-----

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Street Name GLEN HUNTLY
Street Type ROAD
Locality ELSTERNWICK
State VIC
Postcode 3185

Given Name(s)

Family Name

Address

Unit Type UNIT
Unit Number 201
Street Number 538
Street Name GLEN HUNTLY
Street Type ROAD
Locality ELSTERNWICK
State VIC
Postcode 3185

Duty Transaction ID
6198824

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	BNG (PAKENHAM) PTY LTD
Signer Name	
Signer Organisation	HWL EBSWORTH LAWYERS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	14 FEBRUARY 2025

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of

Signer Name

Signer Organisation

Signer Role

Execution Date



File Notes:

NIL

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Statement End.

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Department of Environment, Land, Water & Planning

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Produced 22/07/2025 03:38:10 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Postcode 3809

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:

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Document Identification	AX385769J
Number of Pages (excluding this cover sheet)	17
Document Assembled	22/07/2025 15:38

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

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Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 147 Collins Street, Melbourne VIC 3000 Australia
PO Box 3, Collins Street West VIC 3007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

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Deed of Agreement

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Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:
 - a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
 - b) *A requirement that each land owner must maintain the*

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act means the *Planning and Environment Act 1987* (Vic).

Agreement means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

Building Design Guidelines means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

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Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

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3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

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5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

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8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

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Schedule

Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001:

.....
Print full name

.....
Print full name

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Executed as a deed

Signed, sealed and delivered as a deed by the parties

Signed sealed and delivered by [REDACTED]

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation)
in the presence of:)

[REDACTED]
Signature of witness

The execution of this document has been witnessed by me
in accordance with the requirements for witnessing by
audio-visual link under section 12 of the Electronic
Transactions (Victoria) Act 2000.
(Strike out if inapplicable)

[REDACTED]
Name of witness
(BLOCK LETTERS)

Executed by BNG (PAKENHAM) PTY LTD
(ACN 640125686) in accordance with
section 127 of the *Corporations Act 2001* (Cth)
by:

[REDACTED]
Full name (print)

[REDACTED]
Full name (print)

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Schedule 1

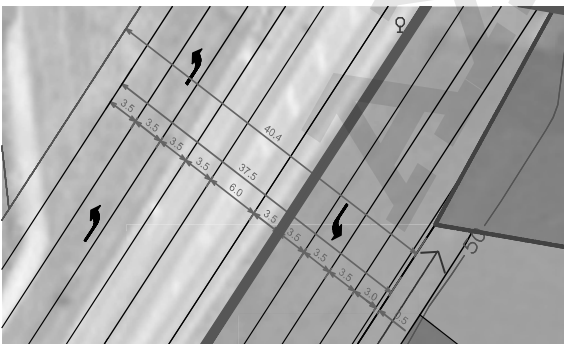
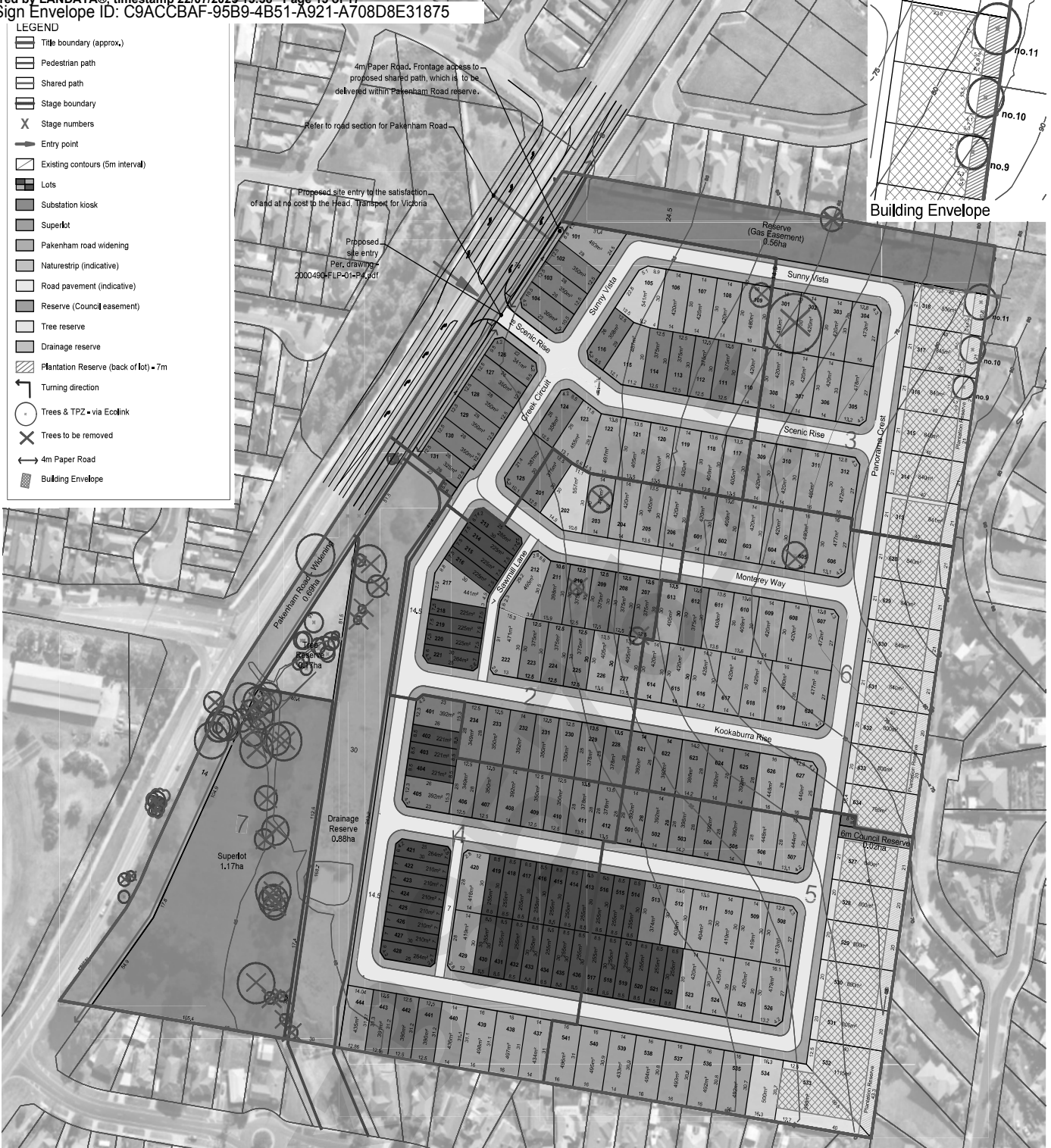
Building Envelope Plan

AX385769J

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LEGEND

- Title boundary (approx.)
- Pedestrian path
- Shared path
- Stage boundary
- Stage numbers
- Entry point
- Existing contours (5m interval)
- Lots
- Substation kiosk
- Superlot
- Pakenham road widening
- Naturestrip (indicative)
- Road pavement (indicative)
- Reserve (Council easement)
- Tree reserve
- Drainage reserve
- Plantation Reserve (back of lot) = 7m
- Turning direction
- Trees & TPZ - via Ecolink
- Trees to be removed
- 4m Paper Road
- Building Envelope



Pakenham Road - Cross Section

Notes:

- This plan is subject to Council approval.
- All dimensions and areas are subject to survey and final computations.
- The drainage reserve shown has been preliminarily sized for the treatment and storage of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
- All roads are 16m local access level 1 unless noted otherwise.
- Road pavement is indicative only and subject to detailed engineering design.
- Arc dimensions shown are length of arc (not chord).

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

* Stage includes 1 Superlot

Lot Size	Number of Lots	%
0-299m ²	42	20.8
300-399m ²	56	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9
Total	202	100

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

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Subdivision Plan

110 Pakenham Road, Pakenham

BNG Group

Delivered from the LANDATA® System by PSI Global Pty Ltd at 22 Jul 2025

APPROVED AMENDED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINA PLANNING SCHEME
PERMIT No.: T160890-2
SHEET 1 OF 1
APPROVED BY: Dean Haeusler
CARDINA SHIRE COUNCIL

Version	Date	Description	Drafted	Approved
1		Prepared: Planning and Environment	KT	KT
13		Added building envelopes	KT	KT
14		Updated road and staging boundary	KT	KT
15		Updated staging boundary	KT	KT
16		Updated lot numbers, building envelope and tables	OX	KT

Date: 01.09.2022

Version No:

16

Job No: 2000490

Scale (A1): 1:1000

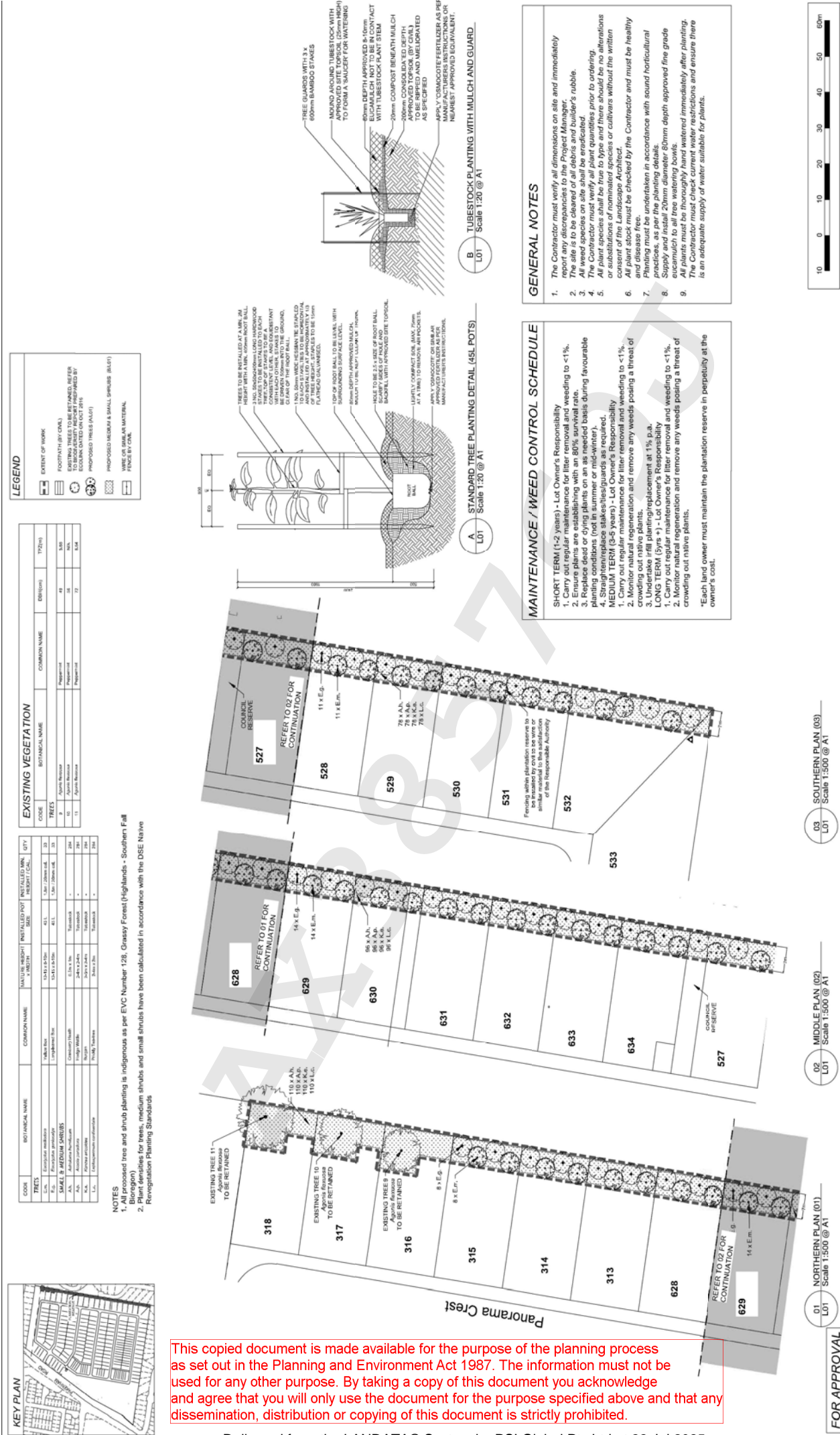
(A3): 1:2000

Schedule 2

Vegetation Plan

AX385769J

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Document Type	Plan
Document Identification	PS902144W
Number of Pages (excluding this cover sheet)	5
Document Assembled	22/07/2025 15:38

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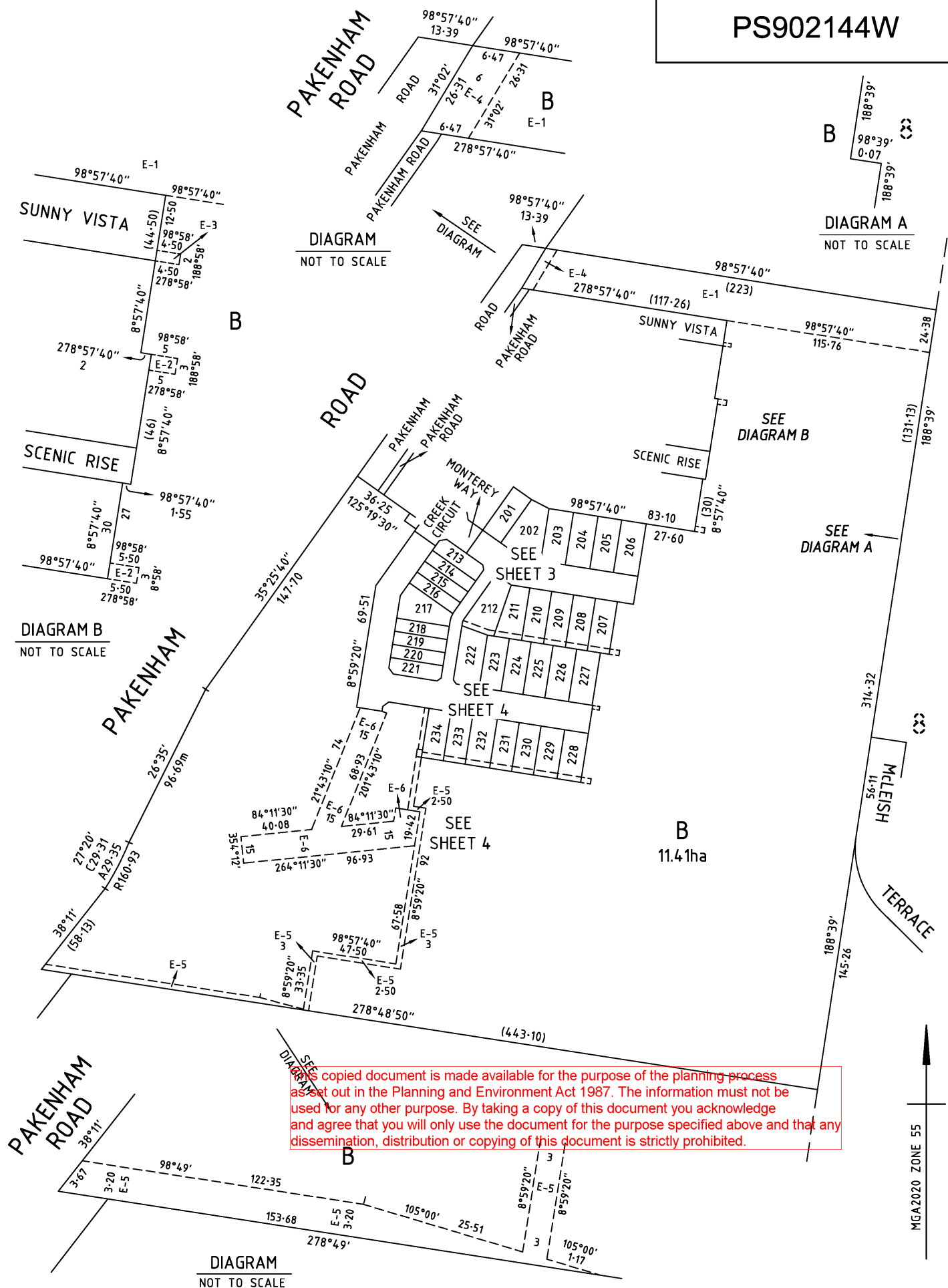
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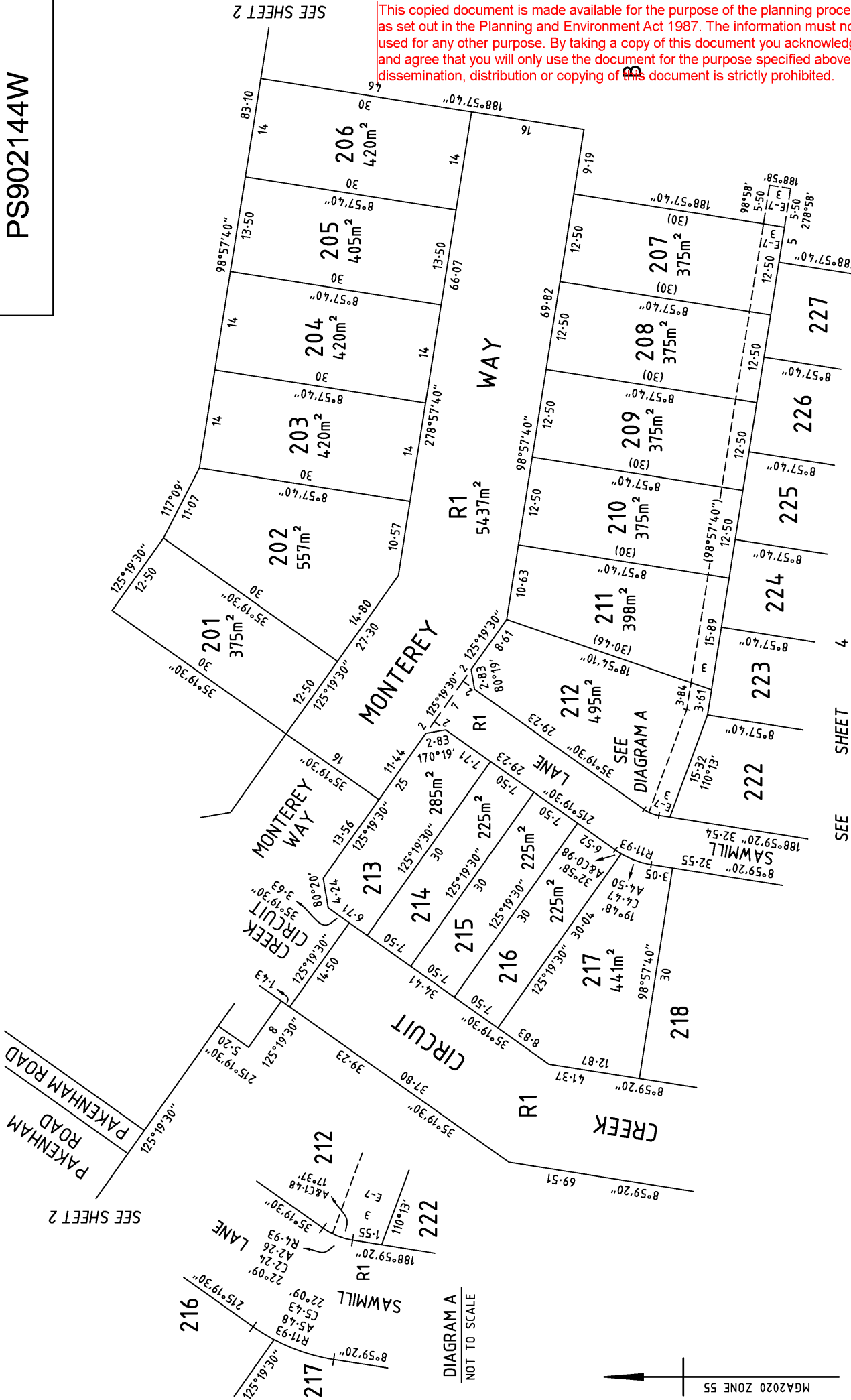
<h1>PLAN OF SUBDIVISION</h1>			EDITION 1	<h1>PS902144W</h1>
LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT), 33(PT) & 34(PT) TITLE REFERENCE: VOL. 12580 FOL. 422 VOL. 12330 FOL. 800 LAST PLAN REFERENCE: PS848743W (LOT A) LP86652 (LOT 2) POSTAL ADDRESS: 14 SUNNY VISTA (at time of subdivision) PAKENHAM ROAD PAKENHAM 3810 MGA CO-ORDINATES: E: 366 200 ZONE: 55 (of approx centre of land N: 5 786 450 GDA 2020 in plan)			Council Name: Cardinia Shire Council Council Reference Number: S21-147 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182118A Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 16/08/2023 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Sonia Higgins for Cardinia Shire Council on 27/06/2024 Statement of Compliance issued: 28/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance	
VESTING OF ROADS AND/OR RESERVES			NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON		LOTS 1 TO 200 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 5 OTHER PURPOSE OF PLAN: TO REMOVE THAT PART OF THE SEWERAGE EASEMENT CREATED AS E-3 ON PS848743W CONTAINED WITHIN MONTEREY WAY ON THIS PLAN. GROUND FOR REMOVAL OF EASEMENT: AGREEMENT FROM ALL INTERESTED PARTIES (SECTION 6(1)K SUBDIVISION ACT 1988) <div style="border: 1px solid black; padding: 5px; text-align: center;"> WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958 </div>	
ROAD R1	CARDINIA SHIRE COUNCIL			
NOTATIONS			LOTS 1 TO 200 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 5 OTHER PURPOSE OF PLAN: TO REMOVE THAT PART OF THE SEWERAGE EASEMENT CREATED AS E-3 ON PS848743W CONTAINED WITHIN MONTEREY WAY ON THIS PLAN. GROUND FOR REMOVAL OF EASEMENT: AGREEMENT FROM ALL INTERESTED PARTIES (SECTION 6(1)K SUBDIVISION ACT 1988) <div style="border: 1px solid black; padding: 5px; text-align: center;"> WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958 </div>	
DEPTH LIMITATION: DOES NOT APPLY This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675 <div style="border: 1px solid black; padding: 2px; font-size: small;"> Estate: The Rise - Pakenham Phase No.: 02 No. of Lots: 34 + Lot B PHASE AREA: 1.772ha </div>				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO LOTS 213 TO 216 (BOTH INCLUSIVE) AND 218 TO 221 (BOTH INCLUSIVE) IN THIS PLAN.				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4 E-2 E-2, E-3 E-7, E-5 E-7, E-6 E-4	PIPELINE DRAINAGE SEWERAGE SEWERAGE DRAINAGE SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	24.38 SEE DIAG SEE DIAG SEE DIAG SEE DIAG 6	INST. D613929 PS848743W PS848743W THIS PLAN THIS PLAN PS848743W	VICTORIA PIPELINES COMMISSION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION SOUTH EAST WATER CORPORATION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION
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Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		SURVEYORS FILE REF: 2000490/02 2000490-02-PS-V6.DWG Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (6), 03/06/2024, SPEAR Ref: S182118A <div style="display: flex; justify-content: space-between;"> <div> ORIGINAL SHEET SIZE: A3 </div> <div> SHEET 1 OF 5 </div> </div> <div style="font-size: small;"> Land Use Victoria Plan Registered 10:25 AM 01/11/2024 Assistant Registrar of Titles </div>		


PS902144W



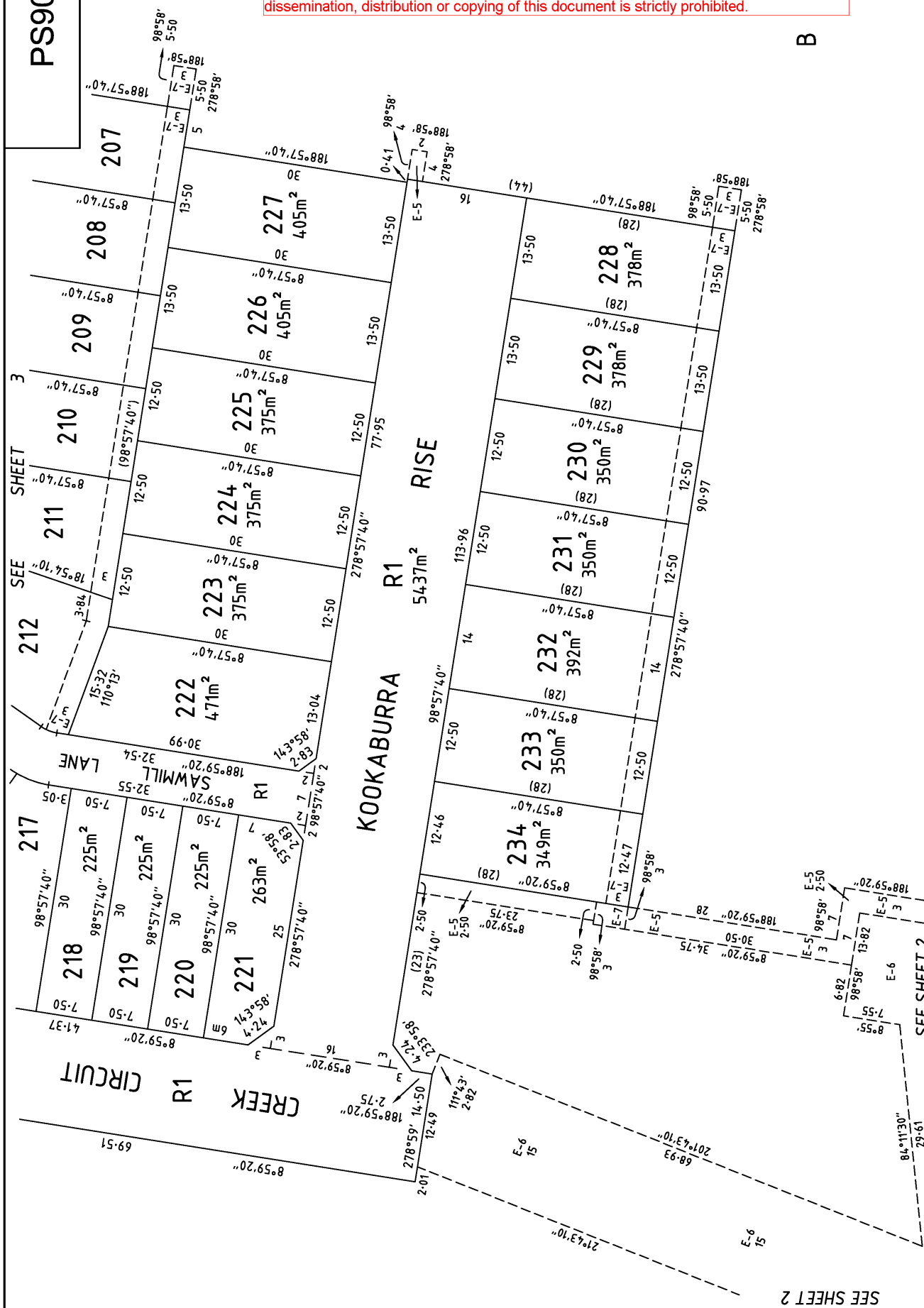
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 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /02		SCALE 1 : 500 5 0 5 10 15 20 LENGTHS ARE IN METRES		ORIGINAL SHEET SIZE: A3	SHEET 3
	Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (6), 03/06/2024, SPEAR Ref: S182118A		Digitally signed by: Cardinia Shire Council, 27/06/2024, SPEAR Ref: S182118A			

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Beveridge Williams
development & environment consultants
Melbourne ph : 03 9524 8888
www.beveridgewilliams.com.au

SURVEYORS
REFERENCE
2000490
/02

Digitally signed by: ADRIAN JAMES F
Surveyor,
Surveyor's Plan Version (6),
03/06/2024, SPEAR Ref: S182118A

Digitally signed by:
Cardinia Shire Council,
27/06/2024,
SPEAR Ref: S182118A

SHEET 4

SCALE
1 : 500

5 10 15 20
LENGTHS ARE IN METRES

20

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS902144W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

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CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



Beveridge Williams
development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

SURVEYORS REF
2000490/02

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed
Surveyor,
Surveyor's Plan Version (6),
03/06/2024, SPEAR Ref: S182118A

ORIGINAL SHEET
SIZE: A3

SHEET 5

Digitally signed by:
Cardinia Shire Council,
27/06/2024,
SPEAR Ref: S182118A



ALKA 27

ASPIRE

DRAWING LIST

SHEET No. SHEET NAME

00	COVER SHEET
01	GENERAL NOTES
02	SITE PLAN
2A	OVERLOOKING
03	GROUND FLOOR PLAN
04	FIRST FLOOR PLAN
05	ROOF PLAN
06	ELEVATIONS
07	ELEVATIONS
07B	FENCE ELEVATIONS
07C	FENCE ELEVATIONS
08	SECTION
09	GROUND FLOOR FLOOR COVERINGS
10	FIRST FLOOR FLOOR COVERINGS
11	INTERNAL ELEVATIONS

SHEET No. SHEET NAME

12	INTERNAL ELEVATIONS
13	INTERNAL ELEVATIONS
14	INTERNAL ELEVATIONS

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CONSTRUCTION
DRAWINGS 28.07.2025

The owner acknowledges that these are the final plans as varied and supersede any prior plans signed.
NO FURTHER VARIATIONS ARE PERMITTED

Dated

Customer Signature.....

Customer Signature.....

REVISIONS

REV.	DESCRIPTION	DATE	DRAWN	CHECKED
1	CONTRACT PLAN	08/01/2025	PG1	
2	AMENDMENTS FOR PLANNING	18/06/2025	V2R	
3	FINAL PLAN	28/07/2025	LY4	
A	PLANNING PERMIT APPLICATION PROPOSED FENCE LOCATION	18/06/2025	V2R	
B	PLANNING PERMIT APPLICATION RFI PROPOSED FENCE LOCATION, RETAINING WALL AND EXISTING & PROPOSED SITeworks	07/08/2025	V2R	

REVISIONS

REV	DESCRIPTION	DATE	DRAWN	CHECKED

DRAWING TITLE:
COVER SHEET



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over scaled dimension. If in doubt, ASK.



homesolution

SPEC: S1

DESIGN:
ALKA 27

FACADE:
ASPIRE

501 Blackburn Road, Mount Waverley, VIC, 3148
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
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PRODUCT CODE:
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CEILING:
25G, 24F L

LOT 204 MONTEREY WAY, PAKENHAM, VIC

JOB N°: 753358	PERMIT N°: TBC
WIND SPEED: 34M/S	MASTER ISSUED: 01/04/2023
DRAWN: PG1	CHECKED: LY4
SHEET: 00/14	
FINAL PLAN (NM) DATE: 08/01/2025	

STANDARD NOTES:

AS PER NCC 2022

7 STAR

- GENERAL
- REFER TO ALL ASSOCIATED ENGINEERING DRAWINGS FOR DESIGN AND CONSTRUCTION REQUIREMENTS OF STRUCTURAL, SLAB & HYDRAULIC ELEMENTS (where applicable).
 - WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.
 - FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
 - INTERNAL ELEVATION DIMENSIONS ARE TO PLASTER.
 - ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.
- FRAMING
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS1684.2-2021 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.
 - PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS & LAYOUTS.
 - WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQ. TO BE AS PER ENGINEERS DETAIL
 - SPECIFIED EAVE WIDTH, MEASURED FROM FACE OF BRICK (UNO).
 - PROVIDE 2No. JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAILS-TYP-DOOR-01N.
 - ENSURE RETURN AIR GRILLE & AC VOIDS ARE CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.
- CEILING/WALL - GENERAL
- PROVIDE PLASTER LINED CEILINGS TO ALL AREAS (UNO).
 - SOFFITS 4.5mm FC SHEET (UNO).
 - ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN LAP TO ALL JOINS WITH CONTINUOUS SILICON SEAL BETWEEN & 50mm MIN VERTICAL OVERHANG.)
 - PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5
 - WATERPROOFING FOR EXTERNAL ABOVE GROUND USE TO COMPLY WITH AS4654.1-2012 & AS4654.2-2012.
- STEPS/STAIRS & BALUSTRADES
- ALL STEPS MUST COMPLY WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.2
 - BARRIERS & HANDRAILS MUST COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3
 - BALUSTRADE IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.3 TO BE INSTALLED WHERE VOIDS, OR INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND/FLOOR LEVEL.
 - PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.4 & AS4586-2013.
 - STAIRS ARE INDICATIVE ONLY. REFER TO DETAILS, SPECIFICATIONS & SELECTION DOCUMENTS.
- WET AREAS
- WATERPROOFING OF WET AREAS TO COMPLY WITH NCC 2022 H4D2 HOUSING PROVISIONS 10.2 INCLUDING STATE VARIATIONS AND ADDITIONS.
 - WALL LINING TO WET AREAS TO BE APPROVED WET AREA BOARD (UNO).
 - ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H4D5 HOUSING PROVISIONS 10.4.2
- WINDOWS & DOORS
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNO).
 - SIZES NOMINATED AS A GENERIC CODE (UNO). FIRST 2 NUMBERS REFER TO HEIGHT & SECOND 2 RELATE TO WIDTH.
 - EXTERNAL WINDOWS & DOORS TO COMPLY WITH NCC 2022 H6D1 HOUSING PROVISIONS 13.4.4.
 - WINDOWS TO COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6.
 - ALL GLAZING TO COMPLY WITH AS1288-2021 & AS2047-2014, & WITH AS4055-2021 FOR WIND LOADING (UNO).
 - WINDOWS SHALL BE PROTECTED IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & 11.3.8
 - WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS (UNO).
 - PROVIDE LIGHTWEIGHT CLADDING ABOVE ALL CORNER WINDOWS & CORNER DOORS (UNO).
 - SAFETY GLAZING IN HUMAN IMPACT AREAS INCLUDING ADJACENT TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6

- ENERGY EFFICIENCY NOTES
- NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, BASED ON SPECIFIC SITING. REFER TO SPECIFICATION & CONTRACT DOCUMENTATION.
- PROVIDE BULK CEILING INSULATION & EXTERNAL WALL INSULATION AS PER STD SPECIFICATIONS (UNO).
 - PROVIDE WEATHER STRIPPING TO WINDOWS & ALL EXTERNAL HINGED DOORS.
 - PROVIDE DRAFT PREVENTION TO EXHAUST FANS, AS PER RELEVANT BUILDING CODES.
 - SEALED GAPS AROUND WINDOWS & EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 H1D7 HOUSING PROVISIONS 7.5.6 & AS/NZS 2904-1995.
 - INSULATION OF SERVICES AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.2
 - HEATING AND COOLING DUCTWORK AS PER NCC 2022 HOUSING PROVISIONS H6D2 13.7.4 & SEALING PER AS4254-2021.
 - ARTIFICIAL LIGHTING AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.6
 - WHERE APPLICABLE, PROVIDE SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022 H2D5 HOUSING PROVISIONS 6.2.1 TO SUSPENDED TIMBER FLOORS.
- MISCELLANEOUS
- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5.
 - PLIABLE BUILDING MEMBRANES TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.1 & AS4200.1-2017 & BE INSTALLED IN ACCORDANCE WITH AS4200.2-2017.
 - ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, NCC 2022 H2D2 HOUSING PROVISIONS 3.3 & AS/NZS 3500.3-2021.
 - PROVIDE MINIMUM 115mm SLOTTED GUTTERS WITH APPROVED OVERFLOW PROVISIONS AS REQUIRED.
 - ALL EXHAUST SYSTEMS TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.2, INCLUDING "MAKE UP AIR" VENTILATION METHOD AS PER 10.8.2 (5)(a)
 - WHERE REQUIRED, BATHROOM AND SANITARY COMPARTMENT EXHAUST FANS TO ACHIEVE A MINIMUM FLOW RATE OF 25 L/s, & 40 L/s FOR A KITCHEN OR LAUNDRY.
 - PROVIDE TERMITE MGT. SYSTEM AS PER AS3660.1-2014.
 - ALL SMOKE ALARMS TO COMPLY WITH AS3786-2014, CONNECTED TO MAINS POWER, AND INTERCONNECTED WHERE APPLICABLE. INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022 H3D6 HOUSING PROVISIONS 9.5.4
 - LOCATIONS OF ELECTRICAL COMPONENTS & VENTS SHOWN ARE INDICATIVE ONLY, AND MUST BE INSTALLED TO REQUIRED DISTANCES FROM WALL & CEILING JUNCTIONS.
 - BUILDINGS IN BUSHFIRE PRONE AREAS TO COMPLY WITH AS3959-2018.
 - DWELLINGS WITHIN 1km OF A BAY/10km OF A SURF COAST MUST HAVE ALL STEEL & MORTAR IN ACCORDANCE WITH SECTION 5 OF AS3700-2018.
 - TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE FOOTINGS.
- STEEL FRAMING REQUIREMENTS (WHERE APPLICABLE):
- STEEL FRAME & TRUSSES REQUIRING THE ISSUE OF A SIGNED COMPLIANCE CERTIFICATE FOR THE BUILDING DESIGN - FORM 15 UPON COMPLETION AND PRIOR TO FINAL CERTIFICATION
 - STEEL FRAMES AND TRUSSES TO COMPLY WITH:
 - AS/NZS 1170.0-2002 STRUCTURAL DESIGN ACTIONS: PART 0: GENERAL PRINCIPLES
 - AS/NZS 1170.1-2002 STRUCTURAL DESIGN ACTIONS: PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS
 - AS/NZS 4600-2018 COLD-FORMED STEEL STRUCTURES
 - AS4055-2021 WIND LOADS FOR HOUSING
 - AS4100-2020 STEEL STRUCTURES CODE
 - AS3623-1993 DOMESTIC METAL FRAMING
 - AS3566.1-2002 SELF DRILLING SCREWS
 - NASH STANDARDS
- STEEL FRAMING SUPPLIER TO PROVIDE DESIGN, CONNECTORS AND FIXING HARDWARE FOR ALL STEEL TO STRUCTURAL TIMBER MEMBERS (UNO BY ENGINEER),

FACADE DETAIL		
S-TYP-ASPI-26N		

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NOTES:

- REFER TO "METRICON - WINDOW AND DOOR CODE SIZE GUIDE"

DRAWING TITLE:
GENERAL NOTES

DESIGN:
ALKA 27

PRODUCT CODE
VH3ALK27APRD

FACADE:
ASPIRE

CEILING:
25G, 24F L

LOT 204 MONTEREY WAY, PAKENHAM, VIC



homesolution

SPEC: S1

501 Blackburn Road, Mount Waverley, VIC, 3148
P.O. Box 857, Mount Waverley, VIC, 3149
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JOB N°:	753358	PERMIT N°:	TBC
WIND SPEED:	34M/S	MASTER ISSUED:	01/04/2023
DRAWN:	PG1	CHECKED:	LY4
FINAL PLAN (NM)			SHEET:
DATE: 08/01/2025			01/14

ESTATE:

'THE RISE' ESTATE:

IMPORTANT NOTES:

ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM & SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3 DRAINAGE REQUIREMENTS OF AS2870-2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:

- SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION
- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING
- WHERE PIPES PASS UNDER THE FOOTING SYSTEM, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER

FOR BUILDING ON HIGHLY AND REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY/PLUMBING DRAINS AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4 PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION. SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50MM OVER THE FIRST 1000MM FROM THE DWELLING. SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3 SHALL BE INSTALLED FOR GROUNDWATER OR AGGRESSIVE SOILS.

BUILDER TO PROVIDE PROVISION FOR CONNECTION TO NBN CO OPTIC FIBRE NETWORK
NO FRONT FENCE IS PROPOSED

HEAT PUMP NOTE:

PROVIDE HEAT PUMP (MODEL 200HP) COMPLIES AND WILL BE INSTALLED IN ACCORDANCE WITH PLUMBING REGULATIONS 2018.

DEVELOPER APPROVAL

DEVELOPER APPROVAL REQUIRED.

PAVING & PATHS:

ALL PAVING AND PATHWAYS TO BE MINIMUM 1000MM WIDE UNLESS SHOWN OTHERWISE.

TEMPORARY FENCING:

BUILDER TO PROVIDE TEMPORARY FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTHORITY BYLAW)

SUSTAINABLE ENERGY:

DWELLING TO COMPLY W/ RELEVANT SUSTAINABLE ENERGY REQUIREMENTS.

RESCODE NOTES:

VACANT ADJOINING LOTS TO EITHER SIDE AS AT 02/12/2024 THEREFORE NO REQUIREMENTS FOR MEASURES LIMITING OVERLOOKING OR OVERSHADOWING AT THIS STAGE WILL BE REQUIRED. THIS WILL NEED TO BE CONSIDERED IF AN OCCUPANCY PERMIT IS ISSUED ON THE ADJACENT LOTS BEFORE A BUILDING PERMIT CAN BE ISSUED ON OUR LOT. NOTE: SITING AND PLANS MAY ALTER DUE TO THE ABOVE REQUIREMENTS.

OWNER TO PROVIDE 1.8M H SCREENING PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ACHIEVE CERTIFICATE OF OCCUPANCY UPON COMPLETION THIS IS TO COMPLY WITH REG. 84 (OVERLOOKING REQUIREMENTS.)

NOTES:



SITE AREA

420.00 m²

O/ALL SITE COVERAGE

150.00 m² 35.71%

IMPERMEABLE AREA

200.00 m² 47.62%

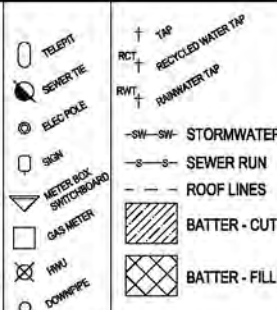
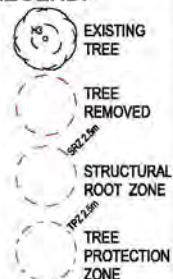
PERMEABLE AREA

220.00 m² 52.38%

GARDEN AREA

220.00 m² 52.38%

LEGEND:

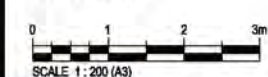


SURVEY DATE: 02/12/2024
CONTOUR LEVELS: 200 MM
LEVELS TO: ARBITRARY

REFER ENGINEER'S FOOTING DESIGN
SOIL CLASSIFICATION 'P'
REFER SOIL REPORT (REF. No: 236444)

DRAWING TITLE:

SITE PLAN



homesolution

SPEC: S1

DESIGN:

ALKA 27

FACADE:

ASPIRE

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LOT 204 MONTEREY WAY, PAKENHAM, VIC

JOB N°: 753358 PERMIT N°: TBC

WIND SPEED: 34M/S MASTER ISSUED: 01/04/2023

DRAWN: PG1 CHECKED: LY4 SHEET:

FINAL PLAN (NM)

DATE: 08/01/2025

02/14

EXCAVATION NOTES:

EXCAVATE APPROX. 800 MM ON R.L. 98.4 & SPREAD FILL OVER REMAINING FRONT HOUSE AREA TO LEVEL.

EXCAVATIONS TO START 1500MM FROM EDGE OF SINGLE STOREY BUILDING OR 2000MM FROM DOUBLE STOREY BUILDING (WHERE POSSIBLE) AND TO BE BATTERED BACK AT 45 DEG. RETAINING WALLS MAY BE REQUIRED SUBJECT TO SITE CONDITIONS.

DRAINAGE NOTES:

PROVIDE MIN. 100MM DIA. U.P.V.C. STORMWATER DRAINS WITH FALL IN ACCORDANCE WITH PIC REQUIREMENTS, CONNECTED TO LEGAL POINT OF DISCHARGE.

REFER TO ENGINEERS DRAINAGE PLAN FOR FULL STORMWATER & DRAINAGE LAYOUT AND DETAILS.

IMPORTANT NOTE:

SITE CUTS ARE SUBJECT TO PERMIT APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES P/L

SLAB STEP DOWNS:

THE FOLLOWING STEP DOWNS ARE TAKEN FROM F.F.L. OF HOUSE SLAB:-

GARAGE: 0 MM
PORTICO: 149 MM
OUTDOOR ROOM: 149 MM

TERMITE PROTECTION:

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1.

CONSTRUCTION DRAWINGS

28.07.2025

The owner acknowledges that these are the final plans as varied and supersede any prior plans signed. NO FURTHER VARIATIONS ARE PERMITTED

Dated

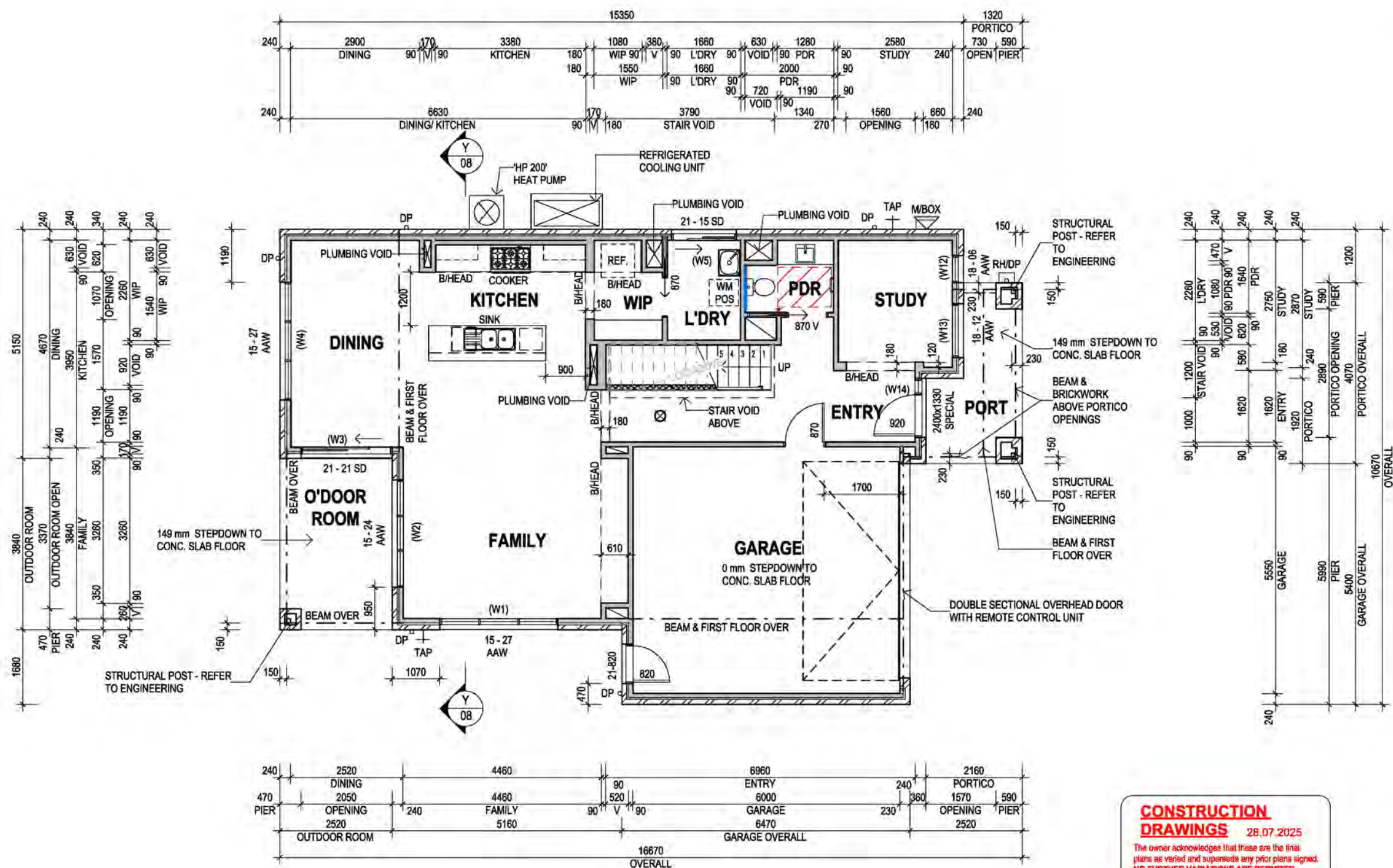
Customer Signature

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C

B



CONSTRUCTION DRAWINGS 28.07.2025

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Customer Signature:

Customer Signature:

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NOTES:

- * CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- * 245D. BULKHEAD TO GROUND FLOOR (U.N.O)
- * 200D. BULKHEAD TO FIRST FLOOR (U.N.O)
- * 2340mm HIGH INTERNAL DOORS TO GROUND FLOOR UNO

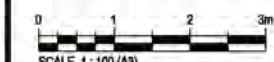
LEGEND:

- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
- 70MM STUD WALLS
- SMOKE ALARM
- 900W. x 1200D. CIRCULATION SPACE TO FRONT EDGE OF TOILET PAN
- IN WALL REINFORCING REFER DETAIL

AREA	m ²	SQR
GROUND FLOOR	96.64 m ²	10.40
FIRST FLOOR	111.00 m ²	11.95
TOTAL LIVING	207.64 m ²	22.35
PORTICO	6.99 m ²	0.75
OUTDOOR ROOM	9.68 m ²	1.04
GARAGE	36.47 m ²	3.93
TOTAL OTHER	53.14 m ²	5.72
TOTAL	260.77 m ²	28.07

DRAWING TITLE:

GROUND FLOOR PLAN



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SPEC: S1

DESIGN: ALKA 27

FACADE: ASPIRE

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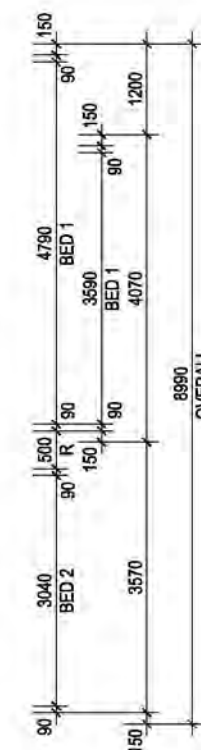
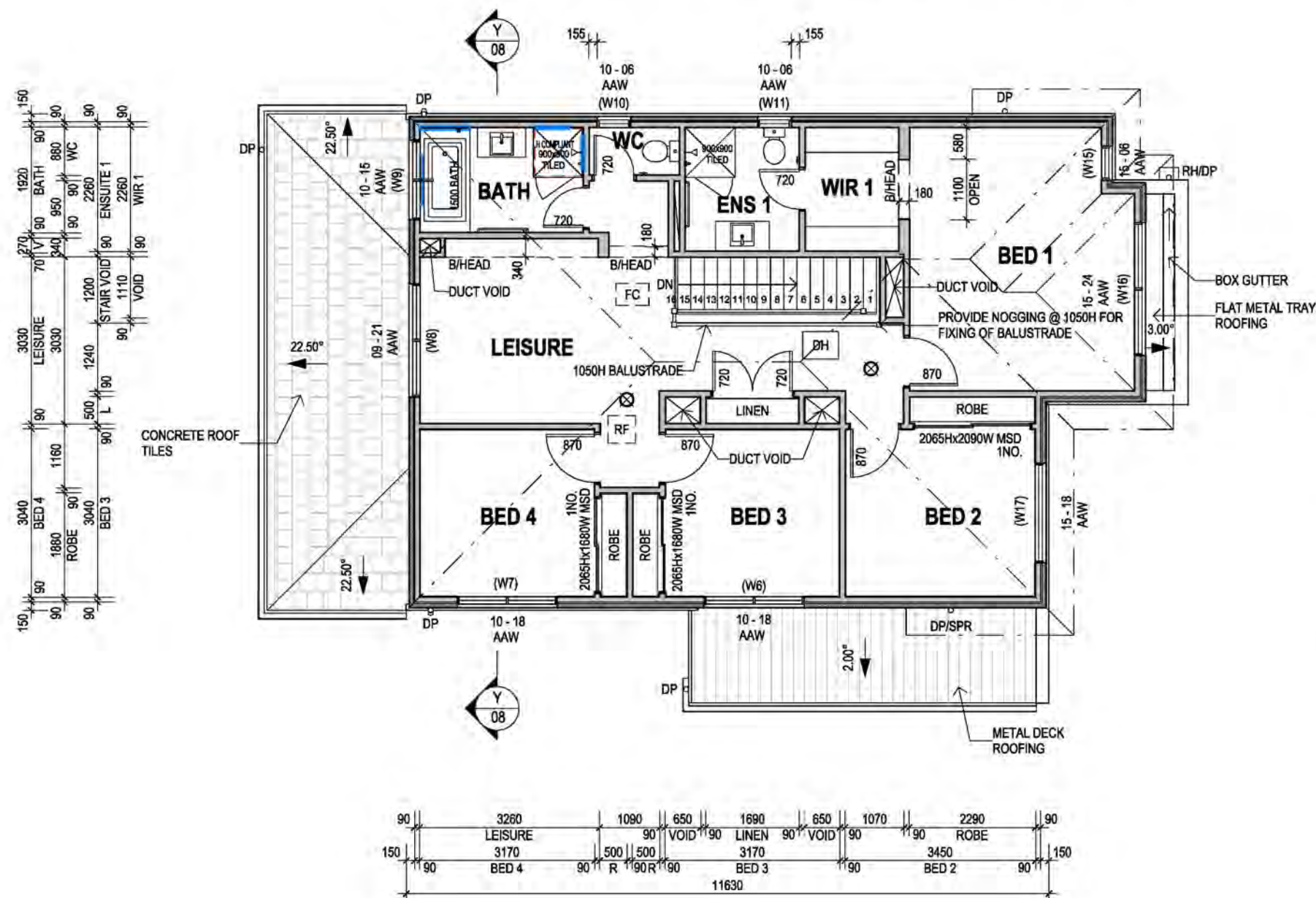
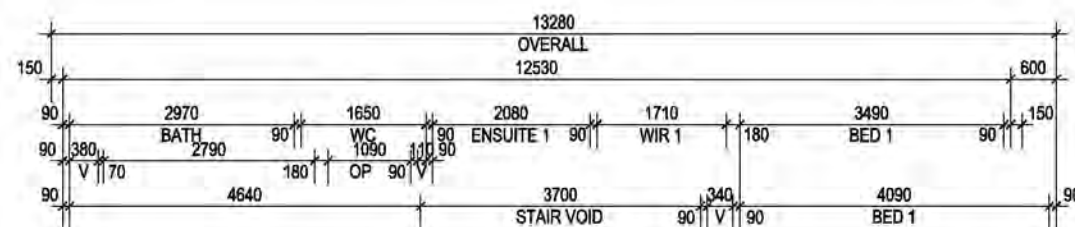
JOB N°: 753358 PERMIT N°: TBC

WIND SPEED: 34M/S MASTER ISSUED: 01/04/2023

DRAWN: PG1 CHECKED: LY4 SHEET:

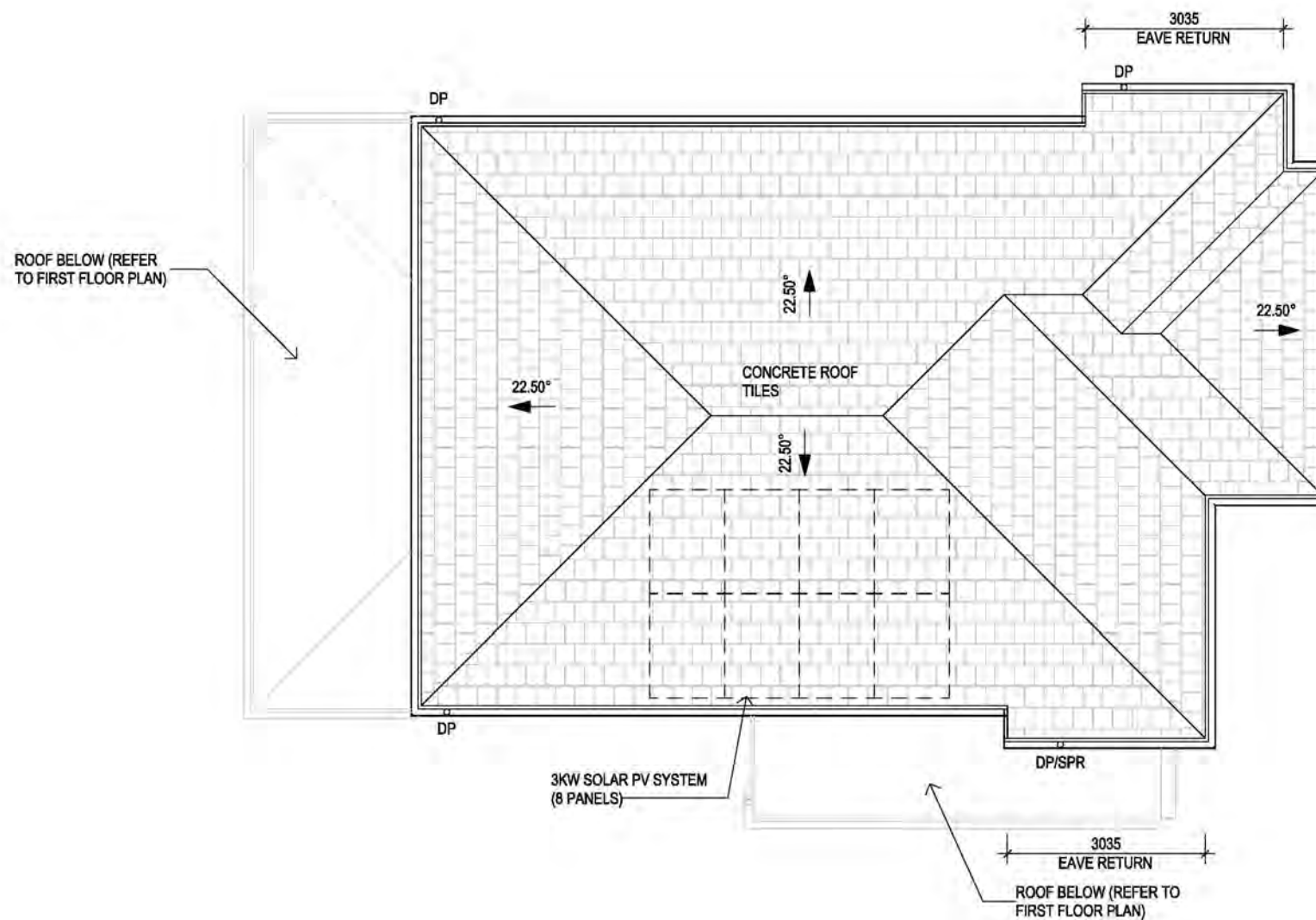
FINAL PLAN (NM)
DATE: 08/01/2025

03/14

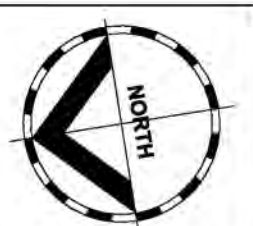


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04/14



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DRAWING TITLE:
ROOF PLAN



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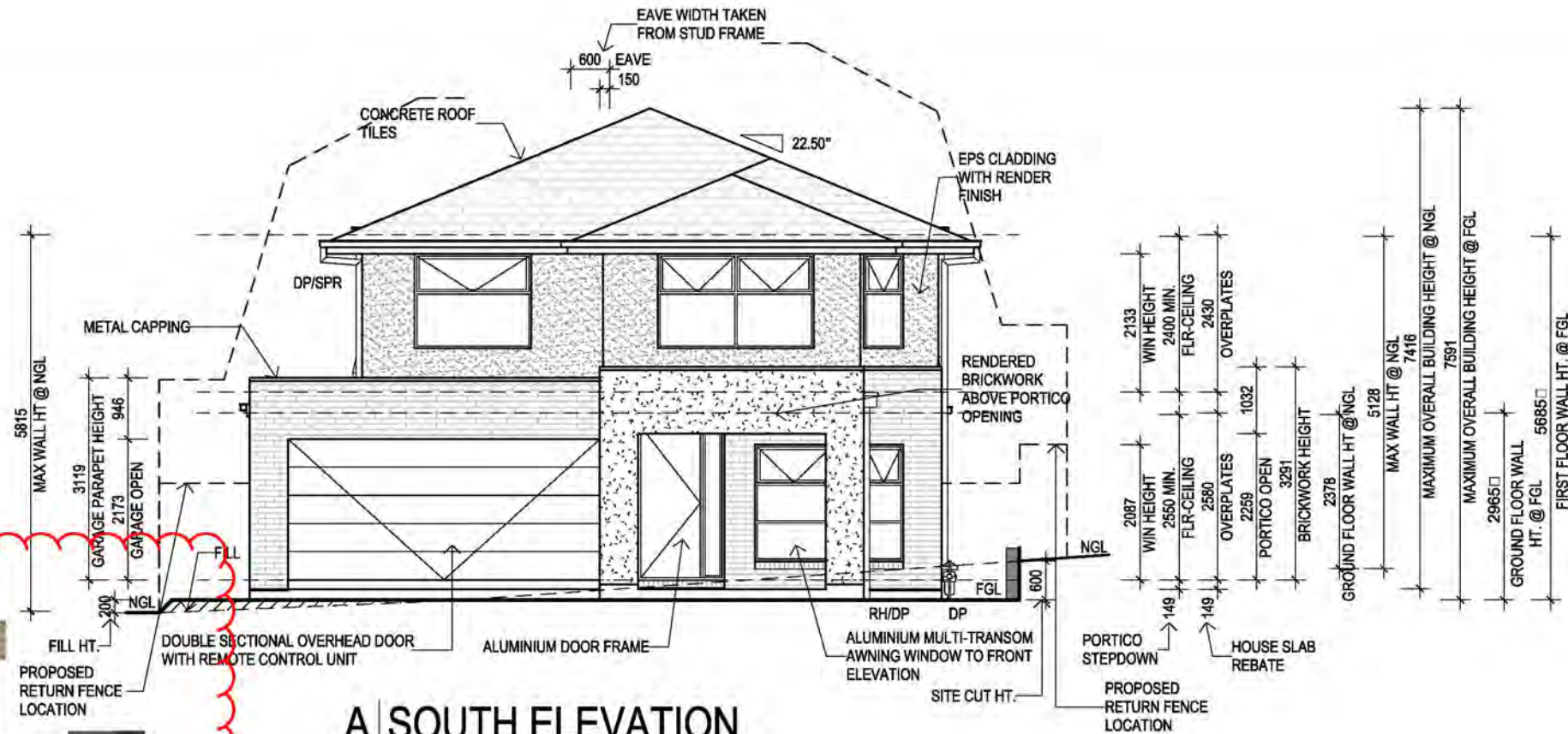
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OWNER: [REDACTED]
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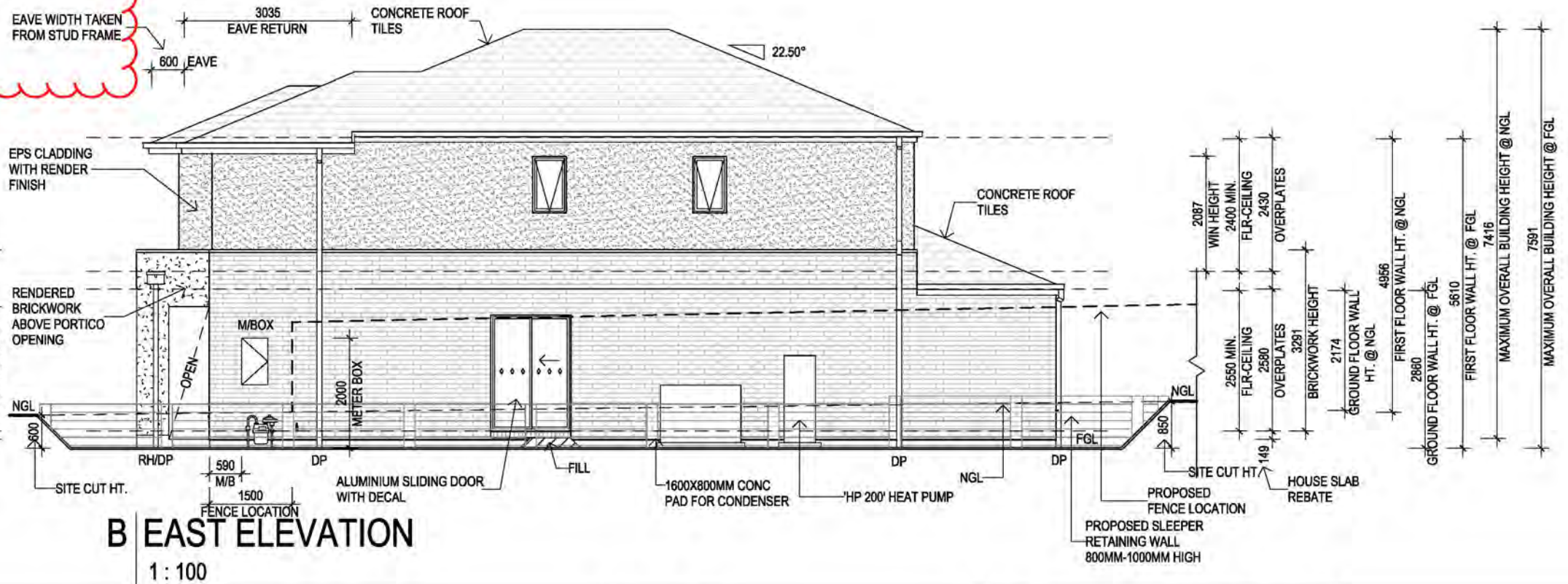
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DRAWN: PG1	CHECKED: LY4
SHEET: 05/14	

FINAL PLAN (NM)
DATE: 08/01/2025

FACADE FINISHES		
FACADE AREA: 27.24 m² (EXCLUDING GLAZING, ROOFS & OPENINGS)		
BRICKWORK	11.32 m²	41.57%
RENDER	6.84 m²	25.10%
EPS RENDER	9.08 m²	33.33%



A SOUTH ELEVATION
1 : 100



B EAST ELEVATION
1 : 100

Colour Schedule:

Brickwork: Austral Domain Sanctuary

Render 1: Dulux Russian Toffee

Render 2: Dulux Russian Toffee

Garage Door: Colorbond Monument

Dwelling Roof Colour: Bristle Classic - Cool Smoke

Garage Roof, Fascia, Gutter Downpipe, Metal Capping:

Colorbond Monument

Driveway Colour: London Stone

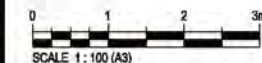
NOTES:

- PROVIDE BRICKWORK INFILL ABOVE ALL SIDE AND REAR GROUND FLOOR ELEVATION WINDOWS & DOORS, F.C. INFILL ABOVE SINGLE STOREY SIDE & REAR WINDOWS & DOORS UNLESS NOTED OTHERWISE.
- PROVIDE BRICKWORK INFILL ABOVE FRONT ELEVATION GROUND FLOOR WINDOWS (UNLESS NOTED OTHERWISE)
- PROVIDE NO INFILL ABOVE FRONT ENTRY DOOR FRAME AND BRICKWORK ABOVE GARAGE OPENING

- PROVIDE FINE TEXTURE TROWEL-ON ACRYLIC PIGMENTED RENDER FINISH TO PORTICO.

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DRAWING TITLE:
ELEVATIONS



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SPEC: S1

DESIGN:
ALKA 27

FACADE:
ASPIRE

501 Blackburn Road, Mount Waverley, VIC, 3148
P.O. Box 857, Mount Waverley, VIC, 3149
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PRODUCT CODE:
VH3ALK27APRDN

CEILING:
25G, 24F L

LOT 204 MONTEREY WAY, PAKENHAM, VIC

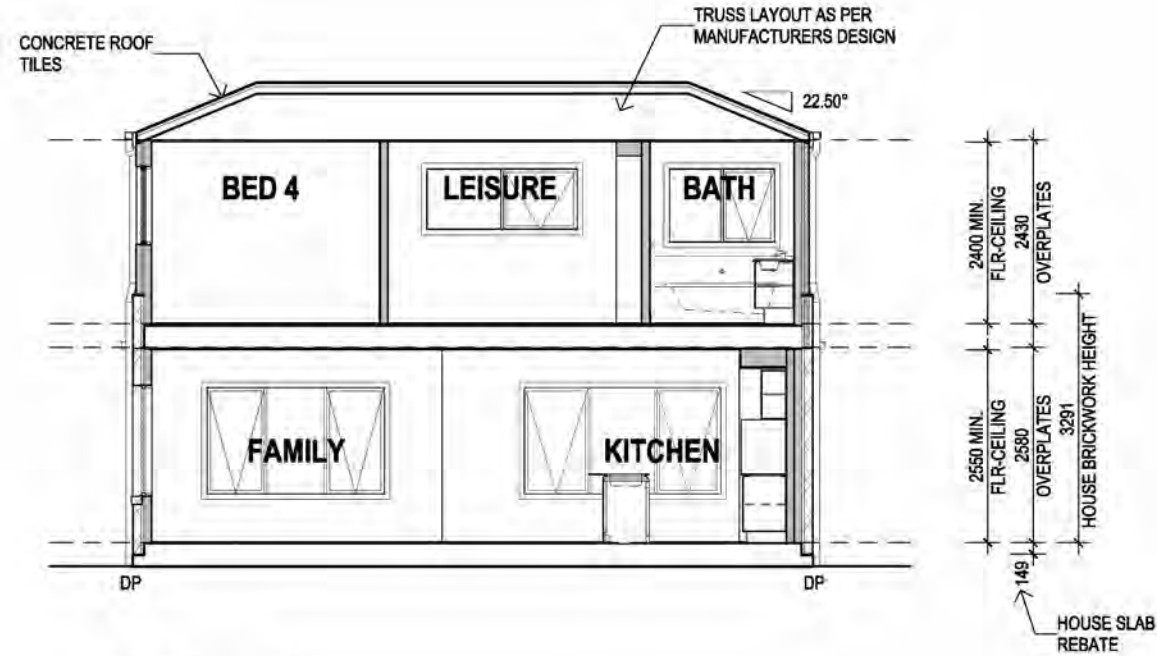
JOB N°: 753358 PERMIT N°: TBC

WIND SPEED: 34M/S MASTER ISSUED: 01/04/2023

DRAWN: PG1 CHECKED: LY4 SHEET:

FINAL PLAN (NM)
DATE: 08/01/2025

06/14



Y SECTION
1 : 100

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NOTE: SECTION VIEW IS INDICATIVE ONLY- CONSTRUCTION DETAILS, COLOUR SELECTION & CONTRACT DOCUMENTATION ITEMS TAKE PRECEDENCE

NOTES:

- STAIR / BALUSTRADE SHOWN ARE INDICATIVE ONLY. REFER COLOUR SELECTION.

CONSTRUCTION
DRAWINGS 28.07.2025

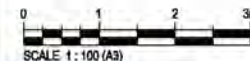
The owner acknowledges that these are the final plans as varied and supersede any prior plans signed.
NO FURTHER VARIATIONS ARE PERMITTED

Dated:

Customer Signature:

Customer Signature:

DRAWING TITLE:
SECTION



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homesolution

SPEC: S1

DESIGN:
ALKA 27

FACADE:
ASPIRE

PRODUCT CODE:
VH3ALK27APRDN

CEILING:
25G, 24F L

OWNER: [REDACTED]
LOT 204 MONTEREY WAY, PAKENHAM, VIC

501 Blackburn Road, Mount Waverley, VIC, 3148
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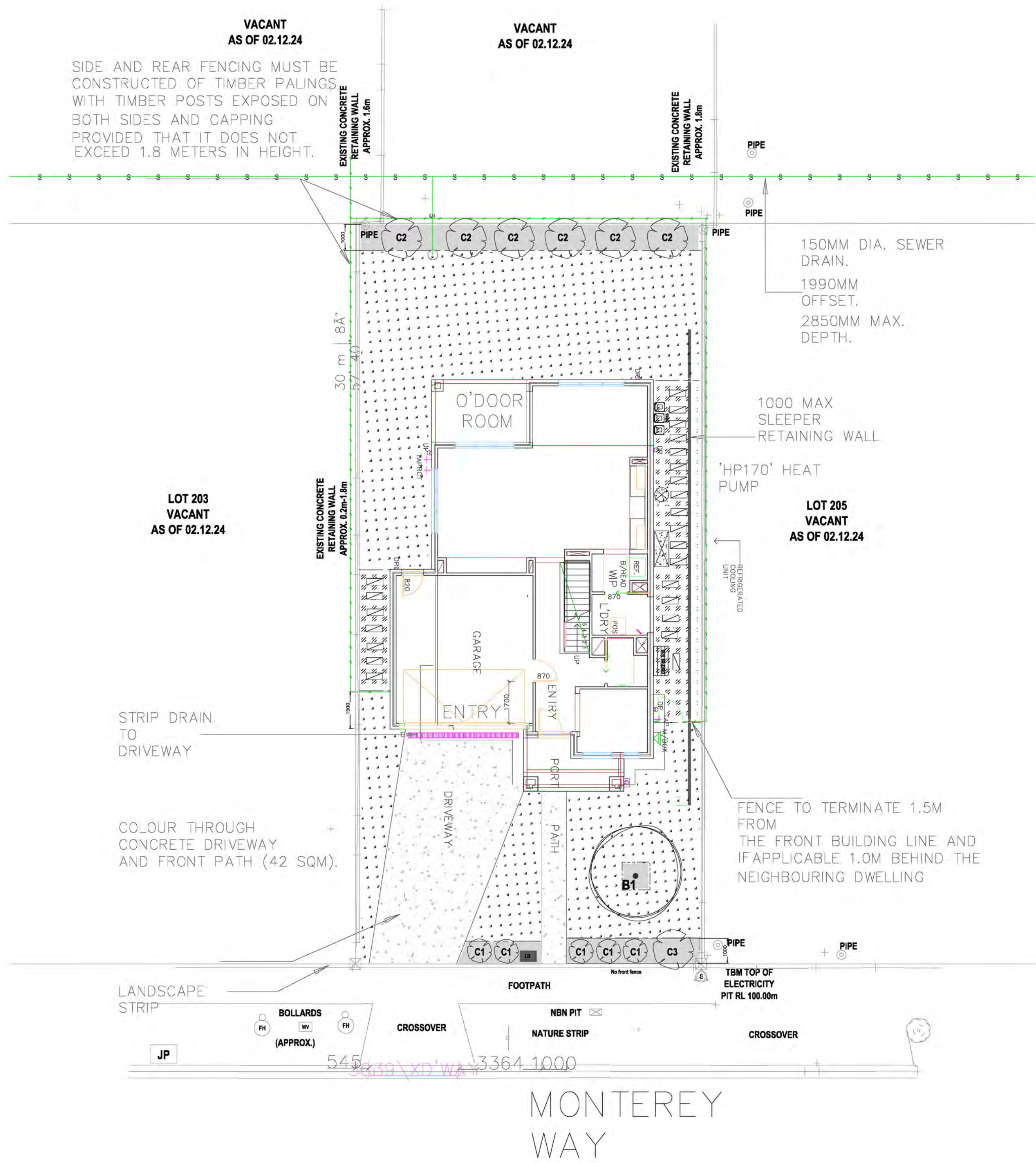
JOB N°: 753358 PERMIT N°: TBC

WIND SPEED: 34M/S MASTER ISSUED: 01/04/2023

DRAWN: PG1 CHECKED: LY4 SHEET:

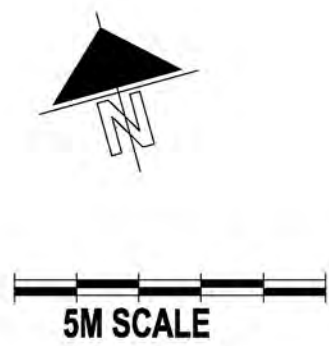
FINAL PLAN (NM)
DATE: 08/01/2025

08/14

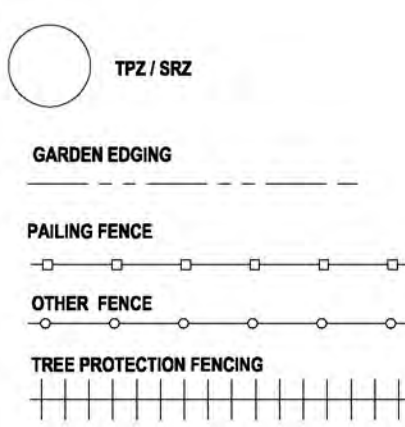
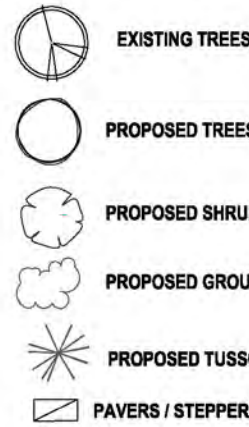
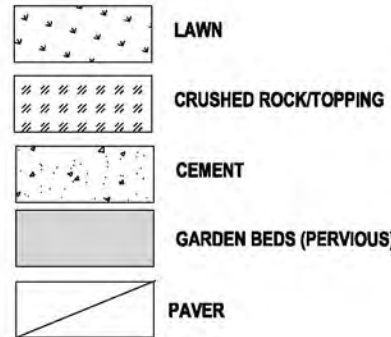


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PLANT LIST					
CODE	BOTANICAL NAME	COMMON NAME	MATURE HxW (M)	SOURCE SIZE	QTY
TREES					
B1	Acacia implexa	Lightwood	8 x 4	2m hgt	1
SHRUBS					
C1	Hebe Inspiration	Hebe	1 x 1	15cm	5
C2	Dodonaea viscosa purpurea	Purple Hop Bush	2 x 1.5	15 CM	6
C3	Correa Alba	White Correa	1.5 x 1.5	15 CM	1

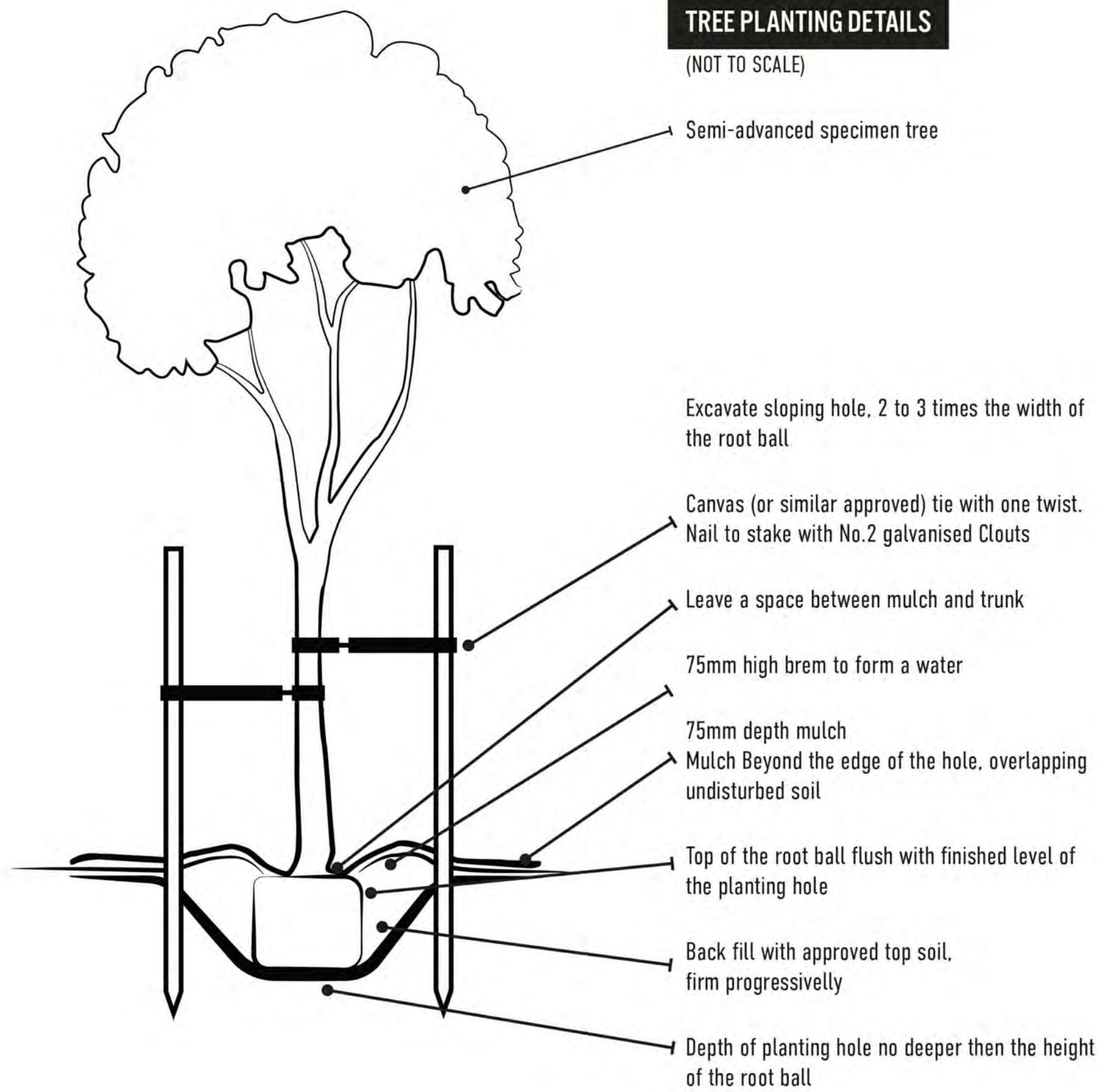


LANDSCAPE LEGEND



TREE PLANTING DETAILS

(NOT TO SCALE)



NOTES

LANDSCAPE STRATEGY

Provide low maintenance, attractive gardens whilst blending with local streetscape and environment.

PREPARING SITE

Weeds - All weeds are to be removed from the site by physical removal or spraying with a glyphosate-based herbicide. Any areas of soil contaminated by paint or building rubble/materials should be removed and replaced with suitable topsoil from the site or imported.

PLANTING

Garden Beds Preparation - Existing garden beds can be prepared with added organic material such as well-rotted manure or materials from plant and animal sources sold as improvers or compost and prepared to AS 4454 – 2003. These can just be top-dressed (placed over the top of the soil) and then covered with mulch. If there is no existing topsoil left, then imported topsoil that complies with AS 4419 – 2003 shall be used with mulch on top.

All tree stock used must be in accordance with AS2303-2015 Tree Stock for Landscape Use.

Topsoil levels at 125mm. Cultivate to improve permeability and break up areas of compaction.

Mulch – Sustainably sourced pine mulch with an average particle size of 10mm, maintained at 75 -100 mm on all garden beds, Hard Garden Edging –All garden beds and lawn areas are to be framed by hard garden edging. Recommended garden edging includes; treated pine, plantation sugar gum, recycled plastic sleepers, recycled railway sleepers, local stone, and recycled brick or concrete.

Lawn Areas - Topsoil levels at 75 mm. Lawn areas are to be established with seeds.

Nature Strip Lawn Areas – Nature strip lawn to be repaired/reinstated.

Tree Planting methods– Refer to image.

MAINTENANCE – 24 Months

Tree guards are removed when plants are established

Watering -Water in accordance with current water restrictions using a programmable irrigation system according to weather conditions but generally 10 minutes every second day to garden beds during the establishment period (6 months) and during summer dry periods. At other times and as plants become established watering should gradually be reduced to conserve water and promote deep root systems.

Weeding and trimming every 30 days.

Plant replacement - As required particularly during the establishment period (6 months).

Pruning - All plants are to be pruned/shaped to an appropriate size and spread on an ongoing basis.