
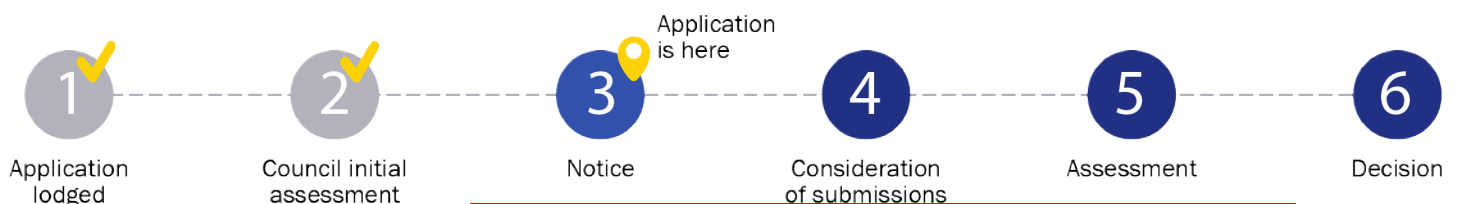


# Notice of Application for a Planning Permit

The land affected by the application is located at:	L123 PS848743 V12580 F413 4 Scenic Rise, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a building or construct or carry out works
42.01-2	Construct a fence
<b>APPLICATION DETAILS</b>	
The applicant for the permit is:	SJD Homes
Application number:	T250370
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.</p>	
	
<b>HOW CAN I MAKE A SUBMISSION?</b>	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	
<b>08 September 2025</b>	
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul>
The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.	



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## ePlanning

### Application Summary

Portal Reference A225968Q

### Basic Information

Proposed Use	New dwelling. As per the Developer Approval, a planning permit is required for all blocks
Current Use	New Dwelling
Cost of Works	\$336,524
Site Address	4 Scenic Rise Pakenham 3810

### Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

### Contacts

### Fees

Regulation Fee Condition		Amount	Modifier	Payable
9 - Class 4	More than \$100,000 but not more than \$500,000	\$1,420.70	100%	\$1,420.70
		<b>Total</b>		<b>\$1,420.70</b>

### Documents Uploaded

Date	Type	Filename
23-06-2025	A Copy of Title	Title.pdf
23-06-2025	Site plans	Plan Issue I.pdf



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VC, 3810

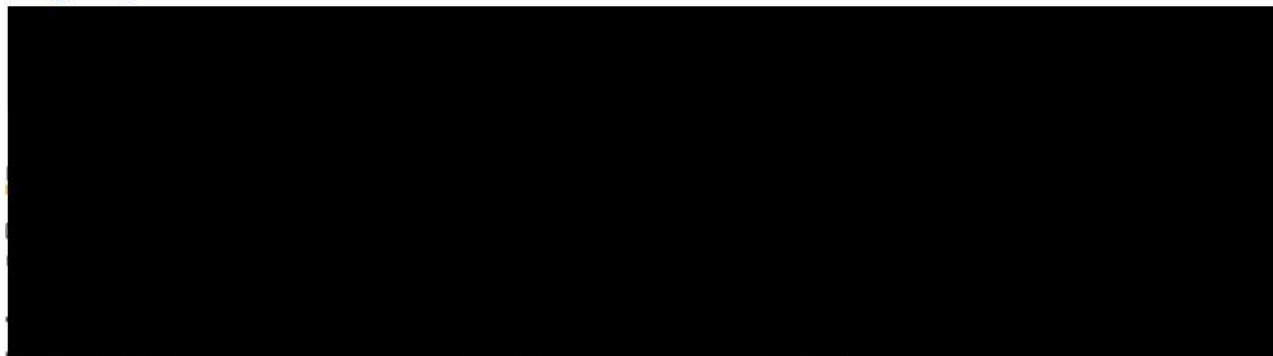
**Email:** mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

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☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810

**Email:** [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

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**Monday to Friday** 8.30am–  
5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

# Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

## PERMIT APPLICATION DETAILS

Application No.:	T250370 PA
Address of the Land:	L123 PS848743 V12580 F413, 4 Scenic Rise, Pakenham VIC 3810

## APPLICANT DETAILS

## AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant <b>before</b> notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority <b>before</b> notice:	<input type="checkbox"/>
Section 57A – Amendment to application <b>after</b> notice is given:	<input type="checkbox"/>

## AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Construction of a dwelling and a fence		

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<b>Specify the estimated cost of any development for which the permit is required:</b>		
Not applicable <input type="checkbox"/>	Unchanged <input type="checkbox"/>	New amount \$

## DECLARATION

## LODGEMENT

Please submit this form, including all amended plans/documents, to [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

## IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12580 FOLIO 413

Security no : 124126413453C

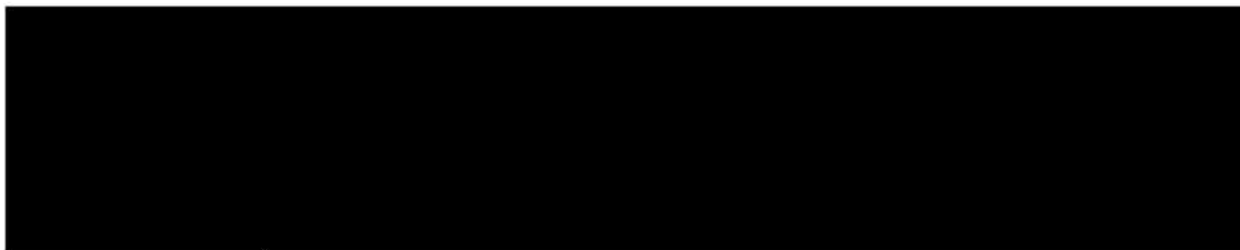
Produced 22/07/2025 11:17 AM

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### LAND DESCRIPTION

Lot 123 on Plan of Subdivision 848743W.  
PARENT TITLE Volume 12330 Folio 801  
Created by instrument PS848743W 31/10/2024

### REGISTERED PROPRIETOR



MORTGAGE AY595082S 14/11/2024  
COMMONWEALTH BANK OF AUSTRALIA

COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AX385769J 25/10/2023

### DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 4 SCENIC RISE PAKENHAM VIC 3810

### ADMINISTRATIVE NOTICES

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA  
Effective from 14/11/2024

DOCUMENT END

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Document Type	<b>Plan</b>
Document Identification	<b>PS848743W</b>
Number of Pages (excluding this cover sheet)	<b>4</b>
Document Assembled	<b>22/07/2025 11:17</b>

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# PLAN OF SUBDIVISION

EDITION 1

PS848743W

## LOCATION OF LAND

**PARISH:** NAR NAR GOON  
**TOWNSHIP:** PAKENHAM  
**SECTION:** —  
**CROWN ALLOTMENT:** 32(PT) & 33(PT)  
**TITLE REFERENCE:** VOL. 12230 FOL. 801  
**LAST PLAN REFERENCE:** LP6710 (LOT 3)  
**POSTAL ADDRESS:** 110 PAKENHAM ROAD  
 (at time of subdivision) PAKENHAM 3810  
**MGA CO-ORDINATES:** E: 366 250 ZONE: 55  
 (of approx centre of land N: 5 786 580 GDA 2020  
 in plan)

Council Name: Cardinia Shire Council

Council Reference Number: S21-146  
 Planning Permit Reference: T160690-2  
 SPEAR Reference Number: S182115M

### Certification

This plan is certified under section 11 (7) of the Subdivision Act 1988  
 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023

Public Open Space

A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification

Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024

Statement of Compliance issued: 28/10/2024

Public Open Space

A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance

## VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
ROAD R1	CARDINIA SHIRE COUNCIL
ROAD R2	HEAD TRANSPORT FOR VICTORIA
RESERVE No.1	AUSNET ELECTRICITY SERVICES PTY LTD

## NOTATIONS

LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.

LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS.  
 FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS,  
 SEE CREATION OF RESTRICTIONS ON SHEET 4.

**WARNING:** The restrictive covenant(s)/restriction(s) in this plan  
 may have been varied or removed. For current information,  
 please refer to the relevant folio(s) of the Register,  
 noting section 88(3) of the Transfer of Land Act 1958

## NOTATIONS

### DEPTH LIMITATION: DOES NOT APPLY

This is a SPEAR plan.

**STAGING:**  
 This is not a staged subdivision.  
 Planning Permit No. T160690

**SURVEY:**  
 This plan is based on survey.  
 This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286,  
 287, 295, 319, 320, 354, 355, 363, 674, 675

Estate: The Rise - Pakenham  
 Phase No.: 01  
 No. of Lots: 31 + Lot A  
 PHASE AREA: 2.142ha

## EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4	PIPELINE	24.38	INST. D613929	VICTORIA PIPELINES COMMISSION
E-2	DRAINAGE	3	THIS PLAN	CARDINIA SHIRE COUNCIL
E-2, E-3	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	THIS PLAN	SOUTH EAST WATER CORPORATION



**Beveridge Williams**  
 development & environment consultants  
 Melbourne ph : 03 9524 8888

[www.beveridgewilliams.com.au](http://www.beveridgewilliams.com.au)

SURVEYORS FILE REF: 2000490/01  
 2000490-01-PS-V11.DWG

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed  
 Surveyor,  
 Surveyor's Plan Version (11),  
 24/05/2024, SPEAR Ref: S182115M

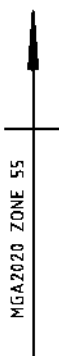
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 SIZE: A3

SHEET 1 OF 4

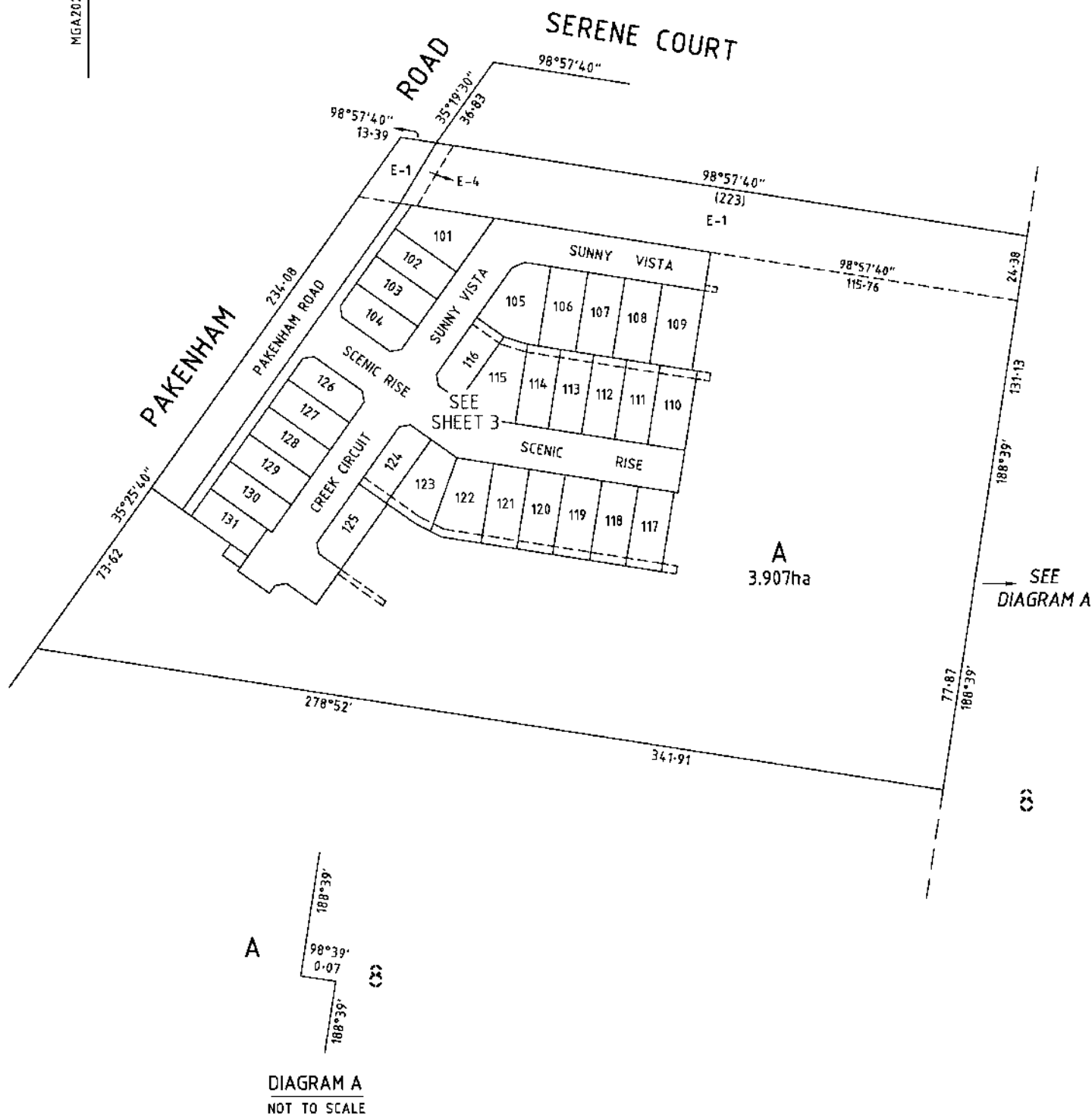
Land Use Victoria Plan Registered  
 02:18 PM  
 31/10/2024  
 Assistant Registrar of Titles



PS848743W



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SURVEYORS REF  
2000490/01

SCALE  
1 : 1500

15 0 15 30 45 60  
LENGTHS ARE IN METRES

ORIGINAL SHEET  
SIZE: A3

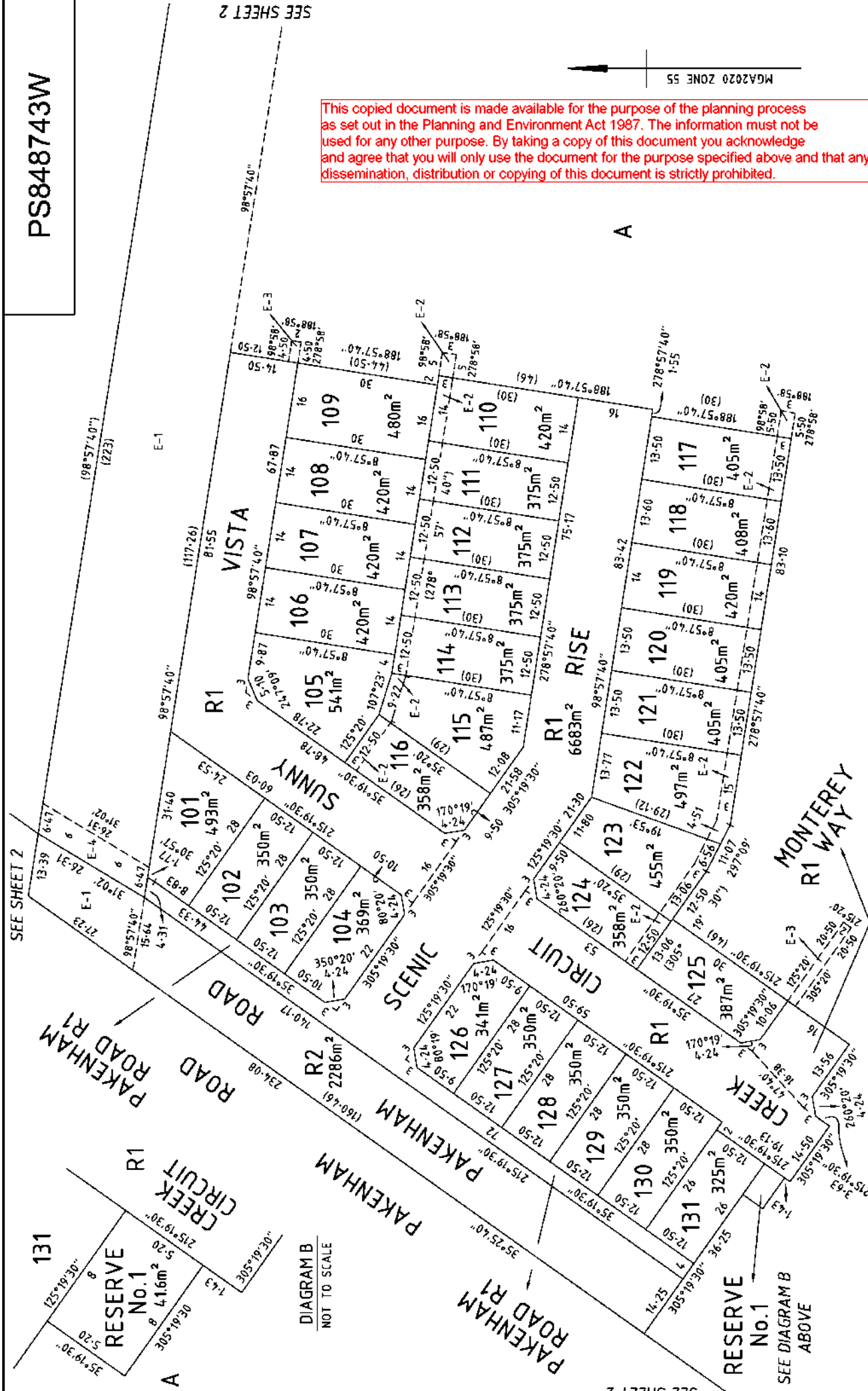
SHEET 2

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,  
Surveyor's Plan Version (11),  
24/05/2024, SPEAR Ref: S182115M

Digitally signed by:  
Cardinia Shire Council,  
30/05/2024,  
SPEAR Ref: S182115M

PS848743W

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SURVEYORS REFERENCE		ORIGINAL SHEET SIZE: A3		SHEET 3	
2000490 /01		7.5 0 7.5 15 22.5 30		LENGTHS ARE IN METRES	
SCALE 1 : 750		7.5 0 7.5 15 22.5 30		LENGTHS ARE IN METRES	
Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		Digitally signed by: Adrian James Freeman, Licensed Surveyor, Cardinia Shire Council, 30/05/2024, SPEAR Ref: S182115M		Digitally signed by: Adrian James Freeman, Licensed Surveyor, Cardinia Shire Council, 30/05/2024, SPEAR Ref: S182115M	

# SUBDIVISION ACT 1988

## CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

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### LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

### DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

### VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

### EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

## CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

### LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

### DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

### EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



**Beveridge Williams**  
development & environment consultants

Melbourne ph : 03 9524 8888

[www.beveridgewilliams.com.au](http://www.beveridgewilliams.com.au)

SURVEYORS REF  
2000490/01

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Surveyor,  
Surveyor's Plan Version (11),  
24/05/2024, SPEAR Ref: S182115M

ORIGINAL SHEET  
SIZE: A3

SHEET 4

Digitally signed by:  
Cardinia Shire Council,  
30/05/2024,  
SPEAR Ref: S182115M



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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 22/07/2025 11:17:57 AM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

### Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

## APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

### Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

### Estate and/or Interest

FEE SIMPLE

### Land Title Reference

12330/800  
12330/801

### Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173  
Planning & Environment Act - section 173

### Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC



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## Electronic Instrument Statement

Postcode 3809

### Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	DAVID PHILIP LITTLEJOHN
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

### File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



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Document Type	<b>Instrument</b>
Document Identification	<b>AX385769J</b>
Number of Pages (excluding this cover sheet)	<b>17</b>
Document Assembled	<b>22/07/2025 11:17</b>

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HWL  
EBSWORTH  
LAWYERS

## Deed of Agreement

### Under s173 of the *Planning and Environment Act 1987*

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 447 Collins Street, Melbourne VIC 3000 Australia  
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## Deed of Agreement

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Date 06/10/2023

---

### Parties

**Cardinia Shire Council**

of 20 Siding Avenue, Officer 3809

(Council)

---

**BNG (PAKENHAM) PTY LTD (ACN 640125686)**

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

---

### Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

*Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:*

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*

---

*plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.*

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

---

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

## 1. Definitions and interpretation clauses

---

### 1.1 Definitions

In this deed the following definitions apply:

**Act** means the *Planning and Environment Act 1987* (Vic).

**Agreement** means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

**Building Design Guidelines** means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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<b>Building Envelopes</b>	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
<b>Building Envelope Plan</b>	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
<b>Business Day</b>	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
<b>Claim</b>	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
<b>Council</b>	means Cardinia Shire Council in its capacity as responsible authority.
<b>Development</b>	means the buildings and works authorised under the Planning Permit.
<b>Endorsed Plans</b>	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
<b>Loss</b>	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
<b>Owner</b>	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
<b>Party or Parties</b>	means the Owner and Council under this Agreement as appropriate.
<b>Planning Permit</b>	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

<b>Planning Scheme</b>	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
<b>Plantation Reserve</b>	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
<b>Subject Land</b>	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
<b>VCAT</b>	means the Victorian Civil and Administrative Tribunal.
<b>Vegetation Plan</b>	means the vegetation plan attached at Schedule 2..

## 1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
  - (ii) A reference to a gender includes a reference to each other gender.
  - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
  - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
  - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
  - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
  - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
  - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
  - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
  - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

## 2. Owner's obligations

---

### 2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

### 2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

### 2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

### 2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

## 3. Further obligations

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### 3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

### 3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

### 3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

### 3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

### 3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

### 3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

## 4. Agreement under Section 173 of the Act

---

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

## 5. Owner's warranties

---

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

## 6. Successors in title

---

### 6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

## 7. Notices

---

### 7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

### 7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.



## 8. Miscellaneous

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### 8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

### 8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

### 8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

### 8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

### 8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

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### 8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

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## 8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

## 8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

## 8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

## Schedule

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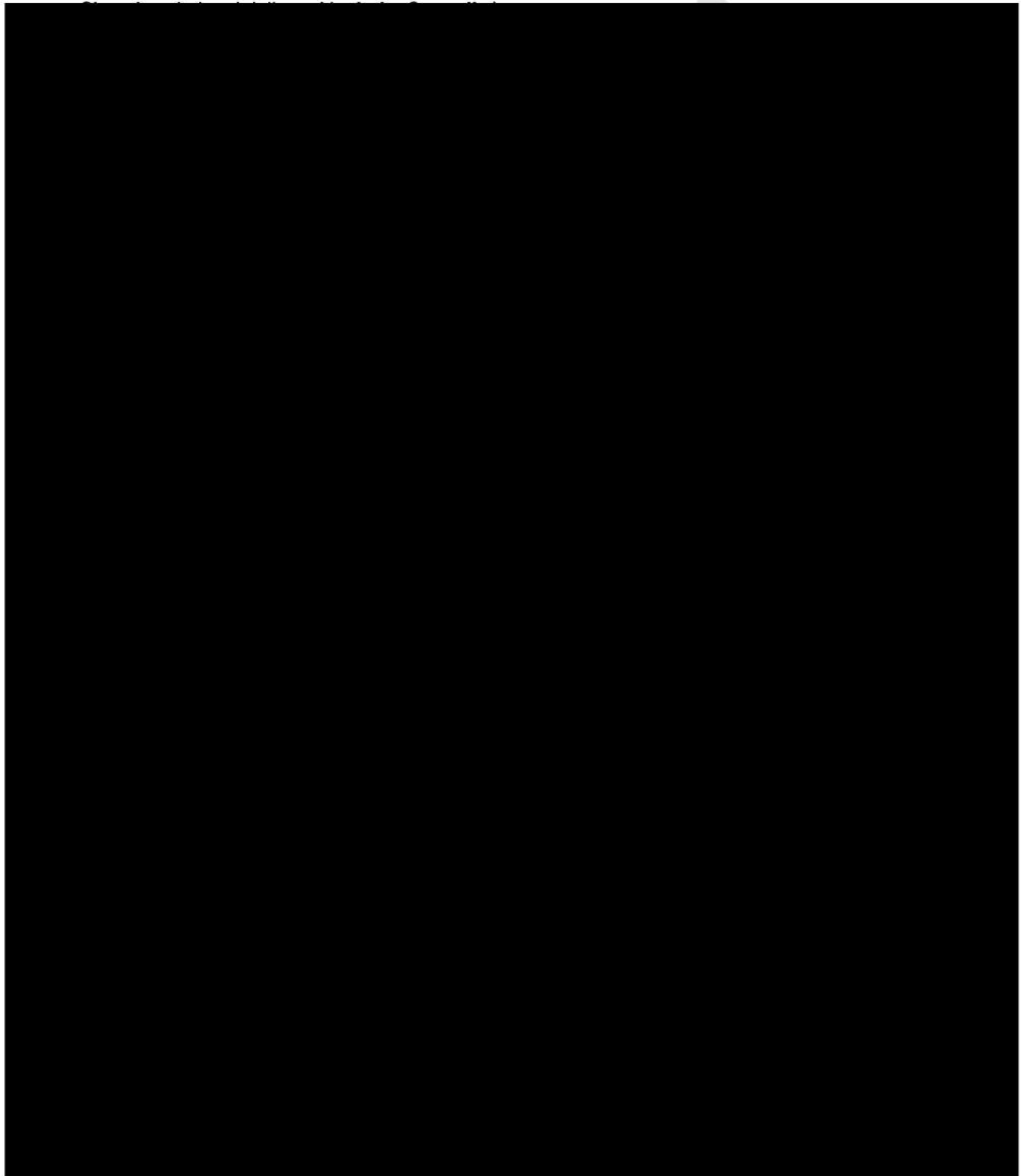
### Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

## Executed as a deed

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**Signed, sealed and delivered as a deed by  
the parties**



## Schedule 1

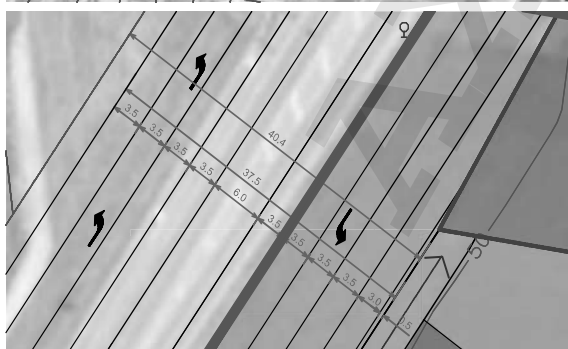
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### Building Envelope Plan

AX385769J

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LEGEND	
	Title boundary (approx.)
	Pedestrian path
	Shared path
	Stage boundary
	Stage numbers
	Entry point
	Existing contours (5m interval)
	Lots
	Substation kiosk
	Superlot
	Pakenham road widening
	Naturestrip (indicative)
	Road pavement (indicative)
	Reserve (Council easement)
	Tree reserve
	Drainage reserve
	Plantation Reserve (back of lot) = 7m
	Turning direction
	Trees & TPZ - via Ecolink
	Trees to be removed
	4m Paper Road
	Building Envelope



Pakenham Road - Cross Section

Notes:

- This plan is subject to Council approval.
- All dimensions and areas are subject to survey and final computations.
- The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
- All roads are 16m local access level 1 unless noted otherwise.
- Road pavement is indicative only and subject to detailed engineering design.
- Arc dimensions shown are length of arc (not chord)

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

\* Stage includes 1 Superlot

Lot Schedule by Area		
Lot Size	Number of Lots	%
0-299m <sup>2</sup>	42	20.8
300-399m <sup>2</sup>	56	27.7
400-499m <sup>2</sup>	81	40.1
500-599m <sup>2</sup>	3	1.5
600-699m <sup>2</sup>	0	0.0
700m <sup>2</sup> +	20	9.9
Total	202	100

\* Table does not include superlot

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m <sup>2</sup> average lot size
Lot Yield (Medium Density)	42 lots 243m <sup>2</sup> average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m <sup>2</sup> average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

\* Indicates inclusion in NDA





## Schedule 2

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### Vegetation Plan

AX385769J

KEY PLAN



CODE	TREES	BOTANICAL NAME	COMMON NAME	MAINTENANCE	INSTALLATION	HEIGHT	QTY
1.0	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.1	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.2	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.3	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.4	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.5	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.6	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.7	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.8	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.9	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10
1.10	Small	Acacia saligna	Black Wattle	1000 x 1000	1000 x 1000	1000 x 1000	10

EXISTING VEGETATION

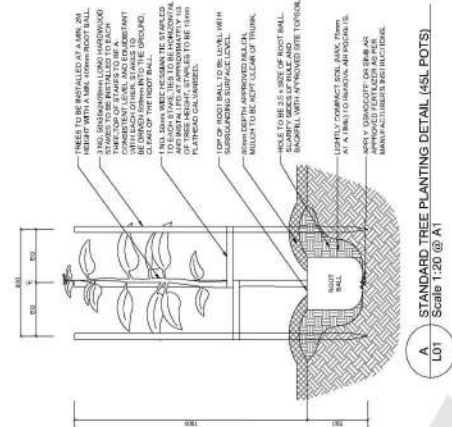
TREES	BOTANICAL NAME	COMMON NAME	EST. (m)	TPS (m)
1.0	Acacia saligna	Black Wattle	1000	1000
1.1	Acacia saligna	Black Wattle	1000	1000
1.2	Acacia saligna	Black Wattle	1000	1000
1.3	Acacia saligna	Black Wattle	1000	1000
1.4	Acacia saligna	Black Wattle	1000	1000
1.5	Acacia saligna	Black Wattle	1000	1000
1.6	Acacia saligna	Black Wattle	1000	1000
1.7	Acacia saligna	Black Wattle	1000	1000
1.8	Acacia saligna	Black Wattle	1000	1000
1.9	Acacia saligna	Black Wattle	1000	1000
1.10	Acacia saligna	Black Wattle	1000	1000

LEGEND

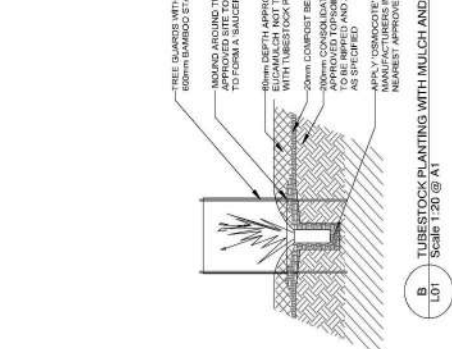
	EXTENT OF WORK
	FOOTPATH (10m wide)
	EXISTING TREES TO BE RETAINED
	PROPOSED TREES (10m wide)
	PROPOSED TREES (10m wide)
	PROPOSED TREES (10m wide)
	PROPOSED TREES (10m wide)
	PROPOSED TREES (10m wide)
	PROPOSED TREES (10m wide)
	PROPOSED TREES (10m wide)
	PROPOSED TREES (10m wide)

NOTES

1. All proposed trees and shrub planting is indigenous as per EVC Number 120, Grassy Forest (Highlands - Southern Fall)
2. Plant densities for trees, medium shrubs and small shrubs have been calculated in accordance with the DSE Native Revegetation Planting Standards



A STANDARD TREE PLANTING DETAIL (45L POTS)  
Scale 1:20 @ A1



B TUBESTOCK PLANTING WITH MULCH AND GUARD  
Scale 1:20 @ A1

MAINTENANCE / WEED CONTROL SCHEDULE

- SHORT TERM (1-2 years) - Lot Owner's Responsibility
1. Carry out regular maintenance for litter removal and weeding to <1%.
  2. Ensure plants are establishing with an 80% survival rate.
  3. Replace dead or dying plants on an as needed basis during favourable planting conditions (not in summer or mid-winter).
- MEDIUM TERM (3-5 years) - Lot Owner's Responsibility
1. Carry out regular maintenance for litter removal and weeding to <1%.
  2. Monitor natural regeneration and remove any weeds posing a threat of crowding out native plants.
  3. Undertake infill planting/replacement at 1% p.a.
- LONG TERM (5yrs +) - Lot Owner's Responsibility
1. Carry out regular maintenance for litter removal and weeding to <1%.
  2. Monitor natural regeneration and remove any weeds posing a threat of crowding out native plants.
- \*Each land owner must maintain the plantation reserve in perpetuity at the owner's cost.

GENERAL NOTES

1. The Contractor must verify all dimensions on site and immediately report any discrepancies to the Project Manager.
2. The site is to be cleared of all debris and builder's rubble.
3. All weed species on site shall be eradicated.
4. All plant species shall be true to type and there should be no alterations or substitutions of nominated species or cultivars without the written consent of the Landscape Architect.
5. All plant stock must be checked by the Contractor and must be healthy and disease free.
6. Planting must be undertaken in accordance with sound horticultural practices.
7. Supply and install 20mm diameter water 80mm depth approved fine grade eucalypt mulch to all tree watering bowls.
8. All plants must be thoroughly hand watered immediately after planting.
9. The Contractor must check current water restrictions and ensure there is an adequate supply of water suitable for plants.



GENERAL NOTES (NCC 2019 BCA Vol 2)

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2019, THE BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- UNLESS OTHERWISE SPECIFIED THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 2
- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.
- GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE & THICKNESS SO AS TO COMPLY WITH:
  - BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND
  - BCA VOL 1 PART B1.4 FOR CLASS 2 TO 9 BUILDINGS
- WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.

SUSTAINABILITY MEASURES FOR NEW CLASS 1 BUILDINGS.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED ENERGY RATER.

SITE BUSHFIRE ATTACK ASSESSMENT.

- REFERENCE DOCUMENT AS 3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/ DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
  - SITE PLAN MEASUREMENTS IN MILLIMETRES - ALL OTHER MEASUREMENTS IN MILLIMETRES U.N.O.
  - FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
  - THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
  - THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION

SITE CLASSIFICATION

SITE CLASSIFICATION AS CLASS:	P
REFER TO SOIL REPORT NO:	171171
BY:	STRUTTERRE

STORMWATER

- 90mmØ (UPTO 250m2) OR 100mmØ (OVER 250m2) CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION. THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN
- 100MM UNDER SOIL
  - 50MM UNDER PAVED OR CONCRETE AREAS
  - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
  - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS

AUTHORITIES / CONSULTANTS

MUNICIPALITY NAME:	CARDINIA SHIRE
SEWERAGE AUTHORITY:	SOUTH EAST WATER
CONSULTING STRUCTURAL ENGINEER:	STRUTTERRE
GEOTECHNICAL ENGINEER:	STRUTTERRE
THERMAL PERFORMANCE ASSESSOR:	PASSIVENERGY

STEP AND LANDINGS

- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
- RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
- GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
- 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
- WITH LESS THAN 125MM MAXIMUM GAP BETWEEN OPEN TREADS
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIPRESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:
  - 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
  - 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
  - VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND
  - ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- WIRE BARRIER CONSTRUCTION TO COMPLY WITH BCA PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2019 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HAND RAILS TO BE 865MM MINIMUM ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.
- CONCRETE STUMPS: UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO. H.D. WIRE) 1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO. H.D. WIRES) 1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO. H.D. WIRES)
- 100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.
- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773.1-2010 MASONRY IN SMALL BUILDINGS PART 1:DESIGN
- ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF SJD HOMES ('THE DESIGNER') FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF SJD HOMES EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO SJD HOMES.
- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

SJDhomes



HABOST 226 - RH (MODIFIED)

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BUSHFIRE ATTACK LEVEL:- (BAL)

BAL NIL

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: N2 26m/s

IMPORTANT NOTE:

THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE) STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

ISSUE	AMENDMENT DETAILS
A	INITIAL WORKING DRAWINGS ISSUED RD/JG (30.05.24)
B	MINOR PLAN CHANGES BB (07.06.24)
C	SURVEY ADDED TO PLANS BB (18.06.24)
D	PLAN CHANGES - COLOURS BB (04.07.24)
E	MINOR PLAN CHANGES - ISSUED BB (18.07.24)
F	ENGINEERING ADDED TO PLANS - ISSUED BB (30.07.24)
G	CHANGES FOR CONTRACTS JG (05.08.24)
H	FASCIA VENT REMOVED FROM ELEVATION B JG (06.09.24)
I	RECYCLED WATER TAP REMOVED FROM PLANS BB (04.11.24)
J	PLANS UPDATED AS PER COUNCIL RFI TLG (07.08.25)
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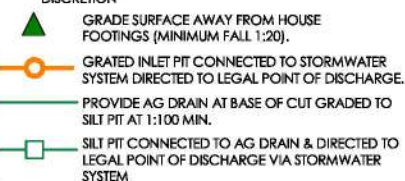
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## DRAINAGE NOTES:

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.
- BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
- STORMWATER DRAINS ARE INDICATIVE ONLY. DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION
- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
- GRATED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
- PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN.
- SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM



**LOT 125**  
(VACANT LAND)

**SEWER PIPE**  
DIAMETER: 150 mm  
DEPTH: 2330 mm  
OFFSET: 1810 mm

**STORMWATER PIPE**  
DIAMETER: 300 mm  
DEPTH: 2291 mm  
OFFSET: 1000 mm

PS902144  
(VACANT LAND)

**NOTE:** PROVIDE 1:2 FILL BATTER

6.56m 297°09'00"  
EXISTING 1.2MH  
RETAINING WALL

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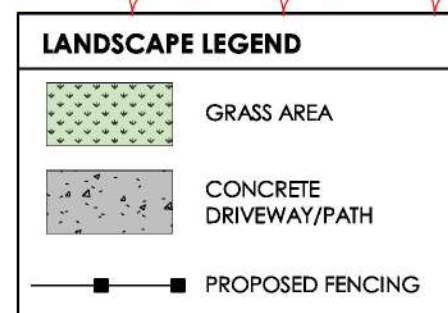
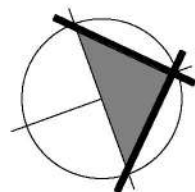
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LETTERBOX DESIGN AS PER  
DEVELOPER REQUIREMENTS

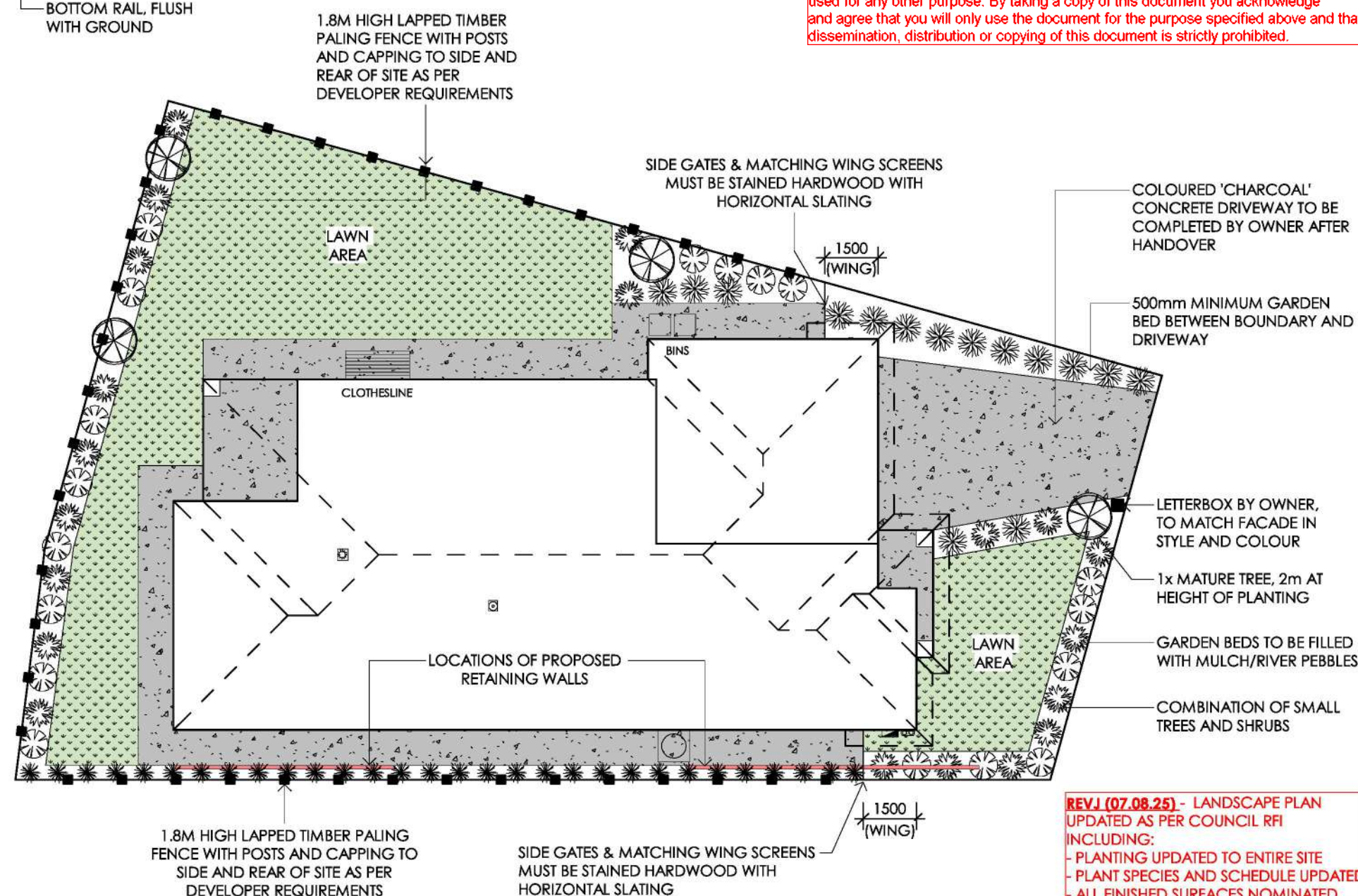
**NOTE:** LANDSCAPE PLAN IS INDICATIVE ONLY AND IS SUBJECT TO DEVELOPER APPROVAL

**NOTE:** ALL LANDSCAPING IS TO BE COMPLETED BY CLIENT AFTER HANDOVER



	QTY	BOTANICAL NAME	COMMON NAME	MATURE H x W	POT SIZE
	4x	LAGERSTROEMIA 'SIOUX'	CREPE MYRTLE	5M x 3M	40L
	32x	CORREA REFLEXA	NATIVE FUSCHIA	1M x 1M	150mm
	12x	PIMELEA HUMILIS	COMMON RICE FLOWER	0.3M x 0.3M	100mm
	15x	WESTRINGIA FRUTICOSUM	JERVIS GEM	1M x 1M	150mm
	55x	LOMANDRA CONFERTIFOLIA	LITTLE CON	0.3M x 0.3M	100mm

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**REV J (07.08.25) - LANDSCAPE PLAN**  
**UPDATED AS PER COUNCIL RFI**  
**INCLUDING:**  
 - PLANTING UPDATED TO ENTIRE SITE  
 - PLANT SPECIES AND SCHEDULE UPDATED  
 - ALL FINISHED SURFACES NOMINATED  
 - FENCING DETAILS/ELEVATIONS ADDED

## CONSTRUCTION DETAILS/SPECIFICATIONS

## WEED REMOVAL

**WEED REMOVALS**  
ALL WEEDS SHALL BE THOROUGHLY REMOVED. ALL VEGETATIVE MATERIAL, INCLUDING  
ROOTS AND RHIZOMES OF NON-WOODY PERENNIALS AND WOODY SUCKERING  
WEEDS, IS TO BE REMOVED OR APPROPRIATELY CONTROLLED USING CHEMICAL  
MEANS. THE STUMPS OF NON-SUCKERING WOODY PERENNIALS ARE TO BE STUMP  
GROUND.

ALL VEGETATIVE MATERIAL SHALL BE APPROPRIATELY DISPOSED OF OFF SITE IN A MANNER WHICH WILL NOT ALLOW THEIR RE-ESTABLISHMENT ELSEWHERE. ANY CHEMICAL CONTROLS ARE TO BE USED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND STANDARD OCCUPATIONAL HEALTH AND SAFETY PROCEDURES. PRIOR TO PLANTING GARDEN BEDS AND DURING THE MAINTENANCE AND ESTABLISHMENT PERIOD AREAS SHALL BE WEED FREE.

## SOIL PREPARATION

**SUBSOIL PREPARATION**  
SUBSOIL SHALL BE PREPARED SO IT IS FRIABLE AND SCARIFIED TO A DEPTH OF 300MM PRIOR TO SPREADING OF TOPSOIL. ALL AREAS SHALL BE FREE DRAINING. THE CONTRACTOR IS TO ENSURE AREAS DRAIN FREELY OR OTHERWISE INSTALL DRAINAGE CONNECTED TO THE STORMWATER SYSTEM TO ENSURE GARDEN BEDS DRAIN FREELY.

ANY IMPORTED TOPSOIL IS TO BE FREE OF WEEDS, RUBBLE AND OTHER MATERIALS DAMAGING TO PLANT GROWTH AND IS TO BE OF A MEDIUM TEXTURE (SANDY LOAM) WITH A PH OF 6.0-7.0. TOP SOIL IS TO BE LAID OVER A PREPARED SUB-BASE WHICH HAS HAD ANY MATERIALS DAMAGING TO PLANT GROWTH REMOVED, SPREAD TO THE APPROPRIATE DEPTH AND CULTIVATED INTO THE EXISTING SITE SOIL TO A MINIMUM DEPTH OF 150MM.

IMPORTED TOPSOIL IS TO BE LIGHTLY AND UNIFORMLY COMPACTED IN 150MM LAYERS TO A MINIMUM DEPTH OF 100MM ON LAWN AREAS AND 300MM ON GARDEN BEDS.

**MULCH**

**MULCH** IS TO BE SUPPLIED TO ALL GARDEN BEDS AND IS TO BE AN ORGANIC TYPE LAID TO A MINIMUM DEPTH OF 75MM. MULCH SHALL BE FREE OF DAMAGING MATTER SUCH AS SOIL, WEEDS AND STICKS AND IS TO BE STOCKPILED AND THOROUGHLY WEATHERED PRIOR TO DELIVERY. MULCH IS TO BE KEPT BACK 100MM FROM THE STEMS OF ALL PLANTS TO PREVENT ROT.

MULCH TYPE - PINE BARK CHIPS

## PLANTING

PLANTING SHALL BE CARRIED OUT USING ACCEPTED HORTICULTURAL PRACTICES WITH ALL PLANTS CONFORMING TO THE SPECIES, SIZE AND QUANTITIES INDICATED ON THE LANDSCAPE PLAN AND PLANT SCHEDULE. PLANTS SHALL BE THOROUGHLY SOAKED THROUGH IMMERSION IN WATER PRIOR TO PLANTING AND IF THE PLANTING SOIL IS VERY DRY THEN THE PLANTING HOLE IS ALSO TO BE FILLED WITH WATER AND ALLOWED TO DRAIN COMPLETELY.

ALL PLANTS SHALL BE APPROPRIATELY HARDENED OFF IN THE NURSERY. USE PLANTS WITH THE FOLLOWING CHARACTERISTICS: LARGE HEALTHY ROOT SYSTEMS WITH NO EVIDENCE OF ROOT CURL OR POT BOUND RESTRICTION OR DAMAGE, VIGOROUS AND WELL ESTABLISHED, FREE FROM DISEASE AND PESTS AND OF GOOD STRUCTURE, CONSISTENT WITH THE SPECIES OR VARIETY.

PLANTING HOLES FOR SHRUBS AND GROUNDCOVERS ARE TO BE OF MINIMUM SIZE 75MM LARGER THAN THE PLANTING POT IN ALL DIRECTIONS. SEMI-ADVANCED TREES PLANTING HOLES ARE TO BE THE SAME DEPTH AS THE ROOTBALL AND 2-3 TIMES ITS DIAMETER, WITH THE TOP OF THE ROOTBALL BEING AT GRADE. A 75MM HIGH BERM IS TO BE CONSTRUCTED AT EDGE OF ROOT-BALL TO HOLD WATER. ALL PLANTS ARE TO BE THOROUGHLY WATERED AFTER PLANTING AND SLOW RELEASE FERTILISER ADDED AT THE QUANTITIES SPECIFIED BY THE MANUFACTURER.

**NATURE STRIP**

#### DAMAGED NATURE STRIP TO BE REPAIRED

**ROOT BARRIER**

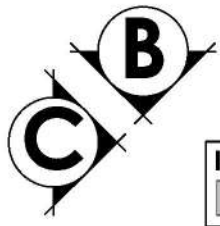
ANY FOUNDATIONS OF BUILT STRUCTURES, INCLUDING ANY CONCRETE AREAS SUCH AS PATHS/DRIVEWAYS, MUST BE PROTECTED WITH APPROPRIATE TREE ROOT/MOISTURE BARRIERS TO ENSURE THE INTEGRITY OF THE FOUNDATIONS ARE NOT COMPROMISED.

## MAINTENANCE AND ESTABLISHED PERIOD

**MAINTENANCE AND ESTABLISHED PERIOD**  
FOLLOWING THE RESPONSIBLE AUTHORITY'S APPROVAL OF PRACTICAL COMPLETION,  
THERE WILL BE A 13-WEEK LANDSCAPE MAINTENANCE AND ESTABLISHED PERIOD.

MAINTENANCE AND ESTABLISHMENT REFERS TO THE HORTICULTURAL CARE AND MAINTENANCE OF THE CONTRACT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL PLANTS UNDER MAINTENANCE IF THEY DIE, BECOME DISEASED OR INFESTED WITH PESTS OR WILT DUE TO ANY HORTICULTURAL REASON.



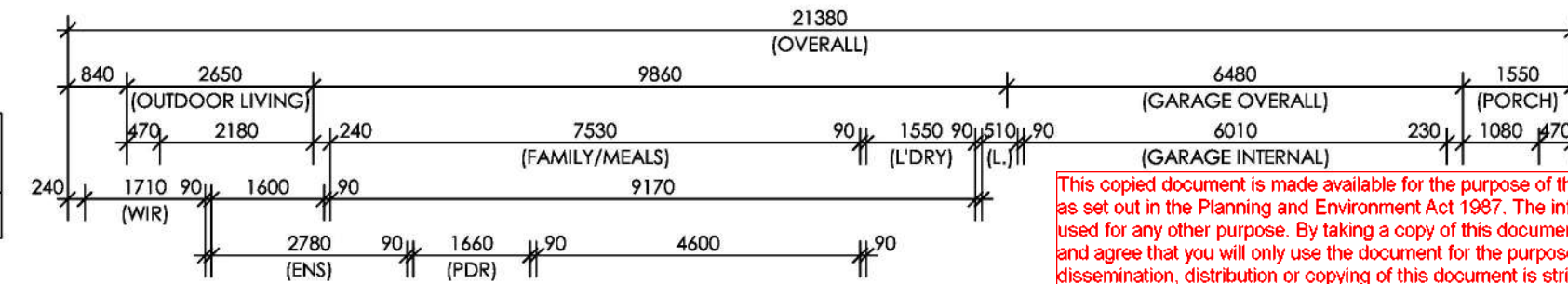


### IMPORTANT NOTE:

■ DENOTES A SERVICE VOID SPACE THAT CANNOT BE REMOVED, REDUCED OR RELOCATED

TRUSS LAYOUT DESIGN TO BE CLEAR OF ALL VOID LOCATIONS AS PER FLOOR PLAN

PROVIDE 50mm RECESS TO SLAB FOR FLUSH TILED SHR BASES IN BATHROOM AND ENSUITE



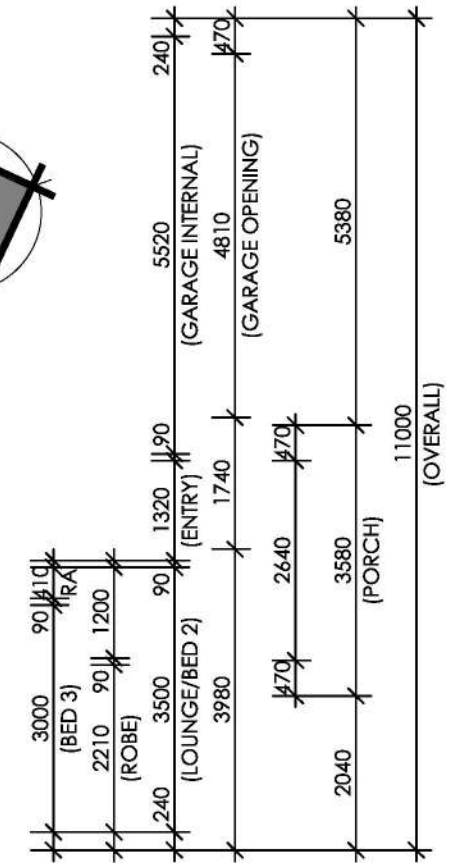
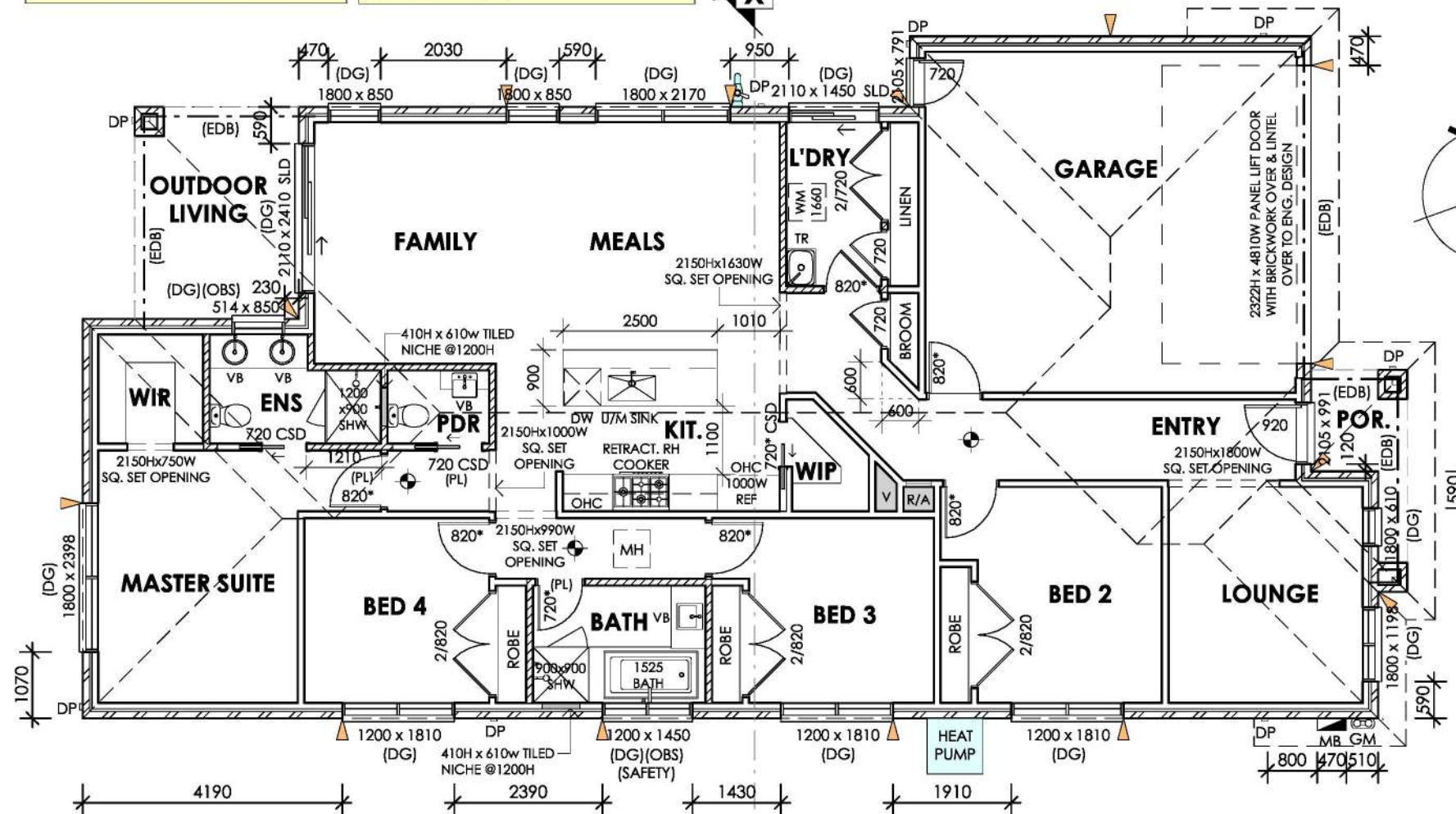
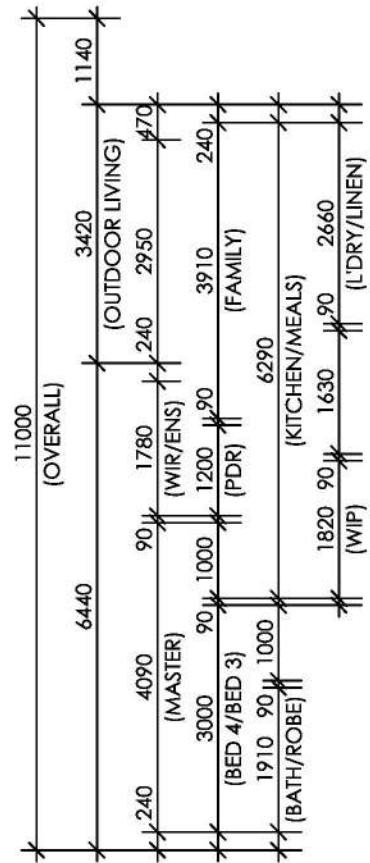
PROVIDE R2.0HP INSULATION TO WET AREAS NOMINATED AS: [hatched pattern]

\* DENOTES INTERNAL DOORS TO BE 2340mm HIGH

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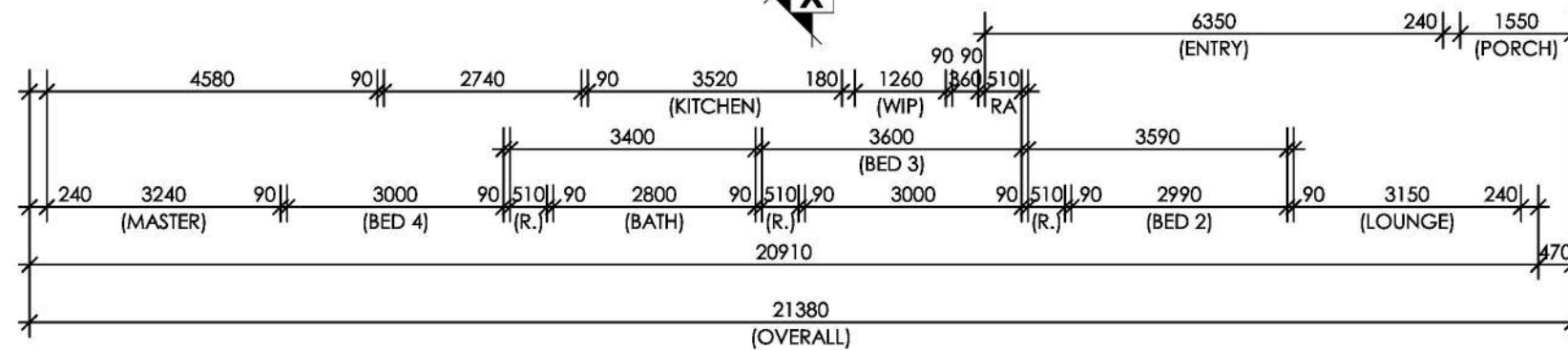
### GENERAL NOTES

- WRITTEN DIMENSIONS ALWAYS TAKE PREFERENCE OVER SCALE
- BUILDER MAY ADJUST GARAGE DOOR HEIGHT AND WIDTH ON SITE AS REQUIRED
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
  - \* EXTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD
  - \* INTERNAL 90mm STUD
- ALL INTERNAL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK - \*)
- PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS WHERE INDICATED (LH)
- PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR
- 600x600 CEILING ACCESS MANHOLE LOCATION
- SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
- CEILING EXHAUST FAN SWITCHED/COMBINED WITH LIGHT
- ENGINEER DESIGNED BEAM - (EDB)
- DOUBLE GLAZING - (DG)
- BRICKWORK ARTICULATION JOINT
- EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
- SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
- BIB TAP [symbol] RECYCLED TAP [symbol]
- GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
- HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS



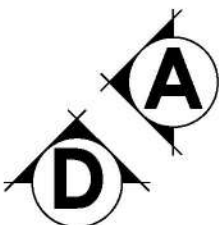
### AREAS TABLE

AREA	m2	SQ
GROUND FLOOR	159.06 m <sup>2</sup>	17.12
SUB TOTAL:	159.06 m <sup>2</sup>	17.12
OUTDOOR LIVING	9.06 m <sup>2</sup>	0.98
GARAGE	36.22 m <sup>2</sup>	3.90
PORCH	3.45 m <sup>2</sup>	0.37
SUB TOTAL:	48.73 m <sup>2</sup>	5.25
GRAND TOTAL:	207.79 m <sup>2</sup>	22.37



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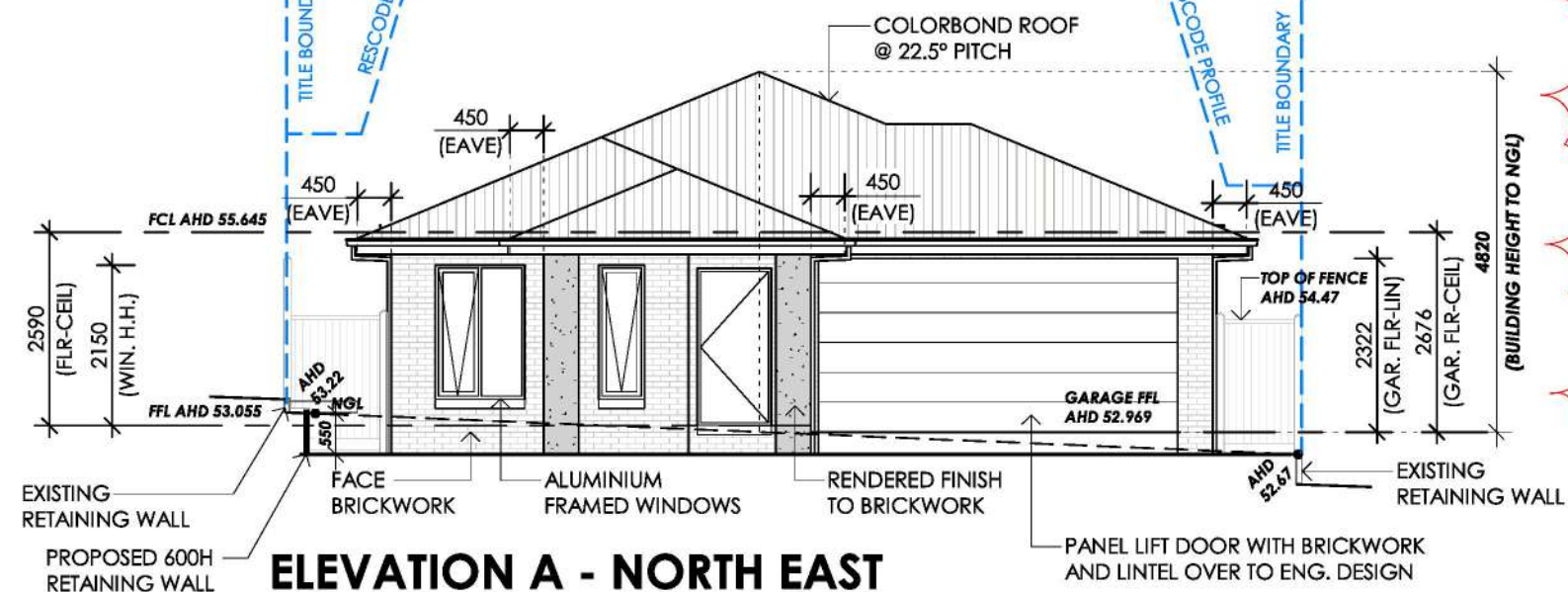




THRESHOLDS OF EXTERNAL DOORS TO BE  
NO GREATER THAN 230mm ABOVE THE  
ADJOINING SURFACE







**REV J (07.08.25) - AHD LEVELS  
ADDED, FENCING ADDED,  
PROPOSED AND EXISTING  
RETAINING WALLS NOMINATED**



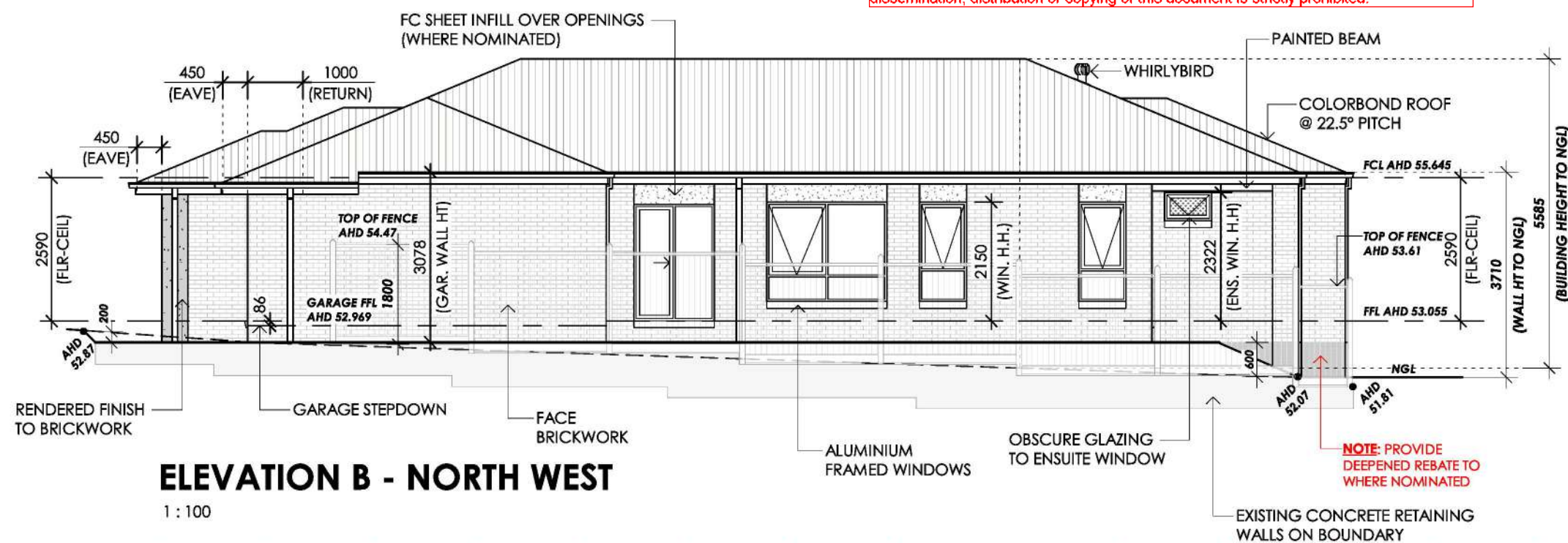
## ELEVATION A - NORTH EAST

1 : 100

EXTERNAL MATERIAL SCHEDULE		
TYPE	DESCRIPTION/COLOUR	IMAGE
FACE BRICKWORK	AUSTRAL 'DOMAIN OASIS'	
ROOF GUTTER GARAGE DOOR	COLORBOND ROOF, GUTTER AND GARAGE DOOR IN 'SURFMIST'	
RENDERED BRICKWORK	RENDER IN HAYMES 'INTUITION'	
WINDOWS FASCIA DOWNPIPES	WINDOW FRAMES, FASCIA AND DOWNPIPES IN 'MONUMENT' COLOUR	

**REV.J (07.08.25) - EXTERNAL MATERIAL SCHEDULE ADDED**

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### ELEVATION B - NORTH WEST

1 : 100

**8310**  
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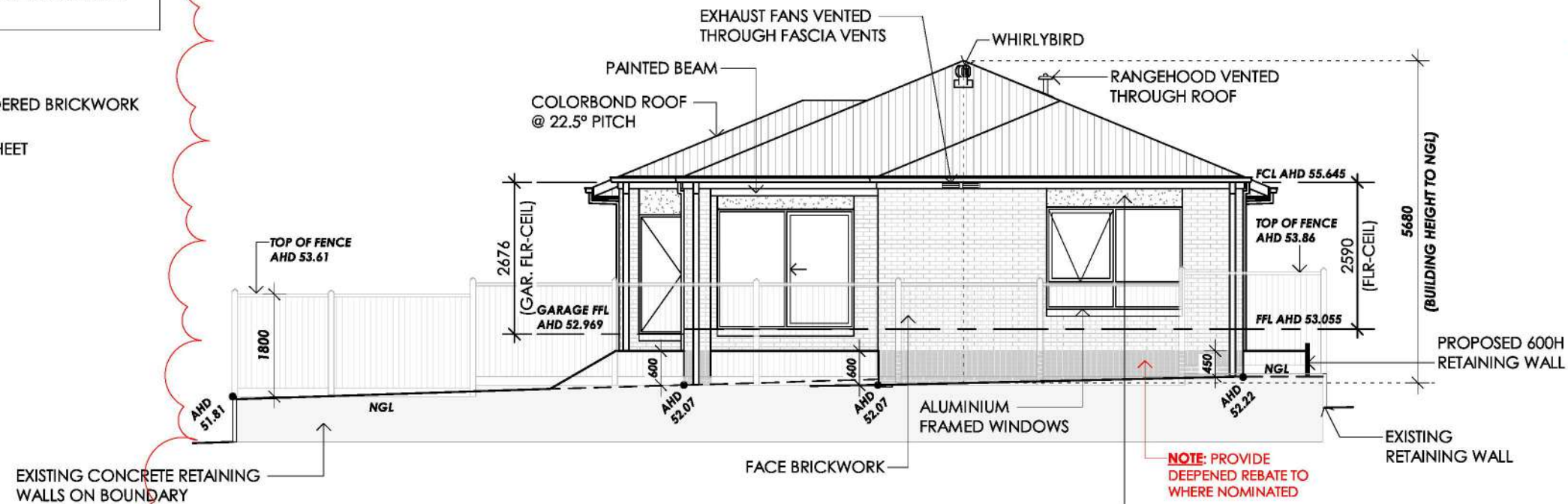
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THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

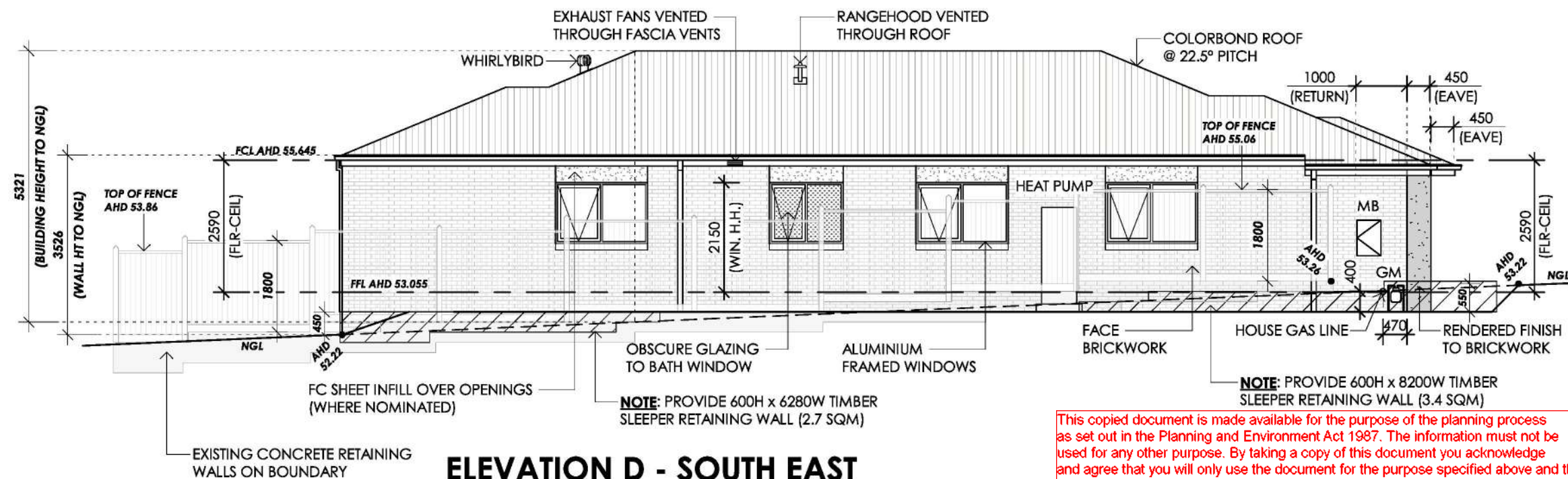

 RENDERED BRICKWORK


 FC SHEET



**REVJ (07.08.25) - AHD LEVELS  
ADDED, FENCING ADDED,  
PROPOSED AND EXISTING  
RETAINING WALLS NOMINATED**

# ELEVATION C - SOUTH WEST



**NOTE:** PROVIDE 600H x 8200W TIMBER SLEEPER RETAINING WALL (3.4 SQM)

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