


Notice of Application for a Planning Permit

The land affected by the application is located at:	L1 PS747015 V11981 F833 39 Main Street, Garfield VIC 3814
The application is for a permit to:	Buildings and works associated with a food and drink premise in a Heritage Overlay, construct and display business identification signage and reduction in car parking requirements.

A permit is required under the following clauses of the planning scheme:

43.01-1	Construct a building or construct or carry out works
43.01-1	Construct or display a sign
52.06-3	Reduce the number of car parking spaces required

APPLICATION DETAILS

The applicant for the permit is:	
Application number:	T250417

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

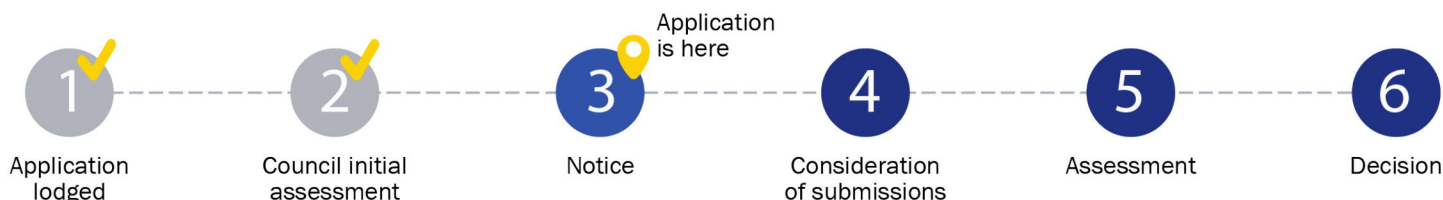
This can be done during office hours and is free of charge.

Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.



HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		29 August 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

i Click for further information.

Clear Form

The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 39	St. Name: MAIN STREET
Suburb/Locality: GARFIELD		Postcode: 3814

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.: 1	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input checked="" type="radio"/> Plan of Subdivision	No.: 747015V
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

i For what use, development or other matter do you require a permit? *

Internal works to a heritage building, external works to a heritage building, outside dining, display of sign and reduction in car parking.

Permit triggers: Clause 34.01-4 Buildings and Works, Clause 43.01-1 Buildings and Works, Clause 43.01-1 Display of Advertising Signage (internally illuminated sign), Clause 52.05-11 Display of Advertising Signage (internally illuminated signage) and Clause 52.06-3 Reduction of Car Parking

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⚠ Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Cost \$ 2000.00

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

i Estimated cost of any development for which the permit is required *


Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Existing heritage building used as a food and drink premises (Luna's Cafe).

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 Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☐ No
- ☒ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:		
Title: Mrs	First Name: [REDACTED]	Surname: [REDACTED]
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: [REDACTED]	St. Name: [REDACTED]
Suburb/Locality: [REDACTED]		[REDACTED]

Please provide at least one contact phone number *

Contact information for applicant OR contact person below	
Business phone: [REDACTED]	Email: [REDACTED]
Mobile phone: [REDACTED]	

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details*		Same as applicant <input checked="" type="checkbox"/>
Name:		
Title:	First Name:	Surname:
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name:
Suburb/Locality:		State: Postcode:

Owner *


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		Same as applicant <input type="checkbox"/>
Title:	First Name:	Surname:
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name:
Suburb/Locality:		[REDACTED]
Owner's Signature (Optional):		Date: [REDACTED] day / month / year

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: 

Date: 02/07/2025

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?



No



Yes

If 'Yes', with whom?:

Date:

day / month / year

Checklist

Have you:



Filled in the form completely?



Paid or included the application fee?



Most applications require a fee to be paid. Contact Council to determine the appropriate fee.



Provided all necessary supporting information and documents?



A full, current copy of title information for each individual parcel of land forming the subject site.



A plan of existing conditions.



Plans showing the layout and details of the proposal.



Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.



If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).



If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.



Completed the relevant council planning permit checklist?



Signed the declaration?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact information:

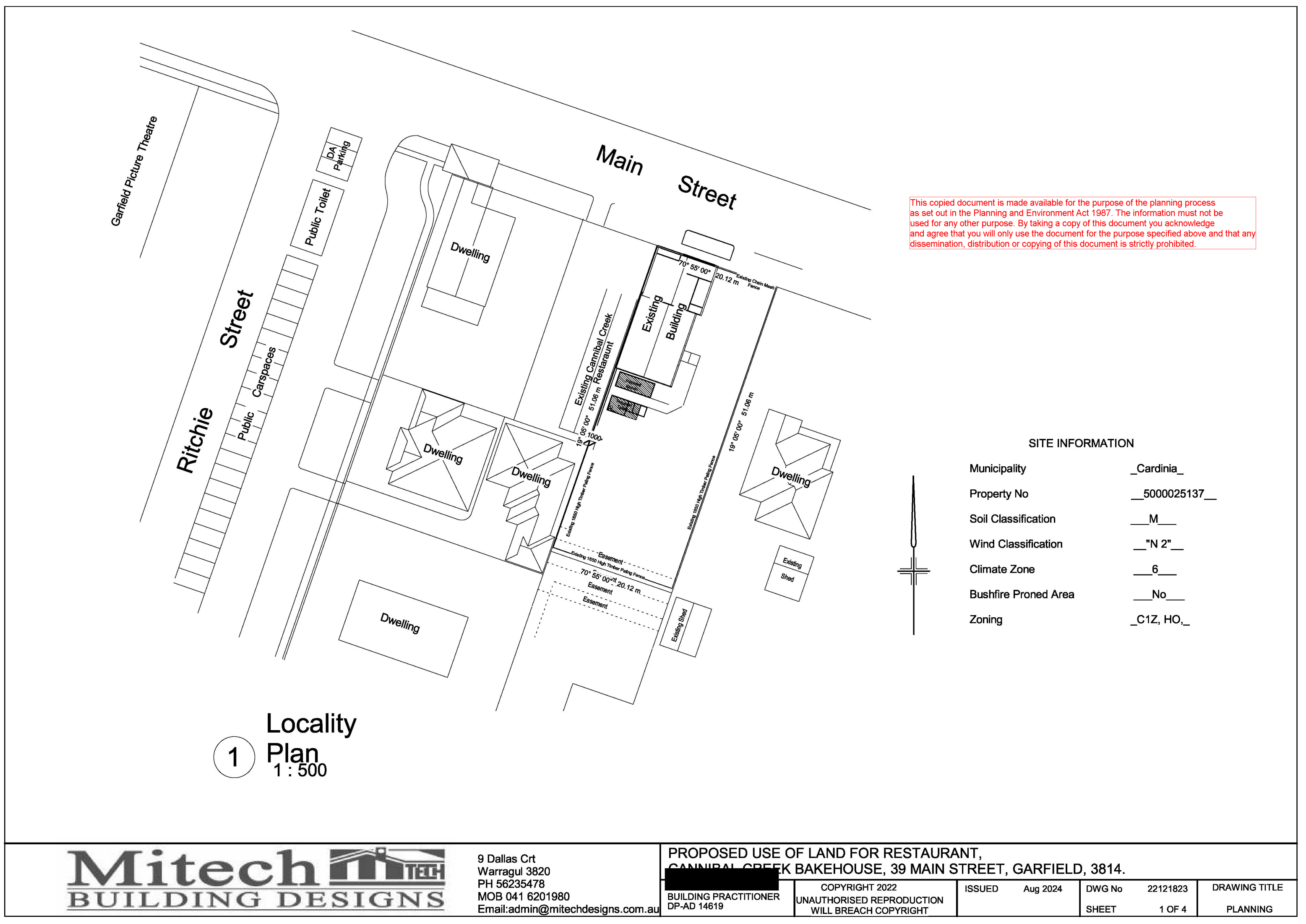
Telephone: 1300 787 624

Email: mail@cardinia.vic.gov.au

DX: 81006

Deliver application in person, by post or by electronic lodgement.

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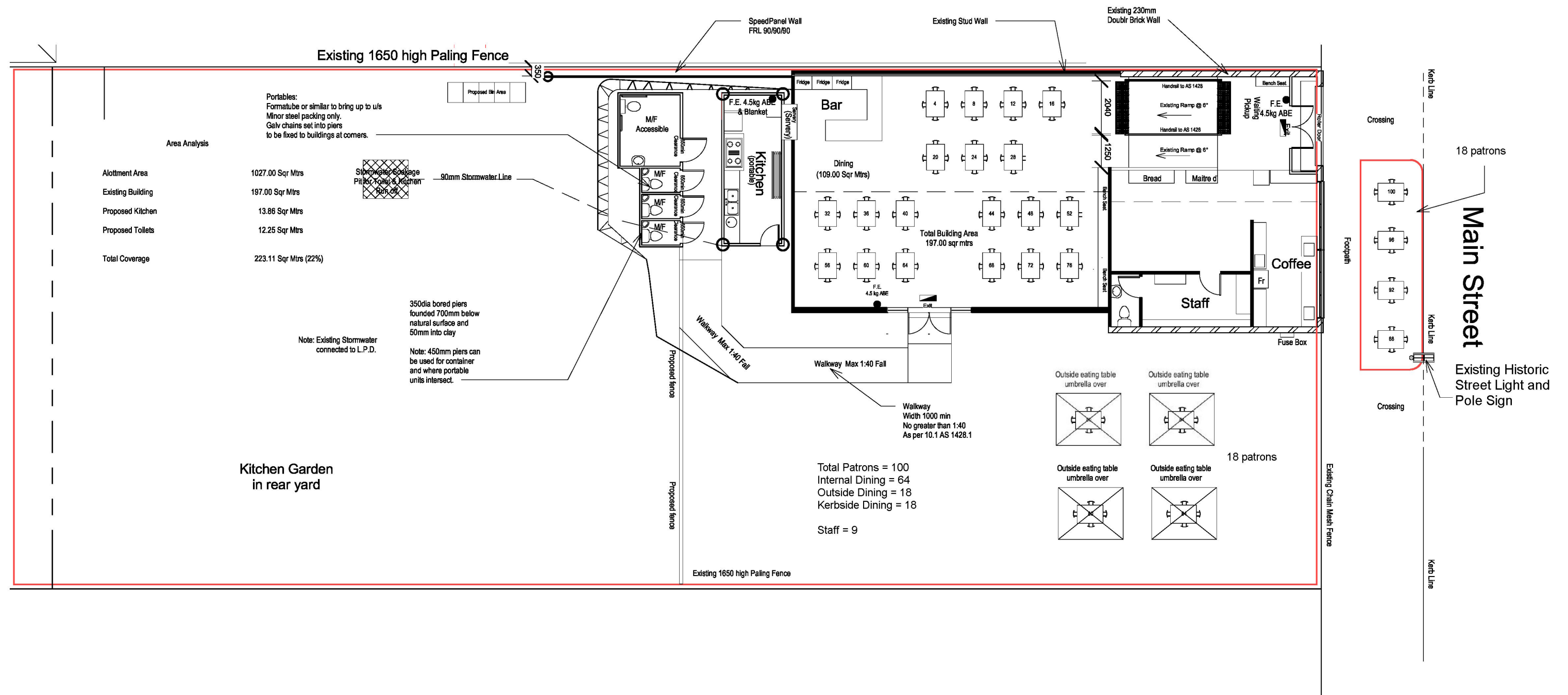
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SITE INFORMATION

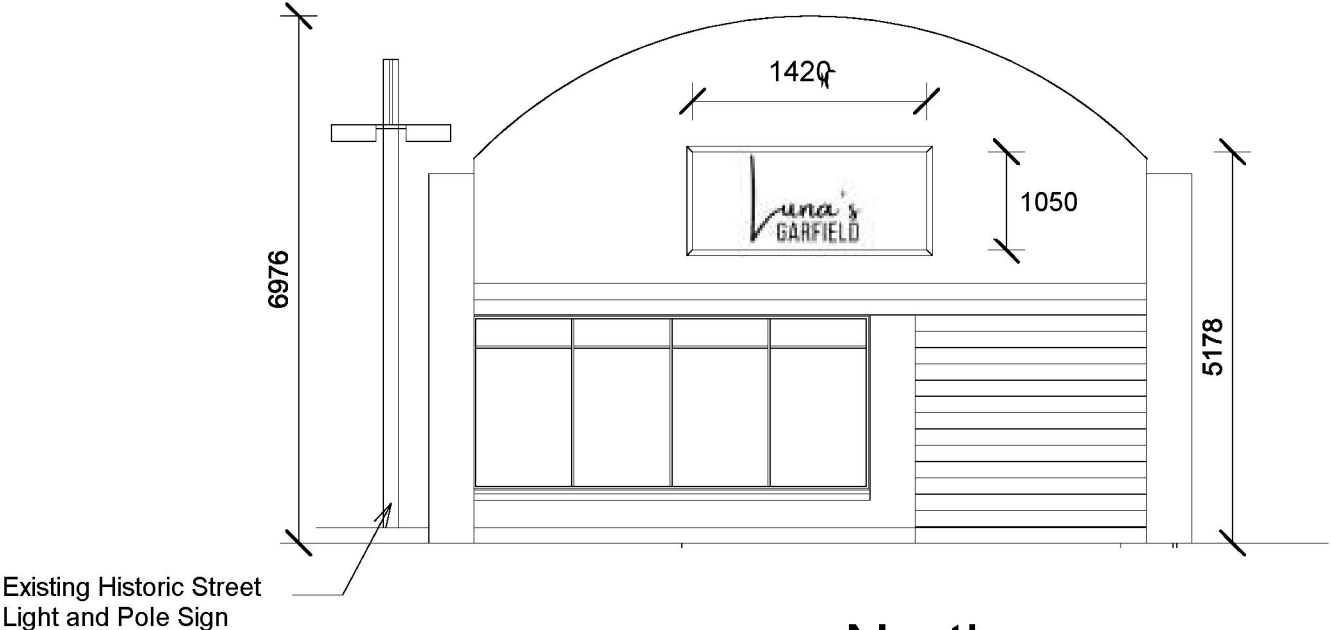
Municipality	_Cardinia_
Property No	_5000025137_
Soil Classification	_M_
Wind Classification	_ "N 2" _
Climate Zone	_6_
Bushfire Proned Area	_No_
Zoning	_C1Z, HO,_

1 Locality Plan
1 : 500

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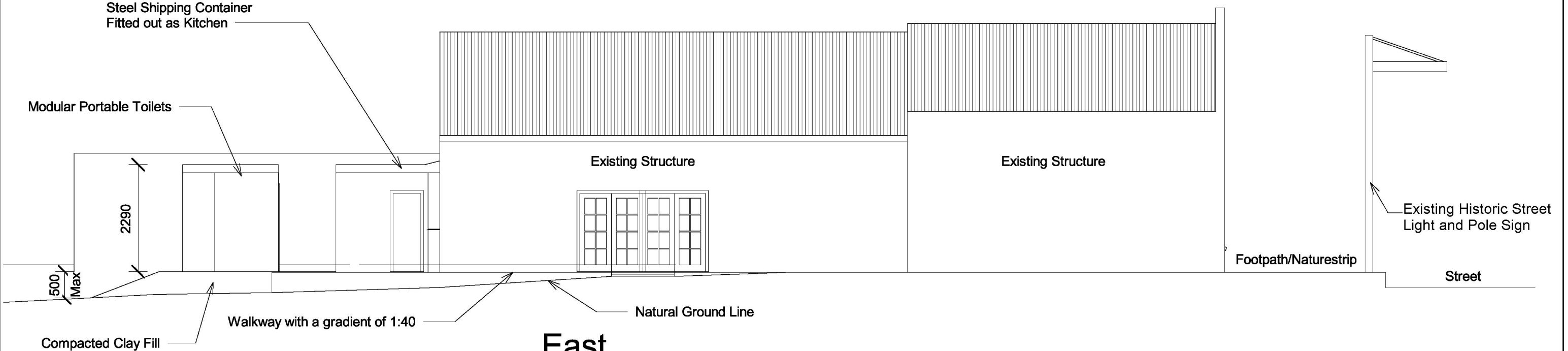


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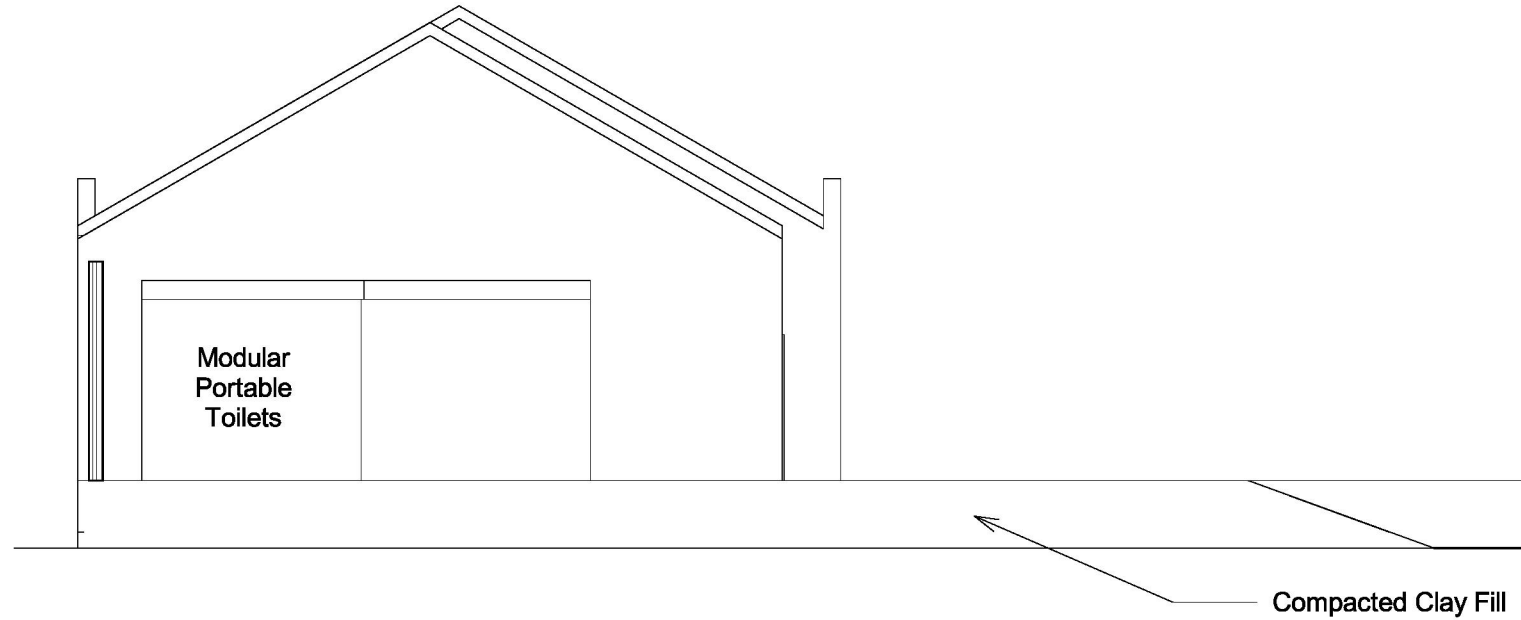


1 North Elevation
1 : 100

Material & Colour Schedule			
Element:	Material:	Colour:	
External Walls	Render	Pearl Lustre	
Windows Frames	Aluminium & Timber	Wilderness	
Spouting & Fascia	Metal	Wilderness	
Trims	Metal	Wilderness	
Roof	Metal	Galvenised Iron	
Kitchen Structure	Steel Cladding	Monument	
Bathroom Structure	Steel Frame & EPS Panels	Charcoal & White	

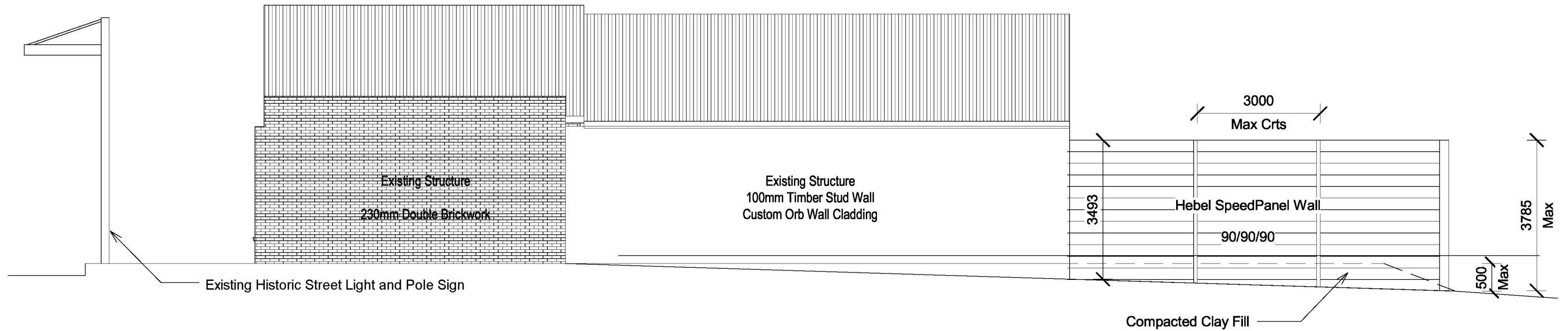


2 East Elevation
1 : 100



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1 South Elevation
1 : 100



2 West Elevation
1 : 100

1 August, 2023

ABN 57496246225

Dear [REDACTED]

PROPOSED BAKEHOUSE & CAFE FOR, CANNIBAL CREEK BAKEHOUSE, 39 MAIN STREET, GARFIELD, 3814. HERITAGE ADVICE.

I have considered the Cardinia Shire endorsed plans as prepared by MiTech Building Designs for the redevelopment of the premises at 39 Nar Nar Goon, Longwarry Road as a café for the Cannibal Creek Bakehouse and believe that it is an appropriate and sensitive redevelopment.

Nos 39 Nar Nar Goon, Longwarry Road is a Contributory building located in the Garfield Commercial Heritage Precinct (HO85) as delineated in the Cardinia Planning Scheme. The Statement of Significance for the precinct indicates why is it significant?

Historically, the Garfield commercial precinct has significance for the tangible evidence the surviving c.1920s buildings provide of the development of the Garfield area from the 1920s, which in turn was a result of more intense settlement of the farming districts around the town. (RNE criterion A.4) The character of the precinct and its location and relationship to the railway, which are indicative of its origins, also have historic and aesthetic significance as a relatively rare substantially intact township with a largely consistent 1920s character. The character of the precinct is most strongly evidenced by the large buildings such as the former ES&A Bank, the Iona Hotel and the former Garfield Picture Theatre, the sole surviving picture theatre in the shire as Pakenham's Kings Picture Theatre has been demolished. Evidence of the precinct's significance is also provided by the remaining bakery and residence and the Garfield War Memorial. (RNE criteria A.4, E.1 & F.1)

Historically, the Post Office at 33 Nar Nar Goon-Longwarry Road and the garage with garden at 37 Nar Nar Goon-Longwarry Road contribute to the significance of the precinct. The Post Office and garage provide evidence of town services developed to serve the expanded community.

The previously endorsed plans show that the existing building is to be internally converted to a café with little change to the external fabric. The addition of a new kitchen and toilet facilities at the rear of the existing building will have no visual impact on the building or have a detrimental impact on its significance or that of the precinct.

My only concern about the endorsed proposal is the use of Dulux Ebony as the external colour finish for the building. This is a near black colour and will not be a sympathetic to the prevailing colour schemes of the Garfield streetscape. I would advise the use of a more muted colour which sits comfortably with the existing brick bakery building.

Otherwise this is a commendable re-use of an existing building in the heritage precinct.

39 Main Street, Garfield VIC

Car Parking Demand Assessment

Proposed Change of Use to a Restaurant

Prepared for Luna's Garfield

REF: P25056

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Document Control

Version	Date	Prepared By
A-DRAFT	02/07/2025	A.F.
A-FINAL	03/07/2025	A.F.

1 INTRODUCTION

1.1 Preamble

AMH Traffic has been engaged by Luna's Garfield, henceforth 'the client', to prepare a car parking demand assessment report for a proposed change of use to a Restaurant at 39 Main Street, Garfield VIC.

During the preparation of this report, reference has been made to the following:

- Architectural plans prepared by Mitech Building Designs dated August 2024, and
- Cardinia Shire Planning Scheme.

This report has been prepared to address the parking implications of the proposed development.

1.2 Proposed Development

The proposed development involves a formal change in use from a Food and Drink Premises to a Restaurant.

The site currently operates as a café that operates from 7am to 3pm on weekdays and from 8am to 2:30pm on weekends.

The proposed restaurant will have an indoor dining area (197sqm), outdoor dining area (140sqm) as well as a kerbside dining area (20sqm).

The restaurant will operate from 7am to 11pm daily and accommodate a maximum of 100 patrons.

The development plans are attached in **Appendix A** for reference.

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2 BACKGROUND AND EXISTING CONDITIONS

2.1 Subject Site Location

The subject site is located along the southern side of Main Street, 45m east of Ritchie Street. The site has a frontage of approximately 20m to Main Street.

The location of the subject site and its surrounding area are depicted in **Figure 1**.



Figure 1: Subject Site (Source: Nearmap)

The subject site is zoned C1Z – Commercial as illustrated in **Figure 2**. The site is located in the main commercial hub of Garfield with a mix of dining, shopping and entertainment destinations.

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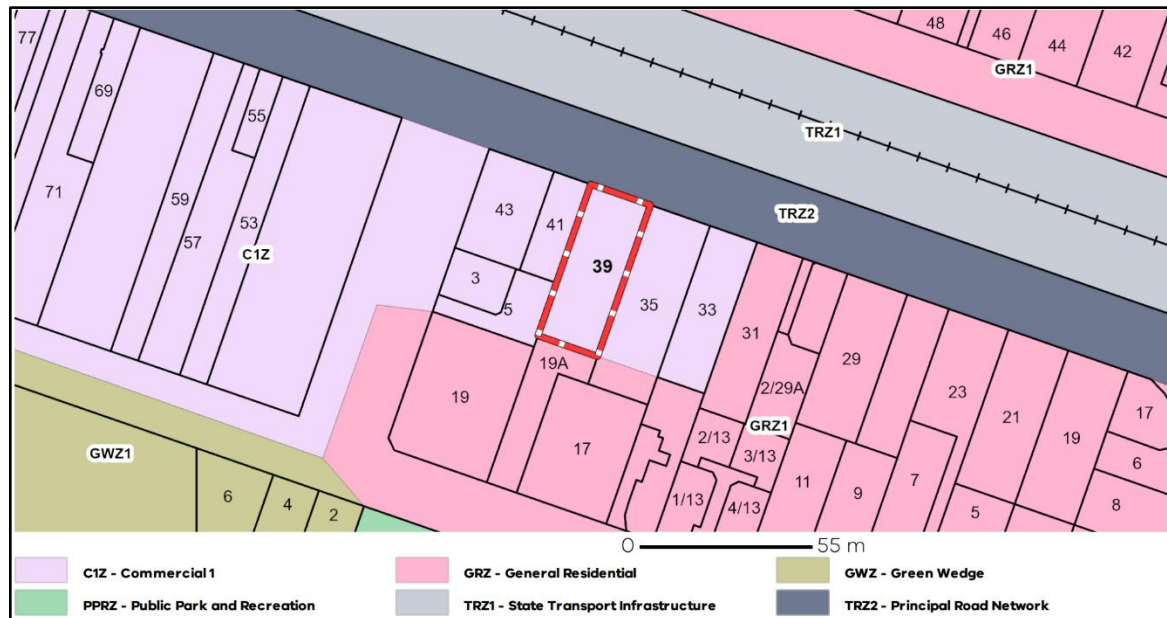


Figure 2 : Subject Site Planning Zone (Source: <https://mapshare.vic.gov.au/vicplan>)

2.2 Road Network

2.2.1 Main Street

Main Street is a state road that is managed by the Department of Transport and Planning (DTP). Main Street is generally aligned in an east-west orientation and provides one traffic lane in each direction set within an approximately 11.5m wide carriageway.

Kerbside parking is provided along both sides of the road under various restrictions.

A continuous footpath is provided along the southern side of Main Street. The footpath along the northern side is only provided between Thirteen Mile Road and Ritchie Street.

Main Street has a posted speed limit of 60 km/h.

Figure 3 show typical views of Main Street.

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Figure 3: Main Street Looking West (Source: Google Maps)

2.3 Public Transport

The subject site is located in area with access to the public transport network.

Garfield Train Station is located approximately 200m west of the subject site.

As summarised **Table 1**, there are 2 bus services and 5 train lines operating in the vicinity of the subject site.

Service Type	Service Name	Walking Distance to Closest Station/Stop
Bus	Garfield Station to Nar Nar Goon Station	200m
	Warragul Station to Pakenham station	200m
Train	Melbourne to Bairnsdale Via Sale and Traralgon	Garfield Station
	Marlo to Lake Tyers Beach to Melbourne via Bairnsdale	Garfield Station
	Sale to Melbourne via Maffra and Traralgon	Garfield Station
	Paynesville - Melbourne via Bairnsdale	Garfield Station
	Traralgon to Melbourne Via Pakenham, Moe and Morwell	Garfield Station

Table 1: Public Transport Services

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2.4 Cycling Network

There is limited cycling infrastructure in the vicinity of the site.

2.5 Parking Supply and Demand

AMH undertook a spot parking occupancy survey on Tuesday 17th June 2025 at 1pm. The survey included parking along Main Street and Ritchie Street.

The survey showed that there is a total of 130 parking spaces in the vicinity of the site. These include:

- 95 unrestricted spaces,
- 26 time-restricted spaces (2P 8:30am-4pm Mon-Fri, 9am-12:30pm Sat), and
- 9 spaces with no-stopping restrictions between 12:15pm and 3:30pm on Mondays.

During the spot parking survey, it was observed that 75 of the parking spaces were vacant.

AMH Traffic commissioned a parking occupancy survey of the same area on Friday 20th June 2025 and Saturday 21st June 2025 between 6pm and 9pm. This time period corresponds with the expected peak hours of the restaurant.

As illustrated in **Figure 4** and **Figure 5**, the minimum observed parking vacancy was 116 vacant spaces on Friday and 119 vacant spaces on Saturday.

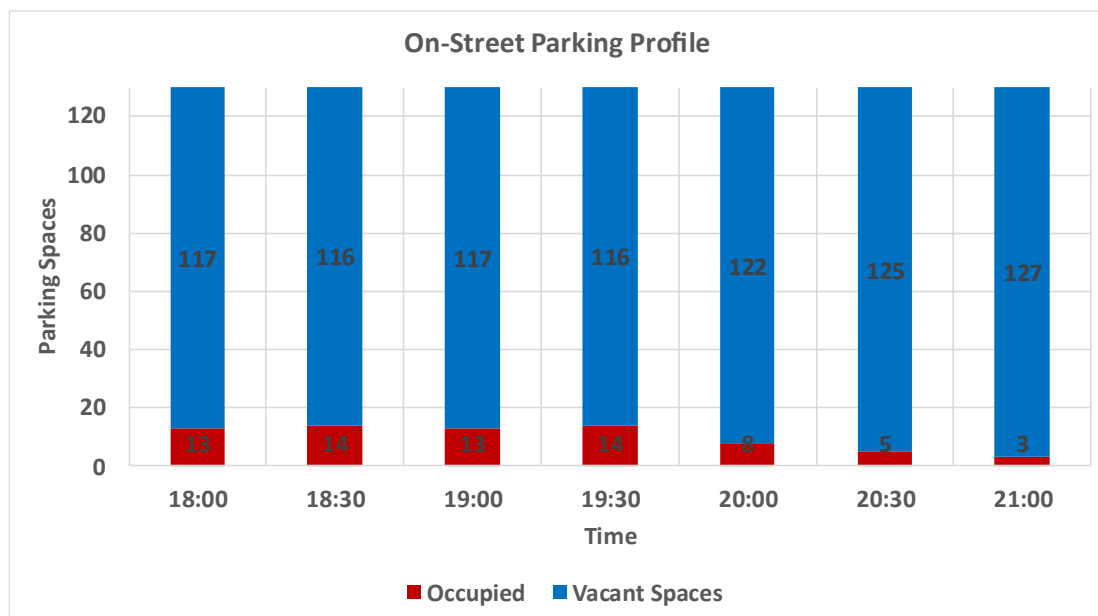


Figure 4: Friday Parking Occupancy Survey Results

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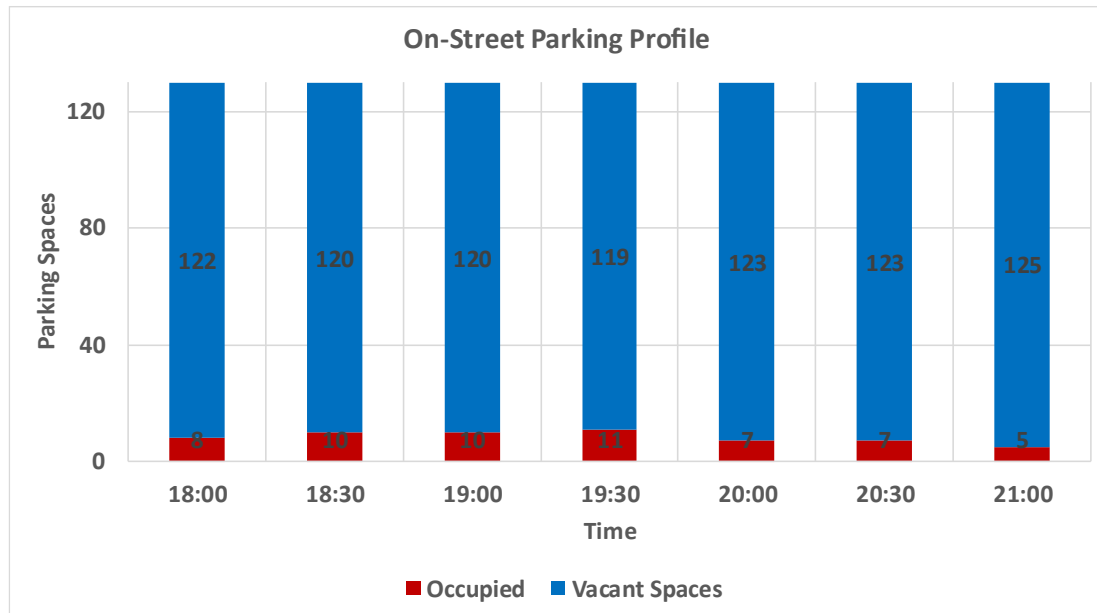


Figure 5: Saturday Parking Occupancy Survey Results

Detailed survey results can be found in **Appendix B**.

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3 PARKING ASSESSMENT

3.1 Car Parking Requirement

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Car parking requirements for a range of uses are set out under Clause 52.06 of the Planning Scheme.

Table 1 of the Planning Scheme provides parking rates for various land uses. The rates for proposed development and resultant requirements are summarised in **Table 2**.

Land Use	Parking Rate	Size	Required Spaces
Restaurant	0.4 to each patron permitted	100 patrons	40 spaces

Table 2: Planning Scheme Car Parking Requirement

The car parking requirement of the proposal is 40 parking spaces. Since no parking is available on-site, there is a parking shortfall of 40 spaces.

Accordingly, a permit to reduce the car parking requirement is sought as part of this application.

3.2 Car Parking Demand Assessment

Clause 52.06-7 states the following:

An application to reduce (including reduce to zero) the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay must be accompanied by a Car Parking Demand Assessment.

The Car Parking Demand Assessment must address several matters to the satisfaction of the responsible authority. The relevant matters have been discussed in **Table 3** below.

CRITERIA	COMMENT
<i>The likelihood of multi-purpose trips within the locality which are likely to be combined with a trip to the land in connection with the proposed use.</i>	The subject site is in a commercial strip with numerous shops. There's a high likelihood a trip to the restaurant will most likely be part of a multi-purpose trip such as someone working in the area visiting the restaurant or visitors to the Garfield Picture Theatre also visiting the restaurant in the evening.
<i>The variation of car parking demand likely to be generated by the proposed use over time.</i>	Restaurants are typically busiest on Friday and Saturday evening.
<i>The short-stay and long-stay car parking demand likely to be generated by the proposed use.</i>	Staff parking demand will be long-stay while visitor parking demand will be generally short stay.
<i>The availability of public transport in the locality of the land.</i>	As discussed in Section 2.3 , the site is in an area with access to the public transport network. There are 2 bus services and 5 train lines operating in the vicinity of the site.
<i>The convenience of pedestrian and cyclist access to the land.</i>	There's limited cycling infrastructure in the vicinity of the site.

<i>The provision of bicycle parking and end of trip facilities for cyclists in the locality of the land.</i>	No formal bicycle parking is provided on-site.
<i>The anticipated car ownership rates of likely or proposed visitors to or occupants (residents or employees) of the land.</i>	It is anticipated most staff and patrons will own a vehicle. However, most of the visitors will be arriving as groups of friends and families.
Any empirical assessment or case study.	<p>The planning scheme car parking demand is based on the peak anticipated demand for restaurants – which occurs on Fridays and Saturday evenings.</p> <p>Parking surveys for restaurants have revealed that lunchtime demand is usually in the range of 0.15-2 spaces per patrons while evening demand is in the range of 0.3-0.4 spaces per patron. Minimal parking demand was observed during all other times.</p> <p>Applying the above rates to the proposed restaurant results in a parking demand of 20 spaces during lunchtimes and 40 spaces on Friday and Saturday evenings.</p>

Table 3: Car Parking Demand Assessment

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3.3 Adequacy of Parking

Clause 52.06-7 states that before granting a permit to reduce the number of spaces, the responsible authority must consider several factors, with the relevant ones discussed in **Table 4** below.

CRITERIA	RESPONSE
<i>The Car Parking Demand Assessment.</i>	The car parking demand assessment indicates a likely peak parking demand of 20 spaces during lunchtimes and 40 spaces on Friday and Saturday evenings.
<i>The availability of alternative car parking in the locality of the land, including:</i> <ul style="list-style-type: none"> • <i>Efficiencies gained from the consolidation of shared car parking spaces.</i> • <i>Public car parks intended to serve the land.</i> • <i>On street parking in non residential zones.</i> • <i>Streets in residential zones specifically managed for non-residential parking.</i> 	<p>As discussed in Section 2.5, a spot parking occupancy survey undertaken on Tuesday 17th June 2025 has shown there are 130 publicly available parking spaces within a reasonable walking distance of the site. During the spot survey, it was observed that 97 of the parking spaces were vacant</p> <p>AMH commissioned parking occupancy surveys that were undertaken on Friday 20th June and Saturday 21st June between 6pm and 9pm. During the survey period, the minimum observed parking vacancy was 116 vacant spaces on Friday and 119 vacant spaces On Saturday.</p>
<i>Any car parking deficiency associated with the existing use of the land.</i>	The site currently operates as a food and drink premises (Luna's Garfield), which requires 12 parking spaces to be provided on-site.

	Although there is no formal parking reduction as part of the existing permit, there is a practical parking deficiency associated with the site.
<i>Access to or provision of alternative transport modes to and from the land.</i>	Public transport services are available in the vicinity of the site.

Table 4: Adequacy of Parking Supply

Based on the car parking demand assessment and considerations discussed above, the expected parking demand of the restaurant will be accommodated on-street in the vicinity of the site.

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4 CONCLUSIONS

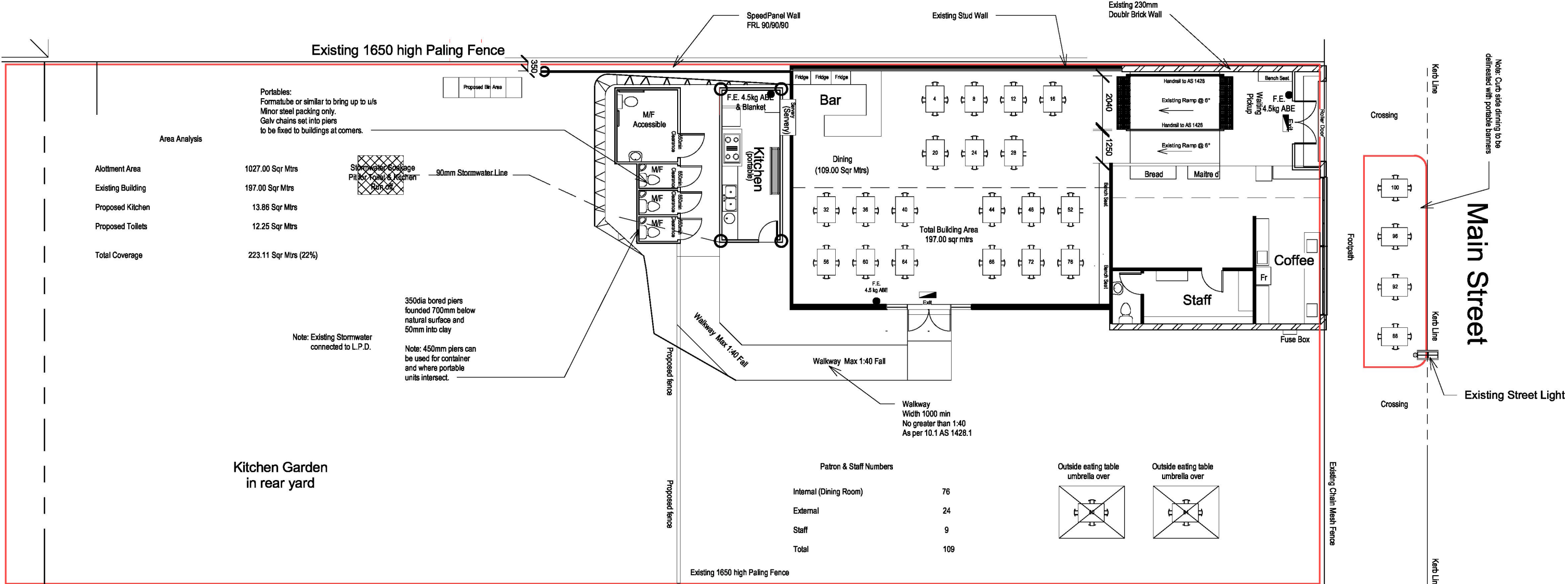
The assessment of the parking and traffic implications of the proposed development has concluded that:

- The proposal has a statutory car parking requirement of 40 spaces. Since no on-site parking is provided, there is a parking shortfall of 40 spaces
- The car parking demand assessment showed the expected peak parking demand is 20 spaces during lunchtime peak and 40 spaces during Friday and Saturday evenings. It is expected that a good portion of the parking demand is part of multipurpose trips.
- The results of the parking surveys indicates that there are ample available on-street parking spaces to accommodate the development's car parking deficiency.

In conclusion, this study showed that the expected parking demand of the proposed restaurant can be comfortably accommodated on-street without adversely impacting the surrounding area. Therefore, there is no reason to oppose to the proposal on parking grounds.

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SURVEY RESULTS – FRIDAY 20TH JUNE 2025

Parking Occupancy Survey

Date:	Friday, 20 June 2025
Location:	39 Main St, Garfield
GPS:	-38.092335, 145.677592
Weather:	Fine
Customer:	AMH

Public Parking (1/0)	Map Ref	Street	Section	Side	Restriction	Clear Way	Capacity	Parking Occupancy						
								18:00	18:30	19:00	19:30	20:00	20:30	21:00
1		Main St	Unit 81 to Ritchie St	N	2P 8:30am-4pm Mon-Fri, 9am-12:30pm Sat		9	6	6	5	5	3	1	1
1					Unrestricted		7	1	1	1	1	1	1	0
1				S	Unrestricted	No Stopping 8am-9am, 3pm-4pm School Days	1	0	0	0	0	0	0	0
1					2P 8:30am-4pm Mon-Fri, 9am-12:30pm Sat		17	4	6	6	7	3	2	1
1			Ritchie St to Fourteen Mile Rd	N	Unrestricted		33	0	0	0	0	0	0	0
1				S	Unrestricted		23	1	1	1	1	1	1	1
1		Ritchie St	Main St to Beswick St	W	P Disabled Only		1	0	0	0	0	0	0	0
1					Unrestricted		9	1	0	0	0	0	0	0
1					No Stopping 12:15pm-3:30pm Mon Mobile Library Excepted		9	0	0	0	0	0	0	0
1					Unrestricted		8	0	0	0	0	0	0	0
1				E	Unrestricted		13	0	0	0	0	0	0	0
PUBLIC CAPACITY								130	130	130	130	130	130	130
PUBLIC OCCUPANCIES								13	14	13	14	8	5	3
PUBLIC VACANCIES								117	116	117	116	122	125	127
PUBLIC % OCCUPANCIES								10%	11%	10%	11%	6%	4%	2%

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SURVEY RESULTS – SATURDAY 21ST JUNE 2025

Parking Occupancy Survey

Date:	Saturday, 21 June 2025
Location:	39 Main St, Garfield
GPS:	-38.092335, 145.677592
Weather:	Fine
Customer:	AMH

Public Parking (1/0)	Map Ref	Street	Section	Side	Restriction	Clear Way	Capacity	Parking Occupancy						
								18:00	18:30	19:00	19:30	20:00	20:30	21:00
1		Main St	Unit 81 to Ritchie St	N	2P 8:30am-4pm Mon-Fri, 9am-12:30pm Sat		9	1	3	3	5	5	4	5
1					Unrestricted		7	1	1	1	0	0	0	0
1				S	Unrestricted	No Stopping 8am-9am, 3pm-4pm School Days	1	0	0	0	0	0	0	0
1					2P 8:30am-4pm Mon-Fri, 9am-12:30pm Sat		17	6	6	6	6	2	2	0
1			Ritchie St to Fourteen Mile Rd	N	Unrestricted		33	0	0	0	0	0	0	0
1				S	Unrestricted		23	0	0	0	0	0	1	0
1		Ritchie St	Main St to Beswick St	W	P Disabled Only		1	0	0	0	0	0	0	0
1					Unrestricted		9	0	0	0	0	0	0	0
1					No Stopping 12:15pm-3:30pm Mon Mobile Library Excepted		9	0	0	0	0	0	0	0
1					Unrestricted		8	0	0	0	0	0	0	0
1				E	Unrestricted		13	0	0	0	0	0	0	0
PUBLIC CAPACITY								130	130	130	130	130	130	130
PUBLIC OCCUPANCIES								8	10	10	11	7	7	5
PUBLIC VACANCIES								122	120	120	119	123	123	125
PUBLIC % OCCUPANCIES								6%	8%	8%	8%	5%	5%	4%

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Town Planning Report for Luna's Garfield

Prepared by Dana Shine *BUrb&RegPlan(Hons)*

The Subject Site:

The subject site is commonly known as 39 Main Street, Garfield, VIC, 3814 and its legal land description is Lot 1 on Plan of Subdivision 747015V. The site has a total area of 1,027sqm with a 20.12m frontage to Main Street. The site is developed with a historic mechanics in the northwest corner of the site with the remainder of the site undeveloped with lawn and minimal vegetation, the site is used for Luna's Garfield as a food and drink premises. The site is relatively flat with a slope from north to south. There are no car parking spaces provided onsite.



Figure 1: Aerial of 39 Main Street, Garfield, Source: NearMap

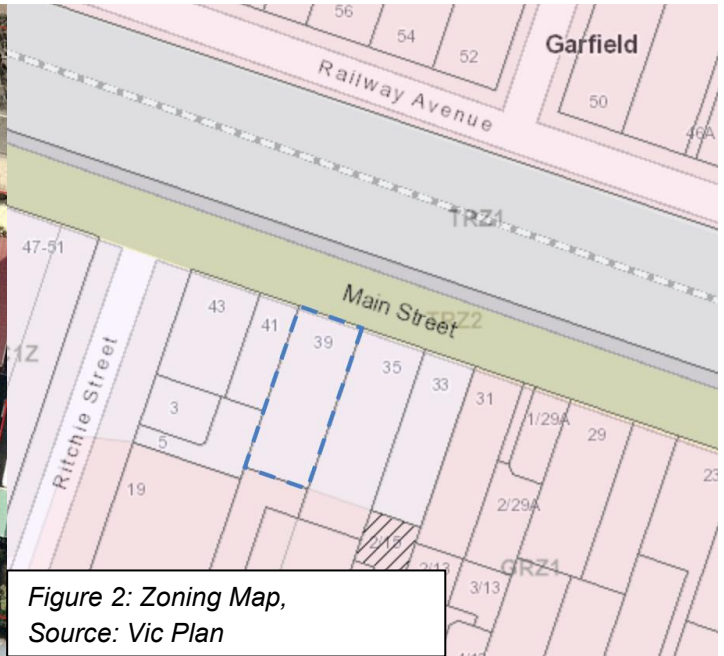


Figure 2: Zoning Map, Source: Vic Plan

The site is zoned Commercial 1 Zone (C1Z) and is affected by the Heritage Overlay (HO85), see figure 2 above. The site and surrounds are described as follows:

- North of the site is Main Street, Garfield which is zoned Transport Road Zone 2 (TRZ2) and is within the ownership of Department of Transport and Planning.
- East of the site is 35 Nar Nar Goon-Longwarry Road, Garfield which is zoned Commercial 1 Zone (C1Z) predominately with a small portion to the south zoned General Residential Zone (GRZ1), the site is affected by the Heritage

Overlay (HO85) and is developed with a single dwelling and ancillary outbuildings.

- South of the site is 19A Beswick Street, Garfield which is zoned General Residential Zone (GRZ1) and is affected by the Heritage Overlay (HO85) and is developed with a single storey dwelling and ancillary outbuildings.
- West of the site is:
 - o 41- 43 Nar Nar Goon-Longwarry Road, Garfield which is zoned Commercial 1 Zone (C1Z) and is affected by the Heritage Overlay (HO86), the site is developed with the historic J. & M. E. Lowndes Bakery & Residence.
 - o 5 Ritchie Street, Garfield which is zoned Commercial 1 Zone (C1Z) and is not affected by any overlays, the site is developed with a single dwelling accessed via a battle-axe driveway.

Background:

The site is currently used as a food and drink premises (Luna's Cafe) and has been operating under a COVID exemption, which has since expired. The application before Council is to formalise planning approval for the previous exempted works and seek further approval which will be discussed in the 'the proposal' section of this report.

During the COVID exemption the following works were undertaken:

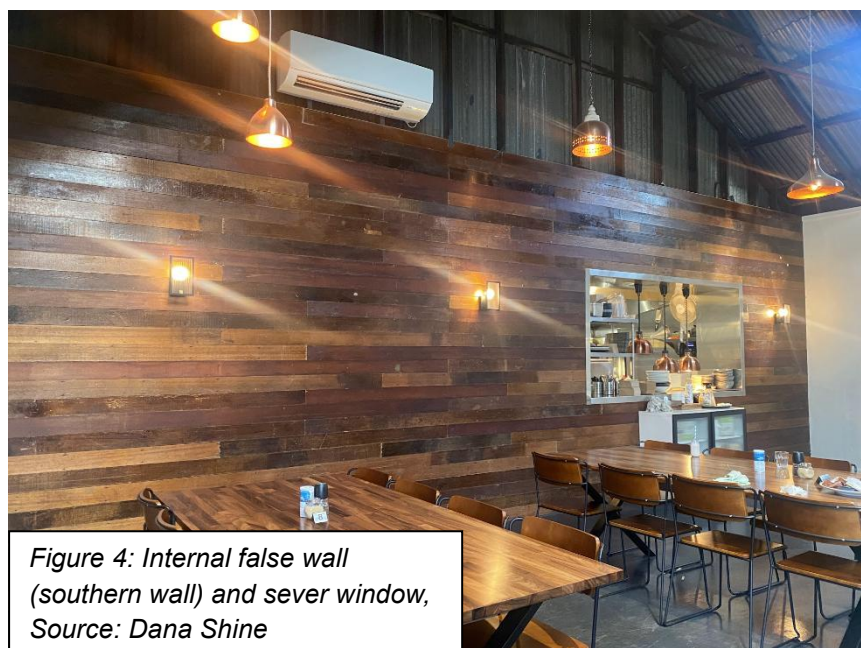
- Internal fit out with painting, furniture and lighting.
- Fireproofing western internal wall adjoining bakery.
- Addition of kitchen (see figure 3 below) with server access plus the installation of a false wall. The heritage fabric of the building remains intact, but this false wall allowed for the server window to be added without damage to the building itself and the addition of internal cladding for décor (see figure 4 below).
- Addition of four bathrooms (see figure 3 below).
- Fit out of the coffee making and serving area with counter for payments/taking orders.
- Installation of double doors along the eastern elevation to provide access to outdoor courtyard and bathrooms. This replaced a single PA door along this

elevation (see figure 5 below).

- Installation of glazing and single pedestrian door access to northern elevation (in space of roller door) to protect the inside from weather. Roller door remains intact and functions as normal (see figure 6 below).
- Outdoor dining to the east of the building (see figure 7 below).



*Figure 3: Kitchen and bathroom installation (facing west),
Source: Dana Shine*



*Figure 4: Internal false wall (southern wall) and sever window,
Source: Dana Shine*



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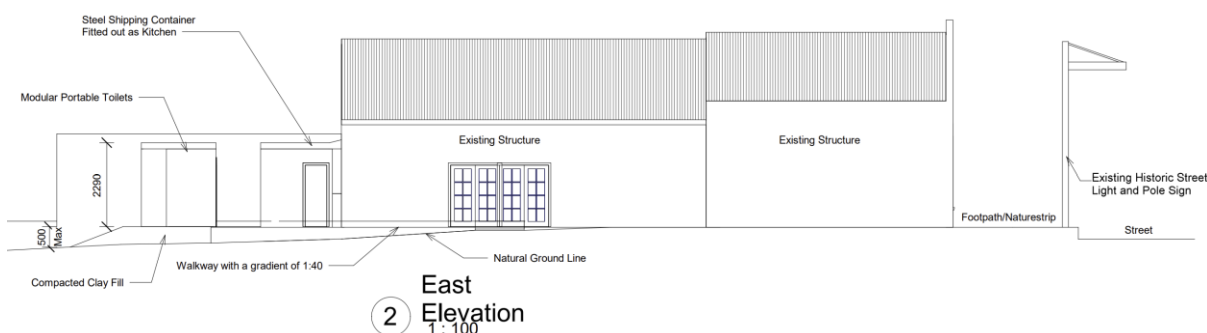
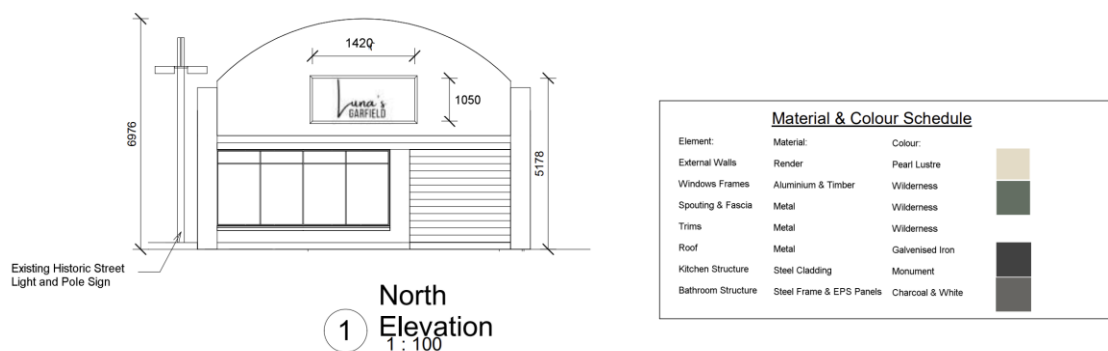
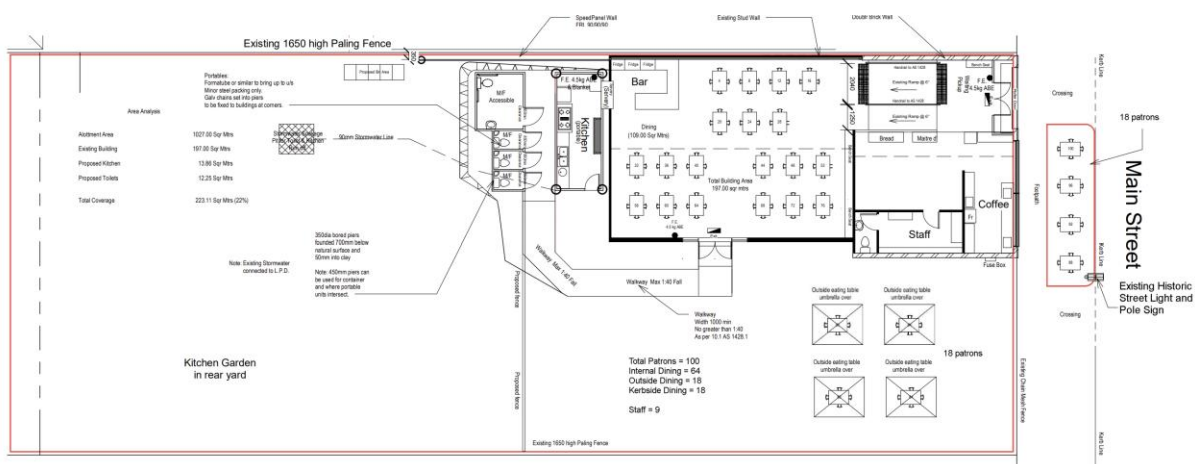


As most of the works were undertaken during the COVID exemption period the cost of works as identified on the application form is relatively small as it only encompasses the works to be undertaken post approval as described below.

The Proposal:

Luna's Garfield is seeking planning approval for the following:

- Retrospective buildings and works which includes the internal fit out, fireproofing, replacement double PA doors along eastern elevation, new single PA door/glazing along northern elevation, toilet facilities, kitchen facilities and outdoor seating located to the east of the existing building (these works were undertaken under COVID exemptions, see background section of report for further clarification).
- Outdoor dining located within the road reserve to the north of the existing building and internal bar area for storage of drinks and alcohol. To use the land as a licensed premises does not form part of this application as from July 1st Planning Scheme Amendment VC286 takes effect removing the requirement for a planning permit for liquor.
- Display of illuminated business identification signage proposed to be located on the northern elevation of the building.
- Reduction of car parking to zero.



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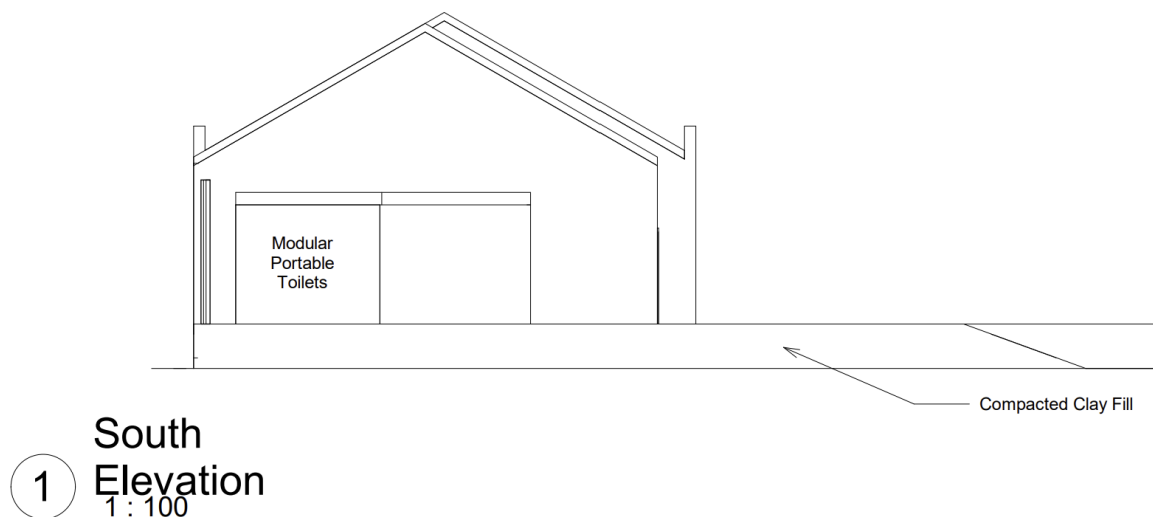


Figure 11: Southern Elevation, Site Plan, Source: Mitech Building Designs

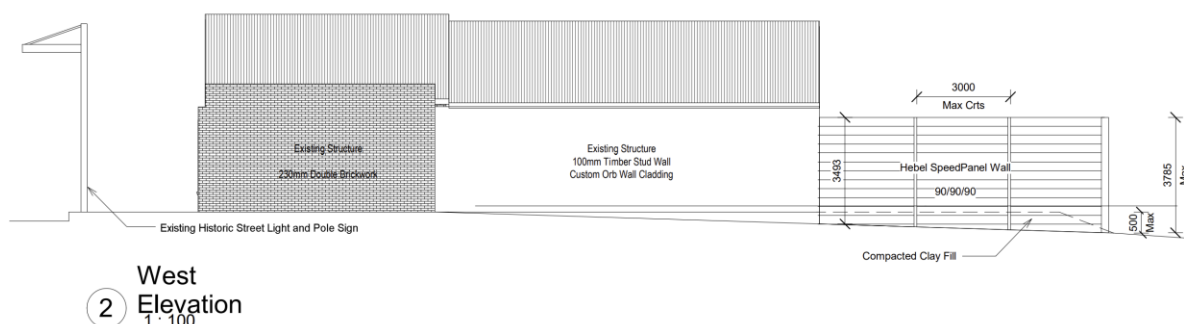


Figure 12: Western Elevation, Site Plan, Source: Mitech Building Designs

Key Details:

- The total capacity is for 100 patrons broken down as follows:
 - o Internal capacity currently caters for 64 patrons.
 - o External outdoor capacity is proposed for 36 patrons (18 patrons proposed in the road reserve section and 18 patrons currently in the outdoor dining to the east of the building within the subject site).
- Operating hours are Monday – Sunday, 7am – 11pm encompassing breakfast, lunch and dinner service.

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- Waste management is via Council collection; bin storage is shown on proposed plans south of the proposed toilet location and will be wheeled through the side gate to the site frontage for weekly collection from Cardinia Council, collection for the site is on a Monday.
- The proposed sign is as follows:

Sign No.	Size	Advertising Area	Illuminated?	Location	Colour
1 (see figure X below).	1.42m x 1.05m	1.491sqm	Yes, backlit during operating hours only.	Northern elevation approximately 4.1m above the FFL of the building, in the same location as previous signage for the mechanics.	White background with black text (see figure 13 below).



- No vegetation is required to be removed, and no earthworks are required to be undertaken. See figure 14, as you can see the works for the kitchen and toilets occurred in a vacant portion of the subject site.



Figure 14: Aerial from January 8 2023, Source: NearMaps

Planning Assessment:

Permit Triggers

Trigger	Desired Permission
Clause 34.01-4	Buildings and Works
Clause 43.01-1	Buildings and Works
Clause 43.01-1	Display of Advertising Signage
Clause 52.05-11	Display of Advertising Signage (Internally Illuminated Sign)
Clause 52.06-3	Reduction in Car Parking

Planning Policy Framework

- Clause 11.03-6S - Regional and Local Places

This clause seeks to ensure the proposal and decision maker ‘*considers the distinctive characteristics and needs of regional and local places in planning for future land use and development*’.

The application responds positively to this clause at the works viewed from the streetscape in minimal with the display of one business identification sign which is in sympathetic colours to respond to the heritage overlay. The proposed bathrooms and

kitchens are located to the rear of the building and cannot be seen from the streetscape therefore, not impacting the distinctive character of Main Street, Garfield.

- Clause 15.03-1S - Heritage Conservation

This clause seeks to ensure the proposal and decision maker '*ensures the conservation of places of heritage significance*', through a variety of strategies.

The application responds positively to the relevant strategies as it is an adaptive reuse of a heritage building which was a mechanics which is no longer operational. The site sat vacant for a long time and this reuse allows for the ongoing conservation of the site rather than falling into disrepair. Given the proposed development and use of the site, the heritage fabric as seen from the streetscape remains intact and continues to contribute to the precinct.

- Clause 17.01-1S - Diversified Economy

This clause seeks to ensure the proposal and decision maker '*to strengthen and diversify the economy*', through a variety of strategies.

The application responds positively to the relevant strategies by creating jobs closer to where the locals of Garfield live and in addition, supports the small rural town of Garfield experience economy growth and diversify. Garfield has experienced the closure of many businesses since the COVID period, so the addition of a viable business in the centre of town provides a location for locals to enjoy but also visitors on the journey through Gippsland. This includes visitors attending local places of interest like Gumbuya World or Mt Cannibal.

- Clause 17.02-1S - Business

This clause seeks to ensure the proposal and decision maker '*to encourage development that meets the community's needs for retail, entertainment, office and other commercial services*', through a variety of strategies.

The application responds positively to the relevant strategies as the subject site is within the existing C1Z precinct and provides a positive use to a previously unused site. It provides an active frontage by having seating outside and large windows along the northern elevation. It provides an opportunity to meets the needs of the local residents of Garfield and provides local employment opportunities.

Local Planning Policy Framework

- Clause 21.03-4 - Rural Townships

This clause identifies Garfield as a 'Large Rural Township' and seeks to address five key issues ensuring township character is retained and enhanced, maintaining township boundaries, understanding the growth capacity of the township, ensure design responds to township character and provide for art and cultural facilities, through a variety of objective and strategies.

The application responds positively to the objectives and strategies outlined in the clause, as per the assessment below:

Objective 1 'To provide for the sustainable development of townships in the municipality having regard to environmental and servicing constraints.'

The proposed works respond to the objective and strategy by providing bathrooms onsite that connect to the existing sewer system. The bathroom and kitchen buildings have appropriate stormwater management (gutters with downpipes) which has been connected into the legal point of discharge (LPOD).

Objective 2 'To maintain and enhance the distinct character and environmental qualities of each of the townships.'

The proposed works do not detract the from the streetscape character of the township as the bathroom and kitchen works are located to the rear of the building and are not visible from the public realm. The proposed signage along the frontage is minimal and is to be located in the previous location of signage that appeared on the building (can be seen from faint paint marking of letters on the façade). No vegetation is required to be removed, therefore not impacting on the green landscape of Garfield.

Objective 3 'To create sustainable and functional townships that support a range of commercial, retail, community and recreational facilities and services.'

The application positively responds to this objective by providing a commercial entity in the centre of the township for local residents and visitors.

- Clause 22.09 – Signs

This clause seeks to ensure the proposal and decision maker *'to facilitate signs that allow for the reasonable identification and marketing of businesses in Cardinia while enhancing the character of a building, site and area, through a variety of strategies.*

Clause 22.09-1 outlines general strategies that are relevant for the proposal and a full assessment is provided in the below table.

General Strategies	Assessment
Enable signs that identify the business and service provided on the site and avoid signs that promote other businesses or details of product/s sold.	The proposed sign is an internally illuminated business identification sign, therefore satisfying this strategy.
Maximise the effectiveness of signs and sensitively respond to the character of the building, site and area by minimising and consolidating signage to avoid visual clutter.	The proposed sign satisfies this strategy as only one sign is proposed therefore, avoiding visual clutter along the northern elevation of the building and is proposed to be located in the previous location of the signage for the mechanics, therefore, remaining sympathetic to the structure.
Ensure that signs are not located on the road or rail reserve.	The proposed sign is located along the northern elevation of the building, therefore, satisfying this strategy.
Design signs to integrate with heritage buildings or objects to ensure the building's and architectural features and detailing are not obscured.	The proposed sign satisfies this strategy as the proposed sign is located in the previous location of signage along the northern elevation of the mechanics building. The front façade remains untouched, and the architectural features remain intact and not obscured.
Design signs to complement the architectural design, form and scale of the host building or land and avoid signs that: <ul style="list-style-type: none"> • Obscure a building's architectural form, features or glazed surfaces. • Protrude above rooflines or parapets, or beyond the edges of fascia or walls of the host building. 	<p>The proposed sign is minimal in design consisting of a white background and black text with the company name and the sign is internally illuminated.</p> <p>The proposed sign does not impact the architectural form of the building, does not protrude above the roofline or parapets.</p> <p>Therefore, the proposed sign satisfies this strategy.</p>
Use materials and lighting to achieve energy efficiency.	The proposed sign is of typical signage materials and the

	illumination will be achieved by utilising the sites existing power supply.
Conceal electrical services to a sign.	The proposed sign is internally illuminated and the connections to the power will be obscured from public view therefore, satisfying this strategy.
Design and locate signs in a manner that accounts for the long-term maintenance needs and the ease of changing messages.	The proposed sign is located along the frontage of the site which allows for ongoing maintenance from Luna's staff therefore, satisfying this requirement.
Provide adequate space for all occupancies to display signage where a building or site is occupied by more than one business.	N/A
Ensure signs do not compromise the structural integrity and safety of the host building/structure.	The proposed sign is to be fixed to the northern elevation of the building, there will be no impact to the structure or safety of the building, therefore, satisfying this strategy.
Design signs to be clearly legible in order to support safe pedestrian, cyclist and road movements, using: <ul style="list-style-type: none"> • Concise content. • Materials and colours that have sufficient contrast between the text and background. • Letters/symbols that are readable both during the day as well as the night. • Measures to eliminate glare. 	The proposed sign as seen in Figure 13 above, uses clear text making it legible, utilises materials and colours that have great contrast and does not promote glare, therefore, satisfying this strategy.
Ensure signs do not impair the effectiveness of surrounding security and emergency signs.	The proposed sign is white and black and located above the glazing of the building, therefore, is highly unlikely to be mistaken for an emergency or traffic sign, therefore, satisfying this strategy.
Ensure signs do not affect road or rail safety through glare and reflection or the obscuring of sightlines.	The proposed sign as seen in Figure 13, is located above the glazing of the building and does not extend off the elevation, therefore, it can be considered that

	it will not impact sightlines, satisfying this strategy.
Discourage internally illuminated, floodlit, animated, electronic and reflective signs on sites or in locations where they will impact upon residential amenity.	The proposed sign contains internal illumination during business hours of 7am – 11pm. The subject site is located in the C1Z and the neighbouring sites to the east and west are also zoned C1Z. The sign is proposed along the northern elevation facing directly to a TRZ2 road and the rail reserve. Therefore, it can be argued that the proposed sign will not impact on the amenity of any surrounding residential amenity and therefore, satisfies this strategy.
Design signs to be compatible with and complement the character of existing signs in the streetscape and surrounding area.	The proposed sign as seen in Figure 13, in minimal in design, therefore, will not overwhelm or detract from the architectural style of the building. Therefore, satisfying the strategy.
Design signs to enhance major entrances and gateways to the municipality.	N/A
Encourage innovative signs that enrich the pedestrian visual experience.	The proposed sign as seen in Figure 13, in minimal in design and clear, therefore, will enable safe pedestrian movements and will not overwhelm the visual experience of the streetscape. Therefore, satisfying the strategy.
Protect areas of environmental and natural significance by limiting signage within, adjoining or facing these areas.	The proposed sign abuts the TRZ2 and the rail reserve which contains extensive vegetation. Given one sign is proposed, it can be argued that this strategy is satisfied.

Policy Guidelines:

Clause 22.09-1 requires for the following policy guidelines to be considered as relevant.

Locating signs at a safe clearance above the footpath (a minimum of 2700mm from ground level) and are set back at least 750mm from the kerb line if the signs are located on street fronting development and protrude from the property boundary.

The proposed sign is located above the typical verandah height and is to be fixed flush along the northern elevation as seen in Figure 13.

Providing for direction signs that are:

- *Limited to one per road entry point.*
- *Less than 0.3 square metres in size.*

N/A, the proposal does not include any directional signage.

Clause 22.09-2 outlines strategies for sites located within the commercial zones, which are relevant for the proposal and a full assessment is provided in the below table.

Commercial Strategies	Assessment
Signs located in commercial (shop and office) areas should stimulate interest in the business or service provided on the site and enhance the vitality and visual amenity of the commercial area.	The proposed sign will clearly identify the business (Luna's) and therefore, will contribute to stimulating interest in the business. Therefore, satisfying this strategy.
Design signs on freestanding land used for commercial purposes, including service station, retail premises, freeway service centre, office (medical centre) and veterinary centre land uses to be incorporated into the building form and contribute to good urban design outcomes.	The proposed sign encompasses the company logo in contrasting colours which does not detract from the building façade. Therefore, satisfying this strategy.
Avoid views from windows being obscured to maintain passive surveillance of pedestrian activity areas, car parking areas and streets.	The proposed sign is to be located above the 'verandah' line and does not obscure any on the glazing along the northern elevation. Therefore, satisfying this strategy.

Policy Guidelines:

Clause 22.09-2 requires for the following policy guidelines to be considered as relevant.

Limiting signs painted in corporate colours on the exterior of a building with a direct frontage to a road or car parking area to the front façade.

The proposed sign contains the company logo only, which is not offensive in style given its colour scheme being white with black text.

Avoiding above verandah signs, sky signs, high wall signs and bunting signs.

The proposed sign is located above the typical verandah height, however, it is argued that this is appropriate given the above strategies seek to ensure that glazing is not obscured along the frontage which is achieved by the proposed location of the sign. In addition, the proposed location is consistent with the previous sign on the building. This can be seen by faint letter marks on the façade onsite.

Limiting signs to no more than 50% of the wall area above a verandah, or if no verandah 30% of the total front facade wall.

The proposed sign is 1.491sqm in advertising area, therefore, is minimal in relation to the front façade wall.

Limiting signs to no more than 75% of an awning fascia.

N/A, there is no awning fascia.

Limiting business identification signs to signs that are:

- *Consistent in size and form, where there is more than one sign.*
- *Located on the awning fascia, verandah fascia or parapet.*

Only one sign proposed, therefore is considered that this policy item is satisfied.

Providing for pole and free-standing panel signs that are:

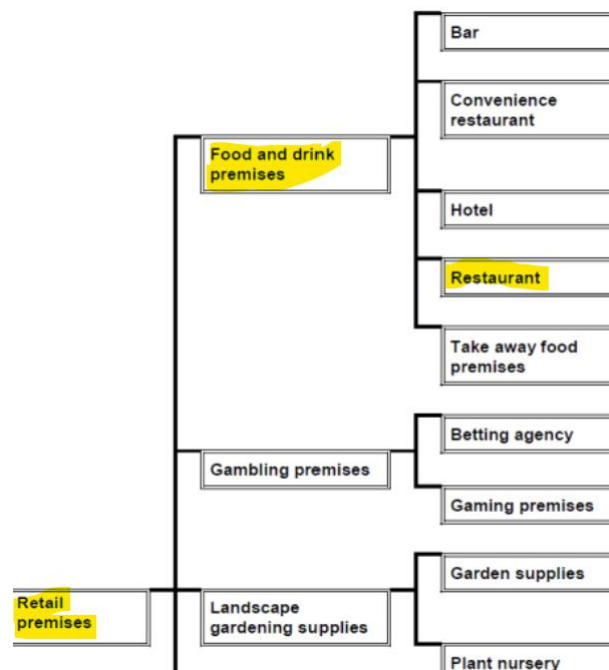
- *Limited to one sign per road frontage.*
- *Less than seven (7) metres in height.*
- *Incorporated into the landscaping treatment.*

N/A as no pole sign is proposed.

Zones

- Clause 34.01 - Commercial 1 Zone

Pursuant to Clause 34.01-1, a planning permit is not required for use of the land as a food and drink premises for a café and restaurant. A retail premises is a Section 1 use in the table pursuant to the C1Z with no conditions. Pursuant to Clause 73.04-11, food and drink premises and restaurant are nested under 'retail'.



Pursuant to Clause 34.01-4, a planning permit is required for Buildings and Works as described above in the proposal section of this report.

The proposal addresses the purposes of the C1Z *'To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses'* as the proposal is seeking to provide a café and restaurant facility along the Main Street of Garfield, which contributes to the vibrancy of the township along with

bringing in economic growth in a small township. The works are internal and minimal to the rear of the building therefore, will not impact negatively on adjoining sites given the generous setbacks to the property boundaries. The works will not impact on the pedestrian movements along the site frontage and waste will be stored to the rear of the building out of the view from the public realm.

Pursuant to Clause 34.01-9, signage in this zone falls within "Category 1", signage will be further assessed below under Clause 52.05 – Signs.

Overlays

- Clause 43.01 - Heritage Overlay

Pursuant to Clause 43.01-1, a planning permit is required for Buildings and Works and the Display of Advertising Signage as described above in the proposal section of this report.

The proposal addresses the purposes of the HO 'to implement the Municipal Planning Strategy and the Planning Policy Framework, to conserve and enhance heritage places of natural or cultural significance, to conserve and enhance those elements which contribute to the significance of heritage places, to ensure that development does not adversely affect the significance of heritage places, to conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place'.

The proposal is an adaptive reuse of a building within a heritage building which would likely have fallen into disrepair if Luna's had not taken on the premises. It was previously used as a storage and was not open to the public. By having a local business within the premises, it allows for the ongoing maintenance and preservation of the heritage building. The proposed works are internal, with minimal changes to the north and eastern elevations (with doors) and the addition of a kitchen and bathrooms to the rear which are not visible from the streetscape. Therefore, will not impact on the view of the 1920's character of the Garfield Commercial precinct which is protected under the HO85. The reuse of the building allows the community to see both the interior and exterior of an intact 1920's building which demonstrates part of Garfield heritage and story.

HO85 is over the Garfield Commercial precinct and retains a character that reflects the 1920s boom era. The subject site was previously the Garfield Automotive and Charity Shop and is identified as a 'contributory' building as seen in the map below from the Cardinia Local Heritage Study Review, Volume 3, Heritage Places and Precinct Citations 2020.



The application is supported by a letter from Ray Tonkin who provides expert heritage advice on the proposal and provides support of the application when assessed against the significance of the precinct.

Particular Provisions

- Clause 52.05 – Signs

Pursuant to Clause 52.05-11, a planning permit is required to display an Advertising Signage which is internally illuminated as described above in the proposal section of this report.

The subject site falls within "Category 1" for signage purposes as stipulated in the Commercial 1 Zone. The proposed sign is an internally illuminated sign (backlit) and does not meet the condition requirements set out in Section 1 under Category 1,

therefore, triggers a planning permit as the proposed sign is located greater than 3.7m above the pavement level.

The proposed sign satisfactorily addresses the decision guidelines of Clause 52.05 in the following ways:

- Designed to be minimal with a maximum advertising area of 1.491sqm, therefore, does not detract from the heritage values of the Garfield Commercial precinct and is compatible with the character of the area.
- The building is a standalone site, and the proposed sign will not contribute to a negative visual clutter or disorder in the area. Only one sign is proposed and is to be located flush against the northern elevation, therefore, not protruding into the public realm. This will ensure there is no impact to sightlines or views/vistas, or views to other signage along Main Street of Garfield.
- The sign is to be internally illuminated (backlit) during the operation hours (7am – 11pm), given its location it is highly unlikely to cause negative impacts to pedestrians or vehicles but further enhance the accessibility to the site for patrons. The proposed sign is located on the northern elevation which abuts a TRZ2 and the railway corridor, therefore, there is no direct views to surrounding residential properties.
- The colour, location and sign content cannot be misconstrued or mistaken to be an emergency, traffic or directional sign.
- Clause 52.06 - Car Parking

Pursuant to Clause 52.06-3, a planning permit is required to reduce the car parking provision to zero as described above in the proposal section of this report.

Car Parking Requirements of Clause 52.06 is provided in the following table:

Land Use	Rate	Proposed Patrons	Required Spaces	Spaces Provided
Restaurant	0.4 spaces per patron	100 patrons	40 spaces	0 spaces

Therefore, the application is seeking a reduction of car parking to zero given the subject site does not have any car parking provided. A Traffic Demand Assessment

was undertaken by AHM Traffic and is submitted as a supporting document to this application.

The report correctly summarises that the subject site is located approximately 200m from the nearest bus stop and approximately 300m from Garfield Station. The cycling network within Garfield is minimal and is limited to the existing road, there are no dedicated bike lanes or paths. AHM undertook a spot parking survey on the 17th June 2025 and found there was 130 spaces within the vicinity of the subject site, with 95 of these being unrestricted. AHM commissioned a parking occupancy survey to be undertaken on Friday 20th June 2025 and Saturday 21st June 2025 to demonstrate the availability on the two busiest days of the week for the township. The results demonstrate that there was a vacancy of 116 spaces on Friday and 119 on Saturday.

The supported Traffic Demand Assessment prepared by AHM Traffic provides a full response to the requirements of Clause 52.06-7 as required by the Cardinia Planning Scheme.

The report found that there is a likely peak parking demand of 20 spaces during lunchtimes and 40 spaces on Friday and Saturday evenings. The report further states that the shortfall (reduction) of 40 spaces can be supported given the likely peak rates stated above and the surrounding network's ability to accommodate the parking.

Conclusion

The above assessment against the planning scheme along with supplementary documents provided to support both the heritage and traffic impacts of the site demonstrate high levels of compliance with the Cardinia Planning Scheme and therefore, warrant an approval of the planning application.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 11981 FOLIO 833

Security no : 124125145127R
Produced 06/06/2025 03:44 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 747015V.

PARENT TITLES :

Volume 05557 Folio 216 Volume 08874 Folio 918

Created by instrument PS747015V 17/05/2018

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS747015V FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL


-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 39 MAIN STREET GARFIELD VIC 3814

DOCUMENT END

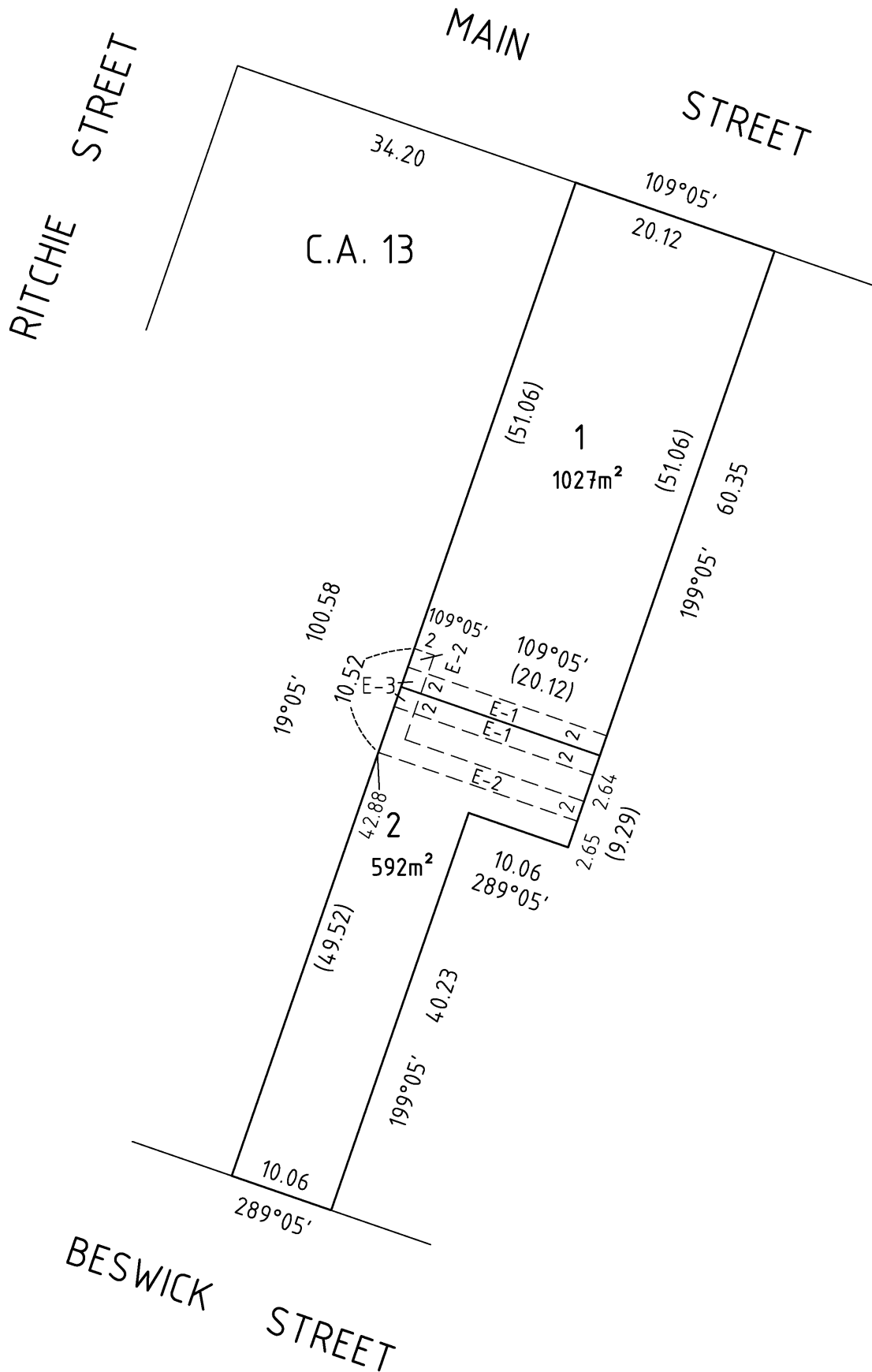
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PLAN OF SUBDIVISION			EDITION 1	PS 747015 V	
LOCATION OF LAND PARISH: Bunyip TOWNSHIP: Garfield SECTION: --- CROWN ALLOTMENT: 14 (Part) CROWN PORTION: --- TITLE REFERENCES: Vol. 5557 Fol. 216 & Vol. 8874 Fol. 918 LAST PLAN REFERENCES: Lot 1 on TP 395919 T & Lot 1 on TP 552662 H POSTAL ADDRESS: 37-39 Nar Nar Goon - Longwarry Road, (at time of subdivision) GARFIELD 3814 MGA CO-ORDINATES: E: 384 030 ZONE: 55 (of approx centre of land GDA 94 in plan) N: 5 783 050			Council Name: Cardinia Shire Council Council Reference Number: S16/077 Planning Permit Reference: T160213 SPEAR Reference Number: S083418B Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 29/11/2016 Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made Digitally signed by: Sonia Higgins for Cardinia Shire Council on 09/01/2018 Statement Of Compliance issued: 26/03/2018		
VESTING OF ROADS AND/OR RESERVES			NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON		This is a Spear Plan		
Nil	Nil				
NOTATIONS					
DEPTH LIMITATION: DOES NOT APPLY SURVEY: This plan is NOT based on survey. STAGING: This is not a staged subdivision. Planning Permit No. This survey has been connected to permanent marks No(s) ____ In Proclaimed Survey Area No. 71					
EASEMENT INFORMATION					
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
Easements and rights implied by Section 12(2) of the Subdivision Act 1988 apply to all of the land in this plan.					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	
E-1, E-3	Sewerage	2	This Plan	South East Water corporation Cardinia Shire Council	
E-2, E-3	Drainage	2	This Plan		
NOBELIUS LAND SURVEYORS  P.O. BOX 461 PAKENHAM 3810 Ph 03 5941 4112 mail@nobelius.com.au			SURVEYORS FILE REF: 14426 Digitally signed by: Timothy Deane Walker (Nobelius Land Surveyors Pty Ltd), Surveyor's Plan Version (Version D), 14/12/2017, SPEAR Ref: S083418B		ORIGINAL SHEET SIZE: A3 PLAN REGISTERED TIME: 6:29pm DATE: 17/05/2018 R.Bissell Assistant Registrar of Titles

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PS 747015 V

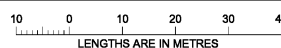


NOBELIUS LAND SURVEYORS



P.O. BOX 461
PAKENHAM 3810
Ph 03 5941 4112
mail@nobelius.com.au

SCALE
1:400



Digitally signed by: Timothy Deane Walker (Nobelius Land Surveyors Pty Ltd),
Surveyor's Plan Version (Version D),
14/12/2017, SPEAR Ref: S083418B

ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by:
Cardinia Shire Council,
09/01/2018,
SPEAR Ref: S083418B