

# Notice of an Application for an Amendment to a Planning Permit

The land affected by the application is located at:	L12 PS811821 V12291 F572 41 Blessing Rise, Pakenham VIC 3810
The application is to:	Section 72 Amendment to the Planning Permit T220634 for Development of the land for a dwelling, fence and associated works

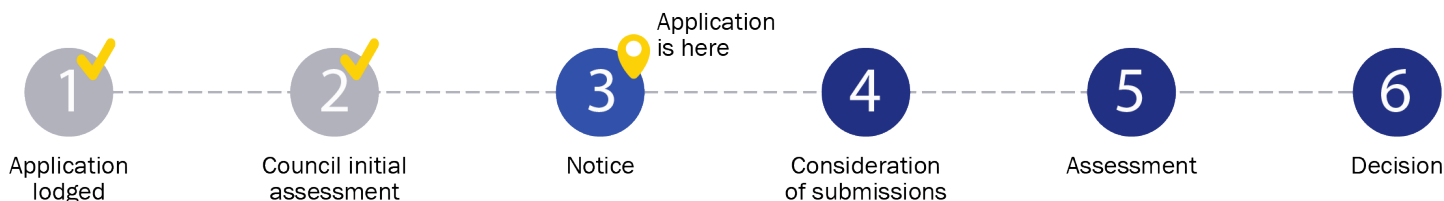
## APPLICATION DETAILS

The applicant for the amendment to the permit is:	Archiscape Consulting Pty Ltd.
Application number:	T220634 - 1
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.</p>	



## HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		29 August 2025
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the proposed amendment to permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul>	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 1 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025





ePlanning

## Amendment Summary

Portal Reference	M22544RU
Reference No	T220634

## Basic Information

Proposal Type	Single Dwelling, Advertising Has Occurred
Proposed Use	Development of the land for a dwelling, fence and associated works
Current Use	VACANT LAND
Cost of Works	\$800,000
Amended Cost of Works	\$0
Amendments	Plans Changed
Proposed Changes	Layout Plan Front garage setback increased from 8.917 m to 9.590 m. Minimum front setback remains unchanged at 6.410 m. South side minimum setback increased to 3.120 m. West (rear) ground floor setback increased to 9.650 m. Subfloor Level Lower ground floor gym and veranda have been converted to subfloor storage. Ground Floor Garage overhang has been removed. Alfresco area has been reduced in size. First Floor West (rear) setback increased from 11,000 mm to 11,200 mm. A balcony has been added to the master bedroom. Elevations East Elevation: o Maximum building height reduced from 4,650 mm to 4,570 mm. o Site fill increased from 560 mm to 660 mm. o Site cut reduced from 1,256 mm to 1,240 mm. North Elevation: o Maximum building height reduced from 6,828 mm to 6,550 mm. o Site fill increased from 1,016 mm to 1,070 mm. o First floor rear setback increased from 11,000 mm to 11,200 mm. West Elevation: o Site cut reduced from 1,540 mm to 1,270 mm. South Elevation: o Site cut increased from 1,750 mm to 1,860 mm. Floor area, garden area and site coverage Floor area- reduced from 445.75Sq.m to 367.90Sq.m Site coverage- reduced from 45% to 38% Permeability- increased from 40.91% to 46.55% Garden area- increased from 40.90% to 55.57% Landscape Plan Amended to reflect the above design changes and ensure consistency with the revised development layout.
Site Address	41 Blessing Rise Pakenham VIC 3810

## Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

## Contacts

Type	Name	Address	Contact Details
Applicant	Archiscape Consulting Pty Ltd.	26 SKYLINE DR, OFFICER (VIC) VIC 3809	W: 03-5902-4786 M: 0449-593-001 E: anu@archiscape.com.au
Owner			
Preferred Contact	Archiscape Consulting Pty Ltd.	26 SKYLINE DR, OFFICER (VIC) VIC 3809	W: 03-5902-4786 M: 0449-593-001 E: anu@archiscape.com.au

## Fees



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810

**Email:** mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784



Regulation Fee Condition		Amount	Modifier	Payable
11 - Class 3	Amendment to a class 2, 3, 4 , 5 or 6 permit (change in cost of \$10, 000 or less)	\$220.50	100%	\$220.50
		Total		\$220.50

## Documents Uploaded

Date	Type	Filename
24-06-2025	Floor Plans	AC-2425-48-TP-01.pdf
24-06-2025	Additional Document	AC-2425-48-TP-01 (LANDSCAPE).pdf
24-06-2025	Additional Document	Application cover letter- 24.06.2025.pdf
24-06-2025	Additional Document	AU092536S.pdf
24-06-2025	Additional Document	AZ186668H.pdf
24-06-2025	Additional Document	PS611885X.pdf
24-06-2025	Additional Document	PS811821L.pdf
24-06-2025	Additional Document	Title.pdf
24-06-2025	Additional Document	X049709H.pdf



☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	<div>Archiscape Consulting Pty Ltd.</div>	26 SKYLINE DR, OFFICER (VIC) VIC 3809	W: 03-5902-4786 M: 0449-593-001 E: anu@archiscape.com.au
Submission Date	24 June 2025 - 04:15:PM		

## Declaration

☒ By ticking this checkbox, I,  declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.

 <b>Civic Centre</b> 20 Siding Avenue, Officer, Victoria	<input type="checkbox"/> <b>Postal Address</b> Cardinia Shire Council P.O. Box 7, Pakenham VIC, 3810 <b>Email:</b> mail@cardinia.vic.gov.au	<input type="checkbox"/> <b>Monday to Friday</b> 8.30am–5pm <b>Phone:</b> 1300 787 624 <b>After Hours:</b> 1300 787 624 <b>Fax:</b> 03 5941 3784
 <b>Council's Operations Centre (Depot)</b> Purton Road, Pakenham, Victoria		

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 3 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

 <b>Civic Centre</b> 20 Siding Avenue, Officer, Victoria	<input type="checkbox"/> <b>Postal Address</b> Cardinia Shire Council P.O. Box 7, Pakenham VIC, 3810 <b>Email:</b> mail@cardinia.vic.gov.au	<input type="checkbox"/> <b>Monday to Friday 8.30am–5pm</b> <b>Phone:</b> 1300 787 624 <b>After Hours:</b> 1300 787 624 <b>Fax:</b> 03 5941 3784
 <b>Council's Operations Centre (Depot)</b> Purton Road, Pakenham, Victoria		



## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 2

VOLUME 12291 FOLIO 572

Security no : 124125606704B  
Produced 24/06/2025 01:56 PM

### LAND DESCRIPTION

Lot 12 on Plan of Subdivision 811821L.  
PARENT TITLE Volume 11081 Folio 288  
Created by instrument PS811821L 16/03/2021

### REGISTERED PROPRIETOR

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
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PERMIT No.: T220634-1  
SHEET: 4 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

### ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT PS611885X 18/07/2008  
VARIATION OF COVENANT AR973357H 01/03/2019

COVENANT PS811821L 16/03/2021

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 PLANNING AND ENVIRONMENT ACT 1987  
X049709H 20/09/2000

AGREEMENT Section 173 Planning and Environment Act 1987  
AU092536S 28/02/2021

### DIAGRAM LOCATION

SEE PS811821L FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AZ186667K (E)	DISCHARGE OF MORTGAGE	Registered	26/05/2025
AZ186668H (E)	TRANSFER	Registered	26/05/2025
AZ186669F (E)	MORTGAGE	Registered	26/05/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 41 BLESSING RISE PAKENHAM VIC 3810

### ADMINISTRATIVE NOTICES

NIL



## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 2 of 2

DOCUMENT END

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 5 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>PS811821L</b>
Number of Pages (excluding this cover sheet)	<b>4</b>
Document Assembled	<b>24/06/2025 13:56</b>


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APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 6 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



<h1>PLAN OF SUBDIVISION</h1>				LV USE ONLY EDITION 1	<h2>PS811821L</h2>
<b>Location of Land</b> <b>Parish:</b> NAR-NAR GOON <b>Township:</b> ----- <b>Section:</b> ----- <b>Crown Allotment:</b> 7 (PART)  <b>Title References:</b> Vol.11081 Fol.288  <b>Last Plan Reference:</b> LOT A on PS611885X <b>Postal Address:</b> PAKENHAM ROAD, PAKENHAM 3810  <b>MGA94 Co-ordinates:</b> E 366 710 Zone 55 (Of approx. centre of plan) N 5 787 050				<b>Council Name:</b> Cardinia Shire Council  <b>Council Reference Number:</b> S18-028 <b>Planning Permit Reference:</b> T130505-2 <b>SPEAR Reference Number:</b> S117616B  <b>Certification</b>  This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 06/06/2019  <b>Statement of Compliance</b>  This is a statement of compliance issued under section 21 of the Subdivision Act 1988  Public Open Space  A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has been satisfied  Digitally signed by: Sonia Higgins for Cardinia Shire Council on 05/03/2021	
<b>Vesting of Roads or Reserves</b>					
Identifier		Council/Body/Person			
R1 RESERVE No.1 RESERVE No.2		CARDINIA SHIRE COUNCIL CARDINIA SHIRE COUNCIL AUSNET ELECTRICITY SERVICES PTY LTD			
<b>Notations</b>					
Depth Limitation:		Does not apply			
<div style="border: 2px solid red; padding: 5px; color: red;"> APPROVED AMENDED PLAN  PLANNING AND ENVIRONMENT ACT 1987  CARDINIA PLANNING SCHEME  PERMIT No.: T220634-1  SHEET: 7 OF 78  APPROVED BY: Lori Zhang  CARDINIA SHIRE COUNCIL  DATE: Monday, 11 August 2025 </div>				<b>Notations</b>  <b>Staging</b> This is not a staged subdivision. Planning Permit No. T130505  <b>Survey:-</b> This plan is based on survey.  To be completed where applicable This survey has been connected to permanent mark no(s). Nar-Nar Goon PM89, 295 & 670 In proclaimed Survey Area No. ---	
<b>Easement Information</b>					
<b>Legend:</b> A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour of	
E-1	ELECTRICITY SUPPLY	2	PS611885X	LOT 1 ON PS611885X	
E-2	SEWERAGE DRAINAGE	SEE DIAG. SEE DIAG.	THIS PLAN THIS PLAN	SOUTH EAST WATER CORPORATION CARDINIA SHIRE COUNCIL	
E-3	SEWERAGE	2.50	THIS PLAN	SOUTH EAST WATER CORPORATION	
E-4	POWERLINE	SEE DIAG.	THIS PLAN (S.88 ELECTRICITY INDUSTRY ACT 2000)	AUSNET ELECTRICITY SERVICES PTY LTD	
E-5	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION	
E-6	DRAINAGE	SEE DIAG.	THIS PLAN	CARDINIA SHIRE COUNCIL	
 <b>HEAD &amp; HUMPHREYS</b> <b>LAND CONSULTANTS</b> Suite 3, 47 Railway Road P.O. Box 63, Blackburn 3130 Tel: 9875 8777 Fax: 9875 8778 e-mail: contact@hhsurvey.com.au ABN 80 006 516 169			<b>REF 7678</b> 7678-00-SUB-0111-LUV.DWG 16-03-2021  Digitally signed by: Jason Ollerenshaw, Licensed Surveyor, Surveyor's Plan Version (11), 05/03/2021, SPEAR Ref: S117616B	<b>11</b>	<b>ORIGINAL SHEET</b> <b>SIZE: A3</b>  <b>SHEET 1 OF 4 SHEETS</b>  <b>PLAN REGISTERED</b> <b>TIME: 12:10 PM DATE: 16/03/2021</b> YL Assistant Registrar of Titles







# PLAN OF SUBDIVISION

LV USE ONLY  
EDITION**PS811821L**

## CREATION OF RESTRICTION

The following restrictions are to be created upon registration of this plan of subdivision.

The registered proprietor for the time being of the burdened land shall comply with the restrictions.

### RESTRICTION A. (Building Controls)

Land to be benefited - Lots 1 to 33 (both inclusive) on this plan

Land to be burdened - Lots 1 to 33 (both inclusive) and Reserve No.1 on this plan.

Description of Restriction.

Except with the written consent of Cardinia Shire Council the registered proprietors or proprietor for the time being of any burdened lot on the Plan shall not at any time erect, construct, build or cause or permit to be erected, constructed or built :-

- a. any building or structure other than a building or structure in accordance with the Pakenham Rise Residential Design Guidelines.

Restriction A does not lapse.

### RESTRICTION B. (Development Controls)

Land to be benefited - Lots 1 to 33 (both inclusive) on this plan.

Land to be burdened - Lots 1 to 3 (both inclusive), 9, 11, 12, 14 to 18 (both inclusive), 20, 21 and 27 to 33 (both inclusive) on this plan.

Description of Restriction.

Except with the written consent of Cardinia Shire Council the registered proprietors or proprietor for the time being of any burdened lot on the Plan shall not:-

- a. park or store vehicles, machinery, plant or equipment outside of the building envelopes shown on sheet 4 of this plan;
- b. construct a building or part of a building outside of the building envelopes shown on sheet 4 of this plan;

Restriction B does not lapse.

### RESTRICTION C.

Land to be benefited - Lots 1 to 33 (both inclusive) on this plan.

Land to be burdened - Lots 14 to 18 (both inclusive) and 27 on this plan.

Description of Restriction.

Except with the written consent of Cardinia Shire Council the registered proprietors or proprietor for the time being of any burdened lot on the Plan shall not:-

- a. permit the felling, lopping or removal of any vegetation abutting the burdened land;

Restriction C does not lapse.

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
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PERMIT No.: T220634-1  
SHEET: 9 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



**HEAD & HUMPHREYS**  
**LAND CONSULTANTS**  
Suite 3, 47 Railway Road  
P.O. Box 63, Blackburn 3130  
Tel: 9875 8777 Fax: 9875 8778  
e-mail: contact@hhsurvey.com.au  
ABN 80 006 516 169

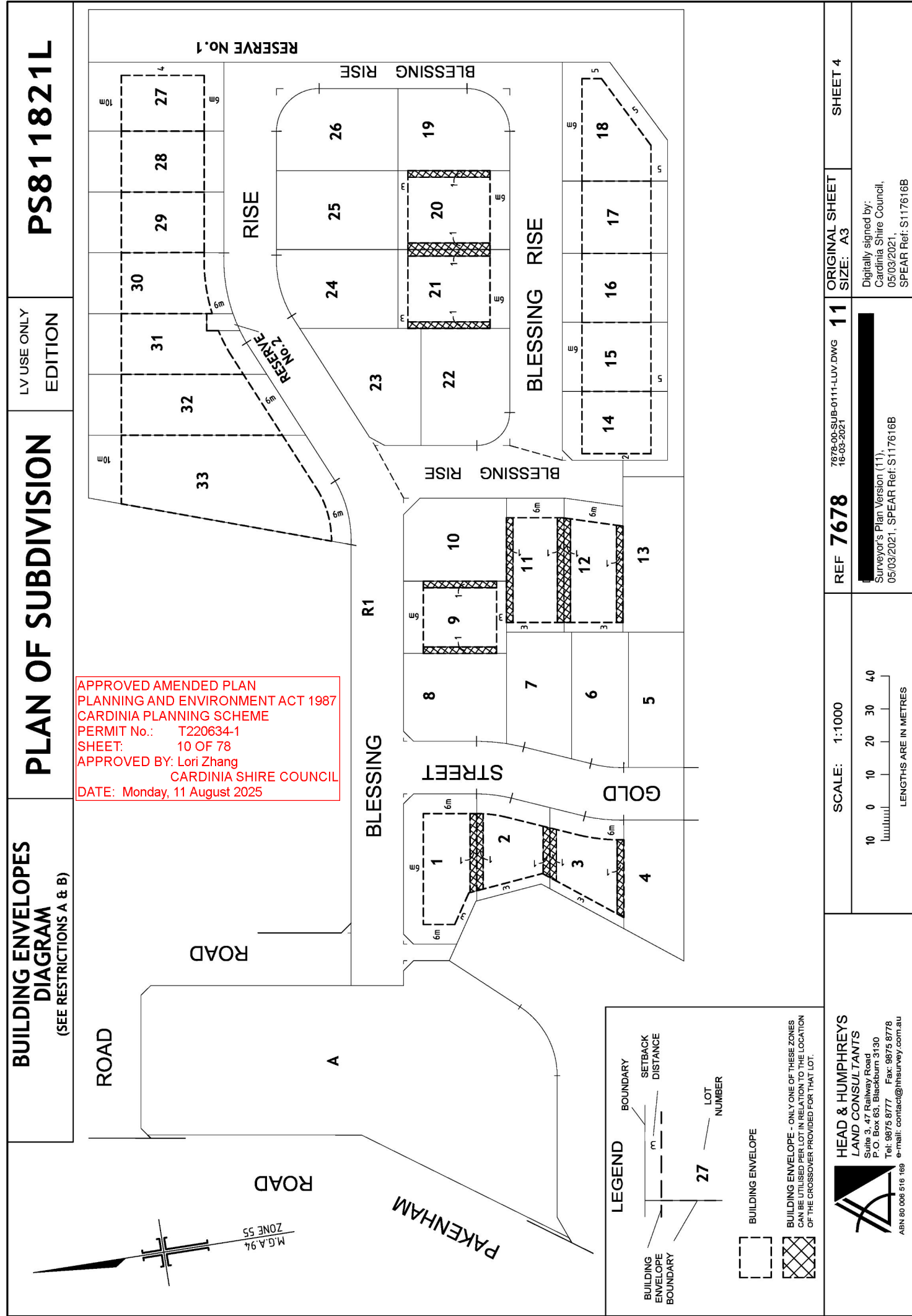
REF **7678**7678-00-SUB-0111-LUV.DWG  
16-03-2021**11**ORIGINAL SHEET  
SIZE: A3

SHEET 3

Digitally signed by: Jason Ollerenshaw, Licensed Surveyor,  
Surveyor's Plan Version (11),  
05/03/2021, SPEAR Ref: S117616B

Digitally signed by:  
Cardinia Shire Council,  
05/03/2021,  
SPEAR Ref: S117616B









# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 24/06/2025 01:56:28 PM

Status	Registered	Dealing Number	AU092536S
Date and Time Lodged	28/02/2021 11:22:06 AM		

### Lodger Details

Lodger Code	20747C
Name	HOLDING REDLICH
Address	
Lodger Box	
Phone	
Email	
Reference	JBM 19040373

## APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
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### Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

### Estate and/or Interest

FEE SIMPLE

### Land Title Reference

11081/288

### Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173  
Planning & Environment Act - section 173

### Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC
Postcode	3809

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 11 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025





# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

### Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	[REDACTED]
Signer Organisation	PARTNERS OF HOLDING REDLICH
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	28 FEBRUARY 2021

### File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 12 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



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Document Type	<b>Instrument</b>
Document Identification	<b>AU092536S</b>
Number of Pages (excluding this cover sheet)	<b>9</b>
Document Assembled	<b>24/06/2025 13:56</b>

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CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 13 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025





Dated

**Agreement made pursuant to Section 173 of the Planning and Environment Act 1987**

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 14 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

**Cardinia Shire Council**

and

**Horizon Property Investment Group (ACN 621 002 757)**

**Subject Land: 180 Pakenham Road, Pakenham Victoria 3810**



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 15 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

**This Agreement** is dated

## **Parties**

**Council:** Cardinia Shire Council of 20 Siding Avenue, Officer Victoria 3809

**Owner:** Horizon Property Investment Group (ACN 621 002 757) of 17 Bryson Street, Canterbury Victoria 3126

## **Introduction**

- A** Council is the responsible authority for the administration and enforcement of the Scheme pursuant to the Act.
- B** The Owner is the registered proprietor of the Land.
- C** The Land is encumbered by mortgage number AS494994L in favour of the Mortgagee. The Mortgagee has consented to the Owner entering into this Agreement. A copy of this consent is attached at Annexure B.
- D** On 15 May 2019, Council issued the Permit, which allows the subdivision of land, removal of native vegetation, removal of an easement, creation of an easement, removal of restriction on title (building and waste envelope) and associated earthworks, generally in accordance with approved plans.
- E** Condition 6 of the Permit relevantly provides:

### **6. Section 173 Agreement**

Prior to the Statement of Compliance being issued;

- a) the owner must enter into an agreement with the Responsible Authority made pursuant to section 173 of the Planning and Environment Act 1987, and make the application to the Registrar of Titles to have the agreement registered on the title to the land under Section 181 of the Act, which provides;
  - i. that on Lot 27 to 33 a 10m fire buffer and Lot 18 and 27 a 4m buffer on the eastern boundary side is to be incorporated into each allotment and be managed and maintained to a minimum fuel conditions during the declared Fire Danger Period to the satisfaction of the CFA and the Responsible Authority. There are to be no buildings or structures including clothes lines, sheds, cubby houses or tree planting within the fire buffer as shown on the endorsed plans of this permit.
  - ii. the keeping of cats is prohibited within any of the lots within the approved subdivision.

The owner must pay the reasonable costs of the preparation, execution and registration of the section 173 agreement.

- F** This Agreement is made under Division 2 of Part 9 of the Act.
- G** This Agreement has been entered into in order to:
  - (a) prohibit, restrict or regulate the use or development of the Land; and



- (b) achieve and advance the objectives of planning in Victoria or the objectives of the Scheme in relation to the Land.

**It is agreed:**

## **2. Definitions and interpretation**

### **2.1 Definitions**

In this Agreement, unless the context clearly indicates otherwise:

**Act** means the *Planning and Environment Act 1987*;

**Agreement** means this Agreement, including the recitals and any annexures to this Agreement;

**CFA** means the Country Fire Authority established under the *Country Fire Authority Act 1958* or any successor authority;

**Council** means the Cardinia Shire Council or any other municipal council which may, from time to time, be the responsible authority in relation to the Land pursuant to the Act;

**Fire Buffer** means the fire buffer zone required to be established and maintained on the Land, in accordance with clause 5 of this Agreement and as shown on the endorsed plan name known as Proposed Development Plan (or as amended);

**Fire Danger Period** has the same meaning as under the *Country Fire Authority Act 1958*;

**Land** means all the land contained in certificate of title volume 11081 folio 288 and more particularly described as Lot A on Plan of Subdivision 611885X;

**Lot** means a lot resulting from the subdivision of the Land allowed by the Permit and a reference to a lot number is a reference to the corresponding Lot, as shown on the Plan;

**Minimum Fuel Conditions** means the state of having insufficient fuel available to significantly increase the severity of a bushfire, including a maximum grass height of 100mm;

**Mortgagee** means National Australia Bank Ltd or the person registered or entitled, from time to time, to be registered by the Registrar of Titles as mortgagee of the Land or any part of it;

**Owner** means the person or persons registered or entitled to be registered as proprietor of an estate in fee simple of the Land and includes a mortgagee-in-possession;

**Permit** means Planning Permit No. T130505-3 issued on 20 November 2014 and as amended on 15 May 2019;

**Plan** means the plan prepared by SJE Consulting with the reference 200524 version 1 and as endorsed by the Council on 15 May 2019, or as amended from time to time with the consent of Council, but generally in accordance with the plan attached as Annexure A to this Agreement;

**Register** means the register maintained by the Registrar of Titles under the *Transfer of Land Act 1958*; and

**Scheme** means the Cardinia Planning Scheme or any other planning scheme which applies to the Land from time to time.

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 16 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



## 2.2 Interpretation

- (a) a reference to legislation or a legislative provision includes any statutory modification or substitution of that legislation or legislative provision and any subordinate legislation issued under that legislation or legislative provision;
- (b) a reference to a body or authority which ceases to exist is a reference to either a body or authority that the parties agree to substitute for the named body or authority or, failing agreement, to a body or authority having substantially the same objects as the named body or authority;
- (c) a requirement to do any thing includes a requirement to cause that thing to be done and a requirement not to do any thing includes a requirement to prevent that thing being done;
- (d) the singular includes the plural and vice-versa.

## 3. Commencement

This Agreement commences on the date it is made as set out above.

## 4. Termination of Agreement

### 4.1 Termination

- (a) This Agreement ends when the Owner has complied with its obligations under this Agreement.
- (b) This Agreement may be ended by agreement between the parties in accordance with the Act, or as otherwise provided for in this Agreement.

### 4.2 Cancellation of Agreement

As soon as reasonably practicable after this Agreement has ended wholly, in part, or as to the whole or part of the Land, Council must, at the cost of the Owner, notify the Registrar of Titles of such under section 183(1) of the Act to enable the Registrar to cancel or alter the recording of this Agreement on the Register as may be applicable.

## 5. Owner's Covenants

### 5.1 Fire Buffer

The Owner covenants and agrees that:

- (a) a 10m Fire Buffer on Lots 27 to 33 (inclusive) must be maintained on the northern boundary side of those Lots;
- (b) a 4m Fire Buffer on Lots 18 and 27 must be maintained on the eastern boundary side of those Lots;
- (c) the Fire Buffers required under clause 5.1(a) and (b) must be managed and maintained to Minimum Fuel Conditions during the declared Fire Danger Period to the satisfaction of the CFA and Council; and
- (d) no tree planting, buildings or structures, including clotheslines, sheds, and cubby houses, are permitted within the Fire Buffer.

APPROVED AMENDED PLAN  
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APPROVED BY: Lori Zhang  
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## 5.2 Keeping of cats prohibited

The Owner covenants and agrees that cats must not be kept or allowed to be kept on the Land.

## 6. Successors in title

Until this Agreement is recorded in the Register in accordance with section 181 of the Act, the Owner must ensure that the Owner's successors in title give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement, including requiring the successors in title to execute a deed agreeing to be bound by the terms of this Agreement. Until that deed is executed, the Owner remains liable to perform all of the Owner's obligations contained in this Agreement.

## 7. Recording of agreement

The Owner must do all things necessary to give effect to this Agreement and to enable Council to record this Agreement on the folio of the Register which relates to the Land, including signing any further agreement, acknowledgment, or document.

## 8. Payment of Council's costs

- (a) The Owner agrees to, upon demand, pay to Council the costs and expenses of and incidental to the preparation, execution, recording and enforcement of this Agreement incurred by Council.
- (b) The Owner agrees to pay interest to Council in accordance with section 227A of the *Local Government Act 1989* on any amount payable under this Agreement that is not paid by the due date.

## 9. Covenants run with the Land

The Owner's obligations under this Agreement take effect as covenants which shall be annexed to and run at law and in equity with the Land and every part of it, and bind the Owner, its successors, assignees and transferees, and the registered proprietor for the time being of the whole or any part of the Land.

## 10. No fettering of Council's powers

- (a) This Agreement does not fetter or restrict Council's power or discretion in respect of any of Council's decision making powers, including but not limited to, to make decisions under the *Local Government Act 1989* and the Act, to make or impose requirements or conditions in connection with any use or development of the Land, the granting of any planning permit, the approval or certification of any plans of subdivision or consolidation relating to the Land, or the issue of a statement of compliance in connection with any such plans.
- (b) The Owner acknowledges that Council's entry into this Agreement does not place any obligations upon Council with respect to the grant of a permit for the subdivision or use and development of the Land.

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
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PERMIT No.: T220634-1  
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APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

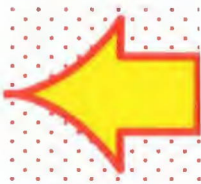


Execution page

**SIGNED, SEALED AND DELIVERED** as a deed by the parties on the date set out at the commencement of this Agreement.

**THE COMMON SEAL** of the **CARDINIA SHIRE COUNCIL** was affixed on this 17 day of August 2020 in the presence of [redacted] being a delegated officer pursuant to Local Law No. 16 (2014) under a delegation dated 20 May 2019.

[redacted]  
De  
Manager Development and Compliance Services



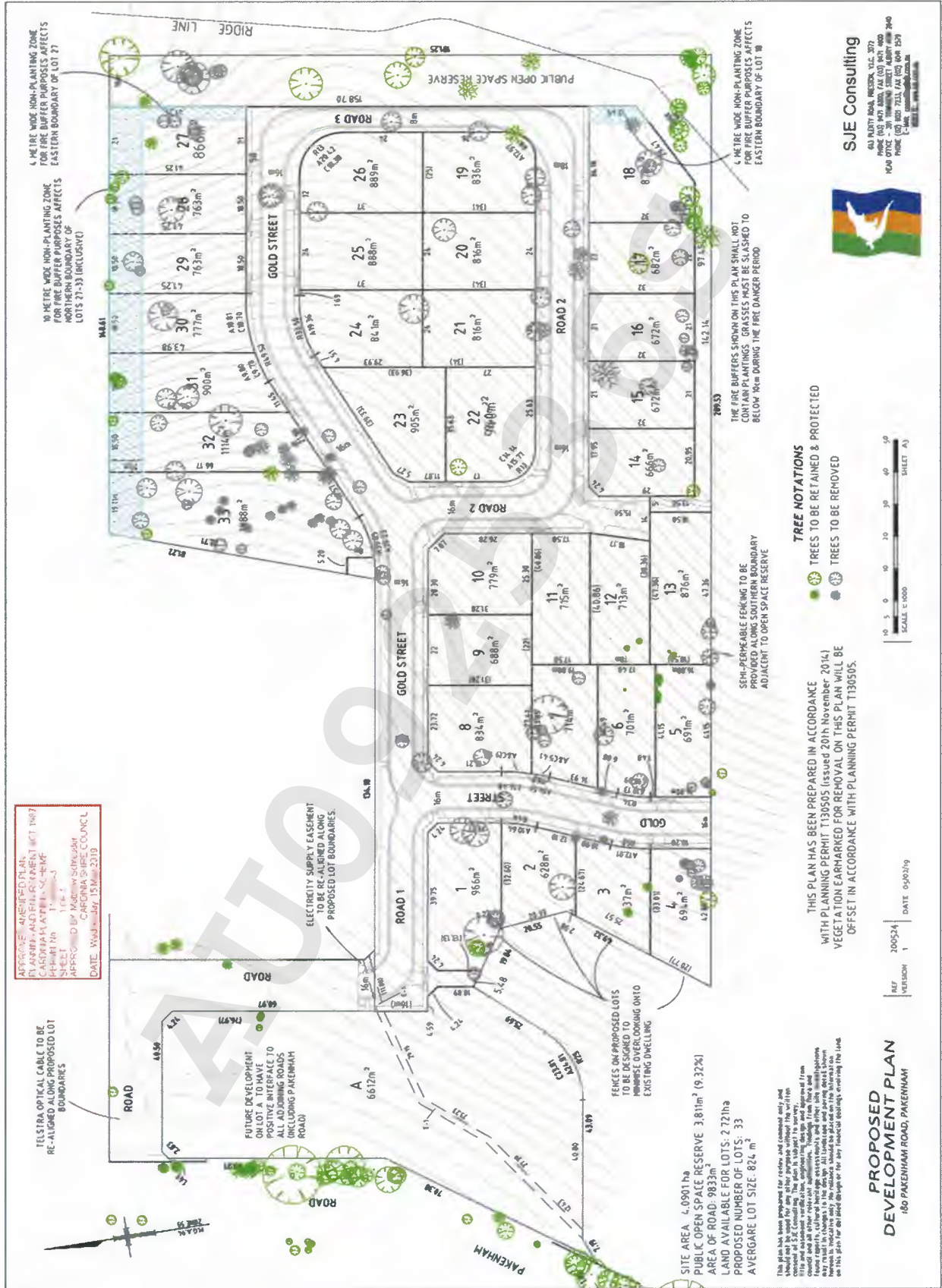
Executed by **HORIZON PROPERTY INVESTMENT GROUP (ACN 621 002 757)** in accordance with section 127 of the *Corporations Act* 2001:

[redacted]  
Sig  
Name of Director Name of Director

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
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PERMIT No.: T220634-1  
SHEET: 19 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



Annexure A - Endorsed Plan



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
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APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



**Annexure B - Mortgagee Consent**

National Australia Bank Ltd, as Mortgagee under mortgage no. AS494994L which encumbers the Land, consents to the Owner entering into this Agreement.

.....  
Signature

.....  
Print Name

.....  
Title

AU0925365

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 21 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025





Registrar of Titles  
Land Titles Office  
2 Lonsdale Street  
MELBOURNE

**APPLICATION TO REGISTER AN AGREEMENT UNDER SECTION 173 OF THE  
PLANNING AND ENVIRONMENT ACT 1987**

**Certificate of Title Volume 11081 Folio 288**

**Registered Proprietor/s:** Horizon Property Investment Group Pty Ltd

National Australia Bank Limited A.B.N. 12 004 044 937 as Mortgagee pursuant to  
Registered Mortgage number AS494994L hereby consents to the within  
Agreement.

Dated this                      day of                      20

**EXECUTED by NATIONAL AUSTRALIA BANK** )  
**LIMITED** by being signed sealed and delivered in )  
Victoria by its Attorney )

who holds the position of Level 3 Attorney under )  
Power of Attorney dated 1/3/2007 (a certified )  
copy of which is filed in Permanent Order Book )  
No 277 Page No 025 Item 35) in the presence of: )

\_\_\_\_\_  
Signature of Witness

B13m3.  
Level 1, 990 Toorak Road  
Camberwell. VIC, 3124

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 22 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025





# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 24/06/2025 01:56:29 PM

Status	Registered	Dealing Number	AZ186668H
Date and Time Lodged	26/05/2025 03:16:08 PM		

### Lodger Details

Lodger Code 15940N

Name COMMONWEALTH BANK OF AUSTRALIA

Address

Lodger Box

Phone

Email

Reference

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
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PERMIT No.: T220634-1  
SHEET: 23 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

## TRANSFER

Jurisdiction VICTORIA

### Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

### Land Title Reference

12291/572

### Transferor(s)

Given Name(s)

Family Name

Given Name(s)

Family Name

### Estate and/or Interest being transferred

Fee Simple

### Consideration

\$AUD 290000.00

### Transferee(s)

Tenancy (inc. share)

Sole Proprietor

Given Name(s)

Family Name

Address





# Department of Environment, Land, Water & Planning

## Electronic Instrument Statement

Street Number 41  
Street Name BLESSING  
Street Type RISE  
Locality PAKENHAM  
State VIC  
Postcode 3810

APPROVED AMENDED PLAN  
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CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

**Duty Transaction ID**  
6279090

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of

Signer Name

Signer Organisation

Signer Role

Execution Date

VU CONVEYANCING  
CONVEYANCING PRACTICE  
26 MAY 2025

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of

Signer Name

Signer Organisation

Signer Role

Execution Date

LEX CONVEYANCERS  
LICENSED CONVEYANCER  
26 MAY 2025

### File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



# Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	<b>Instrument</b>
Document Identification	<b>PS611885X</b>
Number of Pages (excluding this cover sheet)	<b>8</b>
Document Assembled	<b>24/06/2025 13:56</b>

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APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 25 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



# Application to register a plan of subdivision not related to acquisition by an acquiring authority Section 22 Subdivision Act 1988

**PS611885X**

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and is  
mainta  
registe  
Land R.

01/07/2008 \$854.60 PS



Form 10 Reg 38(1)(b) Subdivision (procedures) Regulations 2000

Lodged by: Angeleri & Co  
Name: .....  
Phone: +613 8645 7300  
Address: P.O.Box 312, South Melbourne.....  
Ref: 180PRP.....  
Customer Code: 04511A.....



The applicant applies for registration of the plan described.

Land: (Volume and Folio reference)

CERTIFICATE OF TITLE VOLUME 10561 FOLIO 832

Applicant: (Full name and address including postcode)

\*RESTRICTION

\*ADDRESS

180 PAKENHAM ROAD, PAKENHAM. 3810

Plan No: PS611885X

Stage No: (if applicable)

Municipal district in which land is located: NAR NAR GOON

Office use only

Date: 6/6/2008

Signed:

Applicant

or

Current Practitioner under  
the Legal Practice Act 1996  
for applicant

or

\*Agent

M/A BY GALILEE

\* (written proof of agency must be supplied)

CERTIFICATE

CARO OF LEVEL 1/373 BAY STREET,  
MELBOURNE, 3207, A FELLOW OF THE  
INSTITUTE OF LEGAL EXECUTIVES (VIC)  
A CURRENT PRACTISING

IN PRESENCE OF:

MEANS OF THE  
LEGAL ACT: 2007

ADELAIDE BANK LIMITED  
ABN: 54 061 461 550 by its

of 169 Pirie Street Adelaide 5000  
under Power of Attorney No. AS DELE-  
GATED BY ANDREW JAMES KAMM  
10 FEB 2006 AS ATTACHED

Ph: 08 8300 6920

Please register and  
issue title to  
GAIL GALILEE  
1610P

THE BACK OF THIS FORM MUST NOT BE USED

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 26 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

**PS**



**PS611885X**

01/07/2008 \$854.60 PS



**FISCHER Mc**

**Lawyers**

ABN 90 424 105 861

Contact: Elizabeth McCrae

Direct Line: 9670 6044

Email: em@fischermccrae.com.au

Our Ref: EMC.005637

Your Ref:

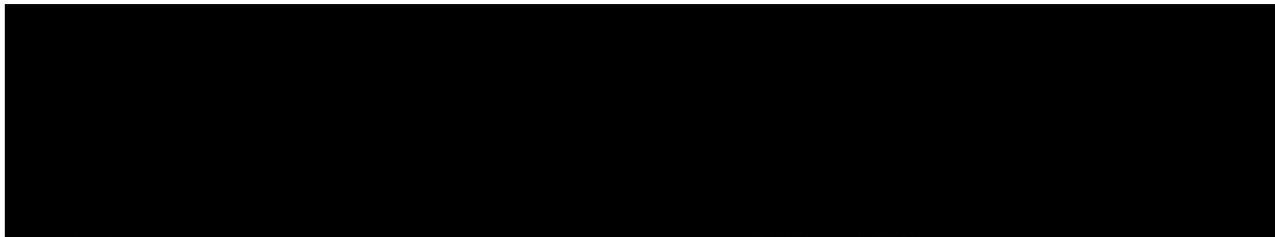
23 June 2008

The Registrar of Titles  
Land Titles Office  
Bourke Street  
MELBOURNE 3000

Dear Sir

**CERTIFICATE OF TITLE VOLUME 10561 FOLIO 832  
BOSTOR DEVELOPMENTS PTY LTD ACN 122 952 729 - CAVEAT AF242565H**

Bostor Developments Pty Ltd Caveator Number AF242565H hereby consents to application for registration of PS 611 885 X.



Partner  
Current Legal Practitioner for the Caveator

An ~~AM~~ meaning of the

APPROVED AMENDED PLAN  
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SHEET: 27 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

Level 3, 389 Lonsdale Street Melbourne Victoria 3000 Australia  
DX 324 Melbourne  
Tel: 61 3 9642 1200 Facsimile: 61 3 9670 7266



I hereby certify that this  
is a true and correct  
copy of the document it  
purports to be



18<sup>th</sup> October 2007

The Registrar-General  
Victoria

ADELAIDE BANK LIMITED  
ABN 54 061 461 550  
169 Pirie Street Adelaide SA 5000  
GPO Box 1048 Adelaide SA 5001  
Telephone 08 8300 6000  
Facsimile 08 8300 6968  
AUSDOC DX 169 Adelaide  
adelaidelbank.com.au

Dear Sir

I, [REDACTED], General Counsel of Adelaide Bank Limited (ABN 54 061 461 550) ("the Bank") being a Principal Attorney of the Bank pursuant to Power of Attorney dated 10 February 2006 in accordance with my powers of delegation contained in Clause 29 of the said Power of Attorney HEREBY DELEGATE to each person whose name appears below severally the powers set out hereunder:

To be a General Attorney pursuant to Clause 29 of the said Power of Attorney to exercise the powers set forth in the said Power of Attorney.

[REDACTED]

This delegation commences on the 18<sup>th</sup> October 2007

Yours faithfully,

[REDACTED]

General Counsel

Signed in my presence by Andrew James Kamm

[REDACTED]

Certified by a Legal Practitioner

at 169 Pirie Street Adelaide SA 5000

P  
A  
in the Supreme Court of South Australia

28/4/08

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
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PERMIT No.: T220634-1  
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APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



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APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 29 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

## POWER OF ATTORNEY

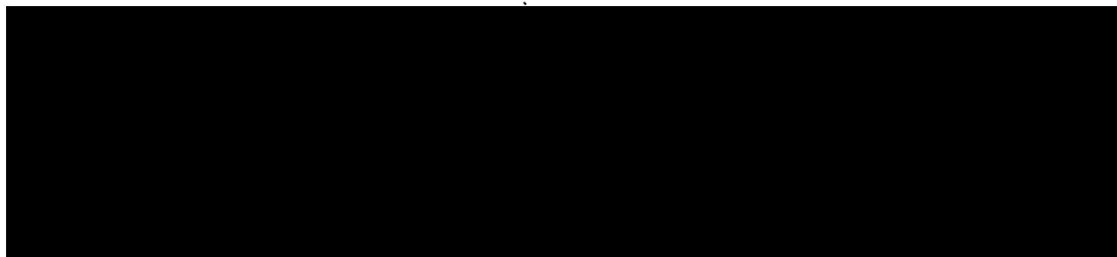
PS611885X

01/07/2008 \$854.60 PS



This General Power of Attorney is made under the Instruments Act 1986, section 107 on  
the 10<sup>th</sup> day of FEBRUARY 2006 by ADELAIDE BANK LIMITED (ABN 54 061 461  
550) hereinafter with its successors referred to as ("the Bank") of 169 Pirie Street, Adelaide, South  
Australia

The Bank HEREBY NOMINATES CONSTITUTES AND APPOINTS each of the following persons:



SEVERALLY (each of them acting under this deed being hereinafter referred to as an "Attorney") to  
be the true and lawful attorney and attorneys of the Bank wherever the Bank carries on business or  
may hereafter carry on business or be represented in the name and on behalf of the Bank and  
authorise any one of them to act on the Bank's behalf for all or any of the following purposes and with  
all the powers and authorities hereinafter mentioned in clauses 1 to 31 inclusive:

1. To open accounts and to operate upon any such accounts with any bank or other financial institution.
2. To take or grant on lease or tenancy all such lands, houses, offices, buildings, hereditaments, chattels or effects as the Attorney may think necessary or expedient for the purposes of or in connection with the Bank or of the business of the Bank.
3. To effect the insurance of and keep insured against fire and such other risks as the Attorney may consider necessary all or any property in which the Bank has an insurable interest (and to cancel any such insurance) for such sums and in all respects as the Attorney shall think fit.
4. To negotiate, enter into, vary or terminate any financial risk management contracts including but not limited to interest and currency exchange contracts, swap contracts, financial rate agreements, option contracts and futures contracts.
5. To engage, employ and dismiss agents, employees or contractors in or about the business of the Bank.
6. To sign, seal, execute, accept, endorse and deliver any contracts, agreements, loan agreements, letters of offer, mortgages, charges, debentures, securities, cheques, bills of exchange, promissory notes, bonds, guarantees and any other deeds or instruments as in the opinion of the Attorney may be necessary or expedient in connection with the lending business of the Bank or which may be required by any Act, Ordinance or Regulation for the time being in force relating to crown land or land under the provisions of the Property Law Act 1958 as amended or the Land Act 1958 as amended or other like statutes or otherwise.
7. To attend and vote at any meeting of creditors or debenture stockholders or shareholders or members or directors of companies or societies or bodies corporate or at any other meeting where the Bank as lender is entitled to attend and vote and for all such purposes to represent

Certified by a Legal Practitioner  
at 169 Pirie Street Adelaide SA 5000

28/4/08



I hereby certify that this  
is a true and correct  
copy of the document it  
purports to be

2.

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
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CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

the Bank thereat and to appoint any person as proxy or representative to attend and vote for and represent the Bank at any such meeting.

8. To collect ask demand sue for enforce payment of or recover all monies securities for money debts deed papers writings and other documents of or to which the Bank may become possessed or entitled or which may become due owing payable or transferable to the Bank from any person and take and accept any security for any monies payable or to become payable to the Bank.
9. To demand and receive all rent due or to become due to the Bank from any person AND upon payment thereof to give and execute all such proper receipts releases and discharges for the same as the Attorney shall think fit AND upon non-payment thereof to proceed to enforce payment thereof and to proceed thereon according to law when and as the Attorney shall think proper.
10. To purchase any chose in action and any securities relating to such chose in action.
11. To sign all notices to quit and appoint such bailiff as the Attorney shall think proper and to give all notices of entry in and upon any buildings lands and hereditaments of any tenure belonging to or which the Bank is or may hereafter be entitled or interested and which are or may be demised leased or sub-let and to enter into and upon all such buildings lands and hereditaments and examine the state or repair or condition thereof and to give all requisite notices to repair and reinstate the same when and as the Attorney shall think fit including any improvements buildings and other property in which the Bank may be interested as owner, mortgagee, lessee or otherwise.
12. To take all necessary proceedings to compel the sequestration, liquidation or winding up of the estate of any person against whom or which the Bank has or may hereafter have any claim or demand when and as the Attorney shall think fit.
13. To petition for and procure any person to be adjudicated bankrupt and to assent to and execute any deed of composition, arrangement or assignment ("Deed") for the benefit of creditors whether executed or to take effect under the provisions of any law relating to insolvency or otherwise to accept the trusts of and Deed and to act as trustee thereunder to prove debts or claims in bankruptcy of in the matter of any Deed.

To oppose the proof of debts and claims by any other person or persons to take proceedings for expunging the whole or in part or the proof by any other person of any debt or claim and to accept any offer of composition made in the matter of any bankruptcy.

To consent to or oppose the annulling, dismissing or superseding of any adjudication of bankruptcy, to give notice of opposition and to oppose the discharge of any bankrupt, to receive dividends in bankruptcy or in the matter of any Deed and for all purposes to represent the Bank in all proceedings in bankruptcy or in relation to any Deed.

16. To appoint any controller (as such expression is defined in the Corporations Act) under any mortgage, charge, debenture or security held by the Bank and delegate thereto all or any powers or discretions which the Bank itself might have delegated to such controller and upon such terms and conditions as the Attorney thinks fit and also to revoke any appointment of a controller.

17. Generally to act fully and effectually on behalf of the Bank in all matters relating to liquidations or winding up of any person or to a bankruptcy.

Certified by a Legal Practitioner  
at 169 Pirie Street Adelaide SA 5000

In

28/4/08

PS611885X

01/07/2008 1854.60 PS





I hereby certify that this  
is a true and correct  
copy of the document it  
purports to be

3.

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
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CARDINIA SHIRE COUNCIL  
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18. To commence an action in any court of competent jurisdiction for a charging order against any debtor of the Bank by whatever means and to apply to the Registrar-General to register such charging order over the land and hereditament of any tenure of such debtor over which such charging order might be registered.
19. To effect or consent to any land division or alterations of boundaries of any land in which the Bank may be interested as owner, mortgagee, lessee or otherwise.
20. To execute and register caveats in respect of any estate or interest of the Bank capable of sustaining a caveat, to withdraw wholly or partially any such caveat and to consent to any dealing prohibited by any such caveat.
21. To apply for the removal of any caveat lodged against any estate or interest of the Bank.
22. In respect of any agreement or arrangement for the payment of moneys to the Bank and in respect of any land or hereditament of any tenure or other property real or personal mortgaged charged or in any manner whatsoever encumbered in favour of the Bank or in which the Bank has an interest as lender, mortgagee, chargee or in any other circumstances in which a debt or liability actual or contingent exists in favour of the Bank to:
  - 22.1 consent to and to the registration of any mortgage, charge, lease or sublease, extension of lease, surrender of lease, transfer of lease, creation or extinguishment of an easement or right of way, licence, application or dealing by any mortgagor or any other person;
  - 22.2 vary, transfer or postpone the priority ranking of any mortgage, debenture, bill of sale or other charge or grant any extension of time for the payment or satisfaction of all or any part of the monies due or to become due under any loan agreement, mortgage or other security which has been or may hereafter be given to the Bank or owing to the Bank in any manner whatsoever upon such terms as the Attorney may think fit either with or without taking security for the same;
  - 22.3 adjust settle compromise or submit to arbitration any agreement or arrangement relating to any loan made by the Bank.
23. To consent to any application for new certificates of title (which expression "certificates of title" shall include crown leases of any type), plan of divisions, strata title application, amendment, amalgamation, alteration or adjustment of boundaries thereof or in relation thereto.
24. To give good and proper receipts and to execute full or partial discharges upon repayment of all or any part of monies owing to the Bank.
25. To give a full or partial discharge or release of the personal liability of any person.
26. To give a full or partial discharge or release of any land or hereditament of any tenure or other property real or personal.
27. To exercise or enforce any of the rights, powers or remedies of the Bank pursuant to any mortgage, charge, lien, debenture, security or contract whatsoever of any kind held by the Bank and in particular to sell and dispose of or transfer any property or any interest therein at such time or times and upon such terms and conditions as the Attorney thinks fit in like manner as the Bank could do under or by virtue of any such mortgage, charge, lien, debenture, security or contract.

Certified by a Legal Practitioner  
at 169 Pirie Street Adelaide SA 5000

F  
In

/08

PS611885X

PS

01/07/2008 \$95460





I hereby certify that this  
is a true and correct  
copy of the document it  
purports to be

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 32 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

PS611885X

01/07/2008 \$854.60 PS



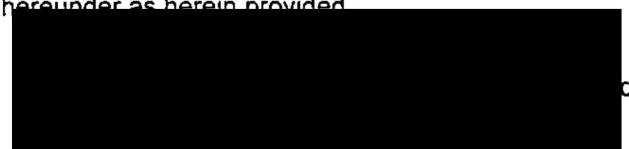
28. To exercise the power of sale or foreclosure conferred on the Bank pursuant to any statute or regulation and to execute contracts for the sale of land or hereditament of any tenure or other property real or personal including the estate and interest in such land or other property of the mortgagor, charger, debtor, lienor, encumbrancer or any person indebted to the Bank.
29. To delegate in writing to any employee of the Bank (hereinafter collectively referred to as a "General Attorney") all or any of the powers granted hereby except this power of delegation and any delegation pursuant hereto is revocable at will at the discretion of an Attorney in writing and such revocation pursuant to this clause shall be effective upon receipt of notification of such revocation by a General Attorney and notwithstanding that the delegation by an Attorney to a General Attorney is revocable at will such condition shall not derogate from the powers of a General Attorney.
30. To ratify and confirm, on behalf of the Bank (but only to the extent that the Attorney himself or herself could have done or caused to be done pursuant to this Power of Attorney) anything which may have been done or purported to be done on behalf of the Bank by any person and whether the same was or was not authorised.
31. To do all acts and execute all deeds and other instruments relating to any of the aforesaid matters.

**AND IT IS HEREBY DECLARED THAT:-**

- A. From the time of any such Attorney ceasing to be an employee of the Bank the rights, powers and authorities hereby conferred on or vested in such Attorney shall be deemed to be revoked and determined without prejudice nevertheless to the rights, powers and authorities by this Power of Attorney conferred on or vested in any other Attorney who shall continue in the service of the Bank.
- B. The Bank hereby ratifies and confirms and agrees at all times hereafter to ratify and confirm all and whatsoever may be lawfully done by an Attorney under and by virtue of this Power of Attorney including in such ratification whatever is done between the revocation by any means of this Power of Attorney and the fact of such revocation becoming known to the Attorney AND that notwithstanding paragraph A of this Power of Attorney a certificate under the hand of the Attorney that the Attorney has not received notice of any such revocation shall in favour of any person dealing with the Attorney in good faith be conclusive evidence of the fact.
- C. The Bank hereby declares that in favour of any person dealing with an Attorney appointed hereunder the fact that the Attorney declares that he or she has been so appointed and purports to act as such by virtue of being an employee of the Bank shall be conclusive evidence of such employment.
- D. The Registrar General of Victoria or any other person dealing with an Attorney appointed hereunder is hereby authorised and directed to accept the signature or execution of any document or other instrument by any Attorney pursuant to this Power of Attorney (including without limitation any delegation pursuant to clause 29 of this Power of Attorney) as sufficient evidence that the content of such document or other instrument is known to and has been approved by the Bank.
- E. Each of the powers hereby conferred shall be read and construed as separate powers not in any way limited or restricted by reference to or inference from the other powers hereby conferred.
- F. This Power of Attorney shall continue in force until notice of the revocation thereof shall be received by the Attorney for the time being acting hereunder as herein provided.

Certified by a Legal Practitioner

KA Com:172578.1 at 169 Pirie Street Adelaide SA 5000





I hereby certify that this  
is a true and correct  
copy of the document it  
purports to be

5.

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
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- G. The powers, rights and authorities hereby conferred and all acts, deeds, matters and things to be executed, done or performed in pursuance hereof shall be so executed, done and performed by the Attorney without the common seal of the Bank.
- H. This power shall in all respects be interpreted in accordance with the law of Victoria.
- I. Except to the extent that such interpretation shall be excluded by or be repugnant to the context when herein used:
- (a) words importing the singular number or plural number shall include the plural number or singular number respectively;
  - (b) words denoting any gender shall include all genders; and
  - (c) reference to a person includes a corporation, a firm and any other entity.

Executed as a deed

EXECUTED by **ADELAIDE BANK LIMITED** ABN 54 061 461 550  
in accordance with the Corporations Act:

**PS611885X**

01/07/2008 \$854.60 PS  




# Imaged Document Cover Sheet

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Document Identification	<b>X049709H</b>
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CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



*Handwritten signature*

Planning and Environment Regulations 1998 No. 8



Form 13

**X049709H**

200900 1058 173



Section 181

APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE MAKING OF A  
RECORDING OF AN AGREEMENT

**Planning and Environment Act 1987**

APPROVED AMENDED PLAN  
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CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

Lodged at the Land Titles Office by:

**Name:** Duffy & Simon Lawyers

**Phone:** (03) 5941 1622

**Address:** John Street, Pakenham

**Ref:** dd:GH 00.6.1555 **Customer Code:** 0756P

The Authority having made an agreement referred to in Section 181(1) of the **Planning and Environment Act 1987** requires a recording to be made in the Register for the land.

Land (*Insert Volume and Folio reference*) (*if part only, define the part*)

Certificate of Title Volume 8576 Folio 473


Authority (*name and address*)


Cardinia Shire Council, Municipal Offices, Henty Way, Pakenham 3810

Section and Act under which agreement made:

Section 173 of the Planning and Environment Act 1987

A copy of the Agreement is attached to this Application

Signature for the Authority: 

Name of Officer: 

Date: 13<sup>th</sup> September 2000



DX049709H-1-1

*Handwritten date: 13/9/00*



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This Agreement is made on the 30<sup>th</sup> day of AUGUST, 2000

**BETWEEN**

**CARDINIA SHIRE COUNCIL**

of Henty Way, Pakenham in the State of Victoria ("the Council")

**AND**

**LORIS FRANCES COX**

of 162 Pakenham Road, Pakenham in the said State ("the Owner")

## Recitals

- A. The Owner is the registered proprietor of 162 Pakenham Road, Pakenham ("the Land").
- B. The Council is the Responsible Authority pursuant to the Act for the Scheme.
- C. The Owner has obtained a Planning Permit from the Council to carry out a development of the land.
- D. As a condition of the Planning Permit, the Owner must enter into an agreement pursuant to Section 173 of the Act to be registered on the title which addresses the issues stated in the Planning Permit.

## Operative provisions

### 1. Definitions

In this Agreement the terms and words set out in this clause shall have the following meanings unless otherwise indicated by the context:

- 1.1 "the Act" means the *Planning and Environment Act 1987*;
- 1.2 "the Agreement" or "this Agreement" means this agreement and any agreement executed by the parties expressed to be supplemental to this agreement;
- 1.3 "approved" means approved by Council;
- 1.4 "Approved Plan" means Plan of Subdivision No. 441730A which was approved on 21<sup>st</sup> July 2000, a copy of which is contained in Annexure "A" to this Agreement.

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9173 Ag.

162 Pak Rd  
Pak.



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- 1.5 **"development"** includes subdivision;
- 1.6 **"the Land"** means the land known as Lot 3 LP 8840, 162 Pakenham Road, Pakenham which is more particularly described as Certificate of Title Volume 8576 Folio 473;
- 1.7 **"Lot" or "Lots"** means the lots on the Land as shown in the Approved Plan;
- 1.8 **"Owner"** means the person or persons entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Land or any part of it;
- 1.9 **"Planning Permit"** means Planning Permit No. T000009 issued by the Council on 15th March 2000. A copy of the Planning Permit is contained in Annexure B to this Agreement.
- 1.10 **"the Scheme"** means the Cardinia Planning Scheme.

---

## **2. Interpretation**

---

All provisions of this Agreement are to be interpreted in the following manner unless otherwise indicated by the context:

- 2.1 Undefined terms or words shall have the meanings given in the Act or the Scheme.
- 2.2 The singular includes the plural and the plural includes the singular.
- 2.3 A reference to a gender includes a reference to each other gender.
- 2.4 A reference to a person includes a reference to a firm, corporation or other corporate body.
- 2.5 If a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.6 A reference to a "planning scheme or "the Scheme" shall include amendment, consolidation or replacement of such scheme and any document incorporated by reference into such scheme.
- 2.7 A reference to a statute shall include any statutes amending, consolidating or replacing same and any regulations made under such statutes.

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- 2.8 Where in this agreement the Council may exercise any power, duty or function, that power may be exercised on behalf of the Council by an authorised or delegated officer.
- 2.9 All headings are for ease of reference only and shall not be taken into account in the construction or interpretation of this Agreement.
- 2.10 The introductory clauses of this Agreement are and will be deemed to form part of this Agreement.

---

### **3. Agreement under Section 173 of the Act**

---

The Council and the Owner agree that without limiting or restricting their respective powers to enter into this Agreement and in so far as it can be so treated, this Agreement is made pursuant to Section 173 of the Act.

---

### **4. Effect of Agreement**

---

- 4.1 This Agreement shall be deemed to come into force and effect from the date of this Agreement.
- 4.2 The obligations of the Owner under this Agreement, being obligations to be performed by the Owner as conditions subject to which the Land may be used or developed for specified purposes and being intended to achieve or advance the objectives of the Scheme, will take effect as separate and several covenants which shall be annexed to and run at law and in equity with the Land to bind the Owner and each successor, assign or transferee of the Owner.

APPROVED AMENDED PLAN  
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## 5. Covenants of Owner

The Owner covenants and agrees that:

- (a) The Owner will allow access to Lot 1 on the Approved Plan from the existing driveway only until such time as access is available from the road proposed to be constructed to the north of the said Lot 1.
- (b) Within three (3) months of access being available to the north the existing driveway must be removed and the boundary between the said Lot 1 and the 'Tree Reserve No. 1' shown on the Approved Plan fenced to the satisfaction of the Responsible Authority.
- (c) The Owner must incur all costs associated in preparing and registering this Agreement on title.
- (d) This Agreement may be ended wholly or in part or as to any part of the land by the Council with the approval of the Minister for Planning or by agreement between the Council and all persons who are bound by any covenant in this Agreement;
- (e) **Notice**  
This Agreement will be brought to the attention of all prospective purchasers, mortgagees, transferees and assigns.
- (f) **Compliance**  
The Owner will carry out and comply with the requirements of all statutory authorities and comply with all statutes, regulations, local laws and planning controls in relation to the Land.
- (g) The Owner will take all necessary steps to comply with the obligations of each and every clause in this Agreement.
- (h) **Registration**  
The Owner will consent to the Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the folio of the Register which relates to the Land in accordance with Section 181 of the Act and do all things necessary to enable the Council to do so including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable the recording to be made in the Register under that section.

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CARDINIA SHIRE COUNCIL  
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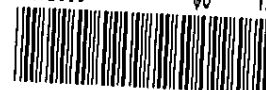
APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
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(i) **Mortgage to be Bound**

The Owner will obtain the consent of any mortgagee to be bound by the covenants in this Agreement if the mortgagee becomes mortgagee in possession of the Land.

(j) **Council's Costs to be Paid**

The Owner will pay the Council's reasonable costs and expenses (including legal expenses) incidental to enforcement of this Agreement.

(k) **Indemnity**

The Owner will indemnify and keep indemnified the Council, its officers, employees, agents, workmen and contractors from and against all costs, expenses, losses or damages whatsoever which they or any of them may sustain incur or suffer to be or become liable for or in respect of any suit action proceeding judgment or claim brought by any person whatsoever arising from or referable to this Agreement or any non-compliance with this Agreement.

(l) **Non-Compliance**

If the Owner has not complied with this Agreement within 14 days after service of a notice by the Council specifying such non-compliance, the Owner covenants to allow the Council its officers, employees, contractors or agents to enter the Land and rectify such non-compliance.

**Council Access**

5.12 The Owner covenants to allow the Council and/or its officers, employees, contractors or agents (at any reasonable time) to enter the Land to assess compliance with this Agreement.

**6. Notices**

---

**6.1 Service of Notice**

---

A notice or other communication required or permitted to be served by a party on another party shall be in writing and may be served:

(a) personally to the party; or



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- (b) by sending it by pre-paid post, addressed to that party at the address for service specified in this document or subsequently notified to each party; or
- (c) by facsimile to the person's number for service specified in this document or subsequently notified to each party.

## **6.2 Time of Service**

A notice or other communication is deemed served:

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- (a) if served personally, upon service;
- (b) if posted within Australia to an Australian address, two business days after posting and in any other case, seven business days after posting; or
- (c) if served by facsimile, at the time indicated on the transmission report produced by the sender's facsimile machine indicating that the facsimile was sent in its entirety to the addressee's facsimile;
- (d) if received after 6.00pm in the place of receipt or on a day which is not a business day, at 9.00am on the next business day.

---

## **7. GENERAL**

---

### **7.1 Further Assurance**

Each party must promptly execute and deliver all documents and take all other action necessary or desirable to effect, perfect or complete the transactions contemplated by this Agreement.



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## 7.2 No Waiver

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by the Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of the Council in relation to the terms of this Agreement.

## 7.3 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it shall be severed and the other provisions of this Agreement shall remain operative.

## 7.4 Costs

The Owner will immediately pay to the Council, the Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution and registration of this Agreement which are and until paid remain a debt due to the Council by the Owner.

**THE COMMON SEAL of CARDINIA SHIRE )**  
**COUNCIL** was affixed in the presence of: )



Mayor

Full name

Usual

SIGNATURE

LORIS

Witness



APPROVED AMENDED PLAN  
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CARDINIA SHIRE COUNCIL  
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Form 4.4

# PLANNING PERMIT

Permit No. T000009

Planning Scheme: Cardinia Planning Scheme

Responsible Authority: Cardinia Shire Council

## ADDRESS OF THE LAND:

Address:  
Lot/LP Details:

162 PAKENHAM RD, PAKENHAM  
Lot 3, LP 8840

## THE PERMIT ALLOWS:

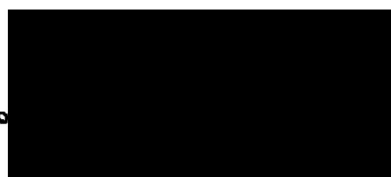
The subdivision of the land into two (2) lots generally in accordance with the approved plans.

## THE FOLLOWING CONDITIONS NO.1- 7 INCLUSIVE APPLY TO THIS PERMIT:

1. Prior to the certification of a plan of subdivision, three (3) copies of amended plans must be submitted to and approved by the responsible authority. The plans must be generally in accordance with the submitted plans but modified to show:
  - (a) A 5.0 metre by 5.0 metre splay at the northern boundary of Lot 1;
  - (b) The land between the splay required by Condition 1(a) and the southern property boundary as 'Tree Reserve' with a width of 5.0 metres;
  - (c) The 'Proposed Road Widening' across the frontage of Lot 2 deleted; and
  - (d) A three (3) metre wide drainage easement along the southern boundary of Lot 1 in favour of Lot 2;to the satisfaction of the responsible authority.
2. The layout of the subdivision, as shown on the approved plan, must not be altered or modified without the consent in writing of the responsible authority.
3. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage facilities, electricity, gas and telecommunications services to each lot shown on the approved plan in accordance with the authority's requirements and relevant legislation at the time.
4. All existing and proposed easements and sites for existing or required utility services and roads on the land must be set aside in the plan of subdivision submitted for certification in favour of the relevant authority for which the easement or site is to be created.
5. The plan of subdivision submitted for certification under the Subdivision Act 1988 must be referred to the relevant authority in accordance with Section 8 of that Act.

Date Issued: 15/3/00.

Signature for the  
Responsible Authority





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"B"

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Form 4.4

# PLANNING PERMIT

Permit No. T000009

Planning Scheme: Cardinia Planning Scheme

Responsible Authority: Cardinia Shire Council

## ADDRESS OF THE LAND:

Address:  
Lot/LP Details:

162 PAKENHAM RD, PAKENHAM  
Lot 3, LP 8840

## THE PERMIT ALLOWS:

The subdivision of the land into two (2) lots generally in accordance with the approved plans.

## THE FOLLOWING CONDITIONS NO.1- 7 INCLUSIVE APPLY TO THIS PERMIT:

### 6. Prior to a Statement of Compliance being issued:

- (a) it must be demonstrated to the satisfaction of Council's Health Department that the septic system for the existing dwelling will be contained within the boundaries of Lot 1;
- (b) the permit holder must enter into an agreement under Section 173 of the Planning and Environment Act 1987 to allow access to Lot 1 from the existing driveway only until such time as access is available from the road proposed to be constructed to the north. Within three (3) months of access being available to the north the existing driveway must be removed and the boundary between Lot 1 and the 'Tree Reserve' fenced to the satisfaction of the responsible authority. The permit holder must incur all costs associated in preparing and registering this agreement on title; and
- (c) a cash contribution must be provided in lieu of the provision of an area or areas for public open space equivalent to eight (8) percent of the site value of Lot 1.

### 7. This permit will expire if:

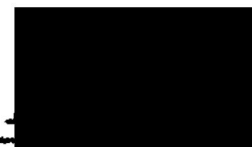
- (a) the subdivision is not commenced within two (2) years of the date of this permit; or
- (b) the subdivision is not completed within five (5) years of the date of commencement.

The responsible authority may extend the periods referred to, if a request is made in writing before the permit expires or within three (3) months afterwards.

*(Note: The starting of the subdivision is regarded by Section 68(3A) of the Planning and Environment Act 1987 as the certification of a plan, and completed is regarded as the registration of the plan).*

Date Issued: 15/2/00

Signature for the  
Responsible Authority:



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CARDINIA SHIRE COUNCIL  
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<h1 style="margin:0;">PLAN OF SUBDIVISION</h1>	Stage No. 	LTO use only <b>EDITION</b>	Plan Number <b>PS441730A</b>
--	---------------	--------------------------------	---------------------------------

Location of Land  
 Parish: Nar Nar Goon  
 Township: \_\_\_\_\_  
 Section: \_\_\_\_\_  
 Crown Allotment: 7 (Part)  
 Crown Portion: \_\_\_\_\_

LTO base record: DCM8  
 Title References C/T V.8576 F.473

Last Plan Reference: LP8840 (Lot 3)  
 Postal Address: 162 Pakenham Road  
 (AI) time of subdivision Pakenham 3810

AMG Co-ordinates E. 366 650  
 101 approx. centre of plan N. 5 786 900 ZONE 55

Vesting of Roads or Reserves

Identifier	Council/Body/Person
Res No 1	Cardinia Shire Council

Council Certification and Endorsement

Council Name: Cardinia Shire Council      Ref: **500/089**

- This Plan is certified under Section 6 of the Subdivision Act 1988.
- This plan is certified under section 11(7) of the Subdivision Act 1988  
 Date of original certification under section 6 \_\_\_\_/\_\_\_\_/\_\_\_\_
- This is a statement of compliance issued under section 21 of the Subdivision Act 1988.

**OPEN SPACE**

(i) A requirement for public open space under Section 18 Subdivision Act 1988 has / has not been made.

(ii) The requirement has been satisfied

(iii) The requirement is to be satisfied in Stage  
 Council delegate  
 Council seal  
 Date    /    /

Re-certified under section 11(7) of the Subdivision Act 1988.

Council delegate  
 Council seal  
 Date    /    /

Notations

Depth Limitation Does not apply <b>APPROVED PLAN</b> PLANNING AND ENVIRONMENT ACT 1987 CARDINIA PLANNING SCHEME PERMIT No. <u>T000009</u> SHEET <u>1</u> OF <u>2</u> SIGNED: DATE: _____	This is/is not a staged subdivision Planning permit No. T000009 Lot 2 is not the subject of this survey. Survey This plan is / is not based on survey This survey has been connected to permanent marks no(s). Proclaimed Survey Area no.
---	--

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Easement Information

Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/in Favour Of
E-1	Drainage	3	This plan	Lot 2 on this plan and Cardinia Shire Council

**APPROVED AMENDED PLAN**  
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 CARDINIA SHIRE COUNCIL  
 DATE: Monday, 11 August 2025

LTO use only

Statement of compliance/  
Exemption Statement

Received ☐

Date    /    /

---

LTO use only

PLAN REGISTERED  
TIME  
DATE    /    /

Assistant Registrar of Titles

Sheet 1 of 2 Sheets

<b>LITTLE &amp; BROSINAN</b> PTY. LTD. A.C.N. 006 434 888 LAND SURVEYORS, PLANNERS & DEVELOPMENT CONSULTANTS 189 JOHNSTON STREET, FITZROY, 3065. TELEPHONE: (03)9417-7311 FAX: (03)9417-1813	LICENSED SURVEYOR Damian Leo Slattery SIGNATURE  DATE 11 / 7 / 00 REF. 3009-1      VERSION 11-7-00	DATE    /    / COUNCIL DELEGATE SIGNATURE _____ Original sheet size A3
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PLAN OF SUBDIVISION

Stage No.

Plan Number

PS441730A

X049709H

20/09/2000 \$0 173



ROAD

99°59' 343.70

PAKENHAM

TREE RESERVE

No 1  
203m<sup>2</sup>

2  
5.975ha

APPROVED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME

PERMIT No. T220634-1

SHEET 2 OF 2

SIGNED [Signature]

DATE 30/1/00 Sheet 2 of 2 Sheets

LICENSED SURVEYOR Damian Leo Slater

ORIGINAL

SCALE 1:1250

LITTLE & BROSNAN PTY. LTD.

LAND SURVEYORS, PLANNERS  
& DEVELOPMENT CONSULTANTS  
189 JOHNSTON STREET, FITZROY, 3065.  
TELEPHONE: (03)9417-7311 FAX: (03)9417-1813

SCALE  
12.5 0 12.5 25 37.5 50  
LENGTHS ARE IN METRES

SIGNATURE [Signature]

DATE 1/1/00

REF. 3009-1

VERSION 1.1-1.3

3009-1.DWG

COUNCIL DELEGATE SIGNATURE

DATE / /

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 46 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



**X049709H**

20/09/2000

\$0

173



Dated 30<sup>TH</sup> AUGUST 2000

Cardinia Shire Council  
"the Council"



"the Owner"

---

### Section 173 Agreement

Property - 162 Pakenham Road,  
Pakenham

---

Duffy & Simon  
Lawyers  
23 John Street  
Pakenham 3810

Tel (03) 59411622  
Ref: dd:gh;00.6.1555

*convey/vendor/cox/f/sect173agree.doc*

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 47 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025





24 June. 2025

Statutory Planning Unit  
Cardinia Shire Council  
Siding Venue, Officer 3809

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 48 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

Dear Sir/Madam,

**T220634 PA**

**Address: L12 PS811821 V12291 F572, 41 Blessing Rise, Pakenham VIC 3810**

**Amendment to the planning permit with proposed alterations**

We are pleased to submit this application to amend the planning permit and endorsed plans of the above development, following the new property owner's intention to revise the plans previously approved.

The proposal includes the following changes:

#### **Layout Plan**

- Front garage setback increased from 8.917 m to 9.590 m.
- Minimum front setback remains unchanged at 6.410 m.
- South side minimum setback increased to 3.120 m.
- West (rear) ground floor setback increased to 9.650 m.

#### **Subfloor Level**

- Lower ground floor gym and veranda have been converted to **subfloor storage**.

#### **Ground Floor**

- Garage overhang has been **removed**.
- Alfresco area has been **reduced** in size.

#### **First Floor**

- **West (rear) setback** increased from **11,000 mm** to **11,200 mm**.
- A **balcony** has been added to the **master bedroom**.

#### **Elevations**

- **East Elevation:**
  - Maximum building height reduced from **4,650 mm** to **4,570 mm**.
  - Site fill increased from **560 mm** to **660 mm**.



- Site cut reduced from **1,256 mm** to **1,240 mm**.
- **North Elevation:**
  - Maximum building height reduced from **6,828 mm** to **6,550 mm**.
  - Site fill increased from **1,016 mm** to **1,070 mm**.
  - First floor rear setback increased from **11,000 mm** to **11,200 mm**.
- **West Elevation:**
  - Site cut reduced from **1,540 mm** to **1,270 mm**.
- **South Elevation:**
  - Site cut increased from **1,750 mm** to **1,860 mm**.

#### **Floor area, garden area and site coverage**

- Floor area- reduced from 445.75 Sq.m to 367.90Sq.m
- Site coverage- reduced from 45% to 38%
- Permeability- increased from 40.91% to 46.55%
- Garden area- increased from 40.90% to 55.57%

#### **Landscape Plan**

- Amended to reflect the above design changes and ensure consistency with the revised development layout.

#### **Supporting Documents**

Please find the following documents attached for your reference:

1. Title – Land ownership documents
2. AU092536S
3. AZ186668H
4. PS611885X
5. PS811821L
6. X049709H
7. Amended Development Plans
8. Amended Landscape Plan

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 49 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



We trust that this submission satisfies the requirements for the proposed amendments. Should you require any further information or clarification, please do not hesitate to contact us. We look forward to your guidance on the next steps in the planning process.

Thanking you.

Yours sincerely,



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 50 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025





28 July 2025

[REDACTED]

**Archiscape Consulting Pty Ltd**  
26 Skyline Drive  
OFFICER VIC 3809

Email: [anu@archiscape.com.au](mailto:anu@archiscape.com.au)

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 51 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

Dear [REDACTED]

**41 Blessing Rise, PAKENHAM (Lot 12 PS811821)**

**Approval of second application under Pakenham Rise Residential Design Guidelines**

---

Thank you for your recent application under the Residential Design Guidelines for 41 Blessing Rise, Pakenham.

It is noted that this request seeks to amend the previous approval granted on 13 September 2022 for the construction of a single dwelling on the subject land.

Following a review of the plans and documentation, the IDRP have agreed to grant a number of variations under the design guidelines thereby approving the plan set under the Pakenham Rise Residential Design Guidelines, subject to conditions. These conditions include:

1. Provision of transparent glazing panels in the front entrance door to provide surveillance of visitors to the site. This should represent 25% of the front entrance door.
2. Restriction on the wing fencing height to the northern and southern side of the dwelling.
3. The footpath between the front entrance and street boundary must be permeable.

It is noted that no eaves or shading devices are provided to the north, east or west elevations. The absence of these will significantly impact on the ESD credentials and livability of the dwelling, particularly in the warmer months. Your client is strongly encouraged to include shading devices on all north, east and west facing windows to protect the dwelling from unnecessary heat gain.

Please find attached the following documents which form part of the approved documentation:



- House Plans – Project: 41 Blessing Rise, Pakenham, Drawn by: ANU / WM, IDRP Received Date 22/07/2025, Sheet no. TP01- TP12.
- Landscape Plan – Project: 20241027 (41 Blessing Rise, Pakenham), Drawn by: Chamith Kellapatha, IDRP Received Date 22/07/2025, Sheet no. L/01.

Should you have any questions or clarification on the approved documentation or the assessment process, please do not hesitate to contact us at [consulting@sje.com.au](mailto:consulting@sje.com.au) or [admin@urbanfieldsgroup.com.au](mailto:admin@urbanfieldsgroup.com.au)

Yours faithfully



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 52 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



TOWN PLANNING ISSUE  
NOT FOR CONSTRUCTION



**NO 43**  
**VACANT LAND AS ON**  
**20/06/2025**

**NOTE :**  
ALL STRUCTURES (INCLUDING FENCES, LETTERBOXES AND METER BOXES) MUST BE CONSTRUCTED TO A MAXIMUM HEIGHT OF 900MM OR RELOCATED CLEAR OF A SPLAYED AREA NEAR THE ACCESS WAY TO ENSURE SAFE SIGHT DISTANCES.

CORNER SPLAY ATLEAST 50%  
CLEAR VISUAL OBSTRUCTIONS

## BLESSING RISE

<b><u>SCHEDULE OF AREAS:</u></b>		
<b>SUBFLOOR STORAGE AREA</b>	:	<b>30.46m<sup>2</sup></b>
<b><u>UPPER GROUND FLOOR</u></b>		
LIVING AREA	:	170.55
GARAGE AREA	:	39.35
PORCHES/ALFRESCO AREA	:	19.27
<b>UPPER GROUND FLOOR AREA</b>	:	<b>229.17m<sup>2</sup></b>
<b><u>FIRST FLOOR</u></b>		
LIVING AREA	:	128.05
BALCONY AREA	:	10.68
<b>FIRST FLOOR AREA</b>	:	<b>138.73m<sup>2</sup></b>
<b>TOTAL FLOOR AREA</b>	:	<b>367.90 sqm. 40 sqrs</b>

<b>Clause 54 of Res Code</b>			
<b>for No. 01 BLESSING RISE, PAKENHAM, VIC 3810</b>			
<b>Lot 12</b>			
<b>A4</b>	<b>BUILDING HEIGHT -MAX.9.0 M</b>		
	<b>PROPOSED-MAX.HEIGHT</b>	<b>8.49</b>	<b>m</b>
<b>A5</b>	<b>SITE COVERAGE -60%</b>		
	<b>SITE AREA</b>	<b>713.00</b>	<b>m2</b>
	<b>PROPOSED + PORCHES &amp; STORAGE</b>	<b>269.04</b>	<b>m2</b>
	<b>TOTAL BUILDING AREA</b>	<b>269.04</b>	<b>m2</b>
	<b>SITE COVERAGE</b>	<b>38%</b>	
<b>A6</b>	<b>PERMEABILITY -20%</b>		
	<b>SITE AREA</b>	<b>713.00</b>	<b>m2</b>
	<b>TOTAL BUILDING AREA</b>	<b>269.04</b>	<b>m2</b>
	<b>DRIVEWAY &amp; PAVEMENTS</b>	<b>112.07</b>	<b>m2</b>
	<b>TOTAL IMPERVIOUS SURFACE</b>	<b>381.11</b>	<b>m2</b>
	<b>TOTAL PERMEABLE SURFACE</b>	<b>331.89</b>	<b>SQ.M</b>
		<b>46.55%</b>	

GARDEN AREA REQUIREMENT-MIN. 35%

TOTAL GARDEN AREA = 396.24 Sq.m  
TOTAL SITE AREA = 713.00 Sq.m

GARDEN AREA PERCENTAGE =  $396.24 / 713.00 \text{ sq.m} = 55.57\%$

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 53 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

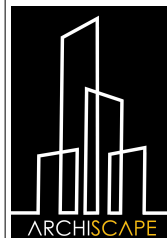
# LAYOUT PLAN

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## 1:200

03	21/07/2025	TOWN PLANNING UPDATES			
02	20/06/2025	CLIENT'S UPDATES			
01	14/10/2022	TOWN PLANNING UPDATES			
No.	DATE	ITEM	No.	DATE	ITEM
REVISIONS			REVISIONS		

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26 SKYLINE DRIVE OFFICER VIC 3809  
info@archiscape.com.au  
PH: 03 5902 4786  
W: www.archiscape.com.au  
ABN: 46 646 597 533

PROJECT TITLE:

**PROPOSED DOUBLE STOREY  
DWELLING**

PROJECT ADDRESS:

**41 BLESSING RISE, PAKENHAM,  
VIC 3810**

TYPE:  
TOWN PLANNING

SCALE:	
1:100	@A3

DATE: 16/08/2022

DRAWN: ANU/WM

SHEET NUMBER:  
**TP-01**

VISION:

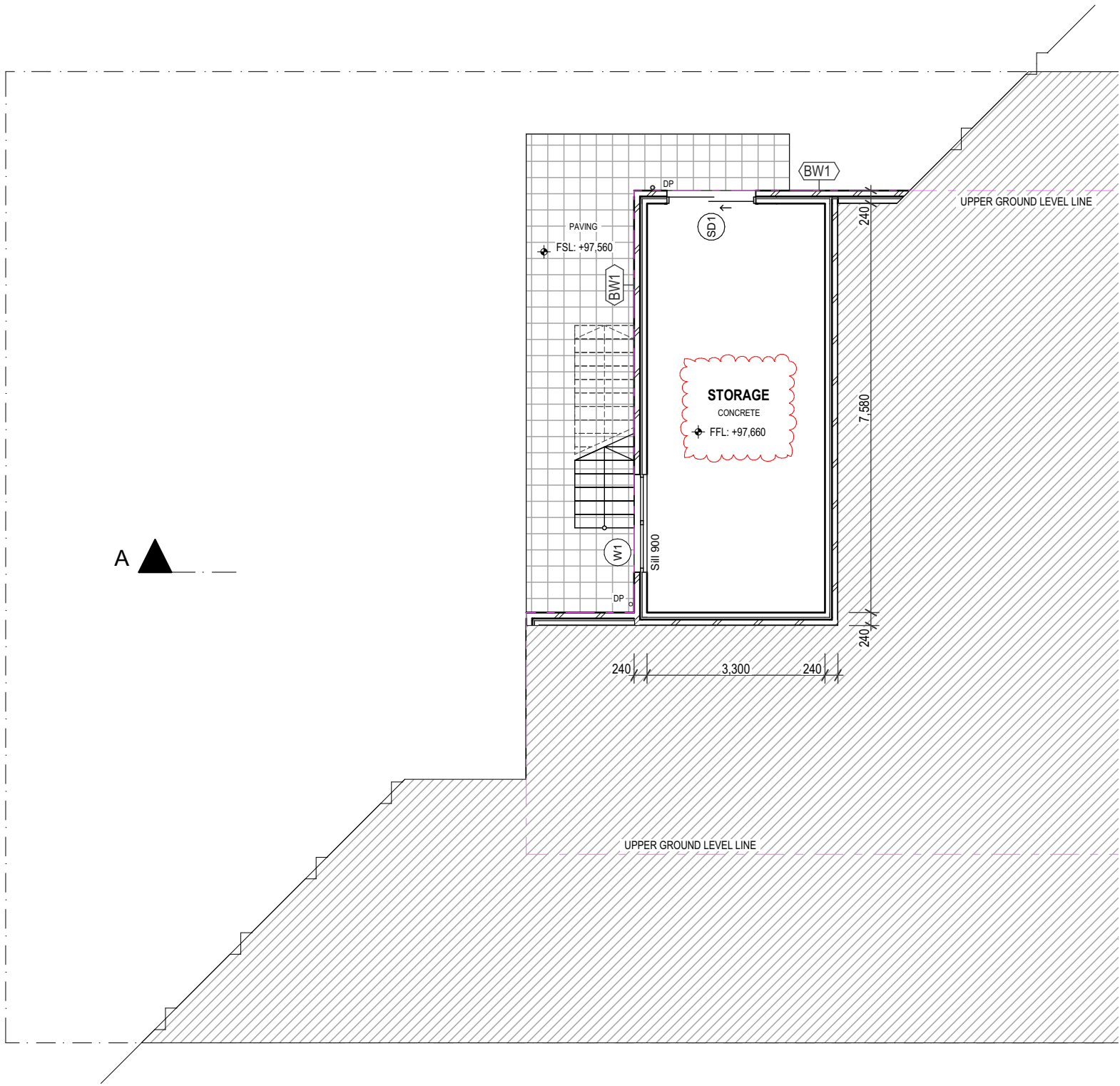
**R-03**



6 STAR ENERGY RATING  
REQUIREMENTS  
REFER ENERGY REPORT FOR  
FURTHER DETAILS



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 54 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

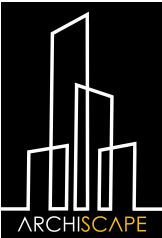


TP  
-

SUBFLOOR STORAGE PLAN  
1:100

01	20/06/2025	CLIENT'S UPDATES			
No.	DATE	ITEM	No.	DATE	ITEM
REVISIONS			REVISIONS		

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ABN: 46 646 597 533

PROJECT TITLE:  
PROPOSED DOUBLE STOREY  
DWELLING

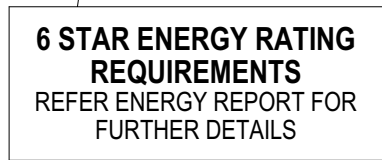
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41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:  
TOWN PLANNING

SCALE:  
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DATE:  
16/08/2022  
DRAWN:  
ANU/WM  
SHEET NUMBER:  
TP-02

REVISION:  
R-01



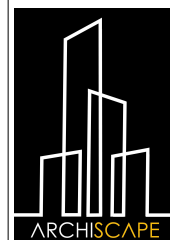


TP
-

UPPER GROUND LEVEL  
1:100

01	20/06/2025	CLIENT'S UPDATES			
No.	DATE	ITEM	No.	DATE	ITEM
REVISIONS			REVISIONS		

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ABN: 46 646 597 533

PROJECT TITLE:

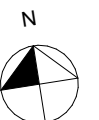
**PROPOSED DOUBLE STOREY  
DWELLING**

PROJECT ADDRESS:

**41 BLESSING RISE, PAKENHAM,  
VIC 3810**

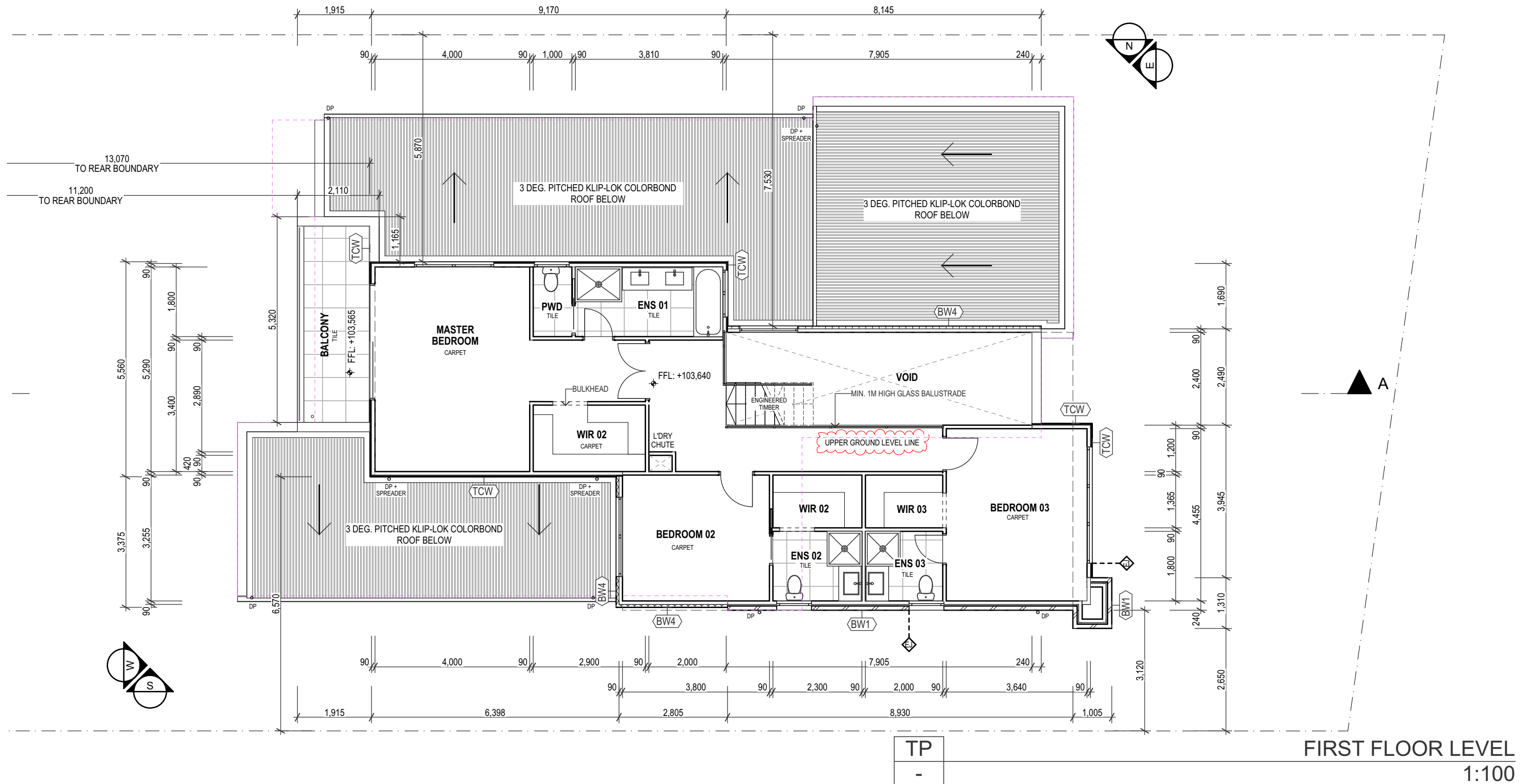
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SCALE:	1:100	@A3
DATE:	16/08/2022	
DRAWN:	ANU/WM	
SHEET NUMBER:	TP-03	



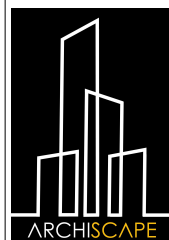
R-01





No.	DATE	ITEM	No.	DATE	ITEM
03	21/07/2025	TOWN PLANNING UPDATES			
02	20/06/2025	CLIENT'S UPDATES			
01	20/11/2024	TOWN PLANNING UPDATES			
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PROJECT TITLE:  
**PROPOSED DOUBLE STOREY  
DWELLING**

PROJECT ADDRESS:  
**41 BLESSING RISE, PAKENHAM,  
VIC 3810**

TYPE:  
TOWN PLANNING

SCALE: 1:100	@A3	
DATE: 16/08/2022		
DRAWN: ANU/WM		
SHEET NUMBER: <b>TP-04</b>	REVISION: <b>R-03</b>	



TOWN PLANNING ISSUE

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APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 57 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

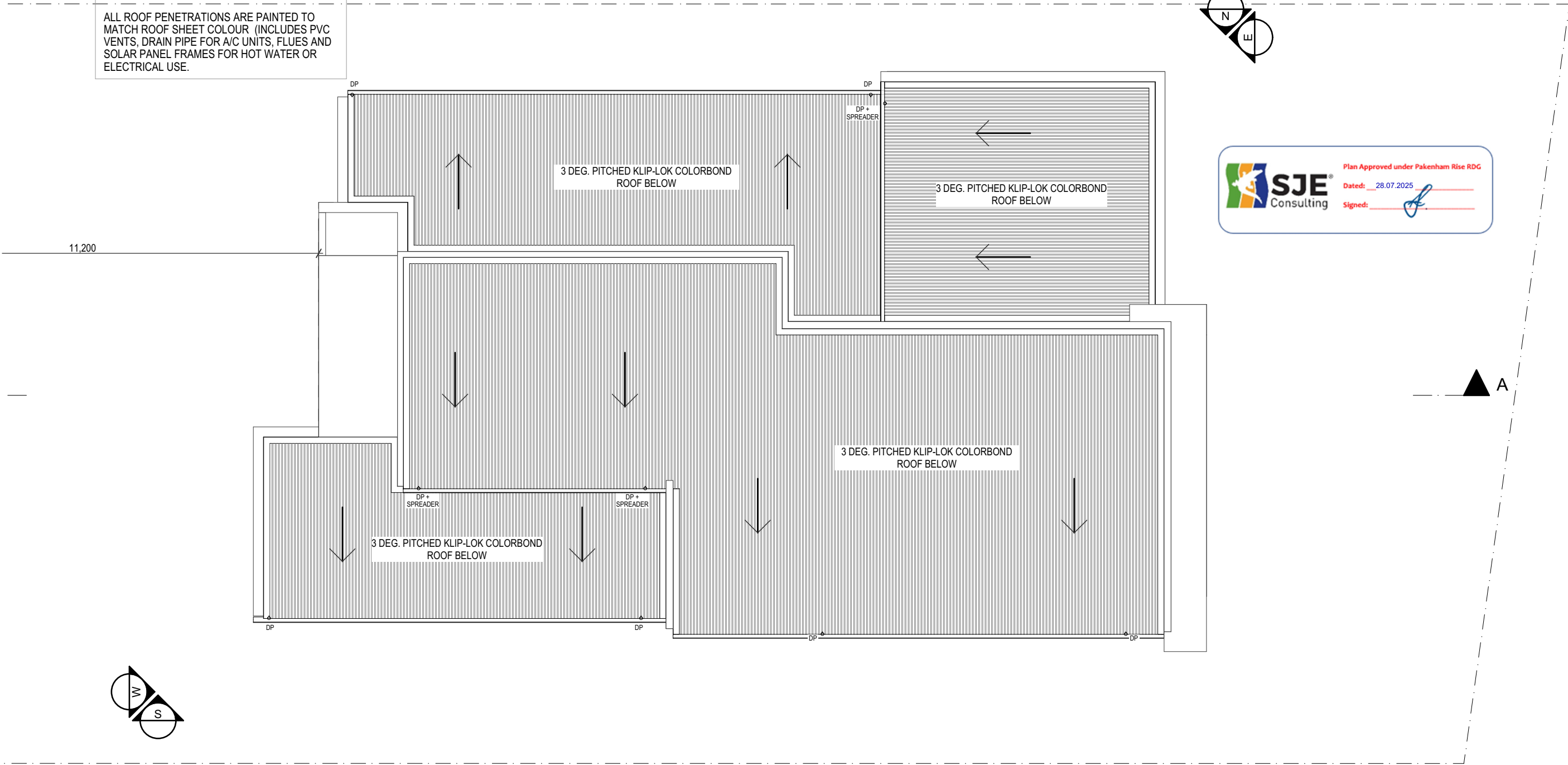
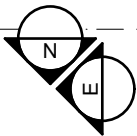
NOTE :

ALL BOX GUTTERS NEED TO BE 300 X 200MM  
MINIMUM SIZE WHERE REQUIRED.

6 STAR ENERGY RATING  
REQUIREMENTS  
REFER ENERGY REPORT FOR  
FURTHER DETAILS

NOTE :

ALL ROOF PENETRATIONS ARE PAINTED TO  
MATCH ROOF SHEET COLOUR (INCLUDES PVC  
VENTS, DRAIN PIPE FOR A/C UNITS, FLUES AND  
SOLAR PANEL FRAMES FOR HOT WATER OR  
ELECTRICAL USE.

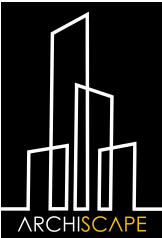


TP  
-

ROOF PLAN  
1:100

No.	DATE	ITEM	No.	DATE	ITEM
02	20/06/2025	CLIENT'S UPDATES			
01	20/11/2024	TOWN PLANNING UPDATES			
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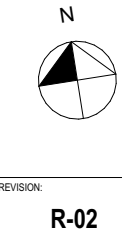
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26 SKYLINE DRIVE OFFICER VIC 3809  
info@archiscape.com.au  
PH: 03 5902 4786  
W: www.archiscape.com.au  
ABN: 46 646 597 533

PROJECT TITLE:  
PROPOSED DOUBLE STOREY  
DWELLING

PROJECT ADDRESS:  
41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:  
TOWN PLANNING

SCALE:  
1:100 @A3  
DATE:  
16/08/2022  
DRAWN:  
ANU/WM  
SHEET NUMBER:  
TP-05



REVISION:  
R-02

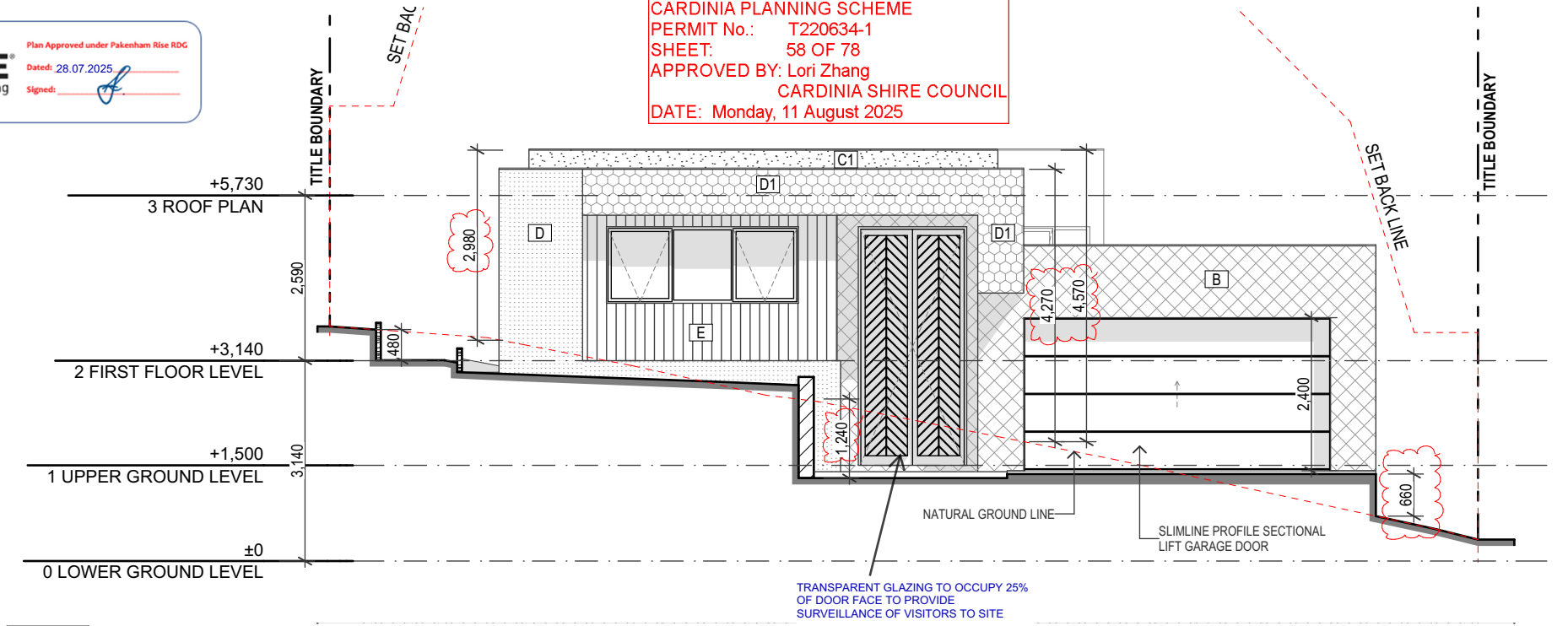
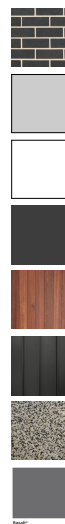


# TOWN PLANNING ISSUE

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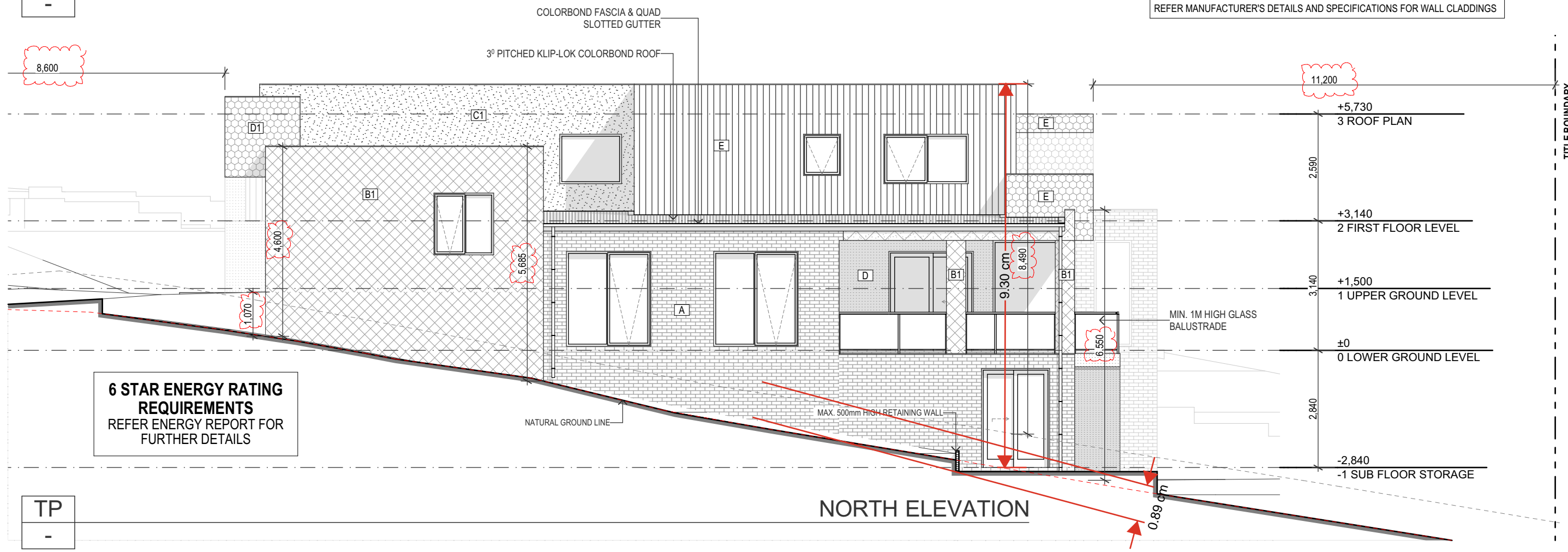
## SCHEDULE OF EXTERNAL FINISHES:

- A - BRICK VENEER FINISH-PGH BRICKS - URBAN ESSENCE - STORM
- B - RENDERED BRICK - COLOUR- DULUX MALAY GREY OR EQUIVALENT
- B1 - RENDERED 75MM UNITEX CLADDING - COLOUR- DULUX MALAY GREY OR EQUIVALENT
- C - RENDERED BRICK - COLOUR- DULUX NATURAL WHITE
- C1 - RENDERED 75MM UNITEX CLADDING - COLOUR- DULUX NATURAL WHITE
- D - RENDERED BRICK - COLOUR- DULUX TICKING OR EQUIVALENT
- D1 - RENDERED 75MM UNITEX CLADDING - COLOUR- DULUX TICKING OR EQUIVALENT
- E - COMPOSITE TONGUE & GROOVE TIMBER CLADDING
- H - KLIP-LOK COLORBOND ROOF- COLOUR- MONUMENT
- I - DRIVEWAY- HIGH QUALITY TEXTURED FINISHED EXPOSED AGGREGATE CONCRETE PAVING
- J - GARAGE DOOR - COLORBOND COLOUR - BASALT



EAST ELEVATION

REFER MANUFACTURER'S DETAILS AND SPECIFICATIONS FOR WALL CLADDINGS

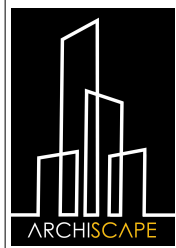


NORTH ELEVATION

6 STAR ENERGY RATING REQUIREMENTS  
REFER ENERGY REPORT FOR FURTHER DETAILS

No.	DATE	ITEM	No.	DATE	ITEM
04	20/06/2025	CLIENT'S UPDATES			
03	20/11/2024	TOWN PLANNING UPDATES			
02	16/01/2023	TOWN PLANNING UPDATES			
01	14/10/2022	TOWN PLANNING UPDATES			
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W: www.archiscape.com.au  
ABN: 46 646 597 533

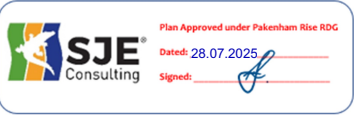
PROJECT TITLE:  
PROPOSED DOUBLE STOREY DWELLING

PROJECT ADDRESS:  
41 BLESSING RISE, PAKENHAM, VIC 3810

TYPE:  
TOWN PLANNING

SCALE: 1:100	@A3
DATE: 16/08/2022	
DRAWN: ANU/WM	
SHEET NUMBER: TP-06	REVISION: R-04





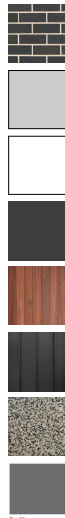
APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 59 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

# TOWN PLANNING ISSUE

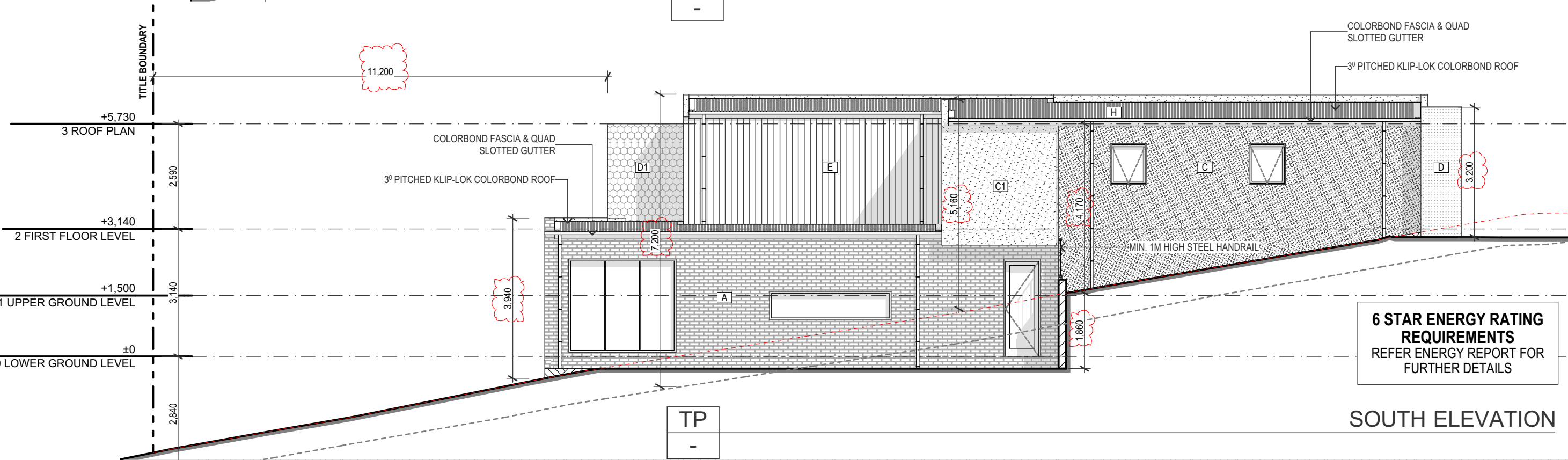
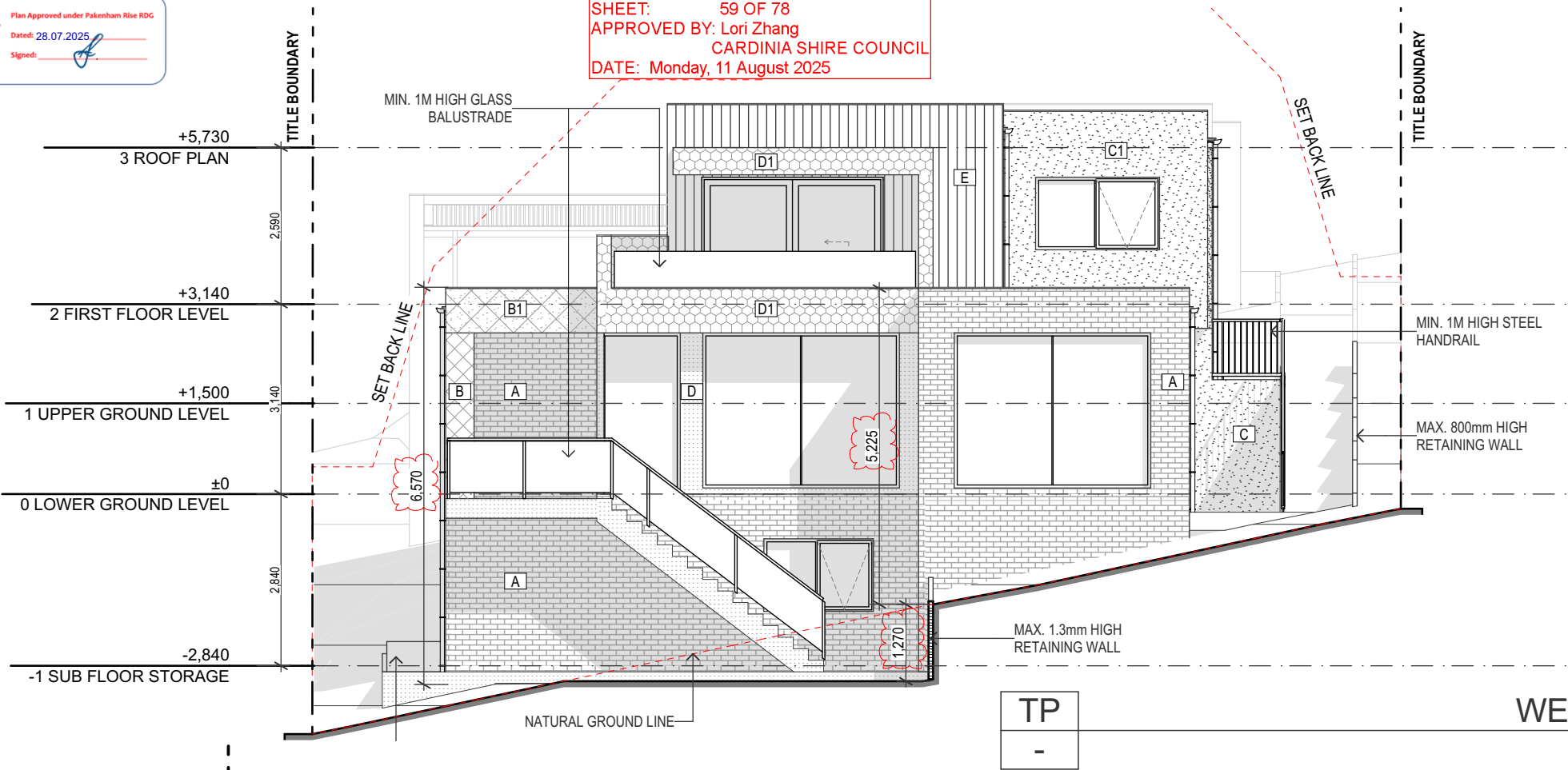
NOT FOR CONSTRUCTION

SCHEDULE OF EXTERNAL FINISHES:

- A - BRICK VENEER FINISH-PGH BRICKS - URBAN ESSENCE - STORM
- B - RENDERED BRICK - COLOUR- DULUX MALAY GREY OR EQUIVALENT
- B1 - RENDERED 75MM UNITEX CLADDING - COLOUR- DULUX MALAY GREY OR EQUIVALENT
- C - RENDERED BRICK - COLOUR- DULUX NATURAL WHITE
- C1 - RENDERED 75MM UNITEX CLADDING - COLOUR- DULUX NATURAL WHITE
- D - RENDERED BRICK - COLOUR- DULUX TICKING OR EQUIVALENT
- D1 - RENDERED 75MM UNITEX CLADDING - COLOUR- DULUX TICKING OR EQUIVALENT
- E - COMPOSITE TONGUE & GROOVE TIMBER CLADDING
- H - KLIP-LOK COLORBOND ROOF- COLOUR- MONUMENT
- I - DRIVEWAY- HIGH QUALITY TEXTURED FINISHED EXPOSED AGGREGATE CONCRETE PAVING
- J - GARAGE DOOR - COLORBOND COLOUR - BASALT



REFER MANUFACTURER'S DETAILS AND SPECIFICATIONS FOR WALL CLADDINGS

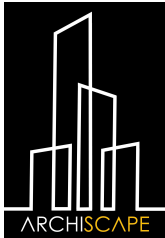


6 STAR ENERGY RATING  
REQUIREMENTS  
REFER ENERGY REPORT FOR  
FURTHER DETAILS

No.	DATE	ITEM	No.	DATE	ITEM
04	20/06/2025	CLIENT'S UPDATES			
03	09/01/2025	TOWN PLANNING UPDATES			
02	16/01/2023	TOWN PLANNING UPDATES			
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PH: 03 5902 4786  
W: www.archiscape.com.au  
ABN: 46 646 597 533

PROJECT TITLE:

PROPOSED DOUBLE STOREY  
DWELLING

PROJECT ADDRESS:

41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:

TOWN PLANNING

SCALE:

1:100 @A3

DATE:

16/08/2022

DRAWN:

ANU/WM

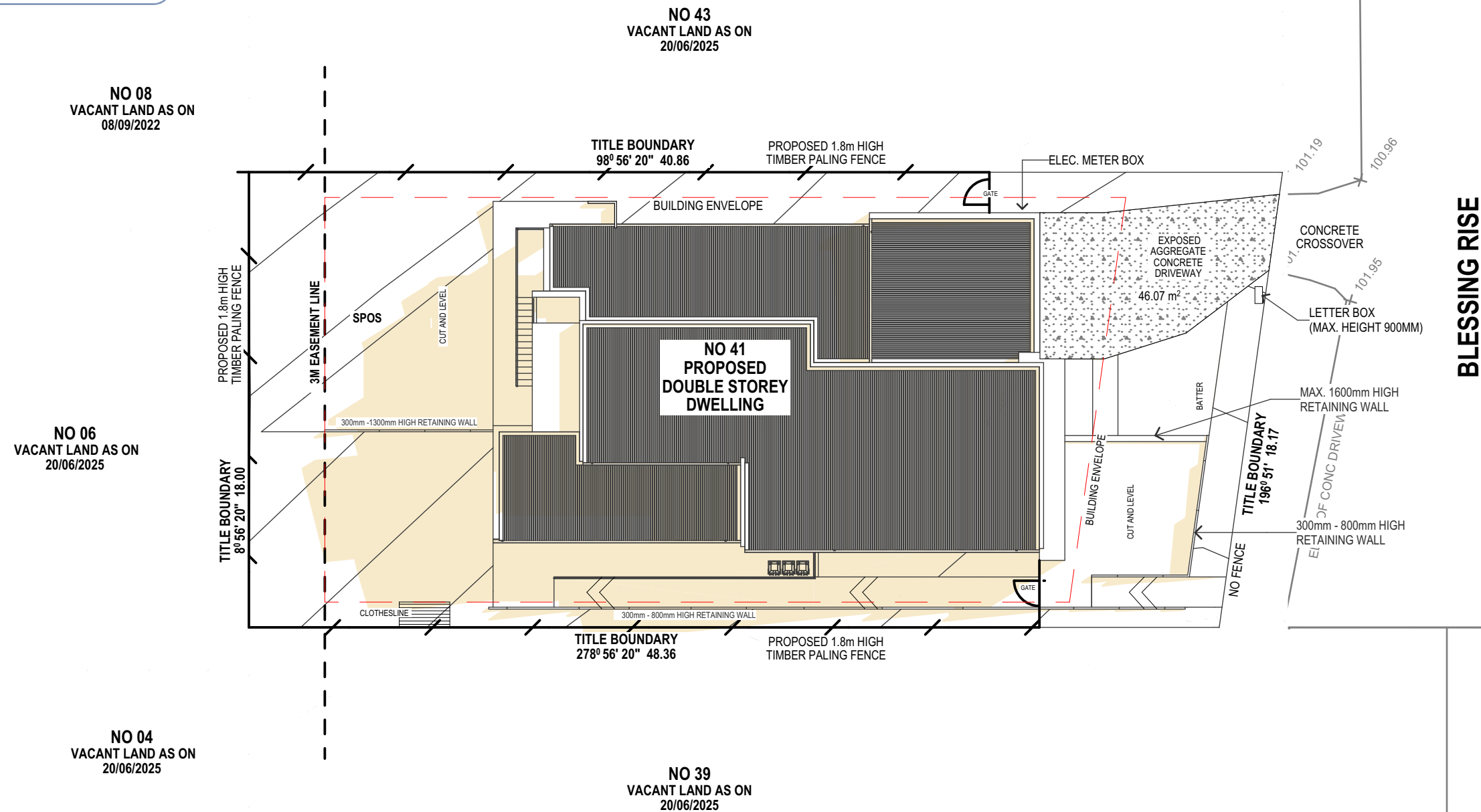
SHEET NUMBER:

TP-07

REVISION:

R-04





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APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
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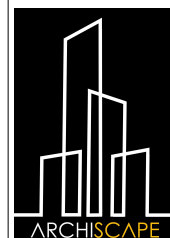
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REFER ENERGY REPORT FOR FURTHER DETAILS

TP  
-

## SHADOW DIAGRAM AT 09.00 AM

04	20/06/2025	CLIENT'S UPDATES			
03	09/01/2025	TOWN PLANNING UPDATES			
02	16/01/2023	TOWN PLANNING UPDATES			
01	14/10/2022	TOWN PLANNING UPDATES			
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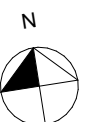
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PROJECT ADDRESS:

**41 BLESSING RISE, PAKENHAM,  
VIC 3810**

TYPE:  
TOWN PLANNING

SCALE:	1:100	@A3
DATE:	16/08/2022	
DRAWN:	ANU/WM	
SHEET NUMBER:	TP-08	



R-04



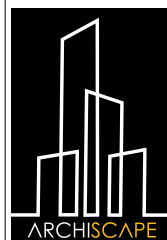


**6 STAR ENERGY RATING REQUIREMENTS**  
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02	16/01/2023	TOWN PLANNING UPDATES			
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PROJECT TITLE:

**PROPOSED DOUBLE STOREY DWELLING**

PROJECT ADDRESS:

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VIC 3810**

TYPE:  
TOWN PLANNING

SCALE:	
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DATE: 16/08/2022

DRAWN: ANU/WM

SHEET NUMBER:  
**TP-09**

REVISION:

**R-04**



**NO 43**  
**VACANT LAND AS ON**  
**20/06/2025**

[illegible]

**NO 04**  
**VACANT LAND AS ON**  
**20/06/2025**

**NO 39**  
**VACANT LAND AS ON**  
**20/06/2025**

## BLESSING RISE

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 62 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

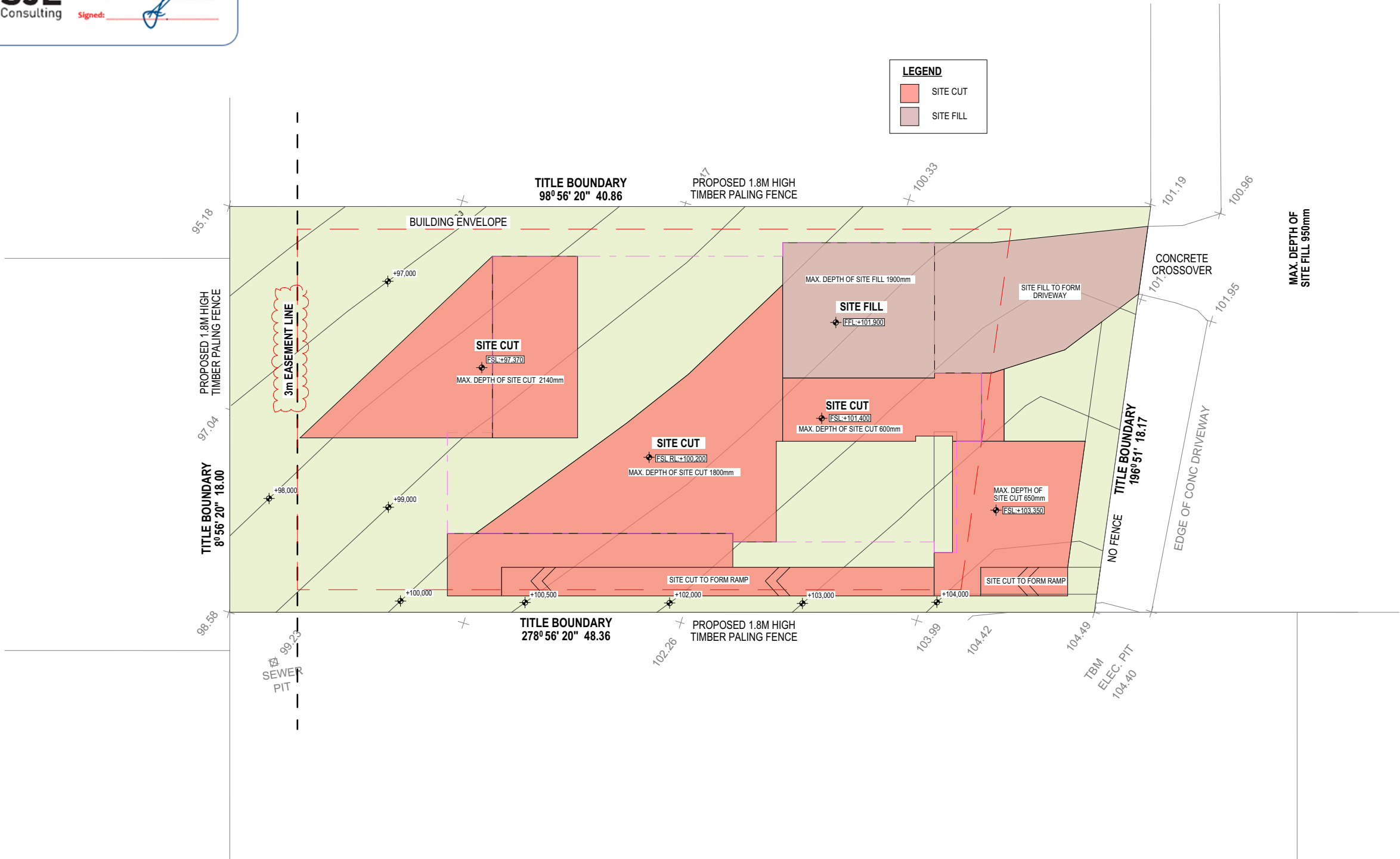
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REFER ENERGY REPORT FOR FURTHER DETAILS

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SHADOW DIAGRAM AT 03.00 PM

[illegible]





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PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 63 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

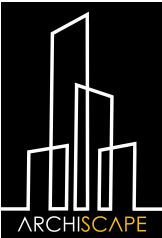
TP  
-

SITE CUT & FILL PLAN  
1:200

6 STAR ENERGY RATING  
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PROJECT ADDRESS:  
41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:  
TOWN PLANNING

SCALE:  
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16/08/2022  
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SHEET NUMBER:  
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R-03



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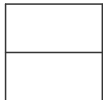
VIEW FROM THE EAST



VIEW FROM THE SOUTH EAST



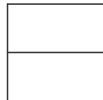
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PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 64 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



VIEW FROM THE NORTH WEST



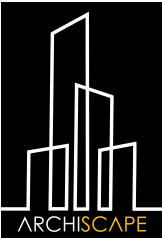
VIEW FROM THE NORTH EAST



VIEW FROM THE SOUTH WEST

03	24/09/2025	TOWN PLANNING UPDATES			
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REVISIONS			REVISIONS		

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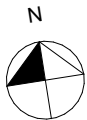
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PROPOSED DOUBLE STOREY  
DWELLING

PROJECT ADDRESS:  
41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:  
TOWN PLANNING














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ANU/WM  
SHEET NUMBER:  
TP-12

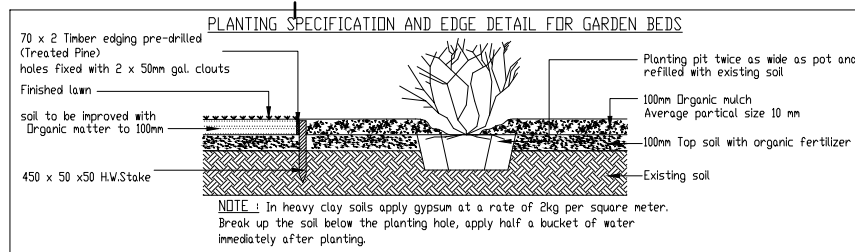
REVISION:  
R-03







	PROPOSED ADVANCE CANOPY TREES REFER TO PLANT SCHEDULE
	PROPOSED MEDIUM SHRUBS REFER TO PLANT SCHEDULE
	SMALL SHRUBS AND GROUNDCOVERS REFER TO PLANT SCHEDULE
	CASCADING PLANTS REFER TO PLANT SCHEDULE
	- LAWN AREA
	- LILYDALE TOPPINGS
	CONCRETE PAVEMENT
	PAVING WITH DECORATIVE PEBBLES
	PAVING WITH LILYDALE TOPPINGS
	CONCRETE SLEEPER PAVING PAVING WITH DECORATIVE PEBBLES
	EXPPOSED ROCK BOULDERS PAVING WITH DECORATIVE PEBBLES
	STONE OR CONCRETE SLEEPER CHECK WITH ENG.DRAWINGS
	WEATHER PROOF GARDEN LIGHTING



## CONCRETE SLEEPER PAVING



*EXPOSED ROCK BOULDERS*

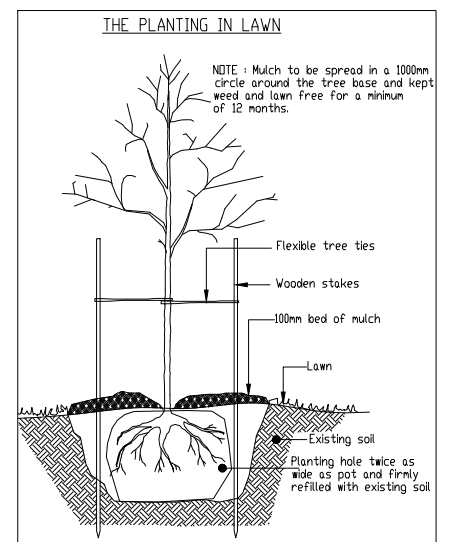
PAVING WITH DECORATIVE  
PEBBLES

**NOTE :** Canopy Trees to be minimum of 1.5 m.  
at the time of planting.  
All Garden beds must have hard.  
Garden edging with Treated Pine.  
1200 dia Organic mulch around the  
all the trees in the lawn areas

storage shed and Rainwater tank.  
for the proposed unit, should be above.  
the existing ground level.

All new plants along northern.  
Boundary to be minimum height of.  
1.5 m at the time of planting.

CODE	BOTANICAL NAME	COMMON NAME	M A T U R E S		POT (mm)	QT
			HEIGHT (mm)	WIDTH (mm)		
Hb	Hardenbergia violacea	Purple coral pea	1800	400	140	13
Rs	Rosmarinus officinalis	Rosemary	700	400	140	05
Bs	Banksia integrifolia	Coastal banksia	15000	3000	450	01
Sp	Syzygium australe ' Pinacle '	Pinacle Lilly Pilly	3000	1200	250	06
Cs	Callistemon viminalis 'slim '	slim bottle brush	3000	1200	250	12
Dr	Dianella revoluta	Black anther lily	500	500	140	16
Pf	Scaevola aemula	Purple fan flower commons	300	900	140	10
Lt	Lomandra Longifolia 'Tanika'	Tanika Lomandra	700	700	140	04
Ca	Correa alba	White Correa	1200	1000	140	09
Ag	Acer griseum	Paperbark Maple	7000	5000	450	01
Ap	Anigozanthos 'Pink Joey'	Kangaroo paw cultivar	500	400	140	08
Ab	Anigozanthos 'bush ballad'	Kangaroo paw	500	400	140	09
Cr	Correa reflexa	common correa	1200	1000	140	08
Pc	Pyrus calleryana	Ornamental Pear	8000	3000	450	10



	<p><i>CHAMITH KELLAPATHA MSc Landscape Design</i></p> <p><i>LANDSCAPE DESIGNER</i></p>					<p>DRAWING TITLE</p> <p><i>LANDSCAPE LAY OUT PLAN</i></p>
	<p>977,HIGH STREET ROAD</p> <p>GLEN WAVERLRY VIC 3150</p> <p>0450 961 591 / 0403 290 991      EMAIL: ckellapatha@gmail.com</p>					<p>PROJECT TITLE</p> <p><i>PROPOSED DOUBLE STOREY DWELLING</i></p> <p><i>AT THE REAR AT 41</i></p>
	<p>DESND</p> <p>CK</p>	<p>DRAWN</p> <p>CK</p>	<p>APPRVD</p> <p>DATE</p>	<p>SCALE</p> <p>1/100</p>	<p>SHEET No</p> <p>L/01</p>	<p>DRG No</p> <p><i>20241027-R</i></p>
					<p><i>PAKENHAM</i></p>	



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 66 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

TOWN PLANNING ISSUE  
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NO 43  
VACANT LAND AS ON  
20/06/2025

NOTE :  
ALL STRUCTURES (INCLUDING FENCES, LETTERBOXES AND  
METER BOXES) MUST BE CONSTRUCTED TO A MAXIMUM  
HEIGHT OF 900MM OR RELOCATED CLEAR OF A SPLAYED AREA  
NEAR THE ACCESS WAY TO ENSURE SAFE SIGHT DISTANCES.

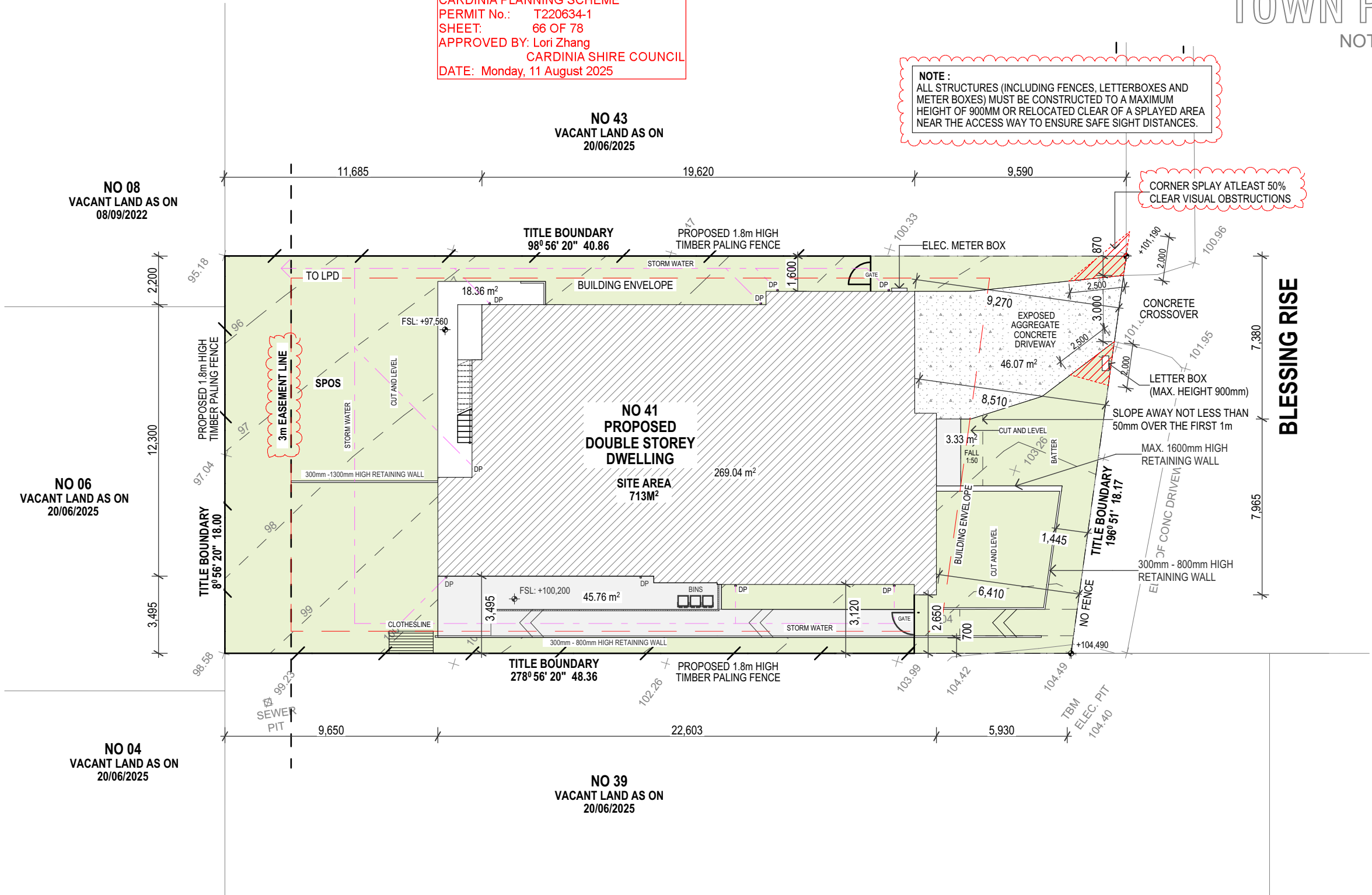
CORNER SPLAY ATLEAST 50%  
CLEAR VISUAL OBSTRUCTIONS

BLESSING RISE

SCHEDULE OF AREAS:	
SUBFLOOR STORAGE AREA	30.46m <sup>2</sup>
UPPER GROUND FLOOR	
LIVING AREA	170.55
GARAGE AREA	39.35
PORCHES/ALFRESCO AREA	19.27
UPPER GROUND FLOOR AREA	229.17m <sup>2</sup>
FIRST FLOOR	
LIVING AREA	128.05
BALCONY AREA	10.68
FIRST FLOOR AREA	138.73m <sup>2</sup>
TOTAL FLOOR AREA	367.90 sqm. 40 sqrs

Clause 54 of Res Code			
for No. 41 BLESSING RISE, PAKENHAM, VIC 3810			
Lot 12			
A4	BUILDING HEIGHT -MAX.9.0 M		
	PROPOSED -MAX.HEIGHT	8.49	m
A5	SITE COVERAGE -60%		
	SITE AREA	713.00	m2
	PROPOSED + PORCHES & STORAGE	269.04	m2
	TOTAL BUILDING AREA	269.04	m2
	SITE COVERAGE	38%	
A6	PERMEABILITY -20%		
	SITE AREA	713.00	m2
	TOTAL BUILDING AREA	269.04	m2
	DRIVEWAY & PAVEMENTS	112.07	m2
	TOTAL IMPERVIOUS SURFACE	381.11	m2
	TOTAL PERMEABLE SURFACE	331.89	SQ.M
		46.55%	

GARDEN AREA REQUIREMENT-MIN. 35%  
  
TOTAL GARDEN AREA = 396.24 Sq.m  
TOTAL SITE AREA = 713.00 Sq.m  
  
GARDEN AREA PERCENTAGE = 396.24 / 713.00 sq.m = 55.57%

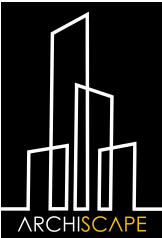


TP  
-

LAYOUT PLAN  
1:200

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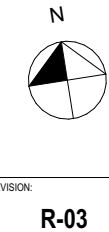
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41 BLESSING RISE, PAKENHAM,  
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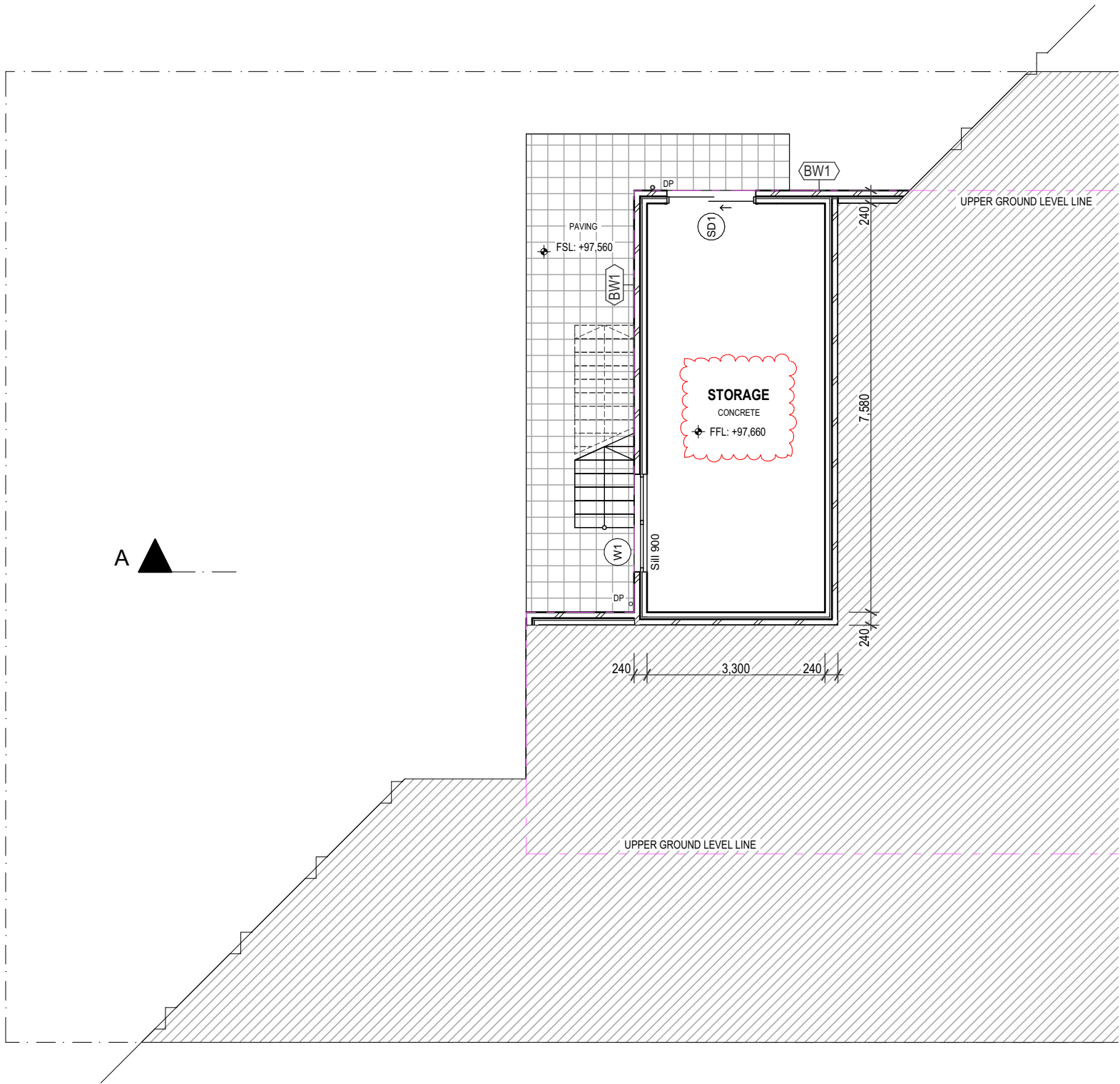
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16/08/2022  
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6 STAR ENERGY RATING  
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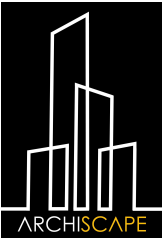
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TP  
-

SUBFLOOR STORAGE PLAN  
1:100

01	20/06/2025	CLIENT'S UPDATES			
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TOWN PLANNING

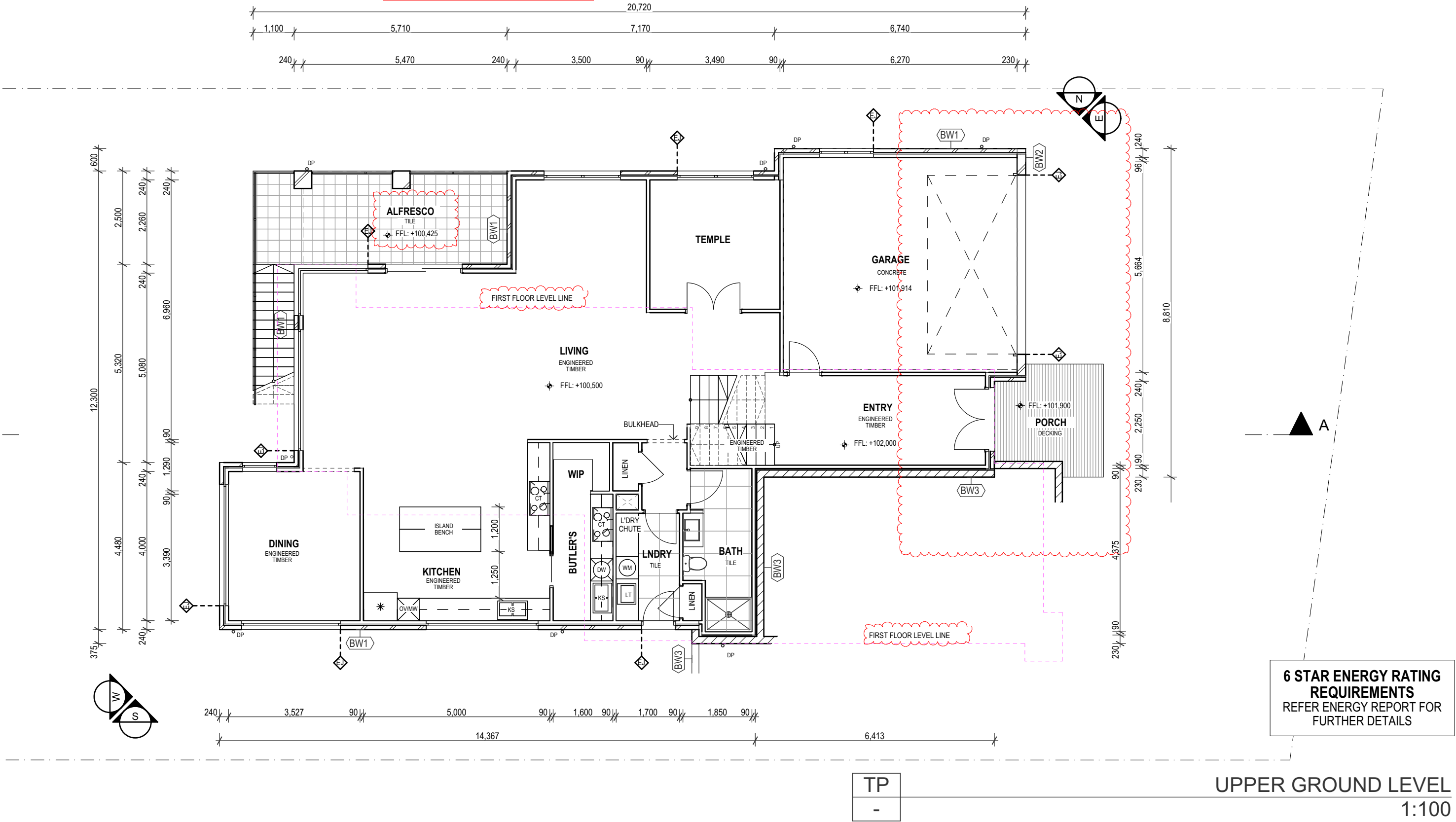
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TP-02

REVISION:  
R-01



APPROVED AMENDED PLAN  
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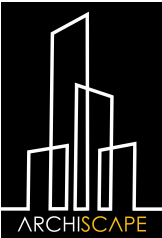


6 STAR ENERGY RATING  
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UPPER GROUND LEVEL  
1:100

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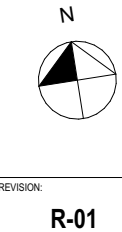
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info@archiscape.com.au  
PH: 03 5902 4786  
W: www.archiscape.com.au  
ABN: 46 646 597 533

PROJECT TITLE:  
PROPOSED DOUBLE STOREY  
DWELLING

PROJECT ADDRESS:  
41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:  
TOWN PLANNING

SCALE:  
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DATE:  
16/08/2022  
DRAWN:  
ANU/WM  
SHEET NUMBER:  
TP-03



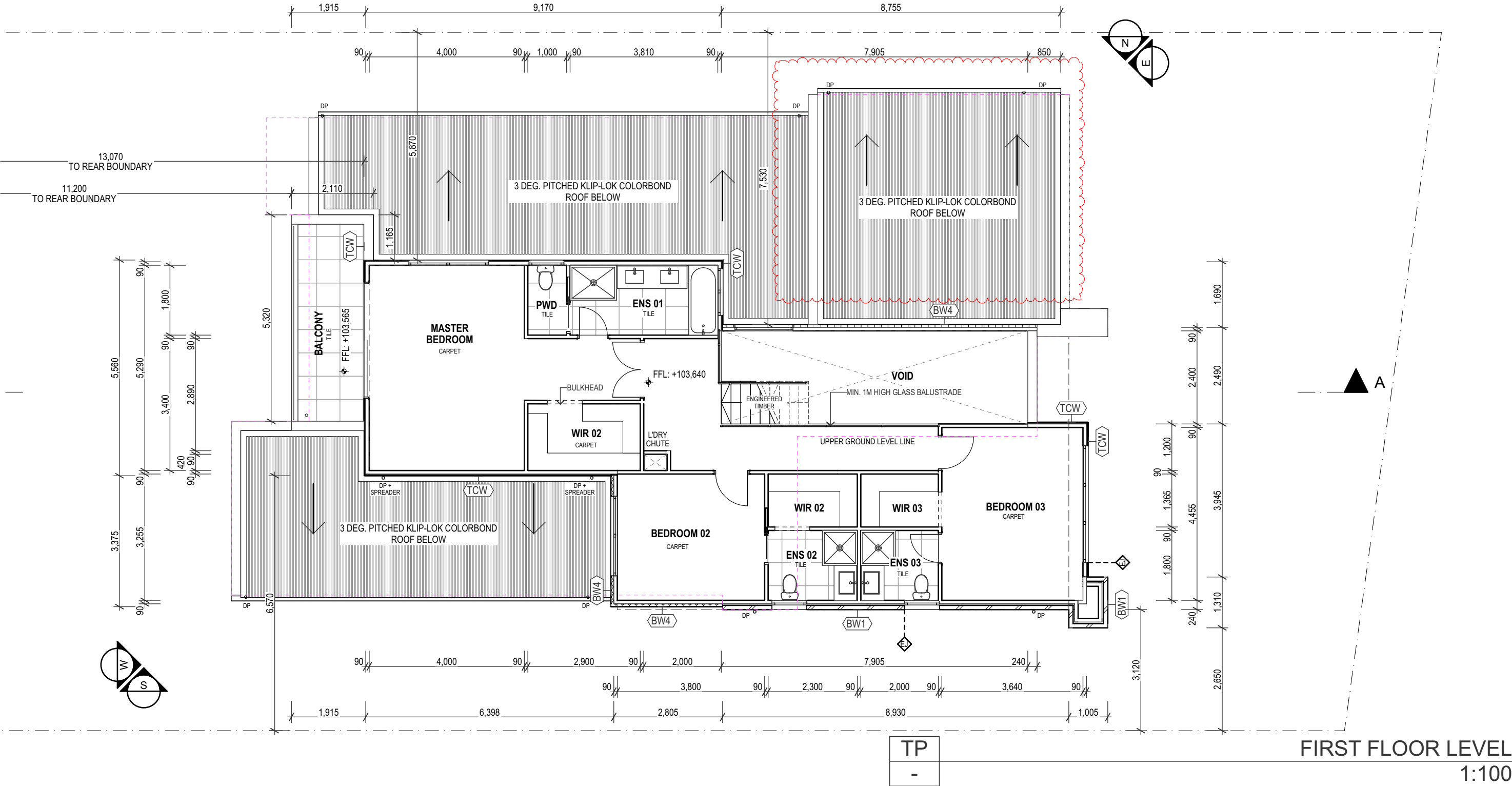
REVISION:  
R-01



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 69 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

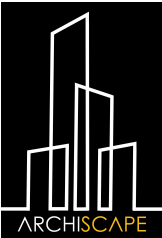
6 STAR ENERGY RATING  
REQUIREMENTS  
REFER ENERGY REPORT FOR  
FURTHER DETAILS

TOWN PLANNING ISSUE  
NOT FOR CONSTRUCTION



No.	DATE	ITEM	No.	DATE	ITEM
05	01/08/2025	TOWN PLANNING UPDATES			
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PROJECT TITLE:  
PROPOSED DOUBLE STOREY  
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PROJECT ADDRESS:  
41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:  
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SCALE:  
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DATE:  
16/08/2022  
DRAWN:  
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SHEET NUMBER:  
TP-04

REVISION:  
R-05



APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 70 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

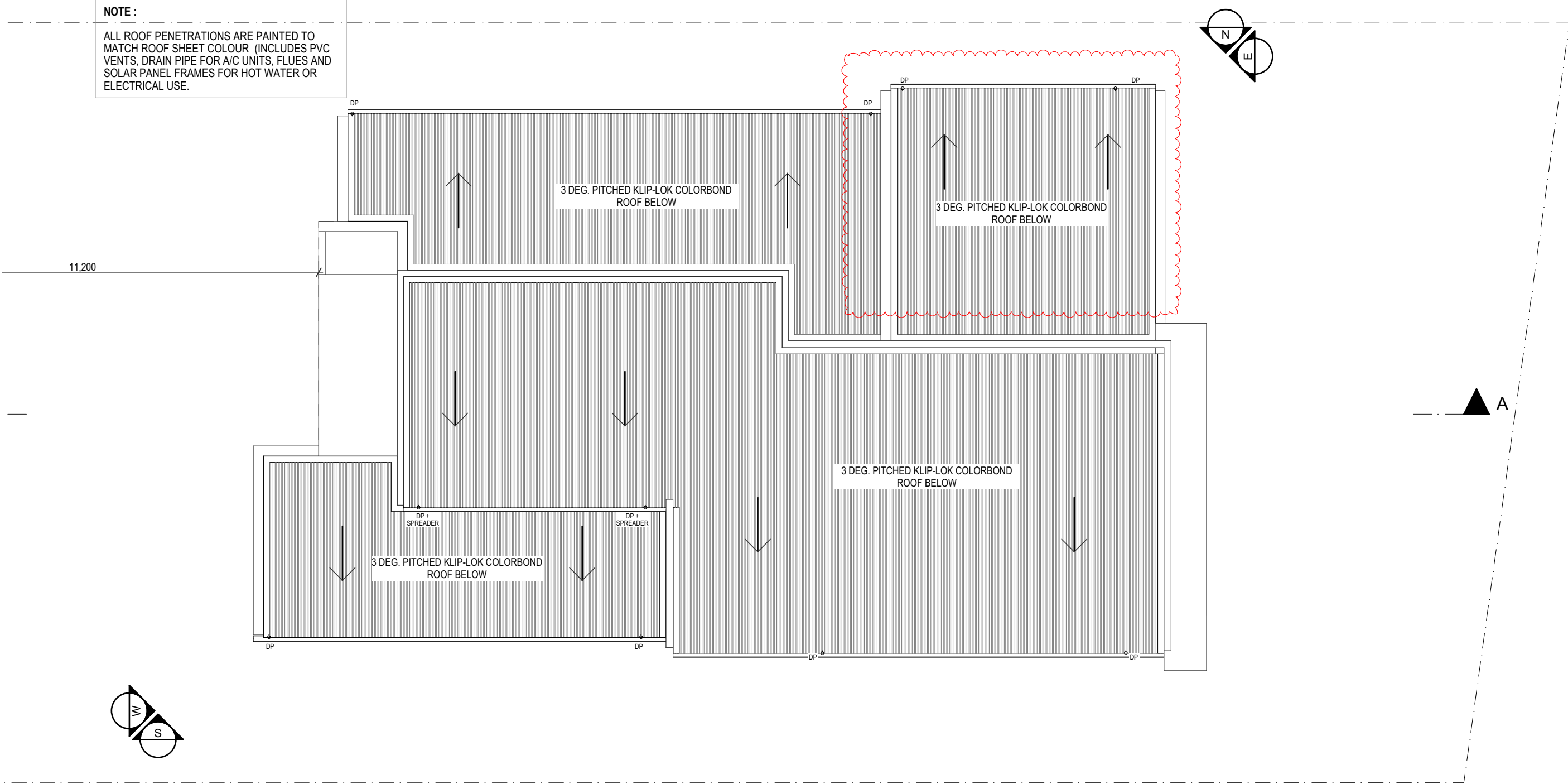
NOTE :

ALL BOX GUTTERS NEED TO BE 300 X 200MM  
MINIMUM SIZE WHERE REQUIRED.

6 STAR ENERGY RATING  
REQUIREMENTS  
REFER ENERGY REPORT FOR  
FURTHER DETAILS

NOTE :

ALL ROOF PENETRATIONS ARE PAINTED TO  
MATCH ROOF SHEET COLOUR (INCLUDES PVC  
VENTS, DRAIN PIPE FOR A/C UNITS, FLUES AND  
SOLAR PANEL FRAMES FOR HOT WATER OR  
ELECTRICAL USE.

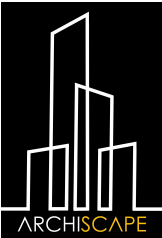


TP  
-

ROOF PLAN  
1:100

No.	DATE	ITEM	No.	DATE	ITEM
05	01/08/2025	TOWN PLANNING UPDATES			
02	20/06/2025	CLIENT'S UPDATES			
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SHEET NUMBER:  
TP-05

REVISION:  
R-05

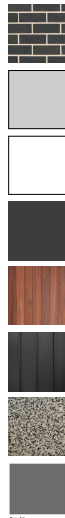


APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 71 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

TOWN PLANNING ISSUE  
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SCHEDULE OF EXTERNAL FINISHES:

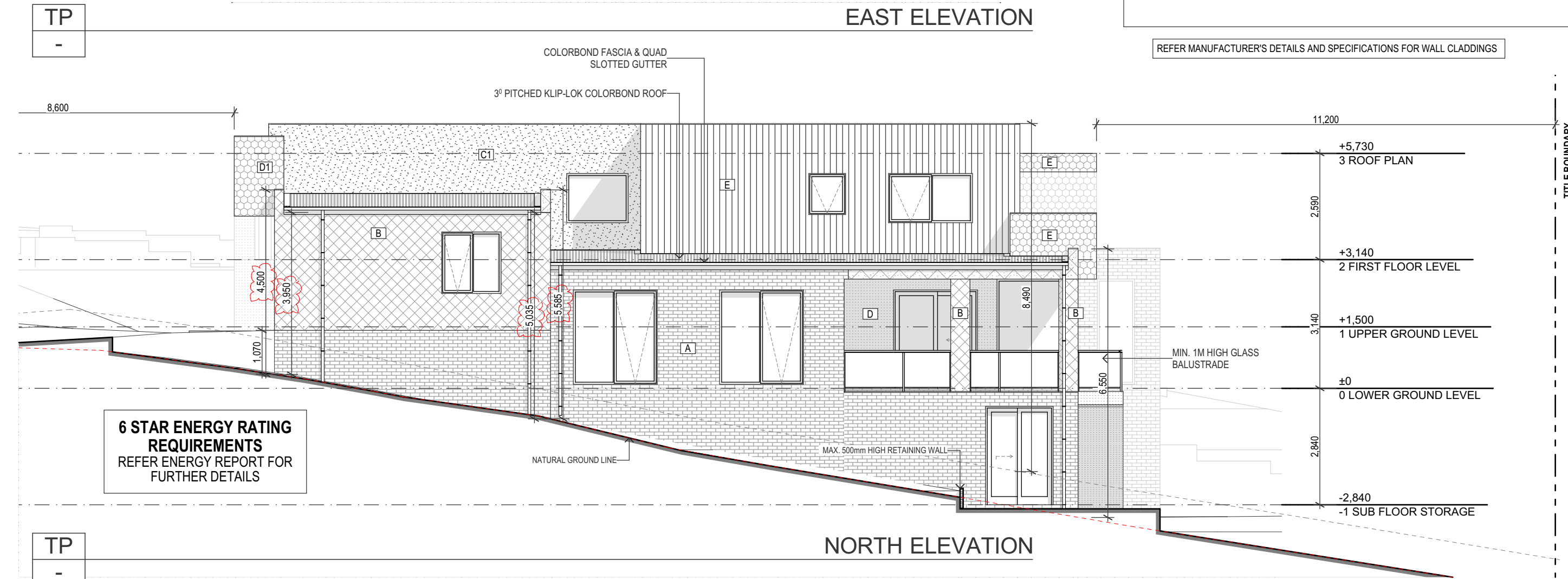
- A - BRICK VENEER FINISH-PGH BRICKS - URBAN ESSENCE - STORM
- B - RENDERED BRICK- COLOUR- DULUX MALAY GREY OR EQUIVALENT  
B1 - RENDERED 75MM UNITEX CLADDING - COLOUR- DULUX MALAY GREY OR EQUIVALENT
- C - RENDERED BRICK - COLOUR- DULUX NATURAL WHITE  
C1 - RENDERED 75MM UNITEX CLADDING - COLOUR- DULUX NATURAL WHITE
- D - RENDERED BRICK - COLOUR- DULUX TICKING OR EQUIVALENT  
D1 - RENDERED 75MM UNITEX CLADDING - COLOUR- DULUX TICKING OR EQUIVALENT
- E - COMPOSITE TONGUE & GROOVE TIMBER CLADDING
- H - KLIP-LOK COLORBOND ROOF- COLOUR- MONUMENT
- I - DRIVEWAY- HIGH QUALITY TEXTURED FINISHED EXPOSED AGGREGATE CONCRETE PAVING
- J - GARAGE DOOR - COLORBOND COLOUR - BASALT



REFER MANUFACTURER'S DETAILS AND SPECIFICATIONS FOR WALL CLADDINGS

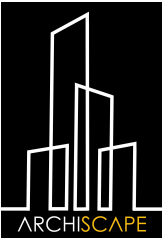
EAST ELEVATION

NORTH ELEVATION



No.	DATE	ITEM	No.	DATE	ITEM
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ABN: 46 646 597 533

PROJECT TITLE:  
PROPOSED DOUBLE STOREY  
DWELLING

PROJECT ADDRESS:  
41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:  
TOWN PLANNING

SCALE:  
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DATE:  
16/08/2022  
DRAWN:  
ANU/WM  
SHEET NUMBER:  
TP-06  
REVISION:  
R-05



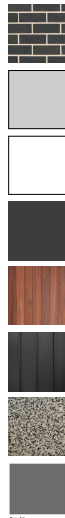
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PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 72 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

# TOWN PLANNING ISSUE

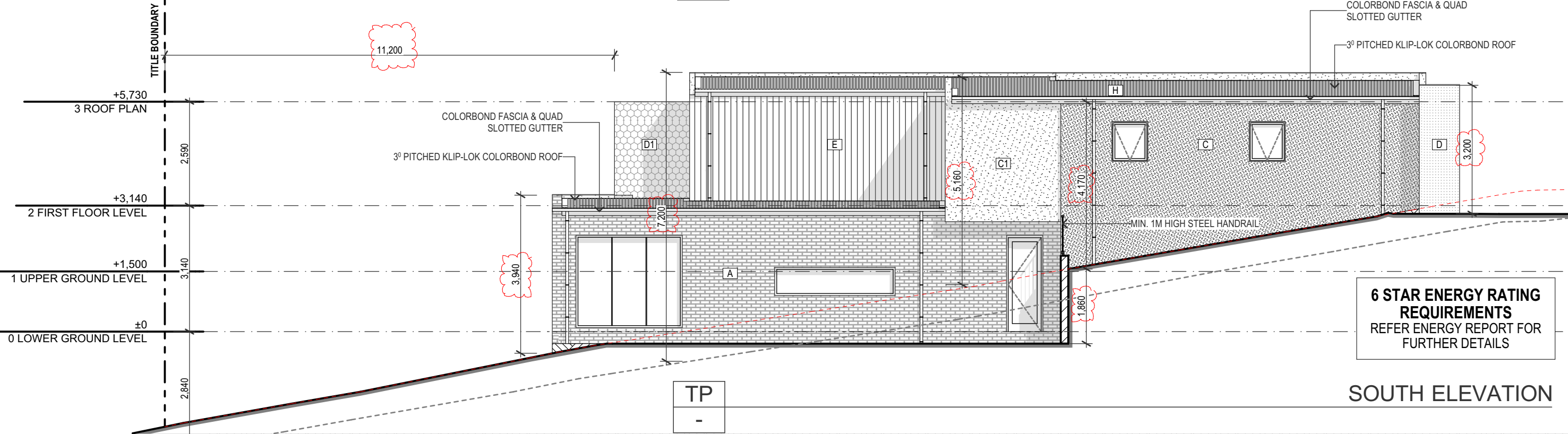
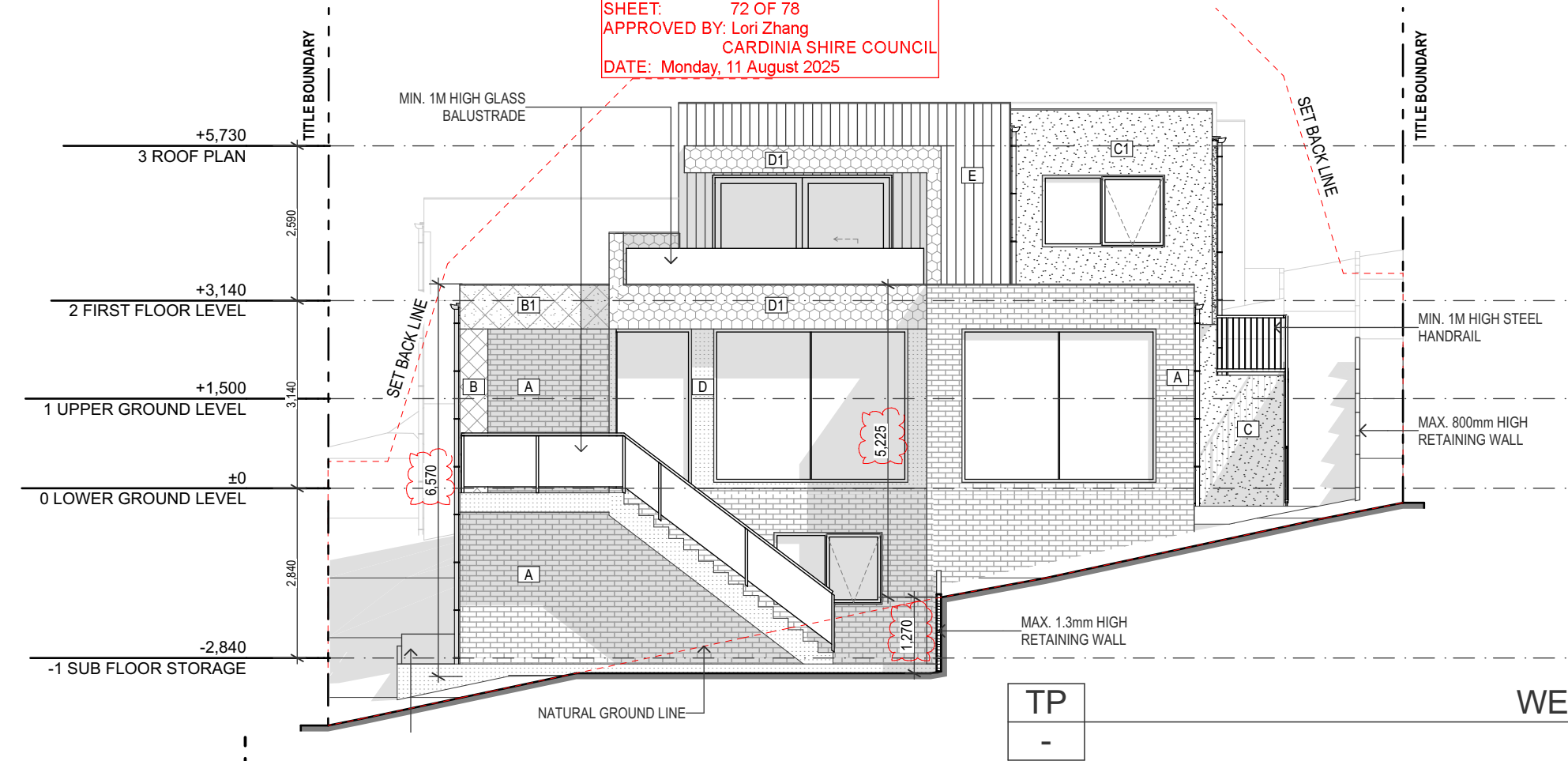
NOT FOR CONSTRUCTION

## SCHEDULE OF EXTERNAL FINISHES:

- A** - BRICK VENEER FINISH-PGH BRICKS - URBAN ESSENCE - STORM
- B** - RENDERED BRICK - COLOUR- DULUX MALAY GREY OR EQUIVALENT  
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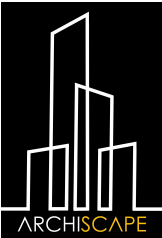


**6 STAR ENERGY RATING REQUIREMENTS**  
REFER ENERGY REPORT FOR FURTHER DETAILS

No.	DATE	ITEM	No.	DATE	ITEM
04	20/06/2025	CLIENT'S UPDATES			
03	09/01/2025	TOWN PLANNING UPDATES			
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ABN: 46 646 597 533

PROJECT TITLE:  
**PROPOSED DOUBLE STOREY DWELLING**

PROJECT ADDRESS:  
**41 BLESSING RISE, PAKENHAM, VIC 3810**

TYPE:  
TOWN PLANNING

SCALE:  
1:100 @A3

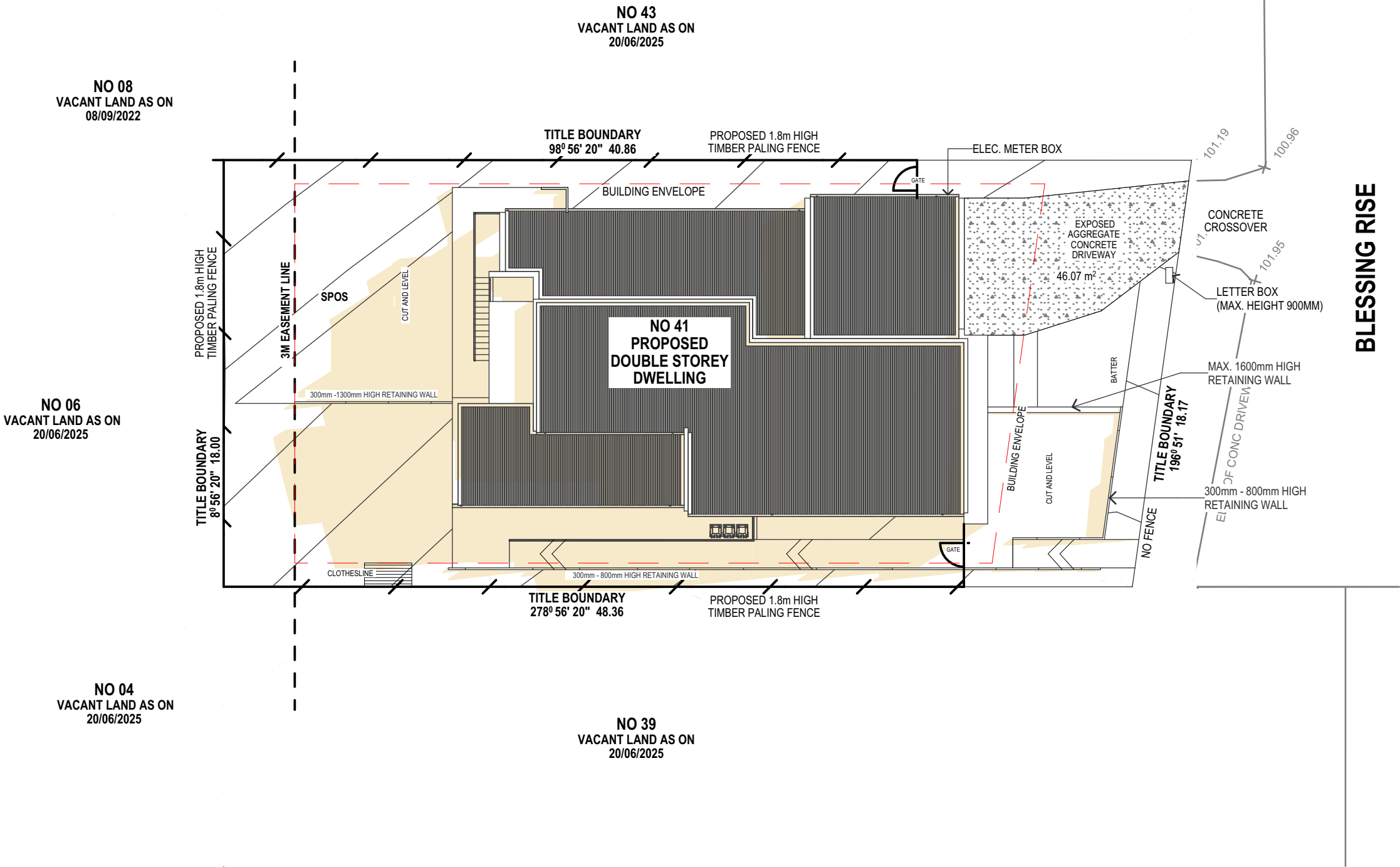
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DRAWN:  
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SHEET NUMBER:  
**TP-07**

REVISION:  
**R-04**





APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 73 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

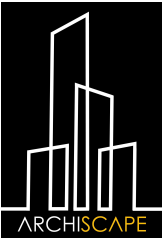
6 STAR ENERGY RATING  
REQUIREMENTS  
REFER ENERGY REPORT FOR  
FURTHER DETAILS

TP  
-

SHADOW DIAGRAM AT 09.00 AM

No.	DATE	ITEM	No.	DATE	ITEM
04	20/06/2025	CLIENT'S UPDATES			
03	09/01/2025	TOWN PLANNING UPDATES			
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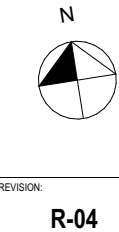
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ABN: 46 646 597 533

PROJECT TITLE:  
PROPOSED DOUBLE STOREY  
DWELLING

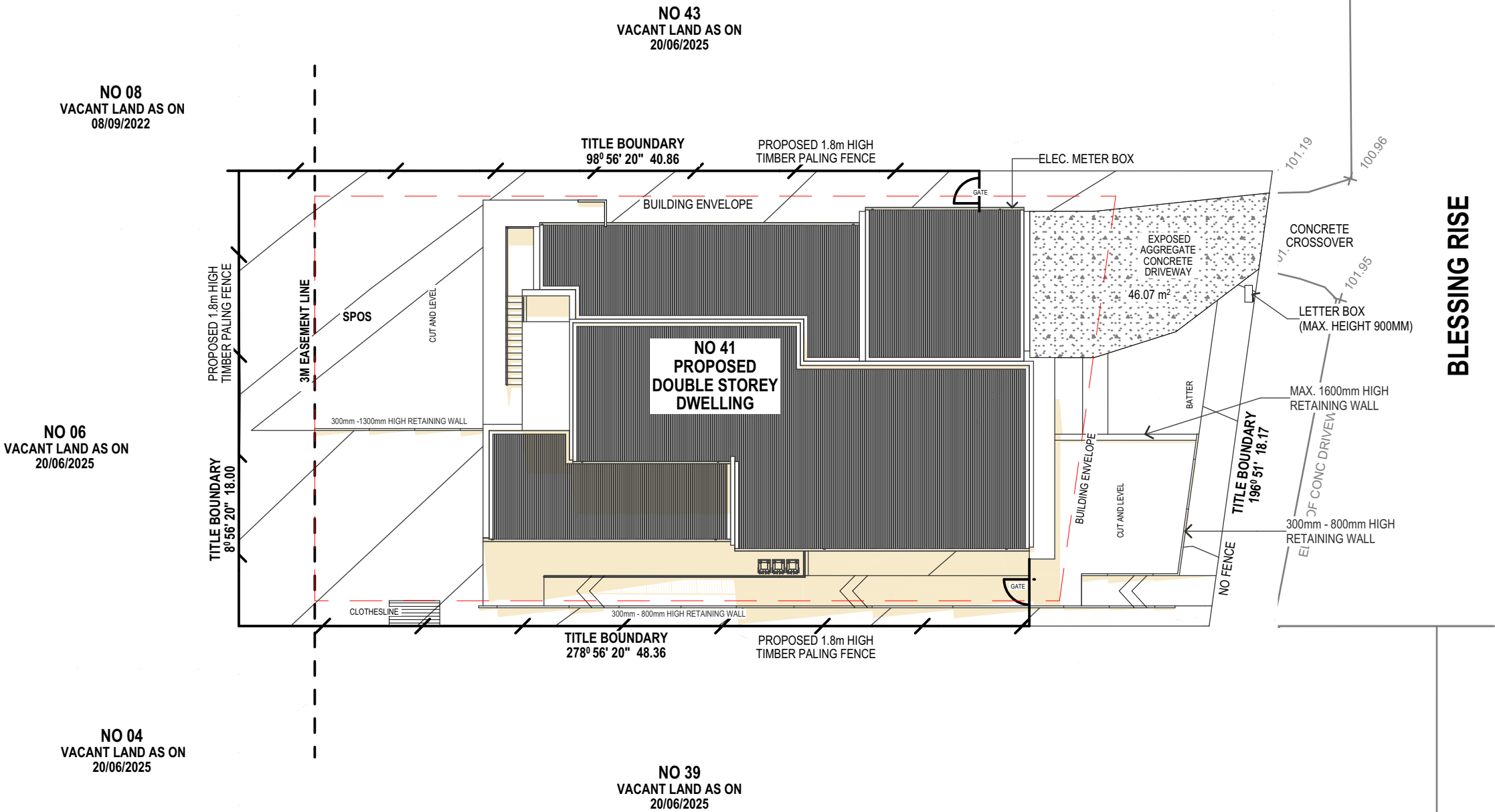
PROJECT ADDRESS:  
41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:  
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TP-08







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CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 74 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025

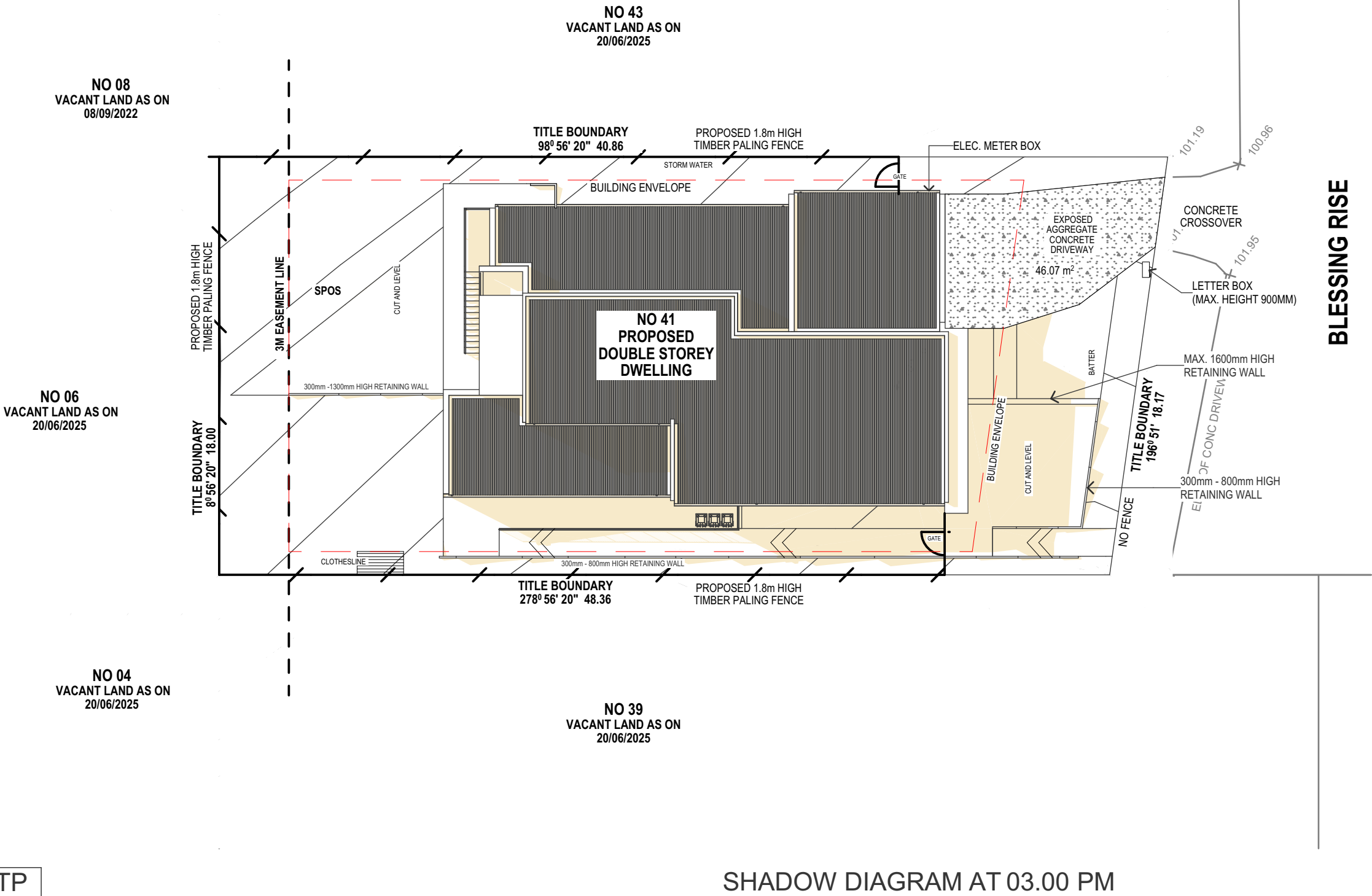
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FURTHER DETAILS

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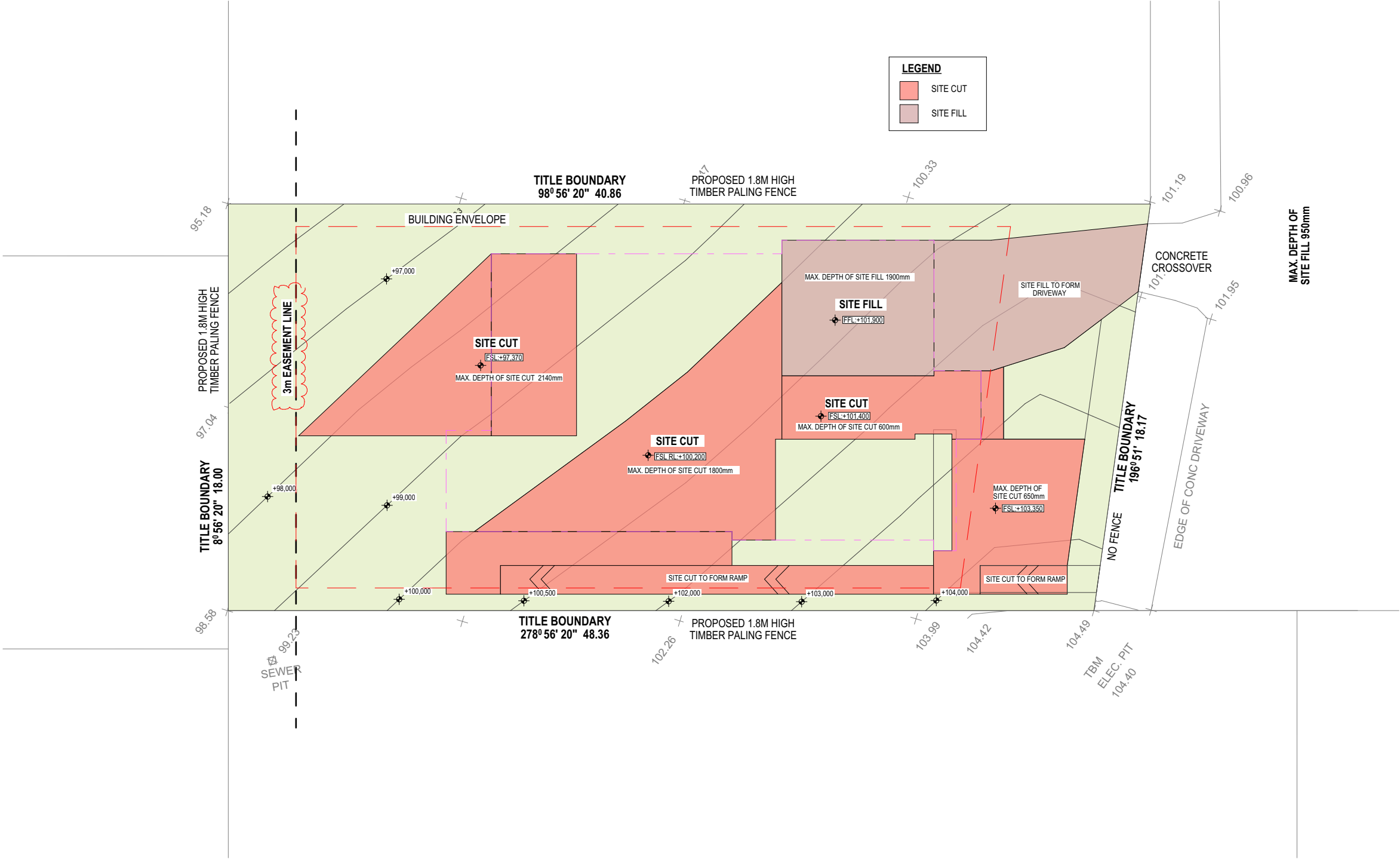
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			<div>DATE:</div> <div>16/08/2022</div>								
			<div>DRAWN:</div> <div>ANU/WM</div>								
			<div>TYPE:</div> <div>TOWN PLANNING</div>	<div>SHEET NUMBER:</div> <div>TP-09</div>	<div>REVISION:</div> <div>R-04</div>						
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APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 76 OF 78  
APPROVED BY: Lori Zhang  
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DATE: Monday, 11 August 2025

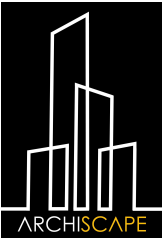
TP  
-

SITE CUT & FILL PLAN  
1:200

6 STAR ENERGY RATING  
REQUIREMENTS  
REFER ENERGY REPORT FOR  
FURTHER DETAILS

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PROJECT TITLE:  
PROPOSED DOUBLE STOREY  
DWELLING

PROJECT ADDRESS:  
41 BLESSING RISE, PAKENHAM,  
VIC 3810

TYPE:  
TOWN PLANNING

SCALE:  
1:100 @A3  
DATE:  
16/08/2022  
DRAWN:  
ANU/WM  
SHEET NUMBER:  
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REVISION:  
R-03



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VIEW FROM THE EAST



VIEW FROM THE SOUTH EAST

APPROVED AMENDED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINIA PLANNING SCHEME  
PERMIT No.: T220634-1  
SHEET: 77 OF 78  
APPROVED BY: Lori Zhang  
CARDINIA SHIRE COUNCIL  
DATE: Monday, 11 August 2025



VIEW FROM THE NORTH WEST



VIEW FROM THE NORTH EAST



VIEW FROM THE SOUTH WEST

No.	DATE	ITEM	No.	DATE	ITEM
05	01/08/2025	TOWN PLANNING UPDATES			
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PROJECT TITLE:

**PROPOSED DOUBLE STOREY DWELLING**

PROJECT ADDRESS:

**41 BLESSING RISE, PAKENHAM, VIC 3810**

SCALE:

1:100 @A3

DATE:

16/08/2022

DRAWN:

ANU/WM

TYPE:

TOWN PLANNING

SHEET NUMBER:

**TP-12**

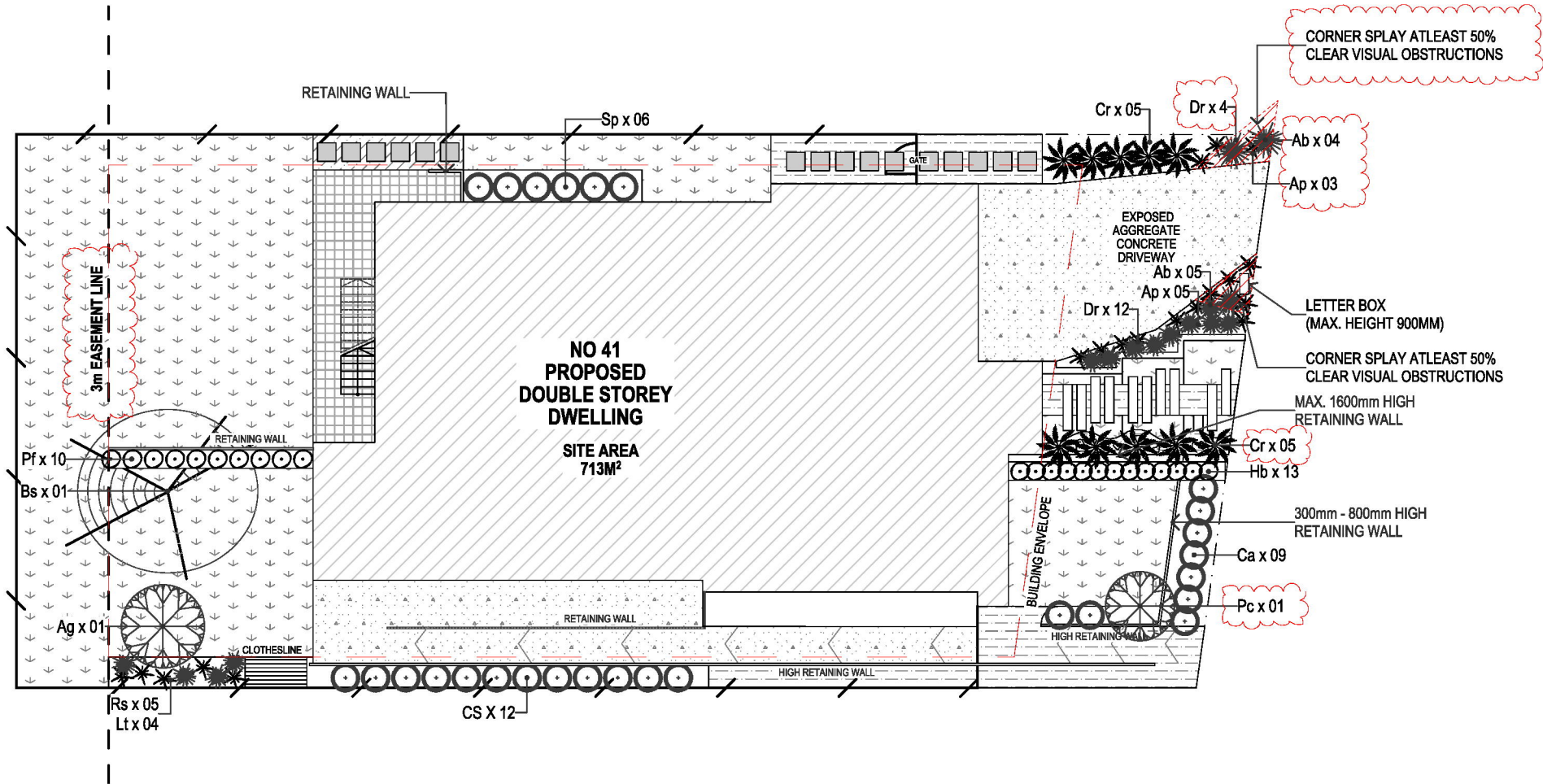
REVISION:

**R-05**



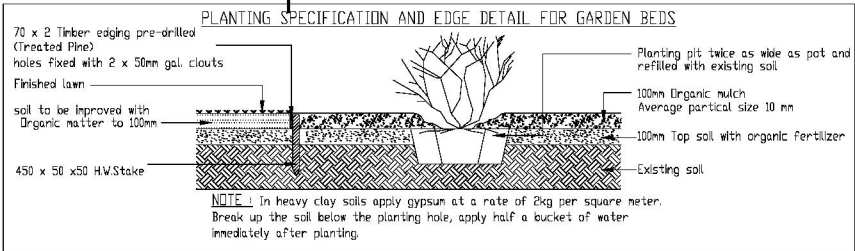


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LEGEND

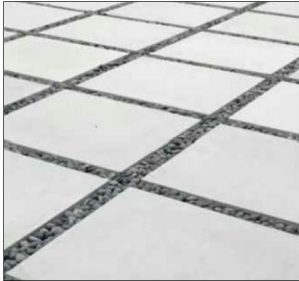
	PROPOSED ADVANCE CANOPY TREES REFER TO PLANT SCHEDULE
	PROPOSED MEDIUM SHRUBS REFER TO PLANT SCHEDULE
	SMALL SHRUBS AND GROUNDCOVERS REFER TO PLANT SCHEDULE
	CASCADING PLANTS REFER TO PLANT SCHEDULE
	- LAWN AREA
	- LILYDALE TOPPINGS
	CONCRETE PAVEMENT
	PAVING WITH DECORATIVE PEBBLES
	PAVING WITH LILYDALE TOPPINGS
	CONCRETE SLEEPER PAVING
	EXPOSED ROCK BOULDERS
	STONE OR CONCRETE SLEEPER CHECK WITH ENG. DRAWINGS
	WEATHER PROOF GARDEN LIGHTING



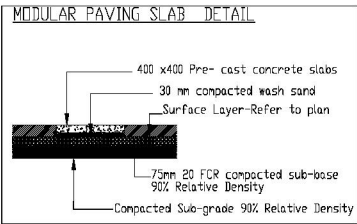
CONCRETE SLEEPER PAVING



EXPOSED ROCK BOULDERS



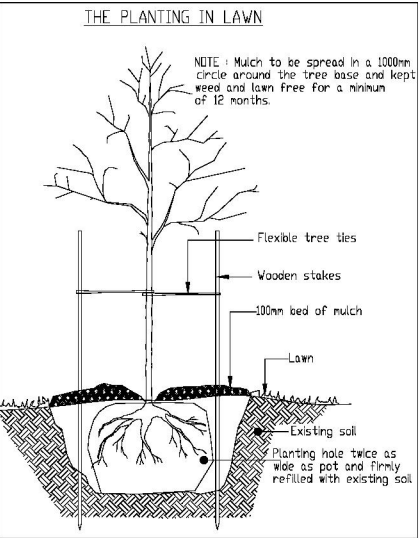
PAVING WITH DECORATIVE PEBBLES



**NOTE :** Canopy Trees to be minimum of 1.5 m. at the time of planting.  
All Garden beds must have hard Garden edging with Treated Pine.  
1200 dia Organic mulch around the all the trees in the lawn areas

storage shed and Rainwater tank for the proposed unit, should be above the existing ground level.  
All new plants along northern Boundary to be minimum height of 1.5 m at the time of planting.

PROPOSED PLANTING SCHEDULE						
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT (mm)	WIDTH (mm)	POT (mm)	Qty.
Ho	Hardenbergia violacea	Purple coral pea	1800	400	140	13
Rs	Rosmarinus officinalis	Rosemary	700	400	140	05
Bs	Banksia integrifolia	Coastal banksia	15000	3000	450	01
Sp	Syzygium australe 'Pinnacle'	Pinnacle Lilly Pilly	3000	1200	250	06
Cs	Callistemon viminalis 'slim'	slim bottle brush	3000	1200	250	12
Dr	Dianella revoluta	Black anther lily	500	500	140	16
PF	Scaevola aemula	Purple Fan flower commons	300	900	140	10
Lt	Lomandra longifolia 'Tanika'	Tanika Lomandra	700	700	140	04
Ca	Correa alba	White Correa	1200	1000	140	09
Ag	Acer griseum	Paperbark Maple	7000	5000	450	01
Ap	Anigozanthos 'Pink Joey'	Kangaroo paw cultivar	500	400	140	08
Ab	Anigozanthos 'bush balled'	Kangaroo paw	500	400	140	09
Cr	Correa reflexa	common correa	1200	1000	140	08
Pc	Pyrus calleryana	Ornamental Pear	8000	3000	450	10



	<b>LANDSCAPE DESIGNER</b>		DRAWING TITLE	
	[Redacted Name] Landscape Design		LANDSCAPE LAY OUT PLAN	
	977, HIGH STREET ROAD GLEN WAVERLY VIC 3150 0450 961 591 / 0403 290 991 EMAIL: ckellapatha@gmail.com		PROJECT TITLE	
	DESND ck		PROPOSED DOUBLE STOREY DWELLING AT THE REAR AT 41 BLESSING RISE PAKENHAM	
DRAWN ck		APPRVD DATE		SCALE 1/100
		SHEET No L/01		DRG No 20241027-R