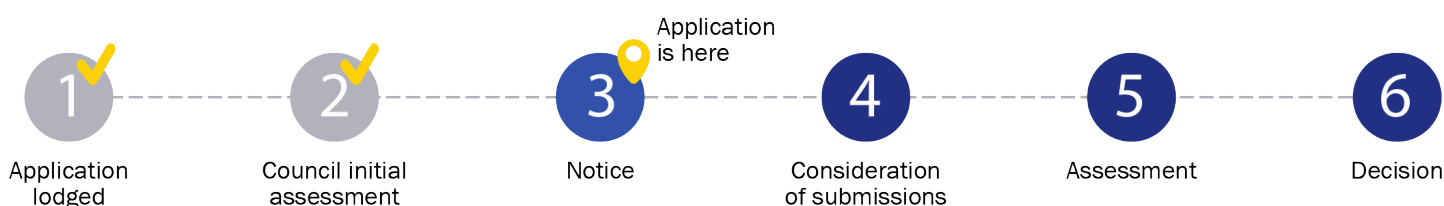


Notice of Application for a Planning Permit

The land affected by the application is located at:	L243 PS649678 V11462 F031 16 Palm Court, Pakenham VIC 3810	
The application is for a permit to:	Development of Land for a Dwelling	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works	
42.01-2	Construct a fence	
42.01-2	Remove, destroy or lop vegetation	
APPLICATION DETAILS		
The applicant for the permit is:	Lead Design Studio	
Application number:	T240544	
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		26 August 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



Application Summary

Portal Reference A42422/6

Basic Information

Proposed Use	New 2 level dwelling
Current Use	vacant
Cost of Works	\$650,000
Site Address	16 Palm Court Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	Lead Design Studio	26 TANA WAY, OFFICER VIC 3809	W: 0411-859-546 E: venkat@leaddesignstudio.com.au
Owner			
Preferred Contact	Lead Design Studio	26 TANA WAY, OFFICER VIC 3809	W: 0411-859-546 E: venkat@leaddesignstudio.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 5 More than \$500,000 but not more than \$1,000,000	\$1,535.00	100%	\$1,535.00
Total			\$1,535.00

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
16-10-2024	A Copy of Title	Title.pdf
16-10-2024	A Copy of Title	POS.pdf
16-10-2024	A Copy of Title	AK575312M.pdf
16-10-2024	Existing floor plan	16 Palm Crt, Pakenham-Existing condition plan.pdf
16-10-2024	Site plans	16 Palm Court TP drawings Rev C.pdf
16-10-2024	Additional Document	Cover letter.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	
Submission Date	16 October 2024 - 04:11:PM

Declaration

☒ By ticking this checkbox, I declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday
8.30am – 5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am – 5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T240544 PA
Address of the Land:	L243, 16 PALM COURT, PAKENHAM VIC 3180

APPLICANT DETAILS

Name:	
Organisation:	LEAD DESIGN STUDIO
Address:	26 TANIA WAY, OFFICER
Phone:	0411859546
Email:	venkat@leaddesignstudio.com.au

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
PERMIT TO REMOVE TREE		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.		
Name:		
Signature:		
Date:	31/01/2025	

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
--

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 11462 FOLIO 031

Security no : 124119079925B
Produced 16/10/2024 02:44 PM

LAND DESCRIPTION

Lot 243 on Plan of Subdivision 649678Q.
PARENT TITLE Volume 11461 Folio 856
Created by instrument PS649678Q 03/12/2013

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AK575312M 06/09/2013

DIAGRAM LOCATION

SEE PS649678Q FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 16 PALM COURT PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.


Document Type	Plan
Document Identification	PS649678Q
Number of Pages (excluding this cover sheet)	9
Document Assembled	16/10/2024 14:44

Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

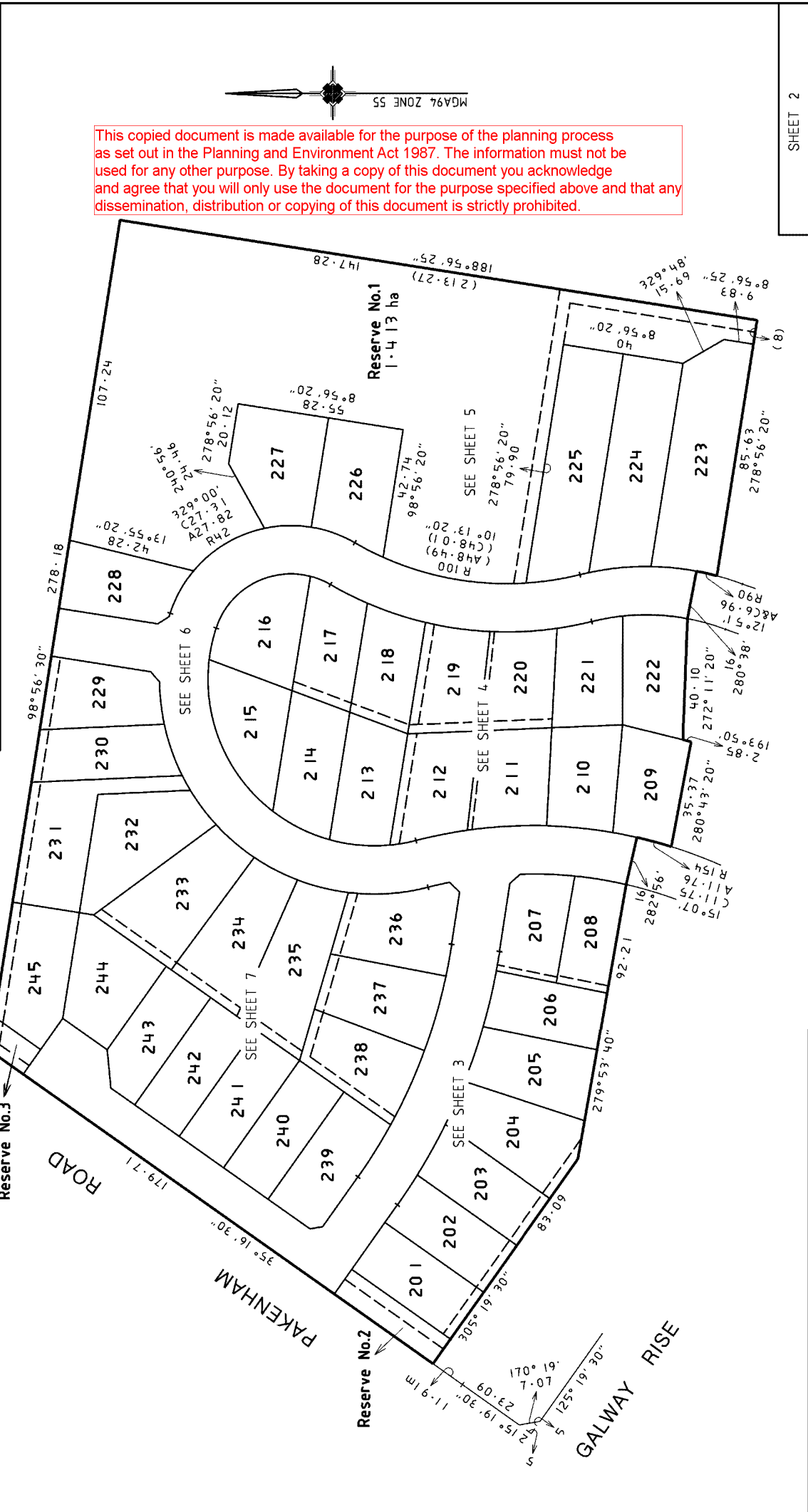
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.


PLAN OF SUBDIVISION		Stage No. —	LRS use only EDITION 1	Plan Number PS 649678Q
Location of Land Parish: Nar Nar Goon Township: — Crown Portion: 3 (Part) & 7 (Part) Parish: Nar Nar Goon Township: Pakenham Crown Allotment: 32 (Part) & Part of Former Government Road Title Reference: Vol. 11461 Fol. 856 Last Plan Reference: Lot A PS 649677S Postal Address: 120-150 Pakenham Road (at time of subdivision) Pakenham 3810 MGA94 Co-ordinates: E 366 600 Zone: 55 (of approx. centre of land in plan) N 5 786 800		Council Certificate and Endorsement Council Name: Cardinia Shire Council Ref: — 1. This plan is certified under section 6 of the Subdivision Act 1988. 2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 / / 20 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988. <u>OPEN SPACE</u> (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage..... Council Delegate Council Seal Date / / 20 Re-certified under section 11(7) of the Subdivision Act 1988 Council Delegate Council Seal Date / / 20		
Vesting of Roads and/or Reserves				
Identifier	Council/Body/Person			
Roads R-1	Cardinia Shire Council			
Reserve No.1	Cardinia Shire Council			
Reserve No.2	Cardinia Shire Council			
Reserve No.3	Cardinia Shire Council			
Notations				
Staging This is is not a staged subdivision Planning Permit No. T060892				
Depth Limitation : Does not apply. THIS IS A SPEAR PLAN Lots 1 to 200 (Both Inclusive) have been omitted from this stage.				
<div style="border: 1px solid red; padding: 5px; color: red; margin: 10px auto; width: 80%;"> This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. </div>				
Estate: GALWAY GOLD Development No.: 2 No. of Lots: 45 Area: 6.553 ha Melways: 317 C3		Survey This plan is is not based on survey. See BP 2601B. This survey has been connected to permanent marks no(s) PM 89 & PM 313 This survey is not in a Proclaimed Survey Area.		
Easement Information				
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-3 & E-4	Drainage	See Diag.	This Plan	Cardinia Shire Council
E-2, E-3 & E-4	Sewerage	See Diag.	This Plan	South East Water Limited
E-4 & E-5	Powerline	See Diag.	This Plan Section 88 Electricity Industry Act 2000	SPI Electricity Pty Ltd
E-6	Water Supply	See Diag.	PS 649677S	South East Water Limited
LRS use only Statement of Compliance/Exemption Statement Received <input checked="" type="checkbox"/> DATE 20 / 11 / 2013				
LRS use only PLAN REGISTERED TIME 5.34pm DATE 3 / 12 / 2013 Kevin Bond Assistant Registrar of Titles				
SHEET 1 OF 8 SHEETS				
 WATSONS URBAN DEVELOPMENT CONSULTANTS & MANAGERS 5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916 THE MELBURNIAN, SUITE 2, 250 ST. KILDA RD, SOUTH BANK PH. (03) 9697 8000, FAX (03) 9697 8099		LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE SIGNATURE <u>DIGITALLY SIGNED</u> DATE REF 35213/Stg.2 VERSION 7		DATE / / 20 COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3

PLAN OF SUBDIVISION

Stage No. _____

Plan Number
PS 649678Q





WATSONS
URBAN DEVELOPMENT
CONSULTANTS & MANAGERS
5 MAIN ST, MORNINGTON PH (03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTH BANK PH (03) 9697 8000, FAX (03) 9697 8099

ORIGINAL SCALE 1:1250

SHEET SIZE A3

SCALE

0 12.5 25 37.5 50 62.5

LENGTHS ARE IN METRES

LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE

SIGNATURE **DIGITALLY SIGNED** DATE _____

REF 35213/Std.2 VERSION 7

SHEET 2

DATE / /20

COUNCIL DELEGATE SIGNATURE _____

ORIGINAL SHEET SIZE A3

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

PLAN OF SUBDIVISION

Stage No.

Plan Number

PS 649678Q

SEE SHEET 7

SEE SHEET 2

MGA94 ZONE 55

WATSON'S

URBAN DEVELOPMENT
CONSULTANTS & MANAGERS

5 MAIN ST., MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916

THE MELBURNIAN, SUITE 2, 250 ST. KILDA RD., SOUTHBANK PH. (03) 9697 8000, FAX (03) 9697 8099

ORIGINAL

SCALE	SHEET
1 : 500	SIZE
	A3

SCALE

LENGTHS ARE IN METRES

LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE

SIGNATURE DIGITALLY SIGNED DATE

REF 35213/Stg.2

SHEET 3

DATE / /20

~~COUNCIL DELEGATE SIGNATURE~~

Signed by Council: Cardinia Shire Council, Council Ref: S11/088, Original Certification: 18/04/2012, S.O.C.: 06/11/2013

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

PLAN OF SUBDIVISION

Stage No. _____

Plan Number
PS 649678Q

SEE SHEET 7

SEE SHEET 2

SEE SHEET 3

SEE SHEET 4

SEE SHEET 5

SEE SHEET 6

SEE SHEET 7

SEE SHEET 8

SEE SHEET 9

SEE SHEET 10

SEE SHEET 11

SEE SHEET 12

SEE SHEET 13

SEE SHEET 14

SEE SHEET 15

SEE SHEET 16

SEE SHEET 17

SEE SHEET 18

SEE SHEET 19

SEE SHEET 20

SEE SHEET 21

SEE SHEET 22

SEE SHEET 23

SEE SHEET 24

SEE SHEET 25

SEE SHEET 26

SEE SHEET 27

SEE SHEET 28

SEE SHEET 29

SEE SHEET 30

SEE SHEET 31

SEE SHEET 32

SEE SHEET 33

SEE SHEET 34

SEE SHEET 35

SEE SHEET 36

SEE SHEET 37

SEE SHEET 38

SEE SHEET 39

SEE SHEET 40

SEE SHEET 41

SEE SHEET 42

SEE SHEET 43

SEE SHEET 44

SEE SHEET 45

SEE SHEET 46

SEE SHEET 47

SEE SHEET 48

SEE SHEET 49

SEE SHEET 50

SEE SHEET 51

SEE SHEET 52

SEE SHEET 53

SEE SHEET 54

SEE SHEET 55

SEE SHEET 56

SEE SHEET 57

SEE SHEET 58

SEE SHEET 59

SEE SHEET 60

SEE SHEET 61

SEE SHEET 62

SEE SHEET 63

SEE SHEET 64

SEE SHEET 65

SEE SHEET 66

SEE SHEET 67

SEE SHEET 68

SEE SHEET 69

SEE SHEET 70

SEE SHEET 71

SEE SHEET 72

SEE SHEET 73

SEE SHEET 74

SEE SHEET 75

SEE SHEET 76

SEE SHEET 77

SEE SHEET 78

SEE SHEET 79

SEE SHEET 80

SEE SHEET 81

SEE SHEET 82

SEE SHEET 83

SEE SHEET 84

SEE SHEET 85

SEE SHEET 86

SEE SHEET 87

SEE SHEET 88

SEE SHEET 89

SEE SHEET 90

SEE SHEET 91

SEE SHEET 92

SEE SHEET 93

SEE SHEET 94

SEE SHEET 95

SEE SHEET 96

SEE SHEET 97

SEE SHEET 98

SEE SHEET 99

SEE SHEET 100

SEE SHEET 101

SEE SHEET 102

SEE SHEET 103

SEE SHEET 104

SEE SHEET 105

SEE SHEET 106

SEE SHEET 107

SEE SHEET 108

SEE SHEET 109

SEE SHEET 110

SEE SHEET 111

SEE SHEET 112

SEE SHEET 113

SEE SHEET 114

SEE SHEET 115

SEE SHEET 116

SEE SHEET 117

SEE SHEET 118

SEE SHEET 119

SEE SHEET 120

SEE SHEET 121

SEE SHEET 122

SEE SHEET 123

SEE SHEET 124

SEE SHEET 125

SEE SHEET 126

SEE SHEET 127

SEE SHEET 128

SEE SHEET 129

SEE SHEET 130

SEE SHEET 131

SEE SHEET 132

SEE SHEET 133

SEE SHEET 134

SEE SHEET 135

SEE SHEET 136

SEE SHEET 137

SEE SHEET 138

SEE SHEET 139

SEE SHEET 140

SEE SHEET 141

SEE SHEET 142

SEE SHEET 143

SEE SHEET 144

SEE SHEET 145

SEE SHEET 146

SEE SHEET 147

SEE SHEET 148

SEE SHEET 149

SEE SHEET 150

SEE SHEET 151

SEE SHEET 152

SEE SHEET 153

SEE SHEET 154

SEE SHEET 155

SEE SHEET 156

SEE SHEET 157

SEE SHEET 158

SEE SHEET 159

SEE SHEET 160

SEE SHEET 161

SEE SHEET 162

SEE SHEET 163

SEE SHEET 164

SEE SHEET 165

SEE SHEET 166

SEE SHEET 167

SEE SHEET 168

SEE SHEET 169

SEE SHEET 170

SEE SHEET 171

SEE SHEET 172

SEE SHEET 173

SEE SHEET 174

SEE SHEET 175

SEE SHEET 176

SEE SHEET 177

SEE SHEET 178

SEE SHEET 179

SEE SHEET 180

SEE SHEET 181

SEE SHEET 182

SEE SHEET 183

SEE SHEET 184

SEE SHEET 185

SEE SHEET 186

SEE SHEET 187

SEE SHEET 188

SEE SHEET 189

SEE SHEET 190

SEE SHEET 191

SEE SHEET 192

SEE SHEET 193

SEE SHEET 194

SEE SHEET 195

SEE SHEET 196

SEE SHEET 197

SEE SHEET 198

SEE SHEET 199

SEE SHEET 200

SEE SHEET 201

SEE SHEET 202

SEE SHEET 203

SEE SHEET 204

SEE SHEET 205

SEE SHEET 206

SEE SHEET 207

SEE SHEET 208

SEE SHEET 209

SEE SHEET 210

SEE SHEET 211

SEE SHEET 212

SEE SHEET 213

SEE SHEET 214

SEE SHEET 215

SEE SHEET 216

SEE SHEET 217

SEE SHEET 218

SEE SHEET 219

SEE SHEET 220

SEE SHEET 221

SEE SHEET 222

SEE SHEET 223

SEE SHEET 224

SEE SHEET 225

SEE SHEET 226

SEE SHEET 227

SEE SHEET 228

SEE SHEET 229

SEE SHEET 230

SEE SHEET 231

SEE SHEET 232

SEE SHEET 233

SEE SHEET 234

SEE SHEET 235

SEE SHEET 236

SEE SHEET 237

SEE SHEET 238

SEE SHEET 239

SEE SHEET 240

SEE SHEET 241

SEE SHEET 242

SEE SHEET 243

SEE SHEET 244

SEE SHEET 245

SEE SHEET 246

SEE SHEET 247

SEE SHEET 248

SEE SHEET 249

SEE SHEET 250

SEE SHEET 251

SEE SHEET 252

SEE SHEET 253

SEE SHEET 254

SEE SHEET 255

SEE SHEET 256

SEE SHEET 257

SEE SHEET 258

SEE SHEET 259

SEE SHEET 260

SEE SHEET 261

SEE SHEET 262

SEE SHEET 263

SEE SHEET 264

SEE SHEET 265

SEE SHEET 266

SEE SHEET 267

SEE SHEET 268

SEE SHEET 269

SEE SHEET 270

SEE SHEET 271

SEE SHEET 272

SEE SHEET 273

SEE SHEET 274

SEE SHEET 275

SEE SHEET 276

SEE SHEET 277

SEE SHEET 278

SEE SHEET 279

SEE SHEET 280

SEE SHEET 281

SEE SHEET 282

SEE SHEET 283

SEE SHEET 284

SEE SHEET 285

SEE SHEET 286

SEE SHEET 287

SEE SHEET 288

SEE SHEET 289

SEE SHEET 290

SEE SHEET 291

SEE SHEET 292

SEE SHEET 293

SEE SHEET 294

SEE SHEET 295

SEE SHEET 296

SEE SHEET 297

SEE SHEET 298

SEE SHEET 299

SEE SHEET 300

SEE SHEET 301

SEE SHEET 302

SEE SHEET 303

SEE SHEET 304

SEE SHEET 305

SEE SHEET 306

SEE SHEET 307

SEE SHEET 308

SEE SHEET 309

SEE SHEET 310

SEE SHEET 311

SEE SHEET 312

SEE SHEET 313

SEE SHEET 314

SEE SHEET 315

SEE SHEET 316

SEE SHEET 317

SEE SHEET 318

SEE SHEET 319

SEE SHEET 320

SEE SHEET 321

SEE SHEET 322

SEE SHEET 323

SEE SHEET 324

SEE SHEET 325

SEE SHEET 326

SEE SHEET 327

SEE SHEET 328

SEE SHEET 329

SEE SHEET 330

SEE SHEET 331

SEE SHEET 332

SEE SHEET 333

SEE SHEET 334

SEE SHEET 335

SEE SHEET 336

SEE SHEET 337

SEE SHEET 338

SEE

<h1 style="margin: 0;">PLAN OF SUBDIVISION</h1>		Stage No. _____	Plan Number <h2 style="margin: 0;">PS 649678Q</h2>
---	--	--------------------	---

SEE SHEET 7

234

235

236

207

208

215

214
846 m²

213
813 m²

212
841 m²

211
812 m²

210
767 m²

209
761 m²

216

217
752 m²

218
733 m²

219
778 m²

220
753 m²

221
776 m²

222
800 m²

SEE SHEET 6

227

226

225

224

223

DRIVE


SOLID

DRIVE

Reserve No.1

SOLID

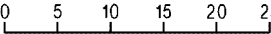
SEE SHEET 5



WATSONS
URBAN DEVELOPMENT
CONSULTANTS & MANAGERS

5 MAIN ST, MORNINGTON PH.(03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 260 ST.KILDA RD, SOUTHBANK
PH.(03) 9697 8000, FAX (03) 9697 8099

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information may not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

ORIGINAL	SCALE	LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE SIGNATURE <u>DIGITALLY SIGNED</u> DATE _____ REF 35213/Stg.2 VERSION 7	SHEET 4 <hr/> DATE ____ / ____ /20____ COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3
SCALE 1:500	SHEET SIZE A3  LENGTHS ARE IN METRES		

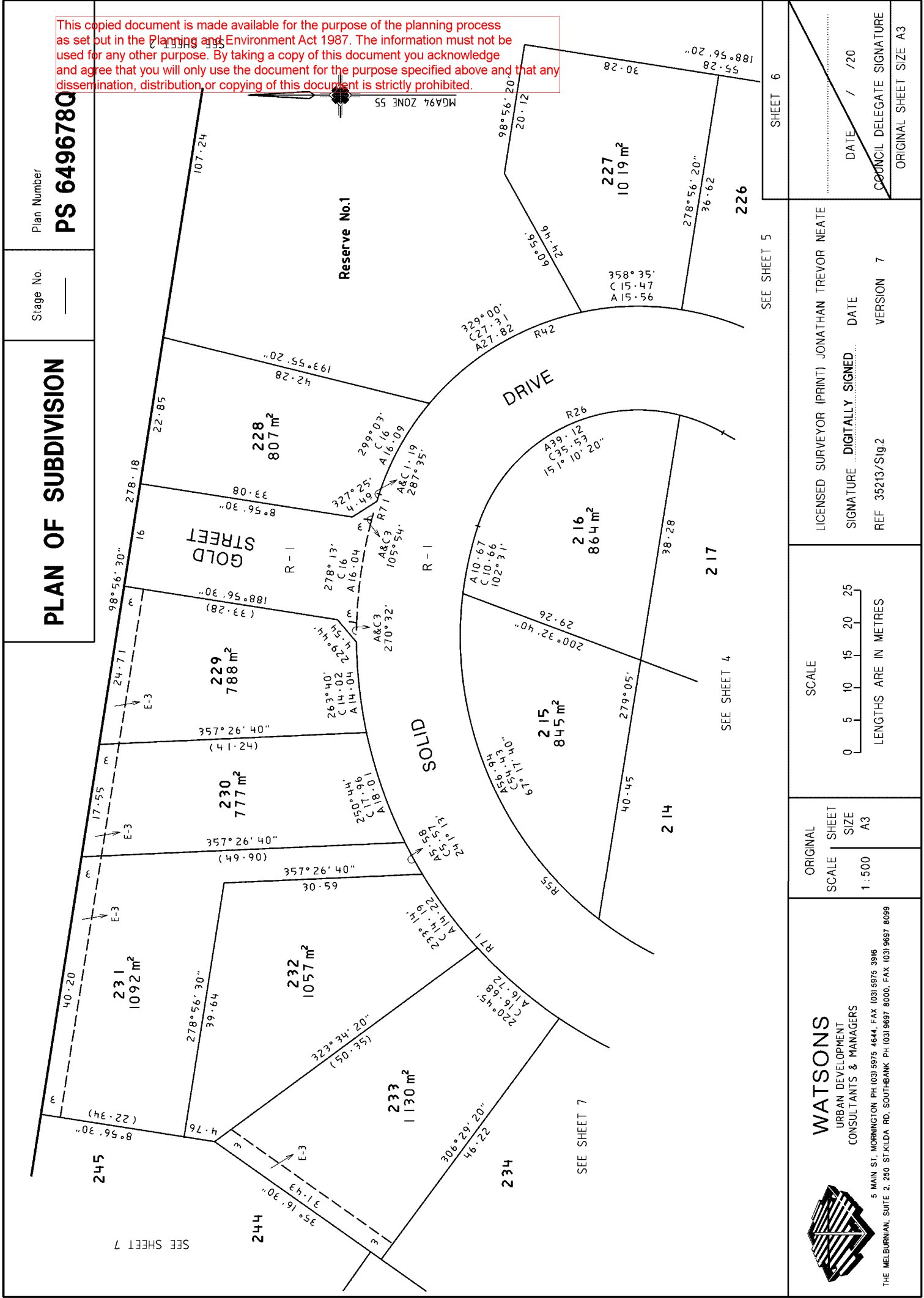
<h1 style="margin: 0;">PLAN OF SUBDIVISION</h1>		Stage No. <hr style="width: 50px; margin: 0 auto;"/>	Plan Number <h2 style="margin: 0;">PS 649678Q</h2>
---	--	---	---

<p>WATSONS URBAN DEVELOPMENT CONSULTANTS & MANAGERS</p> <p><small>5 MAIN ST, MORNINGTON PH.(03) 5975 4644, FAX (03) 5975 3916 THE MELBURNIAN, SUITE 2, 260 ST.KILDA RD, SOUTHBANK PH.(03) 9697 8000, FAX (03) 9697 8099</small></p>		SHEET 5	
ORIGINAL SCALE 1:500	SHEET SIZE A3	LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE SIGNATURE <u>DIGITALLY SIGNED</u> DATE _____ REF 35213/Stg.2 VERSION 7	DATE ____ / ____ /20____ COUNCIL DELEGATE SIGNATURE _____ ORIGINAL SHEET SIZE A3

0 5 10 15 20 25

LENGTHS ARE IN METRES

Signed by: Jonathan Trevor Neate (Watsons) Surveyor's Plan Version (7) SPEAR Ref: S014072H 14/02/2012



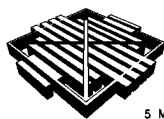
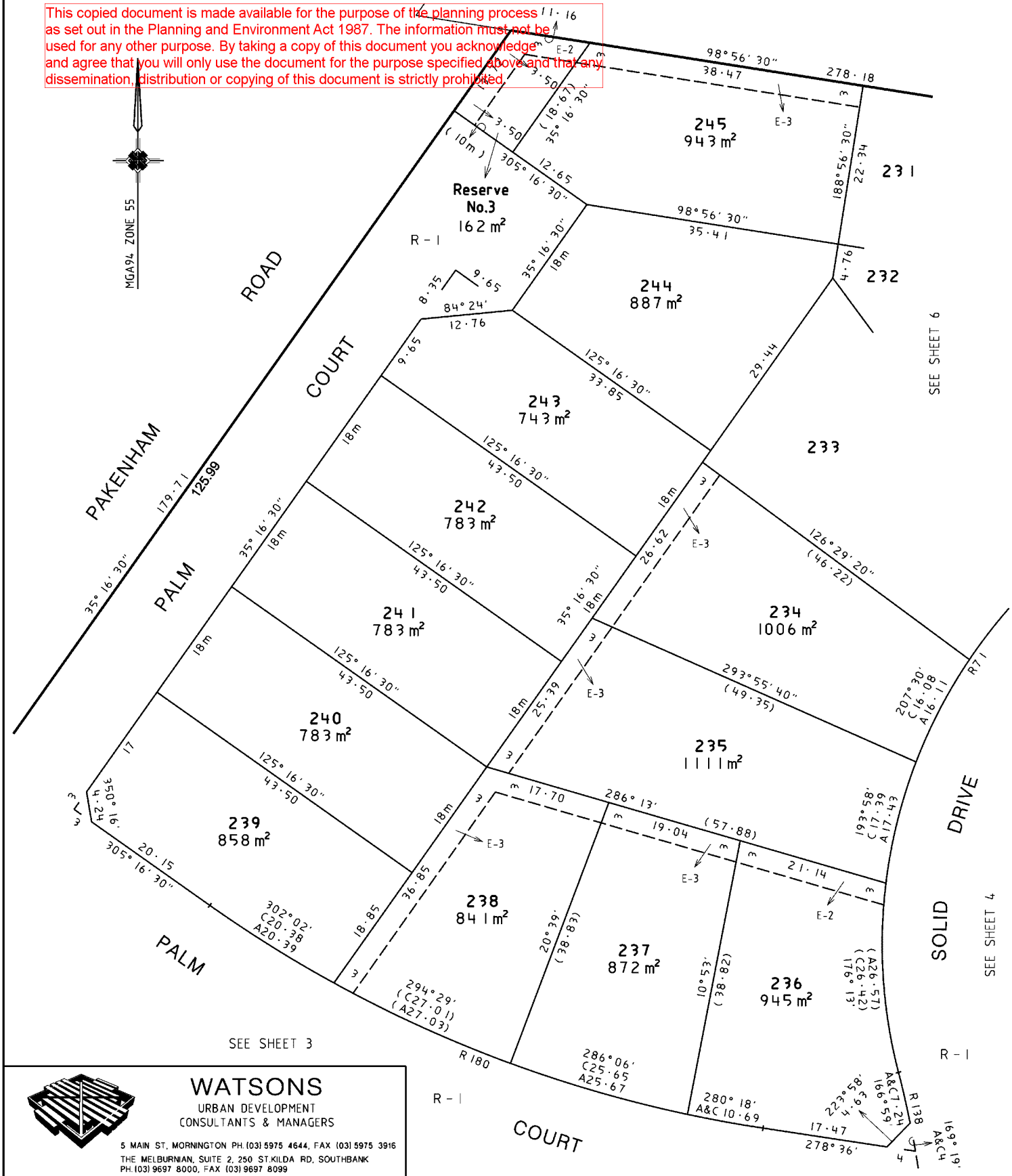
PLAN OF SUBDIVISION

Stage No.

Plan Number

PS 649678Q

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



WATSONS

URBAN DEVELOPMENT
CONSULTANTS & MANAGERS

5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916
THE MELBURNIAN, SUITE 2, 260 ST. KILDA RD, SOUTH BANK
PH. (03) 9697 8000, FAX (03) 9697 8099

ORIGINAL

SCALE

SCALE SHEET
1:500 A3

0 5 10 15 20 25
LENGTHS ARE IN METRES

LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE

SIGNATURE DIGITALLY SIGNED DATE

REF 35213/Stg.2

VERSION 7

SHEET 7

DATE / /20

COUNCIL DELEGATE SIGNATURE

ORIGINAL SHEET SIZE A3

	PLAN OF SUBDIVISION	Stage No. —	Plan Number PS 649678Q
--	----------------------------	----------------	----------------------------------

SUBDIVISION ACT 1988
CREATION OF RESTRICTION A

Upon registration of this plan the following restriction is to be created.

Land to benefit: Land in this plan.

Land to be burdened: Lots 223 to 227 (Both Inclusive).

Description of Restriction:

The registered proprietor or proprietors for the time being a burdened lot to which this restriction applies shall not allow dwellings and garages to be located outside the building envelope (hatched area) shown in the Building Envelope Schedule within the Instrument for PS 649678Q unless with the written consent of the Responsible Authority.

SUBDIVISION ACT 1988
CREATION OF RESTRICTION B

Upon registration of this plan the following restriction is to be created.


Land to benefit: Land in this plan.

Land to be burdened: Lots 205, 232 and 233.

Description of Restriction:

The registered proprietor or proprietors for the time being a burdened lot to which this restriction applies shall not allow removal of any trees within the Tree Protection Envelopes (cross hatched area) shown in the Tree Protective Envelope Schedule within the instrument for PS 649678Q unless with the written consent of the Responsible Authority.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

		SHEET 8
 <p>WATSONS URBAN DEVELOPMENT CONSULTANTS & MANAGERS</p> <p>5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916 THE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTH BANK PH. (03) 9697 8000, FAX (03) 9697 8099</p>	LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE	
	SIGNATURE <u>DIGITALLY SIGNED</u>	DATE
	REF 35213/Stg.2	VERSION 7
		<div style="border: 1px solid black; height: 100px; width: 100%; position: relative;"> <div style="position: absolute; top: 0; right: 0; width: 50%; height: 50%; border-left: 1px solid black; border-top: 1px solid black;"></div> </div> <p>DATE / /20</p> <p>COUNCIL DELEGATE SIGNATURE</p> <p>ORIGINAL SHEET SIZE A3</p>

Plan of Subdivision PS649678Q

Certification by Council (Form 5)

SUBDIVISION (PROCEDURES) REGULATIONS 2000

SPEAR Reference Number: S014072H

Plan Number: PS649678Q

Responsible Authority Name: Cardinia Shire Council

Responsible Authority Reference Number 1: S11/088

Surveyor's Plan Version: 7

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

Has not been made at Certification

Digitally signed by Council Delegate



Organisation:

Cardinia Shire Council

Date:

18/04/2012

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Instrument
Document Identification	AK575312M
Number of Pages (excluding this cover sheet)	10
Document Assembled	16/10/2024 16:02

Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

AK575312M

06/09/2013

\$113

173



FORM 18 Section 181

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE
MAKING OF A RECORDING OF AN AGREEMENT**

Planning and Environment Act 1987

Lodged by:

Name:



SOLICITOR

Phone:

9571.5236

Address: 16 Ash Grove, Malvern East 3145

Ref: Galway View Pty. Ltd.

Customer Code:

01786Y

The Authority having made an agreement referred to in section 181(1) of the Planning and Environment Act 1987 requires a recording to be made in the Register for the land.

Land: Volume 8810 Folio 340 and Volume 8652 Folio 976

Authority: Cardinia Shire Council

Henty Way, Pakenham, Victoria, 3810

Section and Act under which agreement made:

S 173 of Planning and Environment Act 1987

A copy of the Agreement is attached to this Application.

Signature for the



Name of Office

Date:

22/8/13

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

AK575312M

06/09/2013 \$113 173



CONTENTS

- 1. DEFINITIONS**
- 2. INTERPRETATION**
- 3. SECTION 173 AGREEMENT**
- 4. SPECIFIC OBLIGATIONS OF THE OWNER**
- 5. FURTHER OBLIGATIONS OF THE OWNER**
- 6. AGREEMENT UNDER SECTION 173 OF THE ACT**
- 7. OWNER'S WARRANTY**
- 8. SUCCESSORS IN TITLE**
- 9. GENERAL MATTERS**
- 10. COMMENCEMENT OF AGREEMENT**

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



AGREEMENT

THIS AGREEMENT is made the *26th* day of *August* 2013

BETWEEN:

CARDINIA SHIRE COUNCIL
of Henty Way, Pakenham, in the State of Victoria

("the Council")

- and -

Galway View Pty Ltd, 505 St Kilda Road, Melbourne in the State of Victoria

("the Owner")

INTRODUCTION

- A. Council is the Responsible Authority pursuant to the Act for the Planning Scheme.
- B. The Owner is the registered proprietor of the Land.
- C. On 18 September 2007 the Council issued Planning Permit No. T060892 permitting subdivision of the land into 110 lots, the provision of public open space and tree reserves, creation of access to a Road Zone Category 1 and the removal of native vegetation generally in accordance with the endorsed plan. Condition 3 of the Planning Permit requires the Owner to enter into this Agreement to provide for the matters set out in that condition.
- D. A Plan of Subdivision was not certified within two years of the date of the Planning Permit. An extension of time was approved by Council on 16 September 2009 and 10 October 2011. Endorsed Plans were approved on 22 September 2012 and this revised the lot numbers compared to the original permit application plans (Watsons Pty Ltd Revision E). The lots previously numbered 36 to 47 inclusive on Watsons Pty Ltd Revision E and obligated in Condition 3 of the Planning Permit are renumbered lots 120 to 126 inclusive and lots 223 to 227 inclusive on the Endorsed Plan.
- E. The parties enter into this Agreement:-
 - (a) to give effect to the requirements of Condition 3 of the Planning Permit; and
 - (b) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Land.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

AK575312M



IT IS AGREED:

1. DEFINITIONS

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

- 1.1 **"the Act"** means the *Planning and Environment Act 1987*.
- 1.2 **"this Agreement"** means this Agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.
- 1.3 **"Amended Planning Permit Plan"** means the amended plans approved under the Planning Permit as an Endorsed Plan generally in accordance with Watsons Pty Revision E dated 4 September 2007 but modified in accordance with condition 1 of the Planning Permit.
- 1.4 **"Building"** has the same meaning as in the Act.
- 1.5 **"Building Envelope"** means the building envelope shown for a particular lot in the Plan of Subdivision and has the same meaning as in regulation 406 of the Building Regulations.
- 1.6 **"Dwelling"** has the same meaning as in the Cardinia Planning Scheme.
- 1.7 **"Eastern most allotments"** being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.8 **"Endorsed Plan"** means the plans endorsed with the stamp of the Council from time to time known as the Amended Planning Permit Plan and Landscape Masterplan which form part of the Planning Permit.
- 1.9 **"Land"** means the land situated at 120-150 Pakenham Road, Pakenham, being all of the land contained in Certificate of Title Volume Folio 8810 340 and Certificate of Title Volume Folio 8652 976 and any reference to the Land includes any lot created by the subdivision of the Land or any part of it.
- 1.10 **"Landscape Masterplan"** means the plan approved under the Planning Permit as an Endorsed Plan which shall provide for, inter alia, the revegetation of the ridgeline/ rear of lots 120 to 126 inclusive and lots 223 to 227 inclusive and trees to be retained generally in accordance with the Planning Permit.
- 1.11 **"Lot"** means a lot or allotment on the Endorsed Plan.
- 1.12 **"Planning Permit"** means Planning Permit T060892 dated 18 September 2007.

- 1.13 **"Planning Scheme"** means the Cardinia Planning Scheme and any other planning scheme that applies to the Land.
- 1.14 **"Ridgeline"** means the Pakenham North Ridge a natural topographic feature which affects part of the Land being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.15 **"Ridgeline Elevation"** means the changing level or height of the Ridgeline.
- 1.16 **"Statement of Compliance"** means a Statement of Compliance under the Subdivision Act 1988.

2. INTERPRETATION

In this Agreement unless the context admits otherwise:

- 2.1. the singular includes the plural and vice versa.
- 2.2. a reference to a gender includes a reference to each other gender.
- 2.3. a reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4. if a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5. a word or expression used in this Agreement has its ordinary meaning unless that word or expression is defined in this Agreement. If a word or expression is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6. any reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7. the introductory clauses to this Agreement are and will be deemed to form part of this Agreement.

AK575312M

06/09/2013 \$113 173



3. SECTION 173 AGREEMENT

3.1 Purpose

This agreement is made under section 173 of the Act. In entering into it the Parties intend to achieve or advance the objectives of planning in Victoria or the objectives of the Planning Scheme.

3.2 Burden of covenants

The Council and the Owner intend that the burden of the Owner's covenants run with the Land.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

AK575312M



H

4. SPECIFIC OBLIGATIONS OF THE OWNER

The owner acknowledges and agrees that:

4.1 Building Restrictions

No building shall be constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive outside the building envelopes shown on the Endorsed Plan except with the prior written consent of Council.

4.2 Height Controls

Any dwelling constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive must not be higher than 2.0 metres above the highest point of the ridgeline elevation on that lot.

4.3 Re-vegetation

Re-vegetation and landscaping across the ridgeline (the rear of the Eastern most allotments) must be carried out generally in accordance with the approved Landscape Masterplan prior to the issue of a Statement of Compliance.

5. FURTHER OBLIGATIONS OF THE OWNER

The Owner further agrees that:

5.1 Notice and Registration

- 5.1.1 the Owner will bring this Agreement to the attention of all prospective purchasers, mortgagees, transferees and assigns.

5.2 Further Actions

- 5.2.1 the Owner will do all things necessary to give effect to this Agreement.
- 5.2.2 the Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the register on the Certificate of Title to the Land in accordance with section 181 of the Act and do all things necessary to enable Council to do so, including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable a recording to be made in the register under that section.

5.3 Council's costs to be paid

- 5.3.1 the Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.

AK575312M



6. AGREEMENT UNDER SECTION 173 OF THE ACT

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement, and insofar as they can be so treated, this Agreement is made pursuant to section 173 of the Act.

7. OWNERS WARRANTY

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land which may be affected by this Agreement.

8. SUCCESSORS IN TITLE

8.1 Without limiting the operation or effect which this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Land, successors in title shall be required to:-

- (a) give effect to and do all acts and sign all documents which require those successors to give effect to this Agreement; and
- (b) execute a Deed agreeing to be bound by the terms of this Agreement.

9. GENERAL MATTERS

9.1 Notices

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 9.1.1 by delivering it personally to that party;
- 9.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- 9.1.3 sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

9.2 A notice or other communication is deemed served:

- 9.2.1 if delivered, on the next following business day;
- 9.2.2 if posted, on the expiration of two business days after the date of posting; or

9.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested transmission before the end of that business day.

9.3 No Waiver

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

9.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

9.5 No Fettering of Council's Powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

10. COMMENCEMENT OF AGREEMENT

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

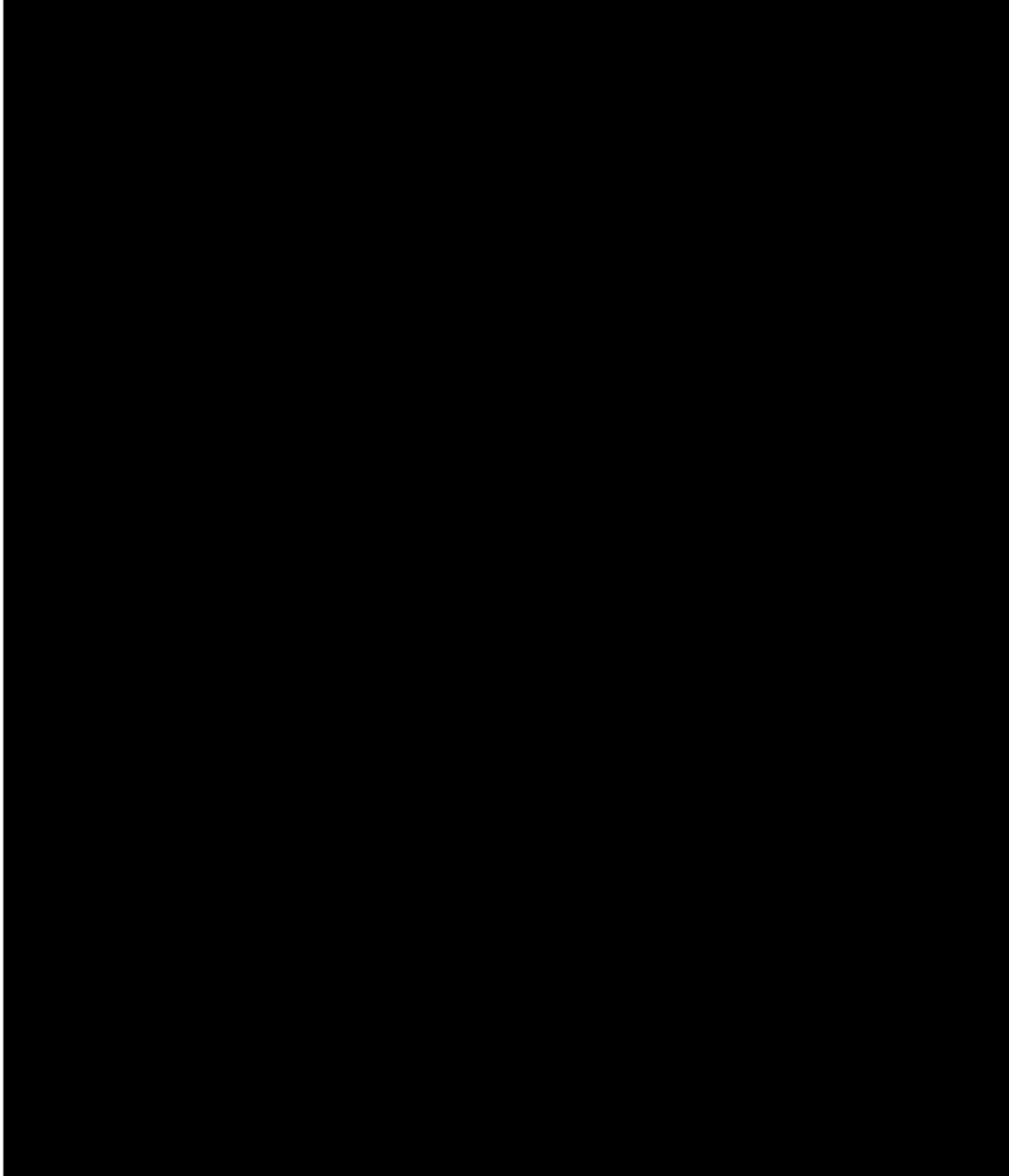


This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

AK575312M
06/09/2013 \$113 173


SIGNING PAGE

EXECUTED by the parties on the date set out at the commencement of this Agreement.



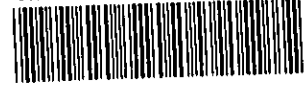
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

AK575312M

06/09/2013

\$113

173



DATED

CARDINIA SHIRE COUNCIL

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

- and -

GALWAY VIEW PTY LTD
ACN 007 183 897

**AGREEMENT
UNDER SECTION 173
OF THE PLANNING
AND ENVIRONMENT
ACT 1987**

Land: Lot 1 & 2 LP8840, 120-150 Pakenham Road, Pakenham 3810

SUPPORTING SUBMISSION:

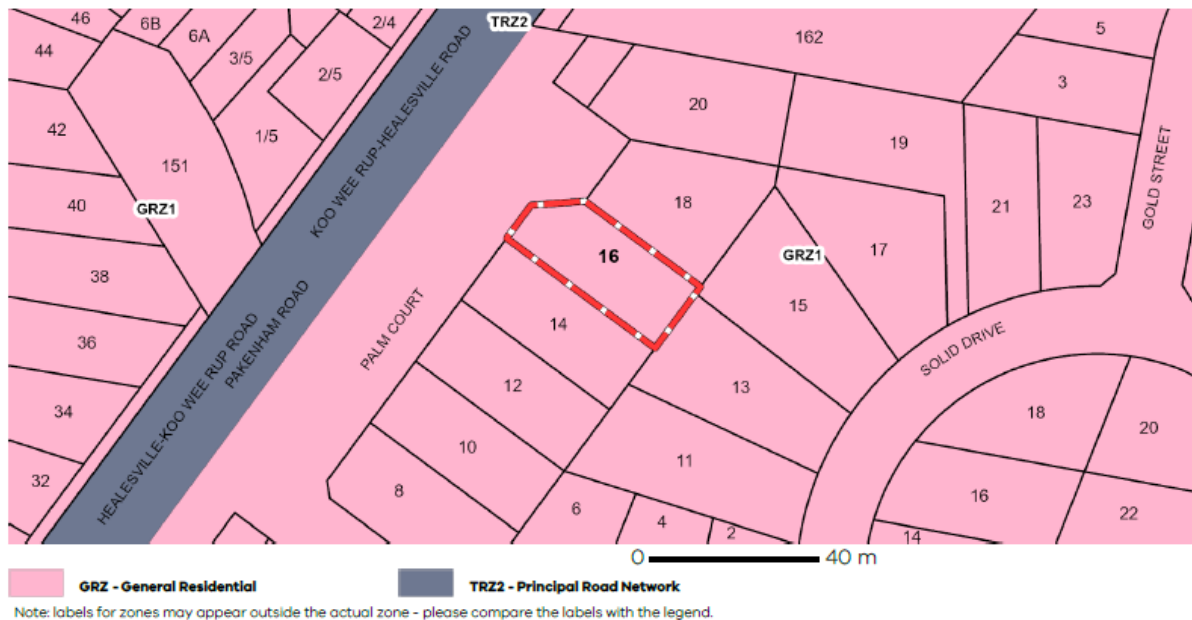
WRITTEN STATEMENT IN RESPONSE TO SCHEDULE 4 TO THE ENVIRONMENTAL SIGNIFICANCE OVERLAY

Planning permit application :P/20002/6461

Address: 16 Palm court Pakenham

Zone Provisions:

The land is in a General Residential Zone (GRZ) under the Cardinia Planning Scheme as shown on the plan below:



Overlay Provisions

The land is in an Environmental Significance overlay Schedule 4 , as shown on the plan below.

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 4 (ESO4)



The purpose of the Environmental Significance Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure the development is compatible with identified environmental values.

The overlay sets out that a schedule of this overlay must contain a statement of environmental significance and the environmental objective to be achieved.

The Pakenham ridge has regional significance for biodiversity. The area has remnants of Grassy Forest, an ecosystem that is vulnerable in the area. The Cobra Greenhood Orchid (*Pterostylis grandiflora*) which is of state significance, and the Green Scentbark (*Eucalyptus fulgens*) which is of state/national significance, are found in the area. The area is characterised by a geology of Devonian Granitic and Silurian Sediment origin, moderate to steep slopes, and areas of remnant vegetation. These characteristics contribute to environmental values including landscape quality, water quality, and habitat of botanical and zoological significance. These characteristics are also a significant factor contributing to environmental hazards such as erosion, salinity and fire risk, and susceptibility to visual intrusion from buildings and works.

The environmental objectives to be achieved are

To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.

To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.

To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.

To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.

To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors.

A permit is required under the Environmental Significance Overlay to construct a building, or to construct and carry out works. A permit is also required under the Environmental Significance Overlay to remove vegetation.

Consideration of proposal:

This is a sloping site with a significant 7.6m fall from rear to the front. There are two existing split level houses on the sides.

The dwelling upper level is redesigned to recess the first floor walls and provide pitched roof at lower level. This reduces the shear wall on the NE side.

The backyard is split into 2 levels to minimize the cut.

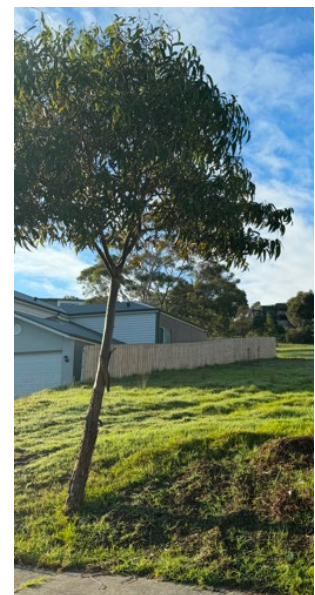
Offwhite and creamy undertone colours will be used to merge with surrounding landscape.

The front setback is 10.63m. Stepped garden beds are proposed with a mixture of canopy trees, shrubs, and ground covers. Dense planting is also proposed near the title boundaries. Refer to the attached Landscape plan.

A single Victorian Blue Gum tree 65cm trunk circumference and approximately 6.4m tall is existing close to the front site boundary and the crossover.

The tree is leaning and has moved the footpath out of level and will continue to do so. The roots could also damage the proposed driveway and retaining walls.

Hence a permit is requested to remove the tree.

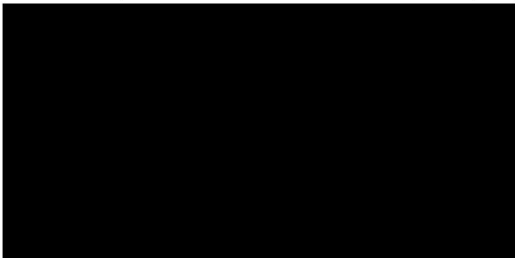


Victorian Blue Gum



Site View

Hope Council can consider to progress the application with this information.



B.Arch
Regd. Building Practitioner

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

30 January 2025

Statutory Planning
Cardinia Shire Council
mail@cardinia.vic.gov.

Dear Sir/Madam

Reference: Planning permit application :P/20002/6461

Address: 16 Palm court Pakenham

I refer to Council's letter dated 6th December 2024, requesting further information in relation to the above application for the proposed split level dwelling. In response to Council's letter, the following information is provided.

1. Application amended to include removal of the existing tree.
2. Attached Written statement outlining the proposal response to Schedule 4 to the Environmental Significance Overlay
3. Garden Area plan added to set of drawings
4. Landscape plan prepared by qualified professional attached.
5. Information Required in Relation to the Site Plan :
Existing tree details shown on Site plan.
6. Information required in relation to Elevation Plan: Attached set of revised plan including elevations.
7. Streetscape elevation : Attached set of revised plans including elevations with NGL and proposed retaining wall details.

I trust this information is sufficient to allow Council to progress the consideration of the application..



B.Arch
Regd. Building Practitioner

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

FEATURE & LEVEL PLAN

16 Palm Court
PAKENHAM

SCALE 1:250 (A3)

LEGEND

- GRATE
- SEWER PIT
- SIDE ENTRY PIT
- LIGHT POLE
- TELSTRA PIT
- ELEC. PIT
- PHOTO POSITION & DIRECTION
- DENOTES FIRST FLOOR BUILDING LINE
- DENOTES FIRST FLOOR HABITABLE WINDOWS
- DENOTES GROUND FLOOR HABITABLE WINDOWS
- DENOTES FIRST FLOOR NON-HABITABLE WINDOWS

NOTE:

- LEVELS SHOWN ON THIS PLAN ARE TO A.H.D BASED ON NAR-NAR-GOON PM 89 (R.L. 63.356)
- TITLE & BUILDING POSITIONS OFF SUBJECT SITE ARE DISPLAYED FOR INDICATION PURPOSES, USE QUOTED SETBACKS ONLY
- P.O.S DENOTES PRIVATE OPEN SPACE

NOTE:

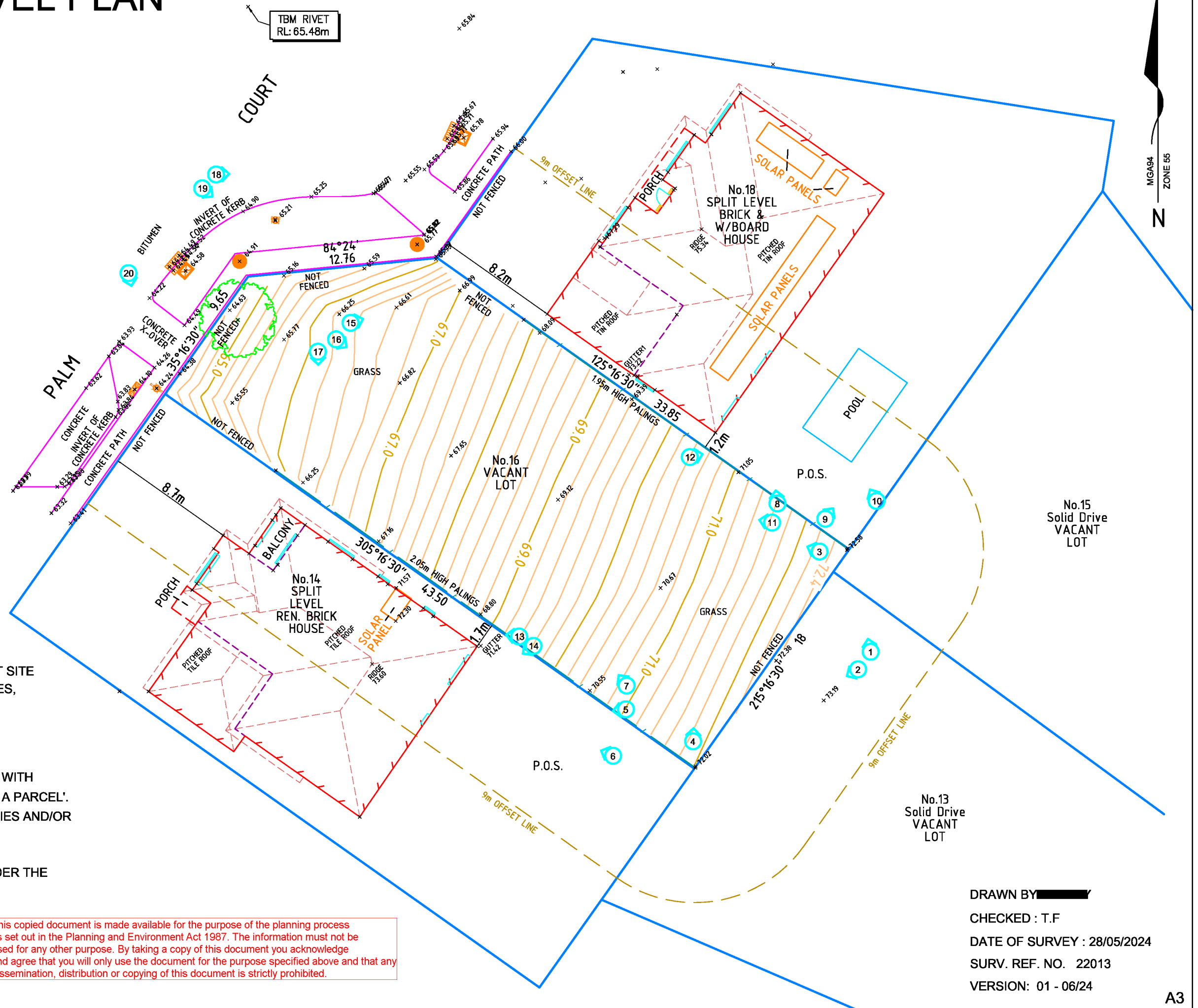
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE 'RECORD OF HAVING RE-ESTABLISHED A PARCEL'. INFORMATION REGARDING TITLE BOUNDARIES AND/OR EASEMENTS SHOULD BE TAKEN FROM RE-ESTABLISHMENT PLAN.
- THIS IS A CADASTRAL PLAN PREPARED UNDER THE SUPERVISION OF A LICENSED SURVEYOR.

NOBELIUS LAND SURVEYORS

P.O. BOX 461
PAKENHAM 3810
Ph 03 5941 4112
Fax 03 5941 7359
mail@nobelius.com.au



This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



DRAWN BY [REDACTED]

CHECKED : T.F

DATE OF SURVEY : 28/05/2024

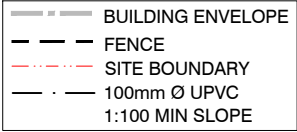
SURV. REF. NO. 22013

VERSION: 01 - 06/24

A3

L 243 Palm Court

GARDEN AREA REQUIRED:	260.0 SQM
GARDEN AREA PROVIDED	276.00 SQM
	37.14%



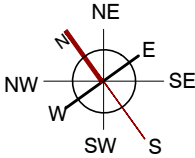
ALL LEVELS AND INFORMATION
EXTRACTED FROM FEATURE AND
LEVEL SURVEY PROVIDED BY
NOBELIUS LAND SURVEYORS,
P.P.BOX 461, PAKENHAM.
ALL LEVEL SHOWN TO AHD

EXISTING TREE DETAILS
NAME: VICTORIAN BLUE GUM-
EUCALYPTUS BICOSTATA
TRUNK: 65CM CIRCUMFERENCE AT
1.3M HT
HEIGHT: 6.4M

NOTES:

These drawings, plans and specifications must not be used, including by reproducing, publishing or communicating to the public, either wholly or in part, without the express written permission.

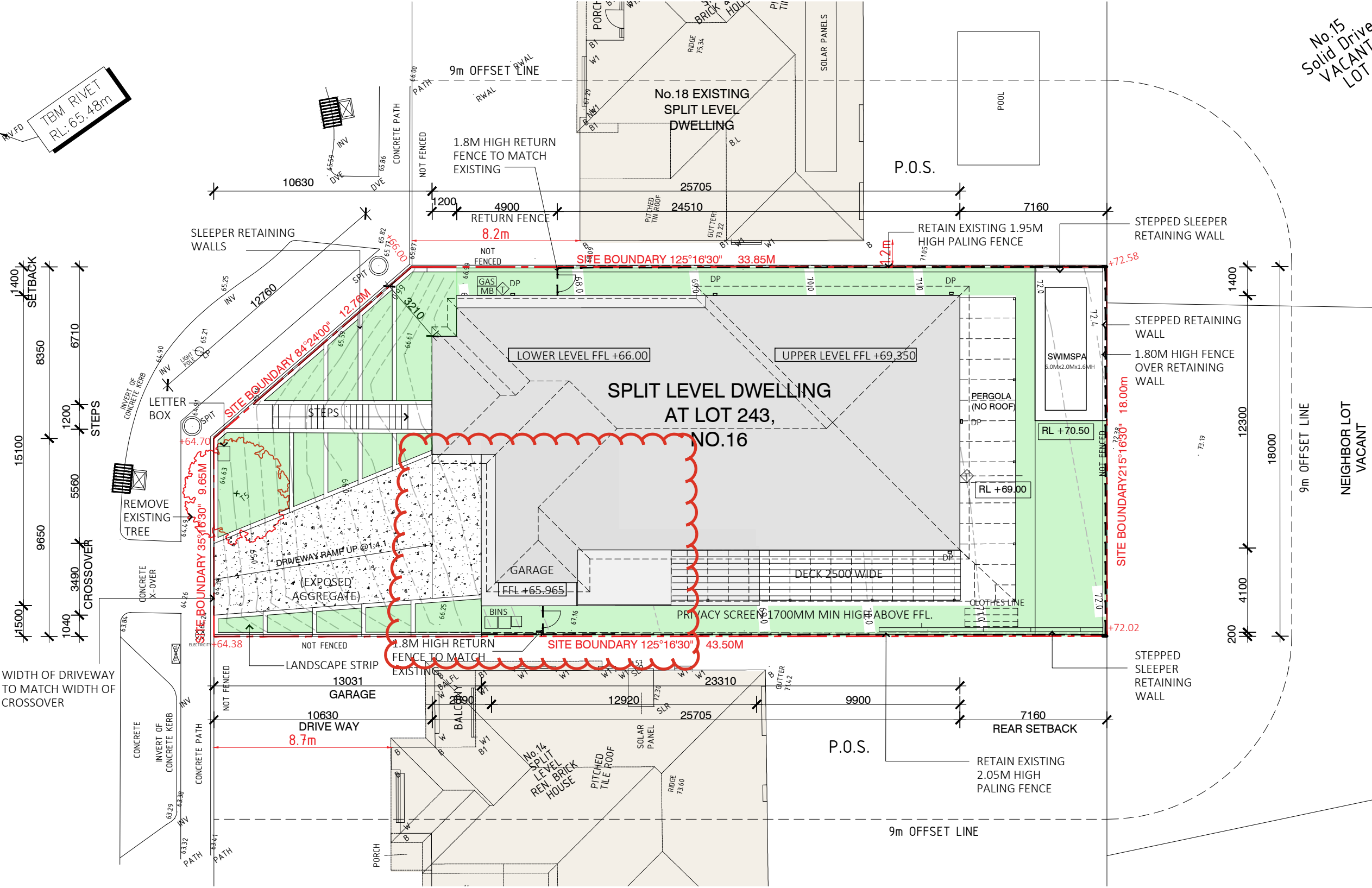
Do not scale drawings, contractors must verify all dimensions on site before commencing any work or preparing shop drawings



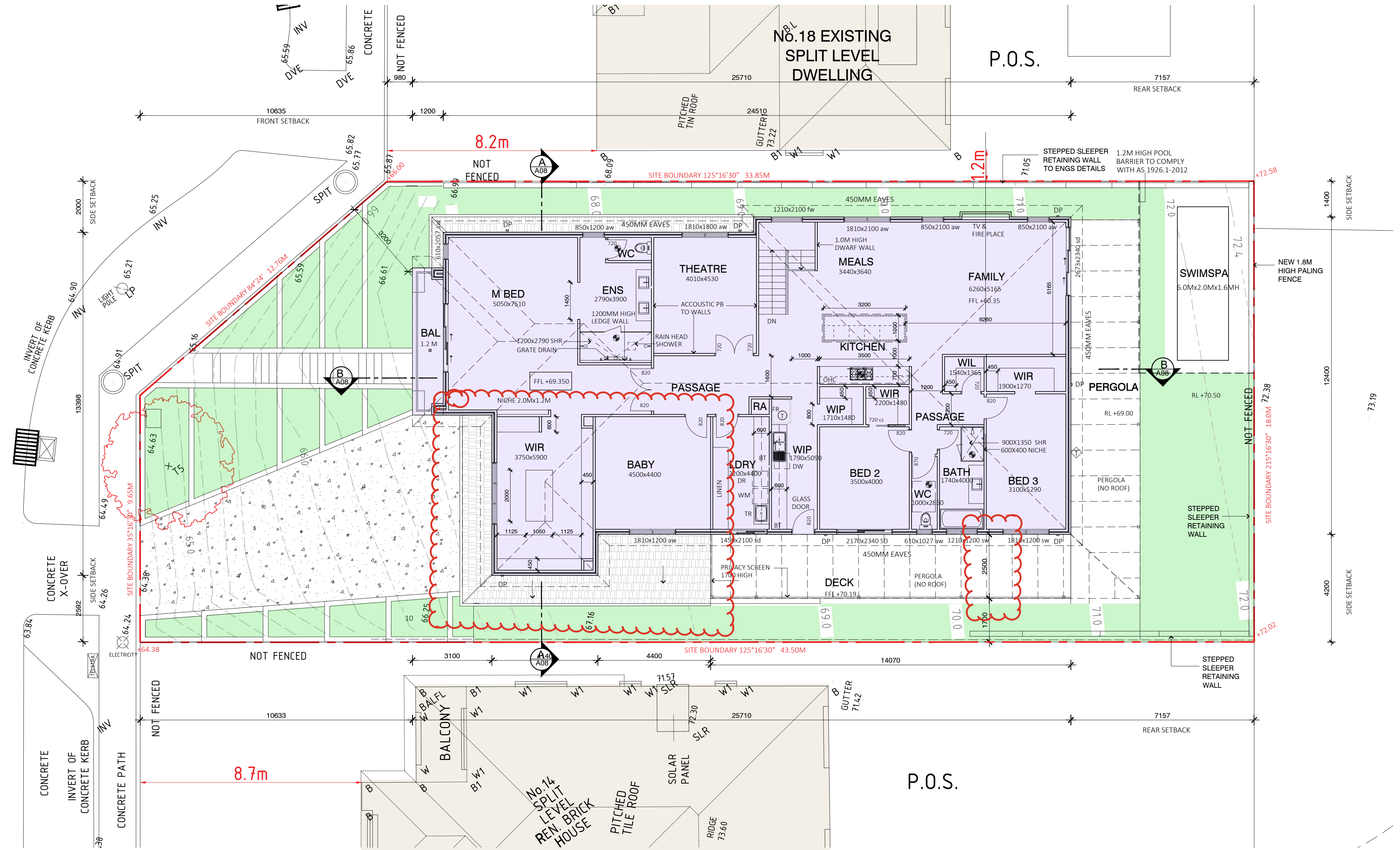
TOWN PLANNING

PROJECT PROPOSED DWELLING (2 LEVEL) AT LOT 243 , 16 PALM COURT, PAKENHAM, VIC 3810				DRAWING SITE PLAN		
DATE JUNE 2024	DRAWN JM	CHKD VP	SCALE 1:200@A3	JOB NO. 224058	DWG NO. TP01	REV. D

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



No.15
Solid Drive
VACANT
LOT

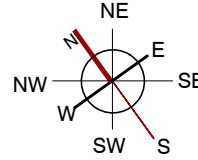


This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

DATE	REV	ISSUE
24-06-24	A	PRELIMINARY ISSUE
15-08-24	B	PLAN REVISION
24-09-24	C	TP ISSUE
21-01-25	D	TP AMENDMENTS ISSUE

NOTES:
These drawings, plans and specifications must not be used, including by reproducing, publishing or communicating to the public, either wholly or in part, without the express written permission.

Do not scale drawings, contractors must verify all dimensions on site before commencing any work or preparing shop drawings



TOWN PLANNING

PROJECT
PROPOSED DWELLING (2 LEVEL) AT
LOT 243 , 16 PALM COURT,
PAKENHAM, VIC 3810

DATE
JUNE 2024

DRAWN
JM

CHKD
VP

SCALE
1:100@A2

DRAWING
UPPER LEVEL PLAN

JOB NO.
224058

DWG NO.
TP03

REV.
D

Architectural elevation drawing of a two-story house. The drawing includes the following annotations:

- Roof:** TILE ROOF AT 20.0° PITCH
- Exterior Walls:** RENDERED HEBEL PANEL WALL- R1
- Privacy Screen:** 1.7M HIGH PRIVACY SCREEN BEYOND
- Eaves:** 450 EAVES (on both sides)
- Boundary Lines:** BOUNDARY LINE (on both sides)
- Windows:** 2400 WINDOWS (on both floors), 20MM WIDE GROOVES IN RENDER
- Doors:** PANEL LIFT DOOR
- Materials:** POWDER-COATED ALUMINIUM GLAZED WINDOWS, RENDERED PIER R2
- Retaining Walls:** STEPPED SLEEPER RETAINING WALL ALONG BOUNDARY TO ENGS DETAILS
- Levels:**
 - CL +72.73 AHD (RIDGE LINE)
 - CL +72.350 AHD
 - F.F.L +69.350 AHD
 - F.C.L
 - F.F.L +66.00 AHD
 - +EX 66.0
 - +EX 64.7
 - +EX 64.38
- Other Features:** EXPOSED AGGREGATE DRIVEWAY, STEPPED SLEEPER RETAINING WALLS, NGL AT SITE BOUNDARY, STEPS

(A) RENDERED HEBEL
PANEL WALL- R1
DULUX LEXICON QTR

(B) RENDER ON PIER- R2
DULUX WHITE ON
WHITE

(C) RENDERED
MOULDING- DULUX
VIVID WHITE
(LIGHTER SHADE)

(D) CONCRETE ROOF
TILES-
BRISTLE CLASSIC
COOL SMOKE

(E) FASCIA AND
GUTTER -
COLORBOND
MONUMENT

(F) WINDOWS -
COLORBOND
WHITEHAVEN


(G) DOWNPIPE TO
MATCH RENDER -
COLORBOND
SURFMIST

(H) GARAGE DOOR
SHADE GREY
COLOUR

PRIVACY SCREEN
MONUMENT COLOUR
FRAME WITH OPAQUE
GLASS, 1700MM HT


Architectural elevation drawing of a two-story building with a gabled roof. The drawing includes the following labels and dimensions:

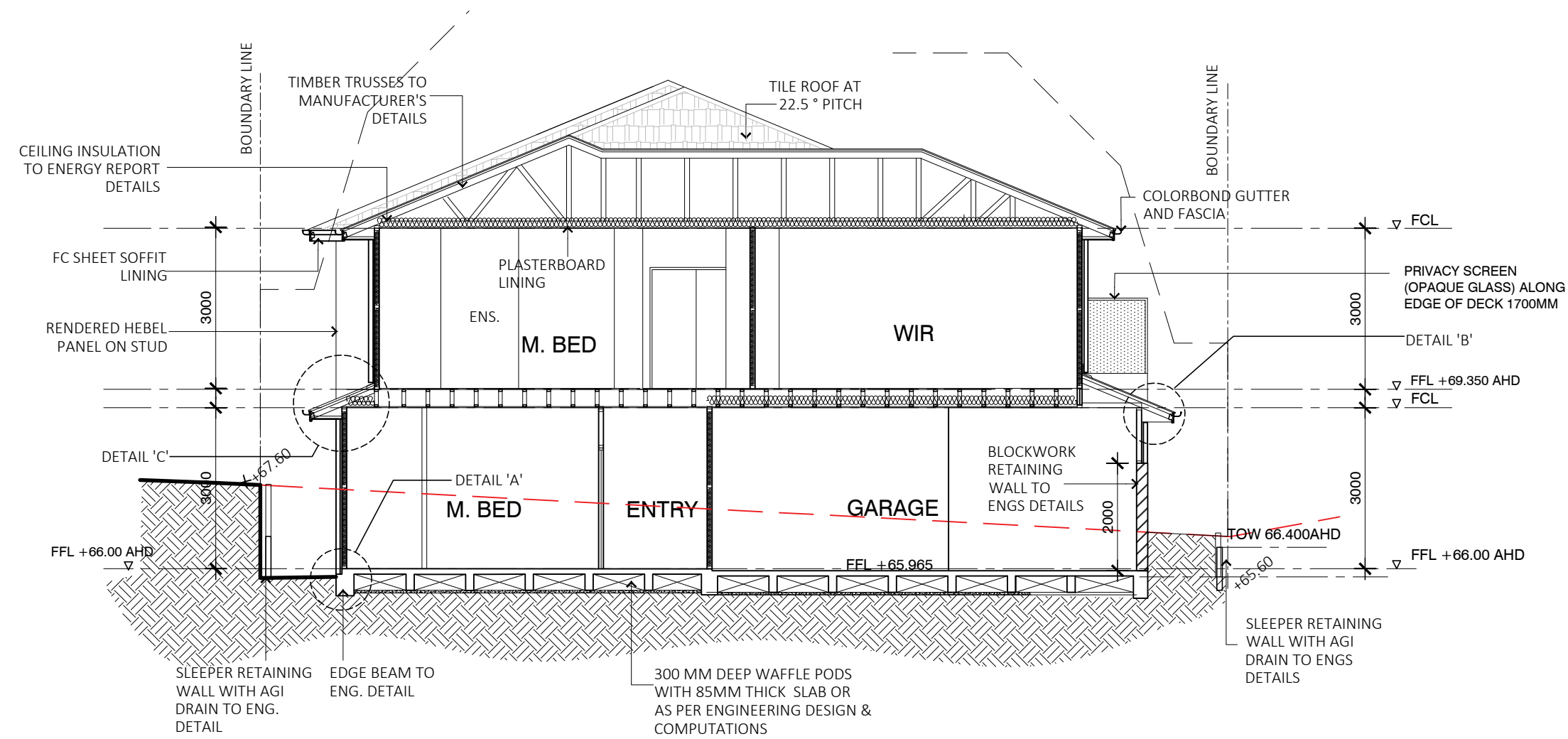
- Roof:** TILE ROOF AT 20.0°, RANGEHOOD VENT, COLORBOND FASCIA, GUTTER AND DOWNPIPE, FIXED OPAQUE GLASS TO WINDOW UPTO 1700MM ABOVE FFL, EXHAUST VENT, 20MM WIDE GROOVES IN RENDER.
- Walls:** RENDERED HEBEL PANEL WALL- R1, STEPPED RETAINING WALL AT BOUNDARY, NATURAL GROUND LINE, STEPPED SLEEPER RETAINING WALL AT BOUNDARY. REFER DRG TP04-1 FOR DETAILS, EXISTING TIMBER PALING FENCE, RENDERED HEBEL PANEL WALL- R1, RENDERED HEBEL PANEL PIER- R2.
- Windows:** 2400 WINDOW 3000, 2400 WINDOW 3000.
- Dimensions and Levels:**
 - 1.9M HIGH FENCE
 - PERGOLA (NO ROOF)
 - BOUNDARY LINE
 - ▽ FCL
 - RL +70.50
 - FFL +69.350 AHD
 - 2975
 - 3659
 - 1236
 - 4728
 - 4728
 - 3330
 - 1700
 - 6641
 - 5119
 - 7382
 - 7792
 - 8348
 - 1740
 - 1200
 - 2400
 - 3000
 - EX65.0
 - ▽ FFL +69.350 AHD
 - ▽ FCL
 - STEPPED RETAINING WALL AT BOUNDARY
 - FFL +66.00 AHD
 - RL 67.00
 - 64.38
 - ▽ RIDGE LVL +74.73 AHD
 - ▽ CL +72.350 AHD

DATE	REV	ISSUE	<p>NOTES:</p> <p>These drawings, plans and specifications must not be used, including by reproducing, publishing or communicating to the public, either wholly or in part, without the express written permission.</p> <p>Do not scale drawings, contractors must verify all dimensions on site before commencing any work or preparing shop drawings</p>	 <p>181 Stud Road, Dandenong North, VIC 3175 ABN 683396261926 M 0411 859 546</p>	<p>TOWN PLANNING</p>	<p>PROJECT</p> <p>PROPOSED DWELLING (2 LEVEL) AT LOT 243 , 16 PALM COURT, PAKENHAM, VIC 3810</p>				<p>DRAWING</p> <p>ELEVATIONS</p>		
24-06-24	A	PRELIMINARY ISSUE										
15-08-24	B	PLAN REVISION										
24-09-24	C	TP ISSUE										
21-01-25	D	TP AMENDMENTS ISSUE										
						<p>DATE</p> <p>JUNE 2024</p>	<p>DRAWN</p> <p>JM</p>	<p>CHKD</p> <p>VP</p>	<p>SCALE</p> <p>1:100@A2</p>	<p>JOB NO.</p> <p>224058</p>	<p>DWG NO.</p> <p>TP04</p>	<p>REV.</p> <p>D</p>

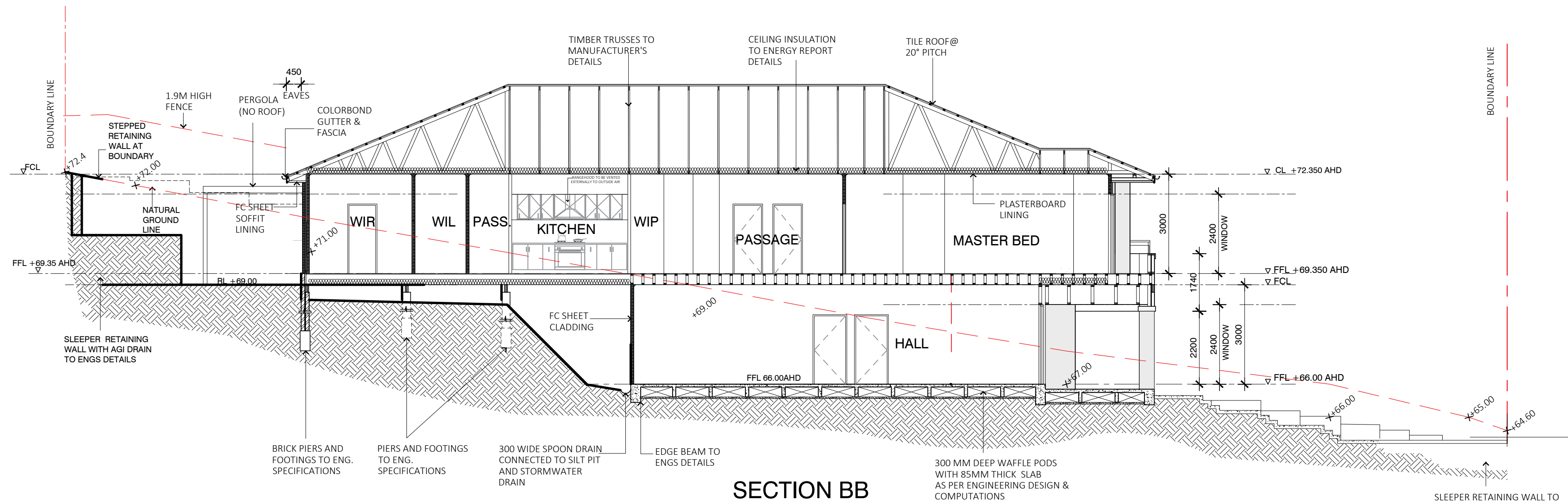
Architectural elevation drawing of a house. The drawing shows the house's profile with various annotations for materials, heights, and levels. Key features include:


- 2.0M HIGH PALING FENCE
- PERGOLA (NO ROOF)
- TILE ROOF AT 20.0°
- PERGOLA (NO ROOF)
- 2.0M HIGH PALING FENCE
- BOUNDARY LINE
- ▽ RIDGE LM4.73 AHD
- ▽ CL +72.350 AHD
- 1.7M HIGH PRIVACY SCREEN TO DECK
- 3011
- RL +70.500 AHD
- 2840
- TOW+72.00
- DP
- RENDERED HEBEL PANEL-R1
- NATURAL GROUND LINE AT SITE BOUNDARY
- DP
- RL +69.000 AHD
- TOW+72.40
- 2400
- WINDOWS 3000
- ▽ RL +70.500 AHD
- ▽ FFL +69.350 AHD
- STEPPED SLEEPER RETAINING WALL. REFER TP 05-1 FOR DETAILS

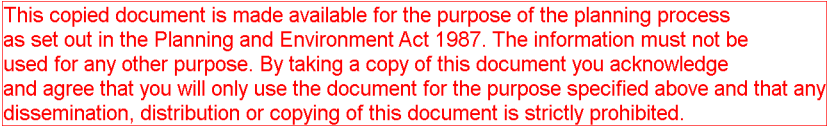
DATE	REV	ISSUE	<p>NOTES:</p> <p>These drawings, plans and specifications must not be used, including by reproducing, publishing or communicating to the public, either wholly or in part, without the express written permission.</p> <p>Do not scale drawings, contractors must verify all dimensions on site before commencing any work or preparing shop drawings</p>	 <p>181 Stud Road, Dandenong North, VIC 3175 ABN 68396261926 M 0411 859 546</p>	TOWN PLANNING	PROJECT				DRAWING		
24-06-24	A	PRELIMINARY ISSUE				PROPOSED DWELLING (2 LEVEL) AT LOT 243 , 16 PALM COURT, PAKENHAM, VIC 3810				ELEVATIONS		
15-08-24	B	PLAN REVISION										
24-09-24	C	TP ISSUE										
21-01-25	D	TP AMENDMENTS ISSUE										
						DATE	DRAWN	CHKD	SCALE	JOB NO.	DWG NO.	REV.
						JUNE 2024	JM	VP	1:100@A3	224058	TP05	D



SECTION AA




DATE	REV	ISSUE	<p>NOTES:</p> <p>These drawings, plans and specifications must not be used, including by reproducing, publishing or communicating to the public, either wholly or in part, without the express written permission.</p> <p>Do not scale drawings, contractors must verify all dimensions on site before commencing any work or preparing shop drawings</p>	<div><p>181 Stud Road, Dandenong North, VIC 3175 ABN 683396261926 M 0411 859 546</p></div>	TOWN PLANNING	PROJECT PROPOSED DWELLING (2 LEVEL) AT LOT 243 , 16 PALM COURT, PAKENHAM, VIC 3810				DRAWING SECTIONS		
24-06-24	A	PRELIMINARY ISSUE				DATE JUNE 2024	DRAWN JM	CHKD VP	SCALE 1:100@A2	JOB NO. 224058	DWG NO. TP06	REV. D
15-08-24	B	PLAN REVISION										
24-09-24	C	TP ISSUE										
21-01-25	D	TP AMENDMENTS ISSUE										

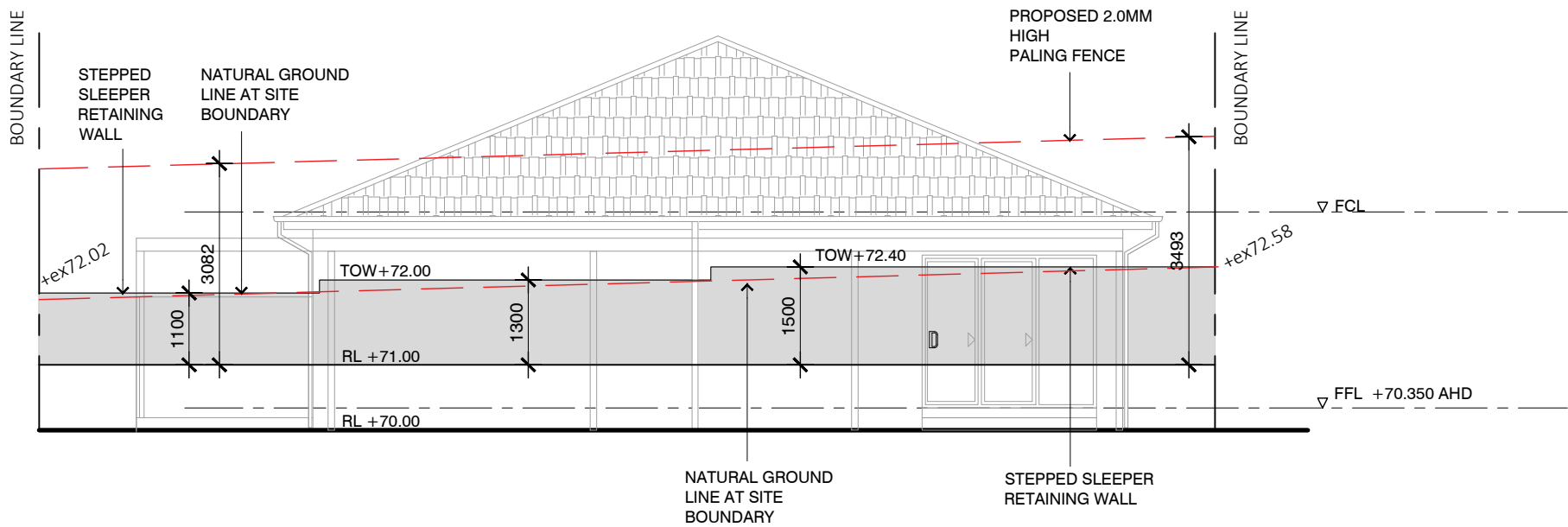


NORTH WEST ELEVATION- A

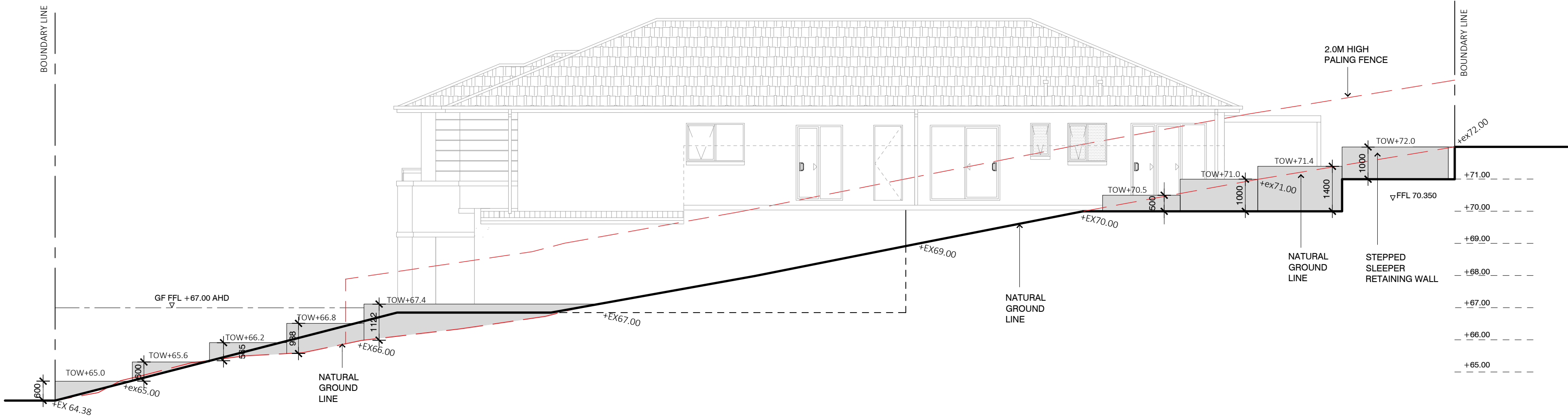


DATE	REV	ISSUE	<p>NOTES:</p> <p>These drawings, plans and specifications must not be used, including by reproducing, publishing or communicating to the public, either wholly or in part, without the express written permission.</p> <p>Do not scale drawings, contractors must verify all dimensions on site before commencing any work or preparing shop drawings</p>	 <p>181 Stud Road, Dandenong North, VIC 3175 ABN 68396261926 M 0411 859 546</p>	TOWN PLANNING	PROJECT				DRAWING		
24-06-24	A	PRELIMINARY ISSUE				PROPOSED DWELLING (2 LEVEL) AT LOT 243 , 16 PALM COURT, PAKENHAM, VIC 3810				ELEVATIONS- RETAINING WALLS		
15-08-24	B	PLAN REVISION				DATE JUNE 2024	DRAWN JM	CHKD VP	SCALE 1:100@A2	JOB NO. 224058	DWG NO. TP04-1	REV. D
24-09-24	C	TP ISSUE										
21-01-25	D	TP AMENDMENTS ISSUE										

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



SOUTH EAST ELEVATION - C



SOUTH WEST ELEVATION - D

DATE	REV	ISSUE
24-06-24	A	PRELIMINARY ISSUE
15-08-24	B	PLAN REVISION
24-09-24	C	TP ISSUE
21-01-25	D	TP AMENDMENTS ISSUE

NOTES:

These drawings, plans and specifications must not be used, including by reproducing, publishing or communicating to the public, either wholly or in part, without the express written permission.

Do not scale drawings, contractors must verify all dimensions on site before commencing any work or preparing shop drawings



181 Stud Road, Dandenong North, VIC 3175
ABN 68396261926 M 0411 859 546

TOWN PLANNING

PROJECT
PROPOSED DWELLING (2 LEVEL) AT
LOT 243 , 16 PALM COURT,
PAKENHAM, VIC 3810

DATE
JUNE 2024

DRAWN
JM

CHKD
VP

SCALE
1:100@A2

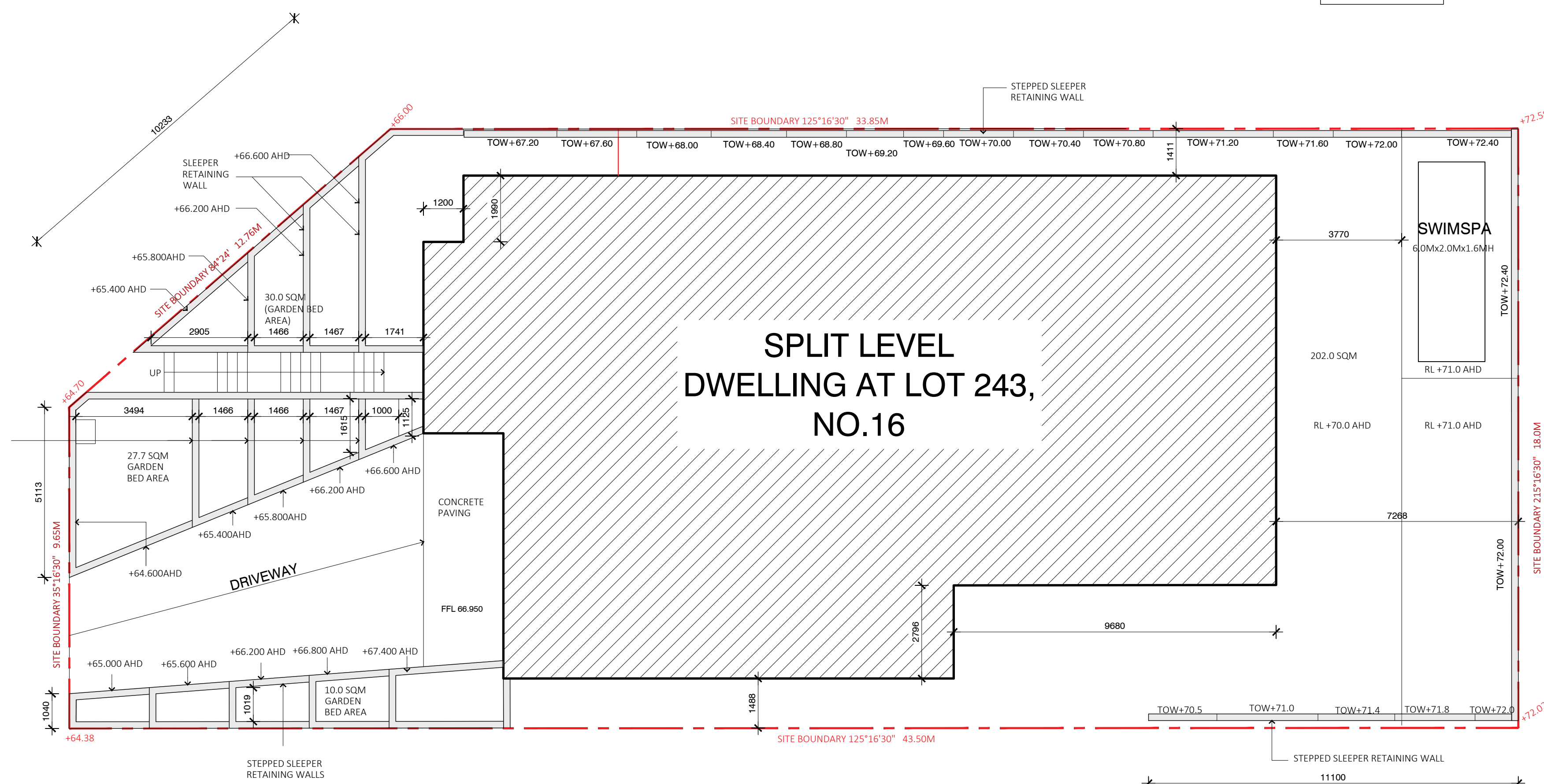
DRAWING
ELEVATIONS- RETAINING
WALLS

JOB NO.
224058


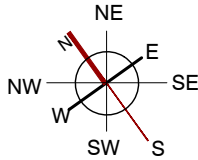
DWG NO.
TP05-1

REV.
D

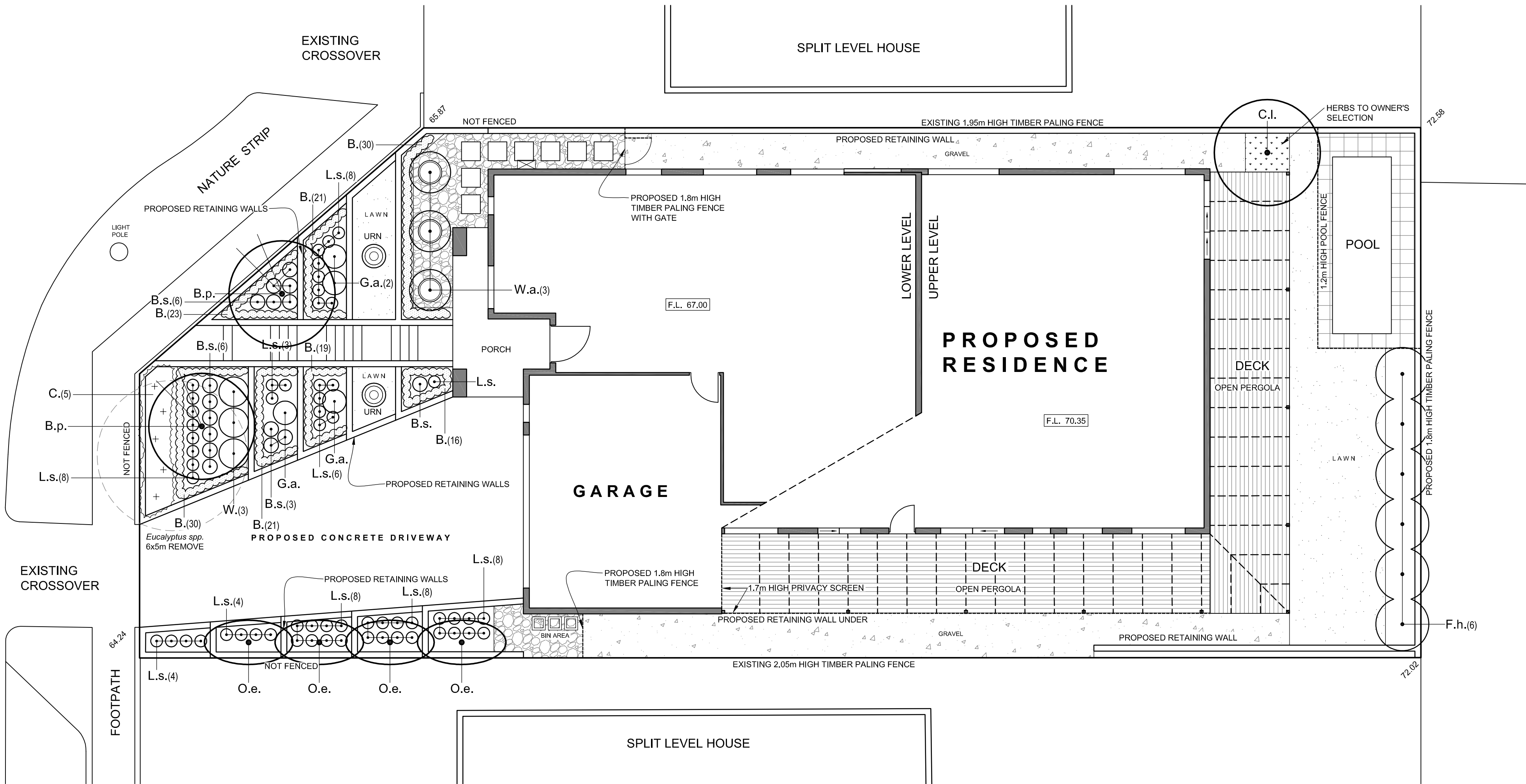
PALM COURT



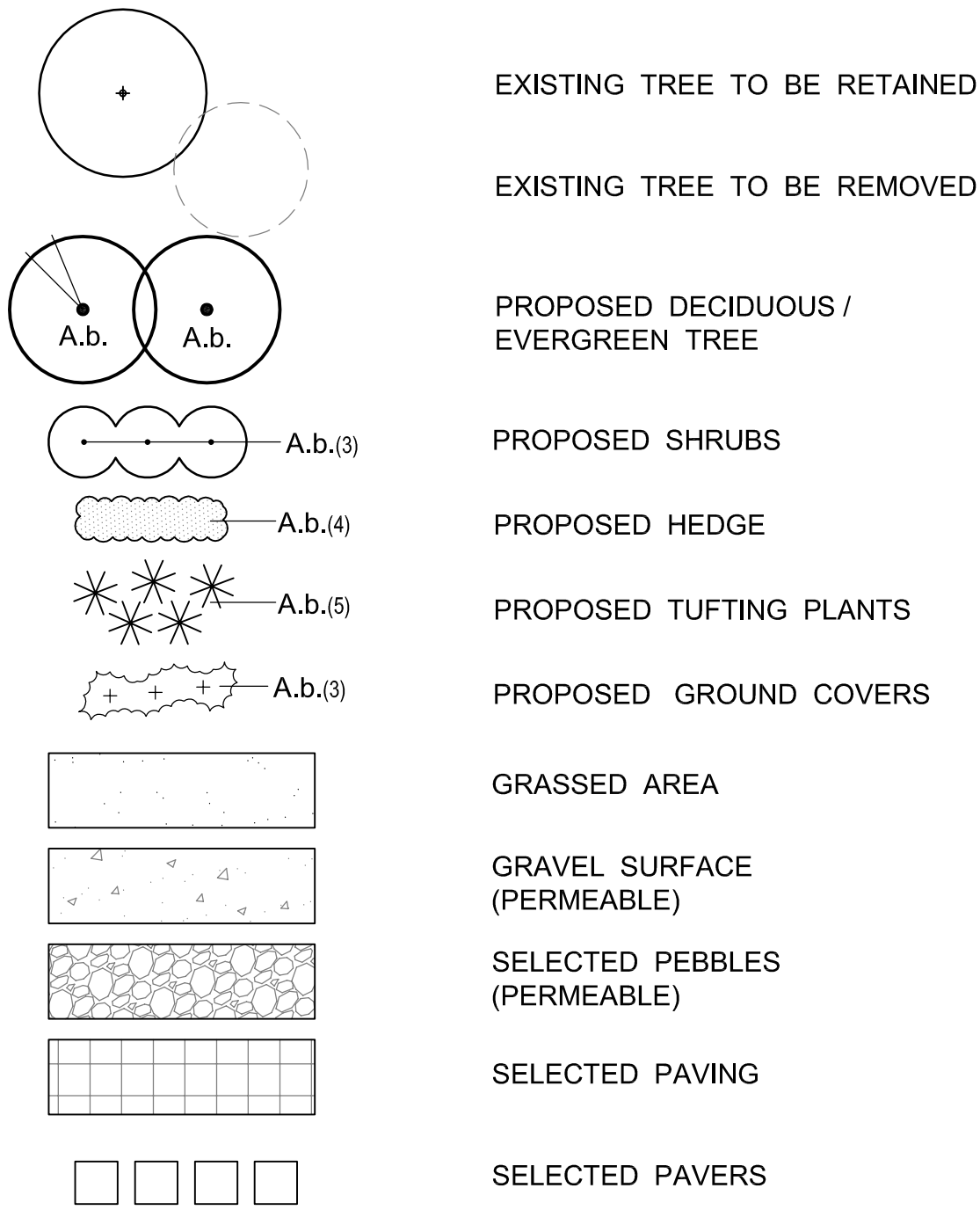
This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

DATE	REV	ISSUE	NOTES: These drawings, plans and specifications must not be used, including by reproducing, publishing or communicating to the public, either wholly or in part, without the express written permission. Do not scale drawings, contractors must verify all dimensions on site before commencing any work or preparing shop drawings	 181 Stud Road, Dandenong North, VIC 3175 ABN 68396261926 M 0411 859 546	 TOWN PLANNING	PROJECT				DRAWING		
24-06-24	A	PRELIMINARY ISSUE				PROPOSED DWELLING (2 LEVEL) AT LOT 243 , 16 PALM COURT, PAKENHAM, VIC 3810				RETAINING WALL LAYOUT		
15-08-24	B	PLAN REVISION										
24-09-24	C	TP ISSUE										
21-01-25	D	TP AMENDMENTS ISSUE										
						DATE	DRAWN	CHKD	SCALE	JOB NO.	DWG NO.	REV.
						JUNE 2024	JM	VP	1:100@A2	224058	TP01-1	D

PALM COURT



LEGEND



NOTES

EXISTING TREES: Existing trees to remain are to be adequately protected during site works. Tree protection measures are to be in accordance with Australian Standard AS4970-2009 Protection of Trees on Development Sites.

TOPSOIL: Soil, if imported to the site is to be screened and free from perennial weeds. Cultivate existing site soil to 200mm depth. To garden areas spread imported topsoil to a lightly rolled depth of 150mm over cultivated site soil. To lawn areas spread imported topsoil to lightly rolled depth of 100mm. Imported topsoil to be a 70/30 mix of screened topsoil and organic compost, pH range 6-7. Apply gypsum where necessary.

TREES: All canopy trees to be a minimum 2.0 metres tall when planted.

PLANTS AND PLANTING: All plants to be healthy disease-free specimens. Over-excavate all plant holes by at least twice pot volume. Spread a slow release fertiliser to each plant hole at the manufacturers specifications. Stake and tie trees by two 2100x32x32 pointed stakes and large shrubs with one 1800x25x25 pointed stake. All ties to be flexible rubber or canvas ties in 'figure 8' configuration. Immediately after planting, water-in all plants and maintain regular follow-up watering during establishment period.

LAWN: Soil to finish as a lightly rolled layer 8mm above adjacent paved surfaces, or plinth board. Spread lawn seed at the rate of 40gms/m squared. For instant turf grass finish top soil as lightly rolled layer flush to adjacent paved surfaces. Ensure seed bed and instant turf areas are kept moist during the establishment period.

EDGING: Separate garden bed, gravel and lawn areas by a 100x20 C.C.A. treated pine plinth board pegged at 1200mm centres, or similar hard edging.

MULCH: After planting spread shredded pinewood mulch to a depth of 75mm to all garden beds.

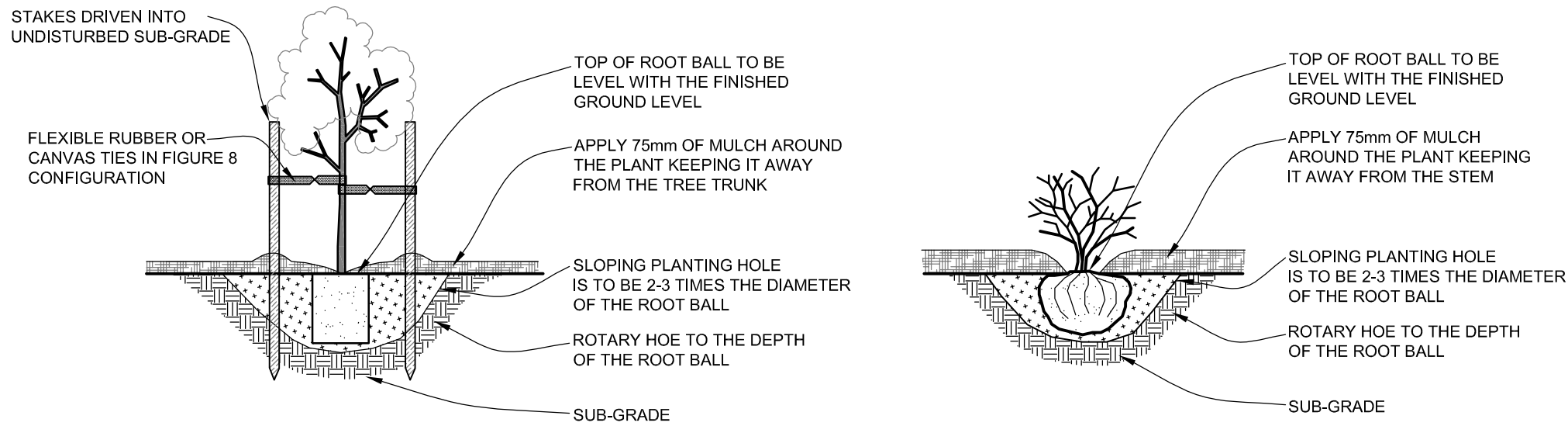
MAINTENANCE: Maintain all garden beds in a neat and tidy condition. Regularly water garden beds and lawn areas during establishment period and during dry spells. Eradicate any weed growth.

DISCLAIMER: Bradbury Culina shall not be liable for any damage caused to the existing vegetation retained on and surrounding the site, it is the sole responsibility of the owner or builder. It is the Landscape Contractor's responsibility to locate and prove all services prior to undertaking works and various authorities are to be notified. Should any existing services be damaged during construction works, the contractor shall make arrangement for repairs. All costs for this shall be borne by the contractor.

PLANTING SCHEDULE

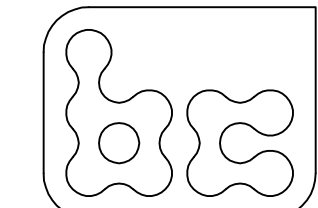
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT*	WIDTH*	POT SIZE	QTY
EVERGREEN TREES						
C.I.	Citrus limon 'Meyer'	Lemon 'Meyer'	3m	2m	300mm	4
O.e.	Olea 'Manzanillo'	Olive - espaliered	5m	3m	300mm	4
DECIDUOUS TREES						
B.p.	Betula pendula 'Moss White'	Silver Birch 'Moss White'	8m	4m	2m TALL	2
SHRUBS						
B.s.	Buxus sempervirens	English Box Ball	1m	0.5m	150mm	16
B.	Buxus sempervirens 'Suffruticosa'	Dutch Box	0.4m	0.3m	150mm	160
F.h.	Ficus hillii 'Flash'	Ficus 'Flash' (pleached)	4-5m	2-3m	200mm	6
G.a.	Gardenia 'White Goddess'	Gardenia	1m	1m	150mm	4
L.s.	Lavandula stoechas	'Javelin Forte' Purple	0.4m	0.4m	150mm	58
W.a.	Wisteria floribunda alba	Wisteria	2m	1.5m	200mm	3
W.	Westringia fruticosa	Jervis Gem Ball	1m	1m	200mm	3
GROUNDCOVERS AND TUFTING PLANTS						
C.	Casuarina glauca 'Cousin It'	She Oak 'Cousin It'	0.2m	1-2m	150mm	5

* Denotes height and width at maturity



TYPICAL TREE AND SHRUB PLANTING DETAIL
NOT TO SCALE

This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



bradbury
culina

Phone:
0401 833 493
0413 345 570
www.bradburyculina.com
ABN 96 045 663 757

DESIGN BY:
S.C.
DRAWN BY:
S.C.

CLIENT:
Lead Design Studio
PROJECT ADDRESS:
16 Palm Court, Pakenham

DATE:
29 January 2025
SCALE (@A1):
1:100

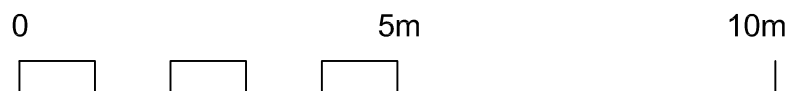
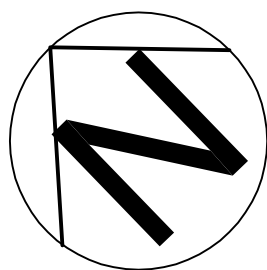
DRAWING TITLE:

Landscape Plan

DRAWING NUMBER:
4629

FOR TOWN
PLANNING

SHEET:
1 / 1



Copying of this document / drawing in any shape or form, in whole or in part, without the authorisation of Bradbury Culina is strictly prohibited.