
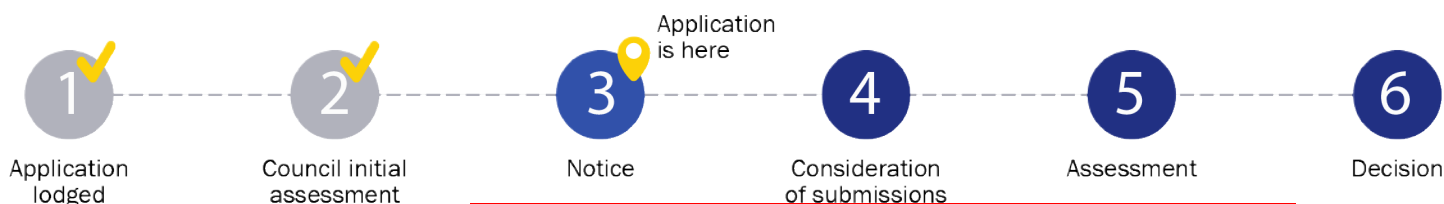


Notice of Application for a Planning Permit

The land affected by the application is located at:	L109 PS848743 V12580 F399 12 Sunny Vista, Pakenham VIC 3810	
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works	
42.01-2	Construct a fence	
APPLICATION DETAILS		
The applicant for the permit is:	Mr Reece Cutajar 8 Homes	
Application number:	T250302	
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		18 August 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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ePlanning

Application Summary

Portal Reference A2259170

Basic Information

Proposed Use	Pursuant to Clause 42.01-2 (Environmental Significance Overlay)
Current Use	the land is currently vacant. proposed dwelling and garage.
Cost of Works	\$634,674
Site Address	12 Sunny Vista Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Regulation Fee Condition

		Amount	Modifier	Payable
9 - Class 5	More than \$500,000 but not more than \$1,000,000	\$1,535.00	100%	\$1,535.00
		Total		\$1,535.00

Documents Uploaded

Date	Type	Filename
30-05-2025	A Copy of Title	Title.pdf
30-05-2025	Site plans	133254_PLANS_2025.05.27_.pdf
30-05-2025	Additional Document	DEVELOPER APPROVAL.pdf



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

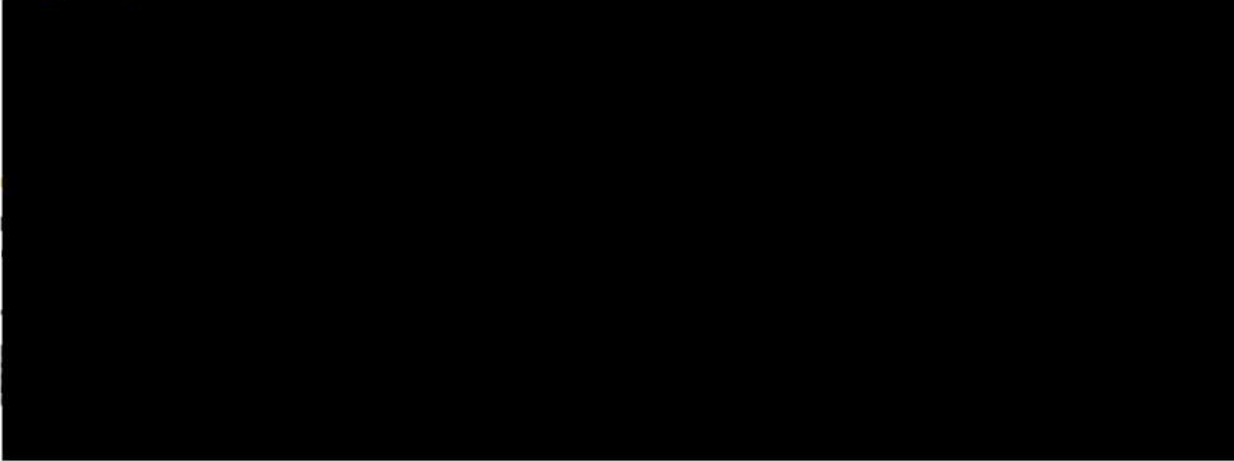
Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

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☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm

Phone: 1300 787 624

After Hours: 1300 787 624

Fax: 03 5941 3784



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250302 PA
Address of the Land:	12 Sunny Vista, Pakenham

APPLICANT DETAILS

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
update the proposal discription updated to include ' Clause 42.01-2 a permit is requiered to construct a fence.		

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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12580 FOLIO 399

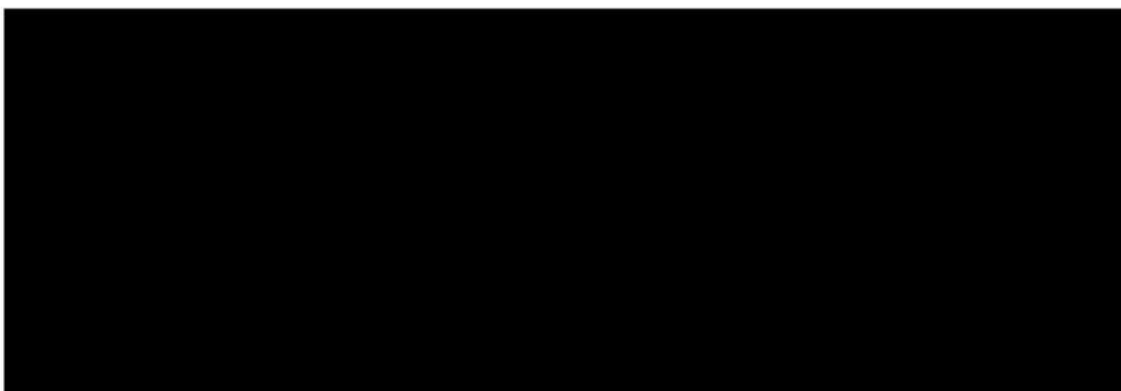
Security no : 124126143230W

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LAND DESCRIPTION

Lot 109 on Plan of Subdivision 848743W.
PARENT TITLE Volume 12330 Folio 801
Created by instrument PS848743W 31/10/2024



NATIONAL AUSTRALIA BANK LTD

COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 SUNNY VISTA PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LTD
Effective from 14/11/2024

DOCUMENT END



Department of Environment, Land, Water & Planning

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 11/07/2025 01:38:02 PM

Status	Registered	Dealing Number	AY596415L
Date and Time Lodged	14/11/2024 03:42:03 PM		

Lodger Details

Lodger Code	16089P
Name	NATIONAL AUSTRALIA BANK LTD
Address	
Lodger Box	
Phone	
Email	
Reference	

TRANSFER

Jurisdiction	VICTORIA
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Land Title Reference

12580/399

Transferor(s)

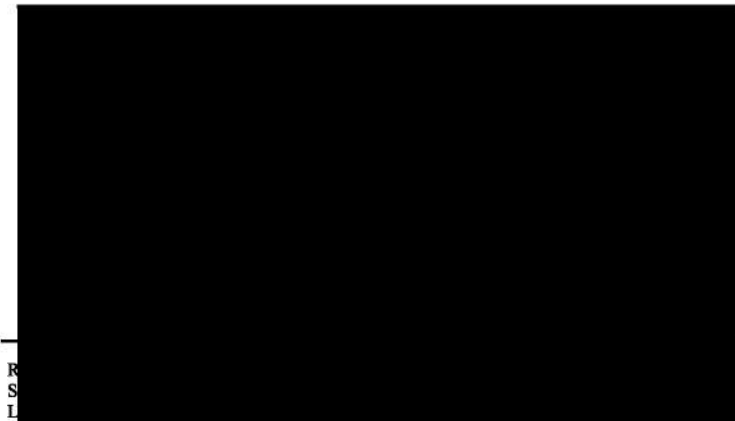
Name	BNG (PAKENHAM) PTY LTD
ACN	640125686

Estate and/or Interest being transferred

Fee Simple

Consideration

\$AUD 415000.00





Department of Environment, Land, Water & Planning

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Duty Transaction ID
6128345

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of
Signer Name
Signer Organisation
Signer Role

Execution Date

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of

Signer Name
Signer Organisation
Signer Role
Execution Date



Department of Environment, Land, Water & Planning

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Electronic Instrument Statement

File Notes:

NIL

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Statement End.



Department of Environment, Land, Water & Planning

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Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC



Department of Environment, Land, Water & Planning

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Electronic Instrument Statement

Postcode 3809

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is compliant with relevant law and any Prescribed Requirement.

Executed on behalf of

Signer Name

Signer Organisation

Signer Role

Execution Date

File Notes:

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Statement End.

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Document Assembled	11/07/2025 13:38

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 447 Collins Street, Melbourne VIC 3000 Australia
PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

Table of contents

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Deed of Agreement

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Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

F. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of the Amended Planning Permit;
- (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
- (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act means the *Planning and Environment Act 1987* (Vic).

Agreement means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

Building Design Guidelines means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

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3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

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5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

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8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

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8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

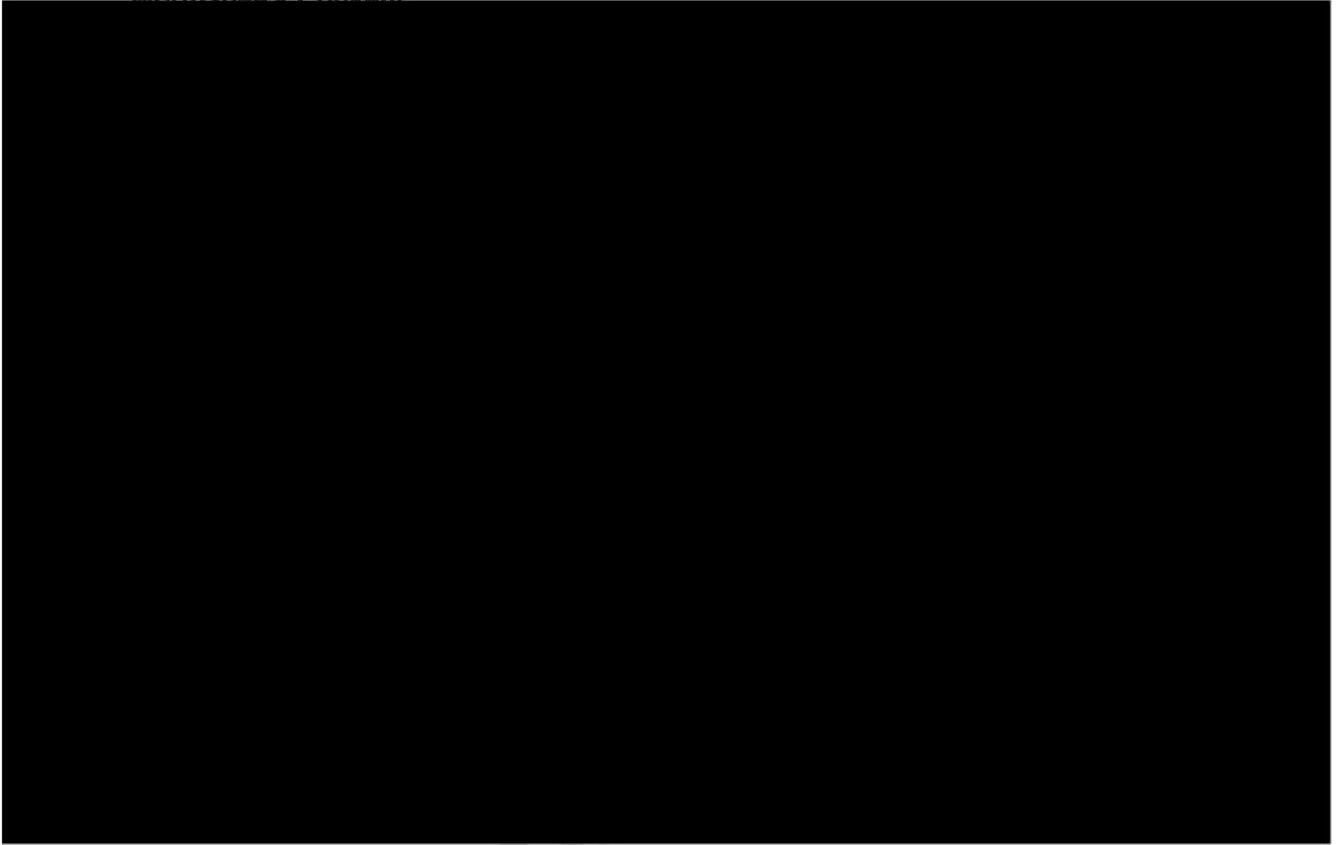
8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

Schedule

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Mortgagee's Consent



Executed as a deed

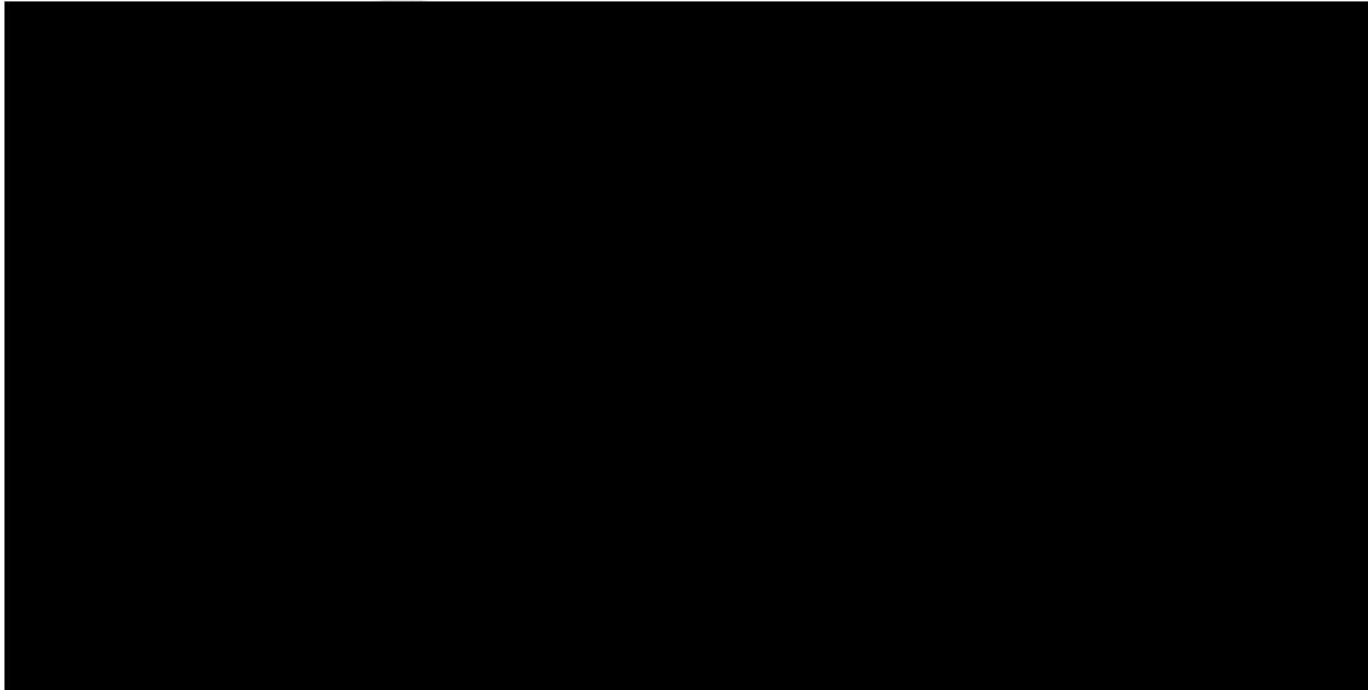
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in accordance with the requirements for witnessing by
audio-visual link under section 12 of the Electronic
Transactions (Victoria) Act 2000.
(Strike out if inapplicable)

Vanessa Neep

.....
Name of witness
(BLOCK LETTERS)

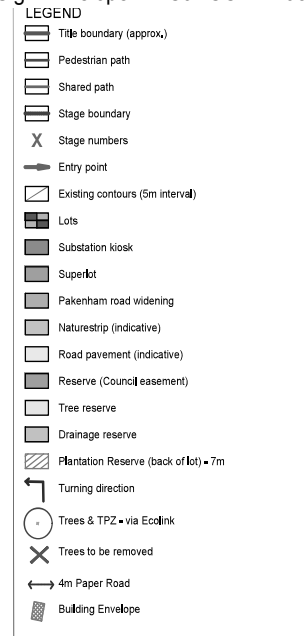


Schedule 1

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Building Envelope Plan

AX385769J



Pakenham Road - Cross Section

- Notes:**
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final computations.
 - The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
 - All roads are 16m local access level 1 unless noted otherwise
 - Road pavement is indicative only and subject to detailed engineering design.
 - Arc dimensions shown are length of arc (not chord)

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

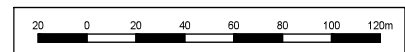
* Stage includes 1 Superlot

Lot Schedule by Area		
Lot Size	Number of Lots	%
0-299m2	42	20.8
300-399m2	56	27.7
400-499m2	81	40.1
500-599m2	3	1.5
600-699m2	0	0.0
700m2+	20	9.9
Total	202	100

* Table does not include superlot

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

* Indicates inclusion in NDA

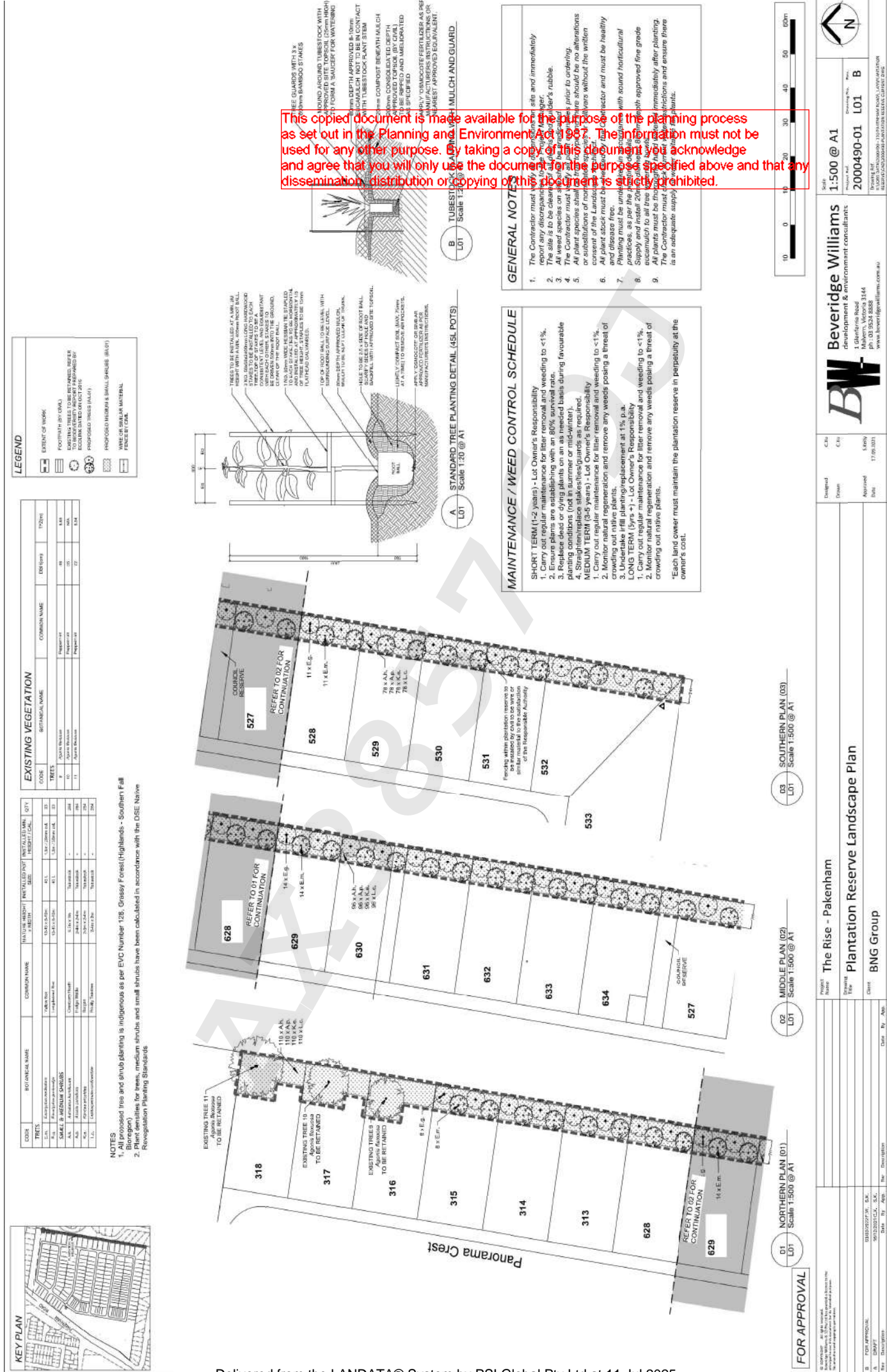


Schedule 2

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Vegetation Plan

AX385769J



Imaged Document Cover Sheet

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Document Identification	PS848743W
Number of Pages (excluding this cover sheet)	4
Document Assembled	11/07/2025 13:38

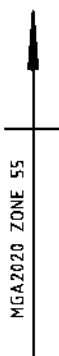
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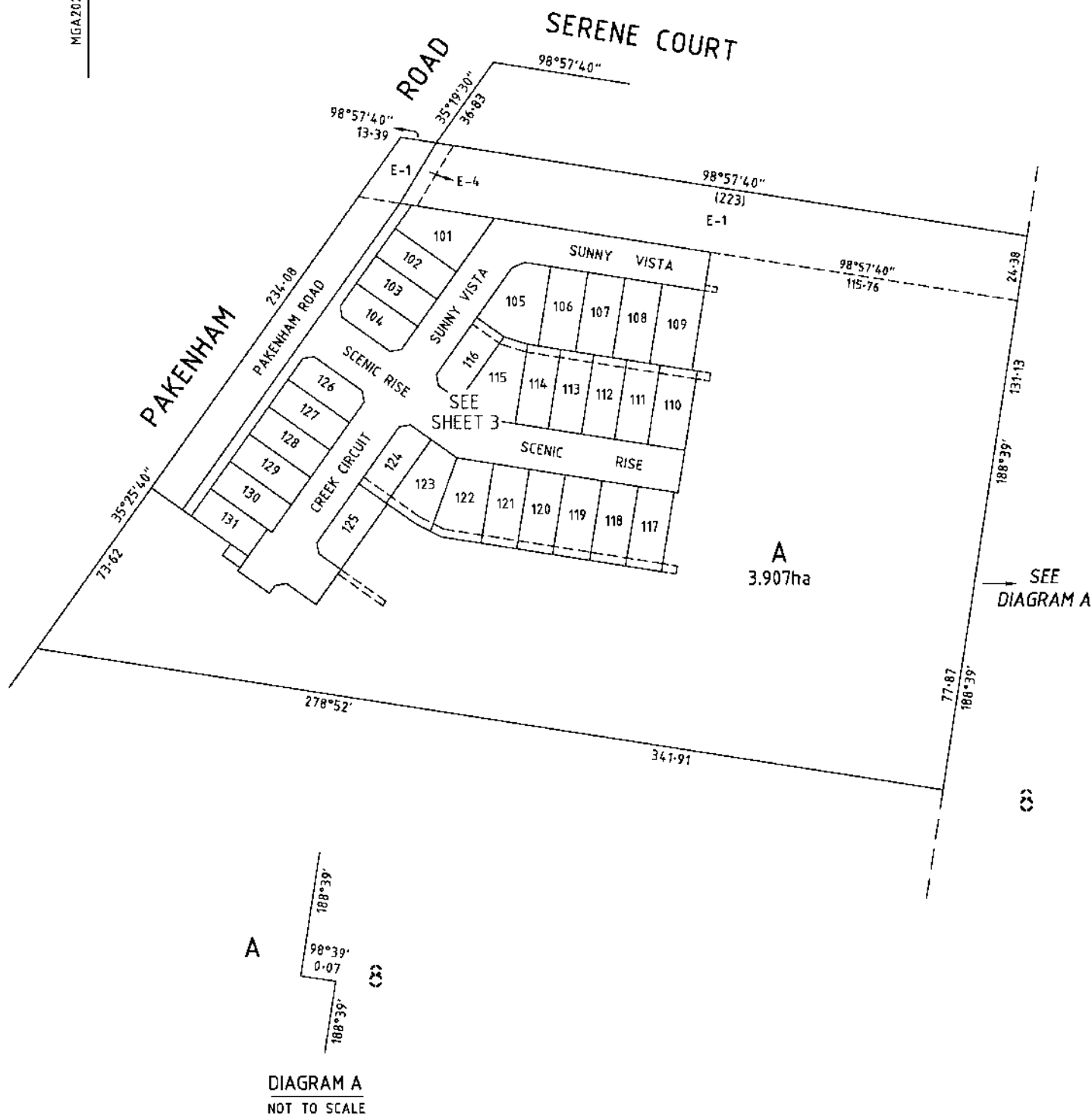
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PLAN OF SUBDIVISION		EDITION 1	PS848743W	
LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT) & 33(PT) TITLE REFERENCE: VOL. 12230 FOL. 801 LAST PLAN REFERENCE: LP6710 (LOT 3) POSTAL ADDRESS: 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 366 250 ZONE: 55 (of approx centre of land in plan) N: 5 786 580 GDA 2020		Council Name: Cardinia Shire Council <small>Council Reference Number: S2-01186 Environment Act 1967: This information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</small> <small>SPEAR Reference Number: S182115M</small> Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024 Statement of Compliance issued: 28/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON			
ROAD R1 ROAD R2 RESERVE No.1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD			
NOTATIONS		LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4. WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958		
DEPTH LIMITATION: DOES NOT APPLY				
This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675 <div style="border: 1px solid black; padding: 2px; font-size: 8pt;"> Estate: The Rise - Pakenham Phase No.: 01 No. of Lots: 31 + Lot A PHASE AREA: 2.142ha </div>				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4	PIPELINE	24.38	INST. D613929	VICTORIA PIPELINES COMMISSION
E-2	DRAINAGE	3	THIS PLAN	CARDINIA SHIRE COUNCIL
E-2, E-3	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	THIS PLAN	SOUTH EAST WATER CORPORATION
Beveridge Williams		SURVEYORS FILE REF: 2000490/01 2000490-01-PS-V11.DWG		ORIGINAL SHEET SIZE: A3
development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M		SHEET 1 OF 4 Land Use Victoria Plan Registered 02:18 PM 31/10/2024 Assistant Registrar of Titles

PS848743W



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Melbourne ph : 03 9524 8888

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2000490/01

SCALE
1 : 1500

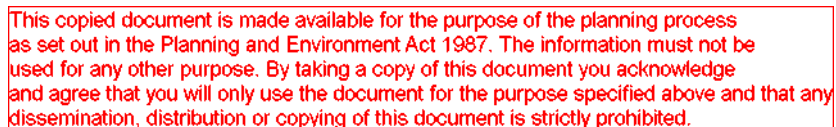
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LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M



 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /01	SCALE 1 : 750					7.5 0 7.5 15 22.5 30 LENGTHS ARE IN METRES					ORIGINAL SHEET SIZE: A3	SHEET 3
		Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Cardinia Shire Council, Surveyor's Plan Version (11) 24/05/2024, SPEAR Ref: S182115M Digitally signed by: Cardinia Shire Council, 30/05/2024, SPEAR Ref: S182115M											

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

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LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



Beveridge Williams
development & environment consultants

Melbourne ph : 03 9524 8888

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Surveyor,
Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

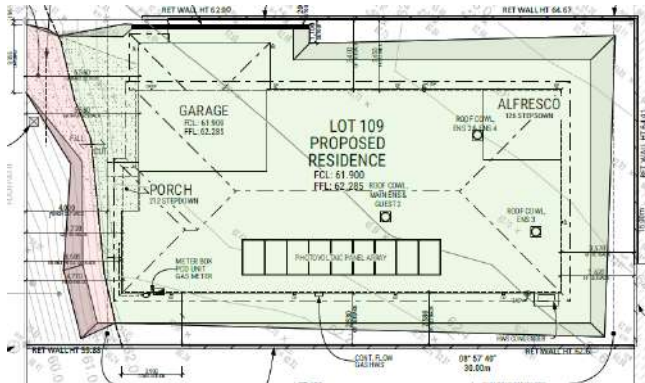
ORIGINAL SHEET
SIZE: A3

SHEET 4

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M

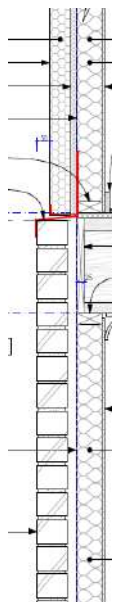
The proposed dwelling is sited on the lot in accordance with the building regulations.

The site cut has been positioned from the front of the lot to be towering over the sheet due to the sloping site. We have reduced the need to for additional retaining wall by using cut and fill batters. As per the site plan we can see that the building platform make up the majority of the cut into the natural ground line with a small area subject to fill.



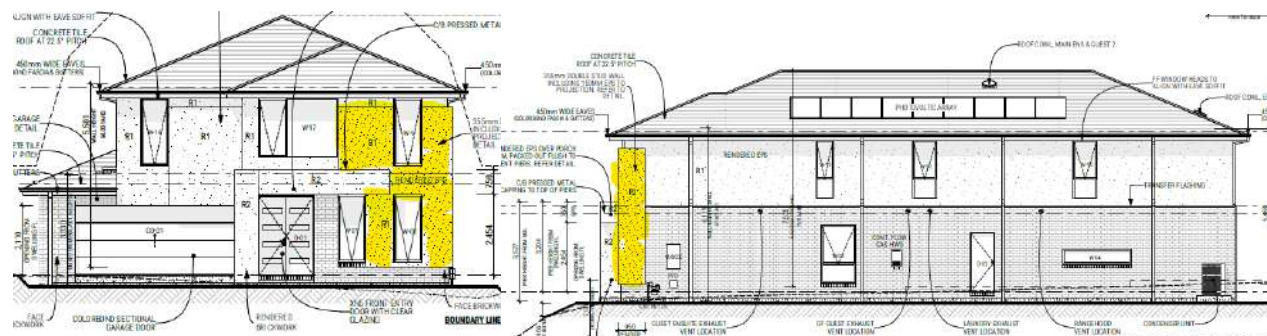
The site is located in between multiple lots. Each of the boundaries has concrete sleeper retaining walls. At varying heights.

The dwelling is constructed of a mixture of brick works and rendered foam. The bricks are finished in an earthy tone with contrasting colours for the render.



The proposed dwelling has a 190mm eps wall system to the first floor and 240mm thick brick veneer. This provides a 70mm step-in from the ground floor to the first floor. We have provided rendered feature projection to the Retreat and the corner of main WIR 1. The projection is 355mm thick which is 115mm thicker than the brick veneer wall and 165mm then the eps wall system.

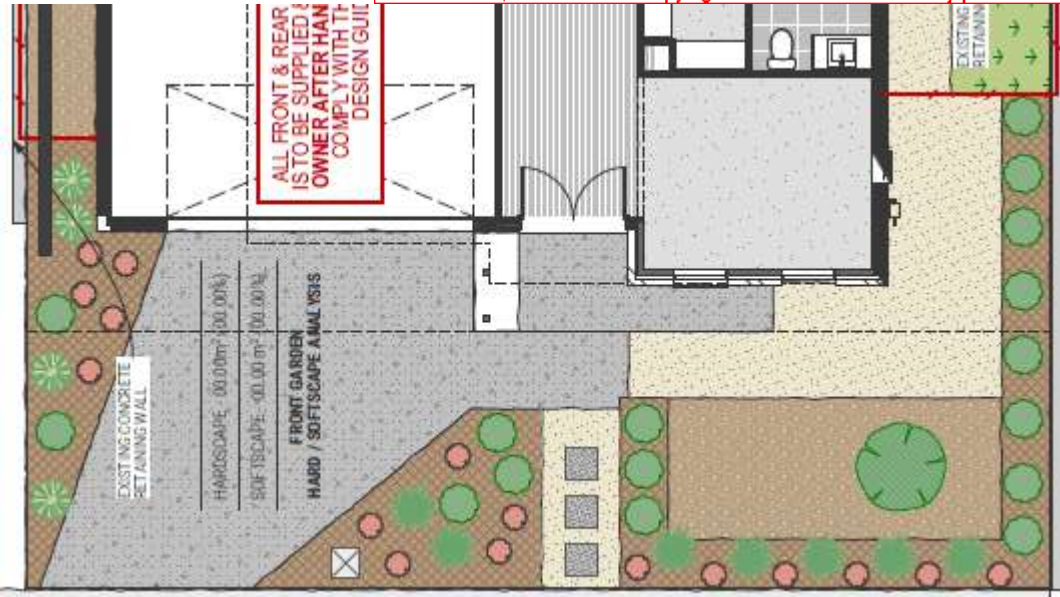
The façade of the dwelling has a number of setback due to setbacks in the built form with the garage and first floor and also with the feature nib walls to the front and return of the walk in robe area. These variety of setbacks provides the dwelling great depth and articulation as viewed from the street of sunny vista. As the lot is not on the corner lot the dwelling has limited articulation towards the rear of the dwelling. The emediate return walls does have some articulation with a garage extruding out from the left side of the dwelling and the feature nib wall on the right hand side as well as a setback between the first and ground floor.



The area currently does not have a lot of reference dwellings to compare with.

No existing vegetation on the lot. There is one small tree at the front of the lot located on the nature strip

The proposed landscaping has been designed to retain the natural slopes of the site and provide a variety of native planting and x2 canopy trees across the whole site. The proposed timber paling fence as per the design guidelines. The proposed fence will be located on-top of the existing retaining walls.



PROPOSED RESIDENCE

AT LOT 109, 12 SUNNY VISTA,
PAKENHAM, VIC, 3810

FOR FARDAUSI AKTER RIMA
& HOSSAIN MOHAMMAD ABDUAL AWAL

133254

PROJECT NUMBER

GENERAL NOTES:

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE BUILDING REGULATIONS 2018, LOCAL COUNCIL BY-LAWS, THE NATIONAL CONSTRUCTION CODE AND ALL OTHER RELEVANT CODES AND CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERED TO THEREIN.

FOOTINGS & SLABS:

- FOOTINGS & SLABS TO COMPLY WITH **AS 2870-2011 & NCC-2022 PART 4.2**

BRICKWORK & MASONRY:

- MASONRY TO COMPLY WITH **AS 3700:2018, AS 4773.1:2015, AS 4773.2:2015, & NCC-2022 PART 5.2**
- REFER ENGINEERS DETAILS FOR LOCATION OF CONTROL JOINTS

STEELWORK:

- STEEL STRUCTURE TO COMPLY WITH **AS 4100:2020, AS/NZS 4600:2018, & NCC-2022 PART 6.1**

TIMBER FRAMING:

- TIMBER FRAMING IS TO BE INSTALLED IN ACCORDANCE WITH RELEVANT MANUFACTURERS SPECIFICATIONS AND IS TO COMPLY WITH **AS 1684-2021 & NCC-2022 PART 6.1**
- A VAPOR-PERMEABLE MEMBRANE TO COMPLY WITH **AS 4200.1:2017** IS TO BE INSTALLED ON EXTERIOR WALLS IN ACCORDANCE WITH **AS 4200.2:2017**
- FIX NOGGINS TO ADJACENT ROBE SELVING AT 1700mm ABOVE FL TO SIDE WALLS, TO FIX SHELVING. LINEN AND PANTRY SHELVING TO HAVE NOGGINS INSTALLED N INCREMENTS AS PER SHELVING DETAILS.

GLAZING:

- GLAZING TO BE IN ACCORDANCE WITH **AS1288-2021** & TO COMPLY WITH **NCC-2022 PARTS 8.2, 8.3 & 8.4**
- WINDOWS & GLAZED DOORS TO BE IN ACCORDANCE WITH **AS 2047:2014**

PLUMBING:

- ALL PLUMBING WORKS INCLUDING SANITARY,GAS & ROOF PLUMBING TO BE INSTALLED BY A LICENCED PLUMBER

ELECTRICAL & LIGHTING:

- ALL ELECTRICAL WORKS TO BE INSTALLED BY A QUALIFIED LICENCED ELECTRICIAN
- ARTIFICIAL LIGHTING WATTAGE TO COMPLY WITH **NCC-2022 PART 13.7.6**

DRAINAGE:

- SITE & STORMWATER DRAINAGE TO BE INSTALLED IN ACCORDANCE WITH **AS/NZS 3500.3:2021 & NCC-2022 PART 3.3**
- GUTTERS & DOWNPIPES TO BE INSTALLED IN ACCORDANCE WITH **AS/NZS 3500.3:2021& NCC-2022 PART 7.4**
- STORMWATER CONNECTION POINT TO BE CONFIRMED PRIOR TO COMMENCMET ON SITE
- TEMPORARY DOWNPIPES TO BE INSTALLED BEFORE DOWNPIPES ARE CONNECTED (TO PREVENT PONDING BESIDE SLAB)

WET AREAS & INTERIOR WATERPROOFING:

- WET AREAS ARE TO BE WATERPROOFED OR WATER-RESISTANT IN ACCORDANCE WITH **AS 3740:2021 & NCC-2022 PART 10.2**
- CONSTRUCTION OF SANITARY COMPARTMENTS TO COMPLY WITH **NCC-2022 PART 10.2**
- PROVIDE WATERSTOP TO THE ENTRY OF AN OPEN SHOWER AND TO THE DOORWAY OF A ROOM DEFINED AS A WET AREA.
- ACCESSIBLE SHOWERS TO BE IN ACCORDANCE WITH AS 3740-2010

GENERAL NOTES:

SMOKE DETECTORS:

- SMOKE DETECTORS ARE TO BE HARDWIRED, INTERCONNECTED & INSTALLED IN ACCORDANCE WITH **AS 3786-2014 AND NCC-2022 PART 9.5**

VENTILATION:

- KITCHEN RANGEHOOD & LAUNDRY EXHAUST FAN TO HAVE MIN FLOWRATE OF 40 L/s AS PER **NCC-2022 PART 10.8.2**
- BATHROOM/ENSUITE/WC EXHAUST FANS TO HAVE MIN FLOWRATE OF 25 L/s AS PER **NCC-2022 PART 10.8.2**
- NATURAL VENTILATION TO COMPLY WITH **NCC-2022 PART 10.6.2**
- ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR.
- REQUIRED EXHAUST FANS IN ROOMS WITHOUT NATURAL VENTILATION TO BE SWITCHED THROUGH THE LIGHT SWITCH & MUST REMAIN ON FOR 10 mins AFTER THE LIGHT IS TURNED OFF.
- DOORS TO ROOMS REQUIRING AN EXHAUST SYSTEM AND WITHOUT NATURAL VENTILATION TO BE UNDERCUT BY 20mm CLEAR OF FINISHED FLOOR LEVEL TO COMPLY WITH **NCC 10.8.2**.

INTERNAL GARAGE DOOR:

- IF INCLUDED, INTERNAL GARAGE ACCESS DOOR IS TO BE FITTED WITH A SEAL TO RESTRICT AIR INFILTRATION IN ACCORDANCE WITH **NCC-2022 PART 13.4.4**

DOORS & WINDOWS:

- DOORS TO ALL ROOMS WITH TOILETS TO HAVE REMOVABLE HINGES UNLESS DOOR SWING IS MIN 1.2m CLEAR OF TOILET.
- PROVIDE RESTRICTIVE WINDERS (125mm MAX. OPENING) TO OPENABLE SASHES WHICH ARE <1m ABOVE FL AND ≥ 2m ABOVE NGL

STEPS:

- ALL INTERNAL & EXTERNAL STEPS TO BE MIN 250mm WIDE WITH MAX 190mm RISER.
- WHERE THE THRESHOLD OF A DOORWAY IS MORE THAN 230mm ABOVE THE ADJOINING SURFACE, IT MUST INCORPORATE STEPS HAVING RISER (R) AND GOING (G) DIMENSIONS IN ACCORDANCE WITH **NCC-2022 11.2.2**.
- PORCH STEPDOWN TO BE MAX 190mm AFTER INSTALLATION OF PAVING/TILING & BEFORE OCCUPANCY PERMIT.

STAIRS AND BALUSTRADES:

- STAIRS AND BALUSTRADES TO BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH **NCC-2022 PARTS 11.2 & 11.3**

BALCONY

- PROVIDE WATERPROOFING IN ACCORDANCE WITH **AS4654.1&2:2012**
- MIN 50mm STEPDOWN FROM INTERNAL FLOOR TO WATERPROOFING LAYER
- MIN GRADIENT OF 1 IN 100 OF BALCONY FLOOR TO WATERPROOFING LAYER.
- BALCONY WASTE TO BE CONNECTED TO STORMWATER
- PROVIDE OVERFLOW IF BALCONY HAS CONCEALED PERIMETER

TERMITES:

- WHERE THE BUILDING IS WITHIN A TERMITE-PRONE AREA, TERMITE PROTECTION IS TO BE APPLIED IN ACCORDANCE WITH **AS 3660.1:2014 & NCC-2022 PART 3.4**

SKYLIGHTS

- SKYLIGHTS TO BE SET BACK MINIMUM 900mm FROM TITLE BOUNDARY

ANTI-PONDING

- ANTI-PONDING DEVICE/BOARD TO BE INSTALLED IN ACCORDANCE WITH **NCC-2022 PART 7.3.5**

FIREPLACES:

- FIREPLACES & SOLID FUEL HEATERS TO COMPLY WITH **AS/NZS 2918:2018 & NCC-2022 PART 12.4**

SURF COAST AREA

- MASONARY COMPONENTS IN SURF COAST AREA TO COMPLY WITH **AS3700:2018 SECTION 5**.

SITE COVERAGE:

SITE AREA:	480 m²
BUILDING FOOTPRINT:	233.85 m²
SITE COVERAGE:	48.72 %

SITE PERMEABLE AREA:

PERMEABLE SURFACES:	146.95 m²	35.92 %
NON-PERMEABLE SURFACES:	262.05 m²	64.07 %

AREAS

	m²	Sqrs
GROUND FLOOR		
PORCH	5.39	0.58
ALFRESCO	13.36	1.44
GARAGE	40.41	4.35
GROUND FLOOR	174.69	18.80
	233.85 m²	25.17
FIRST FLOOR		
FIRST FLOOR	213.17	22.95
	213.17 m²	22.95
	447.02 m²	48.12

WALL LENGTHS

	Length on Inside Face
Walls_Exterior	
GROUND FLOOR	55
FIRST FLOOR	58
	113 m
Walls_Interior	
GROUND FLOOR	80
FIRST FLOOR	101
	181 m
	294 m

WIND SPEED: N2

40 mps

SOIL CLASSIFICATION:

CLASS:	P
GEOTECHNICIAN:	RESCOM CONSULTING ENGINEERS
FILE NO:	2244903-1
DATED:	23/01/2025

ENERGY RATING:

- WEATHER SEAL ENTRY DOOR
- WAFFLE POD SLAB CONSTRUCTION
- EXTERNAL WALL INSULATION TO REACH **R2.5**
- CEILING INSULATION TO REACH **R6.0**
- 2.5 BATTS TO GARAGE/ENTRY WALL
- 2.5 BATTS TO THEATRE/GARAGE WALL
- 3.5 HIGH PERFORMANCE BATTS TO UNDERSIDE OF EXPOSED FIRST FLOOR
- 2.5 BATTS TO GROUND FLOOR & FIRST FLOOR INTERNAL WALLS

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H4 FACADE

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MASTER PLAN ID

G2/J710.04.1

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HOSSAIN MOHAMMAD ABDUAL AWAL
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7:	23.06.2025	MB - PCV 4
8:	03.07.2025	RC - BP KB
9:	09.07.2025	RC - PP KB
10:	16.07.2025	MB - PCV 5
11:	21.07.2025	RC - WALL CONVERSION

.....Date.....

.....Date.....

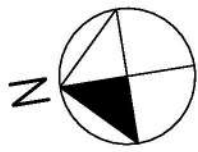
GENERAL NOTES

PROJECT NUMBER
133254

WORKING DWG DATE:
T.B.A.

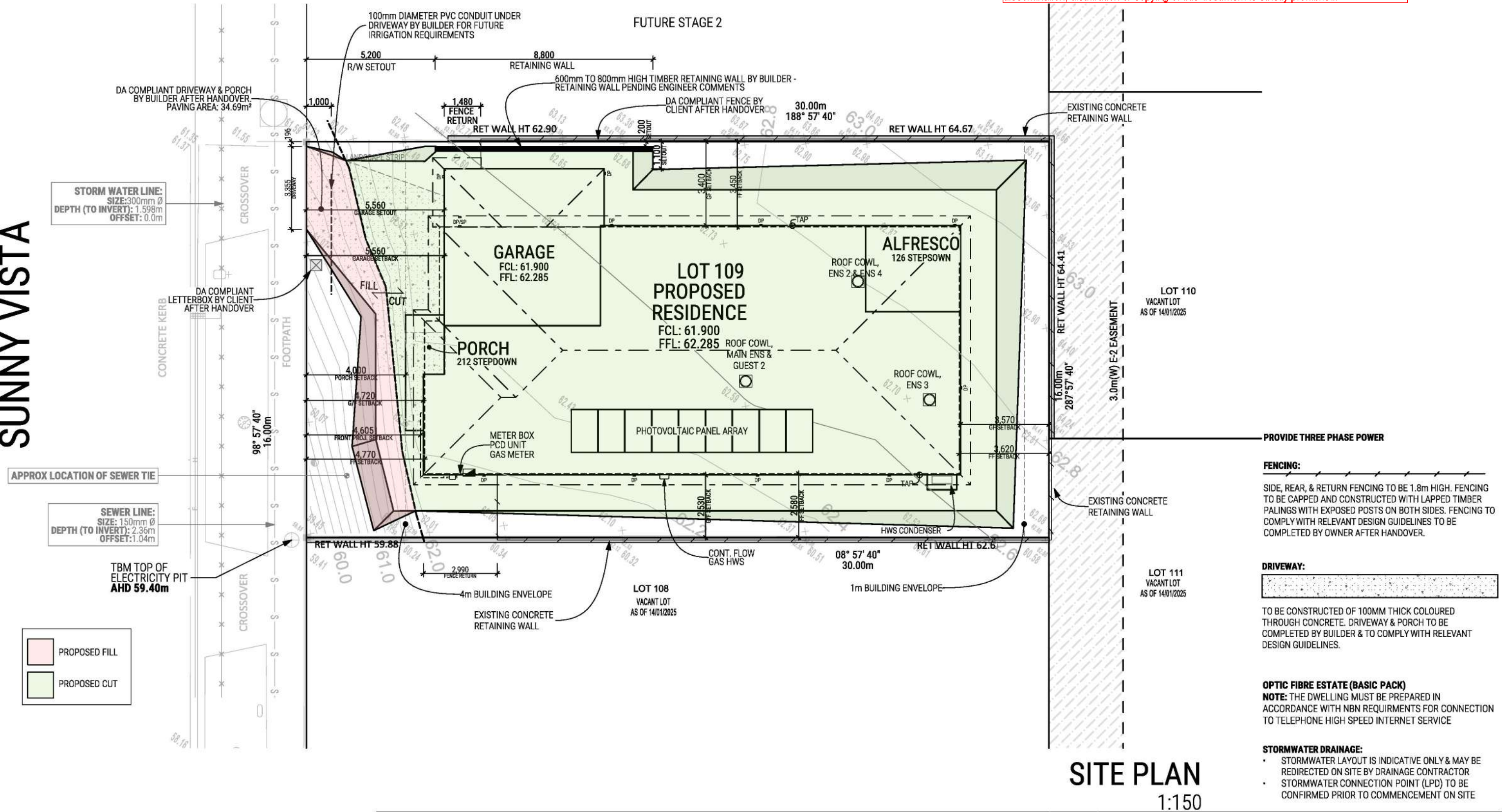
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01



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SUNNY VISTA



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MASTER PLAN ID G2J710.04.H

Q:\Client Files\133254 Lot 109 Sunny Vista, Pakenham\DRAWING\01 - ARCHICAD\JUMEIRAH 4-49_AC26_G2J710.04.H.pln

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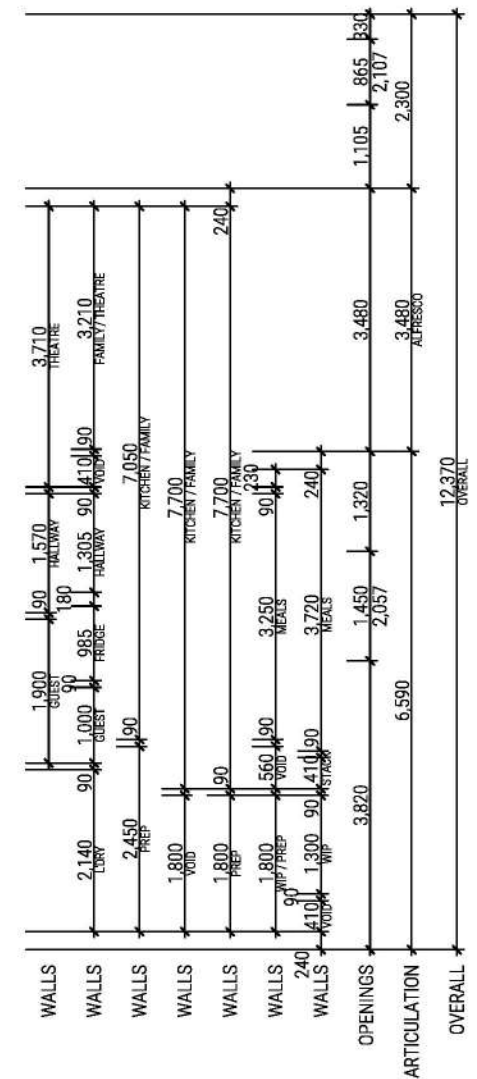
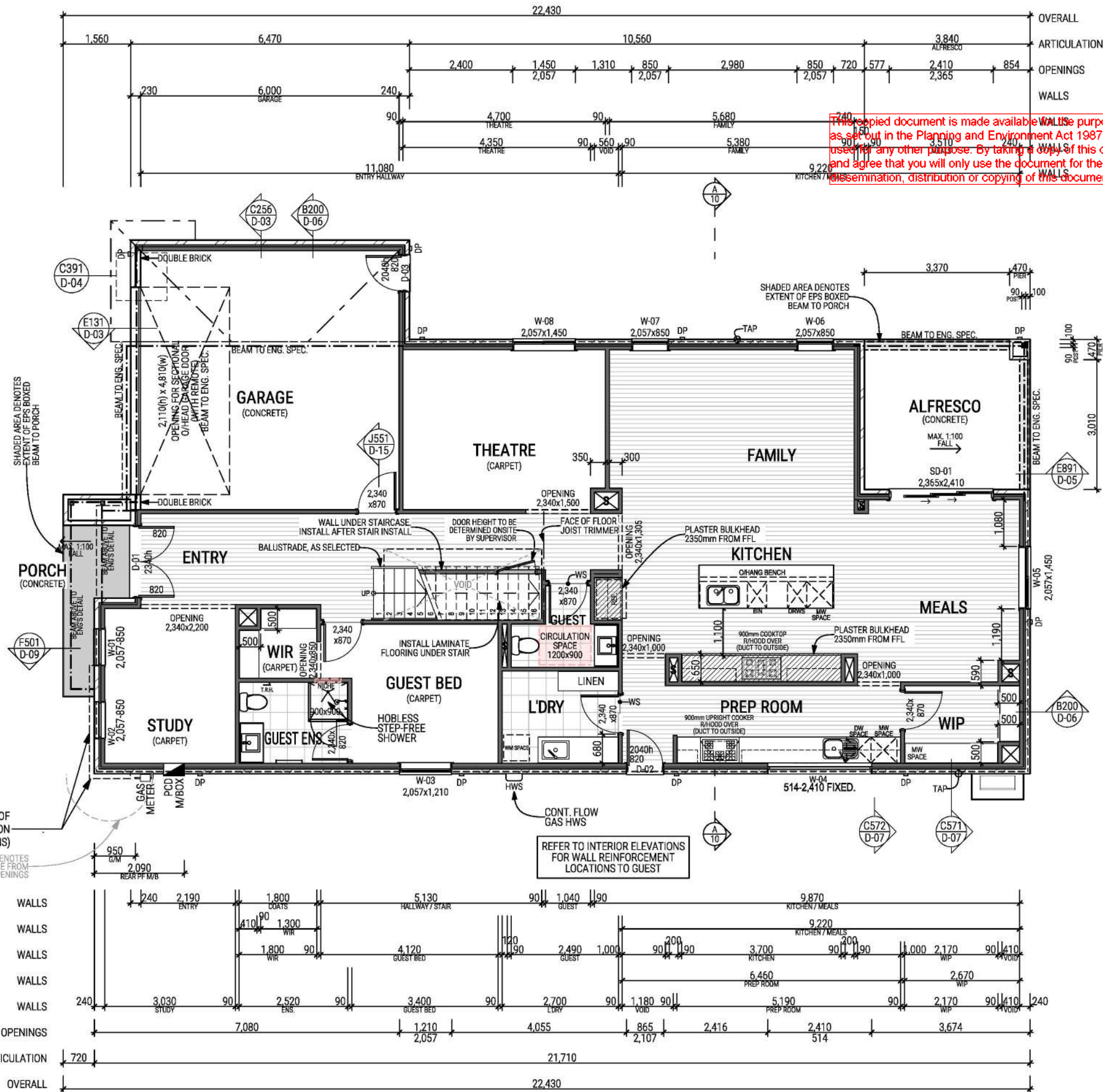
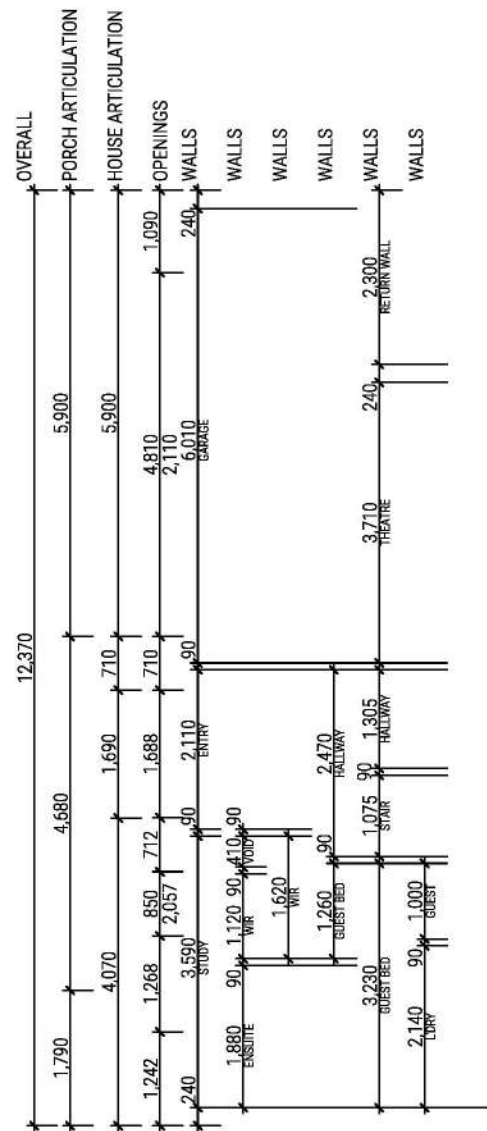
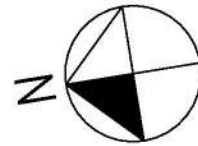
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11:	21.07.2025	RC - WALL CONVERSION

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SITE PLAN
PROJECT NUMBER
133254
02



GROUND FLOOR PLAN
1:100



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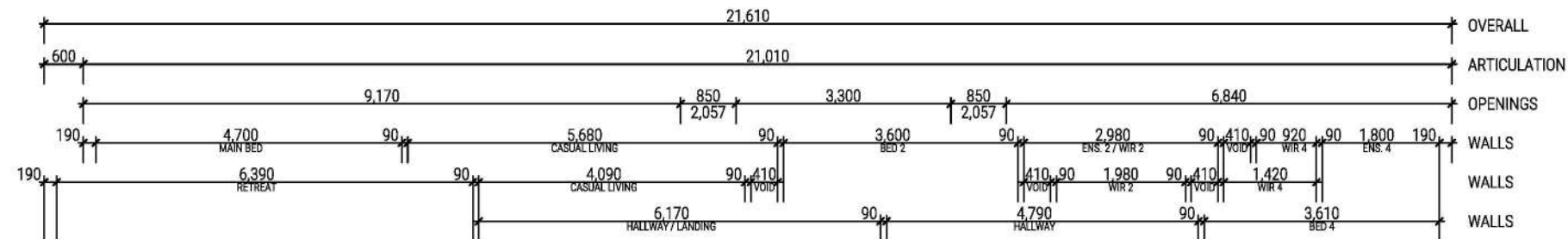
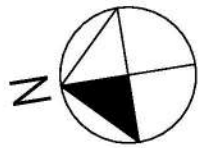
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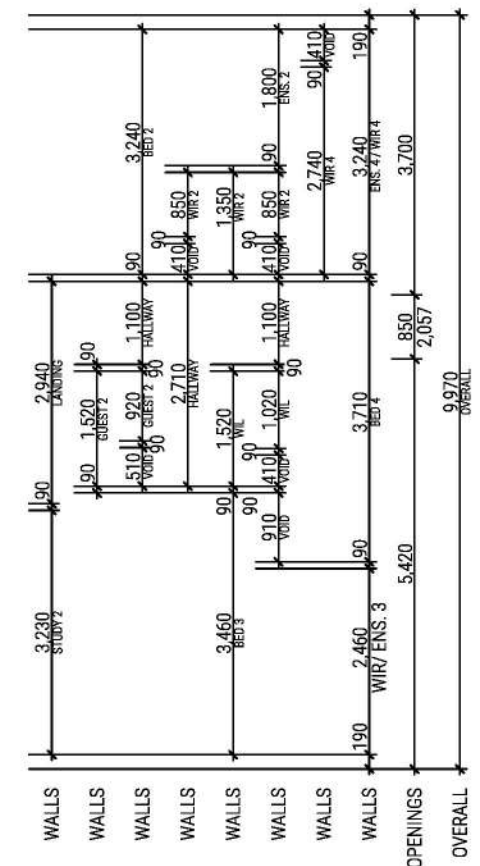
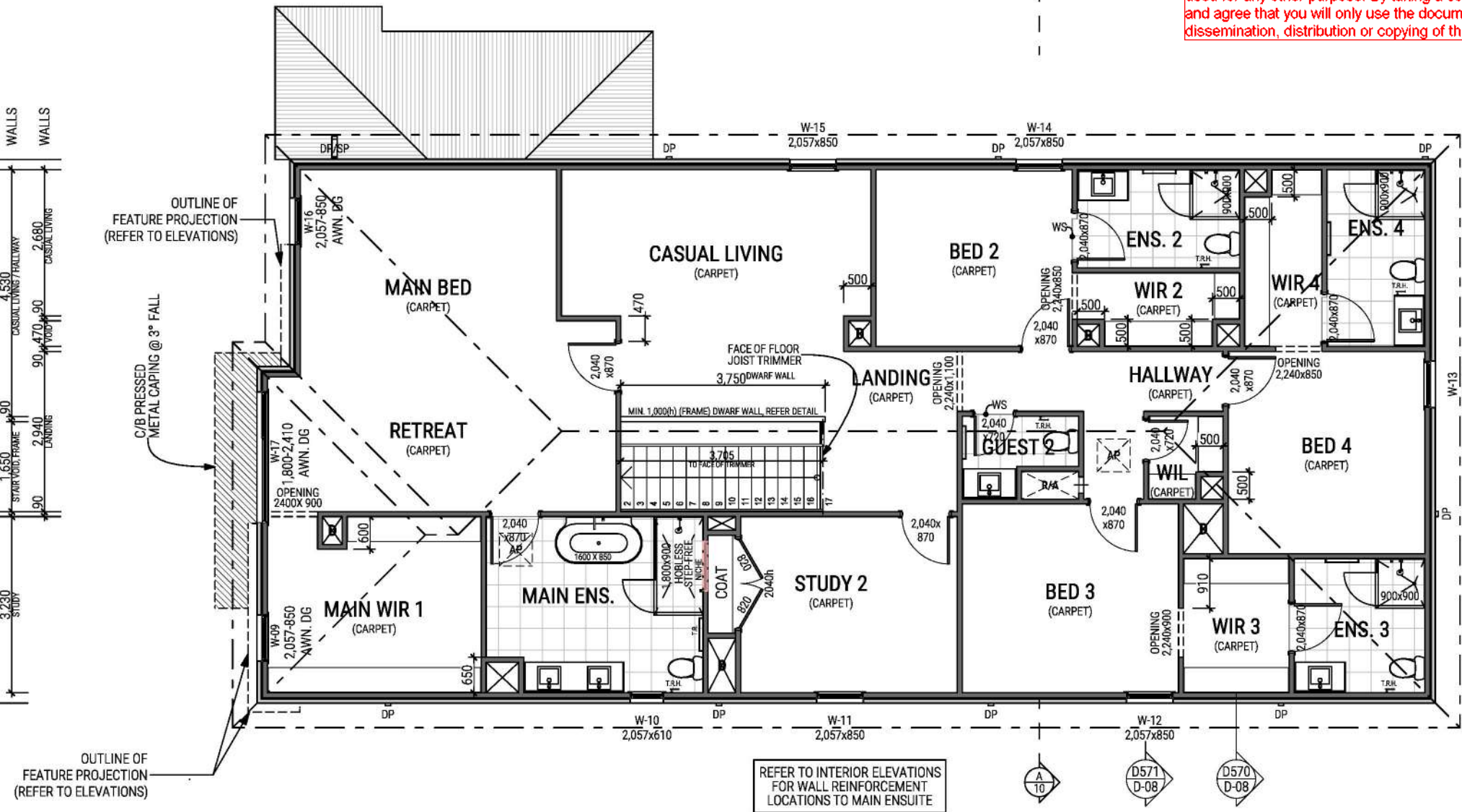
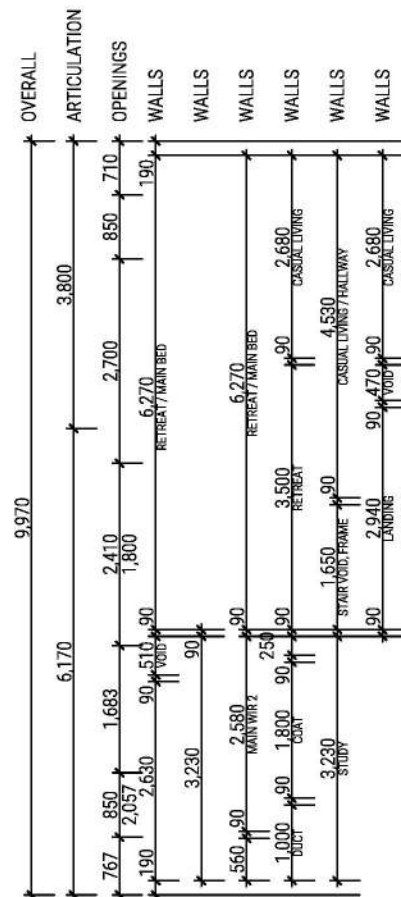
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GROUND FLOOR PLAN
PROJECT NUMBER
133254
WORKING DWG DATE:
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05

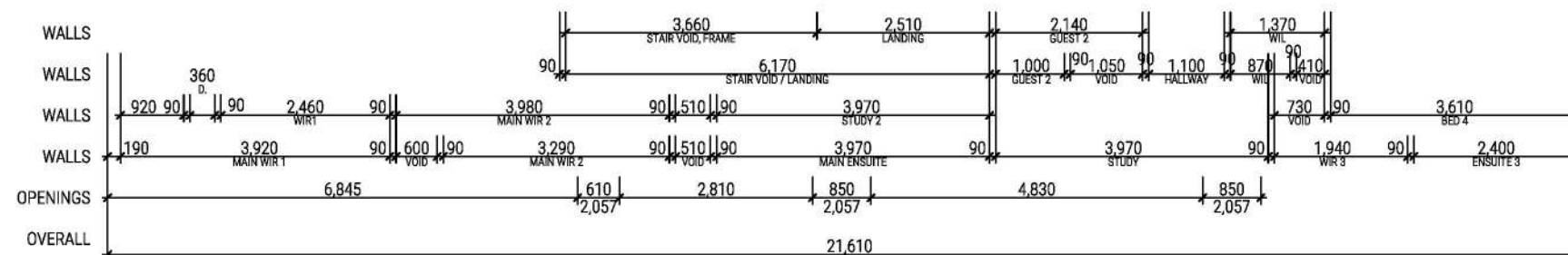


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FIRST FLOOR PLAN

1:100



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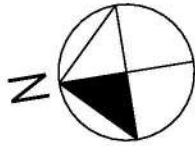
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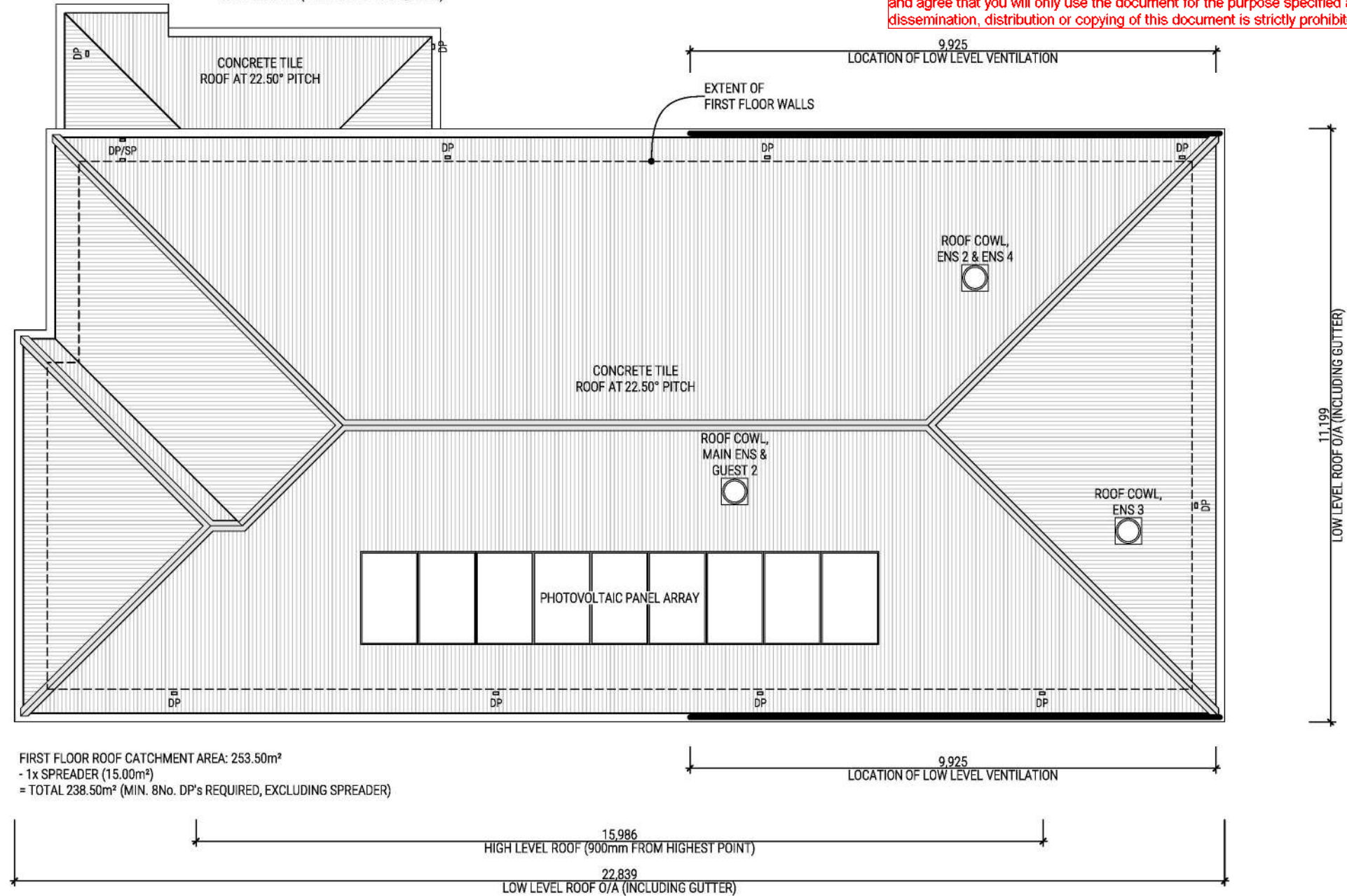
FIRST FLOOR PLAN

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133254
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GROUND FLOOR GARAGE ROOF CATCHMENT AREA: 19.21m²
+ HALF OF WALL AREA (7.89m²)
+ SPREADER (15.00m²)
= TOTAL 36.07m² (MIN. 2No. DP's REQUIRED)

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FIRST FLOOR ROOF CATCHMENT AREA: 253.50m²
- 1x SPREADER (15.00m²)
= TOTAL 238.50m² (MIN. 8No. DP's REQUIRED, EXCLUDING SPREADER)

VENTILATION CALCULATION FOR ROOFS >15° and <75°	REQUIRED AREA/m ²	ROOF LENGTH (m) FOR REQD AREA	REQUIRED AREA (mm ²)	PROVIDED AREA/m ²	ROOF LENGTH (m) PROVIDED	TOTAL PROVIDED AREA (mm ²)
LOW LEVEL VENTILATION:	7,000	22.84	159,880	8,050	20.00	161,000
NATURALLY ACHIEVED (THROUGH FREE VENTILATION AREA IN CORRIGATIONS)						
HIGH LEVEL VENTILATION:	5,000	22.84	114,200	15,000	15.98	239,700
NATURALLY ACHIEVED (THROUGH RIDGE CAPPING)						

ROOF VENTILATION: COLORBOND



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H4 FACADE

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ROOF SERVICES PLAN

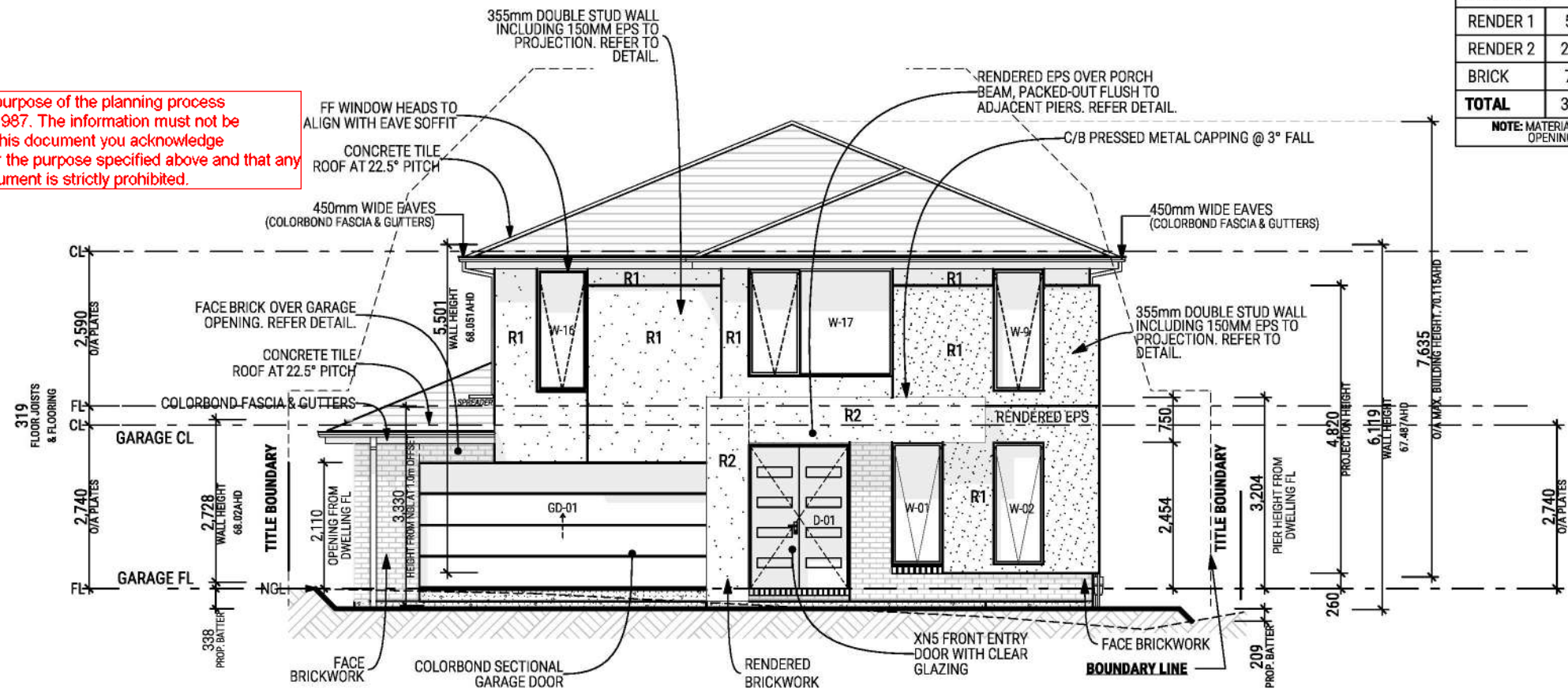
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WORKING DWG DATE:
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07

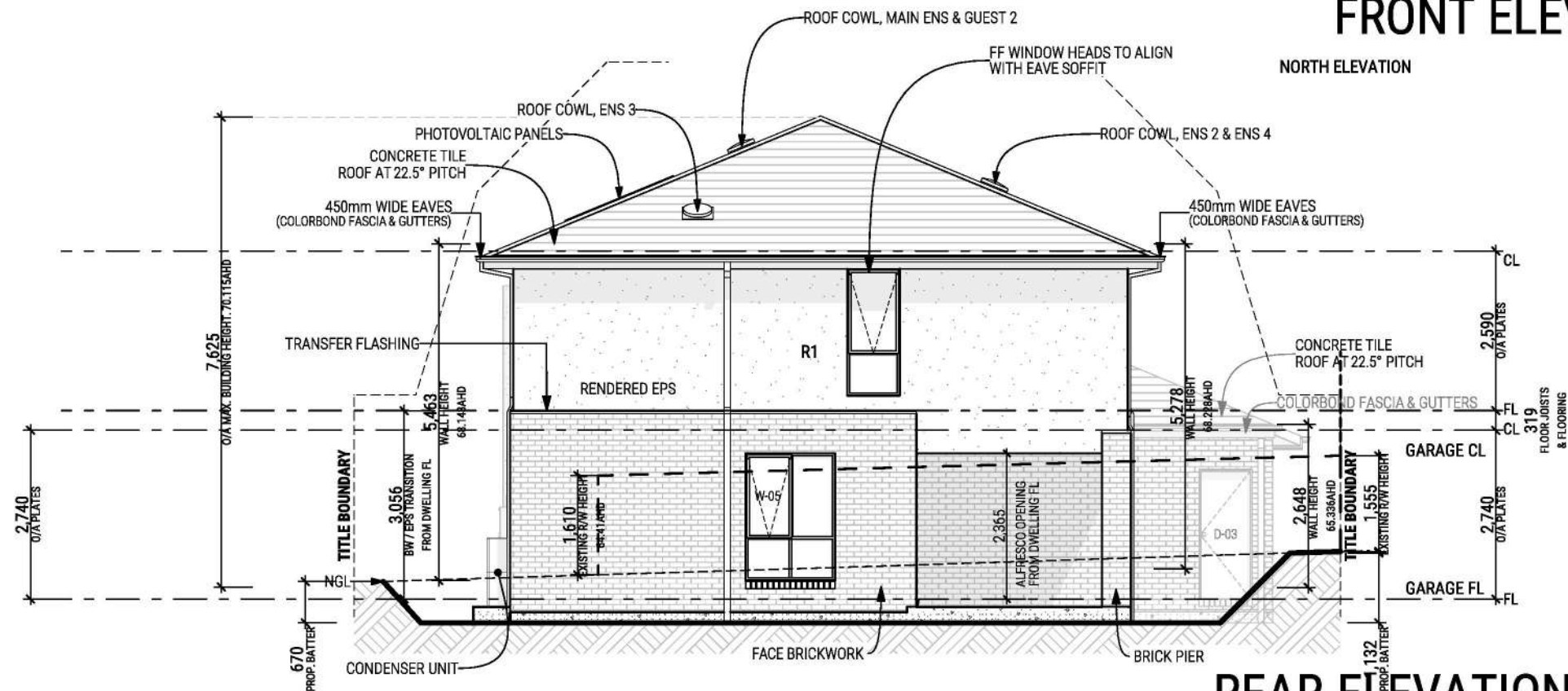
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FRONT FACADE MATERIAL ANALYSIS		
MATERIAL	m²	%
RENDER 1	5.40 m²	14.98 %
RENDER 2	23.36 m²	64.82 %
BRICK	7.28 m²	20.20 %
TOTAL	36.04 m²	100.00 %

NOTE: MATERIAL ANALYSIS EXCLUDES OPENING(S) & ROOFING

FRONT ELEVATION
NORTH ELEVATION
1:100



REAR ELEVATION
SOUTH ELEVATION
1:100



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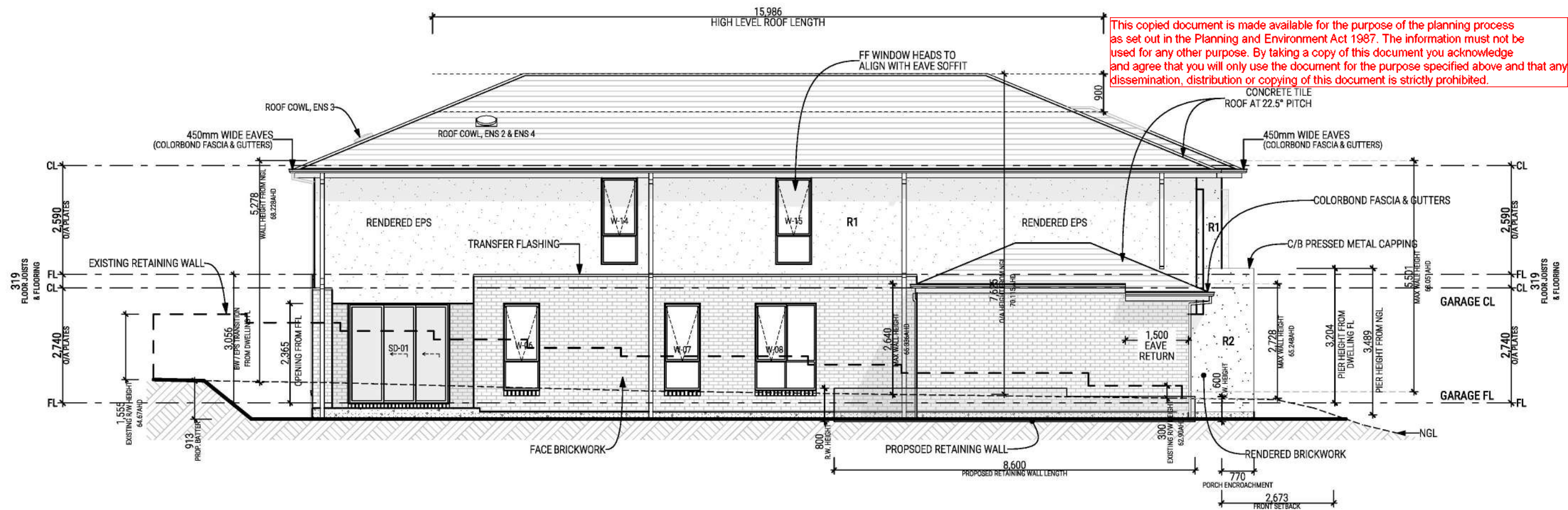
MASTER PLAN ID G2J710.04.H
Q:\Client Files\133254 Lot 109 Sunny Vista, Pakenham\DRAWING\01 - ARCHICAD\JUMEIRAH 4-49_AC26_G2J710.04.H.pln

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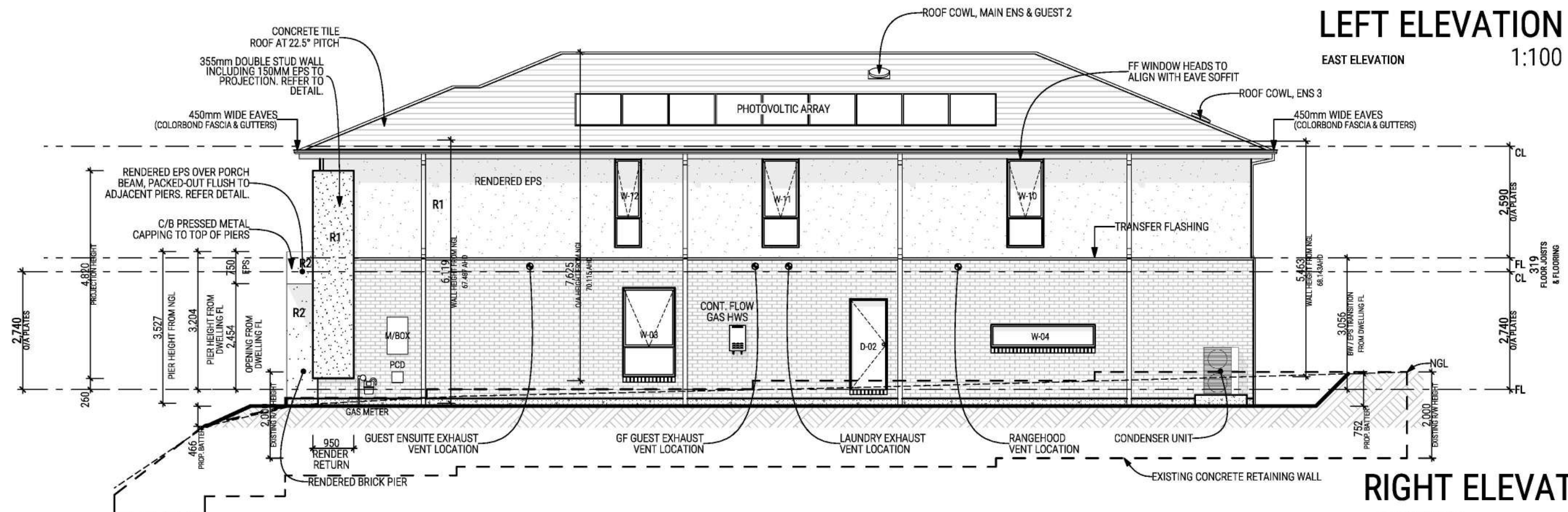
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FRONT & REAR ELEVATIONS
PROJECT NUMBER 133254
WORKING DWG DATE: T.B.A.
DRAWN BY: #Contact ID
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LEFT ELEVATION
EAST ELEVATION
1:100



RIGHT ELEVATION
WEST ELEVATION
1:100

REV	DATE	CHANGE DETAILS
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FRONT ELEVATION
NORTH ELEVATION 1:100



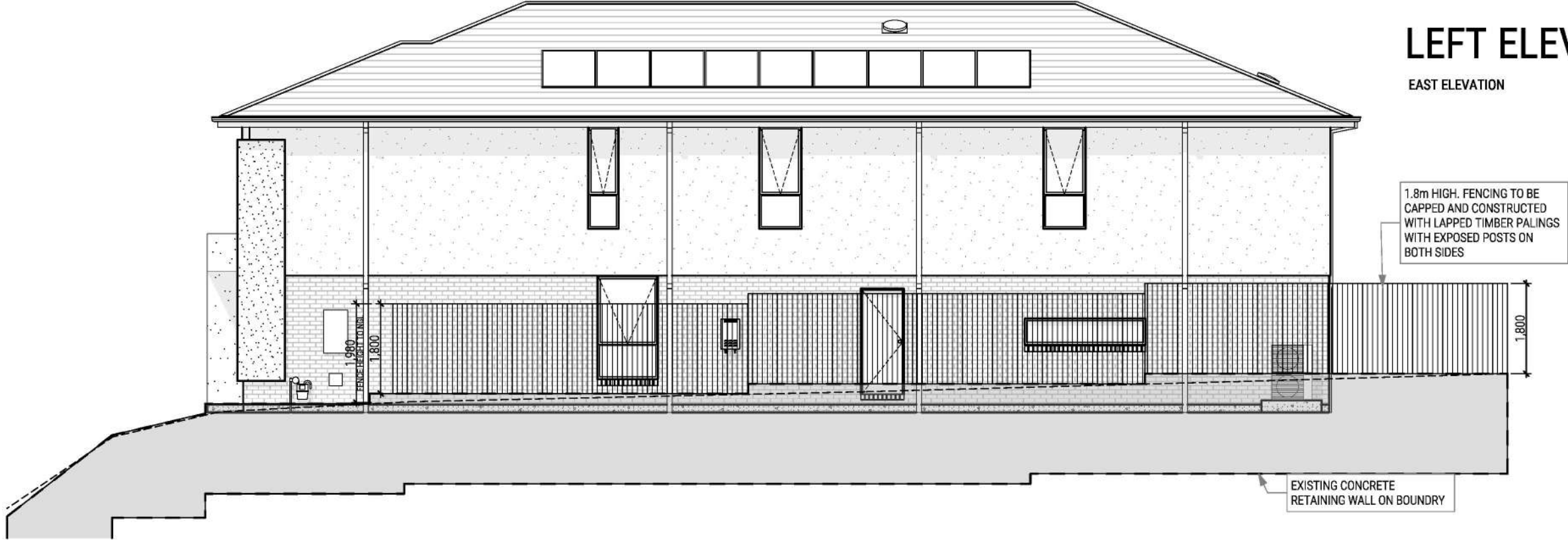
REAR ELEVATION
SOUTH ELEVATION 1:100

REV	DATE	CHANGE DETAILS
1:	22.01.2024	CG - CONTRACT DRAWINGS
2:	14.02.2025	CG - TV 1 & 2
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LEFT ELEVATION
EAST ELEVATION 1:100



RIGHT ELEVATION
WEST ELEVATION 1:100



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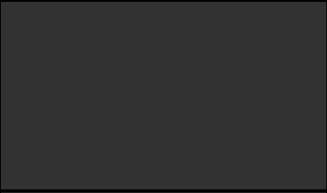

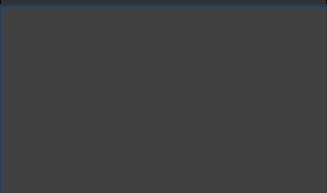
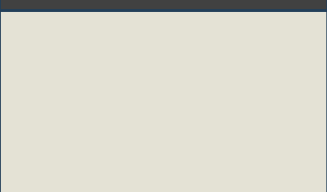




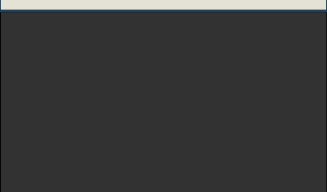

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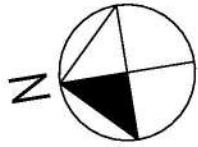
LEFT & RIGHT ELEVATIONS
PROJECT NUMBER
133254
02

External Finishes & Colour Schedule

SITE ADDRESS: LOT 109, 12 SUNNY VISTA, PAKENHAM
JOB REF: 133254

EXTERIOR FINISHES	BRAND/ MANUFACTURER	FINISH/ PROFILE	COLOUR	COLOUR SWATCH	NOTES
Note: Actual colours may vary. We try show the samples as life-like as possible, but please understand the actual colour may vary slightly. We cannot guarantee that the colour you see accurately portrays the true colour of the product.					
<input type="checkbox"/> Brick	Austral	Domain	Sanctuary		
<input type="checkbox"/> Roof Finish	Bristile	Artisan	Cool Smoke		
<input type="checkbox"/> Gutters / Facias	Colorbond	N/A	Monument		
<input type="checkbox"/> Downpipes / Spreader Pipes etc.	Colorbond	N/A	Monument		
<input type="checkbox"/> Windows	Southern Star	Aluminium	Monument		
<input type="checkbox"/> Garage Door / Paint-Stain Colour	Dynamic Doors	Flatline Textured	Surfmist		
<input type="checkbox"/> Main Render Colour 1	Haymes	Render	Graphite Grey		
<input type="checkbox"/> Main Render Colour 2	Haymes	Render	Surfmist		
<input type="checkbox"/> Driveway Finish / Colour	Economix	Colour through concrete	Charcoal		
<input type="checkbox"/> Entry Door / Frames	Cantebury / Haymes	Profile: Newington XN5 / Finish: Gloss	Surfmist		
<input type="checkbox"/> Meter Box (Cover)	Haymes	Solashield	Monument		
<input type="checkbox"/> Letterbox image / Finish / Colour	Milkcan: To be completed by client post Handover	Barcelona Rendered Column	Charcoal		

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SUNNY VISTA



LANDSCAPE COVERINGS SCHEDULE

PLAN SYMBOL	SURFACE	PERMEABILITY	m ²
	GARDEN MULCH	PERMEABLE	63.29
	COLOUR THROUGH CONCRETE PAVING	NON-PERMEABLE	34.69
	40mm 'RIVER ROCK' PEBBLES	PERMEABLE	11.59
	COMPACTED TOPPINGS	PERMEABLE	63.76

LANDSCAPE & PLANT SCHEDULE

IMAGE	PLAN SYMBOL	TYPE	NAME / BOTANICAL NAME	SIZE	QTY.
	LETTERBOX		CONCRETE LETTERBOX, CHARCOAL	N/A	1
	PAVER		CONCRETE PAVERS, CHARCOAL	600mm x 600mm	3
	GROUND COVER		MYOPORUM 'FINE LEAF', MYOPORUM PARVIFOLIUM FINE (NATIVE)	150mm POT SIZE	47
	SHRUB, TYPE 1		VARIEGATED 'TANIKAI' LOMANDRA	150mm POT SIZE	22
	SHRUB, TYPE 2		GREY BOX WESTRINGIA (NATIVE)	200mm POT SIZE	24
	SHRUB, TYPE 3		GARDENIA AUGUSTA, CAPE JASMINE	MIN. 1.0m HIGH, AT INSTALL	10
	TREE, TYPE 1		TRISTANIOPSIS 'WATER GUM' LUSCIOUS (NATIVE)	MIN. 2.0m HIGH, AT INSTALL	2

LANDSCAPE NOTES:

NO MORE THAN ... OF THE FRONT GARDEN IS TO COMPRISE HARD PAVED SURFACES.

... OF FRONT GARDEN AREA IS TO BE SOFT PLANTED GARDEN BEDS.

TURF USED MUST BE WARM SEASON VARIETY.

CONSIDERATION SHOULD BE GIVEN TO THE CULTIVATION OF EXISTING SOIL IN THE GARDEN BEDS TO A 200mm DEPTH AND THE ADDITION OF IMPORTED TOPSOIL AND FERTILISER TO THE GARDEN BED.

GARDEN BEDS MUST HAVE 80mm LAYER OF MULCH.

ALL GARDEN BED AREAS WITHIN THE FRONT YARD SHOULD BE EDGED USING TIMBER EDGES.

AT LEAST ONE TREE WITH A MINIMUM INSTALLATION HEIGHT OF 2.0m SHOULD BE PLANTED BETWEEN THE FRONT BUILDING LINE AND STREET BOUNDARY.

CAREFUL CONSIDERATION SHOULD BE GIVEN TO THE FOUNDATIONS OF THE HOME, DRIVEWAY, OR RELEVANT AUTHORITY ASSETS.

NATURE STRIPS MUST ACHIEVE NEAT AND EVEN GRASS COVERAGE AND ANY DAMAGE CAUSED DURING CONSTRUCTION OF THE DWELLING MUST BE RECTIFIED.

GRASS LAWN MUST BE INSTALLED ON A MINIMUM 100mm DEPTH OF TOPSOIL.

PLANT SPECIES ARE TO BE HARDY, APPROPRIATE TO THE SITE AND HAVE REASONABLE DROUGHT TOLERANCE.

LANDSCAPE PLAN

1:100

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MASTER PLAN ID G2J710.04.H

I/ We FARDAUSI AKTER RIMA & HOSSAIN MOHAMMAD ABDUAL AWAL agree that these plans are accurate & correct & acknowledge that alterations to them will incur variation fees at the Builder's discretion as per the terms of the contract.

Signed:Date.....

Signed:Date.....

REV	DATE	CHANGE DETAILS
1:	22.01.2024	CG - CONTRACT DRAWINGS
2:	14.02.2025	CG - TV 1 & 2
3:	11.04.2025	RC - PCV 1
4:	17.04.2025	RC - PCV 2
5:	06.05.2025	RC - PCV 3
6:	26.05.2025	RC - AHD SURVEY
7:	23.06.2025	MB - PCV 4
8:	03.07.2025	RC - BP KB
9:	09.07.2025	RC - PP KB

LANDSCAPE PLAN

PROJECT NUMBER
133254

WORKING DWG DATE:
T.B.A.
DRAWN BY:
#Contact ID

01