

Notice of an Application for an Amendment to a Planning Permit

The land affected by the application is located at:	L179 LP7623 V8197 F579 18A Upper Grieve Road, Avonsleigh VIC 3782
The application is to:	Building and works for the construction of a dwelling and vegetation removal

APPLICATION DETAILS

The applicant for the amendment to the permit is:



Application number:

T220378 - 1

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

This can be done during office hours and is free of charge.

Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.



HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:

31 July 2025

WHAT ARE MY OPTIONS?

Any person who may be affected by the proposed amendment to permit may object or make other submissions to the responsible authority.

If you object, the Responsible Authority will notify you of the decision when it is issued.

An objection must:

- be made to the Responsible Authority in writing;
- include the reasons for the objection; and
- state how the objector would be affected.

The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.





Planning Enquiries
Phone: 1300 787 624
Web: www.cardinia.vic.gov.au

Office Use Only Application No.:

Date Lodged: / /

Application to AMEND a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

▲ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

▲ This form cannot be used to:

- amend a permit or part of a permit if the Victorian Civil and Administrative Tribunal (VCAT) has directed under section 85 of the Act that the responsible authority must not amend that permit or that part of the permit (as the case requires); or
- amend a permit issued by the Minister under Division 6 of Part 4 of the Act (these applications must be made to the Minister under section 971 of the Act).

▲ Questions marked with an asterisk (*) must be completed.

■ Click for further information.

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 18A	St. Name: Upper Grieve Road
Suburb/Locality: Avonsleigh		Postcode: 3782

Formal Land Description *

Complete either A or B.

▲ This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.: 179	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input checked="" type="radio"/> Plan of Subdivision	No.: LP7623
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

Planning Permit Details

What permit is being amended?*

Planning Permit No.: T220378 PA

The Amended Proposal

▲ You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application

What is the amendment being applied for?*

- Indicate the type of changes proposed to the permit.
- List details of the proposed changes.

If the space provided is insufficient, attach a separate sheet.

This application seeks to amend:

- | | |
|---|---|
| <input type="checkbox"/> What the permit allows | <input checked="" type="checkbox"/> Plans endorsed under the permit |
| <input type="checkbox"/> Current conditions of the permit | <input type="checkbox"/> Other documents endorsed under the permit |

Details: 1) Reduce the overall building area.
2) Improve the external appearance by simplifying the floor plan and facade.
3) Reduce the quantity of site cuts and depth of excavation works.
4) Replace the watertank for an above ground pool (in the same location).

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☒ Provide plans clearly identifying all proposed changes to the endorsed plans, together with: any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.

Development Cost

Estimate cost of development*

If the permit allows **development**, estimate the cost difference between the development allowed by the permit and the development to be allowed by the amended permit.

Cost of proposed amended development:

\$ 350,000


Cost of the permitted development:

\$ 400,00

Cost difference (+ or -):

= \$ -50,000

Insert 'NA' if no development is proposed by the permit.

 You may be required to verify this estimate.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Have the conditions of the land changed since the time of the original permit application? ☒ Yes ☐ No

If yes, please provide details of the existing conditions.

T13 and T17 were blown over in the February 2024 storm.
T13 and T17 were removed from site as they were blocking access to the property.

☒ Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes (If 'yes' contact council for advice on how to proceed before continuing with this application.)

☒ No

☐ Not applicable (no such encumbrance applies).

☒ Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

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Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

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Contact information for applicant OR contact person below

Business phone:

Fax:

Contact person's details*

Same as applicant

☒

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here.

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Name:


Same as applicant

☒

day / month / year

Declaration

This form must be signed by the applicant*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; that all the information in this application is true and correct; that all changes to the permit and plan have been listed as part of the amended proposal and that the application.

Date:

17/2/25

day / month / year

Need help with the Application?

If you need help to complete this form, read More Information at the end of this form or contact Council's planning department. General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for his application and obtain a checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer



No



Yes

If 'Yes', with whom?:


Date:

day / month / year

Checklist

Have you:

- ☐ Filled in the form completely?
- ☐ Paid or included the application fee?
- ☐ Attached all necessary supporting information and documents?
- ☐ Completed the relevant council planning permit checklist?
- ☐ Signed the declaration above?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

Lodgement

Lodge the completed and signed form and all documents with:

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact information:

Telephone: 1300 787 624

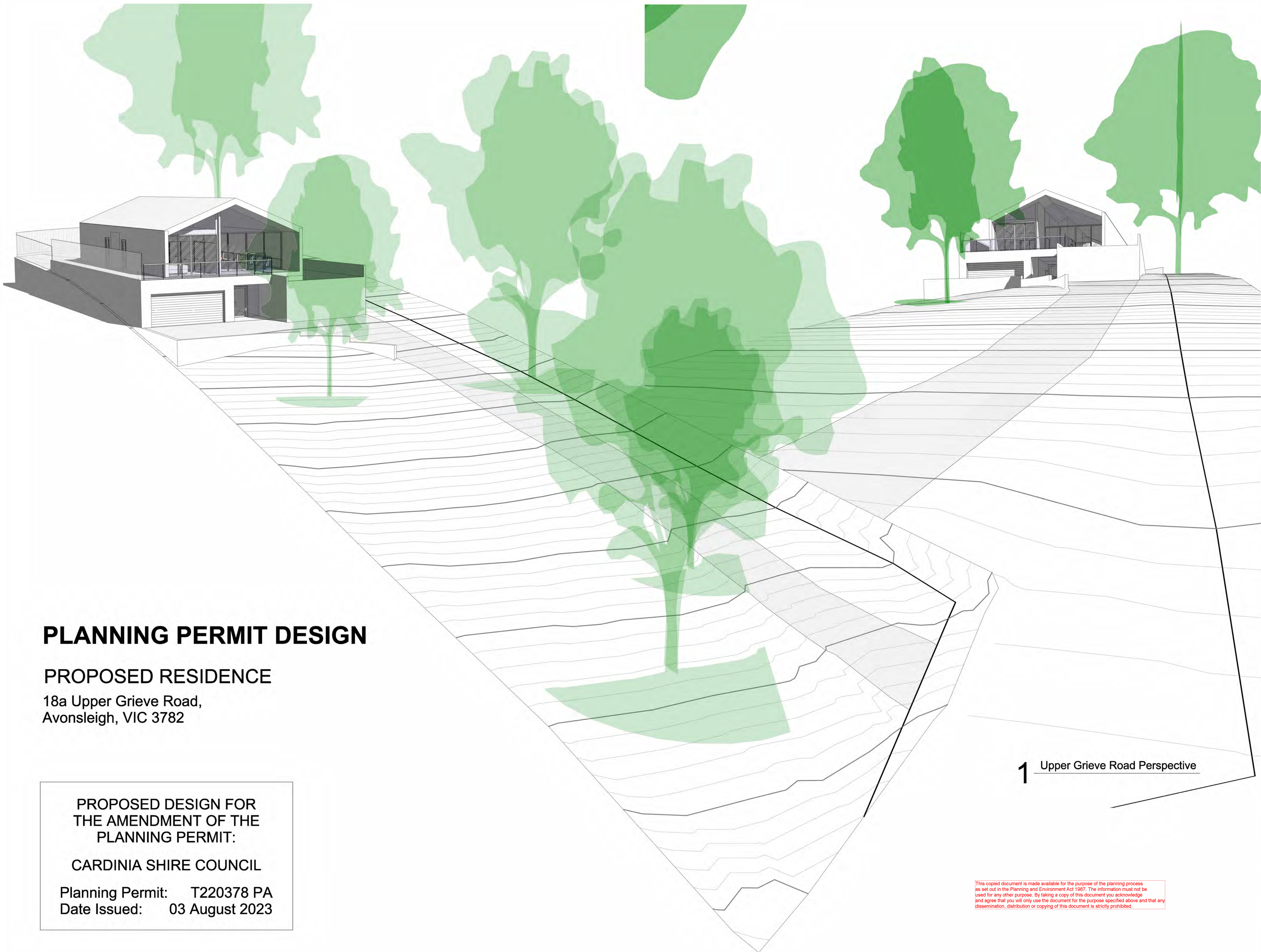
Fax: (03) 5941 3784

Email: mail@cardinia.vic.gov.au

DX: 81006

Deliver application in person, by post or by electronic lodgement.

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PLANNING PERMIT DESIGN

PROPOSED RESIDENCE

18a Upper Grieve Road,
Avonsleigh, VIC 3782

PROPOSED DESIGN FOR
THE AMENDMENT OF THE
PLANNING PERMIT:

CARDINIA SHIRE COUNCIL

Planning Permit: T220378 PA
Date Issued: 03 August 2023

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ARBV: 18375
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CONCEPT DESIGN
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DRAWING LIST

SHEET	SHEET NAME
TP - A100-B	Cover Page
TP - A101-B	Approved Site Plan, Proposed Site Plan
TP - A102-B	Ground Floor Plan, Garage Plan
TP - A103-B	Roof Plan
TP - A104-B	Elevations, Cross Sections
TP - A105-B	Bushfire Protection Measures

REVISIONS

REV.	DATE	DESCRIPTION
1	13.02.24	T13 & T17 Removed, Main site outline indicated, Pool to East boundary dimensioned, BMP revised

PROJECT:
Proposed Residence
18A Upper Grieve Road,
Avonsleigh, VIC 3782

Cover Page

PROJECT NUMBER: 2302

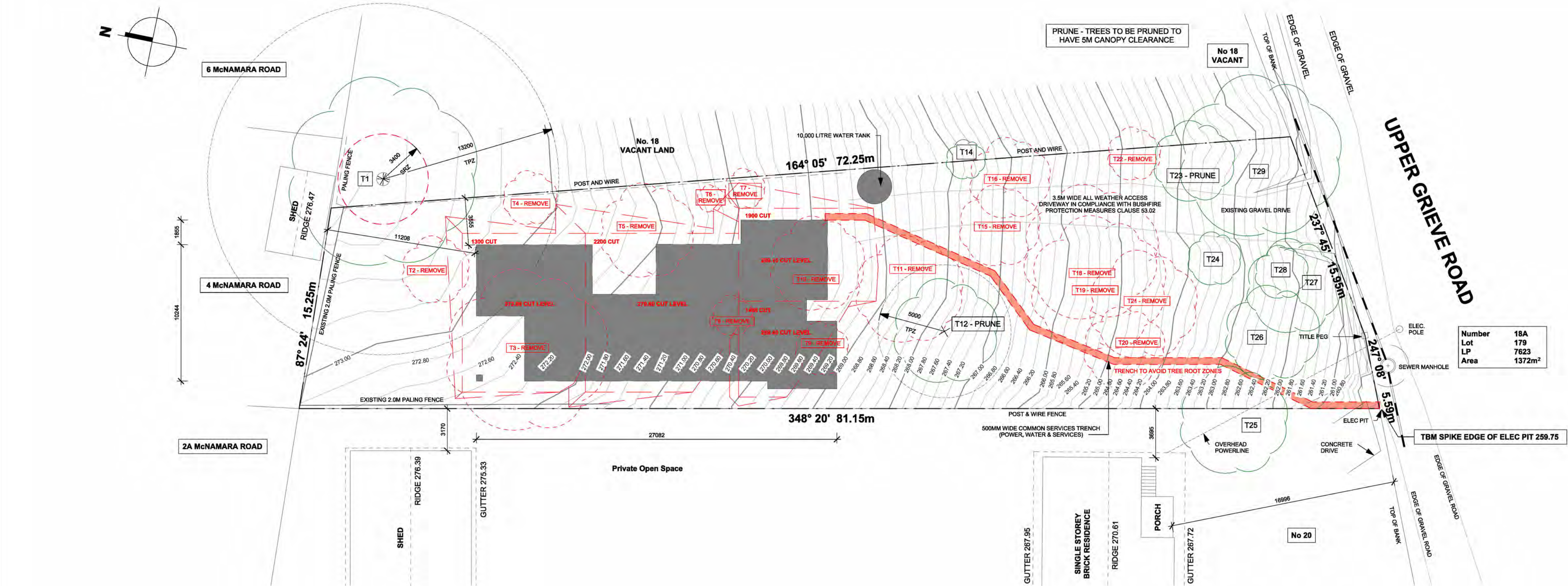
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DRAWN BY: JE

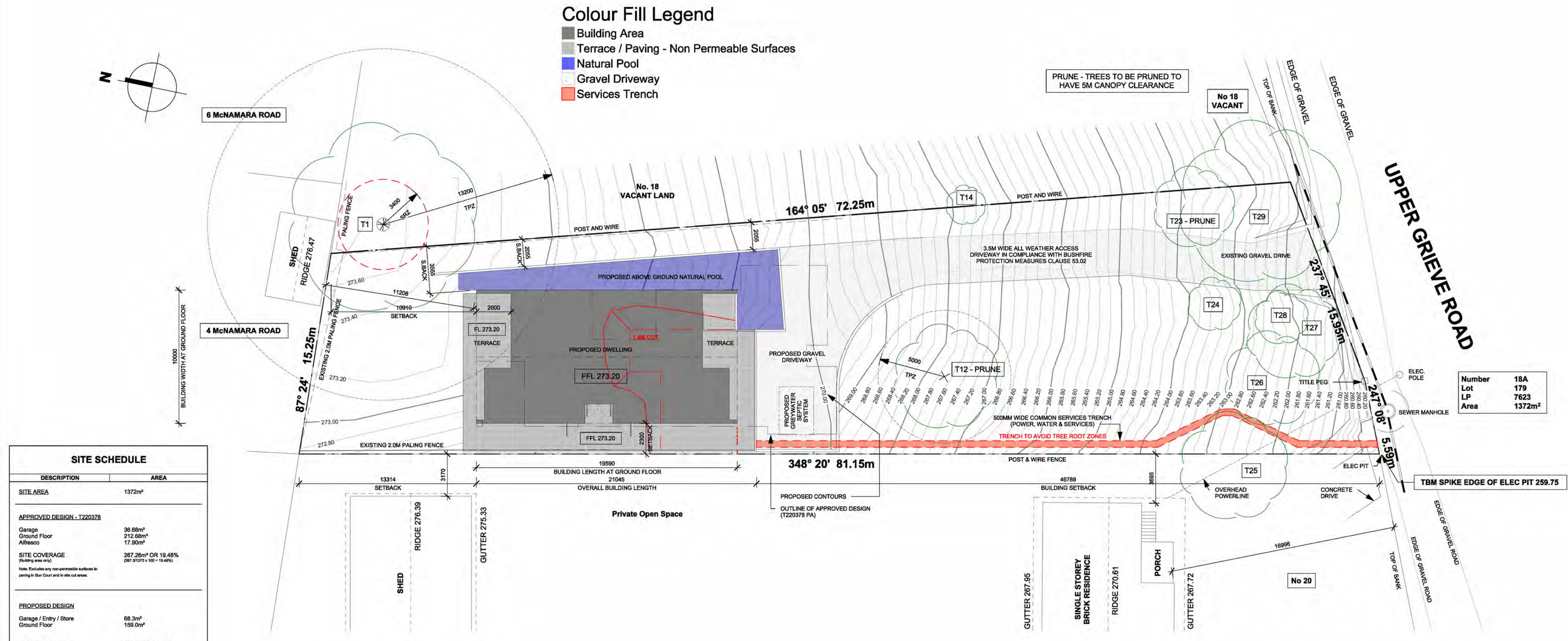
CHECKED BY: JE

TP - A100-B

SCALE: A1



1 TP - Existing Site Conditions & Approved Planning Design
1 : 200



2 TP - Site Plan - Proposed
1 : 200

LAND SURVEY FEATURES USED IN THIS DOCUMENT WERE SUPPLIED BY:
PLANNING PERMIT No. T220378
SHEET: A100, PLAN: 101 - Site Plan - Site Context Plan, DATE: 10.03.2022
EGGLESTONE ARCHITECTS P/L ASSUMES NO RESPONSIBILITY FOR THE
ACCURACY OF THESE LAND SURVEY FEATURES.
OWNER AND/OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS, SITE
LEVELS, GRADES ETC PRIOR TO COMMENCING ANY WORKS.
REPORT ANY DISCREPANCIES TO EGGLESTONE ARCHITECTS P/L PRIOR TO
STARTING BUILDING WORKS.
NOTE: ALL LEVELS TO AHD (AUSTRALIAN HEIGHT DATUM)

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PROJECT:
Proposed Residence
18A Upper Grieve Road,
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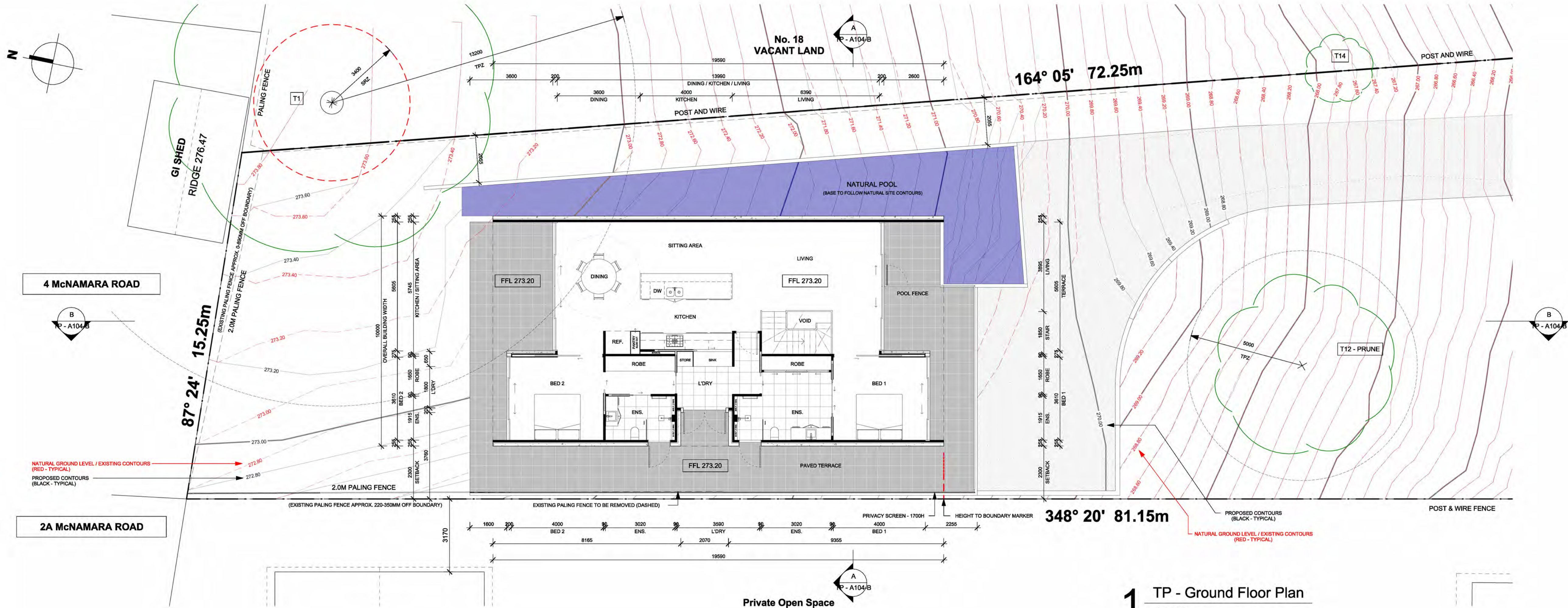
Approved Site Plan,
Proposed Site Plan

PROJECT NUMBER:	2302
DATE:	13.02.2025
DRAWN BY:	JE
CHECKED BY:	JE

TP - A101-B

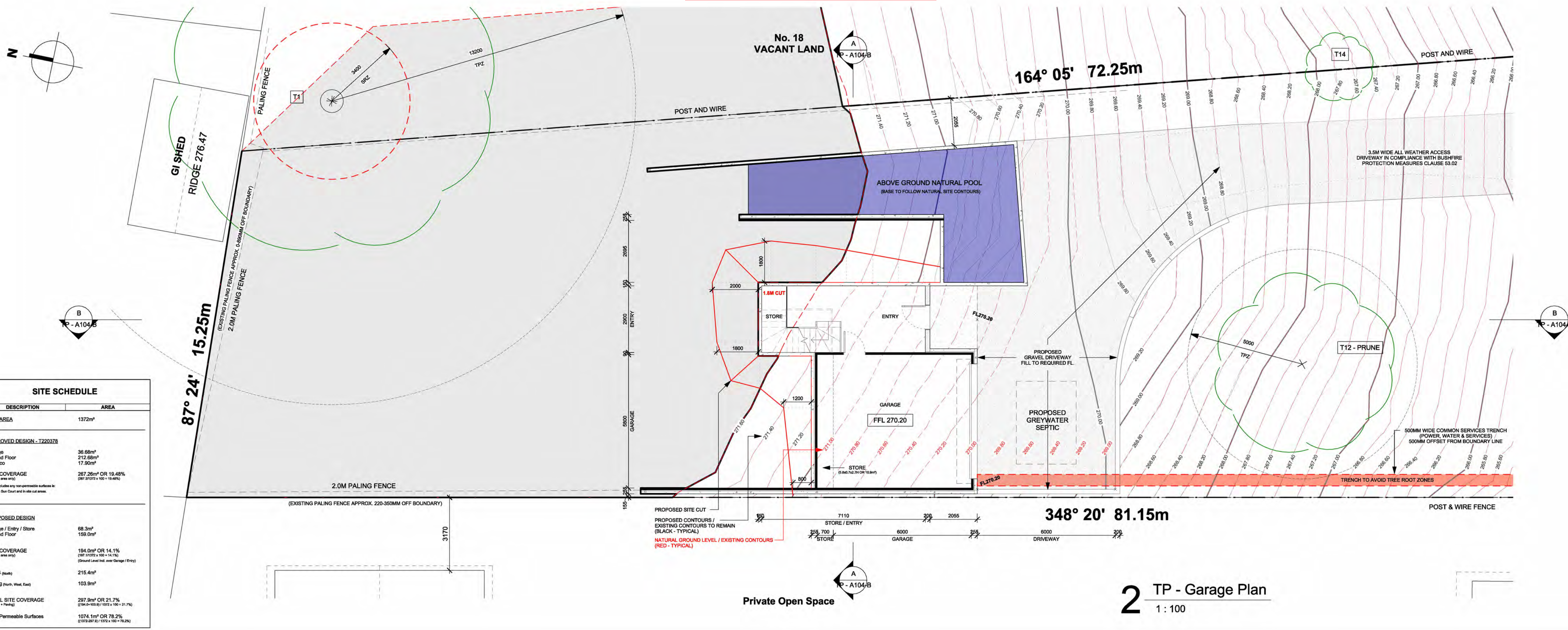
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1 TP - Ground Floor Plan
1 : 100

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2 TP - Garage Plan
1 : 100

SITE SCHEDULE	
DESCRIPTION	AREA
SITE AREA	
APPROVED DESIGN - T220378	
Garage	38.66m²
Ground Floor	212.59m²
Alfresco	17.50m²
SITE COVERAGE	
267.26m² OR 19.48% (267.26/1372.00 x 100 = 19.48%)	
Note: Exclude any non-permeable surfaces to paving in Site Court and to side cut areas.	
PROPOSED DESIGN	
Garage / Entry / Store	68.3m²
Ground Floor	159.0m²
SITE COVERAGE	
194.0m² OR 14.1% (194.0/1372.00 x 100 = 14.1%)	
Note: Exclude any non-permeable surfaces to paving in Site Court and to side cut areas.	
SPCOS (paved)	
Paving (curb, West, East)	215.4m²
TOTAL SITE COVERAGE	
297.9m² OR 21.7% (297.9/1372.00 x 100 = 21.7%)	
TOTAL PERMEABLE SURFACES	
1074.1m² OR 78.2% (1074.1/1372.00 x 100 = 78.2%)	

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SHEET	SHEET NAME
TP - A102-B	Cover Page
TP - A101-B	Approved Site Plan, Proposed Site Plan
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TP - A103-B	Roof Plan
TP - A104-B	Elevations, Cross Sections
TP - A105-B	Bushfire Protection Measures

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REV.	DATE	DESCRIPTION
B	13.02.24	T13 & T17 Removed. Map site cut indicated. Pool to East boundary dimensioned. BMP revised

CLIENT:

PROJECT:

Proposed Residence
18A Upper Grieve Road,
Avonsleigh, VIC 3782

Ground Floor Plan, Garage Plan

PROJECT NUMBER: 2302

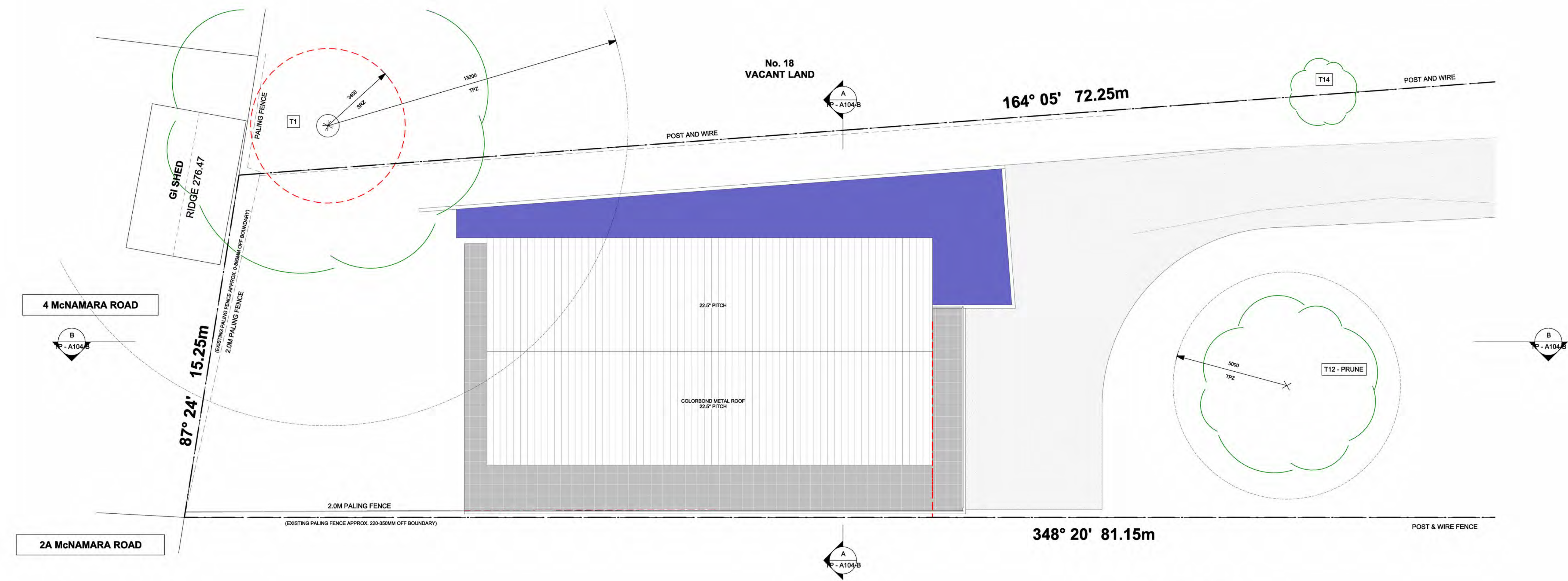
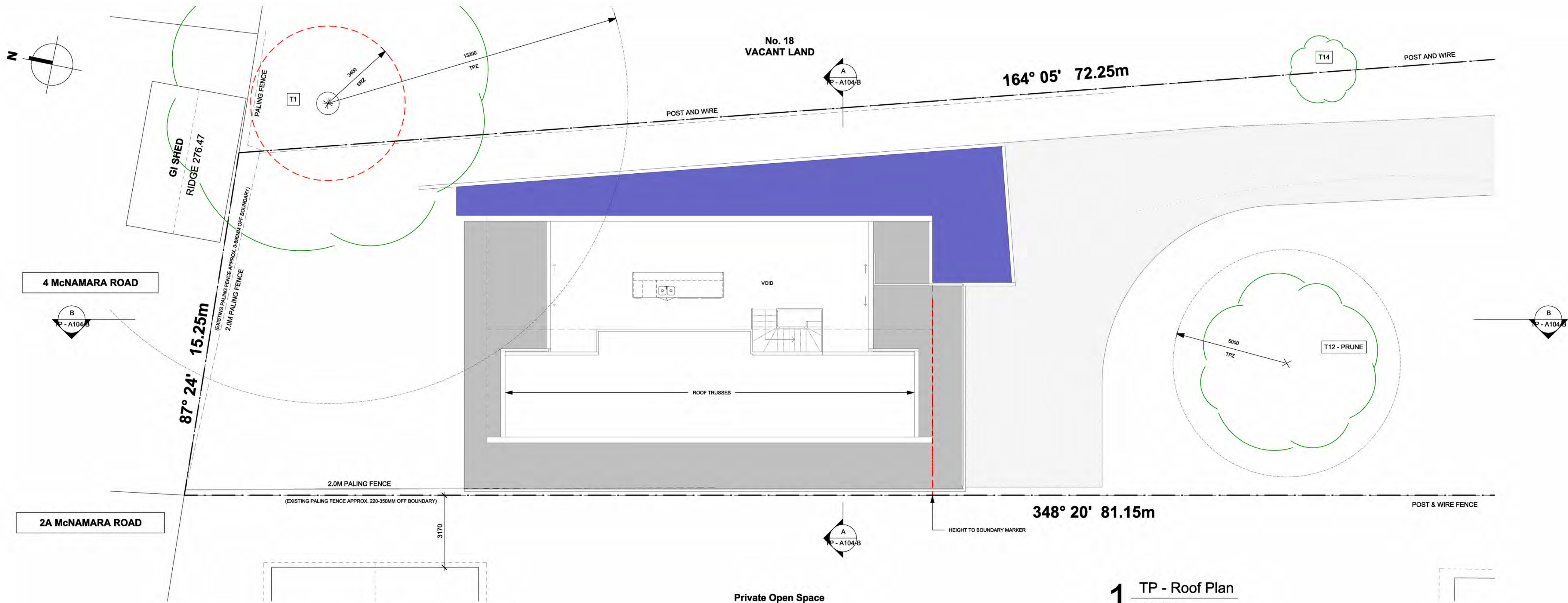
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TP - A102-B

SCALE: 1 : 100 A1



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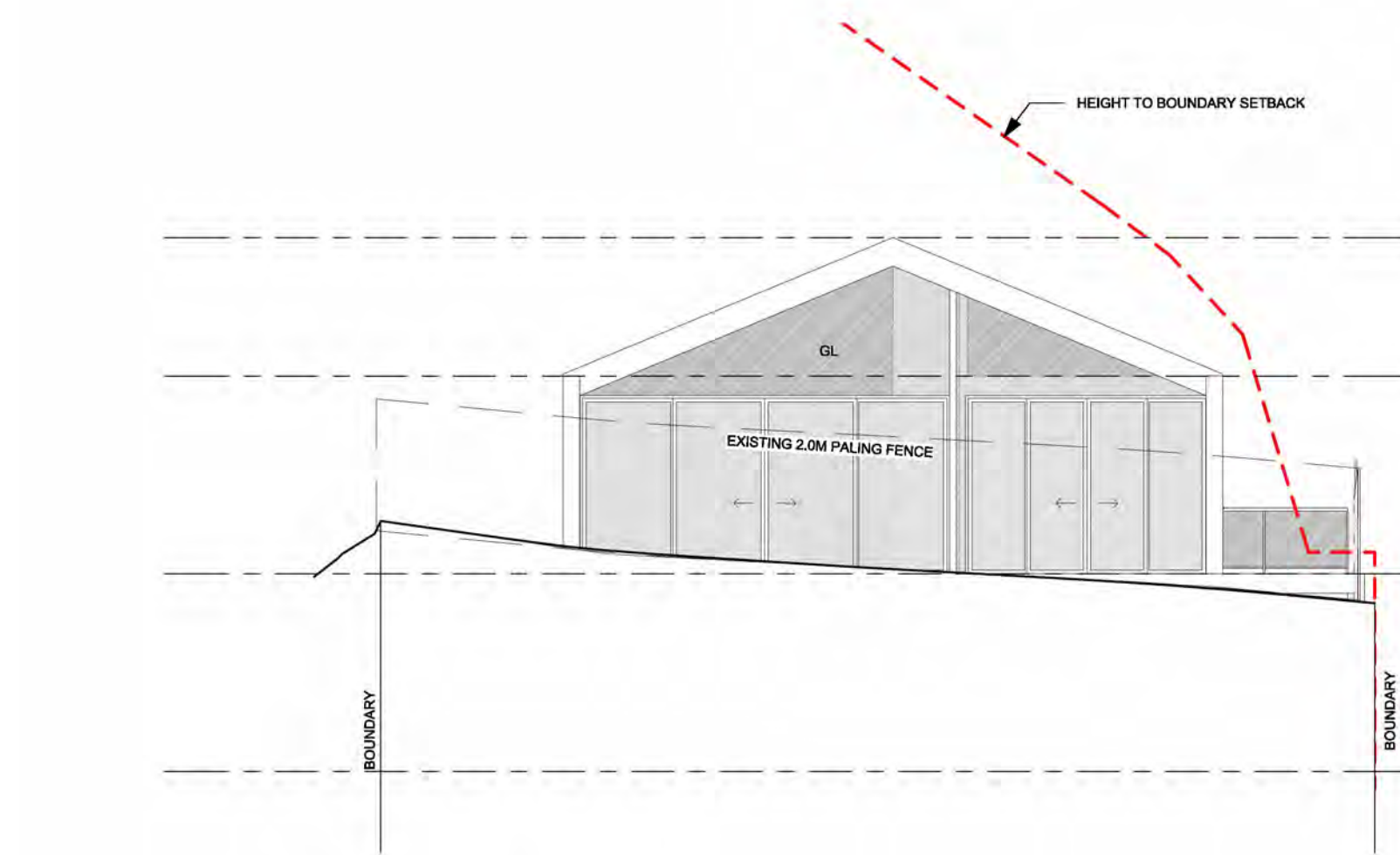
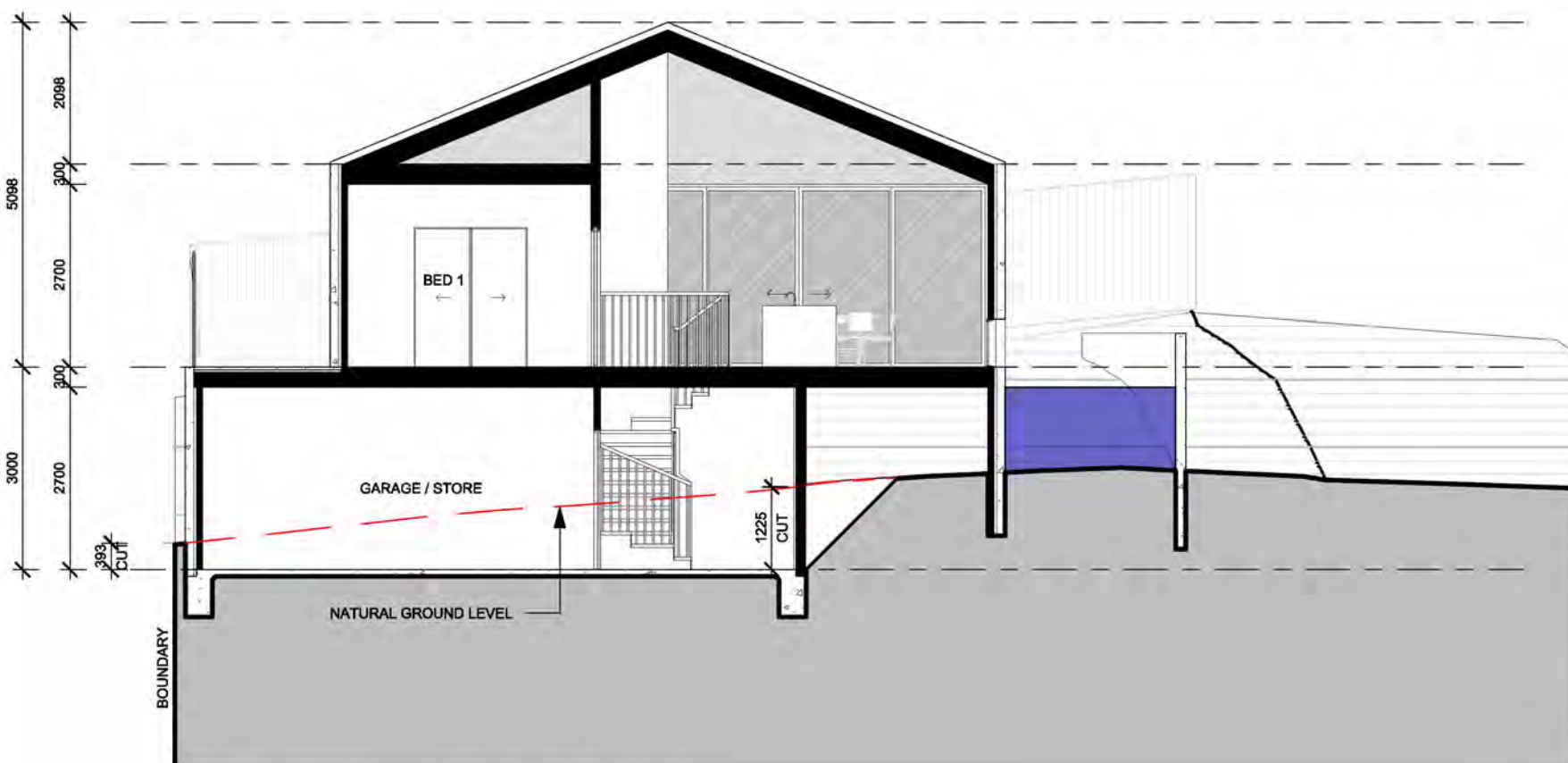
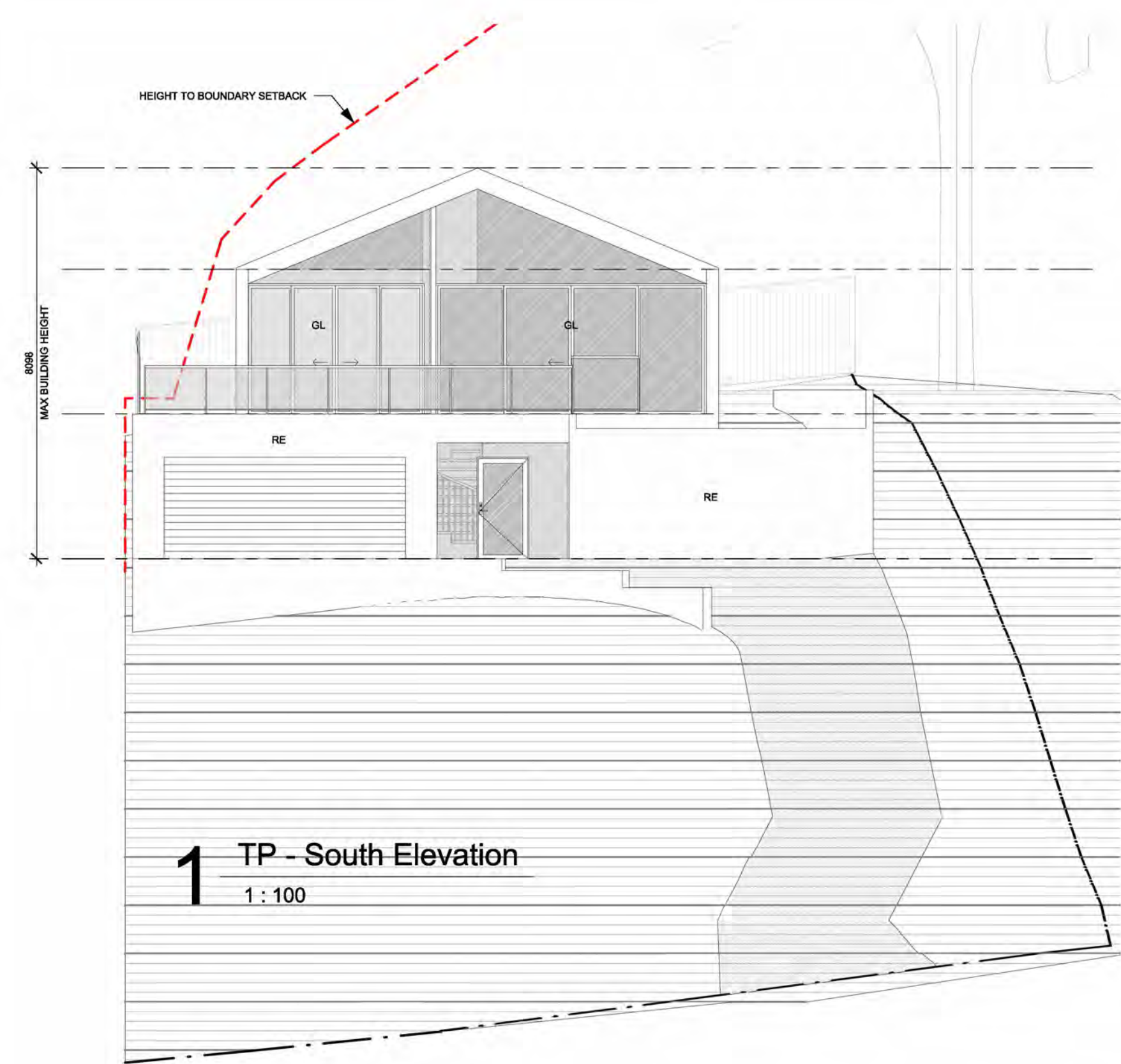
Roof Plan

PROJECT NUMBER: 2302
DATE: 13.02.2025
DRAWN BY: JE
CHECKED BY: JE

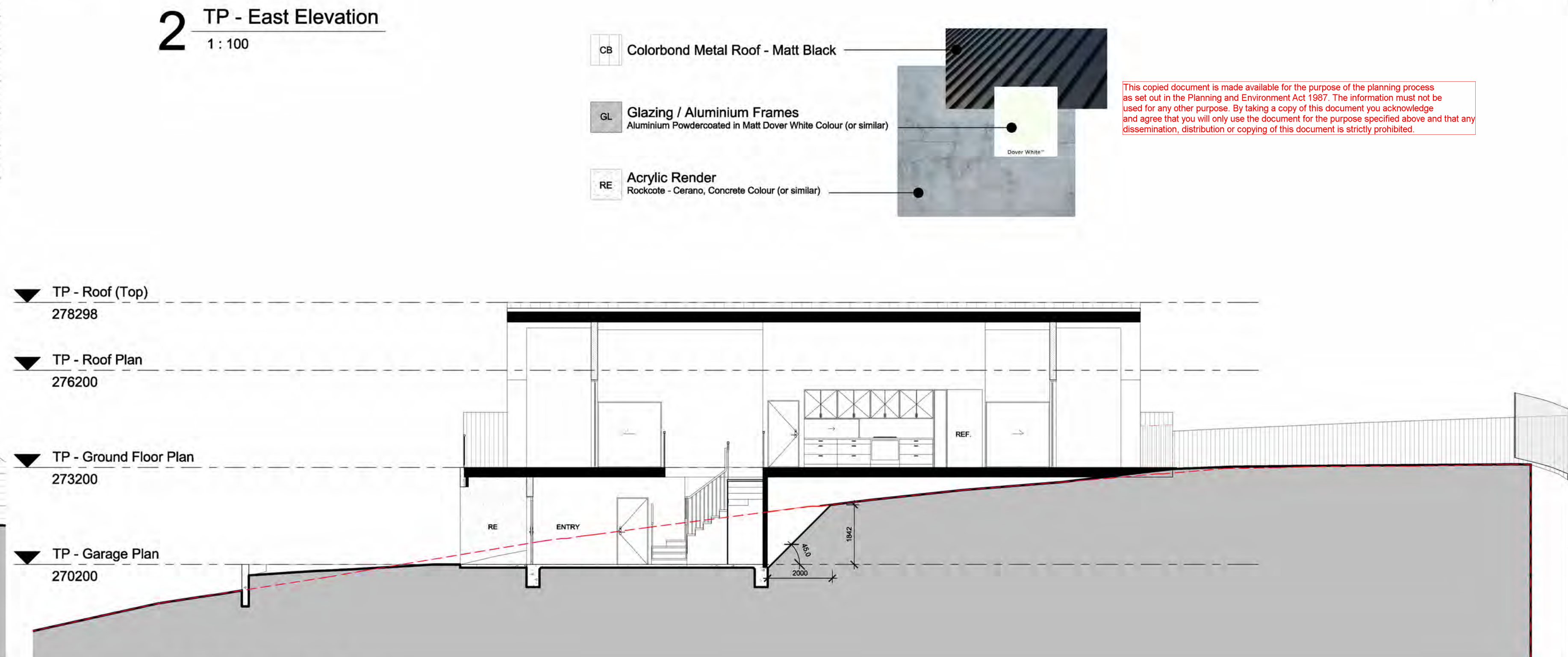
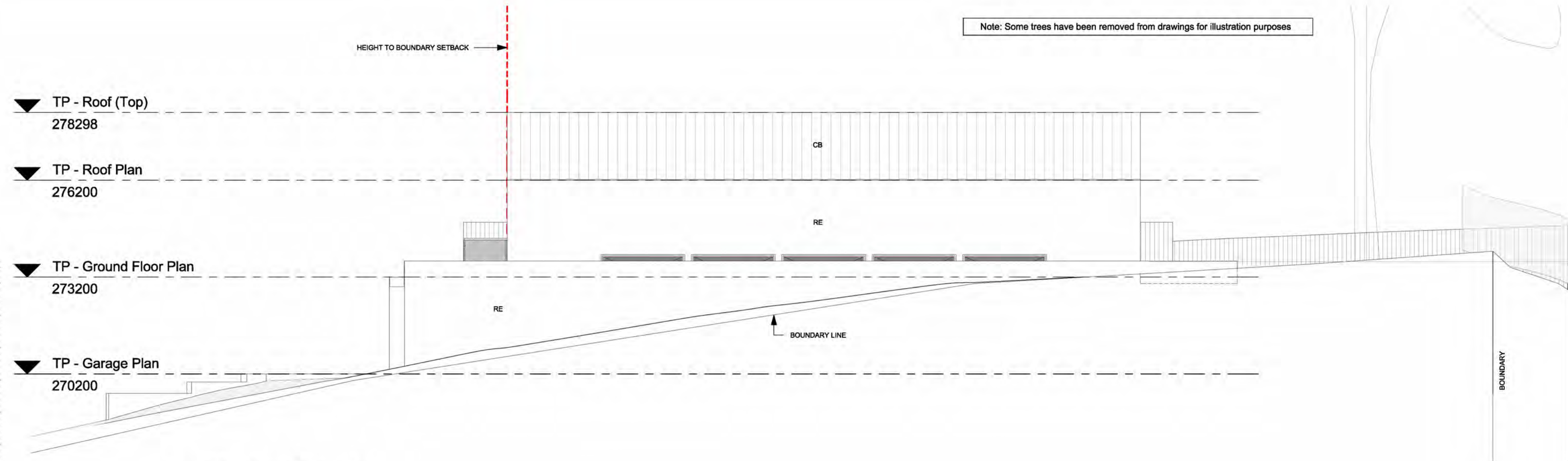
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SCALE: 1 : 100 A1

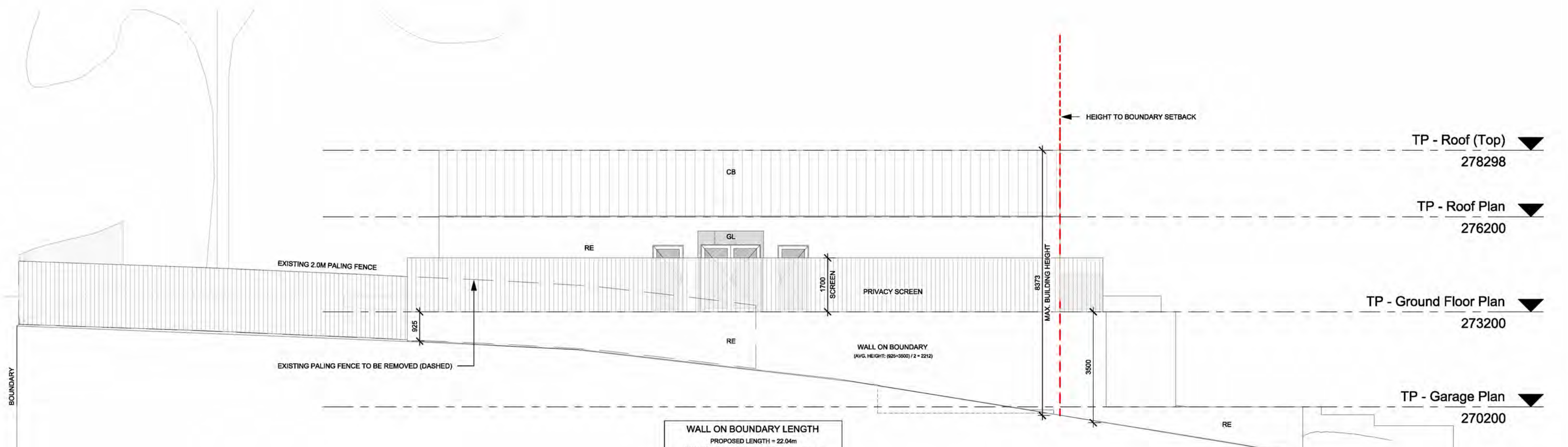
13/02/2025 5:14:24 PM



3 TP - North Elevation
1 : 100



B TP - Section - Long
1 : 100



4 TP - West Elevation
1 : 100

- CB Colorbond Metal Roof - Matt Black
- GL Glazing / Aluminium Frames
Aluminium Powdercoated in Matt Dover White Colour (or similar)
- RE Acrylic Render
Rockzote - Cerano, Concrete Colour (or similar)

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CLIENT: [REDACTED]

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Elevations, Cross
Sections

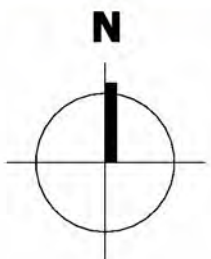
PROJECT NUMBER: 2302
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TP - A104-B

SCALE: 1 : 100 A1

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Appendix 1 A3 Bushfire Management Plan - Revision
18A Upper Grieve Road, Avonsleigh



Bushfire Protection Measures

Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

a) Defendable Space

Defendable space is provided for a distance of at least **30 meters** around the dwelling with the site.

Defendable space is provided around the building or to the property boundary whichever is the lesser and managed in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least **5 meters**.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level

b) Construction Standard

Dwelling designed and constructed to a minimum Bushfire Attack Level of **BAL 29**

c) Water Supply

10,000 litres of effective water supply for firefighting purposes must be provided which meets the following requirements:

- Is stored in an above-ground water tank constructed of concrete or metal
- All fixed above-ground water pipes and fittings required for firefighting purposes must be made of corrosive-resistant metal
- Include a separate outlet for Occupant Use

The water supply must also:

- Incorporate a ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64mm CFA 3 thread per inch male fitting)
- Be located within 60 metres of the outer edge of the approved building
- The outlets of the water tank must be within 4m of the accessway and be unobstructed
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of CFA must be provided
- Any pipework and fittings must be a minimum of 65mm (excluding the CFA Coupling)

d) Access – greater than 30 metres

Access required: **Yes**

The following requirements apply:

All-weather construction

A load limit of at least 15 tonnes.

Minimum trafficable width of 3.5 metres.

Be clear of encroachments for at least 0.5m on each side and at least 4m vertically.

The driveway does not have dips, curves or and adheres to relevant gradients.

NOTE: Bushfire Protection Measures
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SHEET	SHEET NAME
TP - A105-B	Cover Page
TP - A101-B	Approved Site Plan, Proposed Site Plan
TP - A102-B	Ground Floor Plan, Garage Plan
TP - A103-B	Roof Plan
TP - A104-B	Elevations, Cross Sections
TP - A105-B	Bushfire Protection Measures

REVISIONS

REV.	DATE	DESCRIPTION
1	13.02.24	T13 & T17 Removed. Max. site cut indicated. Pool to East boundary dimensioned. BMP revised

CLIENT:

PROJECT:

Proposed Residence
18A Upper Grieve Road,
Avonsleigh, VIC 3782

**Bushfire Protection
Measures**

PROJECT NUMBER: 2302

DATE: 13.02.2025

DRAWN BY: -

CHECKED BY: -

TP - A105-B

SCALE: 1 : 200 A1

13/02/2025 5:14:53 PM

January 06, 2025

Cardinia Shire Council

Building & Planning

mail@cardinia.vic.gov.au

Civic Centre, 20 Siding Avenue,

Officer, VIC 3809

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COVER LETTER

To whom it may concern,

Please find attached the required documents for secondary consent to a Planning Permit.

Planning Permit: T220378 - 03 August 2023

Project Address: 18A Upper Grieve Road, Avonsleigh, VIC 3782

Project Type: Proposed Residence

Summary:

In summary we would like to apply for secondary consent to a planning application to:

- ☐ Reduce the overall building area.
- ☐ Improve the external appearance by simplifying the floor plan and facade.
- ☐ Reduce the quantity of site cuts and depth of excavation works.
- ☐ Reduce the number of trees to be removed.

Attached:

- ☐ Cover Letter
- ☐ Design Response to Clause 54 - Cardinia Planning Scheme
 - ☐ Neighbourhood & Site Description
 - ☐ Design Response

Yours faithfully



Egglestone Architects

Architects Registration Board of Victoria – ARBV 18375

TOWN PLANNING REPORT

Application: Apply for a Secondary Consent
Planning Permit: T220378 - 03 August 2023
Project Address: 18A Upper Grieve Road, Avonsleigh, VIC 3782
Project Type: Proposed Residence

PROPERTY ZONE & OVERLAYS

18A Upper Grieve Road, Avonsleigh, VIC 3782

- ☐ **Low Density Residential (LDRZ), Schedule 2 - LDRZ2**
 - ☐ Must be the only dwelling on the lot.
 - ☐ Minimum subdivision area is 0.4ha.
 - ☐ The dwelling must be connected to reticulated sewerage. If reticulated sewerage is not available then all wastewater must be treated and retained within the lot in accordance with Environment Protection Regulations.
 - ☐ The dwelling must be connected to a reticulated potable water supply or have an alternative water supply, with appropriate storage capacity.
 - ☐ The dwelling must be connected to a reticulated electricity supply or have an alternative energy supply.
- ☐ **Bushfire Management Overlay (BMO)**
- ☐ **Design and Development Overlay (DDO), Schedule 1 (DDO1)**
- ☐ **Vegetation Protection Overlay - VPO, Schedule 1 (VPO1)**

CARDINIA PLANNING SCHEME

CLAUSE 54 - ONE DWELLING ON A LOT

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54.01 - NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE

☐ 54.01-1 Neighbourhood and Site Description

Neighbourhood Features & Facilities

Avonsleigh is classified as a small rural township in the Cardinia Shire.

- 200m - Bus stop - (695 & 695F)
- 270m - Dunstan Rd Reserve Playground
- 825m - Local Restaurants & Vet
- 988m - Emerald Football Club
- 1.3km - Emerald Secondary College
- 14km - Dandenong Ranges National Park
- 16km - Pakenham - Retail
- 17km - Ferntree Gully - Retail

Site Description - 18A Upper Grieve Road (Project Site)

18A Upper Grieve Road is located in a Low Density Residential Zone (LDRZ). It is currently a vacant site with no buildings but it does contain 29 trees¹, please refer to the Arboricultural Report for further information.

The site is long and skinny in shape, with the short South boundary adjoining Upper Grieve Road. This is where road access to the site is provided.

From Upper Grieve Road the site is steep and slopes up to the rear of the property, to the north. The site levels off near the rear of the property with only a gentle slope falling back towards the street.

Please refer to the Architectural Site Plan for context.

Adjoining Property (East) - No. 18 Upper Grieve Road

This is a long skinning property similar to the project site. It is also vacant land but has fewer trees on the property.

Adjoining Property (West) - No. 20 Upper Grieve Road

This is a long site similar to the project site and has a single storey brick dwelling located near the front of the property, with a building setback of 17 metres. Behind the dwelling is the private open space and a large shed.



¹ Arboricultural Construction Impact Assessment - Greenwood Consulting P/L - Ref 6635

² Image: 18A Upper Grieve Road - Street View

³ Image: 18A Upper Grieve Road - Rear of property (North)

⁴ Image: 18 Upper Grieve Road - Street View

⁵ Image: 20 Upper Grieve Road - Street View

☐ **54.01-2 Design Response**

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Site Features

- ☐ Site area of 1372m²
- ☐ The site slopes up from the street and levels off near the rear of the property.
- ☐ The rear of the property is the highest point of the site and is north facing.
- ☐ From the rear of the property looking south, you see the tops of large trees and the street below which is slightly obscured from view by the trees.
- ☐ The property to the east is vacant land.
- ☐ The property to the north is not visible from the rear of the property due to vegetation and a paling fence.
- ☐ The property to the west has a dwelling positioned at the front of the site and a large shed at the rear.
- ☐ The property has an approved Planning Permit.
- ☐ No Easements within the property boundary.

Design Response

☒ The site slopes up from the street and levels off near the rear of the property. This creates the perfect opportunity to terrace the site and set the building on two levels. This greatly reduces the cut and fill required to build the dwelling and for this particular site is advantageous due to the number of large trees present on the site.

☒ The rear of the property is the highest point of the site and is north facing. The flattest and highest point on the site is also north facing which is ideal for the secluded private open space from the living areas. With an open plan design it allows natural light from the north and views of the treetops through the building to the south.

☒ The property to the east is vacant land. Therefore the proposed design should take into account the future development of the site and any potential overlooking or over shadowing issues that may occur. The proposed dwelling has been set back from the east boundary to minimise any potential over shadowing.

Windows on the east facade have been positioned to provide privacy to both the project site and the adjoining east property by having low horizontal windows which allow natural light and ventilation into the dwelling while directing views towards the courtyard to the north and treetops to the south.

☒ The property to the west has a dwelling positioned at the front of the site and a large shed at the rear.

The garage has been positioned on the west boundary to act as a boundary wall and retaining wall as the ground level behind the existing west boundary paling fence has been cut away near the shed and the ground level on the project site is slipping away below the fence.

The proposed dwelling on ground level has been set back from the west boundary by 2.3 metres and no windows have been placed along this facade.

A 1.7 metres high screen has been proposed along the west boundary above the retaining wall to prevent overlooking to and from the project site.

- ☒ The property has an approved Planning Permit.

The amended design has been designed with the same north-east corner setback as the approved building design which is 3555mm from the east and 11208mm from the north.

The amended design aims to reduce the area of the approved building and simplify the external appearance.

- ☒ This has been achieved by positioning the private open space to the north and creating a floor plan within a simple rectangular footprint.
- ☒ The pitched roof remains from the approved design but has been reduced from three separate roofs to one.

The amended design also aims to reduce the deep excavations approved in the Planning Permit design, especially near Tree 1 (T1).

- ☒ This has been achieved by terracing the building and site in a different way. By having the garage and entry on one level it creates a platform to build the ground floor on, thus eliminating the three split levels in the approved design.
- ☒ This also allows for the ground floor to be positioned at ground level near Tree 1 at the north end of the building and reduces the 1.3 metre cut into the Tree Protection Zone to approximately 400mm deep.

The Services Trench has been simplified to run parallel with the west boundary with a 500mm offset from the boundary to allow for the installation of a boundary fence in the future. This will help to eliminate damage to the Services Trench from tree roots or potential future excavations as it has an easy reference point being the west boundary.

The 10,000 litre water tank in the approved design, located on the southeast corner of the approved building has been replaced with a natural above ground pool situated in the same location and with a capacity to hold a minimum of 10,000 litres.

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54.02 - NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE☒ **54.02-1 Neighbourhood character objectives**

Objectives:

- ☒ To ensure the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.
- ☒ To ensure that the design responds to the features of the site and the surrounding area.

☒ **54.02-2 Integration with the street objective**

Objective:

To integrate the layout of development with the street.

Standard A2

- ☒ The dwelling has been orientated to face the existing street.
- ☒ No front fence is proposed which is consistent with the other properties in this street.

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54.03 - SITE LAYOUT AND BUILDING MASSING☒ **54.03-1 Street setback objective**

Standard A3 - Table A1.

- ☒ There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment. Not a corner site.
- ☒ Same distance as the setback of the front wall of the existing building or 9 metres, whichever is the lesser.
- ☒ Abutting allotment = 16.9m. Proposed design = 46.7m.

Please refer to Architectural Drawings - TP-A101 - Approved Site Plan, Proposed Site Plan

☒ **54.03-2 Building height objective**

Standard A4

- ☒ Slope of natural ground exceeds 2.5° over 8m therefore maximum building height should not exceed 10 metres.
- ☒ Maximum Height = 8098mm (from natural ground level)

Please refer to Architectural Drawings - TP-A104 - Elevations, Cross Sections

☒ **54.03-3 Site coverage**

Standard A5

- ☒ Site covered by buildings should not exceed 60%.
- ☒ Site covered by Buildings = 194m² OR 14.1%

Please refer to Architectural Drawings - TP-A101 - Approved Site Plan, Proposed Site Plan

☒ **54.03-4 Permeability and stormwater management objectives**

Standard A6

- ☒ Pervious surfaces should be at least 20% of the site.
- ☒ Total Permeable Surfaces = 1074.1m² OR 78.2%

Please refer to Architectural Drawings - TP-A101 - Approved Site Plan, Proposed Site Plan

☒ **54.03-5 Energy efficiency protection objectives**

Standard A7

- ☒ Orientated to make appropriate use of solar energy.
- ☒ Living areas and POS located on the north.
- ☒ Solar access to north-facing windows is maximised.
- ☒ No overshadowing of existing solar systems on adjoining lots.

Please refer to Architectural Drawings - TP-A101 - Approved Site Plan, Proposed Site Plan

☒ **54.03-6 Significant trees objectives**

Standard A8

- ☒ The building has been located in the area where the least amount of trees are required to be cleared for the construction and defendable area of the proposed dwelling.
- ☒ The majority of trees to remain are located between the street and the proposed dwelling. Therefore maintaining a similar density of significant trees visible from the street.

☐ **54.03-7 Building Setback (of a second dwelling) - N/A**☐ **54.03-8 Safety and Accessibility (of a second dwelling) - N/A****54.04 - AMENITY IMPACTS**☒ **54.04-1 Side and rear setbacks objective**

Standard A10

- ☒ Building on or within 200mm of a boundary - Diagram A1
- ☒ Eaves, fascias, gutters etc. may encroach not more than 0.5m into setbacks.

Please refer to Architectural Drawings - TP-A104 - Elevations, Cross Sections

NOTE: Diagram A1 shown in Elevations at Natural Ground Level.

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☒ **54.04-2 Walls on boundaries objective**

Standard A11

Objective: A new wall constructed on or within 200mm of a side or rear boundary should:

- ☒ Not exceed an average height of 3.2m.
- ☒ Not exceed a maximum height of 3.6m.
- ☒ Maximum length 10m plus 25% of the remaining boundary length of an adjoining lot.

WEST BOUNDARY WALL / RETAINING WALL -

Adjoining boundary length (West Boundary) = 81.15m.

Max. wall on boundary length $(10m + (.25 \times 71.15)) = 27.78m$

- ☒ West Boundary Wall / Retaining Wall = 22.04m

Please refer to Architectural Drawings - TP-A101 - Approved Site Plan, Proposed Site Plan

☒ **54.04-3 Daylight to existing windows objective**

Standard A12

- ☒ No existing habitable room windows affected.

☒ **54.04-4 North-facing windows objective**

Standard A13

- ☒ No existing habitable room windows affected.

☒ **54.04-5 Overshadowing open space objective**

Standard A14

Objective: To ensure buildings do not significantly overshadow existing secluded private open space.

- ☒ No.20 Upper Grieve Road - 40m² with a minimum dimension of 3m should receive a minimum of 5 hours of sunlight between 9am and 3pm on 22 September.

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☒ **54.04-6 Overlooking objective**

Standard A15

Objective: To limit views into existing secluded private open space and habitable room windows.

- ☒ West boundary adjoining the Private Open Space of No.20 Upper Grieve Rd. A permanently fixed external screen at least 1.7 metres high from finished terrace level, with no more than 25% transparency will be installed.

Please refer to Architectural Drawings - TP-A104 - Elevations, Cross Sections

54.05 - ON-SITE AMENITY AND FACILITIES☒ **54.05-1 Daylight to new windows objective**

Standard A16

- ☒ All habitable room windows are provided with unobstructed long distance views or views to an outdoor space with adequate natural light.

Please refer to Architectural Drawings - Floor Plans - TP-A102, TP-A103

☒ **54.05-2 Private open space objective**

Standard A17

Objective

An area of 80m² or 20% of the area of the lot, whichever is the lesser but not less than 40m².

- ☒ The Secluded Private Open Space at the north of the proposed design has an area of 215m² and has convenient access from the Kitchen / Dining / Living space.

☒ **54.05-3 Solar access to open space objective**

Standard A18

- ☒ The Private Open Space is located on the north.
- ☒ The dwelling is set back from the northern boundary by a minimum of 10.9m to allow natural light to enter the building.

54.06 - DETAILED DESIGN☒ **54.06-1 - Design detail objective**

Standard A19

Objective: To encourage design detail that respects the existing or preferred neighbourhood character.

- ☒ Facade articulation and detailing, window and door proportion, roof form.
- ☒ The proposed design has been created to blend into the background to allow the natural landscape and trees to remain the dominant feature of the site.
- ☒ The materials and colour pallet for the facade were chosen for their natural colours to help the building be second to its surroundings.
- ☒ The form of the building was designed to be simplistic, yet elegant with the intention to not draw attention to the building itself.
- ☒ The large glass facades are the most dominant feature of the building and this will help to reflect the appearance of the large trees surrounding the dwelling. Therefore giving a sense of there being more trees on the site than there actually are.

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- ☒ The design has been influenced by the fall of the site.
 - ☒ With the site falling to the street, it has given the opportunity to position the dwelling entry and garage on one level and in a location where it requires minimal cut and fill to the site.
 - ☒ This has created a platform for the ground floor to be positioned above and be set back further into the site where there is again, minimal cut and fill required.
 - ☒ By having the Entry and Garage on one level and the Ground Floor positioned on top but set back from the lower level walls, it has given the building nice articulation which has helped to reduce the overall height and appearance of the building.
 - ☒ The lower level walls being solid in appearance have helped to define the entry of the dwelling and create a solid looking plinth for the ground floor level above. The ground floor above has a more transparent / reflective appearance with the large glass facade which helps to reduce the visual bulk of the building.

☒ **54.06-2 - Front fences objective**

Standard A20

Objective: To encourage front fence design that respects the existing or preferred neighbourhood character.

- ☒ No front fence is proposed in this development which is in keeping with the surrounding properties.

Please refer to Architectural Drawings - TP-A101 - Approved Site Plan, Proposed Site Plan

ADDITIONAL INFORMATION

☒ **Storage**

- ☒ 10.9m³ of secure and externally accessible storage has been designed into the garage space.

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 08197 FOLIO 579

Security no : 124121042427X
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LAND DESCRIPTION

Lot 179 on Plan of Subdivision 007623.
PARENT TITLE Volume 06579 Folio 718
Created by instrument A591432 22/08/1958

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT 1865906

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP007623 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 18A UPPER GRIEVE ROAD AVONSLEIGH VIC 3782

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

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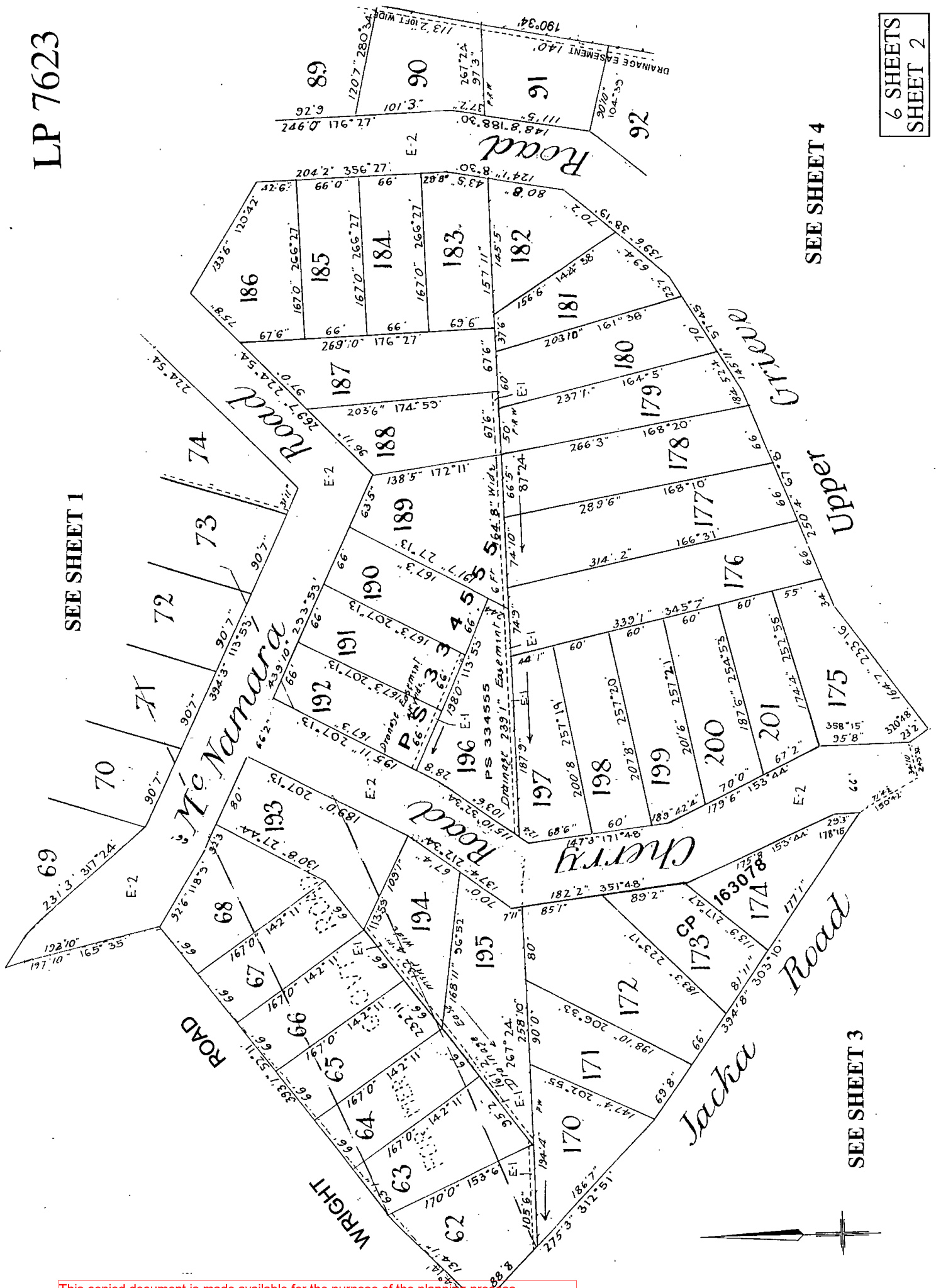
LP 7623

SEE SHEET 1

SEE SHEET 4

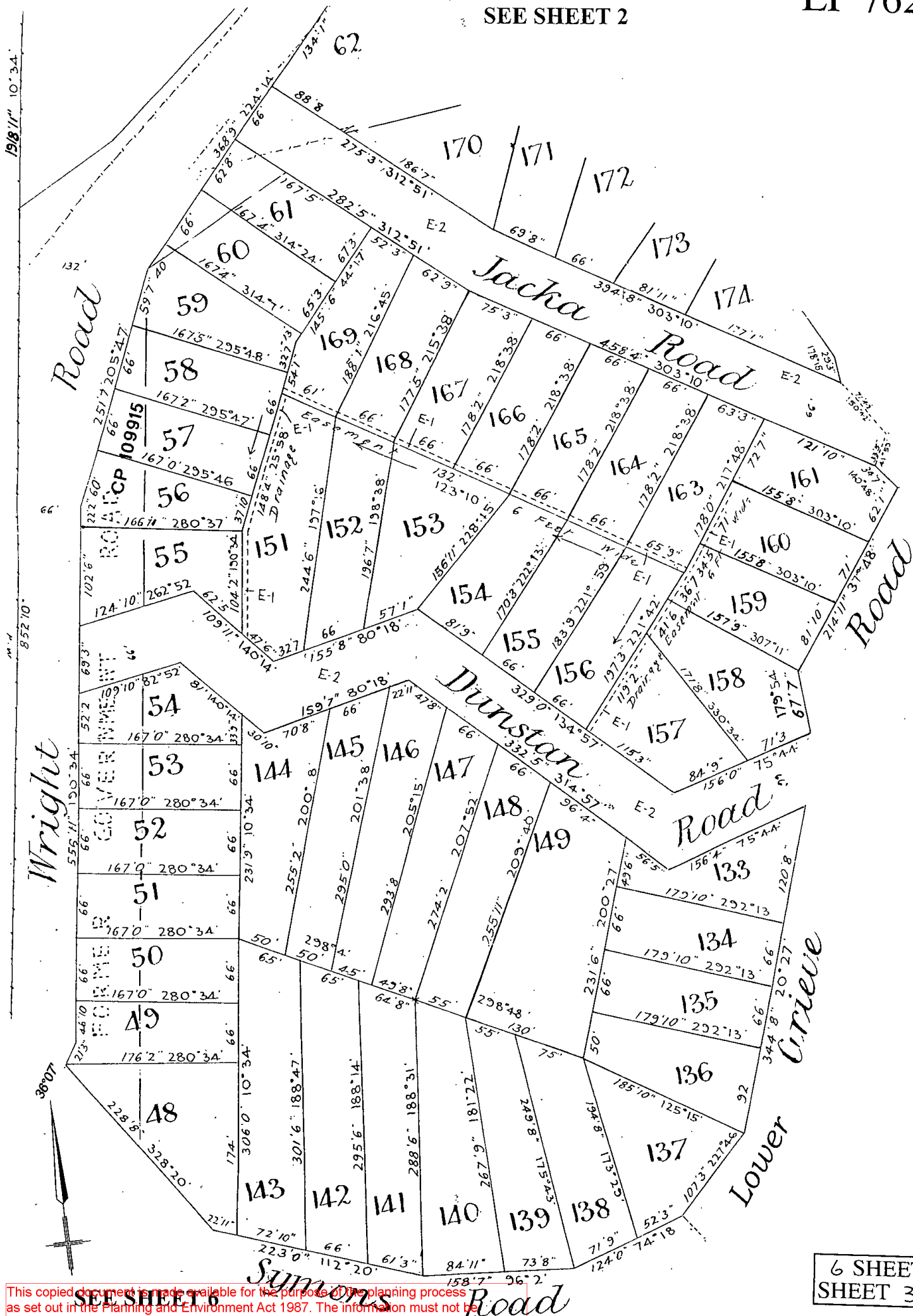
SEE SHEET 3

6 SHEETS
SHEET 2



LP 7623

SEE SHEET 2



SEE SHEET 4

6 SHEETS
SHEET 3

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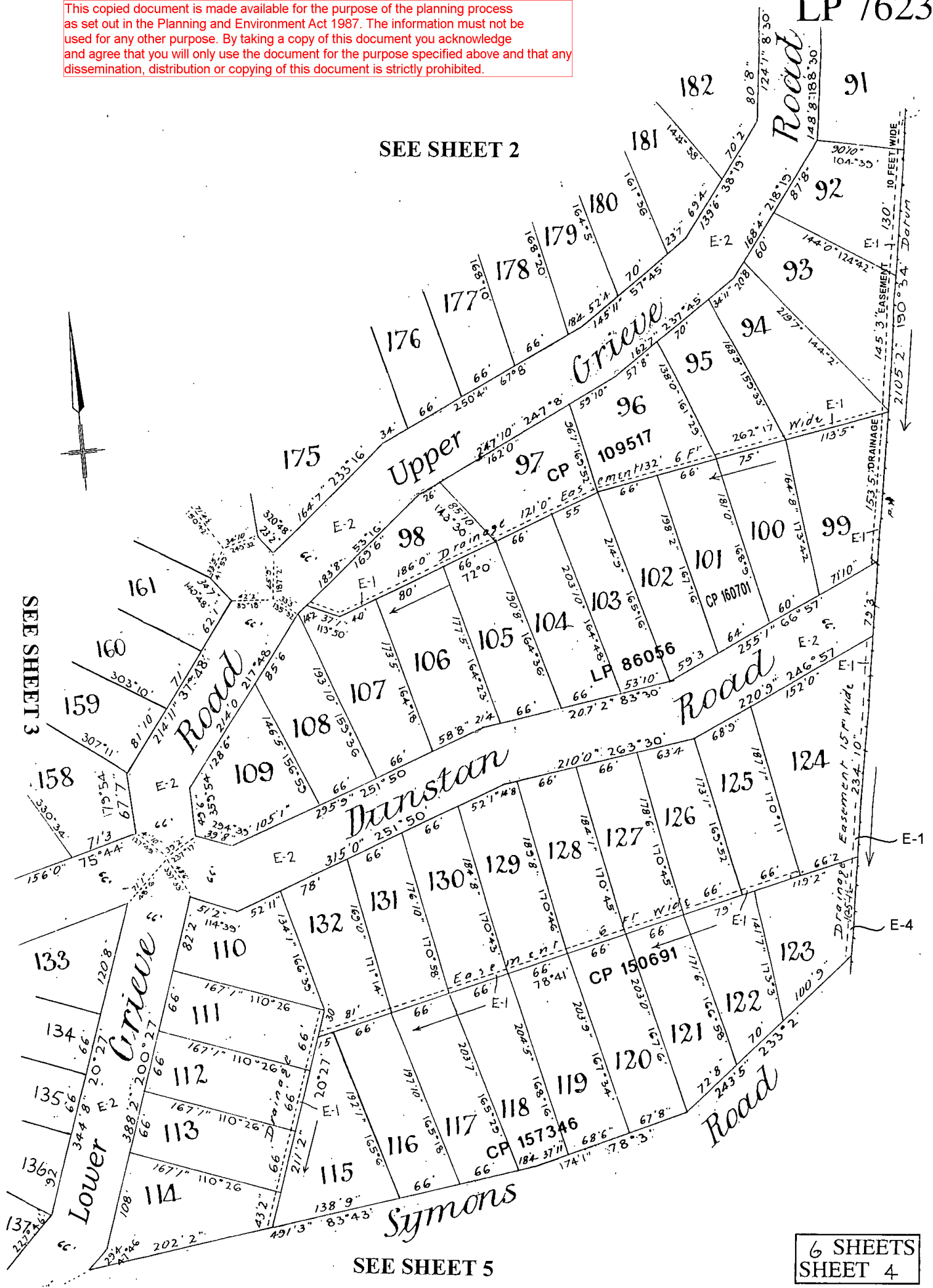
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SEE SHEET 2

SEE SHEET 3

SEE SHEET 5

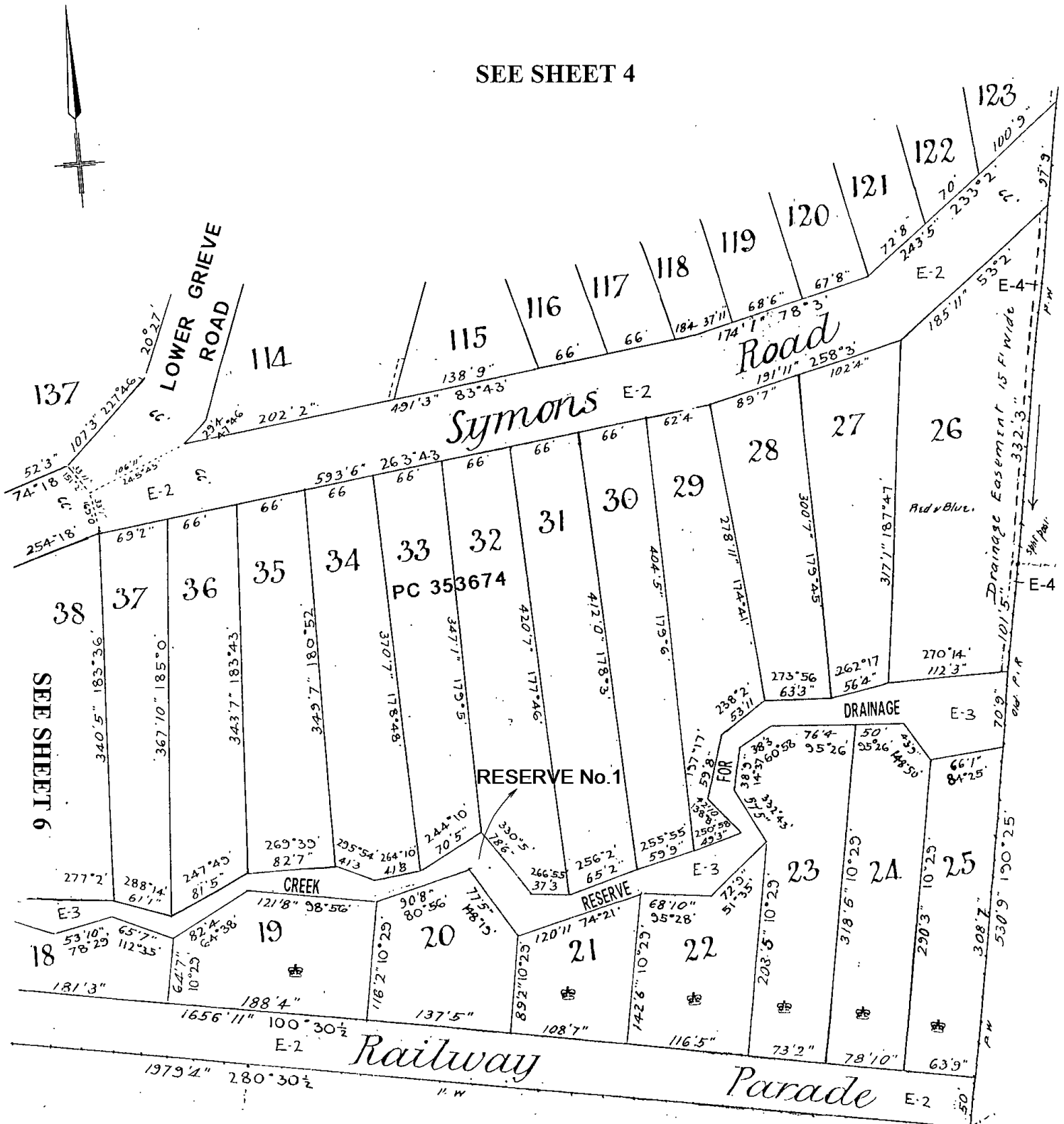
6 SHEETS
SHEET 4



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SEE SHEET 4



6 SHEETS
SHEET 5

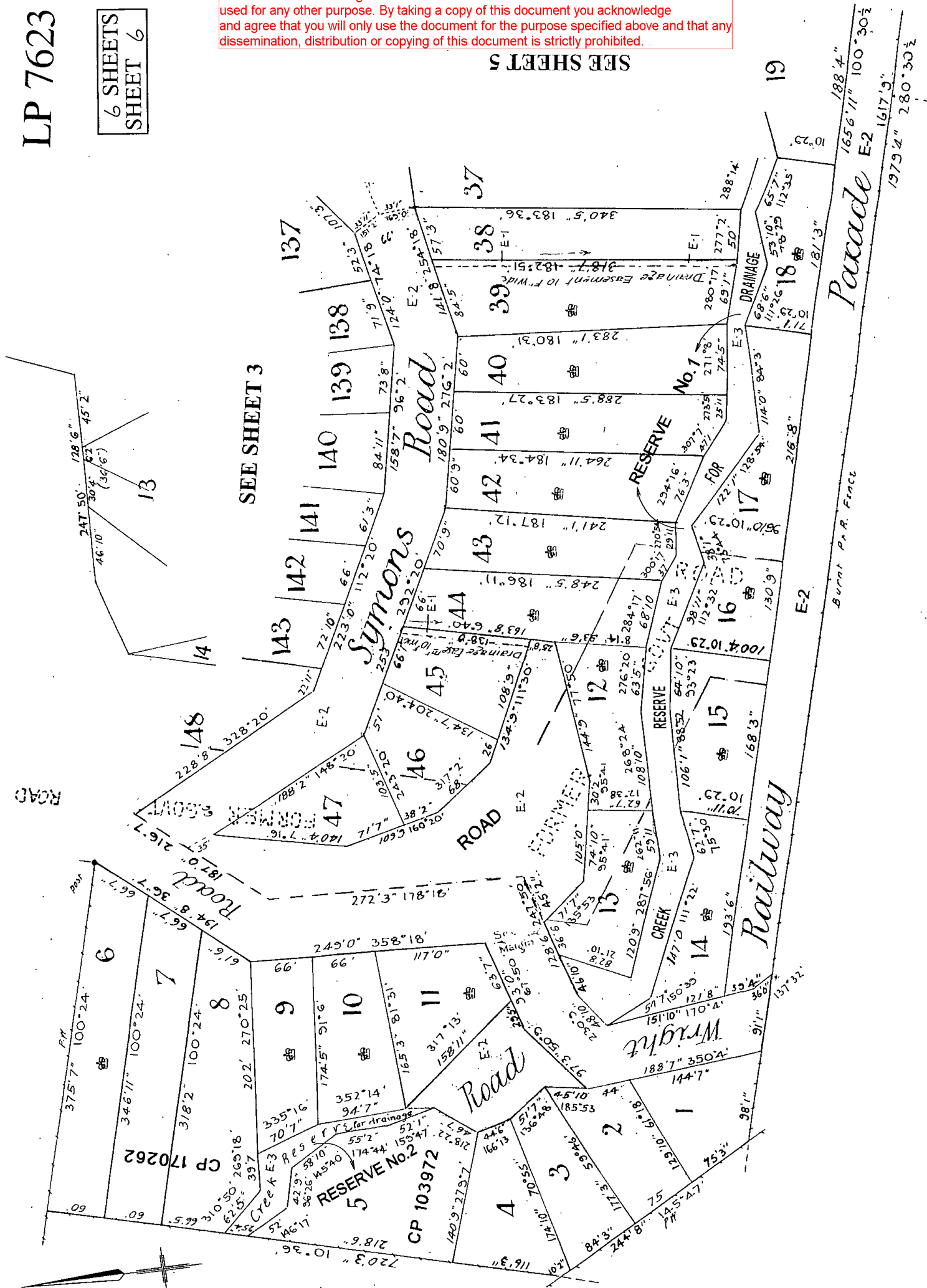
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6 SHEETS
SHEET 6

SEE SHEET 5

SEE SHEET 3



PLAN OF SUBDIVISION OF
PART OF CROWN ALLOTMENT 58
AND PART OF FORMER GOVERNMENT ROAD
PARISH OF GEMBROOK

COUNTY OF EVELYN

Measurements are in Feet & Inches

Conversion Factor

FEET X 0.3048 = METRES

VOL.3313 FOL.592

DEPTH LIMITATION: 50 FEET

APPLIES TO "FORMER GOVERNMENT
ROAD"

APPROPRIATIONS

THE LAND COLOURED BROWN IS APPROPRIATED
OR SET APART FOR ROADS

THE LAND COLOURED BLUE IS APPROPRIATED
OR SET APART FOR DRAINAGE PURPOSES

ENCUMBRANCES

AS TO THE LAND COLOURED
BROWN AND MARKED E-4
ANY EASEMENTS AFFECTING THE SAME

APPURTENANCIES

AS TO LOTS 109 & 124
TOGETHER WITH A RIGHT OF CARRIAGEWAY
OVER THE ROADS COLOURED BROWN
ON THIS PLAN


AS TO LOT 124
TOGETHER WITH A RIGHT OF DRAINAGE
OVER E-4 SHOWN IN LOT 123

GOVERNMENT
ROAD

ROAD

Upper Grove Road

McNamara Road

LAND SHOWN THUS  HAS BEEN
TRANSFERRED TO THE CROWN

LOT No.	DEALING No.
LOT 10	H268954
LOT 9	H773758
LOT 6	J243880
LOT 11	K42915
LOT 24	H697665
LOT 44	H736257
LOT 41	H713471
LOT 39	H944297
LOTS 42&43	J302503
LOT 40	J979337
12	F501321
13	F451110
14	F452764
15	F620071
16	F451108
17	F452763
18	F501296
19	F624482
21	F451109
22	F468850
23	F628153
25	F624487

SEE SHEET 2

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6 SHEETS
SHEET 1

LP 7623

EDITION 4

PLAN MAY BE LODGED 11/8/19

COLOUR CODE

E-4 & E-1 = BLUE

E-2 = BROWN

E-3 = PURPLE

ROADS COLOURED BROWN

MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PLAN NUMBER

LP 7623

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
		STREET NAME AMENDED FROM GRIEVE RD TO UPPER GRIEVE RD	GAZ.85 P.3775			1	
		STREET NAME AMENDED FROM GRIEVE RD TO LOWER GRIEVE RD	GAZ.85 P.3775			1	
		WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED. NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL PLAN/DOCUMENT.					
LOT 26 & 123	E-4	EASEMENT ENHANCED				2	AD
THIS PLAN		APPURTENANCY NOTATION ADDED				2	AD
LOT 124	E-4	APPURTENANCY NOTATION ADDED				3	AD
ROADS		EASEMENTS ENHANCED				4	AD

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4043803

SEPTIMUS JONES

1865906

VICTORIA

TRANSFER OF LAND

I, THOMAS MICHAEL BURKE of 289 Flinders Lane Melbourne Auctioneer being registered as the proprietor of an estate in fee simple in the land hereinafter described subject to the encumbrances notified hereunder IN CONSIDERATION of the sum of TEN POUNDS paid to me by T.M.BURKE PROPRIETARY LIMITED of 289 Flinders Lane Melbourne AND IN FURTHER CONSIDERATION of the sum of THIRTY POUNDS paid to the said T.M.Burke Proprietary Limited by JAMES WATT of 267 Raleigh Street - Thornbury Labourer for the purchase of Lot 64 hereinafter described AND IN CONSIDERATION of the sum of THIRTY POUNDS paid to the said Thomas Michael Burke by the said James Watt for the purchase of Lot 179 hereinafter described AND IN FURTHER CONSIDERATION of the natural love and affection which the said James Watt bears for and towards his wife CATHERINE ELIZABETH WATT of 267 Raleigh Street - Thornbury Married Woman DO HEREBY at the request and by the direction of the said T.M.Burke Proprietary Limited and the said James Watt (testified by its and his execution hereof) TRANSFER to the said Catherine Elizabeth Watt all my estate and interest in All those pieces of land being Lots 64 and 179 on Plan of Subdivision Number 7623 lodged in the Office of Titles being part of Crown Allotment 58 and part of a former Government Road Parish of Gembrook County of Evelyn and being part of the land more particularly described in Certificate of Title Volume 4410 Folio 881927 that part of the said land colored purple-hatched on the said Certificate of Title is limited to the surface and down to the depth of fifty feet below the surface AND the said Catherine Elizabeth Watt DOTH HEREBY for herself her heirs executors administrators and transferees COVENANT with the said Thomas Michael Burke his heirs executors administrators and transferees the registered proprietor or proprietors for the time being of the land comprised in the said Certificate of Title remaining untransferred that she or they will not at any time hereafter excavate carry away or remove or permit or allow to be excavated carried away or removed any earth clay stone gravel or sand from the said land hereby transferred except for the purposes of excavating for the foundations of any buildings to be erected thereon or use or permit or allow the said land hereby transferred to be used for the manufacture or winning of bricks tiles or pottery ware AND IT IS HEREBY REQUESTED that the above covenants may appear as an encumbrance on the Certificate of Title to be issued on this or any subsequent transfer or transfers of the said land hereby transferred.

DATED the Eighth day of August One thousand nine hundred and forty-two.



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SIGNED in Victoria by the said THOMAS)
MICHAEL BURKE by his Attorney under)
 Power (File Numbers 55819/58743) T.M. -)
 Burke Proprietary Limited - THE COMMON)
SEAL of T.M.BURKE PROPRIETARY LIMITED)
 was hereto affixed by authority of the)
 Board of Directors in the presence of:)

Emk

T. M. Burke
DIRECTOR
J. M. Burke
SECRETARY

THE COMMON SEAL of T.M.BURKE PROPRIETARY)
LIMITED was hereto affixed by authority)
 of the Board of Directors in the presence)
 of:-

T. M. Burke
DIRECTOR
J. M. Burke
SECRETARY

SIGNED in Victoria by the said JAMES)
WATT in the presence of:-

J. Watt

Wm Jones J.P.

SIGNED in Victoria by the said CATHERINE)
ELIZABETH WATT in the presence of:-

b. E. Watt.

Wm Jones J.P.

ENCUMBRANCES REFERRED TO

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MEMORIAL OF INSTRUMENT.

NATURE OF INSTRUMENT	TIME & ITS PRODUCTION FOR REGISTRATION	TO WHOM GIVEN	NUMBER OR SYMBOL THEREON
Transfer as to Part.	THE 2 nd DAY OF September 1942	TO Catherine Elizabeth Watt. <i>[Signature]</i> ASSISTANT REGISTRAR OF TITLES.	1865906
<p>IT IS CERTIFIED THAT A MEMORIAL OF THE WITHIN INSTRUMENT WAS ENTERED AT THE TIME LAST ABOVE MENTIONED IN THE REGISTER BOOK VOL. 4410 FOL. 881927</p> <p><i>[Signature]</i> ASSISTANT REGISTRAR OF TITLES.</p>			

SERGEANT JONES
Solicitor
317 Collins Street
MELBOURNE

TRANSFER LOTS 64/179
WRIGHT'S ESTATE

MRS. C. E. WATT

(by direction)
to

MR. T. M. BURKE

DATED

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I, JAMES WATT of 267 Raleigh Street Thornbury in the State of Victoria Labourer the within described directing party hereby declare that the transaction to which the within written Instrument relates is not in contravention of any provision of the National Security (Land Transfer) Regulations AND that the said Instrument has not been executed in contravention of the said Regulations.

SIGNED in Victoria by the said)
JAMES WATT in the presence of:)

[Signature]
Wm Jones J.P.

[Signature]
J. Watt

I, CATHERINE ELIZABETH WATT of 267 Raleigh Street Thornbury in the State of Victoria Married Woman the within described Transferee hereby declare that the transaction to which the within written Instrument relates is not in contravention of any provision of the National Security (Land Transfer) Regulations AND that the said Instrument has not been executed in contravention of the said Regulations.

SIGNED in Victoria by the said CATHERINE)
ELIZABETH WATT in the presence of:-)

[Signature]
Wm Jones J.P.

[Signature]
C. E. Watt