
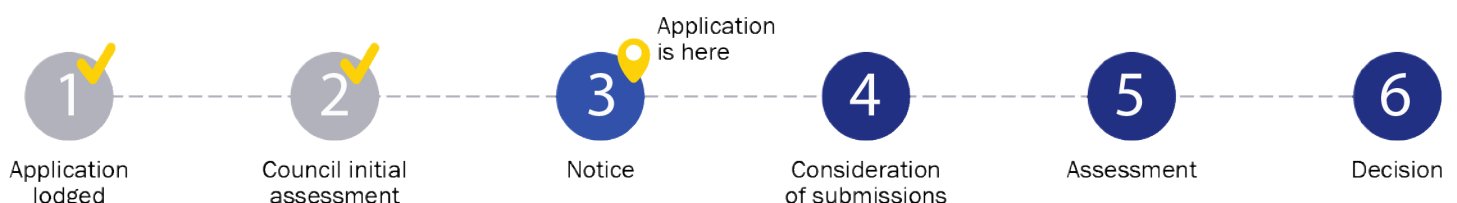


Notice of Application for a Planning Permit

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Cardinia

The land affected by the application is located at:	L1 PS610046 V11108 F151 39 Exchange Drive (To become: Lot 1, 33 Exchange Drive), Pakenham VIC 3810	
The application is for a permit to:	Use and Development of Land for an Office and Construct and Display of Business Identification Signage	
A permit is required under the following clauses of the planning scheme:		
33.01-1	Use of the Land for a Section 2 Use (Office)	
33.01-4	Construct a building or construct or carry out works	
52.05-2	Construct or put up for display a (Business Identification Signage)	
APPLICATION DETAILS		
The applicant for the permit is:	Stephen D'Andrea Pty Ltd	
Application number:	T250155	
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		25 July 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> be made to the Responsible Authority in writing; include the reasons for the objection; and state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>





ePlanning

Application Summary

Portal Reference A1258656

Basic Information

Proposed Use	Building and works for customer service office and associated car parking
Current Use	Vacant
Cost of Works	\$1,104,500
Site Address	Parent Title - 39 Exchange Drive Pakenham Lot 1 PS 610046 To become - 33 Exchange Drive Pakenham Lot 1 PS 927202

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 13 More than \$1,000,000 but not more than \$5,000,000	\$3,764.10	100%	\$3,764.10
Total			\$3,764.10



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

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Documents Uploaded

Date	Type	Filename
14-03-2025	A Copy of Title	Title.pdf
14-03-2025	Site plans	6581 - L1 - Landscape Plan.pdf
14-03-2025	A Copy of Title	Proposed Plan of Sub.pdf
14-03-2025	Site plans	6581 - TP1 - Site Development Plan-Model.pdf
14-03-2025	A Copy of Title	Plan of Sub .pdf
14-03-2025	Site plans	6581 - TP2 - Elevations-Model.pdf
14-03-2025	A Copy of Title	AY648421F.pdf
14-03-2025	Site plans	6581 - TP3 - Waste Management Plan-Model.pdf
14-03-2025	A Copy of Title	AY648420H.pdf
14-03-2025	Site plans	6581 - TR1 - Truck Turning Plan-Model.pdf
14-03-2025	A Copy of Title	AY648419R.pdf
14-03-2025	A Copy of Title	AY648418T.pdf
14-03-2025	A Copy of Title	AT390557F.pdf
14-03-2025	Additional Document	Proposed Plan of Sub.pdf
14-03-2025	Additional Document	Lot 1 Exchange Drive Pakenham - Town Planning Report.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By



☒ By ticking this checkbox, I, , declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 11108 FOLIO 151

Security no : 124122843193T

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LAND DESCRIPTION

Lot 1 on Plan of Subdivision 610046Y.
PARENT TITLE Volume 10977 Folio 809
Created by instrument PS610046Y 10/12/2008

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY648421F 29/11/2024
TOYOTA FINANCE AUSTRALIA LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

NOTICE Section 45 Melbourne Strategic Assessment (Environment Mitigation Levy) 2020
AT390557F 01/07/2020

DIAGRAM LOCATION

SEE PS610046Y FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AY648418T (E)	WITHDRAWAL OF CAVEAT	Registered	29/11/2024
AY648419R (E)	DISCHARGE OF MORTGAGE	Registered	29/11/2024
AY648420H (E)	TRANSFER	Registered	29/11/2024
AY648421F (E)	MORTGAGE	Registered	29/11/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 39 EXCHANGE DRIVE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 19207U CORRS CHAMBERS WESTGARTH
Effective from 29/11/2024

DOCUMENT END

Imaged Document Cover Sheet

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Number of Pages (excluding this cover sheet)	5
Document Assembled	20/11/2024 13:20

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Application to record an instrument

Privacy Collection Statement

Section 45 Melbourne Strategic Assessment (Environment Mitigation Levy) Act 2020

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Land: (volume and folio)

SEE ATTACHMENT

Applicant: (full name and address, including postcode)

35271702A

MSA1

Page 1 of 1

THE BACK OF THIS FORM MUST NOT BE USED

Land Use Victoria contact details: www.delwp.vic.gov.au/property>Contact us

AT390557F

Vol/fol	Vol/fol	Vol/fol	Vol/fol	Vol/fol	Vol/fol	Vol/fol
647/382	9590/759	10871/213	11075/970	11216/112	11824/253	11980/447
1178/419	9621/312	10871/230	11075/971	11216/114	11826/207	11980/453
2586/085	9643/107	10871/231	11075/972	11216/116	11827/940	11981/482
3284/683	9651/526	10871/239	11075/974	11216/118	11827/993	11982/712
3354/643	9651/528	10871/245	11075/987	11216/133	11829/684	11982/713
3920/919	9666/183	10879/860	11076/420	11216/136	11829/692	11984/396
3965/912	9688/102	10883/976	11076/422	11222/366	11837/398	11984/414
3965/913	9702/389	10883/979	11076/429	11226/379	11837/404	11984/424
4403/496	9706/679	10883/985	11076/433	11227/730	11840/505	11984/433
4787/225	9749/383	10884/038	11080/495	11228/588	11841/050	11985/283
5482/227	9759/779	10884/040	11080/727	11228/606	11841/338	11987/181
6135/000	9763/163	10884/044	11080/732	11228/611	11842/531	11987/195
6168/483	9769/310	10884/977	11080/864	11228/620	11847/692	11987/313
6556/172	9769/553	10892/746	11084/034	11228/628	11847/696	11988/945
6750/974	9769/555	10893/025	11084/036	11228/959	11847/698	11989/763
7425/945	9818/409	10893/028	11084/037	11228/979	11847/719	11989/911
7649/107	9885/346	10894/860	11084/040	11239/320	11847/727	11989/951
7830/005	9946/245	10907/423	11084/517	11240/702	11848/031	11990/663
7830/012	9948/965	10907/429	11085/133	11242/645	11848/681	11990/726
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8139/043	9961/517	10909/877	11085/161	11249/642	11849/653	11992/157
8162/673	9972/234	10915/940	11096/603	11258/415	11852/551	11992/171
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8485/470	10091/035	10947/753	11114/384	11278/581	11856/880	12004/459
8485/477	10092/395	10947/758	11114/388	11278/585	11856/894	12007/318
8485/479	10096/166	10947/778	11114/391	11288/270	11856/931	12010/469
8485/497	10107/148	10947/781	11117/834	11300/087	11856/939	12010/728
8485/522	10112/672	10947/786	11117/835	11300/092	11857/099	12018/816
8485/523	10175/560	10947/796	11119/311	11300/097	11857/586	12018/831
8486/685	10176/416	10947/799	11119/330	11300/359	11857/600	12018/921
8502/405	10179/785	10947/800	11121/426	11300/362	11858/556	12018/950
8506/206	10216/288	10947/808	11121/436	11301/613	11860/201	12019/536
8521/781	10224/123	10947/813	11121/439	11302/614	11860/581	12019/561

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8521/813	10240/187	10947/826	11121/462	11321/074	11864/663	12020/505
8549/431	10252/424	10947/834	11122/027	11322/305	11864/665	12022/075
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8559/087	10267/658	10952/251	11132/709	11330/685	11869/934	12026/981
8559/096	10285/603	10952/253	11132/719	11333/883	11874/549	12033/129
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8577/425	10313/177	10961/153	11133/048	11337/854	11877/018	12035/847
8577/437	10316/288	10961/158	11133/052	11349/409	11877/031	12036/736
8596/031	10316/289	10961/168	11134/436	11353/151	11878/375	12036/974
8623/767	10316/349	10964/019	11134/464	11359/318	11881/436	12037/014
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8853/810	10451/798	10988/039	11138/593	11475/009	11890/130	12047/324
8856/007	10451/799	10988/045	11151/572	11488/471	11893/257	12047/902
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8926/297	10532/211	11002/987	11160/422	11530/104	11907/705	12052/245
8930/205	10532/214	11002/999	11161/362	11530/118	11910/784	12053/380
8933/562	10534/879	11003/005	11161/373	11530/121	11910/791	12053/438
8942/740	10562/294	11005/736	11161/377	11531/241	11917/636	12053/538
8954/143	10570/229	11010/038	11165/270	11535/161	11917/722	12060/043
8954/157	10574/133	11010/176	11165/273	11538/173	11917/727	12060/163
8954/166	10583/534	11013/144	11165/296	11545/993	11920/048	12060/195
8954/168	10589/401	11016/429	11165/297	11546/556	11920/243	12061/453
8954/174	10611/318	11016/457	11165/302	11548/850	11920/509	12063/886
8972/099	10641/469	11016/486	11166/721	11554/386	11922/963	12064/408
8975/877	10643/019	11016/487	11171/921	11554/387	11923/158	12065/449

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8983/687	10685/975	11016/494	11171/940	11561/399	11923/227	12093/287
8994/130	10688/270	11016/504	11171/964	11573/851	11924/276	12093/559
9004/275	10693/364	11016/516	11171/973	11578/822	11925/764	12141/625
9031/361	10701/532	11016/521	11171/974	11589/296	11925/785	12149/938
9045/905	10706/741	11016/523	11180/518	11595/858	11928/640	12149/944
9058/138	10706/746	11016/854	11180/528	11595/866	11932/349	12149/950
9070/715	10706/762	11018/820	11180/530	11595/885	11932/362	12156/901
9075/436	10707/257	11018/827	11180/535	11604/872	11932/372	12156/903
9075/469	10707/259	11018/829	11180/540	11608/593	11933/403	12156/909
9092/264	10737/354	11018/841	11180/541	11632/355	11934/446	12156/910
9109/407	10741/532	11018/851	11180/542	11637/718	11934/447	12169/285
9128/320	10741/535	11018/859	11188/816	11641/248	11936/292	12169/291
9132/718	10756/925	11018/864	11188/825	11643/305	11937/344	12182/362
9143/509	10760/451	11029/146	11188/832	11643/324	11937/403	12182/448
9157/835	10763/699	11029/151	11188/841	11643/456	11937/409	12182/468
9173/702	10770/490	11040/580	11189/595	11643/457	11944/122	12182/477
9176/269	10800/510	11041/313	11189/746	11643/804	11944/357	12183/291
9176/422	10811/642	11047/027	11189/752	11646/532	11945/529	12183/708
9183/749	10811/646	11047/275	11194/949	11646/548	11945/532	12183/728
9183/752	10811/672	11047/276	11194/957	11646/579	11945/538	12183/735
9216/870	10811/687	11047/278	11197/657	11649/761	11945/586	12183/760
9216/985	10811/697	11047/282	11197/658	11650/532	11947/677	12183/792
9225/385	10811/699	11047/288	11197/659	11654/328	11949/053	12183/796
9268/683	10811/702	11047/300	11197/669	11655/362	11949/069	12187/792
9283/712	10811/719	11050/108	11197/671	11656/681	11949/586	12187/799
9297/966	10811/722	11054/769	11198/854	11679/705	11949/751	12187/801
9304/801	10811/734	11054/784	11198/855	11680/508	11949/754	12187/806
9317/269	10811/735	11059/365	11198/859	11690/538	11949/755	12187/809
9320/232	10811/737	11060/097	11198/860	11690/779	11949/759	12187/811
9369/737	10811/745	11060/098	11198/861	11690/780	11949/764	12187/895
9399/609	10811/751	11060/100	11198/862	11695/150	11950/087	12187/903
9427/544	10811/753	11060/105	11198/864	11730/489	11950/227	12197/290
9427/549	10811/760	11060/107	11198/867	11730/557	11952/863	12197/301
9442/494	10813/370	11060/115	11200/864	11730/608	11953/208	12197/743
9443/124	10813/381	11061/197	11201/254	11746/747	11953/215	12197/745
9443/132	10817/337	11062/864	11201/258	11746/764	11953/226	12197/748
9443/136	10817/338	11062/874	11201/259	11761/434	11956/405	12197/751
9450/276	10817/674	11067/255	11204/099	11764/947	11956/416	12197/753
9455/535	10820/188	11072/358	11204/339	11764/971	11956/739	12197/758
9460/163	10820/189	11072/369	11206/690	11773/397	11959/881	12197/766
9464/470	10828/501	11072/373	11206/692	11773/403	11961/270	12197/808
9491/071	10843/800	11075/444	11206/705	11791/580	11967/608	12197/809
9501/212	10847/640	11075/446	11206/706	11791/584	11967/729	12200/685
9511/338	10849/430	11075/447	11208/803	11798/936	11970/532	12205/359

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Vol/fol	Vol/fol	Vol/fol	Vol/fol	Vol/fol	Vol/fol	Vol/fol
9520/360	10850/139	11075/455	11208/805	11798/938	11976/325	12205/362
9530/273	10852/875	11075/456	11208/806	11815/609	11976/336	12221/367
9533/239	10852/880	11075/465	11208/811	11819/203	11977/276	12221/373
9541/030	10852/909	11075/948	11208/815	11819/205	11978/089	12221/377
9541/066	10852/914	11075/951	11211/101	11819/208	11978/953	12221/379
9558/365	10852/915	11075/952	11211/106	11820/047	11979/340	12221/383
9581/442	10853/321	11075/964	11211/113	11820/169	11979/439	12221/387
9588/011	10853/322	11075/969	11211/125	11820/172	11979/579	



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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 18/12/2024 11:39:55 AM

Status	Registered	Dealing Number	AY648418T
Date and Time Lodged	29/11/2024 02:16:20 PM		

Lodger Details

Lodger Code	1920711
Name	
Address	
Lodger Box	
Phone	
Email	
Reference	

WITHDRAWAL OF CAVEAT

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

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Land Title Reference

11108/151

AY069970W

The caveator withdraws the caveat specified over the land described.



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Electronic Instrument Statement

Execution

1. The Certifier has taken reasonable steps to verify the identity of the caveator or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	JONATHAN FRANCIS HARDWICK
Signer Name	ALEXANDER NICOLAOU
Signer Organisation	GRINDAL LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	29 NOVEMBER 2024

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



Department of Environment, Land, Water & Planning

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Status	Registered	Dealing Number	AY648419R
Date and Time Lodged	29/11/2024 02:16:20 PM		

Lodger Details

Address

Lodger Box

Phone

Email

Reference

DISCHARGE OF MORTGAGE OR CHARGE

Jurisdiction	VICTORIA
--------------	----------

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Land Title Reference

11108/151

Mortgage or Charge Number

AL428554B

The mortgagee or annuitant discharges the land described from the moneys or annuity secured by the mortgage(s) or charge(s) specified.

Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	PS610046Y
Number of Pages (excluding this cover sheet)	2
Document Assembled	14/03/2025 14:47

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PS610046Y

09/12/2008 \$576.50 PS



PLAN OF SUBDIVISION

STAGE No.

LTO USE ONLY

EDITION 1

LOCATION OF LAND

PARISH: NAR NAR GOON

TOWNSHIP: —

SECTION: —

CROWN ALLOTMENT: 31 (PART)

CROWN PORTION: —

LTO BASE RECORD: DCMB

TITLE REFERENCES:

VOLUME 10977 FOLIO 809

LAST PLAN REFERENCE/S: PS 526510T LOT P

POSTAL ADDRESS: DROVERS PLACE
(At time of subdivision) PAKENHAM, 3810

HGA Co-ordinates E 367900 ZONE: 55
(of approx centre of land N 5782000
in plan)

COUNCIL CERTIFICATION AND ENDORSEMENT

COUNCIL NAME: CARDINIA SHIRE COUNCIL

REF: 508/189

1. This plan is certified under Section 6 of the Subdivision Act 1988.

2. ~~This plan is certified under Section 11(7) of the Subdivision Act 1988.~~
~~Date of original certification under Section 6: / /~~

3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.

OPEN SPACE

(i) A requirement for public open space under Section 18 of the Subdivision Act 1988 has/has not been made

(ii) The requirement has been satisfied —

(iii) The requirement is to be satisfied in Stage

Council Delegate *amurphy*
Council Seal

Date 2 / 10 / 08

~~Re-certified under Section 11(7) of the Subdivision Act 1988:~~

~~Council Delegate~~

~~Council Seal~~

~~Date / /~~

VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
ROAD R - 1	CARDINIA SHIRE COUNCIL

NOTATIONS

STAGING This is/ is not a staged subdivision
Planning permit No. NOT REQUIRED

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SURVEY THIS PLAN IS/IS NOT BASED ON SURVEY

THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s)
IN PROCLAIMED SURVEY AREA No

EASEMENT INFORMATION

LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	SYMBOL	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1,E-4,E-5		DRAINAGE	3	PS 526510T	CARDINIA SHIRE COUNCIL
E-2,E-4		SEWERAGE	SEE PLAN	PS 413515N	SOUTH EAST WATER LTD
E-3,E-5		SEWERAGE	5.01	C/EJ929659	PAKENHAM SEWERAGE AUTHORITY
E-6		WAY,DRAINAGE,WATER, SEWERAGE, GAS, TELEPHONE, ELECT	3	PS 413515N	LOTS ON PS 413515N
E-6		DRAINAGE	3	PS 413515N	MELBOURNE WATER CORPORATION
E-6		SEWERAGE,WATER	3	PS 413515N	SOUTH EAST WATER LTD
E-6		GAS	3	PS 413515N	GAS AND FUEL CORPORATION
E-6		POWERLINE	3	PS 413515N, SEC 44 ELEC IND ACT 1993	EASTERN ENERGY LTD

LTO USE ONLY

STATEMENT OF COMPLIANCE/
EXEMPTION STATEMENT

RECEIVED ☒

DATE: 09/12/2008

LTO USE ONLY

PLAN REGISTERED

TIME 12.53pm

DATE 10/ 12/ 08

Michael Edwards

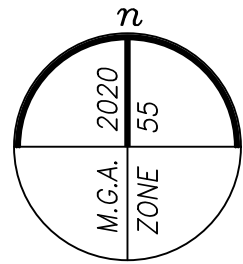
Assistant Registrar of Titles

SHEET 1 OF 2 SHEETS

M J PARSONS AND ASSOCIATES
LAND SURVEYORS
P.O. BOX 932, ELTHAM, 3095
03 9712 0692 FAX 03 9712 0728

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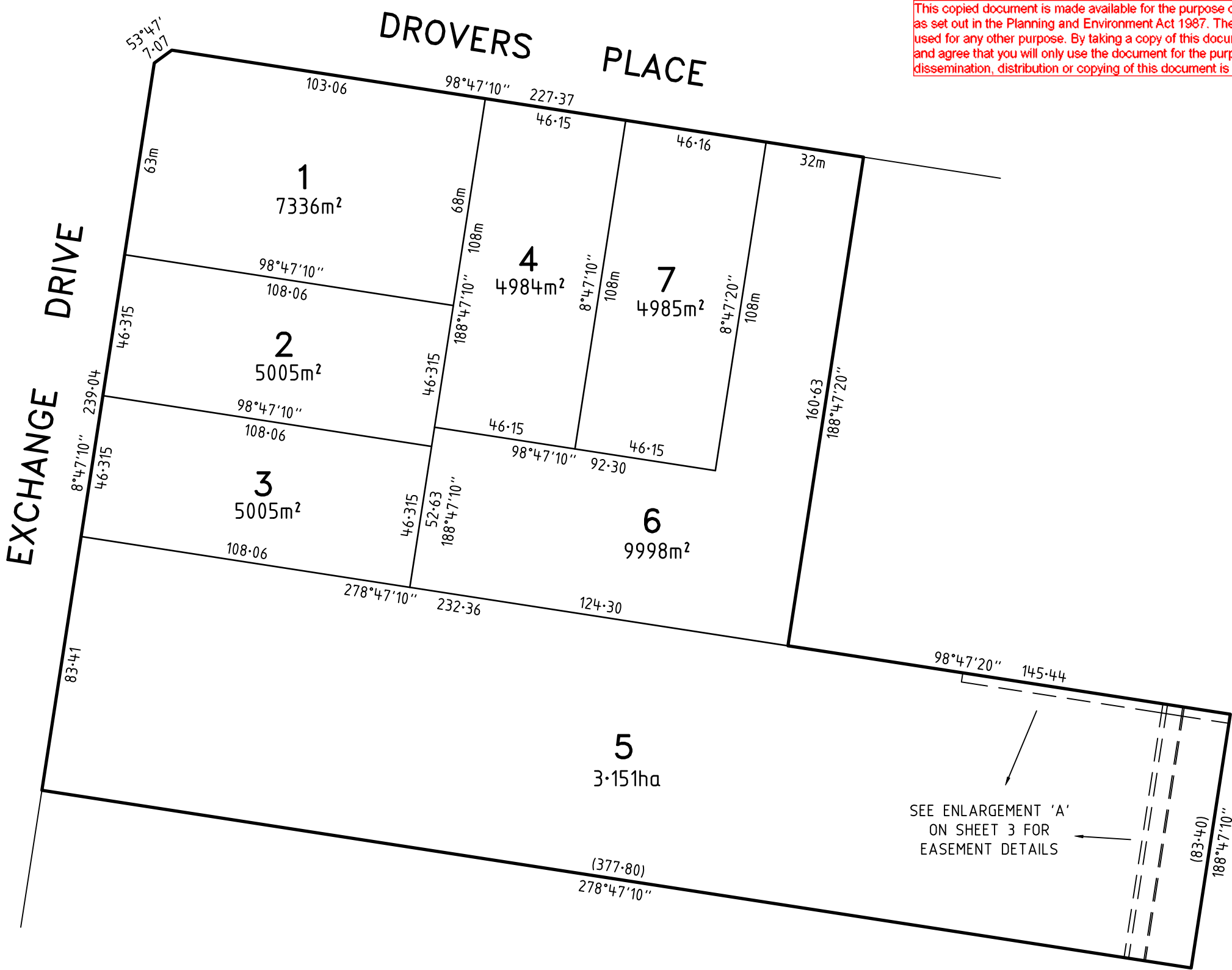
PLAN OF SUBDIVISION				EDITION		PS 927202U		
<div>LOCATION OF LAND</div> <div>PARISH: NAR NAR GOON</div> <div>TOWNSHIP: -</div> <div>SECTION: -</div> <div>CROWN ALLOTMENT: 31 (PART)</div> <div>CROWN PORTION: -</div> <div>TITLE REFERENCE: VOL.11108 FOL.151</div> <div>LAST PLAN REFERENCE: PS610046Y (LOT 1)</div> <div>POSTAL ADDRESS: 39 EXCHANGE DRIVE, PAKENHAM, 3810.</div> <div>MGA 2020 CO-ORDINATES: E 367 950 ZONE: 55</div> <div>(approx. centre of land in plan) N 5 782 160</div>				<div>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</div>				
VESTING OF ROADS AND/OR RESERVES				NOTATIONS				
IDENTIFIER		COUNCIL/BODY/PERSON		STAGING THIS IS / IS NOT A STAGED SUBDIVISION PLANNING PERMIT NO. -				
NIL		NIL		SURVEY THIS PLAN IS / IS NOT BASED ON SURVEY				
				THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS NO(S) 395, 459, 413, 414, 460 IN PROCLAIMED SURVEY AREA NO. 71				
				DEPTH LIMITATION DOES NOT APPLY				
EASEMENT INFORMATION								
LEGEND: E - ENCUMBERING EASEMENT, CONDITION IN CROWN GRANT IN THE NATURE OF AN EASEMENT OR OTHER ENCUMBRANCE A - APPURTENANT EASEMENT								
SUBJECT LAND	PURPOSE	WIDTH (metres)	ORIGIN	LAND BENEFITED/IN FAVOUR OF				
E-1, E-4, E-5	DRAINAGE	3	PS526510T	CARDINIA SHIRE COUNCIL				
E-2, E-4	SEWERAGE	SEE DIAG.	PS413515N	SOUTH EAST WATER LTD.				
E-3, E-5	SEWERAGE	5.01	C/E J929659	PAKENHAM SEWERAGE AUTHORITY				
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			DATE 01/11/24		REFERENCE 329512		ORIGINAL SHEET SIZE A3	
			VERSION C		DRAWING 329512-AC		SHEET 1 OF 3 SHEETS	



PLAN OF SUBDIVISION

PS 927202U

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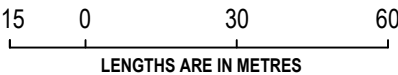


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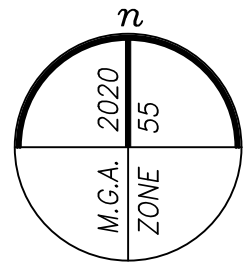
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REFERENCE 329512
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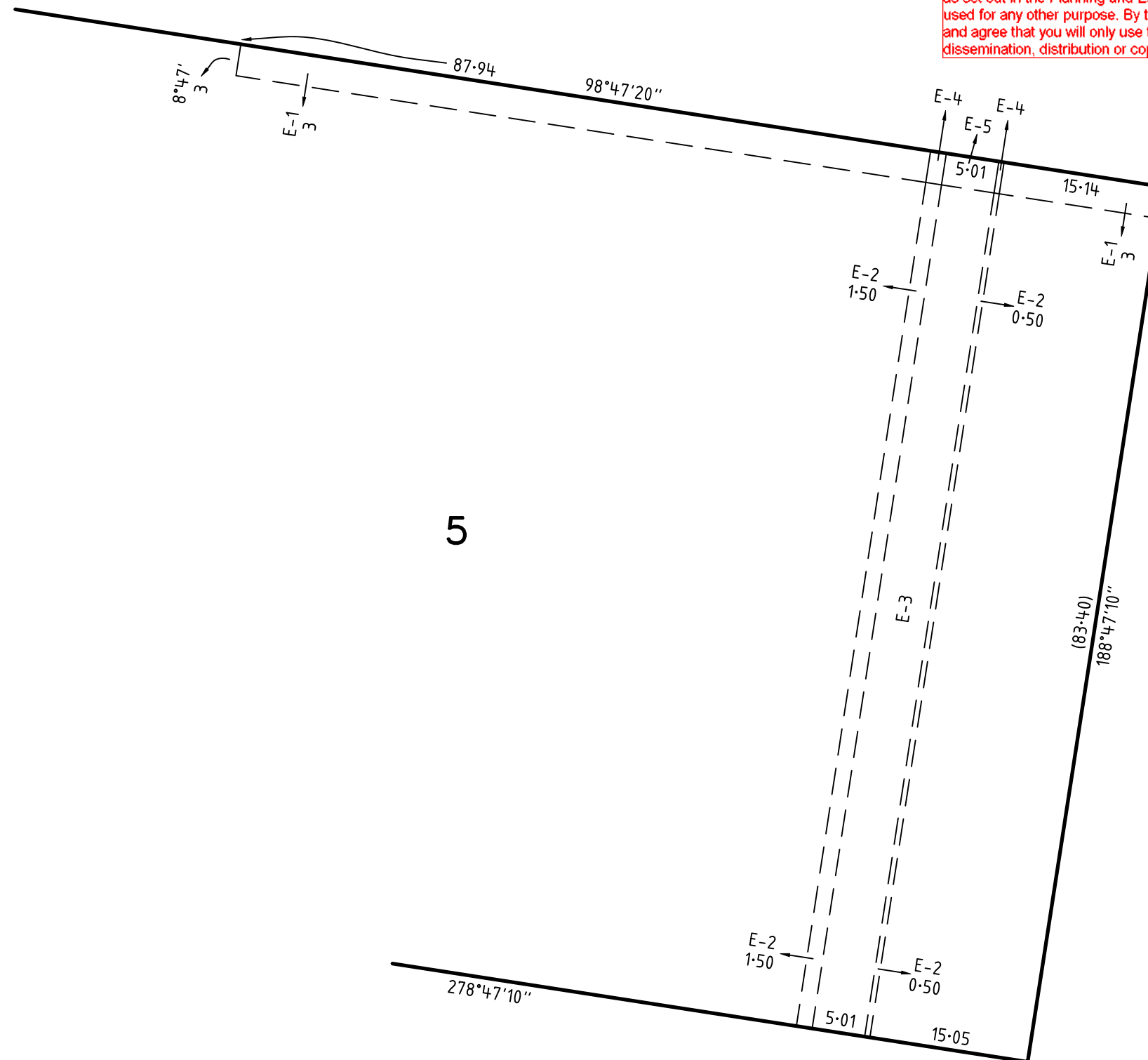
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VERSION C

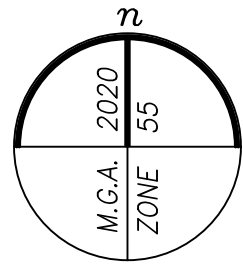
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DRAWING 329512-AC

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LENGTHS ARE IN METRES

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ORIGINAL SHEET SIZE A3
SHEET 3

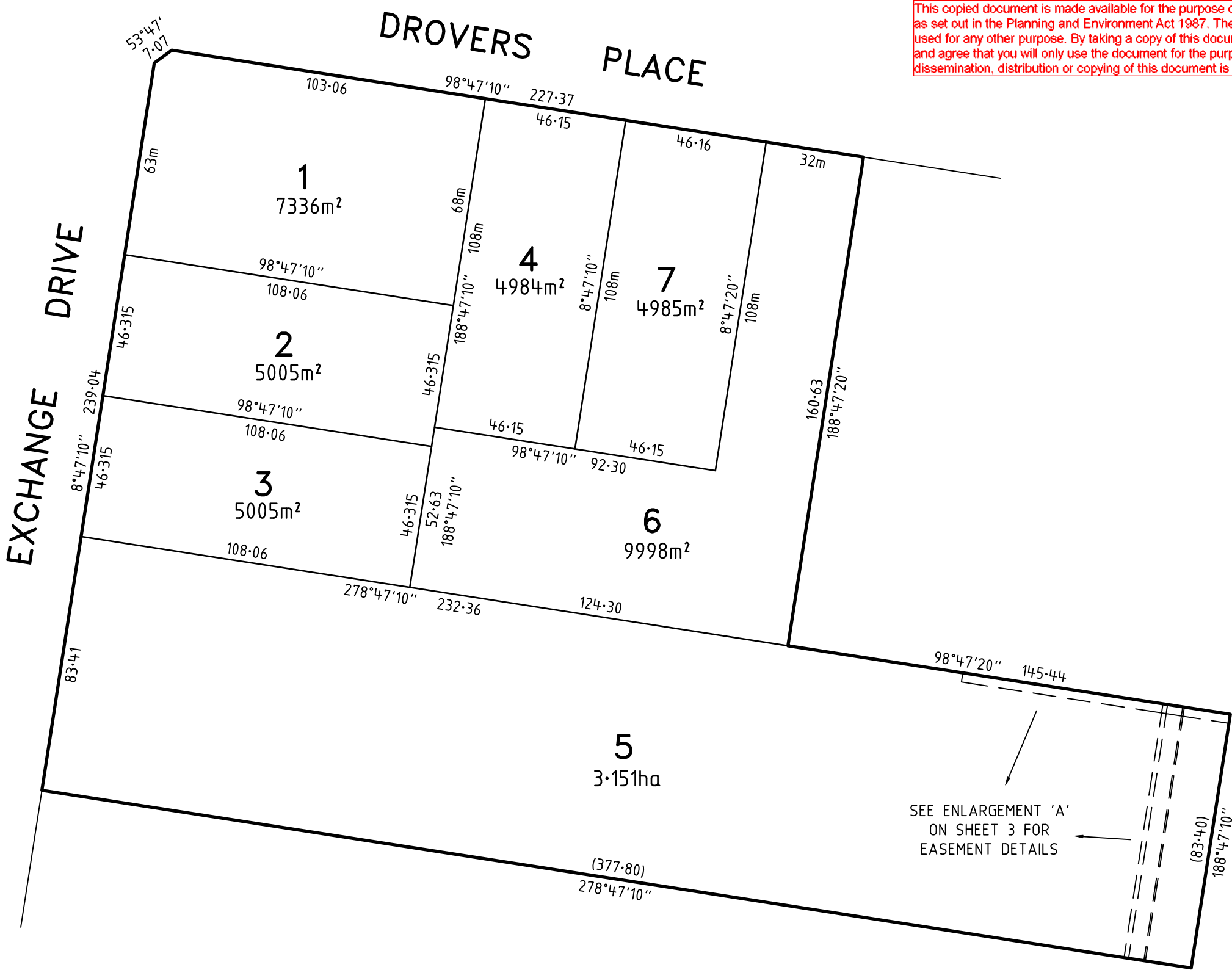
PLAN OF SUBDIVISION				EDITION		PS 927202U		
<div>LOCATION OF LAND</div> <div>PARISH: NAR NAR GOON</div> <div>TOWNSHIP: -</div> <div>SECTION: -</div> <div>CROWN ALLOTMENT: 31 (PART)</div> <div>CROWN PORTION: -</div> <div>TITLE REFERENCE: VOL.11108 FOL.151</div> <div>LAST PLAN REFERENCE: PS610046Y (LOT 1)</div> <div>POSTAL ADDRESS: 39 EXCHANGE DRIVE, PAKENHAM, 3810.</div> <div>MGA 2020 CO-ORDINATES: E 367 950 ZONE: 55</div> <div>(approx. centre of land in plan) N 5 782 160</div>				<div>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</div>				
VESTING OF ROADS AND/OR RESERVES				NOTATIONS				
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E-2, E-4	SEWERAGE	SEE DIAG.	PS413515N	SOUTH EAST WATER LTD.				
E-3, E-5	SEWERAGE	5.01	C/E J929659	PAKENHAM SEWERAGE AUTHORITY				
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			DATE 01/11/24		REFERENCE 329512		ORIGINAL SHEET SIZE A3	
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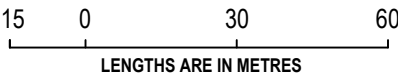


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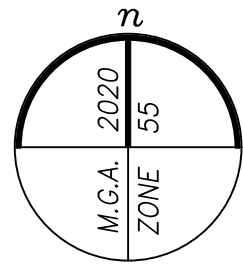
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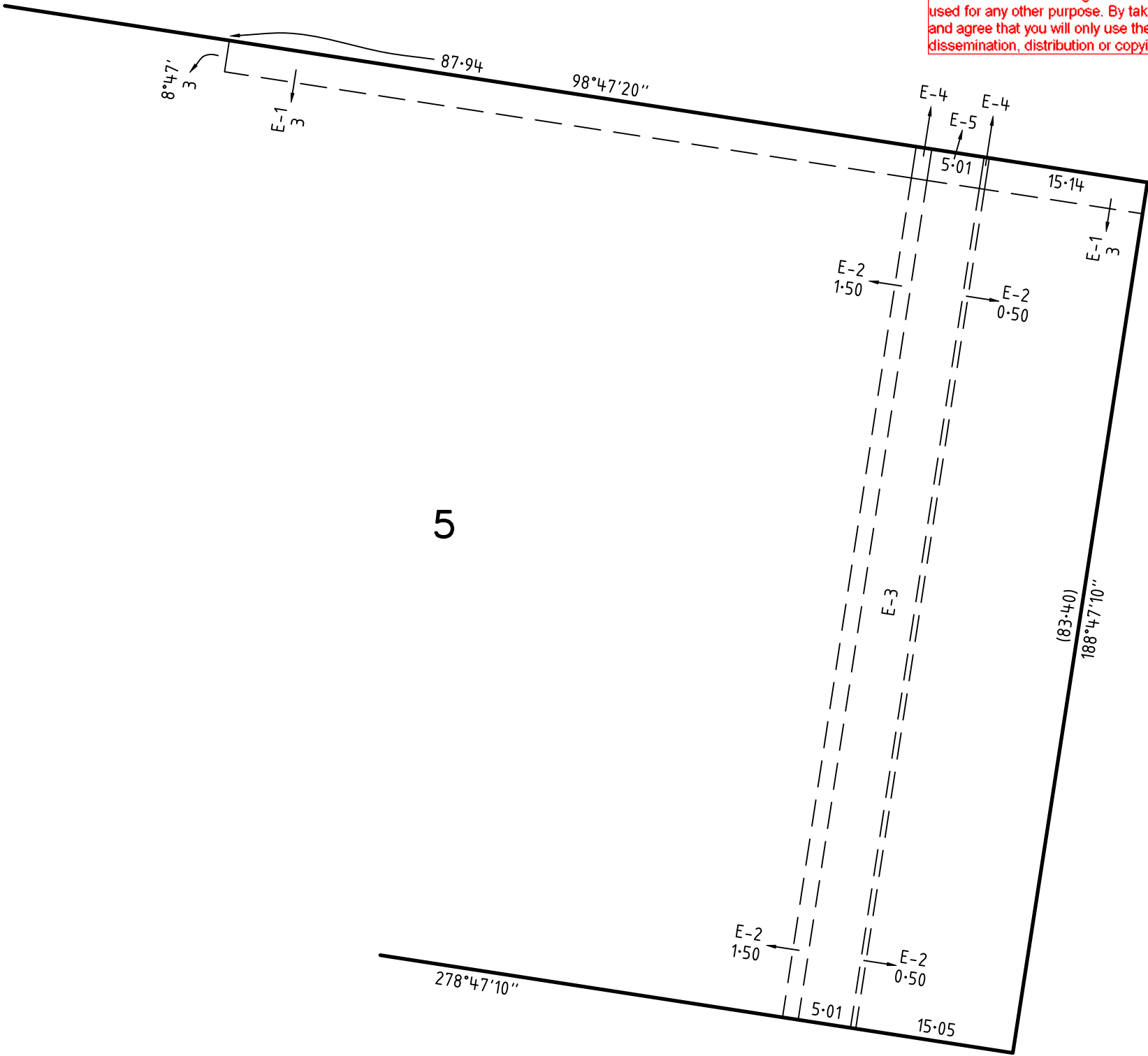
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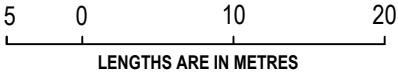


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ePlanning

Application Summary

Portal Reference	D22562XF
Reference No	T250155

Basic Information

Cost of Works	\$1,104,500
Site Address	39 Exchange Drive (To become: Lot 1, 33 Exchange Drive) Pakenham VIC 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Documents Uploaded

Date	Type	Filename
17-06-2025	Additional Document	25-78159 - Lot 1 45 Exchange Drive Cnr Drovers Place, Pakenham_WSUD.pdf
17-06-2025	Additional Document	6581 - Green Factor Tool.pdf
17-06-2025	Additional Document	22052_NCC 2022 J1V3 Final_Lot 1 Exchange Drive Cnr Drovers Place, Pakenham VIC 3810_V0.pdf
17-06-2025	Additional Document	22052_SMP_Lot 1 Exchange Drive Cnr Drovers Place, Pakenham VIC 3810_V0.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Declaration

☒ By ticking this checkbox, I, , declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Monday to Friday
8.30am-5pm
Phone: 1300 787 624



Civic Centre
20 Siding Avenue, Officer, Victoria
Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

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P.O. Box 7, Pakenham VC, 3810
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ePlanning

Application Summary

Portal Reference	D22531M5
Reference No	T250155

Basic Information

Cost of Works	\$1,104,500
Site Address	39 Exchange Drive (To become: Lot 1, 33 Exchange Drive) Pakenham VIC 3810

Covenant Disclaimer

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Documents Uploaded

Date	Type	Filename
09-06-2025	Additional Document	T250155 - RFI Response .pdf
09-06-2025	Additional Document	Lot 1 Exchange Drive Pakenham - Town Planning Report - updated .pdf
09-06-2025	Additional Document	Section 50 Form.pdf
09-06-2025	Additional Document	6581 - TP1 - Site Development Plan (B).pdf
09-06-2025	Additional Document	6581 - TP2 - Elevations (A).pdf
09-06-2025	Additional Document	6581 - TP3 - Perspectives (A).pdf
09-06-2025	Additional Document	6581 - TP4 - Landscape Plan (B).pdf
09-06-2025	Additional Document	6581 - TP5 - Waste Management Plan (A).pdf
09-06-2025	Additional Document	6581 - TP6 - Signage Location & Type.pdf
09-06-2025	Additional Document	6581 - TP8 - Vehicle Turning Plan (A).pdf
09-06-2025	Additional Document	6581 - TP7 - Vehicle Turning Plan (A).pdf



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Declaration

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Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday
8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250155
Address of the Land:	lot 1 - 39 Exchange Drive Pakenham

APPLICANT DETAILS

Name:	
Contact:	
Address:	
Phone:	
Email:	

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

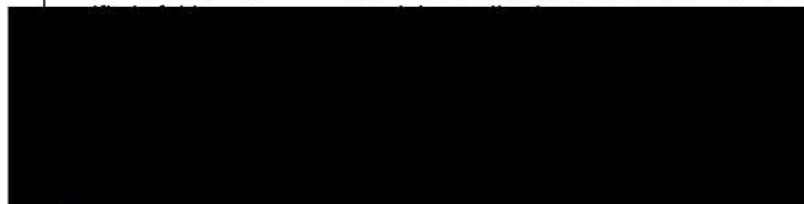
What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Update application to include business signage and updated plans.		

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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input checked="" type="checkbox"/>	Unchanged <input type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been



Date: 9.6.25

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.



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PERMIT APPLICATION DETAILS

Application No.:	T250155
Address of the Land:	lot 1 - 39 Exchange Drive Pakenham

APPLICANT DETAILS

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AMENDMENT DETAILS

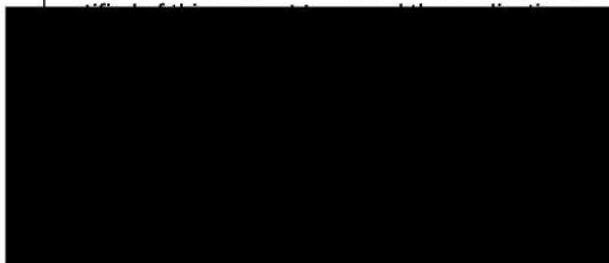
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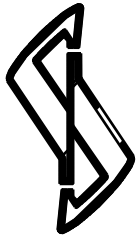
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Stephen D'Andrea Pty. Ltd.

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27th Feb 2025

**Cardinia Shire Council
Town Planning Department
P O Box 7
PAKENHAM VIC 3810**

Dear Sir/Madam

Re: Application for Planning Permit at Lot 1 (No. 33) Exchange Drive, Pakenham

We act for the owner and developer of the property located at Lot 1 Exchange Drive, Pakenham. Our client proposed to develop land at the above address for the purpose a customer service centre with ancillary office, signage and associated car parking as per Clause 52.06.

To assist you with your consideration of the application, we are pleased to submit the following items:

- A duly completed *Application for Planning Permit*;
- Electronic Copy of plans of the proposed development;
- A copy of the Certificate of Title;
- Payment for the requisite fee; and
- Perspective.

The following submission outlines the details of the proposal together with an assessment of its compliance with relevant planning scheme provisions.

1.0 THE SITE AND THE SURROUNDING AREA

The subject site (Lot 1 PS 927202U) is proposed to be located within the land currently known as 39 Exchange Drive (Lot 1 PS 610046Y). This land is currently undergoing a 7-lot subdivision.

The site is located on the corner of Exchange Drive & Drovers Place. It will become Lot 1 PS 927202U. (No. 33 Exchange drive) The site forms part of an existing industrial estate. The site is of regular proportions with a maximum width of 68m metres x 108 metres in depth and comprises an area of 7,336m². The subject land is currently vacant.

2.0 DESCRIPTION OF THE PROPOSAL

In essence, our client seeks approval for the construction of Customer Service Centre for Vic Roads, together with car parking requirement to comply with Clause 52.06. The building area will both have a total floor area of 1150m².

Vic Roads will be the tenant of this property and the building is designed to suit their needs. The Customer Service Centre will be used for licensing, registration of vehicles, customer service queries etc. Currently they have an office within the township of Pakenham and they have outgrown the premises.

Operating Hours of the customer service centre will be;

Monday – Friday 8.30am – 4.30pm

Saturday - Closed

Sunday – Closed

Generally, there is a maximum of 25 employees at any one time.

On average there is 160 visitors to site each day. In the form of appointments, walk in customers or driving tests.

As a Department of Transport Service office, there is no manufacturing, sales or hiring of products. We have provided ample car parking around the building, together with a canopy area where inspections of vehicles are conducted.

We have allowed above the required car parking spaces for the site, as there is no specific rate for Customer Service Centre, therefore have applied the rate required for Office.

The nature of the business is that people will visit the site for small periods of time and leave. The only long term parking is for employees.

The proposed signage is as follows:

Sign	Type	Height / Size	Area m ²	Illuminated
Monolith Directional Sign	Small Pylon Sign	2600 x 1000	1.6m ²	No
Monolith Directional Sign	Small Pylon Sign	2400 x 1000	2.4m ²	No
Wall Signage	Panel Sign	900 x 4000	3.6m ²	No
Wall Signage	Panel Sign	900 x 4000	3.6m ²	No
Wall Signage	Panel Sign	900 x 4000	3.6m ²	No
Service & Parts	Panel Sign	900 x 4000	3.6m ²	No

We have provided swept paths that indicate the size of vehicles that we believe would utilize the site. We have provided B85 to the site as well as Truck swept paths for when they visit the site for inspections.

The proposed buildings will be a modern, contemporary architectural style with strong geometrical forms providing a juxtaposition of horizontal architectural elements contrasted with robust and well articulated vertical lines especially on the front elevations providing an impact unto the development.

The buildings will be constructed using a combination of materials and finishes including aluminium framed glazing, textured and painted masonry walls and a flat metal deck roof.

In addition to street frontage setbacks, opportunities have been provided throughout the site for landscaping between car parks and in front of car parks, as per attached plans.

Operational characteristics of the development such as noise levels and emissions will be consistent with the developing industrial character of the surrounding area and may be controlled by appropriate planning permit conditions.

- The development will be used and utilised for customer service centre/office.
- There should be no effect to the adjoining neighbourhood with respect to:
 - Noise levels
 - Air-borne emissions
 - Emission to land or water
 - It is anticipated that hours of delivery and despatch would be during the proposed hours of operation
 - Light spill or glare

Further particulars worth noting follow:

- *The entire site is to be developed under this application*
- *We are not aware of any requirement for either Works Approval or Waste Discharge Licence from EPA for this development.*
- *We are not aware of any requirement to gain a licence under the Dangerous Goods Act 1985 for this development.*
- *All buildings and works require planning approval subject to Clause 33.01-4 However, we note that an application for buildings and works is exempt from the relevant notice requirements and appeal rights of The Planning and Environment Act 1987. Clause 33.01-4 lists application requirements.*

3.0 RELEVANT PLANNING POLICIES AND CONTROLS

The following State Planning Policy Framework controls have relevance to this application:

Clause 15.0 Built Environment and Heritage

Planning should ensure all new land use and development appropriately responds to its landscape, valued built form and cultural context and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

Planning should achieve high quality urban design and architecture that:

- Contributes positively to local urban character and sense of place.
- Reflects the particular characteristics, aspirations and cultural identity of the community.
- Enhances liveability, diversity, amenity and safety of the public realm.
- Promotes attractiveness of towns and cities within broader strategic contexts.
- Minimises detrimental impact on neighbouring properties.

Clause 17.02-1 Industrial Land Development

Identify land for industrial development in urban growth areas where:

1. Good access for employees, freight and road transport is available.
2. Appropriate buffer areas can be provided between the proposed industrial land and nearby sensitive land uses.
3. Protect and carefully plan existing industrial areas to, where possible, facilitate further industrial development.
4. Provide an adequate supply of industrial land in appropriate locations including sufficient stocks of large sites for strategic investment.
5. Protect industrial activity in industrial zones from the encroachment of unplanned commercial, residential and other sensitive uses which would adversely affect industry viability.
6. Encourage industrial uses that meet appropriate standards of safety and amenity to locate within activity centres.
7. Avoid approving non-industrial land uses, which will prejudice the availability of land for future industrial requirements, in identified industrial areas.

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Clause 17.02-2 Design of Industrial Development

States that:

- To facilitate the sustainable development and operation of industry and research and development activity.
- Ensure that industrial activities requiring substantial threshold distances are located in the core of industrial areas.
- Encourage activities with minimal threshold requirements to locate towards the perimeter of the industrial area.
- Provide adequate separation and buffer areas between sensitive uses and offensive or dangerous industries and quarries to ensure that residents are not affected by adverse environmental effects, nuisance or exposure to hazards.
- Encourage manufacturing and storage industries that generate significant volumes of freight to locate close to air, rail and road freight terminals.

Clause 17.02-3 State significant Industrial Land

Protect large areas of industrial land of state significance to ensure availability of land for major industrial development, particularly for industries and storage facilities that require significant threshold distances from sensitive or incompatible uses. Industrial areas of state significance include but are not limited to:

- Dandenong South in the City of Greater Dandenong.
- Campbellfield and Somerton in the City of Hume and Thomastown in the City of Whittlesea.
- Laverton North in the City of Wyndham and Derrimut in the City of Brimbank.

Protect heavy industrial areas from inappropriate development and maintain adequate buffer distances from sensitive or incompatible uses.

Council's Municipal Strategic Statement recognises the importance of continues support to industrial/commercial land uses throughout the municipality. The MSS plays an important role both local and regional in generating employment, production and economic activity.

It recognises that:

- To improve the appearance of all commercial and industrial areas and particularly development along main roads and at gateways.
- To provide urban design solutions which respond to the type of road and the speed of the traffic using the road.

Clause 22.03 of the planning scheme sets out Council local policy in respect of its industrial areas.

- Importance of protecting this industrial base for the prosperity of the municipality.
- Focuses on urban design and landscaping to improve the appearance of commercial and industrial areas and to provide certainty and direction for ongoing private sector investment.
- Encourage a transition from its traditional manufacturing role of the area to employment intensive, clean and sustainable industrial activity including high technology uses offices and other labour intensive industry.

Council's policies also seek inter alia to maintain and enhance industrial areas that:

- Emphasis City of Cardinia competitive industry strengths.
- Maximise job opportunities.
- Are environmentally sustainable, particularly in relation to minimal air, water, land, noise and visual pollution.
- Offer a high level of amenity and adequate services and facilities for workers.
- Are well serviced by adequate public and private transport and pedestrian networks.

3.1 ZONING, OVERLAY AND CARPARK CONTROLS

Industrial 1 Zone

The site is located within an Industrial 1 Zone pursuant to the Scheme. The purpose of the zone includes:

- *To provide for manufacturing industry, the storage and distribution of goods and associated uses in a manner which does not affect the safety and amenity of local communities.*

Uses proposed for the subject site include office / customer service centre. In an Industrial 1 Zone, pursuant to 33.01-1, the use of the land for the purpose of office/customer service centre does require a permit if “ the leasable floor area must not exceed the amount specified in the schedule to this zone” .

The use is not a purpose shown in the table to Clause 53.10, and the threshold distance is also satisfied. Therefore, the uses proposed are permissible with a planning permit.

Clause 73.03 Definition of Use

Pursuant to Clause 73.03 of the planning scheme a ‘office’ is defined as:

“Land use for administration, or clerical, technical, professional or other like business activity. No goods or materials intended for manufacture, sale, or hire may be stored on the land. Other than electoral office and medical centre, it does not include any other defined use.”

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Clause 52.05 – Signage

The purpose of this clause 52.05 is;

- *To regulate the development of land for signs and associated structures*
- *To ensure signs are compatible with the amenity and visual appearance of an area, including the existing or desired future character*
- *To ensure signs do not contribute to excessive visual clutter or visual disorder*
- *To ensure that signs do not cause loss of amenity or adversely affect the natural or built environment or the safety, appearance or efficiency of a road*

The proposed signage is Category 2 – Office & Industrial and Section 2 in which a permit is required to construct. There are no conditions for this particular category.

A separate plan is provided to show the proposed signage, together with the location and size of the proposed plans.

As is required under Clause 52.05-6 the elevation provided with the proposed signage shows the following;

- *Location & dimensions*
- *Height above ground level*
- *Details of Illumination of each sign*
- *Colours, lettering and materials*
- *Size of the signage*

All proposed signage is generally standard of the signage found in this style of development. All of the signage is proportionate to the development and streetscape. The signage will not impact any of the neighbouring businesses in size. There is no impact of the surrounding traffic and road safety.

Clause 15.01-1S – Urban Design

- *The objective of this Clause is to create an urban environments that are safe, healthy, functional and safe and that contribute to a sense of place and cultural sensitivity.*

The proposed signage is modern, with clean lines and bold lettering. It is not overcomplicated and is in keeping with the current Department of Transport style signage. We believe the proposed signage does respond to the context of the surrounding landscape and character.

The signage will have no detrimental impact on the amenity, on the natural and built environment and on the safety and efficiency of the roads.

Clause 22.09 – Local Planning Policies (Signs)

- *The objective of this clause is to facilitate signs that allow for the reasonable identification and marketing of businesses in Cardinia while enhancing the character of a building, site and area.*

Pursuant to Clause 22.09-3 – Industrial and Restricted Retail Signs, Councils strategy is to ensure signs in industrial areas that do not appear as dominant feature of a building or its surroundings. The branding is no greater than 30% of the street facing signage and less than 50% of the performance walls.

We believe that the proposed signage to the overall development is in keeping with the requirements of the relevant planning clauses and is appropriate for Councils support.

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Clause 52.06 Car Parking

The standard car parking requirement for an office are outlined at Clause 52.06 of the Planning Scheme, as follows:

- Office 3.5 spaces per 100m² of floor area

However, a permit may be granted, pursuant to Clause 52.06-1 of the Scheme to reduce or waive this standard requirement. The Responsible Authority must consider (inter alia):

- The occupier
- The availability of car parking and public transport in the locality
- Any reduction in car parking demand due to the sharing of spaces by multiple users
- The number of employees that will frequent the site for the use of building
- The short stay and long stay car parking demand
- Proximity to bus route

Clause 52.34 Bicycle Facilities

The standard car parking requirement for an office are outlined at Clause 52.34 of the Planning Scheme, as follows:

- Office Employee – 1space per 300m² of floor area
 Visitor - 1 space per 1000m² of floor area

Clause 53.18 – Stormwater Management in Urban Development

The purpose of Clause 53.18 is;

To ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

Pursuant to Clause 53.18, an application to construct a building or construct or carry out works:

- Must meet all of the objectives of Clauses 53.18-5 and 53.18-6.
- Should meet all of the standards of Clauses 53.18-5 and 53.18-6.

An application must also be accompanied by details of the proposed stormwater management system, including drainage works and retention, detention and discharges of stormwater to the drainage system. A Stormwater Management Plan is currently being prepared and will be submitted shortly.

The objective of Clause 53.18-5 (buildings and works) are:

- *To encourage stormwater management that maximises the retention and reuse of stormwater.*
- *To encourage development that reduces the impact of stormwater on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.*
- *To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.*
- *To ensure that industrial and commercial chemical pollutants and other toxicants do not enter the stormwater system.*

Under Clause 53.18-5, Standard W2 is as follows:

The stormwater management system should be designed to:

- *Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).*
- *Minimise the impact of chemical pollutants and other toxicants including by, but not limited to, bunding and covering or roofing of storage, loading and work areas.*
- *Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.*

The proposed development of the site meets all the objectives of Clause 53.18-5 and is consistent with Standard W2 as follows:

- The proposed level of on-site detention will reduce the impact of stormwater on the drainage system.
- Cooling, local habitat improvements and the provision of attractive and enjoyable spaces will be achieved on the site through the provision of landscaping along the site frontage.
- Water quality management requirements will be met by payment of offsets to Melbourne Water.
- Standard permit conditions are anticipated requiring stormwater to be managed appropriately on the site. This will further ensure an outcome consistent with the objectives of Clause 53.18-5 and requirements of Standard W2 will be met.

The objectives of Clause 53.18-6 (site management) are:

- *To protect drainage infrastructure and receiving waters from sedimentation and contamination.*
- *To protect the site and surrounding area from environmental degradation prior to and during construction of subdivision works.*

Under Clause 53.18-6, Standard W3 requires an application to describe:

How the site will be managed prior to and during the construction period and may set out requirements for managing:

- *Erosion and sediment.*
- *Stormwater.*
- *Litter, concrete and other construction wastes.*
- *Chemical contamination.*

Standard site management and construction techniques will be implemented in the development of the site, including measures aimed at ensuring the above matters are appropriately addressed.

- Sediment will be managed in accordance with, particularly in the event of rain. Clearing of the site will only be undertaken when construction is imminent. Erosion and related sediment runoff on the site is not considered a particular risk given its topography. If necessary, silt fences will be installed in a trench and supported by star pickets or wooden posts. Restricted truck access and parking within sealed areas during wet weather conditions will also be implemented to minimise deposits.
- Stormwater management during construction is closely related to sediment management, with the aim to prevent by-products from entering stormwater drains. Construction on the site will be managed using industry-standard techniques to ensure such materials are prevented from entering the stormwater drainage system.

- The construction manager will ensure litter, concrete and construction wastes are appropriately collected and disposed of in a manner which avoids adverse impacts on the surrounding area and the stormwater system.
- Day to day management of construction on the site will seek to ensure that waste material, including liquid wastes such as paint, concrete slurries and chemicals, will not be discharged into a stormwater drain.

More detail in relation to the above matters can be covered in a Construction Management Plan required by a permit condition.

There are no site characteristics or aspects of the proposed development which suggest appropriate measures cannot be undertaken on the site in accordance with the expectations of Clause 53.18.

4.0 PLANNING CONSIDERATIONS

In short our client's proposal seeks to construct a office development with associated on site parking provision which will contribute to and be in keeping with the general existing industrial character and the area.

4.1 APPROPRIATENESS OF THE PROPOSED OFFICE BUILDINGS AND WORKS

The proposed buildings and works use are consistent with Council's industrial policy and will make a positive contribution to the area for the following reasons:

- The size, shape, design and location of the building proposed is consistent with surrounding uses in the general area. In particular, it is considered that quality architectural development that is proposed will set the tone earmarked for the area.
- The development will have no significant impact upon floodwater flow.
- It will co-exist harmoniously with adjacent developments to the south and east of the proposed development.
- The development will cater for the continuing demands office floor area. In addition, developing a currently vacant site to maximise job opportunities.
- The development will unlikely impose any level of detriment upon neighbouring land.
- The architectural design and treatment of both front elevation and side elevation of the façade will add variety and interest to the streetscape through the adopted range of contemporary materials and finishes.

4.2 CAR PARKING LOADING AND BICYCLE PARKING

As outlined above, car-parking requirements are set out at Clause 52.06 of the Planning Scheme.

Where a shortfall of car parking spaces exists against the provisions of Clause 52.06, the proposal is able to meet with the requirements of the local policy or provide a justification to car parking requirements.

4.3 Car Parking Loading and Bicycle Parking

As outlined above, car-parking requirements are set out at Clause 52.06 of the Planning Scheme.

Based on the standard car parking requirements the use of the land for the purpose of office and a standard car-parking requirement of car park spaces as follows:

Customer Service Office	1150 m ² @ 3.5 =	40.25 spaces	<i>rounded down</i> 40
Required car parks	40	<div>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</div>	
Provided car parks	117		

The proposed development provides a total of 117 car parking spaces. Which meets the requirements of Clause 52.06.

Bicycle parking has been provided to the development and meets with the requirements of Clause 52.34 of the planning scheme.

Employee Rate – 1150m² @ 300 = 3 spaces

Visitor Rate – 1150m² @ 1000 = 1 space

Total Required 4 Spaces

Total Provided 4 Spaces

5.0 LANDSCAPING

A landscaping concept plan has been prepared which includes the varied varieties of species of both trees and shrubs together with number and location of plants. A schedule is included. Also attached are planting and maintenance notes for landscaping.

6.0 DESIGN RESPONSE

Clause 17 – Economic Development

The policy to provide planning for a strong and innovative economy.

Planning to contribute to the economic wellbeing of community and the State as a whole by supporting and fostering economic growth and development by providing land, facilitating decision and resolving land use conflicts so that each district may build on its strength and achieve its economic potential.

Also to ensure availability of land for industry in urban growth areas. Protect and carefully plan existing industrial areas to where possible facilitate further industrial development.

Provide appropriate buffer areas. Can be provided between the proposed industrial land and nearby sensitive land uses.

Protect and carefully plan existing industrial area to where possible, facilitate further industrial development.

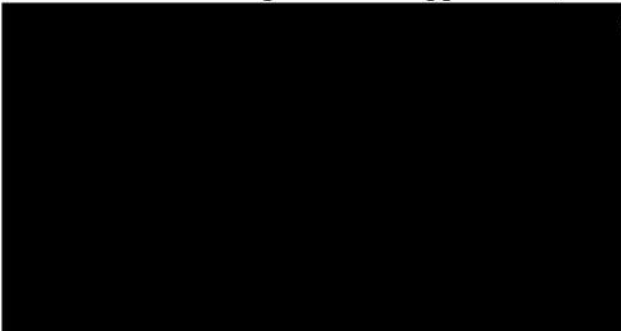
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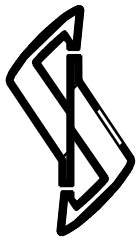
7.0 CONCLUSIONS

The use of the land for the purpose of customer service centre/office is commensurate with Council's strategic direction for this area. Council's policies recognise the evolving nature of the industrial area and, accordingly, encourage *low-key uses*, such as offices use, whilst recognising and protecting the interests of existing manufacturing and industrial developments in the area.

It is submitted that the use is particularly suited to the site that is in close proximity to Princes Highway with excellent access to Pakenham Bypass Freeway. Appropriate car parking, and generous setbacks are provided on-site ensuring that there are no unreasonable or adverse impacts on other commercial and industrial uses nearby.

Subject to appropriate permit conditions, we believe that this development and use proposed is one, which is worthy of Council's support. If you have any questions about the plans, which form part of the application, or the matters referred to in our letter, please telephone





Stephen D'Andrea Pty. Ltd.

ARCHITECTURAL AND STRUCTURAL CONSULTANTS

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4th June 2025

**Cardinia Shire Council
Town Planning Department
PO BOX 7
PAKENHAM VIC 3810**

Attention:

Dear Sir,

**Re: Proposed Development at L1 39 Exchange Drive Pakenham
Planning Application No; T250155**

Further to your recent request for further information please find attached clarification as follows:

1. Outstanding fees for reduction of bicycle parking not required.
2. We have updated the planning report to provide further information in relation to how the development would function.
3. A waste management plan has been provided.
4. Car parking management plan is now within the Town Planning report
5. The SMP, BESS & other sustainability reports are attached
6. A Green travel plan is within the SMP Report
7. SMP is attached
8. Swept Path plans are attached
 - B85 Vehicle are attached
 - 8.8m service vehicle swept paths show
 - Removed black hatching

9. Site plan updated to show;

- The basic internal layout has been reflected on a separate plan, these are for discussion purposes and to show Council how the building will be used. They should not be endorsed as the client has not finalised all the small details and there may be changes to the internal offices etc.
- There are no fences to the boundaries of the property. However, there will be a fence & auto gate, that is situated between the northern landscape area, across the back of the most eastern car parking spaces and then continue on to the southern boundary. This will create an area that only large trucks will be able to use to exit the site. The gates will ensure the area is always kept clear so that the driveway is always available for the larger trucks. Please see attached the truck swept paths for reference. The gates will be remote controlled and only used by Vic Roads employees.

Unsure why these details are requested as they are already shown on the site plan and are a standard detail on all of the plans we provide.

- There is already a summary box shown on the top right hand side of the plans. It shows the site area, floor area of the office and car parking numbers.
- The plan has a reference number, date etc already shown on the bottom right hand corner.

10. Elevations Plan updated to show;

- NSL shown to AHD
- Cut and fill details
- Fencing elevation detail is shown on the site plan
- Again reference numbers, update details etc are always shown on our plans

11. The signage for this development is shown on a separate plan with the details of dimensions, materials and illumination etc.

12. The landscape plan reflects the existing street tree to be removed along the western boundary to make way for a crossing.

13. We have provided the perspective for the Vic Roads Office already.

Preliminary Concerns

Swept Paths - The truck swept path clearly shows ingress and egress of large vehicles and 8.8m vehicles. Smaller vehicles can enter via the crossings on the western side of the site. With all vehicles existing via the northern crossing.

Bicycle parking

The requirement of bicycle spaces is calculated in accordance with Clause 52.34 and is as follows;

Floor Area 1150m² % 300 = 3.8 (rounded down to 3 spaces)

Employee spaces = 1 space

Total Required 4 spaces

We have provided 4 spaces at the front entrance of the office for the use of customers and employees. This meets the requirement of Clause 52.34.

Vegetation in road reserve

The street trees are shown to be a minimum of 1m from the proposed crossovers on the plans. Which is a standard requirement. With 1 tree along the western side of the property shown to be removed.

Landscaping

The landscaping provided already to the proposed development is in keeping with the objectives of Clause 15.01, Clause 33.01-4 and design standards 5 & 6 of Clause 52.06-9.

It should be noted that the amount of car parking spaces provided is that dictated by Department of Transport for their Offices and if Council has any issue with this they should discuss directly with Department of Transport.

Clause 15.01 - Built Environment- Urban Design notes the following relevant strategies - *Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm & Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces.* – Within the existing industrial estate we have provided a positive response to this strategy with providing a minimum of 3m landscaping strip along the boundaries and various size beds throughout the car parking and in front of the building itself, which is also over and above the existing and recently approved developments on the same street .

Clause 33.01-4 – Industrial 1 Zone - Application requirements states “*A landscape layout which includes the description of vegetation to be planted, the surfaces to be constructed, a site works specification and the method of preparing, draining, watering and maintaining the landscape area*” – again our landscape design including the spaces shown within the car parking spaces is consistent this requirement. We have provided planting schedules, surfaces details and information on the maintenance of the landscaped area.

Clause 52.06 – Design standard 5 *Ground level car parking, garage doors and accessways must not visually dominate public space.* The building and the layout of the site are consistent with the requirements of this clause as is permissible within an Industrial Estate. The very nature of a development as a Vic Roads Office, is that there will be a large amount of car parking spaces required to account for customers visiting the site and not overflow on to the street.

However, we have provided landscaping setback consistent with or even more than existing neighbouring properties within the same streets and the general appearance of the overall estate. Council should understand as a government office Vic Roads, there is no other way this site can be developed to accommodate.

Clause 52.06 – Design Standard 6 – references the access and pedestrian safety of car parking spaces and is irrelevant when discussing the landscape.

Environmentally Sustainable Design

This is currently being prepared and will be provided to Council within the coming weeks

I trust the attached amended plans and explanation will enable you to further consider this application.

Should you require any further information or clarification, please do not hesitate to contact the undersigned.

Yours faithfully,



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References

1. NCC 2022 Volume One - Section J
2. Architectural drawings prepared by Stephen D'Andrea Pty Ltd
3. ASHRAE 55 – 2013
4. ANSI/ASHRAE Standard 140 – 2007

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APPENDIX A: Façade Calculator

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Façade

Report



Calculator

Project Summary

Date
10/06/2025

Name
Dhvanit

Company
Hexicon ESD consulting

Position
Director

Building Name / Address
Proposed Office, Lot 1 Exchange Drive Cnr Dovers Place,
Pakenham VIC 3810

Building State

VIC

Climate Zone

Climate Zone 6 - Mild temperate

Building Classification

Class 5 - office building

Storeys Above Ground
1

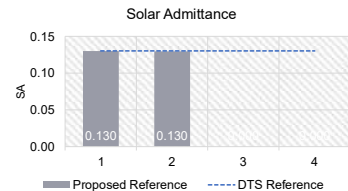
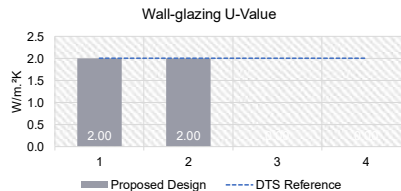
Tool Version
1.2 (June 2020)

The summary below provides an overview of where compliance has been achieved for Specification J1.5a - Calculation of U-Value and solar admittance - Method 1 (Single Aspect) and Method 2 (Multiple Aspects).

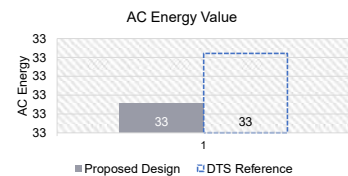
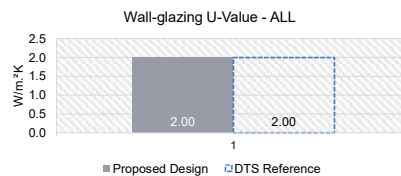
Compliant Solution =
Non-Compliant Solution =

	North	East	Method 1 South	West	Method 2 All
Wall-glazing U-Value (W/m².K)	2.00	1.97	0.83	2.00	1.65
Solar Admittance	0.13	0.13	0.02	0.13	
AC Energy	141				

Method 1



Method 2



Project Details

	North	East	South	West
Glazing Area (m²)	72.39	36	5.7	44.96
Glazing to Façade Ratio	30%	20%	2%	25%
Glazing References	NG1 NG2	EG1 EG2	SG1	WG1 WG2
Glazing System Types	DEFAULTS (GENERIC)	DEFAULTS (GENERIC)	DEFAULTS (GENERIC)	DEFAULTS (GENERIC)
Glass Types	North Glazing	East Glazing	South Glazing	West Glazing
Frame Types	Aluminium	Aluminium	Aluminium	Aluminium
Average Glazing U-Value (W/m².K)	4.28	5.80	5.80	5.05
Average Glazing SHGC	0.58	0.81	0.81	0.81
Shading Systems	Horizontal	Horizontal	Horizontal	Horizontal
Wall Area (m²)	165.04	142.25	240.35	137.11
Wall Types	Wall	Wall	Wall	Wall
Methodology	Wall			
Wall Construction	External Wall_R1.0	External Wall_R1.0	External Wall_R1.4	External Wall_R1.4
Wall Thickness	150	150	150	150
Average Wall R-value (m².K/W)	1.00	1.00	1.40	1.00
Solar Absorptance	0.6	0.6	0.6	0.6

APPENDIX B: Thermal Comfort Report

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Temperature Range Check and Thermal Comfort Report

Site Name: Lot 1 Exchange Drive Cnr Dovers Place, Pakenham VIC 3810, **Building Name:** Proposed Office, **Location Template:** MOORABBIN AIRPORT, **Weather File:** AUS_VIC_MOORABBIN AIRPORT_RMY

Report generated: 10/06/2025 06:01:38

Building level activity settings:

Winter clothing level: 1, **Summer clothing level:** 0.5, **Metabolic Rate:** BCA07 (130W), **Comfort Radiant Temperature Weighting:** 1 - Zone Averaged

Section J Temperature Range Check. Target temperature range: 21 - 24 degrees (occupied zones). 18 - 25 degrees (transitory occupancy (TO) zones).

All zones pass temperature check - **Building : PASS**

Block	Zone	Floor Area (m ²)	Fraction Total Floor Area	Building Class	Operation Hours	Operation Hours T below target	Operation Hours T in target range	Operation Hours T above target	Fraction Operation Hours T in target range	Zone temperature meets Section J target (T in target range ≥ 98 % Operation Hours)
Groun...	Office	923.1	1.00	Class 5	2520	0	2512	8	0.997	PASS

Section J PMV Thermal Comfort Check. Target PMV range: -1.0 to +1.0

More than 95% (100.0%) of floor area passes PMV check - **Building : PASS**

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Block	Zone	Floor Area (m ²)	Fraction Total Floor Area	Building Class	Operation Hours	Operation Hours PMV below -1	Operation Hours PMV between -1 and 1	Operation Hours PMV above 1	Fraction Operation Hours PMV between -1 and 1	Zone PMV meets Section J target (greater than 98 % Operation Hours between -1 and 1)
Groun...	Office	923.1	1.00	Class 5	2520	1	2508	11	0.995	PASS

PMV Thermal Comfort Check. Target PMV range: -0.5 to +0.5

Block	Zone	Floor Area (m ²)	Fraction Total Floor Area	Building Class	Operation Hours	Operation Hours PMV below -0.5	Operation Hours PMV between -0.5 and 0.5	Operation Hours PMV above 0.5	Fraction Operation Hours PMV between -0.5 and 0.5
Ground...	Office	923.1	1.00	Class 5	2520	52	2124	344	0.843

DesignBuilder Software Australia Temperature Range Check and Thermal Comfort Report Plugin v.0.5.9 MachineID (88255E).

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APPENDIX C: Building Envelope Markup

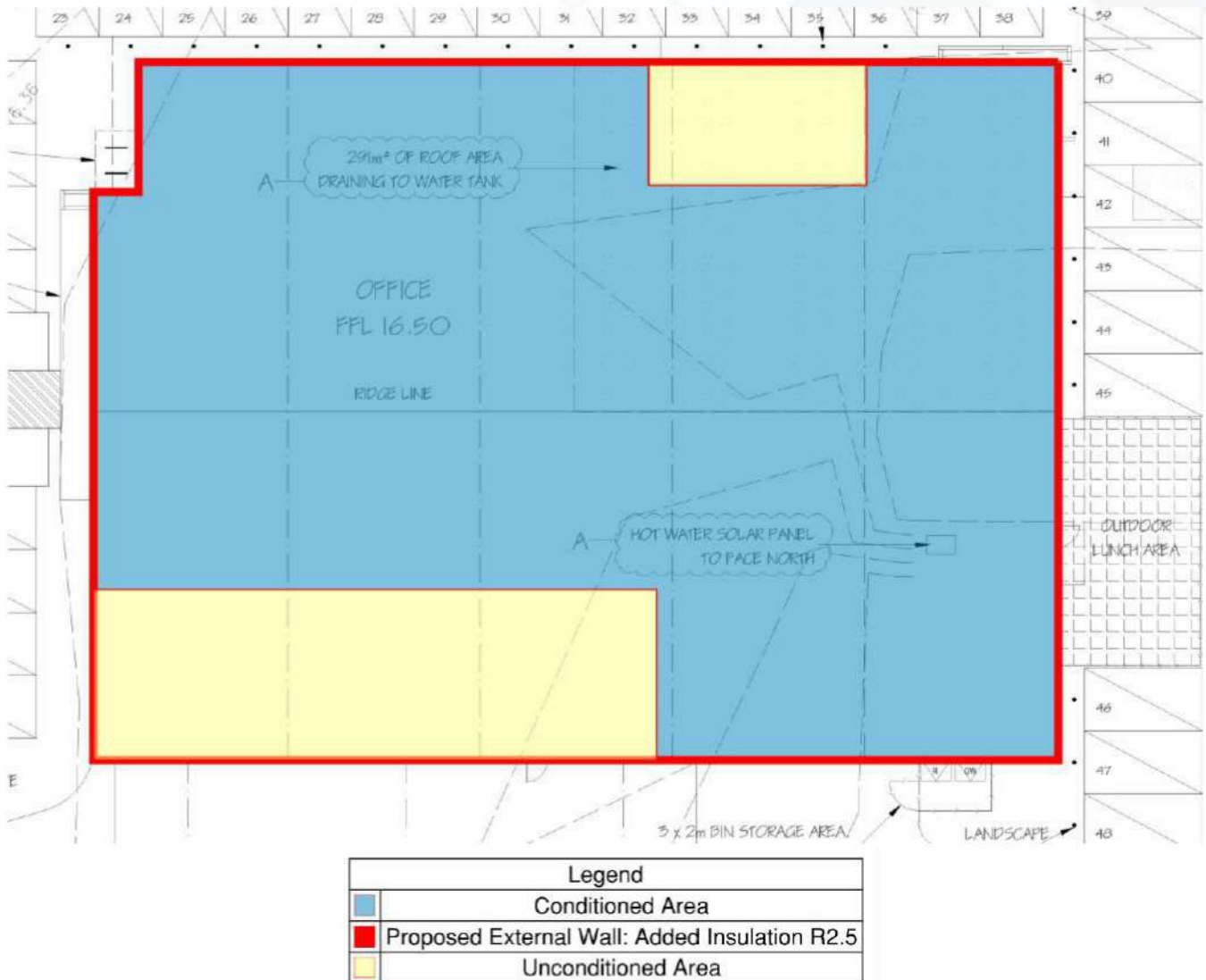


Figure 3. Building envelope markup –Walls

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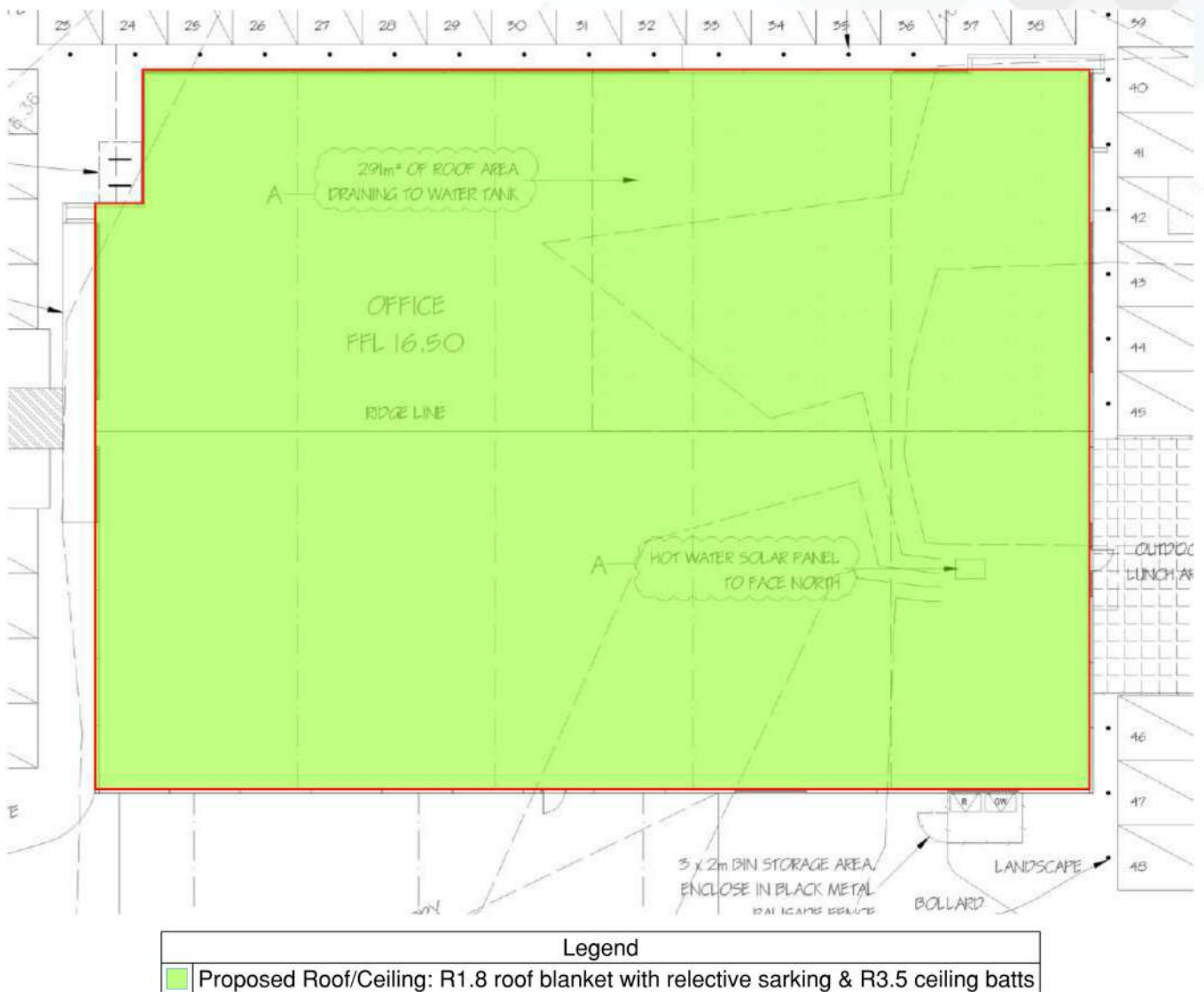


Figure 4. Building envelope markup – Internal ceiling

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Sustainable Management Plan

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Date:

11 June 2025

Assessment of:

Pakenham VIC 3810

Proposed Vicroads Office Development | Lot 1 Exchange Drive Cnr Dovers Place,



Hexicon

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Document Control

Job Title	Lot 1 Exchange Drive Cnr Dovers Place, Pakenham VIC 3810			
Document Title	Sustainable Management Plan			
File Name	22052_SMP_Lot 1 Exchange Drive Cnr Dovers Place, Pakenham VIC 3810_V0			
Version	Date	Description:	Final Report	
0	11/06/2025	Prepared by	Checked by	Approved by
		DK	PS	DS

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ESD Initiatives

ESD Initiatives	
Proposed Vicroads Office Development	Lot 1 Exchange Drive Cnr Dovers Place, Pakenham VIC 3810
Category	Implementations
Management	Preliminary J1V3 energy modelling and façade calculator have been undertaken to inform passive design at the early design stage. Refer to the Section 6.3.1 for more details.
Stormwater management	The WSUD standard is achieved for the development via treatment of Atlan Stormsacks (primary treatment), Atlan Filter (tertiary treatment) and 5,000L Rainwater harvesting tank treating part of the development's roof which will be connected to toilet flushing throughout the development. Refer to the Section 6.2.1 for MUSIC modelling results.
Water efficient fixtures / fittings	To ensure the efficient use of water and thereby reduce total operating potable water use, fixtures & fittings will have the following WELS ratings.
	- 4 Star WELS showerhead (≥ 6.0 but ≤ 7.5)
	- 4 Star WELS rated toilets
	- 5 Star WELS kitchen and bathroom taps
Energy Efficiency	The development will be all electric.
HVAC System	Heating and cooling systems will be chosen within one Star of the most efficient equivalent capacity unit available, or Coefficient of Performance (CoP) & Energy Efficiency Ratios (EER) not less than 85% of the CoP & EER of the most efficient equivalent capacity unit available.
Hot Water System	Solar water heating will be installed in the development. This is acknowledged as a highly energy-efficient solution, significantly reducing energy consumption and greenhouse gas emissions from the building's energy use.
Lighting	<ul style="list-style-type: none"> - Maximum illumination power density (W/m^2) of the development will meet the requirements in Table J7D3a of the NCC 2022 Vol 1. - Energy efficient LED lights to be installed throughout.
Building Materials	<ul style="list-style-type: none"> - Low VOC paints, adhesives and sealants to be used. - Aluminium framing for the windows. - All the carpets, engineered timber and adhesives/sealants meet the Green-star Benchmark for VOC's and emissions. - Use of engineered wood products of E1 or E0 grade (MDF, plywood, engineered-wood flooring). - Use of timber certified by the Forest Stewardship Council (FSC) or Program for the Endorsement of Forest Certification (PEFC) or recycled/reused.

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ESD Initiatives	
Proposed Vicroads Office Development	Lot 1 Exchange Drive Cnr Dovers Place, Pakenham VIC 3810
Category	Implementations
IEQ	33% ¹ of Office spaces have achieved at least 2% daylight factor for the regularly occupied spaces. Refer to 6.4.1 for daylight hand calculation results.
	The HVAC system will provide 50% increase in outdoor air to regular use areas compared to the minimum required by AS 1668:2012.
	41% of the glazing to North, East and West facades is sufficiently shaded. Refer to Section 6.4.2 for details.
Transport	3 x bicycle parking spaces will be provided on site for staff across the entire development.
	1 x bicycle parking spaces will be provided on site for visitors across the entire development.
	The development includes one shower space and will provide 3 x lockers within the designated amenities area. The shower space, located within the WC for Disabled/Unisex room, will fulfill the end-of-trip facility requirements.
Waste	The recycling and general waste will be provided in the same storage area.
	The development is committed to recycling 80% of the construction and demolition waste.
Landscape	Water efficient landscaping will be installed in the development.
Urban heat island	Light or Medium coloured roof and driveway will be provided to mitigate urban heat island impact, where possible.

Table 1: ESD Initiatives

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¹ Please note that the detailed internal floor layout is currently unavailable. As such, the daylight assessment has been conducted using schematic internal fitouts based on a similar Vicroads office. The daylight score may be subject to change once the actual internal layout is confirmed.



1. Executive Summary

Hexicon has been engaged by Stephen D'Andrea Pty Ltd to provide a Sustainable Management Plan (SMP) for the proposed Vicroads office development at Lot 1 Exchange Drive Cnr Dovers Place, Pakenham VIC 3810.

The development is within the jurisdiction of the Cardinia Shire Council and for a development of this size, the council requires an SMP to be produced as part of its planning approval process. The requirements for an SMP are detailed on the Council website.

We have used BESS to support the proposed development's planning application for ESD. The BESS (Built Environment Sustainability Scorecard) has been used to quantify all sustainable design criteria, with the exception of building materials. BESS is an online sustainability assessment tool purpose built for Sustainable Management Plan in the planning process. The report summarises the sustainable design initiatives being incorporated in the proposed development and benchmarks them against industry best practice. The following table provides a summary of the BESS assessment targets and results for this project.

Categories	Minimum score required	Project's category score	Overall Contribution	Compliance
Management	-	33%	4.5%	-
Integrated Water Management	50%	84%	9.0%	PASS
Operational energy	50%	64%	27.5%	PASS
Indoor Environment Quality (IEQ)	50%	35% ²	16.5%	FAIL²
Transport	-	75%	9.0%	-
Waste & Resource Recovery	-	33%	5.5%	-
Urban Ecology	-	25%	5.5%	-
Innovation	-	0%	9.0%	-
Overall BESS Score	50%	53%	(FAIL - Best practice Standards*)	

Table 2: BESS Score Card

Based on the above results, the project achieves the minimum passing scores under each category except IEQ section². This report describes an overall sustainable assessment and the ESD achievements of the proposed development.

The Sustainable Management Plan is prepared to support the town planning application in accordance with the 15.01 for Environmentally Sustainable Development and Clause 53.18 for Stormwater Management as mentioned in the Cardinia Shire Planning Scheme.

² As the detailed drawing set is not available at this stage, the IEQ assessment has been carried out using schematic internal fitouts based on a similar Vicroads office. The IEQ score are subject to change once the actual internal layout is confirmed. The proposed development does not currently meet the minimum IEQ requirements. Given that this is a government building, design modifications to achieve IEQ compliance could not be incorporated.

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2. Project Overview

The proposed development at Lot 1 Exchange Drive Cnr Dovers Place, Pakenham VIC 3810 has been covered in this SMP report of an office space. The following site plan indicates the location of the site.



Figure 1. Locality view of the subject site

3. Assessment and Documentation

This report is based on the following.

- Project discussions and email correspondence with Stephen D'Andrea Pty Ltd.
- The architectural drawing by Stephen D'Andrea Pty Ltd dated February 2025.
- WSUD/MUSIC report by Atlan dated 27th May 2025.

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4. Development Summary

Project Details	
Site Area (m ²)	7,336
Total Build Up Area (m ²)	1,150

Table 3: Project Details

To quantify the project's sustainability performance against an industry benchmark, this report uses the Built Environment Sustainability Scorecard (BESS), released by CASBE to support the Sustainable Design Assessment in the Planning Process (SDAPP) program.

BESS assesses overall environmental sustainability performance of building projects. It was created to assist builders and developers to demonstrate that they meet sustainability best practice standards as part of planning permit applications.

As part of the BESS assessment, we have used MUSIC modelling to assess the stormwater quality of the site. Results from MUSIC were entered into BESS to support the assessment.

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5. Sustainability Categories

This SMP Report addresses the 9 sustainability categories in line with the BESS tool and overall best practice ESD assessment guidelines, noted in the table below.

No.	SDAPP ESD CATEGORIES	BENCHMARK
1	Operational Energy	BESS (mandatory 50%)
2	Integrated Water Management (includes Water and Stormwater Management)	BESS (mandatory 50% & 100% respectively)
3	Indoor Environment Quality (IEQ)	BESS (mandatory 50%)
4	Waste and Resource Recovery	BESS
5	Transport	BESS
6	Innovation	BESS
7	Management	BESS
8	Urban Ecology	BESS
9	Building Materials	Industry best practice

Table 4: Categories showing BESS best practice assessment guidelines

For this assessment, categories 1 to 8 have been assessed using BESS tool while the 9th category, building material has been assessed against industry best practice standards.

As noted above, the BESS tool sets out minimum standards to achieve compliance for the four major categories:

- Operational Energy (mandatory 50%)
- Integrated Water Management (mandatory 50% & 100% respectively)
- Indoor Environment Quality (IEQ) (mandatory 50%)

To comply, the development must achieve a minimum score of 50% & 100% in the categories mentioned above respectively.

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6. ESD Assessment

The following is a summary of the ESD initiatives included in each of the BESS benchmark categories, as well as the scores obtained in the rating.

6.1 Management

BESS Credit	Management Features	Responsibility
2.3	<p>Preliminary J1V3 energy modelling and façade calculator have been undertaken to inform passive design at the early design stage. The assessment shows that the proposed building has improved performance than reference building as per NCC 2022 Section J requirements.</p> <p>Refer to Appendix B for Façade calculator and Section 6.3.1 for preliminary J1V3 modelling results and assumptions.</p> <p>A standalone Section J compliance report will be set up at the building permit stage.</p>	Builder
Final Management Score		33%

Table 5: Management Score

6.2 Integrated Water Management

We propose to use, water efficient fixtures and fittings throughout the development. The following is a summary of the integrated water management features in the proposed development.

BESS Credit	Integrated Water Management Features	Responsibility
1.1	<p>To ensure the efficient use of water and thereby reduce total operating potable water use, fixtures & fittings will have the following WELS ratings.</p> <ul style="list-style-type: none"> - 4 Star WELS showerhead (≥ 6.0 but ≤ 7.5) - 4 Star WELS rated toilets - 5 Star WELS kitchen and bathroom taps <p>To provide a 35% reduction in main water consumption, the building includes an efficient water fixtures & fittings, rainwater harvesting tank and re-use system for the development. 291 m² of the roof area (20% of the total roof area) will drain to a 5,000L rainwater tank system. Captured rainwater will be used for toilet flushing throughout the development.</p>	Architect/Builder
2.1	<p>MUSIC modelling has been conducted to assess the rainwater/stormwater treatment methods and design score. The WSUD standard has been achieved for the development through treatment using rainwater tank, Atlan Stormsacks and Atlan Filters. Section 6.2.1 presents the MUSIC modelling results.</p>	Builder

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3.1	Water efficient landscaping will be installed in the development. A water efficient garden should have no irrigation system and not require watering after an initial period when plants are getting established.	Landscape Architect
Final Integrated Water Management Score		84%

Table 6: Integrated Water Management Features

6.2.1 Stormwater Management

MUSIC modelling has been conducted to assess the rainwater/stormwater treatment methods and design score. The MUSIC model evaluates the quality and quantity of stormwater runoff from the development.

In this instance, the proposed Vicroads office development will incorporate a 5,000L rainwater tank and stormwater treatment systems - Atlan Stormsacks and Atlan Filter. Stormwater management best practice requirements have been achieved through the implementation of the treatment systems derived from the MUSIC modelling, as listed below.

The proposed development will include the following treatment train:

- 20% of the roof catchment area (291 m²) drains to a 5,000 L rainwater tank, which is connected to toilet flushing throughout the development.
- All the remaining roof runoff area will be directly connected to the Atlan Filter (tertiary treatment).
- Impervious pavement areas (car park and driveway) will be diverted to Atlan Stormsacks. The Atlan Stormsacks will filter coarse pollutants from the driveway runoff and serve as primary treatment.
- The Atlan Filter, placed at the end of the line, will filter both coarse and fine pollutants before discharging the outflows to the legal point of discharge on site.
- Stormwater treated by the Stormsacks (Primary Treatment) will be diverted to the Atlan Filter (Tertiary Treatment). This setup ensures that the development meets the required WSUD standard.

Refer to Appendix D and E for WSUD Maintenance Plan and Atlan WSUD/MUSIC Report respectively.

Surface	Area [m ²]	Stormwater Treatment
Site Area	7,336	
Proposed roof catchment area to RWT	291	5,000L Rainwater Tank and Atlan Filter (Tertiary Treatment)
Proposed roof catchment area - 1	423	Atlan Filter (Tertiary Treatment)
Proposed roof catchment area - 2	715	
Pavement areas - A (Carpark and driveway)	2,141	Atlan Stormsacks (Primary Treatment) and Atlan Filter (Tertiary Treatment)
Pavement areas - B (Carpark and driveway)	2,141	
Landscape Areas	870	All Permeable area(s) are excluded from STORM assessment as these areas do not require any treatment.

Table 7. Stormwater management features

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The result of the MUSIC assessment conducted is as per below:

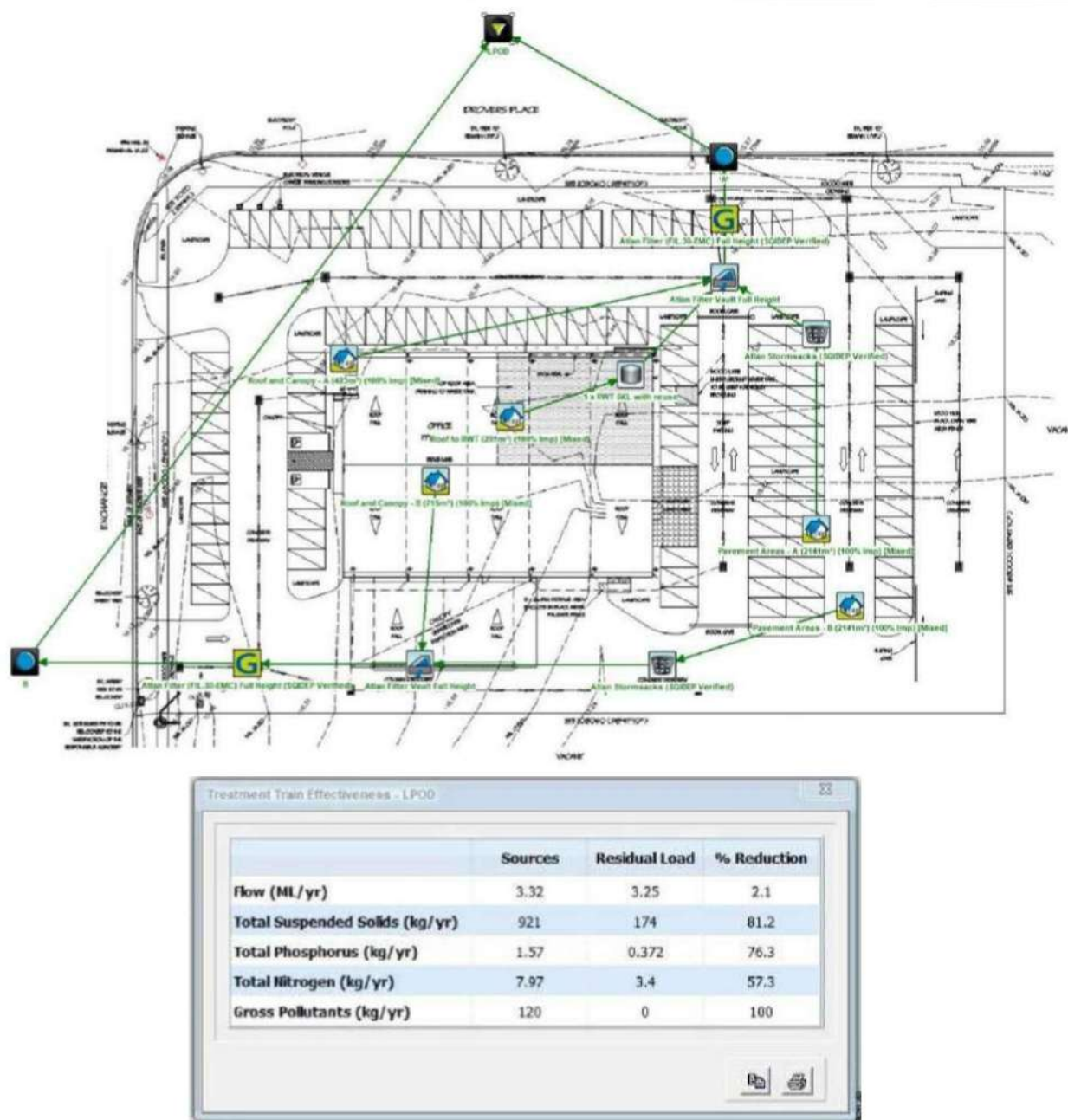


Figure 2. MUSIC modelling results

Figure 2 shows the overall effectiveness of the treatment train. The Best Practice Environmental Management Guidelines (BPEMG) specify the required reductions (Please refer to the table 8 below) in Total Suspended Solids (TSS), Total Phosphorus (TP), Total Nitrogen (TN), and Gross Pollutants (GP). The proposed stormwater treatments meet these minimum requirements, ensuring that the development meets the best practice standards for stormwater management.

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www.hexicon.com.au



27/148 Chesterville Road, Cheltenham VIC 3192

Pollutant	Required Reduction (BPEMG)	% Reduction (Achieved)
Flow (ML/year)	0%	2.1%
TSS (kg/year)	80%	81.2%
TP (kg/year)	45%	76.3%
TN (kg/year)	45%	57.3%
GP (kg/year)	70%	100%

Table 8: Treatment train effectiveness

Please note that the above is subject to final drainage/civil/hydraulic design and location of the legal point of stormwater discharge. The full civil, hydraulic design and drainage plan will be carried out by the engineering consultants at the design development phase.

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6.3 Operational Energy

Below is a summary of the operational energy features & specification for the development. Generally, the strategy includes efficient building services and design features that contributes to low energy consumption and decrease the greenhouse gas emissions.

BESS Credit	Operational Energy Features	Responsibility
1.1, 2.1 & 2.7	Preliminary J1V3 energy modelling and façade calculator have been undertaken for the development. The assessment shows that the proposed building has improved performance than reference building as per NCC 2022 Section J requirements. Refer to the Section 6.3.1 for more details.	ESD Consultant/ Services Engineer / Builder
	Heating and cooling systems will be chosen within one Star of the most efficient equivalent capacity unit available, or Coefficient of Performance (CoP) & Energy Efficiency Ratios (EER) not less than 85% of the CoP & EER of the most efficient equivalent capacity unit available.	
2.6	The development will be all electric.	
3.2	Solar water heating will be installed in the development. This is acknowledged as a highly energy-efficient solution, significantly reducing energy consumption and greenhouse gas emissions from the building's energy use.	
3.7	Maximum illumination power density (W/m ²) in at least 90% of the relevant building class meeting the requirement by Table J7D3a of the NCC 2022 Volume 1. LED lighting will be installed throughout the development.	
Final Operational Energy Score		64%

Table 9: Operational Energy Features

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6.3.1 Preliminary Energy modelling

The proposed office development commits to comply with the NCC 2022 Section J Energy Efficiency requirements through the use of efficient building fabric, external glazing, building sealing and HVAC system. We have carried out the preliminary energy consumption for the proposed development. The analysis was carried out in the energy modelling software DesignBuilder, using the J1V3 alternative compliance path and the findings are as per below. Please note a detailed standalone Section J Report will be set up at the building permit stage once the design and construction materials have been finalised.

The total energy consumption for the whole development has been detailed in Table 10 below. Please note the Proposed case building fabric for the development has been detailed in Table 11 below. Based on the preliminary Section J J1V3 modeling undertaken by Hexicon, the proposed fabric will help the development achieve 5.55% improvement over the energy consumption of the Reference case.

Refer to Appendix B for NCC 2022 ABCB - Facade Calculator.

Modelling Results	Heating Energy (kWh)	Cooling Energy (kWh)	Total (kWh)
DTS Fabric + DTS services	5,707	4,516	10,223
Proposed Fabric + DTS services	4,813	4,843	9,656
Improvement			5.55%

Table 10: Preliminary Energy Modelling Results

Proposed Building Fabric:

Building Fabric	Proposed Construction
Roof	Metal deck roof with R1.8 insulation blanket under roof sheeting with reflective sarking and R3.5 ceiling batts. Standard Zincalume roof sheeting with solar absorbance = 0.45 or lower.
Floor	Concrete slab on ground, no added insulation.
External Walls	R2.5 added insulation to external walls. External wall solar absorptance: White Polar Quarter = 0.22 (as specified in the drawings)
Internal Walls	No added insulation for walls between conditioned and non - conditioned areas.
External Glazing	- Standard Aluminium framed Double glazed external windows: U-value ≤ 4.5 and SHGC = 0.40 (+/-5%). - Standard Single Glazed Energy Advantage glass to all external doors: U ≤ 4.7 , SHGC = 0.49 (+/- 5%). Capral series 275 hinged door frame with 6mm Energy Advantage glass.
Thermal Break	R0.2 thermal break tape is used for all steel-framed construction to reduce the thermal bridging effect.

Table 11: Proposed Building Fabric

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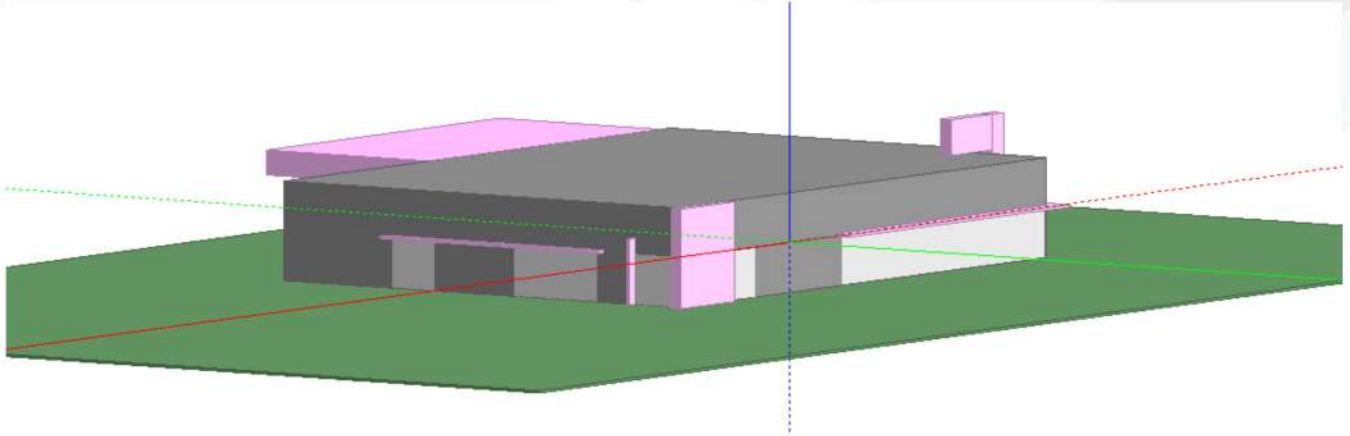


Figure 3-a. Modelling geometry of proposed development from preliminary energy modeling assessment

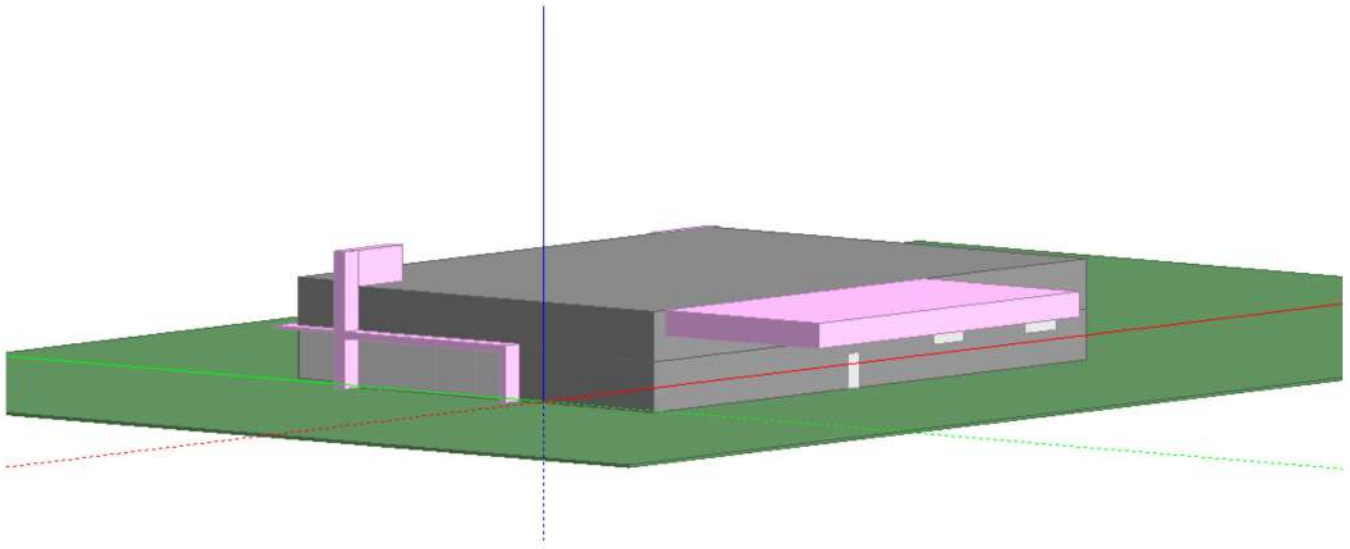


Figure 3-b. Modelling geometry of proposed development from preliminary energy modeling assessment

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Table J7D3a: Maximum illumination power density

Space	Maximum illumination power density (W/m ²)
Auditorium, church and public hall	8
Board room and conference room	5
Carpark - general	2
Carpark - entry zone (first 15 m of travel) during the daytime	11.5
Carpark - entry zone (next 4 m of travel) during the day	2.5
Carpark - entry zone (first 20 m of travel) during night time	2.5
Common rooms, spaces and corridors in a Class 2 building	4.5
Control room, switch room and the like - intermittent monitoring	3
Control room, switch room and the like - constant monitoring	4.5
Corridors	5
Courtroom	4.5
Dormitory of a Class 3 building used for sleeping only	3
Dormitory of a Class 3 building used for sleeping and study	4
Entry lobby from outside the building	9
Health-care - infants' and children's wards and emergency department	4
Health-care - examination room	4.5
Health-care - examination room in intensive care and high dependency ward	6
Health-care - all other <i>patient care areas</i> including wards and corridors	2.5
Kitchen and food preparation area	4
Laboratory - artificially lit to an ambient level of 400 lx or more	6
Library - stack and shelving area	2.5
Library - reading room and general areas	4.5
Lounge area for communal use in a Class 3 or 9c building	4.5
Museum and gallery - circulation, cleaning and service lighting	2.5
Office - artificially lit to an ambient level of 200 lx or more	4.5
Office - artificially lit to an ambient level of less than 200 lx	2.5

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Space	Maximum illumination power density (W/m ²)
Plant room where an average of 160 lx vertical illuminance is required on a vertical panel such as in switch rooms	4
Plant rooms with a horizontal illuminance target of 80 lx	2
Restaurant, café, bar, hotel lounge and a space for the serving and consumption of food or drinks	14
Retail space including a museum and gallery whose purpose is the sale of objects	14
<i>School</i> - general purpose learning areas and tutorial rooms	4.5
<i>Sole-occupancy unit</i> of a Class 3 or 9c building	5
Storage	1.5
Service area, cleaner's room and the like	1.5
Toilet, locker room, staff room, rest room and the like	3
Wholesale storage area with a vertical illuminance target of 160 lx	4
Stairways, including <i>fire-isolated stairways</i>	2
Lift cars	3

Figure 4: Maximum Illumination power density

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6.4 Indoor Environment Quality

Below is a summary of the performance against indoor environment quality benchmarks.

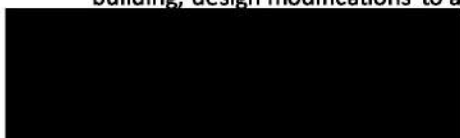
BESS Credit	Indoor Environment Quality Performance & Features	Responsibility
1.4	33.2% ³ of Office spaces have achieved at least 2% daylight factor for the regularly occupied spaces. Refer to 6.4.1 for daylight modelling results.	ESD Consultant & Architect
2.3	The HVAC system will provide 50% increase in outdoor air to regular use areas compared to the minimum required by AS 1668:2012.	
3.4	The part of north facing glazing is effectively shaded by the 1m deep horizontal shading. 41% of the glazing to North, East and West facades is sufficiently shaded. Refer to Section 6.4.2 for details.	
4.1	<ul style="list-style-type: none"> - All paints, sealants and adhesives will meet the maximum total indoor pollutant emission limits. - All carpet will meet the maximum total indoor pollutant emission limits. - All engineered wood will meet the maximum total indoor pollutant emission limits. <p>Accepted standards include meeting current GECA, Global GreenTag GreenRate, Carpet Institute Australia Environmental Classification Scheme Level 2, Green Star or WELL standards for TVOC in paints, adhesives and sealants (by volume) and carpets (by area) as well as for Formaldehyde in engineered wood (by area). Refer to Appendix C for VOC and Formaldehyde emission limits.</p>	Builder
Final IEQ Score		35%⁴

Table 12: Indoor Environmental Quality Features

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³ Please note that the detailed internal floor layout is currently unavailable. As such, the daylight assessment has been conducted using schematic internal fitouts based on a similar Vicroads office. The daylight score may be subject to change once the actual internal layout is confirmed.

⁴ As the detailed drawing set is not available at this stage, the IEQ assessment has been carried out using schematic internal fitouts based on a similar Vicroads office. The IEQ score are subject to change once the actual internal layout is confirmed. The proposed development does not currently meet the minimum IEQ requirements. Given that this is a government building, design modifications to achieve IEQ compliance could not be incorporated.



6.4.1 Daylight Modelling

The following assumptions have been made in the daylight modelling:

Building material assumptions for daylight modelling			
Glazing VLT: 0.6		Wall reflectivity: 0.7	
Floor reflectivity: 0.3		Ceiling reflectivity: 0.8	

Table 13: Building material assumptions for daylight modelling

Daylight modelling results are summarized as follows:

Nominated Space	Area Modelled (Floor Area) (m ²)	Area with Daylight factor >2 (m ²)	Compliance %
Vicroad's Office	923.1	306.1	33.2%
Total			33.2%

Table 14: Daylight results

Habitable/Accessible spaces compliant with the daylight requirements have been shown in figure 5 below.

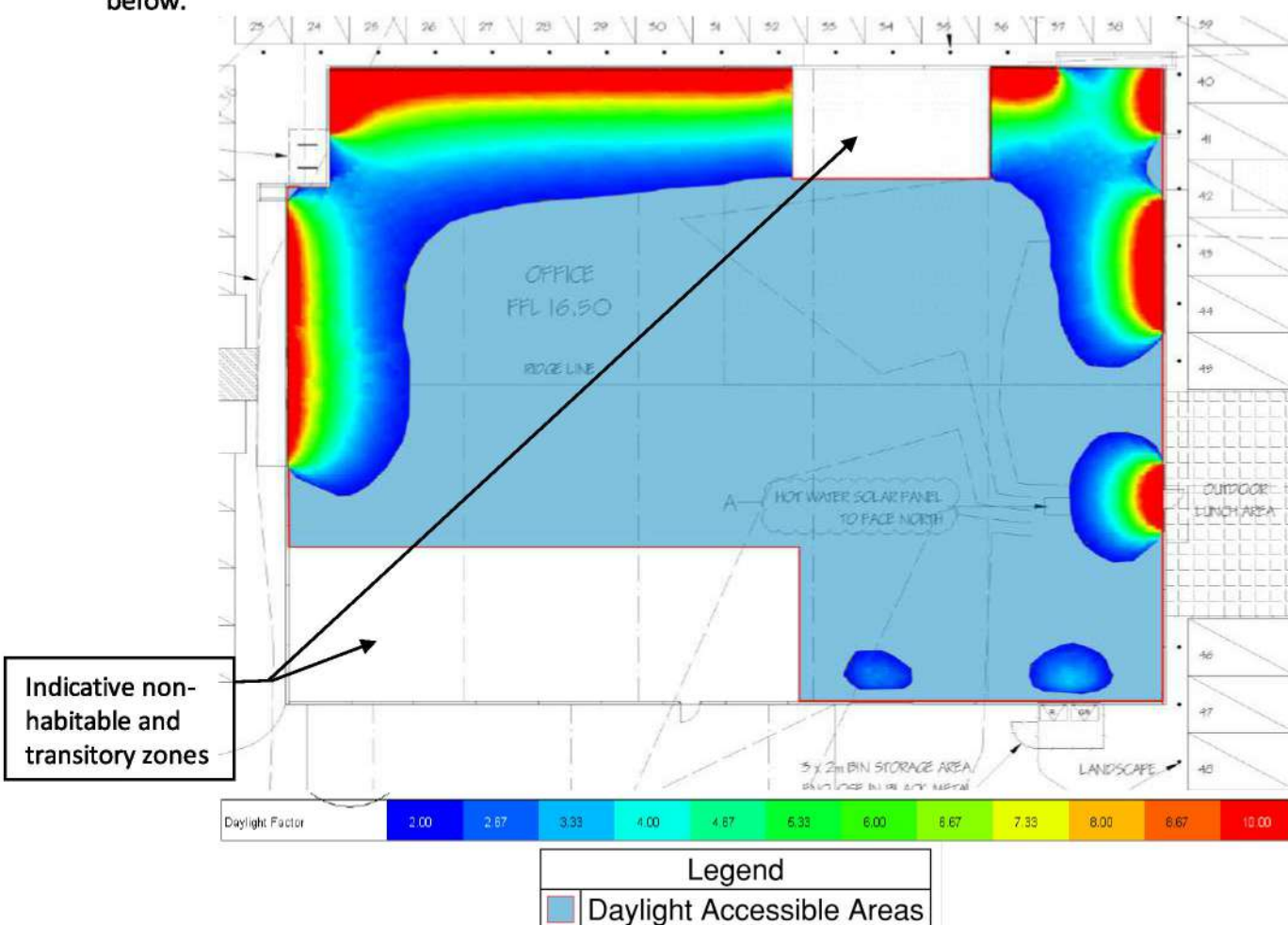


Figure 5. Daylight mapping for the proposed development

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6.4.2 Shading

As per Energy Smart Housing Manual⁵, the following shading strategies are considered as effective

- for north facing glazing, horizontal shading with depth of at least 25% of the height of the glazing.
- for east and west facing window:
 - o adjustable vertical shading; or
 - o horizontal shading with depth of the around twice of the window height.

For the development, the part of north facing glazing is effectively shaded by the 1m deep horizontal shading.

The below table summarises the glazing area on North, East and West Façades. Glazing that is sufficiently shaded is marked as green. 41% of the glazing to North, East and West Facades is sufficiently shaded.

Facade	Ground	Total	Effectively Shaded
North Facing Glazing (m2)	72.4	72.4	63.4
East Facing Glazing (m2)	36.0	36.0	0
West Facing Glazing (m2)	45.0	45.0	0
Total Area	153.4	153.4	41%

Table 15: Effective Shading Calculations

Glazing of habitable spaces compliant with shading requirements is shown in Figure 6 below.

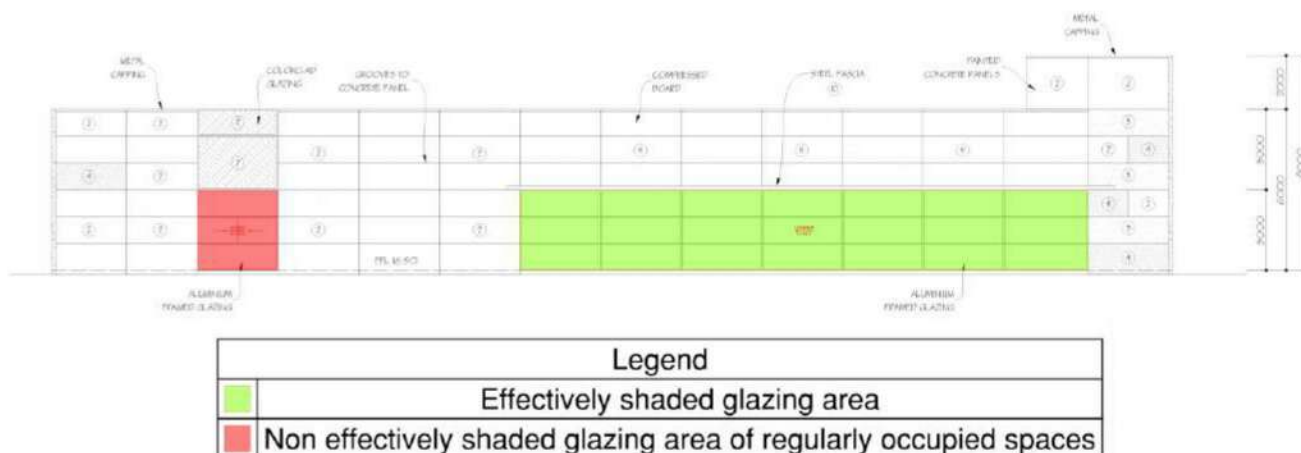


Figure 6. North Façade – Effectively shaded glazing area

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⁵ <https://assets.sustainability.vic.gov.au/susvic/Guide-Energy-Smart-Housing-Manual.pdf>

6.5 Transport

Below is a summary of the performance against transport benchmarks.

BESS Credit	Transport Features	Responsibility
1.4	3 x bicycle parking spaces will be provided on site for staff across the entire development.	Architect / Builder
1.5	1 x bicycle parking spaces will be provided on site for visitors across the entire development.	
1.6	The development includes one shower space and will provide 3 x lockers within the designated amenities area. The shower space, located within the WC for Disabled/Unisex room, will fulfill the end-of-trip facility requirements.	
Final Transport Score		75%

Table 16: Transport Features

6.6 Waste & Resource Recovery

Below is a summary of the performance against Waste & Resource Recovery benchmarks.

BESS Credit	Waste & Resource Recovery Features	Responsibility
2.2	The recycling and general waste will be provided in the same storage area.	Waste Consultant
-	The development is committed to recycling 80% of the construction and demolition waste.	Builder
Final Waste & Resource Recovery Score		33%

Table 17: Waste & Resource Recovery Features

6.7 Urban Ecology

Below is a summary of Urban Ecology features used in the proposed development.

BESS Credit	Urban Ecology Features	Responsibility
2.1	The site is covered with 12% of vegetation in the proposed development.	Landscape Architect & Architect
Final Urban Ecology Score		25%

Table 18: Urban Ecology Features

6.8 Innovation

We have not aimed to target any points in the innovation category.

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6.9 Building Material

BESS does not include a category dealing with sustainable building materials. As such, the project has reverted to the previous benchmark which was the STEPS tool. Refer to Appendix C for more information.

The following material specification achieves the minimum score under STEPS:

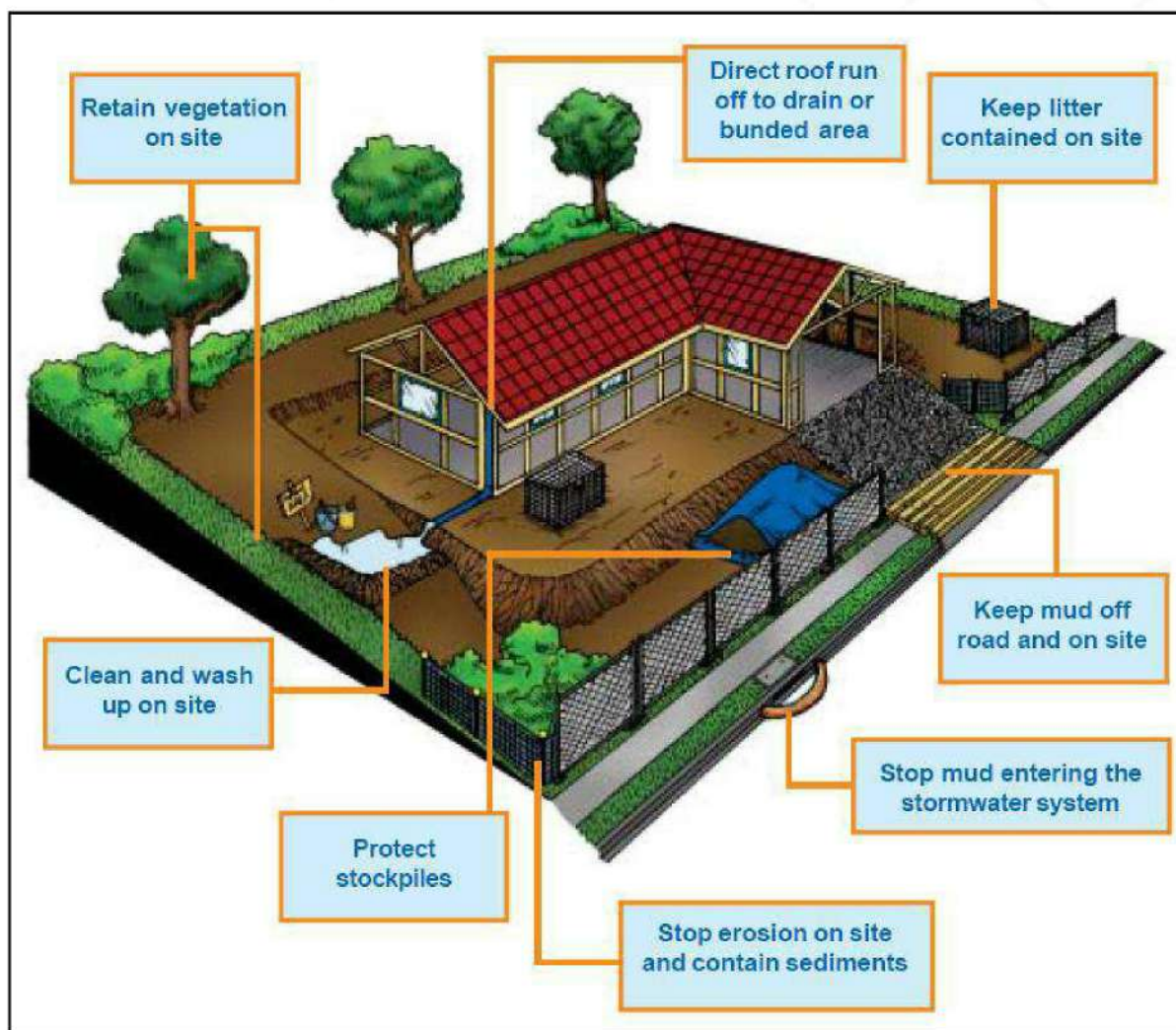
- Low VOC paints and sealants
- Aluminium framing for the windows
- All the carpets, engineered timber and adhesives/sealants meet the Green-star Benchmark for VOC's and emissions.
- Use of engineered wood products of E1 or E0 grade (MDF, plywood, engineered-wood flooring)
- Light colored roofs and concrete driveways (where possible) are considered in the development to help mitigate the Urban heat island effect.

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7. Stormwater Management at Construction Site

To manage stormwater management in the construction stage, measures will be put in place to minimise the likelihood of contaminating stormwater. This will mean ensuring buffer strips are in place, sediment traps are installed, and the site will be kept clean from any loose rubbish. The builder will follow the process outlined in “Keeping Our Stormwater Clean – A Builder’s Guide”.



Copies of “Keeping Our Stormwater Clean – A Builder’s Guide” booklet can be obtained from Melbourne Water by ringing on 131 722 or can be downloaded from the following website.

<https://www.clearwatervic.com.au/resource-library/guidelines-and-strategy/keeping-our-stormwater-clean-a-builders-guide.php>

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8. Conclusion

The project achieves all the minimum requirements under BESS except IEQ section⁶, the new industry ESD best practice benchmark, achieving a rating of 53%. For items not covered by BESS, performance was shown to be in line with industry best practice. The proposed development located at Lot 1 Exchange Drive Cnr Dovers Place, Pakenham VIC 3810 has a minimum scoring under the BESS assessment except IEQ section⁶. The assessment results demonstrate that the design achieves the best practice standard established by the BESS.

The Sustainable Management Plan is prepared to support the town planning application in accordance with the Clause 15.01 for Environmentally Sustainable Development and Clause 53.18 for Stormwater Management as mentioned in the City of Cardinia Shire Planning Scheme.

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⁶ As the detailed drawing set is not available at this stage, the IEQ assessment has been carried out using schematic internal fitouts based on a similar Vicroads office. The IEQ score are subject to change once the actual internal layout is confirmed. The proposed development does not currently meet the minimum IEQ requirements. Given that this is a government building, design modifications to achieve IEQ compliance could not be incorporated.



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BESS Report

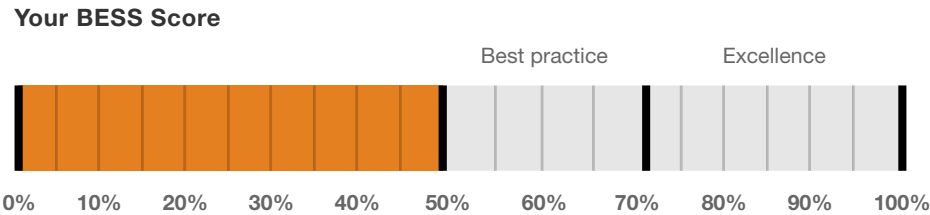
Built Environment Sustainability Scorecard

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This BESS report outlines the sustainable design commitments of the proposed development at Lot 1 Exchange Drive Pakenham Victoria 3810. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Cardinia Shire Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.



53%

Project details

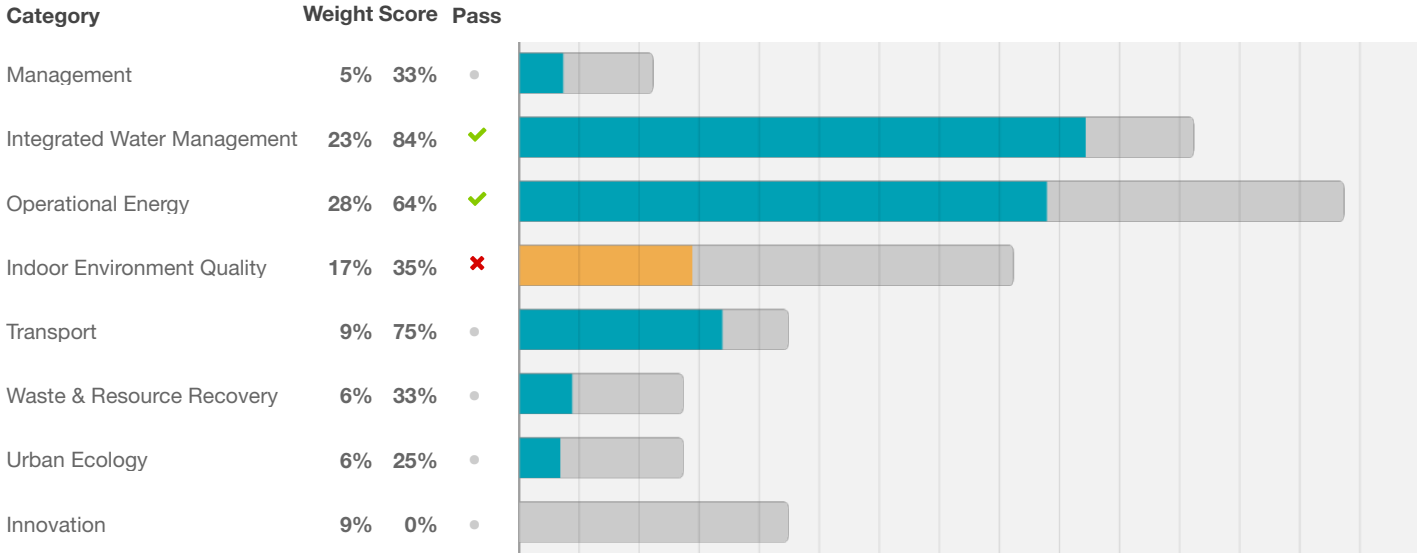
Name Lot 1 Exchange Drive Cnr Dovers Place, Pakenham VIC 3810
Address Lot 1 Exchange Drive Pakenham Victoria 3810
Project ID 41906911-R1
BESS Version BESS-9

Site type Non-residential development
Account esd@hexicon.com.au
Application no.
Site area 7,336 m²
Building floor area 1,150 m²
Date 10 June 2025
Software version 2.1.0-B.596



Performance by category

● This project ● Maximum available



Buildings

Name	Height	Footprint	% of total footprint
Vicroads Office development	1	1,150 m ²	100%

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Dwellings & Non Res Spaces

Non-Res Spaces

Name	Quantity	Area	Building	% of total area
Office				
Vicroads Office	1	1,150 m ²	Vicroads Office development	100%
Total	1	1,150 m²	100%	

Supporting Evidence

Shown on Floor Plans

Credit	Requirement	Response	Status
Integrated Water Management 2.1	Location of any stormwater management systems (rainwater tanks, raingardens, buffer strips)		-
Integrated Water Management 3.1	Annotation: Water efficient garden details		-
Transport 1.4	Location of non-residential bicycle parking spaces		-
Transport 1.5	Location of non-residential visitor bicycle parking spaces		-
Transport 1.6	Location of showers, change rooms and lockers as nominated		-
Transport 2.1	Location of electric vehicle charging infrastructure		-
Waste & Resource Recovery 2.2	Location of recycling facilities		-
Urban Ecology 2.1	Location and size of vegetated areas		-

Supporting Documentation

Credit	Requirement	Response	Status
Management 2.3a	Section J glazing assessment		-
Management 2.3b	Preliminary modelling report		-
Integrated Water Management 2.1	STORM report or MUSIC model		-
Operational Energy 1.1	Energy Report showing calculations of reference case and proposed buildings		-
Operational Energy 3.7	Average lighting power density and lighting type(s) to be used		-
Indoor Environment Quality 1.4	A short report detailing assumptions used and results achieved.		-

Credit summary

Management Overall contribution 4.5%

		33%
1.1 Pre-Application Meeting		0%
2.3 Thermal Performance Modelling - Non-Residential		100%
3.2 Metering - Non-Residential		N/A ⚡ Scoped Out
The development has single office tenancy.		
3.3 Metering - Common Areas		N/A ⚡ Scoped Out
Since the development consists of a single office tenancy, there are no common areas within the project.		
4.1 Building Users Guide		0%

IWM Overall contribution 22.5%

		84%	✔ Pass
1.1 Potable Water Use		54%	✔ Achieved
2.1 Stormwater Treatment		100%	✔ Achieved
3.1 Water Efficient Landscaping		100%	
4.1 Building Systems Water Use		N/A ⚡ Scoped Out	
The building does not have a sprinkler system and water based heat rejection systems.			

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Operational Energy Overall contribution 27.5%

		Minimum required 50%	64%	✓ Pass
1.1 Thermal Performance Rating - Non-Residential			26%	
2.1 Greenhouse Gas Emissions			100%	
2.2 Peak Demand			0%	
2.6 Electrification			100%	
2.7 Energy consumption			100%	
3.1 Carpark Ventilation			N/A	✦ Scoped Out
The development does not have any enclosed carpark.				
3.2 Hot Water - Non-Residential			100%	
3.7 Internal Lighting - Non-Residential			100%	
4.1 Combined Heat and Power (cogeneration / trigeneration)			N/A	✦ Scoped Out
No cogeneration or trigeneration system in use.				
4.2 Renewable Energy Systems - Solar			0%	⊘ Disabled
No solar PV renewable energy is in use.				
4.4 Renewable Energy Systems - Other			N/A	✦ Scoped Out
No other (non-solar PV) renewable energy is in use.				

IEQ Overall contribution 16.5%

		Minimum required 50%	35%	✗ Not Passed
1.4 Daylight Access - Non-Residential			33%	✓ Achieved
2.3 Ventilation - Non-Residential			50%	✓ Achieved
3.4 Thermal comfort - Shading - Non-Residential			0%	
3.5 Thermal Comfort - Ceiling Fans - Non-Residential			0%	
4.1 Air Quality - Non-Residential			100%	

Transport Overall contribution 9.0%

		75%
1.4 Bicycle Parking - Non-Residential		100%
1.5 Bicycle Parking - Non-Residential Visitor		100%
1.6 End of Trip Facilities - Non-Residential		100%
2.1 Electric Vehicle Infrastructure		100%
2.2 Car Share Scheme		0%
2.3 Motorbikes / Mopeds		0%

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Waste & Resource Recovery Overall contribution 5.5%

		33%
1.1 Construction Waste - Building Re-Use		0%
2.1 Operational Waste - Food & Garden Waste		0%
2.2 Operational Waste - Convenience of Recycling		100%

Urban Ecology Overall contribution 5.5%

		25%
1.1 Communal Spaces		0%
2.1 Vegetation		50%
2.2 Green Roofs		0%
2.3 Green Walls and Facades		0%
3.2 Food Production - Non-Residential		0%

Innovation Overall contribution 9.0%

		0%
1.1 Innovation		0%

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Credit breakdown


Management Overall contribution 4.5%

		33%
--	--	-----

1.1 Pre-Application Meeting		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?	
Question	Criteria Achieved ?	
Project	No	
2.3 Thermal Performance Modelling - Non-Residential		100%
Score Contribution	This credit contributes 33.3% towards the category score.	
Criteria	Has a preliminary facade assessment been undertaken in accordance with NCC2022 Section J4D6?	
Question	Criteria Achieved ?	
Office	Yes	
Criteria	Has preliminary modelling been undertaken in accordance with either NCC2022 Section J (Energy Efficiency), NABERS or Green Star?	
Question	Criteria Achieved ?	
Office	Yes	
3.2 Metering - Non-Residential		N/A ✦ Scoped Out
The development has single office tenancy.		
This credit was scoped out	The development has single office tenancy.	
3.3 Metering - Common Areas		N/A ✦ Scoped Out
Since the development consists of a single office tenancy, there are no common areas within the project.		
This credit was scoped out	Since the development consists of a single office tenancy, there are no common areas within the project.	
4.1 Building Users Guide		0%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will a building users guide be produced and issued to occupants?	
Question	Criteria Achieved ?	
Project	No	

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IWM Overall contribution 22.5%84%  **Pass**

Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Stormwater profile	
Which stormwater modelling software are you using?:	MUSIC or other modelling software
STORM score achieved:	100
Flow:	2 %
Total Suspended Solids:	81 %
Total Phosphorus:	76 %
Total Nitrogen:	56 %
Rainwater tank profile	
What is the total roof area connected to the rainwater tank?: Rainwater Tank 1	291 m ²
Tank Size: Rainwater Tank 1	5,000 Litres
Irrigation area connected to tank: Rainwater Tank 1	-
Is connected irrigation area a water efficient garden?: Rainwater Tank 1	No
Other external water demand connected to tank?: Rainwater Tank 1	-
Fixtures, fittings & connections profile	
Building:	Vicroads Office development
Showerhead:	4 Star WELS (>= 6.0 but <= 7.5)
Bath:	Scope out
Kitchen Taps:	>= 5 Star WELS rating
Bathroom Taps:	>= 5 Star WELS rating
Dishwashers:	Scope out
WC:	>= 4 Star WELS rating
Urinals:	Scope out
Washing Machine Water Efficiency:	Scope out
Which non-potable water source is the dwelling/space connected to?:	Rainwater Tank 1
Non-potable water source connected to Toilets:	Yes
Non-potable water source connected to Laundry (washing machine):	No
Non-potable water source connected to Hot Water System:	No
1.1 Potable Water Use	54%  Achieved

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Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.
Output	Reference
Project	1940 kL
Output	Proposed (excluding rainwater and recycled water use)
Project	1460 kL
Output	Proposed (including rainwater and recycled water use)
Project	1250 kL
Output	% Reduction in Potable Water Consumption
Project	35 %
Output	% of connected demand met by rainwater
Project	37 %
Output	How often does the tank overflow?
Project	Never / Rarely
Output	Opportunity for additional rainwater connection
Project	271 kL
2.1 Stormwater Treatment	
	100%  Achieved
Score Contribution	This credit contributes 60% towards the category score.
Criteria	Has best practice stormwater management been demonstrated?
Output	Flow
Project	2 %
Output	Min Suspended Solids reduction
Project	80 %
Output	Total Suspended Solids reduction
Project	81 %
Output	Min Phosphorus reduction
Project	45 %
Output	Total Phosphorus reduction
Project	76 %
Output	Min Nitrogen reduction
Project	45 %
Output	Total Nitrogen reduction
Project	56 %
3.1 Water Efficient Landscaping	
	100%
Score Contribution	This credit contributes 6.7% towards the category score.
Criteria	Will water efficient landscaping be installed?
Question	Criteria Achieved ?
Project	Yes
4.1 Building Systems Water Use	
	N/A  Scoped Out
The building does not have a sprinkler system and water based heat rejection systems.	

This credit was scoped out	The building does not have a sprinkler system and water based heat rejection systems.
----------------------------	---

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Operational Energy Overall contribution 27.5%

		Minimum required 50%	64%	✓ Pass
--	--	----------------------	-----	--------

Project profile	
Use the BESS Deem to Satisfy (DtS) method for Non-residential No spaces?:	
Are you installing any renewable energy system(s) (other than solar photovoltaic)?:	No
Energy Supply:	All-electric
Non-residential buildings profile	
Heating, Cooling & Comfort Ventilation Electricity Reference fabric and Reference services:	10,223 kWh
Heating, Cooling & Comfort Ventilation Electricity Proposed fabric and Reference services:	9,656 kWh
Heating, Cooling & Comfort Ventilation Electricity Proposed fabric and Proposed services:	9,656 kWh
Heating Wood Reference fabric and Reference services:	0.0 MJ
Heating Wood Proposed fabric and Reference services:	0.0 MJ
Heating Wood Proposed fabric and Proposed services:	0.0 MJ
Hot Water Electricity - Reference:	8,261 kWh
Hot Water Electricity - Proposed:	8,261 kWh
Lighting Electricity - Reference:	17,431 kWh
Lighting Electricity - Proposed:	17,431 kWh
Peak Thermal Cooling Load Reference:	0.0 kW
Peak Thermal Cooling Load Proposed:	0.0 kW
1.1 Thermal Performance Rating - Non-Residential	
Score Contribution	This credit contributes 36.4% towards the category score.
Criteria	What is the % reduction in heating and cooling energy consumption against the reference case (NCC2022 Section J)?
Output	Total Improvement
Office	5 %

2.1 Greenhouse Gas Emissions			100%
Score Contribution	This credit contributes 9.1% towards the category score.		
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?		
Output	Reference Building with Reference Services (BCA only)		
Office	14,602 kg CO2		
Output	Proposed Building with Proposed Services (Actual Building)		
Office	14,154 kg CO2		
Output	% Reduction in GHG Emissions		
Office	3 %		
2.2 Peak Demand			0%
Score Contribution	This credit contributes 4.5% towards the category score.		
Criteria	What is the % reduction in the instantaneous (peak-hour) demand against the benchmark?		
2.6 Electrification			100%
Score Contribution	This credit contributes 13.6% towards the category score.		
Criteria	Is the development all-electric?		
Question	Criteria Achieved?		
Project	Yes		
2.7 Energy consumption			100%
Score Contribution	This credit contributes 18.2% towards the category score.		
Criteria	What is the % reduction in annual energy consumption against the benchmark?		
Output	Reference Building with Reference Services (BCA only)		
Office	66,542 MJ		
Output	Proposed Building with Proposed Services (Actual Building)		
Office	64,501 MJ		
Output	% Reduction in total energy		
Office	3 %		
3.1 Carpark Ventilation			N/A  Scoped Out
The development does not have any enclosed carpark.			
This credit was scoped out		The development does not have any enclosed carpark.	
3.2 Hot Water - Non-Residential			100%

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	Score Contribution	This credit contributes 4.5% towards the category score.	
	Criteria	What is the % reduction in annual energy consumption (gas and electricity) of the hot water system against the benchmark?	
	Annotation	Solar water heating will be installed in the development. This is acknowledged as the highly energy-efficient solution, significantly reducing energy consumption and greenhouse gas emissions from the building's energy use.	
	Output	Reference	
	Office	29,740 MJ	
	Output	Proposed	
	Office	29,740 MJ	
	Output	Improvement	
	Office	0 %	
	3.7 Internal Lighting - Non-Residential		100%
	Score Contribution	This credit contributes 9.1% towards the category score.	
	Criteria	Does the maximum illumination power density (W/m2) in at least 90% of the area of the relevant building class meet the requirements in Table J7D3a of the NCC 2022 Vol 1?	
	Question	Criteria Achieved ?	
	Office	Yes	
	4.1 Combined Heat and Power (cogeneration / trigeneration)		N/A  Scoped Out
	No cogeneration or trigeneration system in use.		
	This credit was scoped out		No cogeneration or trigeneration system in use.
	4.2 Renewable Energy Systems - Solar		0%  Disabled
	No solar PV renewable energy is in use.		
	This credit is disabled		No solar PV renewable energy is in use.
	4.4 Renewable Energy Systems - Other		N/A  Scoped Out
	No other (non-solar PV) renewable energy is in use.		
	This credit was scoped out		No other (non-solar PV) renewable energy is in use.

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IEQ Overall contribution 16.5%

			Minimum required 50%	35%	✗ Not Passed
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1.4 Daylight Access - Non-Residential		33%	✓ Achieved
Score Contribution	This credit contributes 35.3% towards the category score.		
Criteria	What % of the nominated floor area has at least 2% daylight factor?		
Question	Percentage Achieved?		
Office	33 %		
2.3 Ventilation - Non-Residential		50%	✓ Achieved
Score Contribution	This credit contributes 35.3% towards the category score.		
Criteria	What % of the regular use areas are effectively naturally ventilated?		
Question	Percentage Achieved?		
Office	0 %		
Criteria	What increase in outdoor air is available to regular use areas compared to the minimum required by AS 1668.2:2012?		
Question	Percentage Achieved?		
Office	100 %		
Criteria	What CO2 concentrations are the ventilation systems designed to achieve, to monitor and to maintain?		
Question	Value		
Office	0 ppm		
3.4 Thermal comfort - Shading - Non-Residential		0%	
Score Contribution	This credit contributes 17.6% towards the category score.		
Criteria	What percentage of east, north and west glazing to regular use areas is effectively shaded?		
Question	Percentage Achieved?		
Office	41 %		
3.5 Thermal Comfort - Ceiling Fans - Non-Residential		0%	
Score Contribution	This credit contributes 5.9% towards the category score.		
Criteria	What percentage of regular use areas in tenancies have ceiling fans?		
Question	Percentage Achieved?		
Office	-		
4.1 Air Quality - Non-Residential		100%	
Score Contribution	This credit contributes 5.9% towards the category score.		

Criteria	Do all paints, sealants and adhesives meet the maximum total indoor pollutant emission limits?
Question	Criteria Achieved ?
Office	Yes
Criteria	Does all carpet meet the maximum total indoor pollutant emission limits?
Question	Criteria Achieved ?
Office	Yes
Criteria	Does all engineered wood meet the maximum total indoor pollutant emission limits?
Question	Criteria Achieved ?
Office	Yes

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Transport Overall contribution 9.0%

		75%
--	--	-----

1.4 Bicycle Parking - Non-Residential		100%
Score Contribution	This credit contributes 25% towards the category score.	
Criteria	Have the planning scheme requirements for employee bicycle parking been exceeded by at least 50% (or a minimum of 2 where there is no planning scheme requirement)?	
Question	Criteria Achieved ?	
Office	Yes	
Question	Bicycle Spaces Provided ?	
Office	3	
1.5 Bicycle Parking - Non-Residential Visitor		100%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Have the planning scheme requirements for visitor bicycle parking been exceeded by at least 50% (or a minimum of 1 where there is no planning scheme requirement)?	
Question	Criteria Achieved ?	
Office	Yes	
Question	Bicycle Spaces Provided ?	
Office	1	
1.6 End of Trip Facilities - Non-Residential		100%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Where adequate bicycle parking has been provided. Is there also: * 1 shower for the first 5 employee bicycle spaces plus 1 to each 10 employee bicycles spaces thereafter, * changing facilities adjacent to showers, and * one secure locker per employee bicycle space in the vicinity of the changing / shower facilities?	
Question	Number of showers provided ?	
Office	1	
Question	Number of lockers provided ?	
Office	3	
Output	Min Showers Required	
Office	1	
Output	Min Lockers Required	
Office	3	
2.1 Electric Vehicle Infrastructure		100%
Score Contribution	This credit contributes 25% towards the category score.	
Criteria	Are facilities provided for the charging of electric vehicles?	
Question	Criteria Achieved ?	
Project	Yes	
2.2 Car Share Scheme		0%

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Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Has a formal car sharing scheme been integrated into the development?
Question	Criteria Achieved ?
Project	No

2.3 Motorbikes / Mopeds		0%
--------------------------------	--	----

Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Are a minimum of 5% of vehicle parking spaces designed and labelled for motorbikes (must be at least 5 motorbike spaces)?
Question	Criteria Achieved ?
Project	No

Waste & Resource Recovery Overall contribution 5.5%

		33%
--	--	------------

1.1 Construction Waste - Building Re-Use		0%
---	--	----

Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?
Question	Criteria Achieved ?
Project	No

2.1 Operational Waste - Food & Garden Waste		0%
--	--	----

Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	Are facilities provided for on-site management of food and garden waste?
Question	Criteria Achieved ?
Project	No

2.2 Operational Waste - Convenience of Recycling		100%
---	--	------

Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	Are the recycling facilities at least as convenient for occupants as facilities for general waste?
Question	Criteria Achieved ?
Project	Yes

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Urban Ecology Overall contribution 5.5%

		25%
1.1 Communal Spaces		0%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Is there at least the following amount of common space measured in square meters : * 1m ² for each of the first 50 occupants * Additional 0.5m ² for each occupant between 51 and 250 * Additional 0.25m ² for each occupant above 251?	
Question	Common space provided	
Office	-	
Output	Minimum Common Space Required	
Office	71 m ²	
2.1 Vegetation		50%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?	
Question	Percentage Achieved ?	
Project	12 %	
2.2 Green Roofs		0%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Does the development incorporate a green roof?	
Question	Criteria Achieved ?	
Project	No	
2.3 Green Walls and Facades		0%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Does the development incorporate a green wall or green façade?	
Question	Criteria Achieved ?	
Project	No	
3.2 Food Production - Non-Residential		0%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	What area of space per occupant is dedicated to food production?	
Question	Food Production Area	
Office	-	
Output	Min Food Production Area	
Office	23 m ²	

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Innovation Overall contribution 9.0%

	0%
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1.1 Innovation		0%
Score Contribution	This credit contributes 100% towards the category score.	
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?	

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Façade

Report



Calculator

Project Summary

Date
10/06/2025

Name
Dhvanit

Company
Hexicon ESD consulting

Position
Director

Building Name / Address
Proposed Office, Lot 1 Exchange Drive Cnr Dovers Place,
Pakenham VIC 3810

Building State
VIC

Climate Zone

Climate Zone 6 - Mild temperate

Building Classification

Class 5 - office building

Storeys Above Ground
1

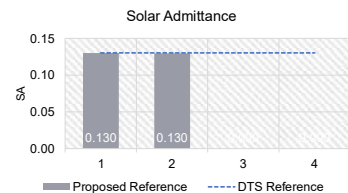
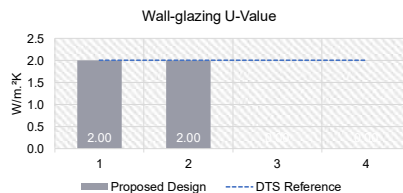
Tool Version
1.2 (June 2020)

The summary below provides an overview of where compliance has been achieved for Specification J1.5a - Calculation of U-Value and solar admittance - Method 1 (Single Aspect) and Method 2 (Multiple Aspects).

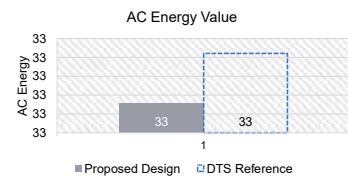
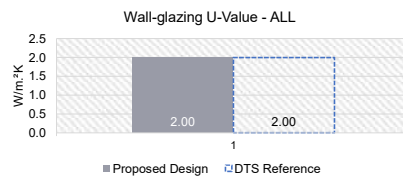
Compliant Solution =
Non-Compliant Solution =

	North	East	Method 1 South	West	Method 2 All
Wall-glazing U-Value (W/m ² .K)	2.00	1.97	0.83	2.00	1.65
Solar Admittance	0.13	0.13	0.02	0.13	
AC Energy	141				

Method 1



Method 2



Project Details

	North	East	South	West
Glazing Area (m ²)	72.39	36	5.7	44.96
Glazing to Façade Ratio	30%	20%	2%	25%
Glazing References	NG1 NG2	EG1 EG2	SG1	WG1 WG2
Glazing System Types	DEFAULTS (GENERIC)	DEFAULTS (GENERIC)	DEFAULTS (GENERIC)	DEFAULTS (GENERIC)
Glass Types	North Glazing	East Glazing	South Glazing	West Glazing
Frame Types	Aluminium	Aluminium	Aluminium	Aluminium
Average Glazing U-Value (W/m ² .K)	4.28	5.80	5.80	5.05
Average Glazing SHGC	0.58	0.81	0.81	0.81
Shading Systems	Horizontal	Horizontal	Horizontal	Horizontal
Wall Area (m ²)	165.04	142.25	240.35	137.11
Wall Types	Wall	Wall	Wall	Wall
Methodology	Wall			
Wall Construction	External Wall_R1.0	External Wall_R1.0	External Wall_R1.4	External Wall_R1.4
Wall Thickness	150	150	150	150
Average Wall R-value (m ² .K/W)	1.00	1.00	1.40	1.00
Solar Absorptance	0.6	0.6	0.6	0.6

Appendix C – VOC & Formaldehyde Emission Limits

The following table are an extract of the Green Star Design and as built submission guidelines:

Table 13.1.1: Maximum TVOC Limits for Paints, Adhesives and Sealants

Product Category	Max TVOC content in grams per litre (g/L) of ready to use product.
General purpose adhesives and sealants	50
Interior wall and ceiling paint, all sheen levels	16
Trim, varnishes and wood stains	75
Primers, sealers and prep coats	65
One and two pack performance coatings for floors	140
Acoustic sealants, architectural sealant, waterproofing membranes and sealant, fire retardant sealants and adhesives	250
Structural glazing adhesive, wood flooring and laminate adhesives and sealants	100

The product complies with the Total VOC (TVOC) limits specified in the Table below.

Carpet Test Standards and TVOC Emissions Limits

Test protocol	Limit
ASTM D5116 - Total VOC limit	0.5mg/m ² per hour
ASTM D5116 - 4-PC (4-Phenylcyclohexene)	0.05mg/m ² per hour
ISO 16000 / EN 13419 - TVOC at three days	0.5 mg/m ² per hour
ISO 10580 / ISO/TC 219 (Document N238) - TVOC at 24 hours	0.5mg/m ² per hour

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Table 13.2: Formaldehyde Emission Limit Values for Engineered Wood Products

Test Protocol	Emission Limit/ Unit of Measurement
AS/NZS 2269:2004, testing procedure AS/NZS 2098.11:2005 method 10 for Plywood	≤1mg/ L
AS/NZS 1859.1:2004 - Particle Board, with use of testing procedure AS/NZS 4266.16:2004 method 16	≤1.5 mg/L
AS/NZS 1859.2:2004 - MDF, with use of testing procedure AS/NZS 4266.16:2004 method 16	≤1mg/ L
AS/NZS 4357.4 - Laminated Veneer Lumber (LVL)	≤1mg/ L
Japanese Agricultural Standard MAFF Notification No.701 Appendix Clause 3 (11) - LVL	≤1mg/ L
JIS A 5908:2003- Particle Board and Plywood, with use of testing procedure JIS A 1460	≤1mg/ L
JIS A 5905:2003 - MDF, with use of testing procedure JIS A 1460	≤1mg/ L
JIS A1901 (not applicable to Plywood, applicable to high pressure laminates and compact laminates)	≤0.1 mg/m ² hr*
ASTM D5116 (applicable to high pressure laminates and compact laminates)	≤0.1 mg/m ² hr
ISO 16000 part 9, 10 and 11 (also known as EN 13419), applicable to high pressure laminates and compact laminates	≤0.1 mg/m ² hr (at 3 days)
ASTM D6007	≤0.12mg/m ³ **
ASTM E1333	≤0.12mg/m ³ ***
EN 717-1 (also known as DIN EN 717-1)	≤0.12mg/m ³
EN 717-2 (also known as DIN EN 717-2)	≤3.5mg/m ² hr

*mg/m²hr may also be represented as mg/m³/hr.

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Appendix D – WSUD Maintenance Plan

This section of the document outlines the key inspection and maintenance activities for each stormwater treatment asset type and is based on Melbourne Water's WSUD Maintenance Guidelines. The implementation of the maintenance program is the responsibility of the owner's corporation. The Gross Pollutant Trap is considered in the development to prevent harmful sediments and pollutants to enter in the water. GPT maintenance is included in the following plan with Owner's responsibility and arranging regular servicing by the GPT company provider.

B.1 Rainwater Harvesting Tanks

Rainwater harvesting tanks typically collect rainwater from a building's roof or other surface relatively free of pollutants. Captured rainwater can generally be re-used for toilet flushing and landscape irrigation with minimal treatment required.

The following provides a guide to the timing of inspection and maintenance activities for the typical components of this system.

Component	Key Activities	Typical Frequency
Roof	<ul style="list-style-type: none"> - Remove leaf litter and debris - Check general condition of roof for signs of leakage, including broken tiles, and rusting 	1 month
Gutters and Downpipes	<ul style="list-style-type: none"> - Remove leaf litter and gross pollutants - Check general condition of drainage systems for signs of leakage, including damaged pipes and rusting 	1 month
First Flush Device	<ul style="list-style-type: none"> - Inspect inlet screens for blockages or fouling - Inspect silt traps and collection pits, clean as required - Inspect diversion pit and remove any build-up of sludge blocking the diversion valve - Check all float operations and activation switches (if applicable) - Check general condition of components for loose connections, wear and tear, and signs of leakage 	1 - 3 months
	<ul style="list-style-type: none"> - Arrange licensed EPA contractor to remove built-up sludge accrued in all pits (if applicable) 	6 months
Tanks	<ul style="list-style-type: none"> - Ensure inlet and overflow screens are not blocked or fouled - Remove excess layers of sludge and biofilms on tank walls if affecting the color or smell of the tank water - Check general condition of tank for signs of damage or leakage 	3 – 6 months
Pumps	<ul style="list-style-type: none"> - Pumping systems are to be maintained in accordance with the manufacturers' specifications 	Refer manufacturers' details
Vegetation	<ul style="list-style-type: none"> - Prune surrounding vegetation and overhanging trees to reduce leaf litter and debris. 	6 months

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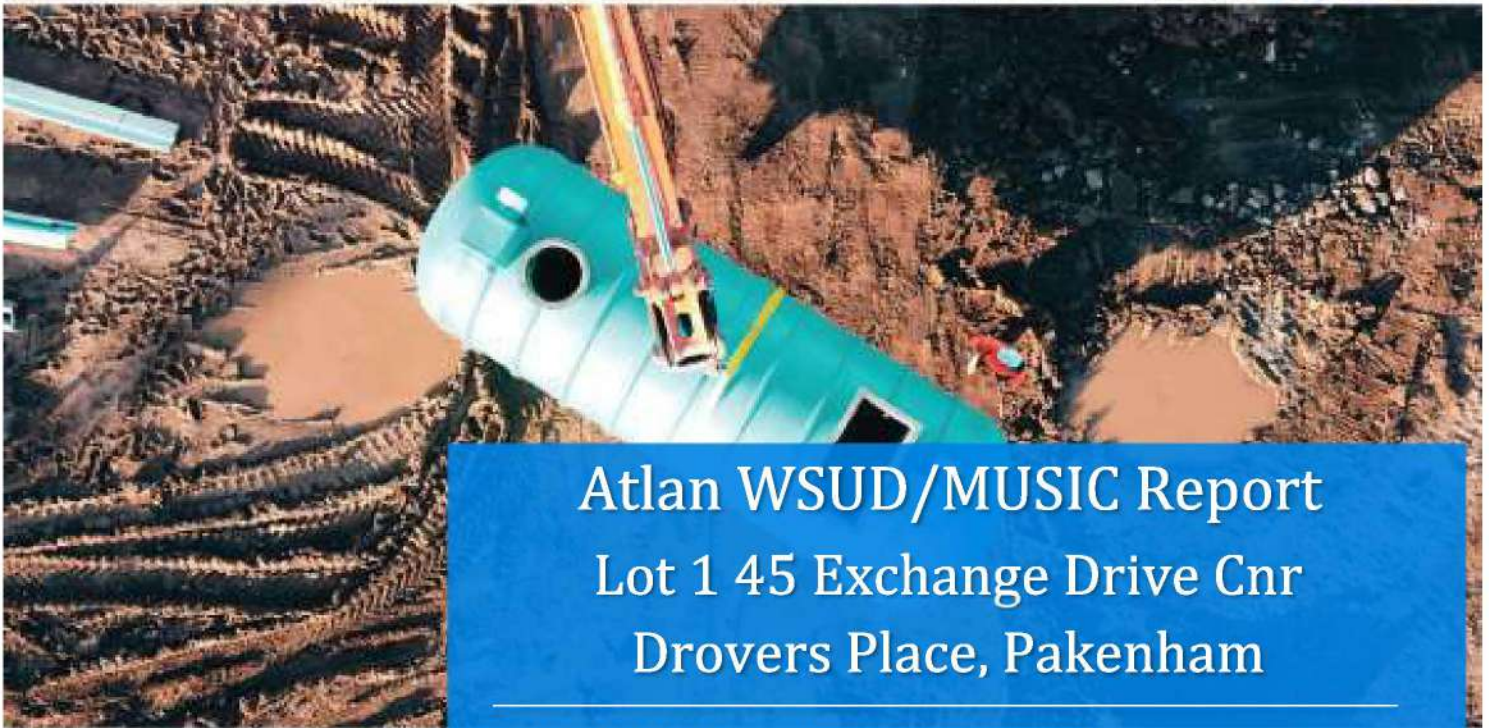


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Atlan

STORMWATER



Atlan WSUD/MUSIC Report

Lot 1 45 Exchange Drive Cnr Drovers Place, Pakenham

PROJECT NUMBER:
25-78159

DATE:
27th of May, 2025

Victoria Office
Atlan Stormwater
71 Star Crescent
Hallam VIC 3803

WSUD/MUSIC Report | 29-35 Halsey Road, Airport West

Frater Consulting Services

Project Site

=



Figure 1: Existing Site Conditions

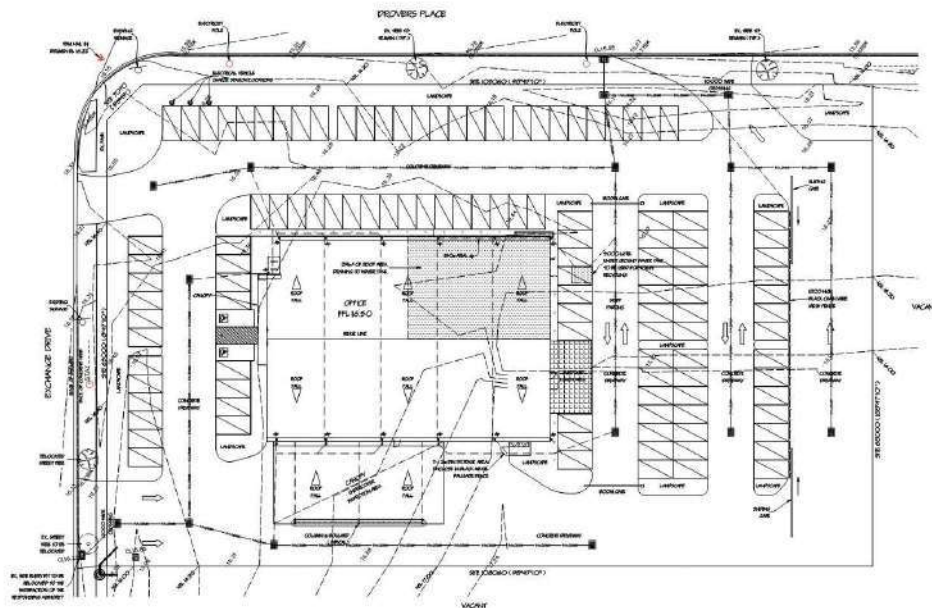


Figure 2: Proposed Development

MUSIC Inputs

10 Year rainfall template: Melbourne Airport, 1987-1997 6-minute

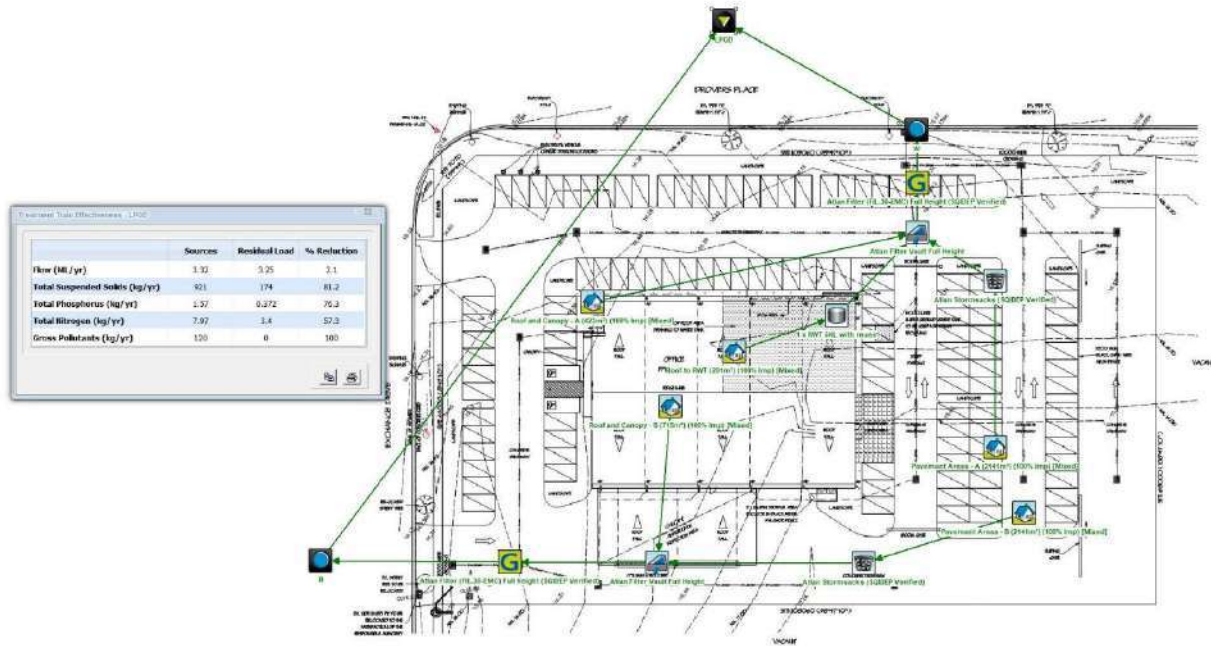


Figure 3: MUSIC Model Configuration

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Catchment Details

Catchment	Size (m ²)	Imperviousness (%)
Roof and Canopy - A	423	100
Roof to RWT	291	100
Pavement Areas - A	2141	100
Roof and Canopy - B	715	100
Pavement Areas - B	2141	100

Treatment Details

ATLAN Stormsack

System Type: GPT (Gross Pollutant Trap)

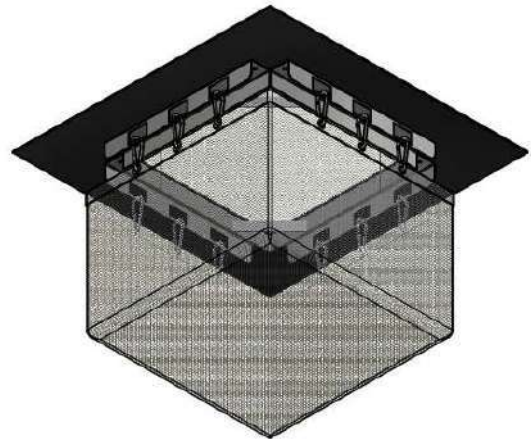
Treatment Type: Primary

Model: STS.6060.C1

Treatment Flow Rate: 25 L/s (each)

Pollutant Removal Rates

Pollutant	TSS	TP	TN	GP
Input (mg/L)	1000	5	50	15
Output (mg/L)	550	2.65	37.5	0



ATLAN Filter

System Type: Filter Cartridge System

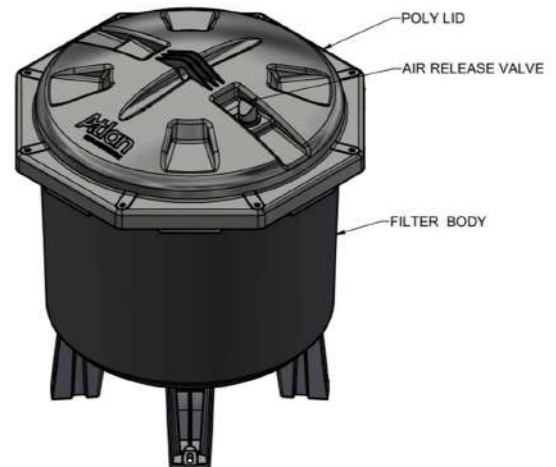
Treatment Type: Tertiary

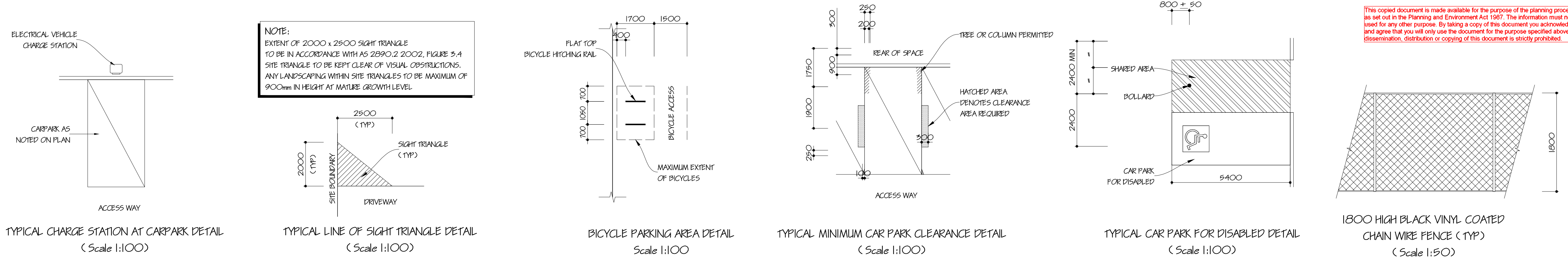
Model: FIL-3.0

Treatment Flow Rate: 3 L/s

Pollutant Removal Rates

Pollutant	TSS	TP	TN	GP
Input (mg/L)	1000	10	100	100
Output (mg/L)	150	2.6	41	5





Sustainable Design Assessment (SDA)
These plans are to be read in conjunction and comply with SDA report.

Fittings and fixtures
The following water efficient fittings are specified for use throughout the development. They will reduce overall consumption of water and water costs to the tenants.

- Showerheads 4 Star WELS Rating
- Basin Taps 5 Star WELS Rating
- WC Toilets 4 Star WELS Rating
- Urinals 5 Star WELS Rating
- Kitchen Taps 5 Star WELS Rating
- Dishwasher 5 Star WELS Rating

Lighting
High efficiency LED panel lights will be provided for all interior office lighting with motion sensor controls to communal areas.

Solar panels
Roof will be designed to carry solar panels.

Water tanks
5000 litre underground water tank permanently connected to toilets.

Heating and cooling system
Full economy cycle ducted heating and cooling systems are proposed within all office areas and other conditioned spaces. Variable speed drives applied to fan-coil units in ducted heating and cooling system. These systems will incorporate a high efficiency equivalent to 5 stars.

Natural ventilation
Office areas to be provided with ventilation systems that are designed and monitored to allow a 90% increase in outdoor air is available to regular use areas compared to the minimum required by AS 1668:2012 and maintain a maximum CO2 concentration of 800ppm.

Hot water system
Hot water efficiency is provided by a roof mounted, high efficiency electric-instantaneous boosted system, with a solar contribution greater than 80% (flat plate collector system if recommended). These high efficient solar systems reduce the energy consumption for water heating significantly compared to traditional electric only or gas only systems.

Construction waste management
A minimum of 80% of all construction and demolition waste generated on-site will be reused or recycled.

Construction environment management
The builder will identify environmental risks related to construction and include management strategies such as maintaining effective erosion and sediment control measures during construction and operation and ensure that appropriate staging of earthworks.

Marketing areas:

Site area: 7336 m²

Office: 1150 m²

Carparks: 117 off

- All carparks to be 2600 W x 4900 L MIN

- Carparks for disabled to be 2400 W x 5400 L MIN WITH 2400 W SHARED PATHWAY

- All driveways & carparks to have 150mm THICK REINFORCED CONCRETE

- Pathways to be concrete paved unless otherwise noted

- Ramps for disabled to comply with AS 1428.1 - 2009

- All levels to AHD

Disabled signage to comply with BCA D3.6 AND AS 2890.6-2009

Extent of pathway, shared area and circulation space for disabled

60 watt LED flood light to be baffled to limit light spill beyond site boundaries

Bicycle parking spaces
Flat top bicycle parking space. Dimensions and access to be in accordance with Bicycle Victoria, the Bicycle Handbook. Signage for bicycle parking to conform with clause 52.34-5 of the planning scheme

PLANNING ISSUE

REVISION	
06/06/2025	B 1P QUERIES
26/09/2025	A ESD REQUIREMENTS

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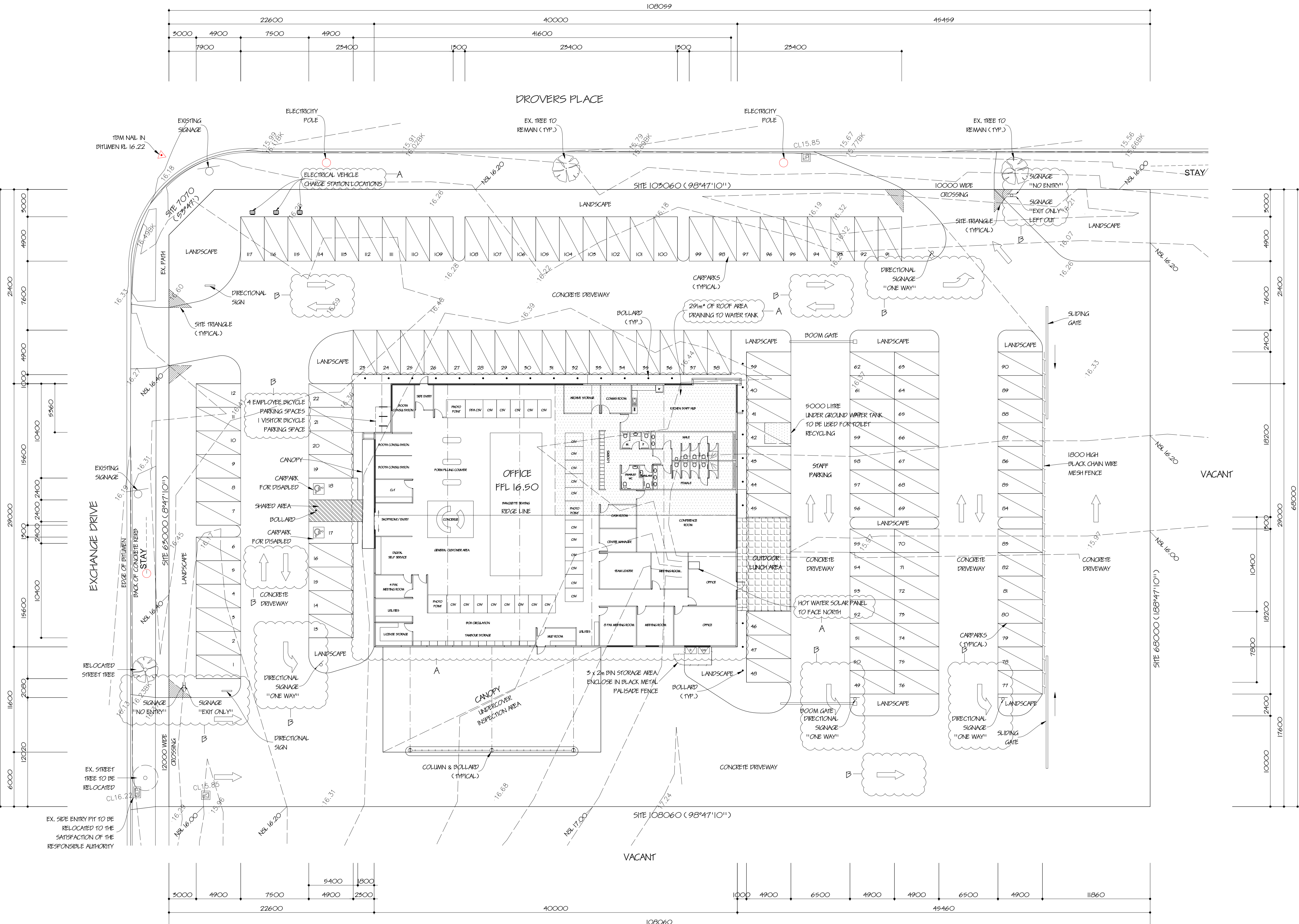
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CLIENT

DATE FEB '25 SCALE 1:200

DRAWN DN SHEET 1P1

DRG No 6581/25 ISSUE B



SITE DEVELOPMENT PLAN

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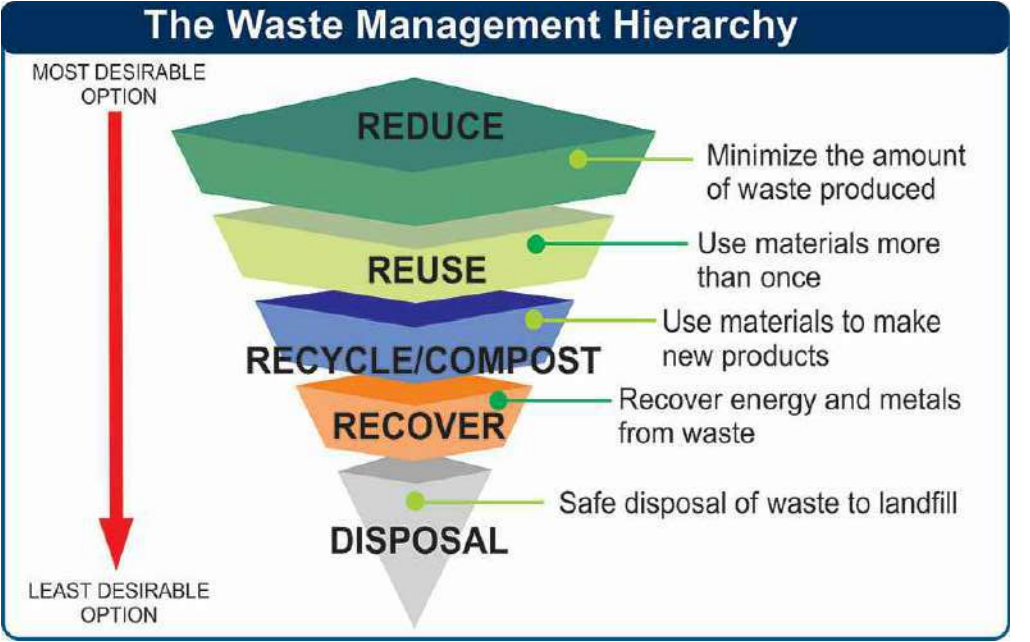
BUILDING No	MIN BIN REQUIREMENTS		MIN BIN PROVIDED
	Gen Waste	Recycle	
1	525 Litre	525 Litre	660 Litre Wheelie Bins



GOALS OF WASTE MANAGEMENT:
INFRASTRUCTURE:
TO ENSURE THAT THERE IS ADEQUATE INFRASTRUCTURE TO GIVE INDUSTRIAL AND COMMERCIAL BUSINESSES OPPORTUNITIES TO RECYCLE SOLID WASTE

WASTE REDUCTION AND RECYCLING RATES:
REDUCE AND RECYCLE AT LEAST 25% OF THE SOLID WASTE GENERATED BY THE COMMERCIAL SECTOR AND AT LEAST 66% OF THE INDUSTRIAL SECTOR.

EDUCATION:
PROVIDE EDUCATION AND TECHNICAL ASSISTANCE TO STAFF REGARDING REDUCTION, RECYCLING, COMPOSTING REUSE AND OTHER ALTERNATIVE WASTE MANAGEMENT METHODS TO ENSURE THE BEST PRACTICE POSSIBLE.



WASTE MANAGEMENT NOTES:
AN 'OPERATIONAL WASTE MANAGEMENT PLAN' WILL BE PREPARED FOR EACH TENANCY TO IMPROVE THE EFFICIENCY OF WASTE STORAGE AND REMOVAL AS WELL AS REDUCE THE AMOUNT OF WASTE BEING DEPOSITED INTO LANDFILL.
THE 'RECYCLING VICTORIA: A NEW ECONOMY' POLICY, INTRODUCED IN FEBRUARY 2020 IS TO BE REVIEWED AND UTILIZED WITHIN THE OPERATIONS OF THE PROPOSED DEVELOPMENT. THE POLICY COVERS A BROAD RANGE OF ECONOMY GOALS ON HOW TO STRATEGICALLY RECYCLE WASTE.
RECYCLING VICTORIA: A NEW ECONOMY POLICY HAS BEEN INCLUDED IN APPENDIX G OF THE REPORT.

RECYCLABLE BINS AND GENERAL WASTE BINS ARE TO BE INSTALLED TO ENCOURAGE THE COLLECTION OF RECYCLABLE MATERIALS.
WHEN APPLICABLE TO THE TENANT'S REQUIREMENTS, GREEN WASTE BINS AND ADDITIONAL SPECIFIC RECYCLE BINS MAY BE IMPLEMENTED TO AID IN THE SEPARATION OF RECYCLABLE MATERIALS.

WASTE STORAGE LOCATIONS, INCLUDING SPACE PROVISION FOR RECYCLABLE WASTE BINS, ARE SHOWN ON WASTE MANAGEMENT PLAN AND INDICATED IN LOCATIONS WHERE CLEAR ACCESS FOR COLLECTION TRUCKS WILL BE REQUIRED.

BINS TO BE WHEELED OUTSIDE FOR PICK UP AT SCHEDULED PICK UP TIME OR AS ARRANGED WITH PRIVATE CONTRACTOR.
COLLECTION TO OCCUR ONLY OUTSIDE OF PEAK TRAFFIC HOURS, OR AS OTHERWISE AGREED.

ESTIMATES FOR WASTE VOLUMES WERE MADE WITH THE USE OF THE MULTI-UNIT AND COMMERCIAL DEVELOPMENT WASTE ND RECYLING GENERATION RATES CALCULATOR.
<https://calculators.sustainability.vic.gov.au/mud-waste-management/>

EDUCATION ON USE OF SERVICES
EDUCATIONAL MATERIAL AND "HOUSE RULES" WILL BE PROVIDE TO USERS AND STAFF. THESE WILL INCLUDE:

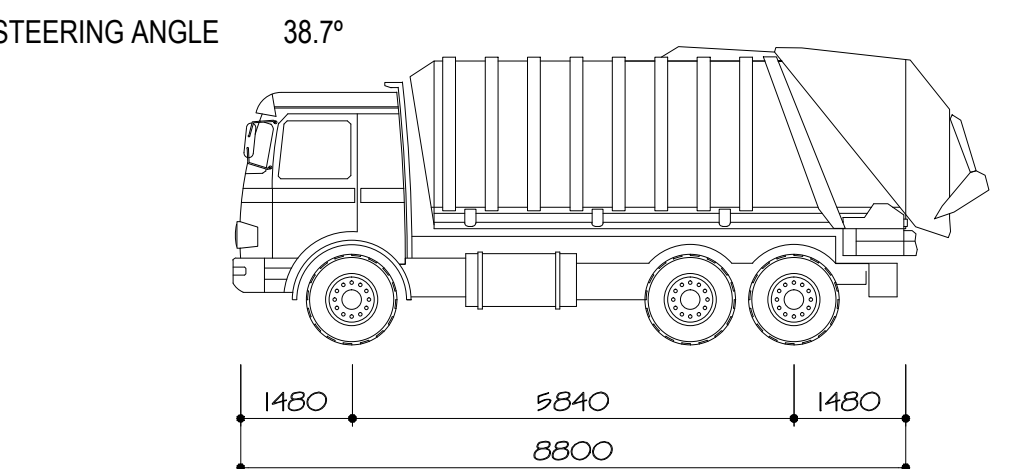
- ADVISE THEM ON HOW TO SORT AND RECYCLE WASTE WITH CARE TO REDUCE CONTAMINATION OF RECYCLABLES.
- ADVISE THEM WHAT TYPE OF HARD WASTE IS ALLOWED.
- INFORM THEM ABOUT WASTE MANAGEMENT SYSTEM AND THE USE/LOCATION OF ASSOCIATED EQUIPMENT.
- IMPROVE FACILITY MANAGEMENT RESULTS

VENTILATION, VERMIN PREVENTION AND WASHING:
WASTE AREAS WILL FEATURE:
- VENTILATION IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1668
- ALL BINS HAVE SECURE FITTING LIDS THAT ARE VERMIN PROOF.
- IMPERVIOUS FLOORING (SMOOTH, SLIP-RESISTANT AND APPROPRIATELY DRAINED)
- FOR HYGIENIC REASONS, BINS WILL BE WASHED (WHEN REQUIRED) TO REMOVE WASTE-SMEAR AND ODOUR. IT IS THE OPERATOR'S RESPONSIBILITIES TO CLEAN. APPROPRIATE FACILITIES WILL BE PROVIDED TO FACILITATE THE WASHING AND CLEANING OF BIN).

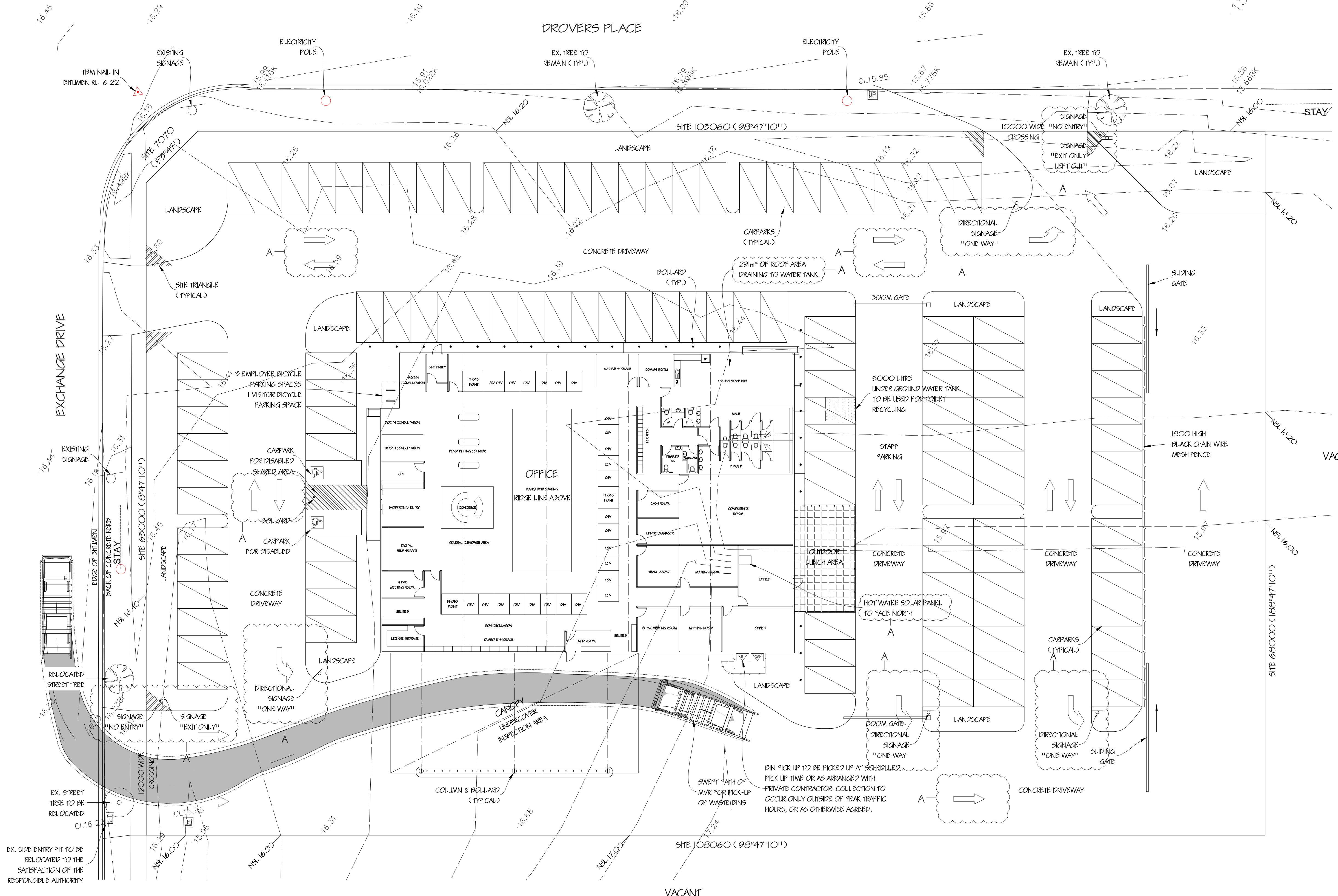
PROTECTION OF EQUIPMENT FROM THEFT AND VANDALISM.
THE OPERATOR WILL BE RESPONSIBLE TO PROTECT THE EQUIPMENT FROM THEFT AND VANDALISM.
THE FOLLOWING INITIATIVES WILL BE INCLUDED:
- LABEL THE BINS ACCORDING TO PROPERTY & BUILDING ADDRESS
- SECURE THE WASTE STORAGE AREA (BIN STORE)
DUE TO THE PROPOSED DEVELOPMENT HAVING LOCKABLE SLIDING GATES AND THE BIN STORAGE AREAS INTERNALLY, THE LIKELIHOOD OF ANY VANDALISM IS GREATLY REDUCED.

RISK HAZARD
EACH TENANT/STAFF SHALL TRANSFER THEIR RESPECTIVE BINS BETWEEN THEIR BIN STORAGE AREA AND PLACE THEM IN FRONT OF THEIR RESPECTIVE WAREHOUSES, IN COORDINATION WITH TRUCK ARRIVAL. BINS SHALL NOT BE LEFT LONGER THAN NECESSARY.
COLLECTION STAFF (DRIVER AND ASSISTANT) SHALL HAVE ACCESS TO THE BINS PLACED IN FRONT OF EACH WAREHOUSE AND, IF REQUIRED, TRANSFER THE BINS TO THE TRUCK THEN BACK TO THEIR RESPECTIVE LOCATIONS FOR THE TENANT/STAFF TO MANAGE SAFELY. TRANSFER PATHS TO HAVE A MAX GRADIENT OF 1:14.

SERVICE VEHICLE
WIDTH 2.5m
TRACK 2.5m
LOCK TO LOCK TIME 6.0 sec
STEERING ANGLE 38.7°



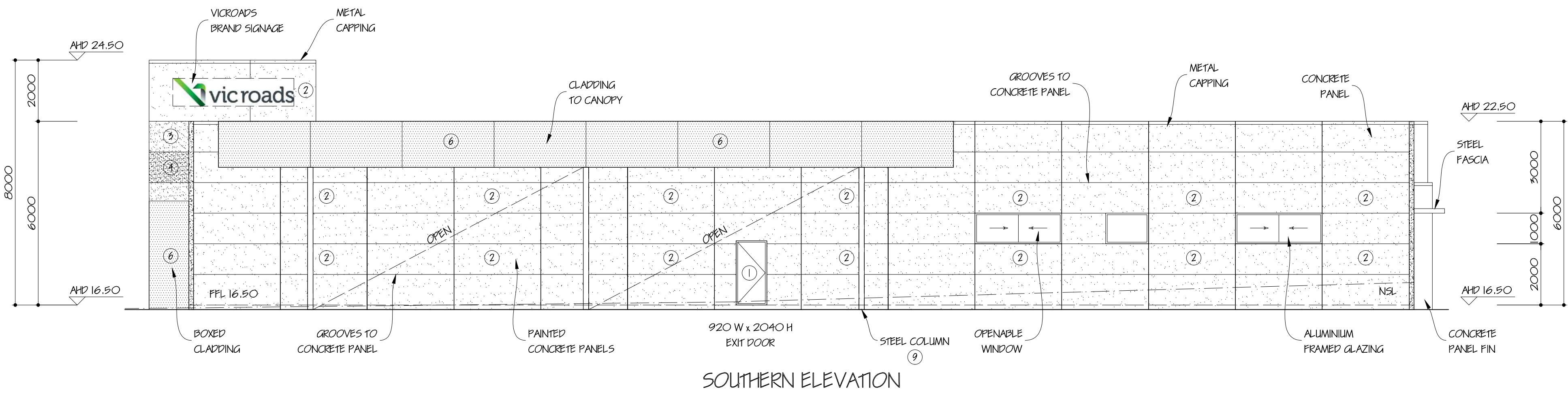
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SCALE	1:200
DRAWN	DN
SHEET	1P5
DRG No	6581/25
B1	ISSUE A



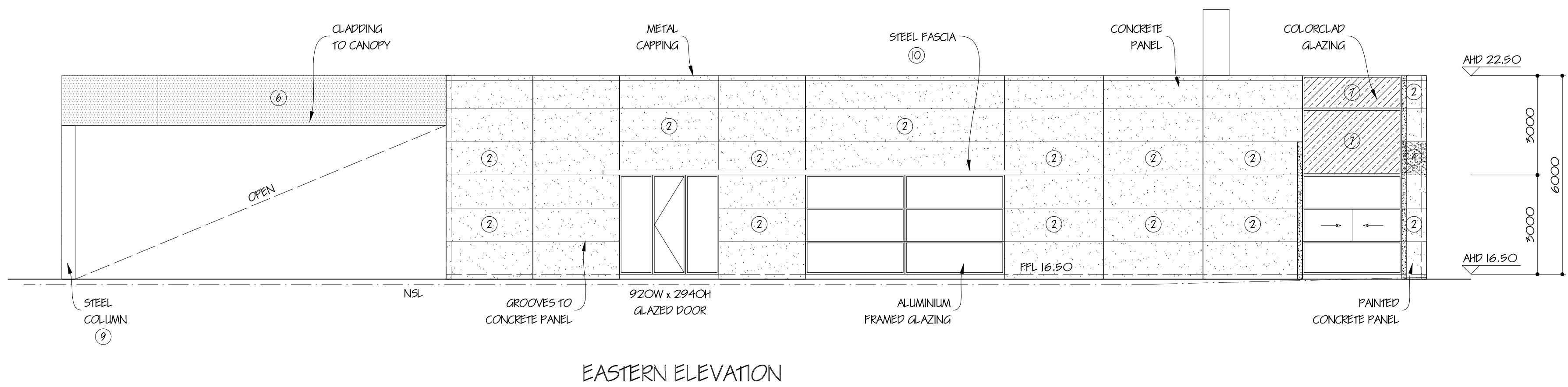
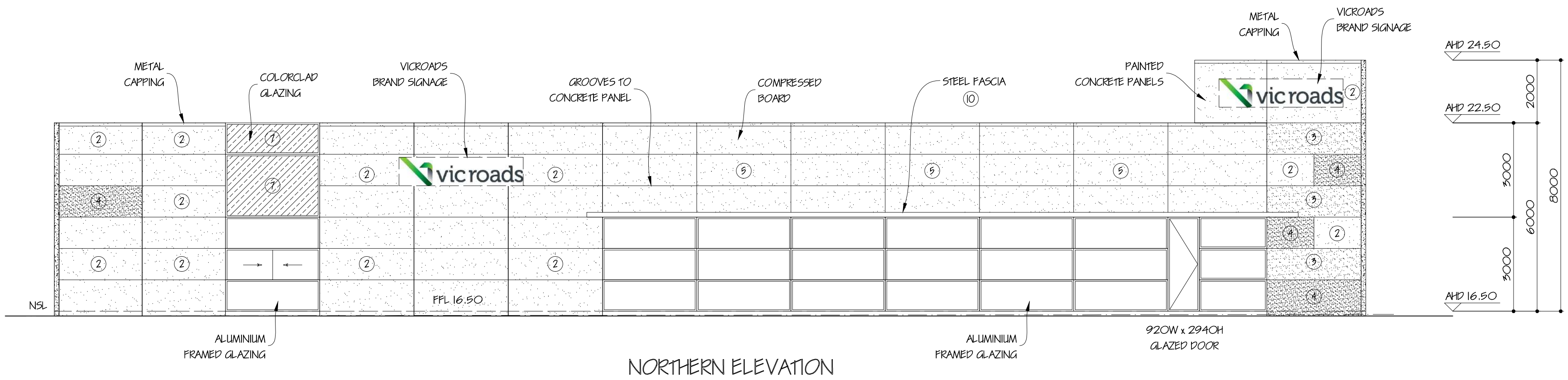
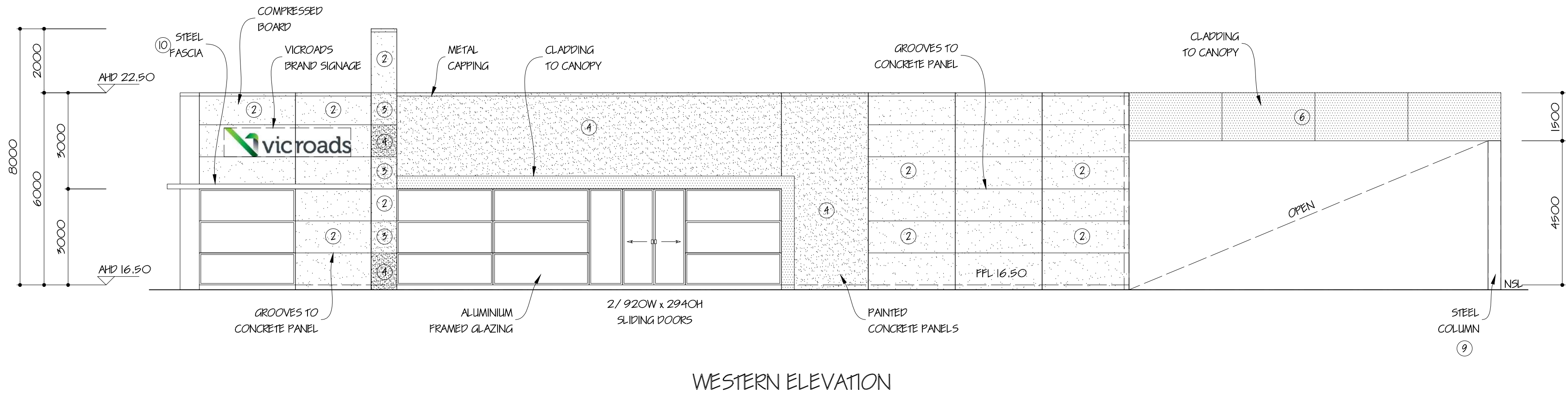
WASTE MANAGEMENT PLAN



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COLOUR SCHEDULE		
MARK	LOCATION	SCHEME
1	EXIT DOORS	DOMINO (DULUX)
2	CONCRETE PANELS	WHITE POLAR QUARTER (DULUX)
3	CONCRETE PANELS	FLOODED GUM (DULUX)
4	CONCRETE PANELS	DOMINO (DULUX)
5	COMPRESSED BOARDS	WHITE POLAR QUARTER (DULUX)
6	CLADDING/CANOPY	FROST WHITE 9210 (VITACORE)
7	COLORCLAD GLAZING	DOMINO (DULUX)
8	ALUMINIUM WINDOW/DOOR FRAME	MATT WOOLAND GREY (DULUX POWDERCOATING)
9	STEEL COLUMNS	WALLABY (DULUX)
10	STEEL FASCIA	MATT SHALE GREY (DULUX POWDERCOATING)



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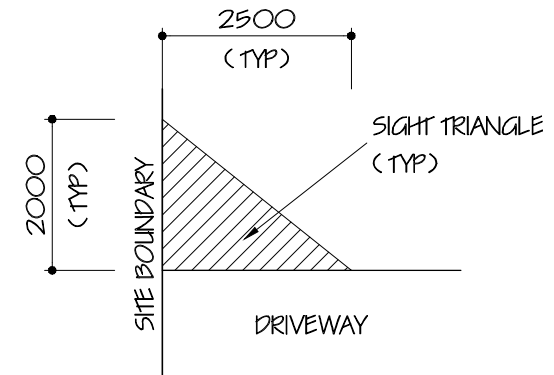
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NOTE:
EXTENT OF 2000 x 2500 SIGHT TRIANGLE
TO BE IN ACCORDANCE WITH AS 2890.2 2002, FIGURE 3.4
SITE TRIANGLE TO BE KEPT CLEAR OF VISUAL OBSTRUCTIONS.
ANY LANDSCAPING WITHIN SITE TRIANGLES TO BE MAXIMUM OF
900mm IN HEIGHT AT MATURE GROWTH LEVEL.



TYPICAL LINE OF SIGHT TRIANGLE DETAIL
(Scale 1:100)

LANDSCAPING SCHEDULE					
	GENERIC NAME	COMMON NAME	H x W	POT SIZE	QTY.
A	ACACIA MELANOXYLON	BLACKWOOD	10m x 5m	45L	28
B	POMADERRIS RACEMOSE	SLENDER LEAF POMADERRIS	2-5m x 1-3m	300	30
C	LOMANDRA FILIFORMIS	WATTLE MAT RUSH	.9m x 1m	TUBE	285
D	POA LABILLARDIERI	TUSsock GRASS	.8m x 1m	TUBE	214
E	COMMON CORREA	CORREA REFLEXA	3-2m x 1-2m	300	235
F	DIANELLA REVOLUTA	BLACK ANTHEM LILY	.6m x .75m	TUBE	261

* DENOTES INDIGENOUS PLANTS TO BE SOURCED LOCALLY.

ALL CANOPY TREES TO BE MINIMUM 2m TALL WHEN PLANTED.

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LANDSCAPE NOTES:

LANDSCAPE AREA: 870m²

1. MAINTENANCE

- MAINTENANCE TO BE PROVIDED DURING ESTABLISHMENT PERIOD ONCE PER FORTNIGHT AND THEREAFTER ON A MONTHLY BASIS.

2. ESTABLISHMENT PERIOD

- THREE MONTHS (THIS IS THE USUAL PROVIDED BY CONTRACTORS)
- HAND WATERING OF NEWLY PLANTED SHRUBS TO BE DONE ONCE PER WEEK DURING ESTABLISHMENT PERIOD. THIS MAY VARY ACCORDING TO THE TIME OF THE YEAR WHEN PLANTING OCCURS. I.E., CERTAIN SHRUBS REQUIRE LESS WATER IN WINTER THAN IN SUMMER.

3. LAWN AREAS

- ALL LAWN AREAS TO BE MOWN ON THE FOLLOWING SEASONAL CYCLE:
WINTER: - 1 CUT EVERY 3 WEEKS
AUTUMN: - 1 CUT EVERY 2 WEEKS
SUMMER: - 1 CUT EVERY 2 WEEKS
SPRING: - 1 CUT EVERY WEEK
- EDGES TO BE WHIPPER SNIPPED.
- ALL CUTTINGS TO BE REMOVED FROM SITE.
- LAWN FERTILIZER TO BE APPLIED IN SPRING AND AUTUMN AS PER MANUFACTURERS RECOMMENDATIONS.
- PASCALIA AND BROAD LEAVED WEEDS TO BE ERADICATED AND CONTROLLED, USING HERBICIDES IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

4. TREE & SHRUB PLANTING

- ALL NEW TREES TO BE PLANTED IN ACCORDANCE WITH FIGURE 1.
- ALL NEW SHRUBS TO BE PLANTED IN ACCORDANCE WITH FIGURE 2.
- ALL WEED GROWTH TO BE REGULARLY REMOVED FROM THE BASE OF TREES & SHRUBS AND GARDEN BED.
- ALL SHRUBS AND TREES TO BE REGULARLY FERTILIZED AS FOLLOWS:
WINTER: NOT REQUIRED
AUTUMN: APPLICATION
SUMMER: APPLICATION
SPRING: 2 APPLICATIONS
USE A LOW PHOSPHORUS SLOW RELEASE FERTILIZER WITH AN NPK COMPOSITION OF ABOUT 10:5:6.

5. MULCHING

- PROVIDE 75 mm THICK LAYER OF PINE BARK MULCH TO LANDSCAPED AREAS.

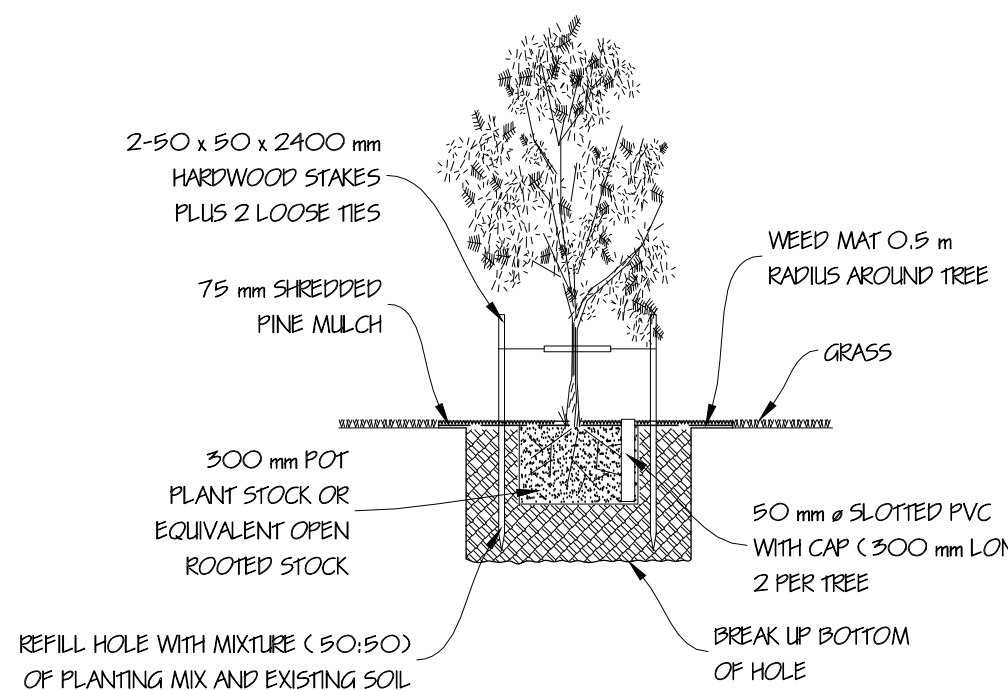


FIGURE 1

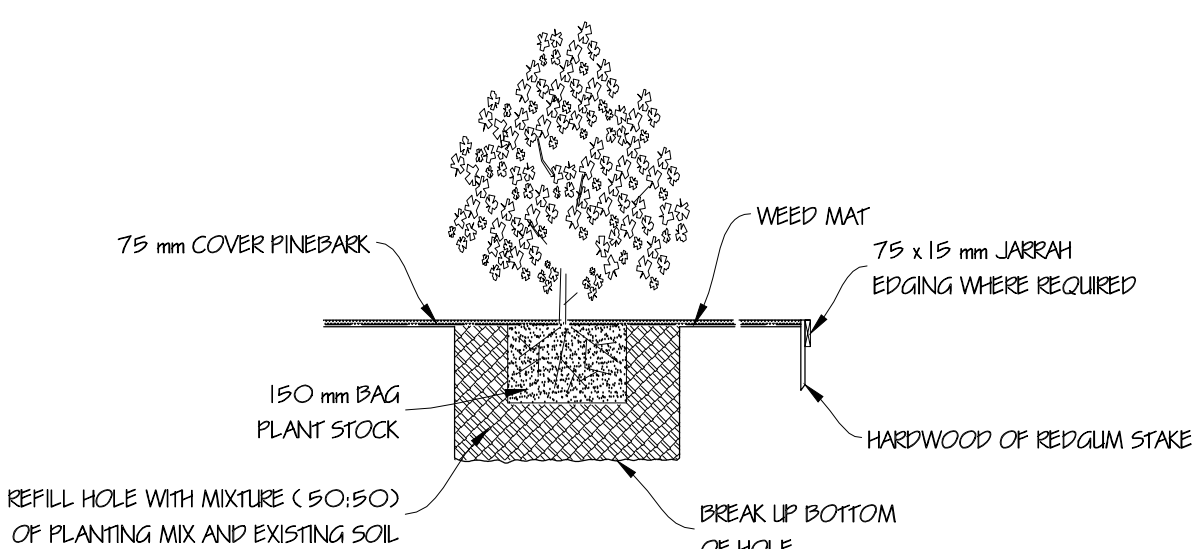
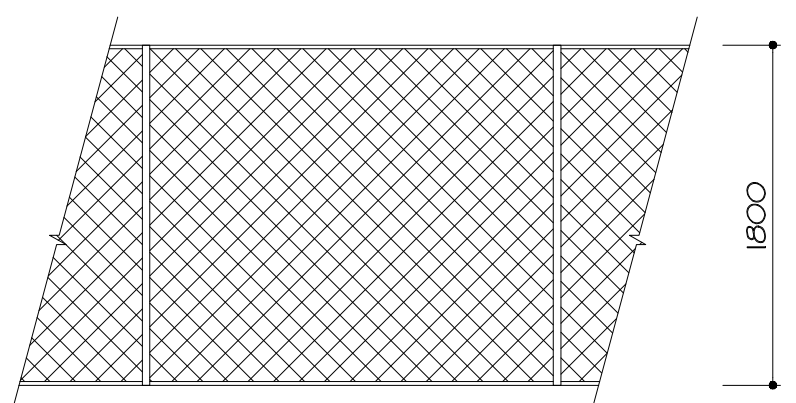


FIGURE 2



1800 HIGH BLACK VINYL COATED
CHAIN WIRE FENCE (TYP)
(Scale 1:50)

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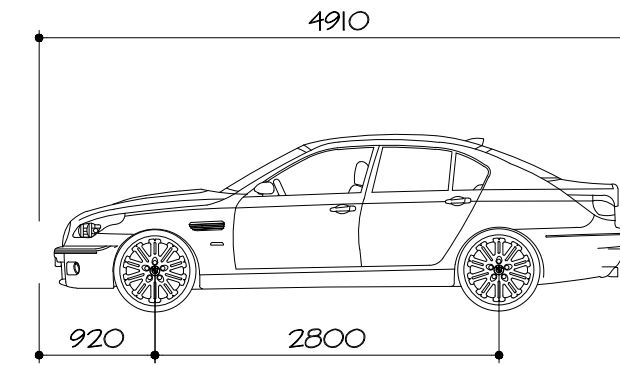
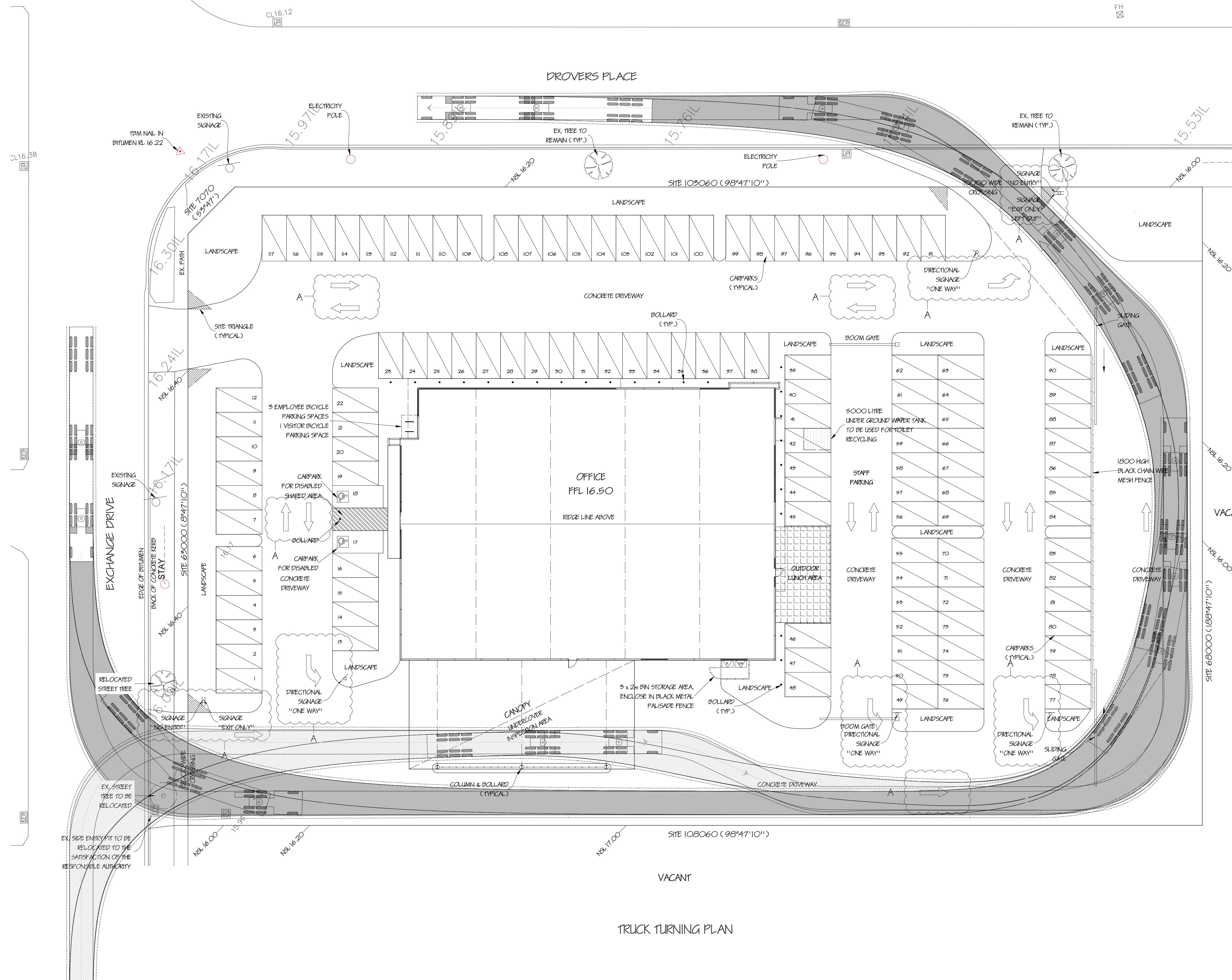
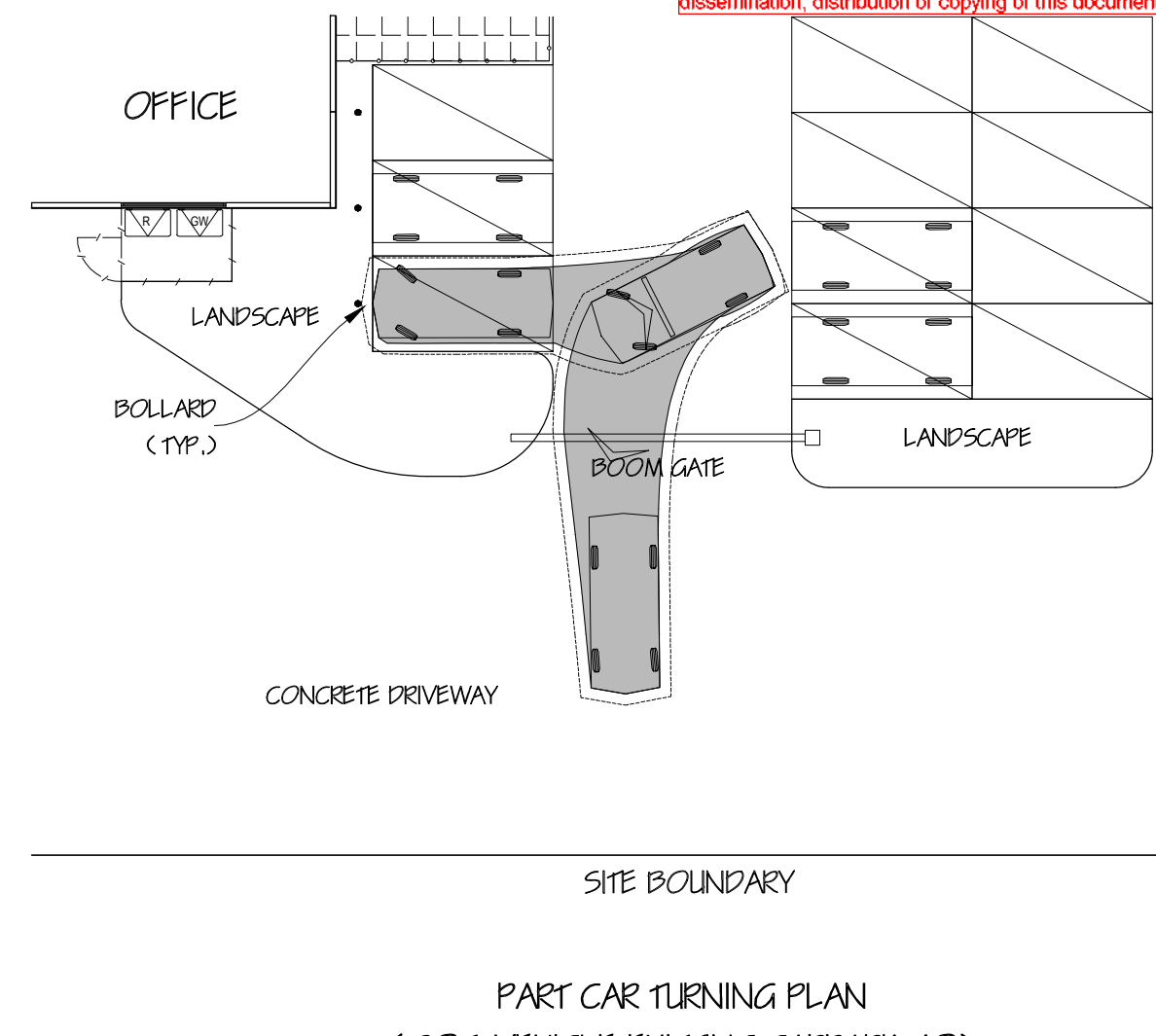
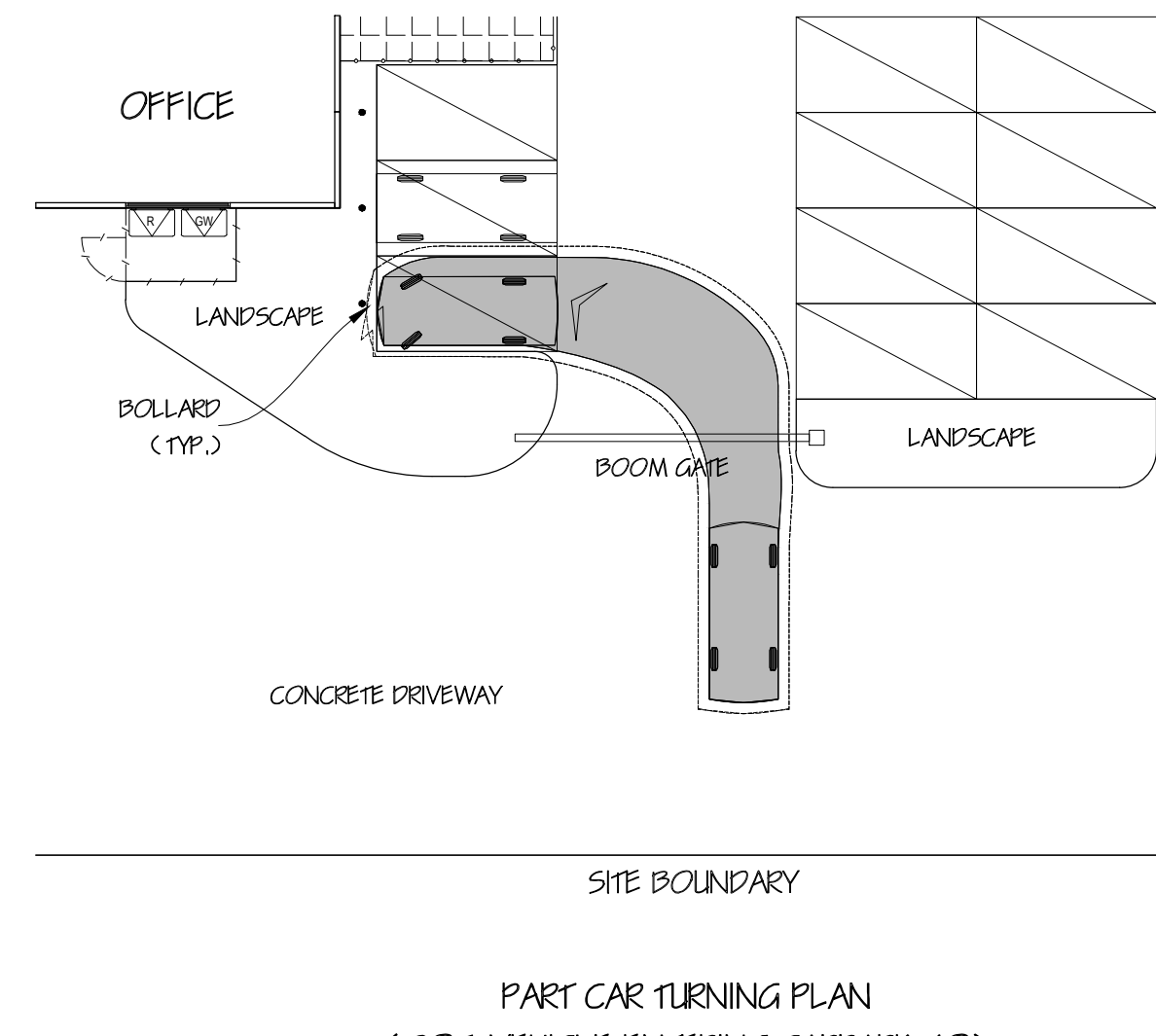
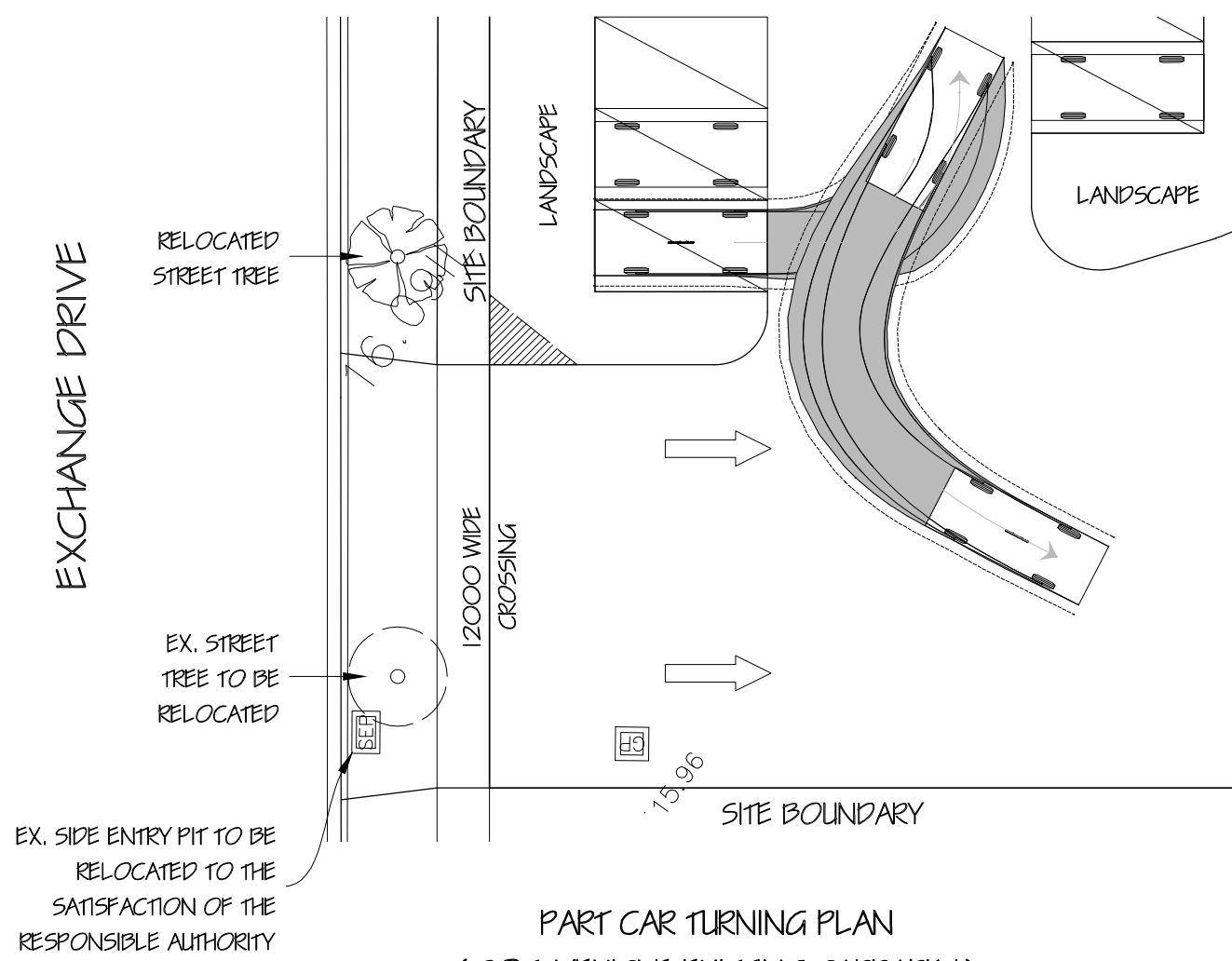
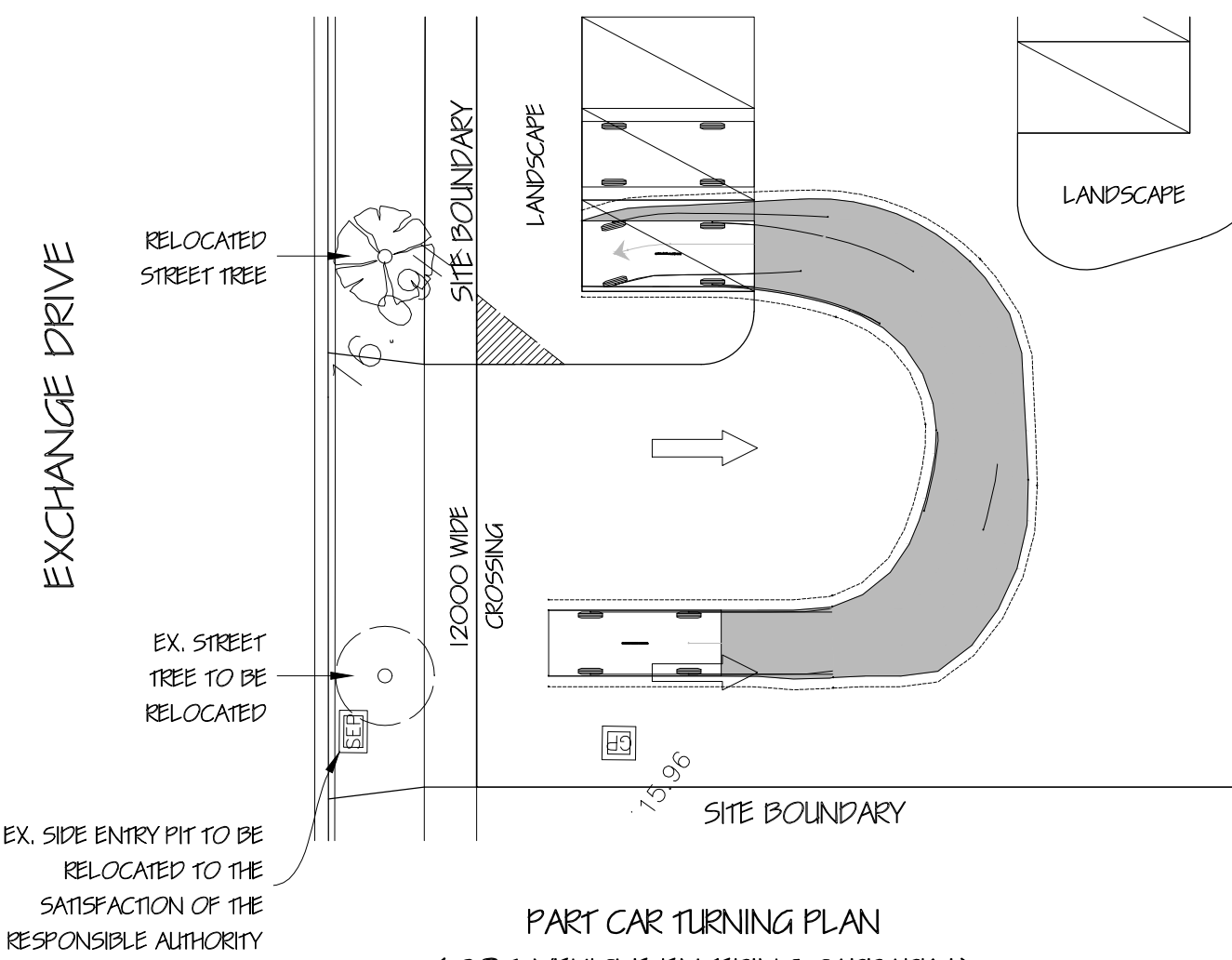
STEPHEN D'ANDREA PTY. LTD.
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PROJECT
PROPOSED OFFICE AT
LOT 1 EXCHANGE DRIVE CH DROVERS PLACE
PAKENHAM

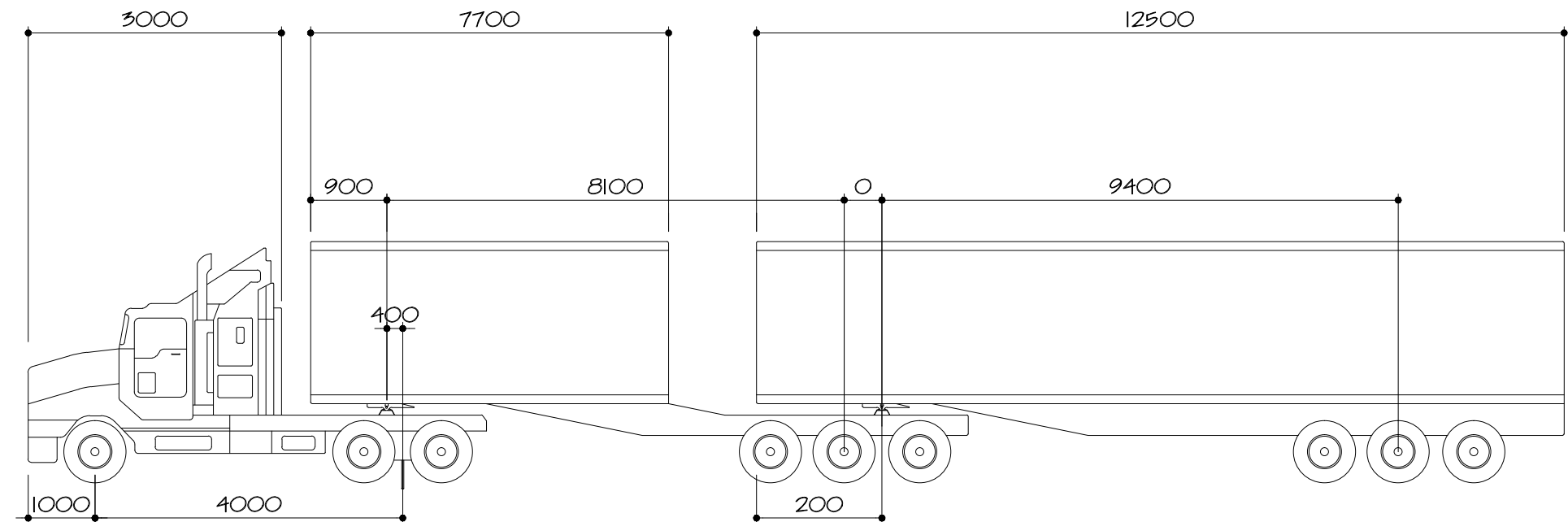
CLIENT

DATE	FEB '25	SCALE	1:200
DRAWN	DN	SHEET	1P4
DRG No	6581/25	B1	ISSUE B

LANDSCAPE PLAN



BBS	mm
WIDTH	1870
TRACK	1770
LOCK TO LOCK TIME	6.0
STEERING ANGLE	34.0



B-DOUBLE 25M	mm
TRACTOR WIDTH	2500
TRAILER WIDTH	2500
TRACTOR TRACK	2500
TRAILER TRACK	2500

LOCK TO LOCK TIME	6.0
STEERING ANGLE	20.6
ARTICULATING ANGLE	70.0

PLANNING ISSUE

REVISION
05/06/2025 A TP QUERIES

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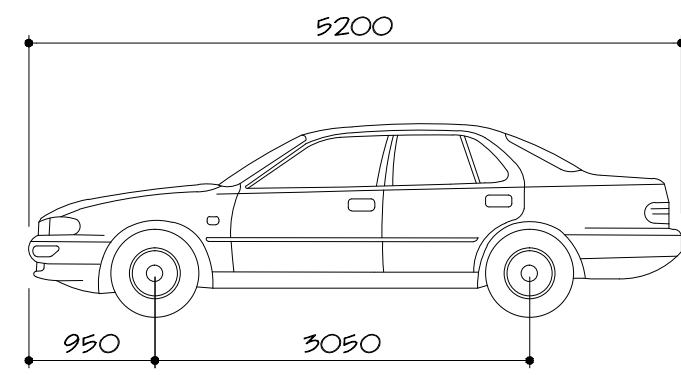
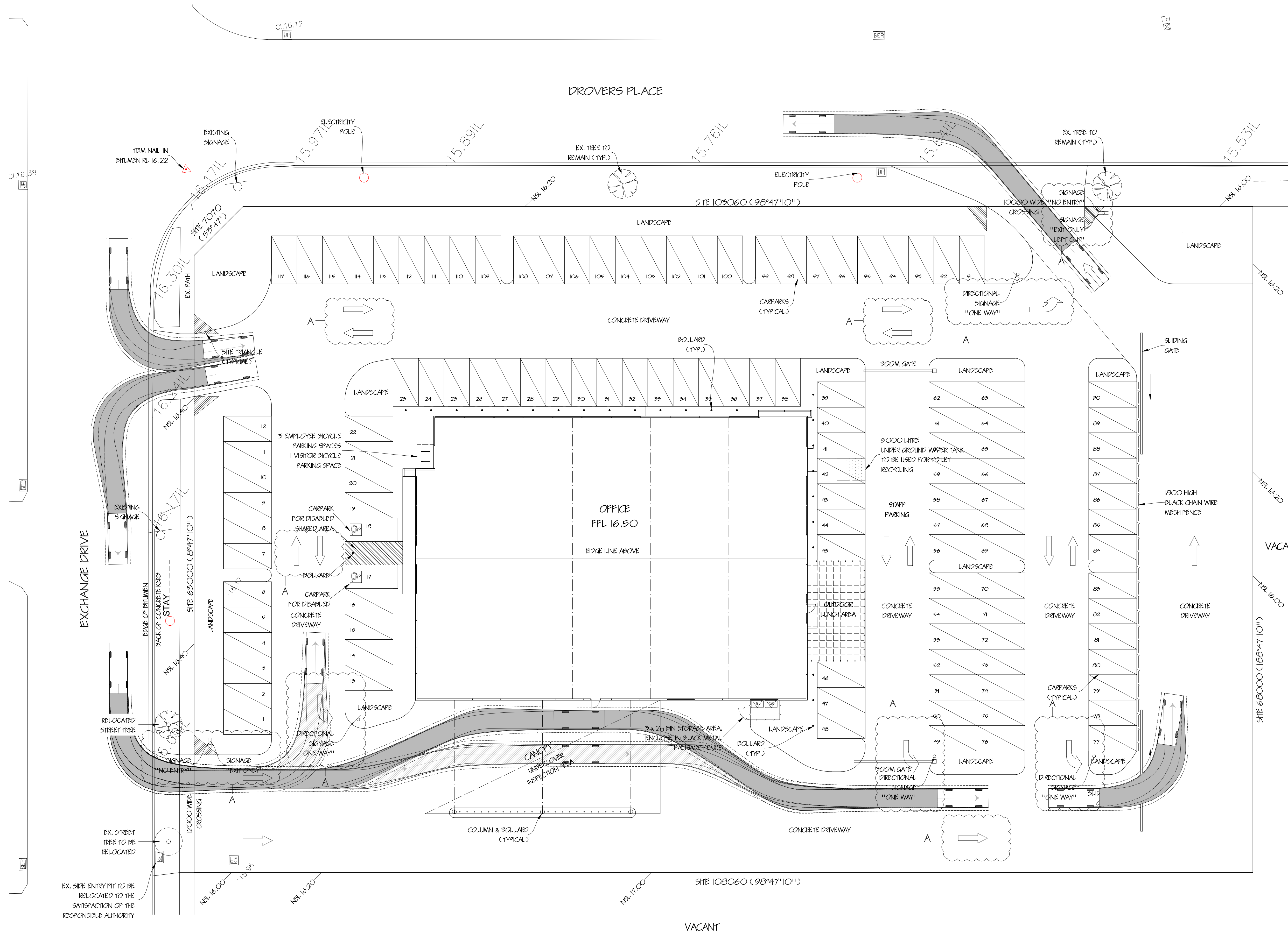
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PROJECT
PROPOSED OFFICE AT
LOT 1 EXCHANGE DRIVE CH DROVERS PLACE
PAKENHAM

CLIENT

DATE	FEB '25	SCALE	1:200
DRAWN	DN	SHEET	1P7
DRG No	6581/25	B1	ISSUE A



B99	mm
WIDTH	: 1940
TRACK	: 1840
LOCK TO LOCK TIME	: 6.0
STEERING ANGLE	: 35.5

PLANNING ISSUE

05/06/2025	A	TP QUERIES
REVISION		

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PROJECT
PROPOSED OFFICE AT
LOT 1 EXCHANGE DRIVE Cnr DROVERS PLACE
PAKEMHAM

CLIENT

DATE	FEB '25	SCALE	1:200
DRAWN	DN	SHEET	1PB
DRG No	6581/25	B1	ISSUE A

TRUCK TURNING PLAN