
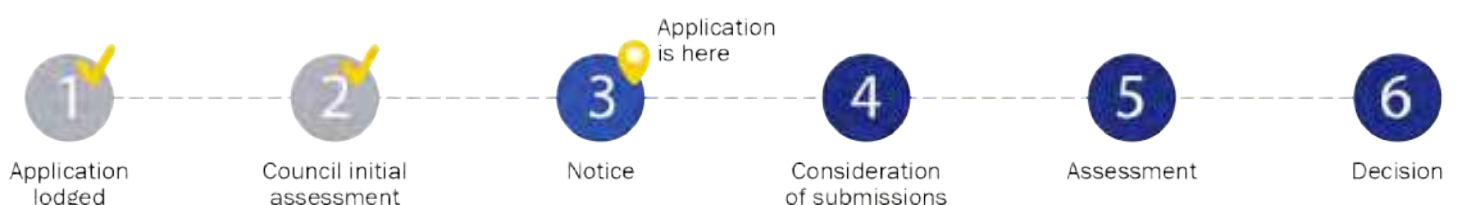


Notice of Application for a Planning Permit

The land affected by the application is located at:	L1 TP11736 36 Woods Street, Beaconsfield VIC 3807	
The application is for a permit to:	Development of the land for two (2) dwellings and Subdivision of the land into two (2) lots	
A permit is required under the following clauses of the planning scheme:		
32.08-7	Construct two or more dwellings on a lot	
32.08-3	Subdivide land	
APPLICATION DETAILS		
The applicant for the permit is:	Nobelius Land Surveyors	
Application number:	T240680	
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		18 July 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



Application Summary

Portal Reference A4248241

Basic Information

Proposed Use The Subdivision of the land into two (2) lots, and the Development of the land for two (2) dwellings

Current Use The site is developed with a single storey, detached dwelling and associated outbuildings.

Cost of Works \$1,000,000

Site Address 36 Woods Street Beaconsfield 3807

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	[Redacted] Nobelius Land Surveyors	20 Henry Road Henry Street, Pakenham VIC 3810	W: 5941-4112 E: julie@nobelius.com.au
Owner	[Redacted]		
Preferred Contact	[Redacted] Nobelius Land Surveyors	20 Henry Road Henry Street, Pakenham VIC 3810	W: 5941-4112 E: julie@nobelius.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 12 More than \$100,000 but not more than \$1,000,000	\$1,706.50	100%	\$1,706.50
9 - Class 18 To subdivide land into two lots	\$1,453.40	50%	\$726.70
Total			\$2,433.20

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Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
17-12-2024	A Copy of Title	Title dated 19 November 2024.pdf
17-12-2024	Subdivision Plan	Plan of Sub dated 19 November 2024.pdf
17-12-2024	Explanatory Letter	Town Planning Report - 36 WOODS STREET BEACONSFIELD.pdf
17-12-2024	Site plans	36 Woods St, Beaconsfield SA Plan.pdf
17-12-2024	A proposed floor plan	2024-127 36 Woods St - A2 (1) (1).pdf
17-12-2024	Additional Document	CAUSE 55 ASSESSMENT - 36 WOODS STREET BEACONSFIELD.pdf
17-12-2024	Additional Document	CAUSE 56 ASSESSMENT - 36 WOODS STREET BEACONSFIELD.pdf
17-12-2024	Additional Document	Owners Corporation Schedule Unlimited.xlsx
17-12-2024	Additional Document	Sub(TW) Permit1 2.pdf
17-12-2024	Additional Document	Cover letter - Initial submission.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	<div></div> Nobelius Land Surveyors	20 Henry Road Henry Street, Pakenham VIC 3810	W: 5941-4112 E: julle@nobelius.com.au
Submission Date	17 December 2024 - 05:29:PM		

Declaration

☒ By ticking this checkbox, I, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 10404 FOLIO 144

Security no : 124119953060S
Produced 19/11/2024 10:25 AM

LAND DESCRIPTION

Lot 1 on Title Plan 011736Y.
Created by Application No. 114916J 10/08/1998

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP011736Y FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 36 WOODS STREET BEACONSFIELD VIC 3807

ADMINISTRATIVE NOTICES

NIL



DOCUMENT END

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EDITION 2		TITLE PLAN		TP 11736Y	
Location of Land Parish : PAKENHAM Township : - Crown Allotment : - Section : A Crown Portion : 1 (Part) Base record : DCMB (RURAL) Last Plan Reference : Title References : Depth Limitation : NIL				Notations Warning as to dimensions Any dimension and connecting distance shown is based on the description of the land as contained in the General Law Title and is not based on survey information which has been investigated by the Registrar of Titles.	
Easement Information					THIS PLAN HAS BEEN PREPARED BY LAND REGISTRY, LAND VICTORIA FOR TITLE DIAGRAM PURPOSES Checked by : <i>[Signature]</i> Assistant Registrar of Titles Date 28/9/1998
E - Encumbering Easement R - Encumbering Easement (ROAD) A - Appurtenant Easement					
Easement Reference	Purpose / Authority	Width (Metres)	Origin	Land benefitted / in favour of	
E-1	DRAINAGE	1.83	Y1740S (BOOK 623 NO. 821)	SEE Y1740S	
A-1	DRAINAGE	1.52	Y1740S (BOOK 623 NO. 821)	LOT 1 ON THIS PLAN	

The diagram shows a rectangular lot labeled 'LOT 1' situated on 'ADAMSON STREET'. To the west of the lot is 'WOODS STREET', and to the east is 'RAILWAY AVENUE'. The lot is bounded by 'ADAMSON STREET' on the south. A north arrow is located to the left of the lot. Dimensions are given in feet and inches for the lot boundaries and easements. Easements E-1 and A-1 are shown as narrow strips along the eastern boundary of the lot.

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LENGTHS ARE IN METRES	SCALE	SHEET SIZE A3	Dealing No. AP 114916J
			DEALING CODE: 26D

Sheet 1 of 1 Sheet

MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED.
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL PLAN/DOCUMENT.

PLAN NUMBER

TP11736Y

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
		EASEMENT DETAILS	AC902102A	4/6/2004		2	PRT

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17th December, 2024

Statutory Planning
Cardinia Shire Council
Siding Avenue, Officer

Dear Sir/Madam,

Proposal: **The Subdivision of the land into two lots and the Development of the land for two dwellings.**

Address: **Lot 1 TP11736, 36 Woods Street, Beaconsfield, 3807**

Nobelius Land Surveyors has been engaged by the land owner to prepare this submission in accordance with the relevant provisions of the Cardinia Planning Scheme, including the applicable sections of the Municipal Strategic Statement and all relevant State and local policies.

The proposal is for the Subdivision of the land into two lots and the Development of the land for two dwellings. This application demonstrates that the proposal is appropriate for the locality and warrants Council support.

We have included the following documentation to support this application:

- A Town Planning report;
- Clause 55 and 56 assessments;
- A Feature Plan of the site;
- A proposed Plan of Subdivision;
- Architectural Plans by OXD Group;
- Current copy of title and plan of subdivision.

If any further information is required, or if there are any questions regarding the submitted information, please do not hesitate to contact me at planning@nobelius.com.au or call 5941 4112.

Yours faithfully,



MURbPlanEnv, BA Geog (Hons), GradCert BFire, BPAD Level 1 & 2
Senior Town Planner

TOWN PLANNING REPORT

SUBDIVISION OF THE LAND INTO TWO (2) LOTS & THE DEVELOPMENT
OF THE LAND FOR TWO (2) DWELLINGS.

AT 36 WOODS STREET, BEACONSFIELD VICTORIA 3807



TABLE OF CONTENTS

1. PRELIMINARY	3
2. INTRODUCTION	4
3. SUBJECT SITE AND SURROUNDING LOCALITY	5
SITE ANALYSIS	5
EASEMENTS AND COVENANTS	6
PERMIT HISTORY	6
SURROUNDS	6
ENVIRONMENTAL CONSIDERATIONS	9
4. THE PROPOSAL	11
5. RELEVANT PLANNING CONTROLS	16
ZONING CONTROLS	16
OVERLAYS	18
6. MUNICIPAL PLANNING STRATEGY	19
7. PLANNING POLICY FRAMEWORK	20
CLAUSE 11 SETTLEMENT	20
CLAUSE 15 BUILT ENVIRONMENT AND HERITAGE	20
CLAUSE 16 HOUSING	21
CLAUSE 18 TRANSPORT	21
CLAUSE 19 INFRASTRUCTURE	22
8. PARTICULAR PROVISIONS	22
CLAUSE 52.06 CAR PARKING	22
CLAUSE 53.18 STORMWATER MANAGEMENT IN URBAN DEVELOPMENT	22
CLAUSE 55 TWO OR MORE DWELLINGS ON A LOT	23
CLAUSE 56 RESIDENTIAL SUBDIVISION	23
9. GENERAL PROVISIONS	24
CLAUSE 65 DECISION GUIDELINES	24
CLAUSE 71.02-3 INTEGRATED DECISION MAKING	27
10. CONCLUSION	28

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1. PRELIMINARY

ADDRESS	Lot 1 TP11736, 36 Woods Street, Beaconsfield 3807			
RESPONSIBLE AUTHORITY	Cardinia Shire Council			
ZONE	General Residential Zone – Schedule 1			
OVERLAY	No Overlays			
BUSHFIRE PRONE AREA	No			
CULTURAL HERITAGE	Not applicable			
EASEMENTS, RESTRICTIONS, ENCUMBRANCES	E1 easement for the purpose of Drainage.			
PROPOSAL	The subdivision of the land into two (2) lots and the development of the land for two dwellings			
PERMIT TRIGGERS	<ul style="list-style-type: none"> Pursuant to clause 32.08-3 of the GRZ1 a permit is required to subdivide the land. Pursuant to clause 32.08-7 of the GRZ1 a permit is required to construct two dwellings on a lot. 			
RELEVANT PLANNING CONTROLS AND INCORPORATED DOCUMENTS	Clause 11 Settlement Clause 13 Environmental Risks & Amenity Clause 15 Built Environment & Heritage Clause 16 Housing Clause 19 Infrastructure Clause 32.08 General Residential Zone Clause 55 Two of more dwellings on a lot Clause 56 Residential Subdivision Clause 65.02 Approval of an application to subdivide land Clause 71.03 Integrated decision making			
SUBMITTED DOCUMENTS	<ul style="list-style-type: none"> Feature and Levels Plan – <i>Nobelius Land Surveyors</i> Plan of Survey – <i>Nobelius Land Surveyors</i> Development Plans – <i>User Experience Design Group (UXD)</i> Swept Path Assessment, <i>Colliers March 2025</i> <i>Arboricultural Impact Assessment – Arbkey 2025</i> Landscape Design – <i>Emee Landscape Design, March 2025</i> Copy of Title & Title Plan 			
NLS QUALITY SYSTEM	AUTHOR	DATE ISSUED	CHECKED BY	REVISION
	JB	22/4/2025	RO	3

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2. INTRODUCTION

This town planning report has been prepared by Nobelius Land Surveyors on behalf of the landowner and is submitted to Cardinia Shire Council to support an application for the subdivision of the land into two (2) lots and the development of the land for two dwellings. The existing dwelling will be demolished to accommodate the new development.

The subject site is located in an established residential area of Beaconsfield and is determined to be suitable for future residential growth. The land is able to connect to all services and is not impacted by any notable risks associated with urban flooding or bushfire. It provides an excellent opportunity to deliver residential land in a township experiencing sustained growth and benefits from beneficial proximity to services and public transport.

The purpose of this report is to assess the proposed subdivision of two (2) lots against the relevant provisions of the Cardinia Planning Scheme, and local and state planning policies. The proposed subdivision is responsive to key site considerations and sympathetic to surrounding character. The site presents an excellent strategic location for further residential allotments and the proposal responds to and integrates with surrounding residential developments in proximity to public transport options, open space and recreation facilities.

This report aims to demonstrate that the proposal is:

- Consistent with the State and Local Planning Policy framework;
- Consistent with the requirements of the Cardinia Planning Scheme;
- Consistent with the requirements of Clauses 55;
- Consistent with the requirements of Clauses 56; and
- Will satisfactorily integrate with surrounding lot sizes and land uses.

The proposal is entirely appropriate to be granted a planning permit and receive Council's full support on the basis that the proposal supports Cardinia's vision for future residential development on the two sites and is appropriate for the locality.

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3. SUBJECT SITE AND SURROUNDING LOCALITY

SITE ANALYSIS

The land is formally described as Lot 1 on TP 11736Y, 36 Woods Street, Beaconsfield 3907, contained within Volume 10404 and Folio 144. The land is a regularly shaped rectangular allotment, with a frontage to Wood Street measuring 16.4 metres. The lot has a maximum depth of 38.58 metres and a total area of 630m².



AERIAL OF THE SUBJECT SITE (IMAGE COURTESY OF VICPLAN, 2024)

The land is developed with a single storey dwelling located centrally on the site. There is an existing outbuilding located in the rear yard accessed via the existing concrete driveway with the remainder of the front area featuring a lawn. The site features planted vegetation adjacent to the northern side boundary and a planted tree in the front setback. The onsite species are tabled below, none of which have been attributed with an arboricultural value of anything more than medium (Tree 20) with the balance have a low arboricultural value (Table 3, *ARBKey* Arboricultural Impact Assessment, dated March 2025):

Genus Species	Common Name	Species Origin	Count of Trees	Tree IDs
<i>Syzygium australe</i>	Brush Cherry	Australian Native	22	4, 7, 8, 10, 11, 13, 14, 16, 17, 18, 19, 21, 22, 23, 24, 25, 26, 27, 28, 30, 31, 33
<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	13	32, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45
<i>Camellia sasanqua</i>	Sasanqua Camellia	Exotic	5	2, 3, 5, 6, 29
<i>Pyrus calleryana</i>	Callery Pear	Exotic	5	47, 48, 49, 50, 51
<i>Ficus microcarpa</i>	Hills Weeping Fig	Australian Native	3	9, 12, 15
<i>Betula pendula</i>	Silver Birch	Exotic	1	20
<i>Prunus cerasifera</i> "Nigra"	Purple Cherry Plum	Exotic	1	1
<i>Syzygium paniculatum</i>	Magenta Cherry	Australian Native	1	46

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EASEMENTS AND COVENANTS

An E-1 easement measuring 1.8 metres in depth and running parallel with the rear boundary has the purpose of Drainage and Sewerage.

A review of the Certificate of Title indicates there are no encumbrances, caveats or notices that would impede a subdivision or development proposal.

A copy of the Certificate of Title has been provided as part of this submission.

PERMIT HISTORY


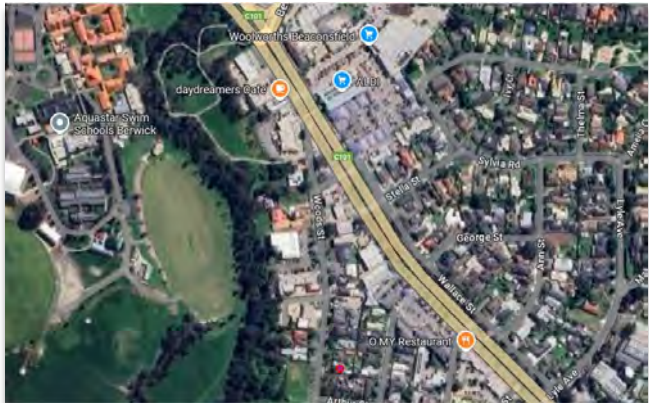
There is no recent planning permit history associated with this site.





SURROUNDS

Woods Street is a residential road in Beaconsfield that intersects the Old Princes Highway to the north and Beaconsfield Avenue to the south, where the Beaconsfield Train station is situated.

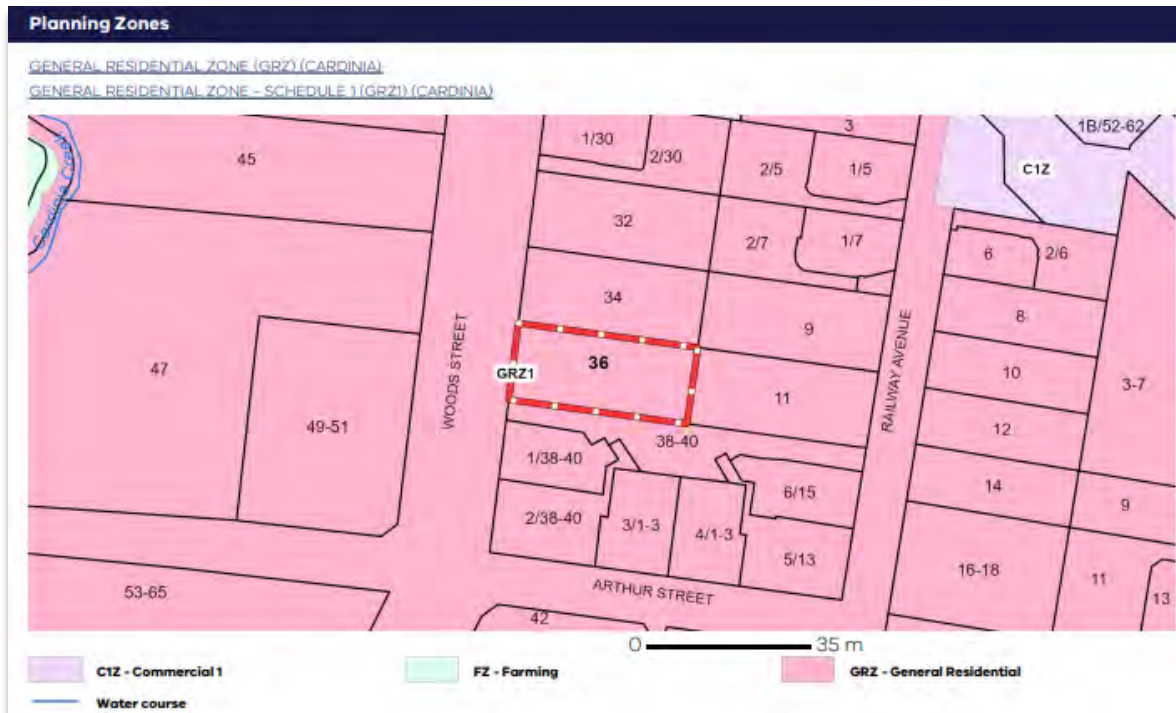
There is sporadic roadside vegetation in the road reserve and a paved foot path on the western side of Woods Street. The residential development that addresses Woods Street and is evident in the area contributes to an 'evolving' character that features circa 1970's onward design and is dominated by detached, single storey dwellings featuring weatherboard, brick veneer, pitched gable roof dwelling designs setback from the street with generous front yard landscaping, interspersed with the emergence of contemporary designs that support a more dense development pattern.

The land immediately adjoining the subject site has been summarised below:

<div style="display: flex; align-items: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); background-color: #333; color: white; padding: 5px; font-weight: bold; margin-right: 10px;">NORTH</div> <div>   </div> </div>	<ul style="list-style-type: none"> • The northern (side) boundary abuts No. 34 Woods Street, a weatherboard residential development. • Further north there is a four unit development at 28 Woods St, two lot subdivisions at 5 & Railway avenue, and scattered unit development for 3 units at George Street, amongst others. • Access to Bob Burgess Reserve. • Red Dot bottom centrally denotes 36 Woods St Beaconsfield • Addressing Woods Street is the CFA Beaconsfield Fire Station. • Hailebury School is located in the northwest, with associated school ovals.
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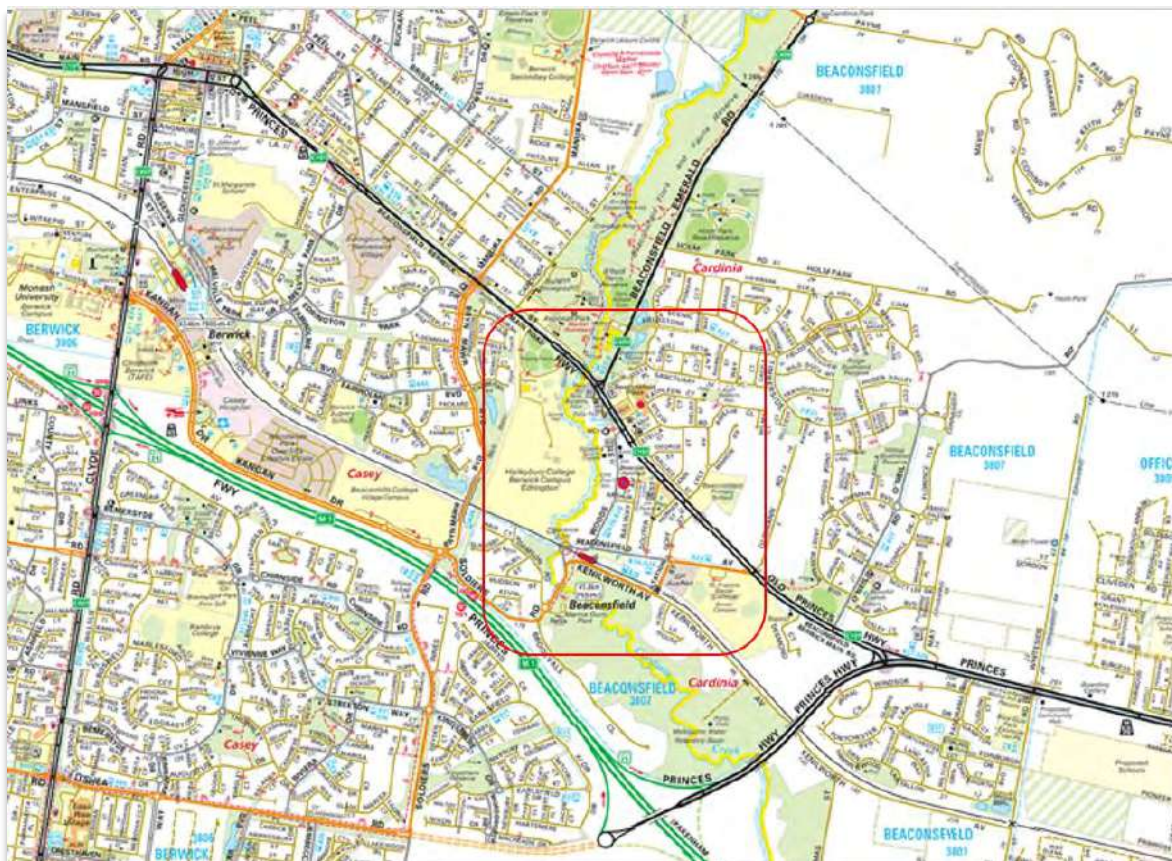
SOUTH	 	<ul style="list-style-type: none"> • Abuts 38-40 Woods Street, which is a six unit development that has access via Woods Street and Railway Avenue. • The subject site is outlined in blue and also a Red Dot for clarity. • Beaconsfield Railway Station is 300 metres to the south from Woods Street on Railway Avenue. • Further south is Manna Gum Park. • St Francis Beaconsfield Campus resides on Beaconsfield Avenue. • Another commercial centre fronts Old Princes Highway including a Mitre 10 hardware store, Petrol Station and various other businesses.
EAST		<ul style="list-style-type: none"> • To the immediate east lies a mix of older and recent residential developments. • Further east, fronting the Old Princes Highway, there are commercial facilities and the Beaconsfield Primary School. • A Red Dot denotes the subject site.
WEST		<ul style="list-style-type: none"> • The west comprises the grounds of Haileybury School and land set aside for the Cardinia Creek and its wetlands: Bryn Mawl Wetlands 1 & 2 and the Cardinia Creek Parklands.

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PROPOSED PARCELS IN RELATION TO THE SUBJECT SITE (IMAGE COURTESY OF VICPLAN).

The subject site (red dot, below) shown in context with the surrounding area of Beaconsfield (Melways Online, 2024) illustrates the proximity of the site to public transport (Bus route 837 at Beaconsfield Plaza/Woods Street that travels to the Beaconsfield Station and back into Pakenham), Beaconsfield Plaza and commercial centre, reserves, schools and is 321 metres to the Beaconsfield Railway Station.



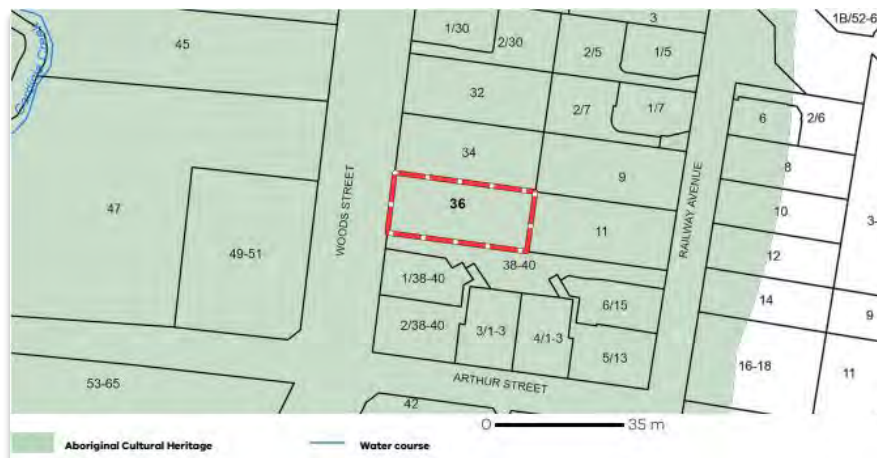
ENVIRONMENTAL CONSIDERATIONS

TOPOGRAPHY


Topographically, the land is relatively flat. The topography does not pose constraints to the proposed subdivision of the land.

CULTURAL HERITAGE

The land is mapped within an area of potential cultural significance and is greater than 50 metres (101 metres measured) from Cardinia Creek to the west, however, the ACHRIS site denotes that a CHMP is not required for a two dwelling construction or subdivision.



MAPPING OF ABORIGINAL CULTURAL HERITAGE (IMAGE COURTESY OF VICPLAN, 2024)

 Department of Premier and Cabinet		
Process List		
Project Name:	36 Woods St	
Project Location:	Beaconsfield	
Date:	20-Nov-2024	
	QUESTION	ANSWER
Question 1	Is the proposed activity , or all the proposed activities, exempt?	Yes
Answer:	<p>ON THE BASIS OF THE ANSWERS YOU HAVE ENTERED</p> <p>YOU ARE NOT REQUIRED BY THE REGULATIONS TO PREPARE A CULTURAL HERITAGE MANAGEMENT PLAN FOR THIS PROJECT</p>	
	<p>This process list is for information purposes only; the result must not be relied upon by a statutory authority in deciding whether a cultural heritage management plan is required for a proposed activity.</p>	

ABORIGINAL PLANNING TOOL FOR ACHRIS – 20th NOVEMBER, 2024 ([Process List](#))

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VEGETATION

The landscape on the site and in the surrounding area is a highly modified, urban environment. There is onsite planted vegetation, as per the Arboricultural assessment (*Arbkey*, March 2025), below and the street view of the site at bottom.



ABOVE: ONSITE THIRD PARTY VEGETATION (SOURCE VICPLAN, 2024), BELOW: THE STREET VIEW OF THE SUBJECT SITE.



Third-party trees numbered 46-51 will experience encroachment by the development. These trees are all planted species. Tree 46 is planted Magenta Cherry located in the rear south western corner of 11 Railway Avenue, within a metre of the E-1 easement measuring 1.8 metres in depth and running parallel with the rear boundary has the purpose of Drainage and Sewerage. The proposed garage will encroach into the TPZ of this tree however, the revised plans show that the proposed garage will align with the existing garage and will not pose a greater encroachment than current conditions into the TPZ of this tree.

BUSHFIRE PRONE AREA

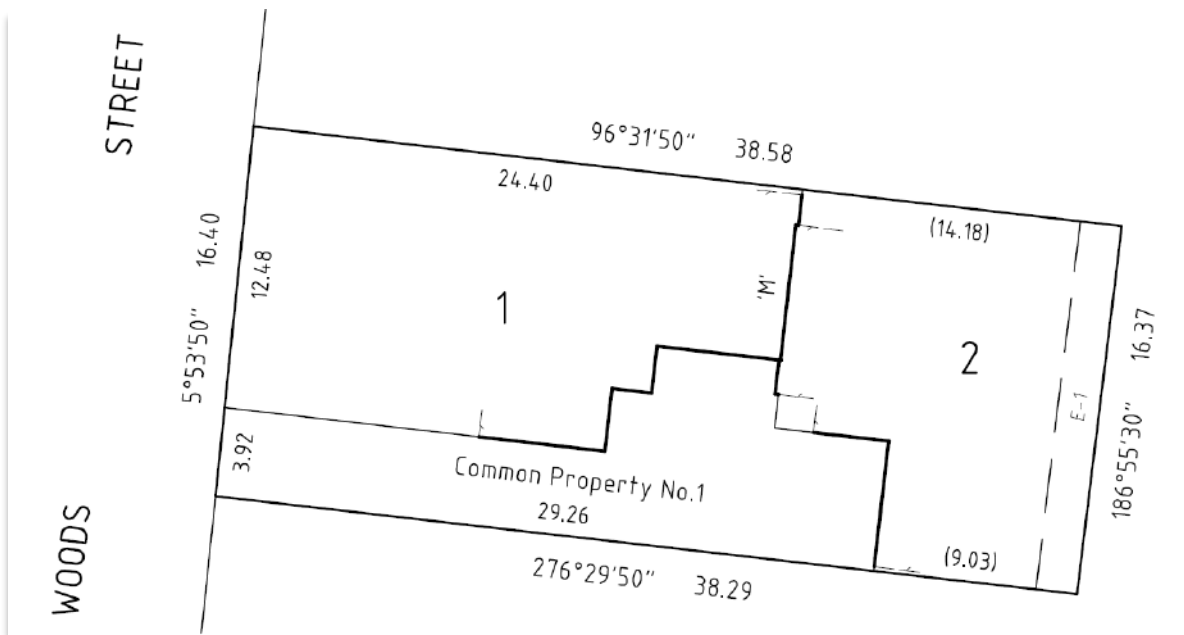
The subject site is not mapped in a designated Bushfire Prone Area.

4. THE PROPOSAL

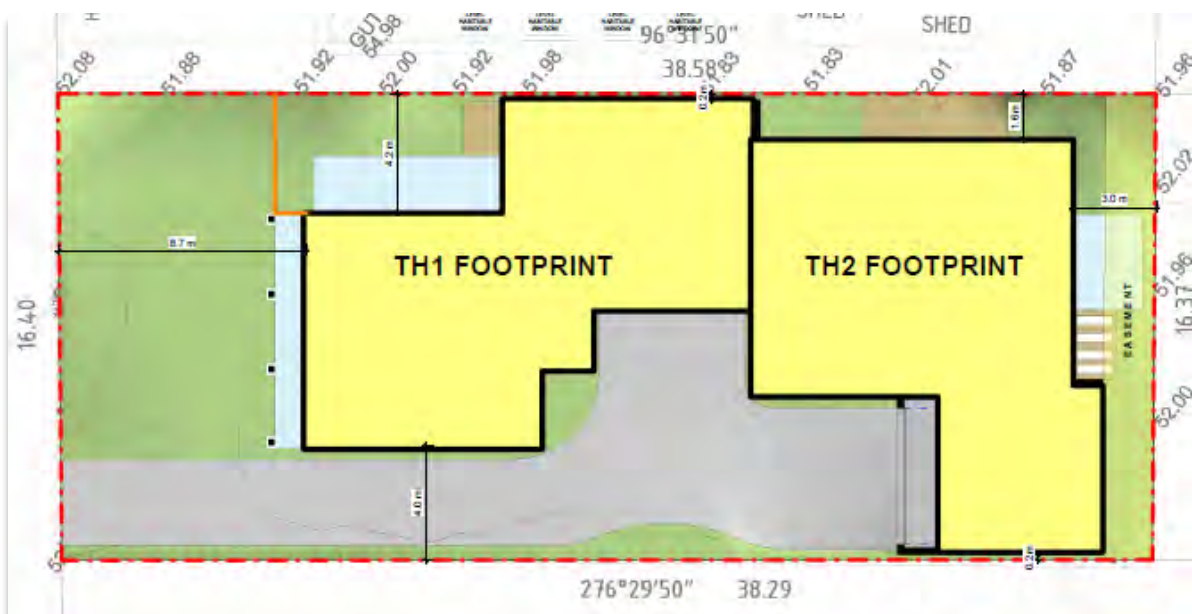
The applicant seeks approval for the subdivision of land into two (2) lots and the development of the land for two (2) dwellings. The existing dwelling will be demolished to accommodate the new development.

SUBDIVISION

The proposed lot configuration is as per the Plan of Subdivision prepared by Nobelius Land Surveyors (below).



The lot configuration is informed by the development footprint and the edge of the driveway access, which is provided below (UXD Group, April 2025).



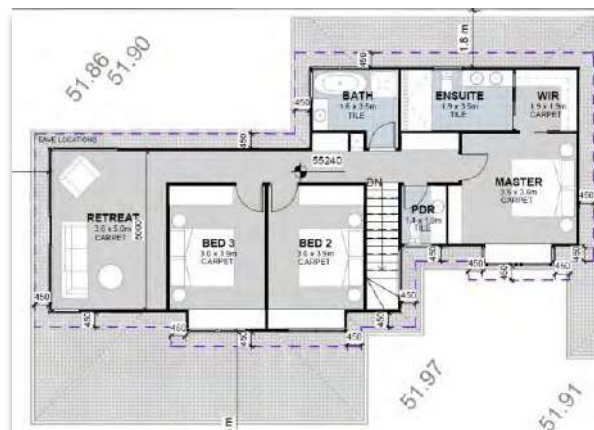
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DEVELOPMENT

UNIT 1

The proposed dwelling (TH1) on Lot 1 is a double storey development that has a footprint measuring 130.8m² including the ground floor, porch and garage. The internal ground floor configuration features a living area, dining, study nook and kitchen with a laundry and powder room with the two car garage providing access externally. The first floor features three bedrooms (one master with ensuite and walk in robe), a shared bathroom and rumpus area. There is also provision for a fground floor deck e. Unit 2 adjoins the garage of Unit 1. The area table for Townhouse 1 is below and the floor designs are at bottom.

TH1	
GROUND LEVEL FLOOR PLATE:	90.6 m ²
UPPER LEVEL FLOOR PLATE:	92.9 m ²
GARAGE FLOOR PLATE:	40.2 m ²
TOTAL PERMEABLE SURFACE COVERAGE:	133.8 m ²
BALANCE OF IMPREVIOUS SERVICES:	27.3 m ²
TOTAL FLOOR AREAS:	223.7 m²
<u>ANCILLARY AREAS</u>	
DECK AREAS:	13.3 m ²
POS:	33 m ²
SPOS:	33 m ²



UNIT 2

The proposed dwelling on Lot 2 (TH2) is a double storey development that has a footprint measuring 132.3m² including the ground floor, first floor, porch and garage. The internal ground floor configuration features a living area, dining and kitchen with a laundry and powder room and a master bedroom with an ensuite and and walk-in robe with the two car garage providing access internally. The first floor features two bedrooms (one bedroom has a walk-in robe), a shared bathroom and rumpus area with study nook. The area table for TH2 are below and the ground and first floor designs are at bottom.

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TH2

GROUND LEVEL FLOOR PLATE:	91.4 m ²
UPPER LEVEL FLOOR PLATE:	62.2 m ²
GARAGE FLOOR PLATE:	40.9 m ²
 TOTAL PERMEABLE SURFACE COVERAGE:	 39.1 m ²
BALANCE OF IMPREVIOUS SERVICES:	10.1 m ²
 TOTAL FLOOR AREAS:	 194.5 m ²
<u>ANCILLARY AREAS</u>	
DECK AREAS:	8.2 m ²
POS:	58 m ²
SPOS:	30 m ²



The development from the perspective of Woods Street presents a contemporary design with a modern interpretation of architectural styles evidenced in the area. The pitch of the roof and employment of horizontal cladding combined with reduced eaves, white contrasting timber accents on the façade, timber cutouts along the entry area and bricks to the ground floor sill level presents a nod to the mid 1970's architecture that is evident in the neighbourhood.

Finishes and materials are a light tone with contrast provided by timber cladding features. These are detailed on Development Plan provided by *UXD Group*, TH-07 and TP-08.

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LANDSCAPING

All 44 onsite trees will be removed, which does not trigger a planning approval given these trees are planted. A landscape plan by *Emee Landscape Design* is provided that evidences generous opportunities for landscaping in the front setback, adjacent to the driveway access and within the Private Open Space of both dwellings. The landscaping ensures hard surfaces associated with the boundary fencing and driveway are 'broken up' and 'softened' by plants suitable for the various proportions of garden beds. The landscape Plan evidences the employment of appropriate plants and vertical gardens that are suitable for 'narrow' spaces, that will contribute to the amenity and attractiveness of the outdoor environment. Care are also been taken regarding planting and landscaping over the easement located adjacent to the rear boundary.



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SWEPT PATHS

Colliers have provided a swept path assessment, dated March 2025 that shows the provision of 2 units and four (4) onsite car parking spaces complies with the car parking provisions. The sweep path assessment provided at Appendix A in the Colliers assessment employs Auto Desk vehicle Tracking v25 and confirms B85 vicles (as defined in AS2890.1:2004) can successfully enter and exit all spaces independently and in a single manoeuvre in a forward facing direction. The swept path assessment also confirms that a minimum clearance of 300mm from all objects above 150mm in height can be achieved. An extract for vehicle manoeuvrability for Unit 1 is extracted and provided below.



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5. RELEVANT PLANNING CONTROLS

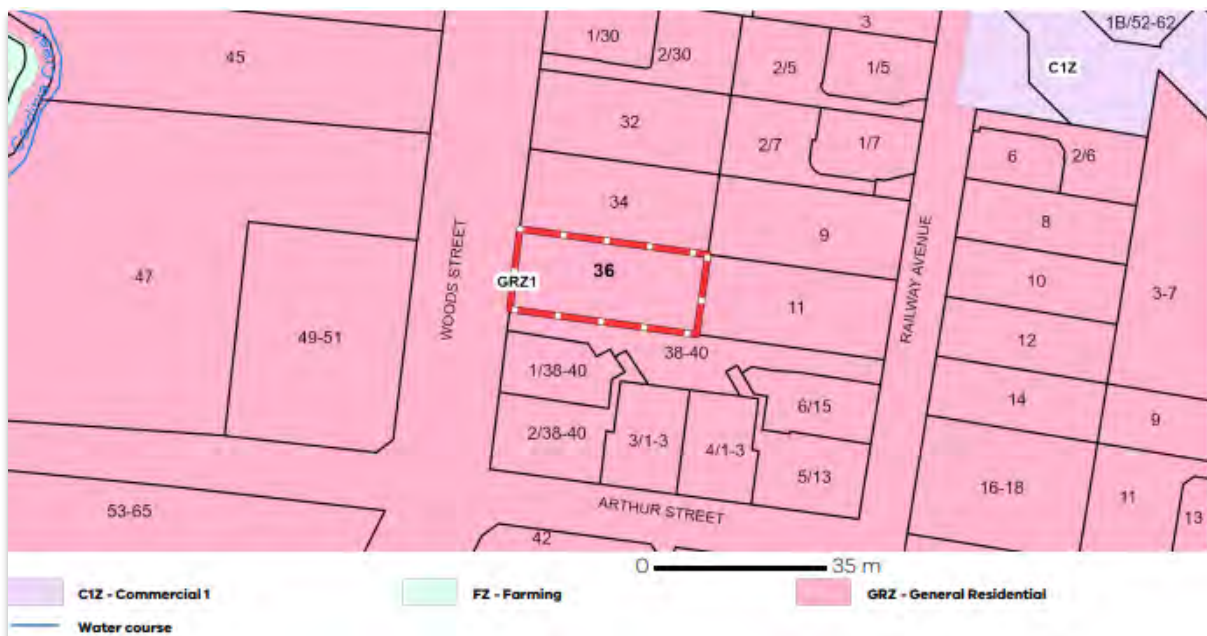
The following section addresses the objectives and requirements of the zoning and overlay controls relevant to the subject site identifying how these planning controls relate to the proposal, trigger an assessment and how we have addressed the requirements of planning provisions.

ZONING CONTROLS

The following provides a brief summary of the planning controls relevant to the subject site identifying how these planning controls relate to the proposal.

GENERAL RESIDENTIAL ZONE

The subject site and all surrounding land is mapped within the General Residential Zone – Schedule 1 (GRZ1):



The General Residential Zone has the following purposes relevant to this proposal:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respect the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Pursuant to **Clause 32.08-3**, a permit is required to subdivide land.

An application to subdivide the land that creates a lot less than 400sqm capable of development for a dwelling must ensure at least 25% of the land is provided as garden area. There are two areas on the site plan that meet the requirements of a garden area which measure 155.1m² and equates to 24.5%

17

GENERAL RESIDENTIAL ZONE - DECISION GUIDELINES

The decision guidelines contained in Clause 32.08-13 have been considered in the proposed design. An assessment of the proposal against each relevant guideline is provided below:

General

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of this zone.*
- *The objectives set out in a schedule to this zone.*
- *Any other decision guidelines specified in a schedule to this zone.*
- *The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.*

Subdivision

- *The pattern of subdivision and its effect on the spacing of buildings.*
- *For subdivision of land for residential development, the objectives and standards of Clause 56.*

Dwellings and residential buildings

- *For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55. This does not apply to an apartment development of five or more storeys, excluding a basement.*

In summary, the proposal meets the requirements of the Municipal Planning Strategy and the Planning Policy Framework as addressed in Sections 6 and 7 (below). The proposal contemplates the subdivision of land into two (2) lots and the development of two double storey, three bedroom dwellings. Schedule 1 is silent on additional objectives and decision guidelines to those nominated in the zone. Please refer to Section 8 of this report for an assessment for the proposal against the requirements of clauses 55 and 56.

As such, the proposed subdivision and development is appropriate for the General Residential Zone.

OVERLAYS

The land is not subject to any Overlays under the Cardinia Planning Scheme.

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6. MUNICIPAL PLANNING STRATEGY

CLAUSE 21.01-2 KEY INFLUENCES AND CLAUSE 21.01-3 KEY ISSUES

The Cardinia Shire seeks to be recognised as a unique place of environmental significance where our quality of life and sense of community is balanced by sustainable and sensitive development, population and economic growth. The proposal is sensitive to the key issues facing Cardinia that have regard to preserving environmentally heritage significant areas, mitigating risks associated with flooding and bushfire, providing housing and services for a growing community, and facilitating economic development. The subject site is located within a residential area of Beaconsfield and is consistent with the Cardinia Shire Strategic Framework Plan at clause 21.01-5.

CLAUSE 21.02 ENVIRONMENT

Clause 21.02 Environment has the objective, among others, to manage development to mitigate impacts on the operation and health of waterway systems via the provision of retention and treatment of domestic wastewater. The development includes the provision of generous garden areas and water tanks that will avoid excessive stormwater being diverted to shared infrastructure.

Clause 21.02-2 Landscape and **Clause 21.02-3 Biodiversity** seek to avoid eroding the existing biodiversity of the Shire and its significant contribution to the landscape. There is some vegetation contained within the site that will be cleared, however landscaping in the front setback and through the site will 'soften' the visual impact of the proposal from the streetscape, contributing to the preservation of the existing neighbourhood character.

Clause 21.02-3 Bushfire management acknowledges the high risk associated with some of the areas within the shire. The site is not mapped within a Bushfire Prone Area therefore the proposal provides suitable development that caters to the needs of a growing community without escalating the risk of bushfire to the community.

Clause 21.02-7 Aboriginal cultural heritage acknowledges the shire contains sites and places of cultural significance. The subject site falls within an area identified as culturally significant given its proximity to Cardinia Creek. The proposal however is exempt from assessment as per the ACHRIS assessment above.

CLAUSES 21.03 SETTLEMENT AND HOUSING

Clause 21.03 Settlement and Housing and more specifically **Clause 21.03-1 Housing** identifies the shire as a destination for residents seeking diverse, affordable housing types and densities. Our proposal provides for two units all with three bedrooms close to facilities and addresses key objectives associated with this clause including:

- *To encourage a diversity in housing to meet the needs of existing and future residents*
- *To encourage the provision of housing to cater for groups within the community with specific housing requirements.*

Clause 21.03-2 Urban Established Area – Beaconsfield and Pakenham identifies the parts of Cardinia Shire that are part of the Casey-Cardinia Growth Area within which a diversity of housing types and sizes that are affordable and serviced by existing utility infrastructure are desirable with access to community facilities to address car dependence. The proposal contemplates the development of two units each with three bedrooms that will provide a modest contribution of housing diversity and

density located within access to public transport and facilities, beyond any mapped risk associated with flooding or bushfire, and is generally consistent with the existing character of the area.

7. PLANNING POLICY FRAMEWORK

This part of the report assesses and responds to the legislative and policy requirements for the project outlined in the Cardinia Planning Scheme and in accordance with the Planning and Environment Act 1987. The relevant clauses of the State & Local Planning Policy Framework for subdivisions of the type presented in this report are largely contained in Clauses 11, 15, 16, 18 and 19. The proposal is located within an established area of Pakenham.

An assessment against the relevant clauses of the Cardinia Planning Scheme has been provided below:

CLAUSE 11 SETTLEMENT

Clause 11.01-1S Settlement and **Clause 11.02-1S Supply of urban land** have regard for the development of sustainable growth that preserves the distinction between the residential areas of townships such as Beaconsfield and the peri-urban areas that surround such communities. These clauses have the shared objective to ensure a sufficient supply of land is available for residential, commercial, retail, industrial recreational, institutional, and other community uses, with the intensification of existing urban areas nominated as a viable option. Our proposal is consistent with this objective.

CLAUSE 15 BUILT ENVIRONMENT AND HERITAGE

Clause 15 Built Environment and Heritage has the objective to ensure planning delivers built form that is of high quality, is efficient, and is responsive to the surrounding landscape and character including its associated risks, protective of heritage and provides the functionality required by the community.

The proposal aligns with the objective of **Clause 15.01-2S Building design**, which is:

- *To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.*

The proposal contemplates the development of two dwellings that respond to the local context in terms of design, borrowing features such as the weatherboard type material, and proportions that are evidenced in the local area while presenting these as features of a contemporary design that recognises the direction of modern design and development seen in the area. Elements of the modern designs include the employment of passive solar with living areas located to the north of built form, and the incorporation of water tanks.

The proposal aligns with the objective of **Clause 15.01-3S Subdivision design**, which is:

- *Create compact neighbourhoods that have walkable distances between activities.*
- *Being accessible to people with disabilities.*
- *Ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.*

The proposal contemplates a two-lot subdivision of the land within 300 metres of the commercial centre of Beaconsfield to the north and 300 metres of the Beaconsfield Railway Station to the south. The subdivision seeks to modestly contribute to the provision of consolidated urban development in an area that is not burdened by landscape risk (flooding and bushfire) and has good access to services, facilities, infrastructure and transport. The subject sites are conveniently located within walking range of reserves and sporting facilities, which promotes the objective of **Clause 15.01-4S Healthy neighbourhoods**.

Clause 15.01-5S Neighbourhood character has the objective to:

- *..recognise, support and protect neighbourhood character, cultural identity, and sense of place.*

The immediate area is characterised as an established urban area that has the capacity to accommodate the projected growth of residential (infill) development. The proposal will provide additional housing that responds sympathetically to existing neighbourhood character.

CLAUSE 16 HOUSING

Housing should provide for diversity and ensure the efficient provision of infrastructure with new affordable housing provided in proximity to services, public transport, schools and open space.

As previously stated, the site is located within walking range of public open space (Cardinia Creek Reserve, Manna Gums Parkland) public transport (bus route 837, and Beaconsfield Railway Station), commercial services and facilities (Beaconsfield Commercial Centre), educational facilities (Beaconsfield Primary School, Haileybury School, St. Francis Xavier School), with employment opportunities available in the Beaconsfield Commercial Centre, hospitality outlets and supermarkets on Old Princes Highway to the North and Beaconsfield Mitre 10 to the southeast, which is consistent with the requirements of **clauses 16.01-1S and 16.01-1R and clause 16.01-2S**.

CLAUSE 18 TRANSPORT

Clause 18 Transport has regard to the provision of 'connectivity' for residents to social and economic opportunity which facilitates reliable movement for people and goods and supports environmental sustainability, health and wellbeing. Of salience here are the strategies of **Clause 18.0-1S Land use and transport integration** that seeks to reduce distances people have to travel between their place of residence and their employment, education, service providers, which promotes mobility within and between communities. Our proposal implies infill residential development within the existing township boundary whereby residents would be within 300 metres of the commercial centre of Beaconsfield and Beaconsfield Railway Station, with Bus Route 837 within a 200m walk on Old Princes Highway. This promotes non-car dependant mobility and supports active living and improved wellbeing synonymous with the 20-minute neighbourhood (**Clause 18.01-2S Transport system**), sustainable and safe transport (**Clause 18.01-3S**), and the strategies of **Clause 18.02-1S Walking, Clause 18.02-2S Cycling and Clause 18.02-3S Public Transport** given Beaconsfield Rail Station is within 300 metres of the subject site.

CLAUSE 19 INFRASTRUCTURE

Clause 19 has regard to the provision of infrastructure to our growing community. **Clauses 19.03-2S Infrastructure design and provision** and **19.03-3S Integrated water management** has the objective to provide timely, efficient and cost-effective development infrastructure that meets the community needs by integrating planning and engineering design of new subdivisions and development. In this regard our proposal is subject to the DCPO1 and will be subject to the obligations imposed via permit conditions for CIL contributions.

8. PARTICULAR PROVISIONS

The relevant particular provisions/documents that will be addressed are identified below:

- Clause 52.06 Car parking
- Clause 53.18 Stormwater management in urban Development
- Clause 55 Two or more dwellings on a lot
- Clause 56 Residential Subdivision

CLAUSE 52.06 CAR PARKING

Clause 52.06 has regard to the provision of safe car parking provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework. It ensures a proposal provides adequate car parking, or suitable alternatives, and that avoids adverse effects on amenity of the locality and is designed to a high standard. Pursuant to clause 52.06-1, the development of a lot for two dwellings requires an assessment of a proposal against the requirements of clause 52.06.

Table 1 Car parking requirement states that a dwelling with more than two bedrooms is required to provide two (2) car parking spaces. The proposal complies with this requirement. The proposal is not required to provide a visitor car parking space.

The access to the car parking measures minimum 3 metres and complies with the requirements at clause 52.06-9 Design standards for car parking. The provision of two double car parking garages complies with the requirements for Design Standard 2 – Car parking spaces.

The proposal is consistent with the decision guidelines at clause 52.06 in terms of onsite car parking spaces and access, and the site benefits from advantageous geography given its proximity to public transport options and ample street parking.

CLAUSE 53.18 STORMWATER MANAGEMENT IN URBAN DEVELOPMENT

Clause 53.18 has the purpose to *ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.*

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The requirements of the clause 53.18-1 do not apply to an application to *subdivide land in a residential zone for residential purposes*, or an application to *construct or extend a dwelling, fence or residential building in a residential zone*.

The clause has regard to non-residential development in residential zones, as is detailed in the link below:

https://www.clearwatervic.com.au/user-data/event-files/understanding-planning-nov2024/understanding-sw-planning_kmatthews_2-worked-example---commercial_13nov2024.pdf

CLAUSE 55 TWO OR MORE DWELLINGS ON A LOT

Clause 55 is applicable to this applicant and has the following purposes:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework;*
- *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*

The assessment of the proposal against the relevant provisions of Clause 55 (ResCode) except clause 55.07-1 to 55.07-19 (inclusive) is provided in the separate Clause 55 assessment included in the suite of supporting documents submitted with this proposal.

CLAUSE 56 RESIDENTIAL SUBDIVISION

Clause 56 is applicable to this proposal, and has the following purposes:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To create liveable and sustainable neighbourhoods and urban places with character and identity.*
- *To achieve residential subdivision outcomes that appropriate respond to the site and its context for:*
 - *Metropolitan Melbourne growth areas.*
 - *Infill sites within established residential areas.*
 - *Regional cities and towns.*
 - *To ensure residential subdivision design appropriately provides for:*
 - *Policy implementation*
 - *Liveable and sustainable communities.*
 - *Residential lot design.*
 - *Urban landscape.*
 - *Access and mobility management.*
 - *Integrated water management.*
 - *Site management.*
 - *Utilities.*

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Clause 32.08 General Residential Zone states that applications for the subdivision of land into 2 lots must meet all the objectives and standards with the exception of 56.02-1, 56.03-1, 56.03-4, 56.05-2, 56.06-1, 56.06-3 and 56.06-6.

An assessment of the proposal against the relevant objectives and standards contained within Clause 56 is provided in the response to Clause 56 provided in a separate document within the suite of supporting assessments.

9. GENERAL PROVISIONS

The relevant general provisions that will be addressed in this section are identified below:

- Clause 65 Decision Guidelines
- Clause 65.01 Approval of an Application or Plan
- Clause 65.02 Approval of an application to subdivide land
- Clause 71.02-1 Purpose of the Planning Policy Framework
- Clause 71.02-3 Integrated decision making

CLAUSE 65 DECISION GUIDELINES

Clause 65 states that the Responsible Authority must decide whether the proposal will provide acceptable outcomes in terms of the decision guidelines of this Clause. The decision guidelines of Clause 65.01 and 65.02 relating to the approval of an application or plan and an application to subdivide the land respectfully are relevant to this application.

CLAUSE 65.01 APPROVAL OF AN APPLICATION OR PLAN

The decision guidelines outlined in Clause 65.01 are applicable to this proposal, in particular:

- *The matters set out in Section 60 of the Act.*
- *Any significant effects the environment, including the contamination of the land, may have on the use or development.*

The land is not identified as being contaminated. The site constraints and considerations of the land including topography and any overland flows have been responded to throughout the design process.

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*

The planning considerations have been adequately addressed within this report in sections 5-8.

- *The effect on the environment, human health and amenity of the area.*

The proposed subdivision does not pose any foreseeable adverse impacts to the environment, human health or the amenity of the area. Any potential adverse impacts have been identified and responded to throughout the design process.

- *The proximity of the land to any public land.*

The proposed subdivision is located within 400m of Public Use Land and does not adversely impact any public land within the vicinity of the site.

- *Factors likely to cause or contribute to land degradation, salinity or reduce water quality.*

No foreseeable factors that may cause or contribute to land degradation, salinity or reduced water quality have been identified during the design process.

- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*

The stormwater and drainage capacity of the site will not overwhelm the capacity of the existing stormwater and drainage infrastructure in the area. Water tanks will harvest rainwater from the roofs to be reemployed as irrigation and toilet flushing.

- *The extent and character of native vegetation and the likelihood of it's destruction.*

No native vegetation is evident on or near the site and is not proposed to be removed. The land will be cleared of introduced species.

- *Whether native vegetation is to be or can be protected, planted or allowed to regenerate.*

The establishment of native vegetation within the landscaping on the site is possible.

- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*

The subject site is not prone to fire hazard, flood or erosion.

- *The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.*

Loading and unloading facilities are not relevant to this proposal.

- *The impact the use or development will have on the current and future development and operation of the transport system.*

The proposed subdivision does not adversely impact on the current and future development and operation of the transport system.

CLAUSE 65.02 APPROVAL OF AN APPLICATION TO SUBDIVIDE LAND

The decision guidelines outlined in Clause 65.02 have been considered in the proposed design. A response has been provided where applicable to demonstrate how the proposal meets the decision guidelines outlined below:

- *The suitability of the land for subdivision.*
- *The existing use and possible future development of the land and nearby land.*
- *The availability of subdivided land in the locality and the need for the creation of further lots.*

The land is zoned for residential purposes and has been designated for future residential development. Surrounding land is experiencing infill residential development, and the lot sizes of the proposed subdivision will integrate with and compliment the emerging character of the residential precinct.

- *The effect of development on the use or development of other land which has a common means of drainage.*

Stormwater and drainage will be developed to support the proposed subdivision to ensure that overland flows do not adversely affect any other land with common means of drainage.

- *The subdivision pattern having regard to the physical characteristics of the land including existing vegetation.*

The site has not obvious constraints that limit the potential subdivision potential. There are no impacts to vegetation as the site has no vegetation, nor is there third party vegetation that requires consideration.

- *The density of the proposed development.*

The density of the proposed subdivision is appropriate for the locality and reflects the subdivision patterns seen on surrounding land.

- *The area and dimensions of each lot in the subdivision.*

The proposed subdivision has achieved lots with areas and dimensions consistent with those seen in the vicinity and supports higher densities in the vicinity of public transport options, commercial service centres and public open space.

- *The layout of roads having regard to their function and relationship to existing roads.*
- *The movement of pedestrians and vehicles throughout the subdivision and the ease of access to all lots.*

Access from Woods Street to the Lots is via Common Property.

- *The provision and location of reserves for public open space and other community facilities.*

The proposal does not include reserves for public open space or other community facilities.

- *The staging of the subdivision.*

No subdivision staging is proposed to be undertaken.

- *The design and siting of buildings have regard to safety and the risk of spread of fire.*

The risk of fire to the proposed subdivision is mitigated by the highly modified landscapes surrounding the subject site. The infill development is subject to the fire spread mitigation requirements of the Building Regulations.

- *The provision of off-street parking.*

All lots are able to support off-street parking that meets the requirements of clause 52.06.

- *The provision and location of common property.*
- *The functions of any body corporate.*

Common property No. 1 is proposed as part of this subdivision to provide access to all lots. The liability and benefit of Common Property is shared equally among the lots, as per sheet 3 of the Plan of Subdivision.

- *The availability and provision of utility services, including water, sewerage, drainage, electricity and gas.*

- *If the land is not sewered and no provision has been made for the land to be sewered, the capacity of the land to treat and retain all sewage and sullage within the boundaries of each lot.*

The subject site is able to connect to all services.

Sewer is available in Woods Street.

- *Whether, in relation to subdivision plans, native vegetation can be protected through subdivision and siting of open space areas.*

No native vegetation is proposed to be removed. Existing shrubs will be removed for the construction of the proposed dwellings.

- *The impact the development will have on the current and future development and operation of the transport system.*

The proposed subdivision does not adversely impact on the current and future development and operation of the transport system.

CLAUSE 71.02-3 INTEGRATED DECISION MAKING

Clause 71.02-3 Integrated decision making seeks to balance the needs and expectations of the community in terms of the provision of built form to accommodate a growing population, protection of the environment, economic wellbeing, various social needs, management of resources and infrastructure. **Clause 71.02-3** has been recently updated (February, 2022) and aims to balance these needs and expectations through the employment of the Planning Scheme to ensure conflicting objectives are balanced in favour of net community benefit and sustainable development for the benefit present and future generations. It states that in bushfire affected areas, planning must prioritise the protection of human life over all other policy considerations.

Our proposal contemplates the subdivision and development of land in an area identified as beyond the BPA and is not subject to inundation. The subdivision of the subject site presents an opportunity to balance the demand for housing by the growing population, mitigate the risks associated with the land and preserve the environmental assets on and around the lot.

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10. CONCLUSION

It is submitted that the proposal is consistent with the relevant policies and provisions of the Cardinia Planning Scheme and should receive Council's support for the following reasons:

- The proposal is consistent with the Municipal Planning Strategy and the Planning Policy Framework;
- The proposal is consistent with the purpose of the General Residential Zone – Schedule 1;
- As stated in this report, the matters for consideration under the *Planning and Environment Act, 1987* and associated *Planning and Environment Regulations 2015* has been satisfactorily addressed through compliance with the Cardinia Planning Scheme, demonstrating the subdivision and development is compatible with the existing subdivision and development pattern in the surrounding area;
- The proposed lot will be developed with double-storey dwellings that feature suitable setbacks to ensure any potential for overshadowing of the existing rooftop solar energy systems on dwellings on adjoining residential lots is avoided;
- The proposal is respectful of the neighbourhood character and subdivision pattern evident in surrounding residential developments; and
- The proposal has satisfied all relevant objectives and standards of Clauses 55 and 56.

The proposal provides an excellent opportunity for further residential development in a well serviced location and in an residential area of Beaconsfield.

The constraints and considerations of the subject site have been appropriately responded to in the design process, and the proposal integrates into the surrounding subdivision pattern and street network.

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CLAUSE 55 ASSESSMENT – TWO OR MORE DWELLINGS ON A LOT AND RESIDENTIAL BUILDINGS

Clause 55 is applicable to this applicant and has the following purposes:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework;*
- *To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*


The following table is an assessment of the proposal against the relevant provisions of Clause 55 (ResCode) except clauses 55.07-1 to 55.07-15 (inclusive):

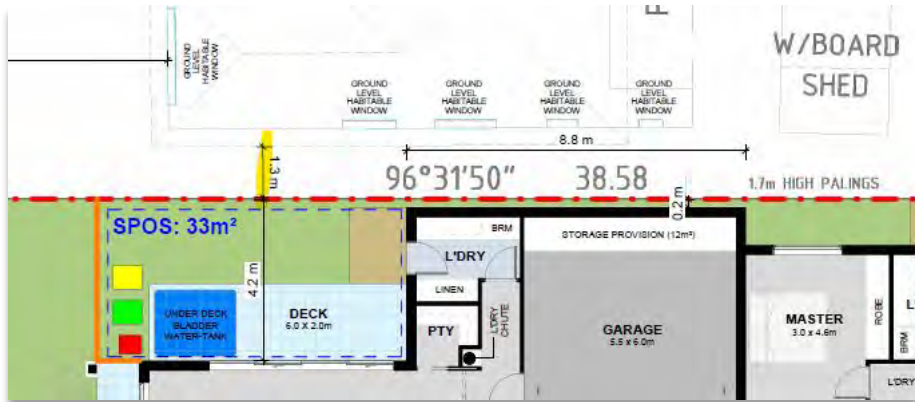
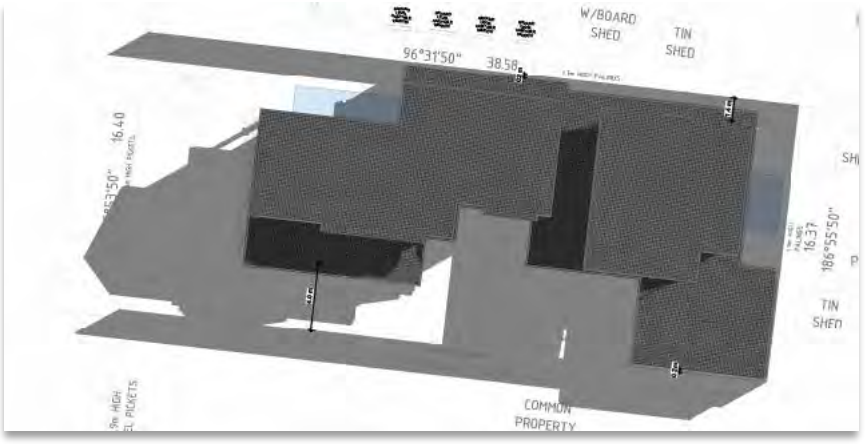
CLAUSE	RESPONSE
55.01 Neighbourhood and Site Description and Design Response	
55.01-1 Neighbourhood and site description	Please see section 2. Subject Site and Surrounding locality in the Town Planning report for a detailed neighbourhood and site description. Please read in conjunction with the supporting architectural documentation by UXD Group, November 2024
55.01-2 Design response	Please see section 3- The Proposal in the Town Planning report for a detailed design response. Please read in conjunction with the supporting architectural documentation by UXD Group, November 2024.
55.02 Neighbourhood Character and Infrastructure	
55.02-1 Neighbourhood character objectives	Complies with standard B1. The proposed development is appropriate for the neighbourhood and site. The proposed lot size is consistent with lot sizes within the township boundary. The proposed double storey dwellings are respectful of the existing built form in the immediate neighbourhood in terms of size, scale and materials, taking design cues from the 1970's architecture evident in the area.
55.02-2 Residential policy objectives	Complies with standard B2. The proposed development has been designed in accordance with the Cardinia Shire Planning Scheme, particularly Clause 16 Housing. A detailed response to Clause 16 and all relevant Victorian Planning Provisions has been provided above in subsection 4.3 State Planning Policy Framework and 4.4 Local Planning Policy Framework contained in the Town Planning report.
55.02-3 Dwelling diversity objective	N/A Less than 10 dwellings.
55.02-4 Infrastructure objectives	Complies with standard B4. The proposed development has the potential to connect to reticulated services, including sewerage, drainage, electricity and gas from Woods Street.

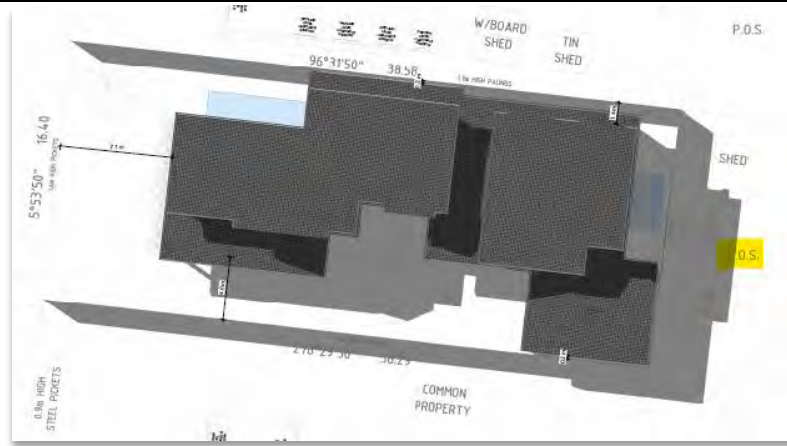
<p>55.02-5 Integration with the street objective</p>	<p>Complies with standard B5.</p> <p>The proposed development has been designed to integrate with the layout with the street. The retention of the existing crossover and the siting of unit 2 to the rear minimises the appearance of the development from the street.</p> <p>The site layout provides for adequate vehicle and pedestrian links that maintain local accessibility and avoids high fencing.</p>
<p>55.03 Site Layout and Building Massing</p>	
<p>55.03-1 Street setback objective</p>	<p>Variation sought for standard B6.</p> <p>The front setback of Dwelling 1 will be 8.7 metres measured from the elevation of the ground floor and 7.6 metres measured from the first floor elevation. The average setback from both abutting dwellings is 8.8 metres (No. 34 setback is 9m, and No. 38 setback is 8.6m) which falls short of the requirements of Table B1. There is evidence in the local area of similar development on similarly zoned land that supports the granting of a variation. The table and aerial below show dwellings with front setbacks that measure less than what is being proposed by T240680 PA. These are highlighted in the aerial by the green dots. Clearly there are many examples (we have not numbered them all in the table) where the front setback of single and two dwellings on a lot is far less than what we are proposing, and this does not detract from the preferred neighbourhood character of the area, as per the standard objective. Additionally, the proposal retains a front yard that provides generous opportunities for landscaping that will soften the perception of the dwelling from the street.</p> 

	ADDRESS	DEVELOPMENT	FRONT SETBACK
	28 Woods Street	Four dwelling development	Front setback measuring >2metres.
	30 Woods Street	Two dwellings/subdivision	Front setback 5.5 metres
	42 Woods Street	Single detached dwelling	Front setback measuring >2metres.
	46 Woods Street	Single detached dwelling	Front setback 2.7 metres
	48 Woods Street	Single detached dwelling	Front setback 3.6 metres
	50 Woods Street	Two dwellings on a lot	Front setback 0 metres
	54 Woods Street	Single detached dwelling	Front setback 2.4 metres
	56 Woods Street	Single detached dwelling	Front setback 2.8 metres
	58 Woods Street	Four dwelling development	Front setback 5 metres
	66-68 Woods Street	Three dwelling development on each lot	Maximum Front setback 2.8 metres
	5+7 Railway Ave	Two dwellings/subdivision	Front setback 4.8 metres
	4-6 Railway Ave	Two dwellings/subdivision	Front setback 4.6 metres
	10+12 Railway Ave	Single detached dwelling	Front setback 5.8metres
	9+11 Railway Ave	Single detached dwellings	Front setback 7.2 metres
	30 Railway Ave	Single detached dwellings	Front setback 3.6 metres
55.03-2 Building height objective	Complies with standard B7. The maximum building height specified in the General Residential Zone as outlined in 32.08-10 Maximum building height requirement for a dwelling or residential building is 11 metres. Floor to roof pitch heights do not exceed 7m.		
55.03-3 Site coverage objective	Complies with standard B8. No minimum site coverage is specified in the schedule to the zone, and the maximum site coverage to meet Standard B8 is 60 per cent. The site coverage over the entire site measures 276.6m ² , which equates to 43.85 per cent.		
55.03-4 Permeability and stormwater management objectives	Complies with standard B9. No minimum site coverage is specified in the schedule to the zone, and the minimum pervious surface area should be at least 20 per cent of the site.		

	Permeable coverage for the site is 27.4 per cent.
55.03-5 Energy efficiency objectives	<p>Complies with standard B10.</p> <p>The proposed development meets the requirements of Standard B10, with the living area of Unit 1 orientated to the northern side of the dwelling to ensure good use of solar energy. Unit 2 development has the living area and kitchen located on the western side due to practical constraints though will still garner north westerly solar access. The proposed development does not impact upon the energy efficiency or rooftop solar energy system of existing dwellings on adjoining lots.</p>
55.03-6 Open space objective	<p>Not applicable</p> <p>No open space is proposed as part of this proposal.</p>
55.03-7 Safety objective	<p>Complies with standard B12.</p> <p>The proposed development meets the requirements of Standard B12. Entrances to both units will be well lit, providing for the safety and security of residents. Private spaces will be fenced, and no unsafe places have been created through landscaping.</p>
55.03-8 Landscaping objectives	<p>Complies with standard B13.</p> <p>There are no minimum dimensions associated with Landscaping. Provision for landscaping has been included in the front setback and private open spaces of both dwellings, as evidenced by Landscaping plans provided by <i>Emee Landscape Design</i> dated <i>February 2025</i>. These plans show the incorporation of vertical gardens that are appropriate for smaller areas, ground cover plantings and trees with root structures appropriate to easement and foundation locations, and allow for 'intended growth and structural protection of built form' and 'provide for safe, functional and attractive outdoor environments for future residents'.</p>
55.03-9 Access objective	<p>Complies with standard B14.</p> <p>The existing crossover will remain (and be upgraded to measure 3 metres in width to be consistent with the requirements for the RA). Please refer to TP05. One crossover is respectful of existing neighbourhood character and a width of 3 metres is consistent with the requirements of clause 52.06 Car parking. Access for service, emergency and delivery vehicles is maintained. Please read in conjunction with the Swept path Assessment provided by <i>Colliers</i>, March 2025.</p>
55.03-10 Parking location objectives	<p>Complies with standard B15.</p> <p>Units 1 and 2 are three-bedroom dwellings and have been provided with a double lock-up garage with rear storage provisions of 12m². As access to Dwelling 2 is via the Common Property, which is located within 1.5metres of the dining room windows of Dwelling 1, the windows have been shown as featuring double glazing as a mechanism to attenuate noise from vehicular movement within the development. Please refer to Plans TP05. This is also consistent with the requirements of Standard 24 – Noise Impacts.</p> <p>Pursuant to Clause 52.06 Carparking 2 carparking spaces have been provided to the three-bedroom dwellings within this development with swept plans</p>

	indicating the access is navigable. Please refer to the swept paths provided by <i>Colliers</i> , dated March 2025.
55.04 Amenity Impacts	
55.04-1 Side and rear setbacks objective	<p>Complies with standard B17.</p> <p>The Dorma windows associated with Bedrooms 2 and 3 of Dwelling 2 protrude beyond the 3D setback envelope by a maximum of <u>0.26m</u> with the protruding built form consisting mostly of eaves and guttering. The standard states that eaves, façades and gutters may encroach not more than <u>0.5 metres into the setbacks</u> of this standard. The protrusion is within the realm of what is considered an acceptable encroachment. The elevation of the walls (not Dorma windows) of bedrooms 2 and 3 are setback 1.75m from the northern boundary, well within the prescribed requirement. Please refer to the elevations of TP08.</p>  <p>The setback of the built form, despite the modicum of encroachment by the Dorma windows of bedrooms 2 and 3 of dwelling 2, meets the objective of standard B17 because the setback will not have any detrimental impact on the amenity of SPOS of existing dwelling on the adjacent lot.</p>
55.04-2 Walls on boundaries objective	<p>Complies with standard B18.</p> <p>The proposal complies with Standard B18 with the southern wall of the garage of Unit 2 constructed 200mm from the southern (side) and eastern (rear) boundary and abuts the boundaries for a distance of less than 10m. The length of garage associated with unit 1 is located on the boundary between the Lots and does not extend for a length of more than 10metres. Additionally, the rear wall of the garage to unit 1 is located 200mm from the norther (side) boundary, the length of which measures 8.8m.</p>
55.04-3 Daylight to existing windows objective	<p>Complies with standard B19.</p> <p>The proposed unit does not impede upon the ability of the existing dwellings to access adequate daylight into existing habitable room windows.</p>

	<p>There is an area with dimensions measuring 3m². The habitable windows on the southern elevation at No. 34 Woods Street are setback from the fence by 1.3metres.</p>  <p>Please read in conjunction with the shadow diagrams included in the supporting architectural documentation for further information.</p>
55.04-4 North-facing windows objective	<p>Not applicable</p> <p>No north-facing habitable room windows of an existing dwelling are located within 3 metres of the boundary of the abutting lot.</p>
55.04-5 Overshadowing open space objective	<p>Complies with standard B21.</p> <p>The proposed development has ensured that the proposed units do not overshadow existing secluded private open space.</p> <p>The shadow diagram at 8AM (TP-09) shows shadows cast by the boundary fence to the south however this poses no detriment as this area on No. 38-40 Woods Street is common property driveway. Refer below.</p>  <p>The shadow diagram at 3PM (TP-16) shows shadow cast into the POS of No11 Railway Avenue (to the east) though this will not be to the detriment of the POS given its total area. Refer below.</p>

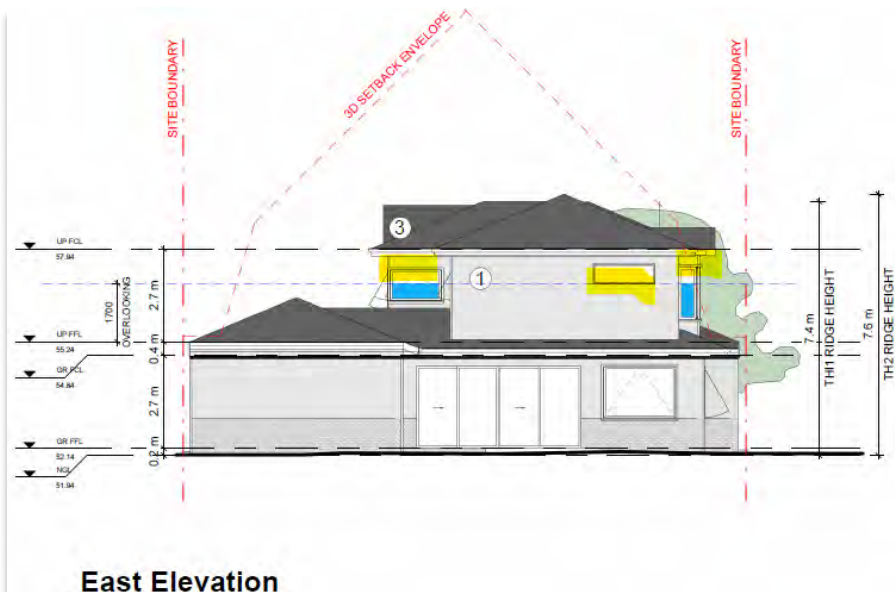


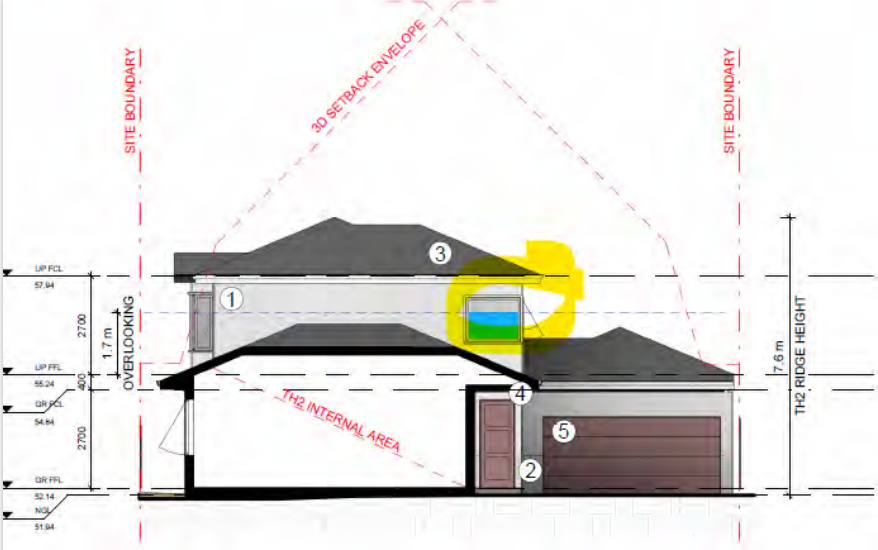
Please refer to the shadow diagrams included in the supporting architectural documentation for further information.

55.04-6 Overlooking objective

Complies with standard B22.

The proposed double-storey development has ensured that views into existing secluded private open space and habitable room windows are limited through the use of 1.7m high fencing, suitable setbacks, frosted glazing to a height of 1.7m above FFL and use of slimline windows with a sill height of 1.7m above FFL for windows on the North elevation, as per TP-08, below, and for windows on the East Elevation of dwelling 2, as per the east elevation plans in TP07 (shown at bottom).



55.04-7 Internal views objective	<p>Complies with standard B23.</p> <p>Views into the secluded private open space and habitable room windows of dwellings within the development have been limited through design. No windows of either unit have the capacity to look into the SPOS of either unit because the SPOS is located behind built form. For example the windows of bedrooms 2 and 3 of unit 2 can not look into the SPOS of unit 1 because the unit 1 garage blocks the view.</p> <p>The west-facing habitable window associated with the retreat in dwelling 2 is shown as frosted to a height of 1.7m above FFL to address any view into the Master bedroom of dwelling 1. Please refer to notation on TP06 and elevations TP08 (Below).</p> 
55.04-8 Noise impacts objectives	<p>Complies with standard B24.</p> <p>Noise sources have been taken into consideration in the design and siting of dwellings on the site.</p>
55.05 On-Site Amenity and Facilities	
55.05-1 Accessibility objective	<p>Complies with standard B25.</p> <p>The dwelling design for Unit 1 responds to the site topography by incorporating steps to the entrance. These are easily accessible to people with limited mobility and meet Standard B25 and can be adjusted should wheelchair access be required.</p>
55.05-2 Dwelling entry objective	<p>Complies with standard B26.</p> <p>Entries to each dwelling are visible and easily identifiable from the street, with a porch proposed over the entrance of Unit 2 that will provide shelter, a sense of personal address and a transitional space around the entry.</p>
55.05-3 Daylight to new windows objective	<p>Complies with standard B27.</p> <p>Windows in habitable rooms have been located to face outdoor space clear to the sky that achieves the minimum area of 3m² with a minimum 1m dimension. The Master bedroom of Dwelling 2 is a large north-facing window that is setback from the boundary by 1.2 metres. The eaves have been drawn back to</p>

	measure 200mm above this room window to ensure the window has a dimension of 1m clear to sky (measured from the revised eave), which complies with the standard and ensures daylight access to this new window.						
55.05-4 Private open space objective	<p>Complies (partial) with standard B28.</p> <p>No dimensions for private open space have been specified in the schedule to the zone, and therefore the dwellings need to achieve the area of POS and SPOS outlined in Standard B28:</p> <p>Private Open Space (POS) of 40m² with Secluded Private Open Space (SPOS) of 25m² (minimum dimension of 3m and accessible via living room).</p> <table><tr><td>Unit 1</td><td>POS 33m²</td><td>SPOS 33m²</td></tr><tr><td>Unit 2</td><td>POS 30m²</td><td>SPOS 30m²</td></tr></table> <p>Both dwellings can access the secluded private open via the living room. A variation to POS is requested as the proposal demonstrates POS that is usable and has access to morning sun (unit 2) and has a northerly aspect (unit 1). Additionally, the site benefits from advantageous geography given its proximity to the lineal public open space adjacent to Cardinia Creek that is within 125m walk to the north. Bob Burgess reserve is located a further 200m walk to the north.</p>	Unit 1	POS 33m ²	SPOS 33m ²	Unit 2	POS 30m ²	SPOS 30m ²
Unit 1	POS 33m ²	SPOS 33m ²					
Unit 2	POS 30m ²	SPOS 30m ²					
55.05-5 Solar access to open space objective	<p>Complies with standard B29.</p> <p>Private open space has been located to the north of unit 1 and northeast of unit 2, allowing adequate solar access to the open space and creating useable and sunlit secluded private open space with good amenity. The SPOS in unit 1 features a depth of 4.2m which ensures solar access beyond the shadow cast by the 1.7m fence to the north of the space (2+0.9x1.7=3.53m).</p>						
55.05-6 Storage objective	<p>Complies with standard B30.</p> <p>The development has been provided with 12m³ located in the garage of each dwelling. The storage has external access via the garage doors of both Dwellings with additional external access into the SPOS of Dwelling 2 via the external door from the garage Anything stored that is required to be used in the SPOS of Dwelling 1 can be carried through the Laundry, or around the dwelling and into the SPOS via a gate in the fence.</p>						
55.06 Detailed Design							
55.06-1 Design detail objective	<p>Complies with standard B31.</p> <p>The proposed design is sympathetic to the existing neighbourhood character seen in the immediate vicinity of the subject site. The proposal has taken design cues from the 1970s architecture seen on sites in the vicinity and incorporated a blend of weatherboard and brickwork, with pitched rooflines, detailed cornices, employment of additional windows and varied facade to reduce bulk and enhance street appeal.</p> <p>The façade articulation and detailing is appropriate for the neighbourhood, and the modest design has limited the visual impact as seen from the road through siting, set back facade articulation and employment of materials.</p>						

	<p>While the association with bulk has been forwarded by Council, we contend that <u>the first floor footprint remains contained within the ground floor footprint</u> with generous window's (an additional window has been added to the front elevation to provide passive surveillance, as suggested by Council) and fascia articulation on the western elevation of dwelling 1 providing ample address to counter any impression of bulk.</p> <p>The provision of the bedrooms and retreat on the first floor cater for separate internal living space (to be employed by teenage children or the like) where the advantageous geography of the development provides easy access to public open space options and allows for more generous internal living space (less external living space). It should be noted that the provision of separate living spaces on the first floor also reflects market preferences.</p> <p>The entry to Dwelling 1 has been shown as facing Woods Street. Refer to TP05. A south-facing window is added from the ground floor study of dwelling 2, and east-facing windows are provided to dwelling 2 that demonstrate compliance with standard B22.</p>
55.06-2 Front fences objective	<p>Not Applicable</p> <p>No front fences are proposed within 3m of a street as part of this development. The open front setback will contribute to a sense of openness and spaciousness already seen along Woods Street.</p>
55.06-3 Common property objectives	<p>Complies with standard B33.</p> <p>A shared driveway as common property provides access to both units, and has been designed to be practical, attractive and easily maintainable.</p> <p>The Owners Corp Schedule evidences equal share of liability and entitlement to the common property.</p>
55.06-4 Site services objectives	<p>Complies with standard B34.</p> <p>The proposed development has made provision for sufficient space and facilities for services to be installed and maintained efficiently and economically in the layout and design of the additional dwelling. Designated bin and recycling areas have been incorporated into the development in a conveniently accessible location that is not visually dominant in the design. Please refer to the supporting architectural documentation for further clarification on the location of bin and mailbox locations for each unit.</p>

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CLAUSE 56 ASSESSMENT – RESIDENTIAL SUBDIVISION

Clause 56 applies to an application to subdivide land in the General Residential Zone, and has the following purposes:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To create liveable and sustainable neighbourhoods and urban places with character and identity.*
- *To achieve residential subdivision outcomes that appropriately respond to the site and its context for:*
 - *Metropolitan Melbourne growth areas.*
 - *Infill sites within established residential areas.*
 - *Regional cities and towns.*
- *To ensure residential subdivision design appropriately provides for:*
 - *Policy implementation.*
 - *Liveable and sustainable communities.*
 - *Residential lot design.*
 - *Urban landscape.*
 - *Access and mobility management.*
 - *Integrated water management.*
 - *Site management.*
 - *Utilities.*

Pursuant to **Clause 32.08-3** a two-lot subdivision is required to meet all of the objectives and should meet all of the standards contained in 56.03-5, 56.04-2, 56.04-3, 56.04-5, 56.06-8 to 56.09-2.

An assessment of the proposal against all relevant objectives and standards contained within Clause 56 is provided below. Please read in conjunction with the town planning report and proposed Plan of Subdivision PS 916968 T prepared by *Nobelius Land Surveyors*.

56.03 LIVEABLE AND SUSTAINABLE COMMUNITIES

NEIGHBOURHOOD CHARACTER OBJECTIVE

Complies with Standard C6.

Clause 56.03-5 has the following objective:

- *To design subdivisions that respond to neighbourhood character.*

The GRZ is silent on existing neighbourhood character however a response to the relevant state and local policies provided in Section 7 of the Town Planning report, especially clause 15.01-3L Subdivision design and clause 15.01-5S and 15.001-5L Neighbourhood character. proposal does not contemplate development.

CLAUSE 56.03-5

56.04 LOT DESIGN

LOT AREA AND BUILDING ENVELOPES OBJECTIVE

Complies with Standard C8.

Clause 56.04-2 has the objective:

- *To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features.*

The dimensions of the two proposed lots are adequate to support the construction of the proposed dwellings and they can achieve good solar access and the energy efficiency rating requirements of the Building Regulations.

Building envelopes have not been shown on the Plan of Subdivision because the lots are designed to contain the proposed dwelling development.

CLAUSE 56.04-2

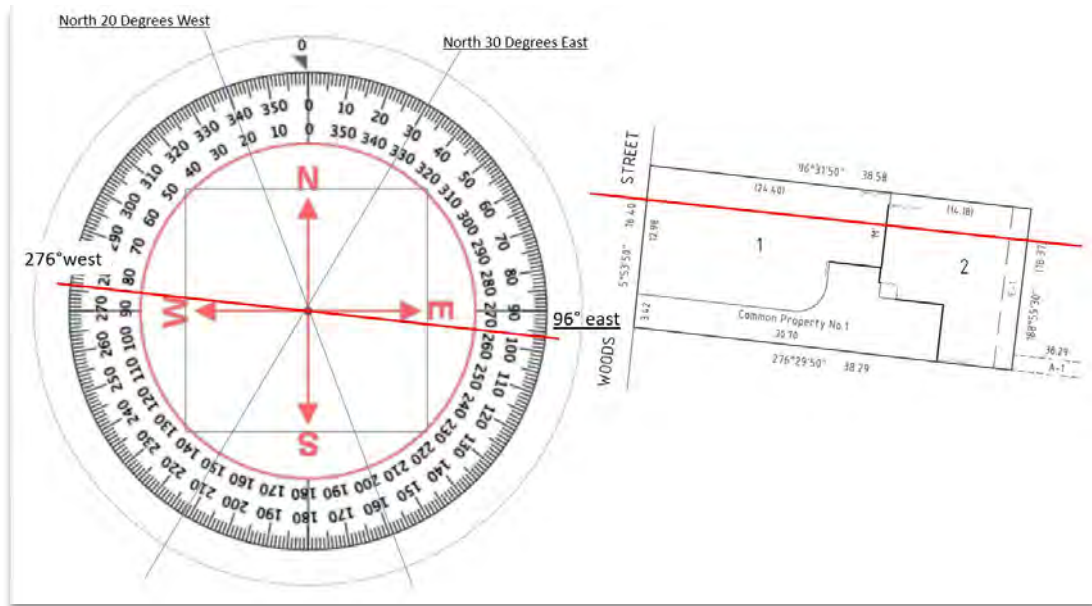
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SOLAR ORIENTATION OF LOTS OBJECTIVE**Non-compliant with Standard C9.**

Clause 56.04-3 has the objective:

- *To provide good solar orientation of lots and solar access for future dwellings.*

While the orientation of each proposed lot is not consistent with long axis orientation (see below with orientation of the lot is 276° west and 96° east), the dimensions of the lots are adequate to protect solar access taking into account the lots will likely accommodate modest double-storey dwelling developments.



CLAUSE 56.04-3

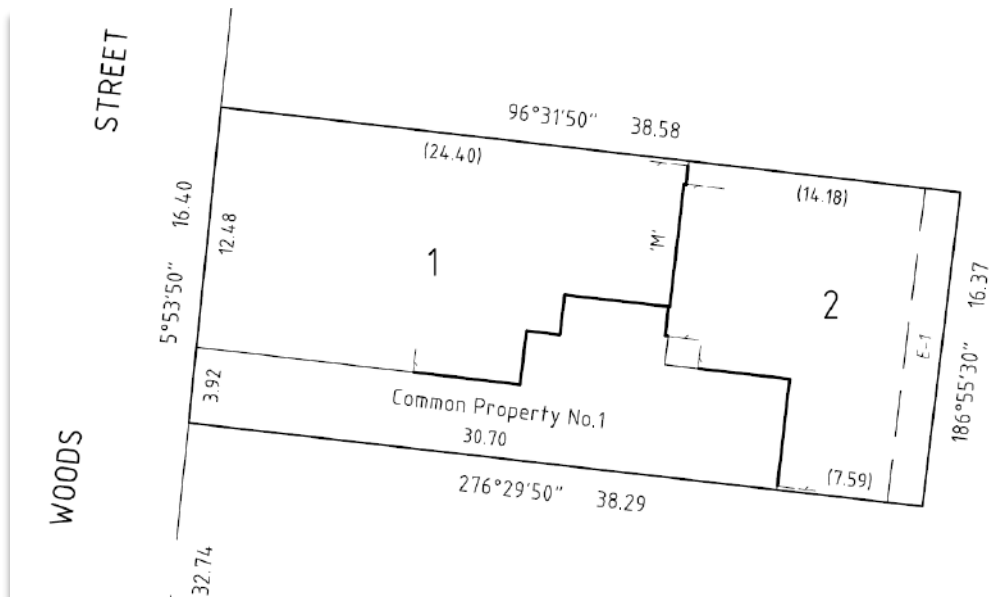
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COMMON AREA OBJECTIVES**Complies with Standard C9.**

Clause 56.04-5 has the following objectives:

- *To identify common areas and the purpose for which the area is commonly held.*
- *To ensure the provision of common area is appropriate and that necessary management arrangements are in place.*
- *To maintain direct public access throughout the neighbourhood street network.*

Common property is proposed to contain the commonly held driveway to facilitate access from Woods Street to both lots. The Owners Corporation Schedule evidences that the liability and entitlement to the common property is shared equally between the lots.



CLAUSE 56.04-5

56.06 ACCESS AND MOBILITY MANAGEMENT**LOT ACCESS OBJECTIVE**

Clause 56.06-8 has the objective:

- *To provide for safe vehicle access between roads and lots.*

The proposal is consistent with Clause 56.06-8 & Standard C21.

Lots 1 and 2 can access Woods Street via the common property driveway. The design and construction of any proposed crossovers will be to the satisfaction of the relevant road authority. Colliers have provided a swept path assessment that shows the provision of the access and car parking within two double garages meets requirements. Please refer to *Colliers Swept Path Assessment* dated March 2025.

CLAUSE 56.06-8

56.07 INTEGRATED WATER MANAGEMENT**DRINKING WATER SUPPLY OBJECTIVES**

Clause 56.07-1 has the following objectives:

- *To reduce the use of drinking water.*
- *To provide an adequate, cost-effective supply of drinking water.*

The proposal is consistent with Clause 56.07-1 and Standard C22.

The supply of drinking water will be provided to the boundary of all proposed lots and will be designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority.

CLAUSE 56.07-1

REUSED AND RECYCLED WATER OBJECTIVE

Clause 56.07-2 has the objective:

- *To provide for the substitution of drinking water for non-drinking purposes with reused and recycled water.*

The proposal is consistent with Clause 56.07-2 & Standard C23.

Reused and recycled water supply systems will be provided to the boundary of both lots where available.

CLAUSE 56.07-2

WASTE WATER MANAGEMENT OBJECTIVE

Clause 56.07-3 has the objective:

- *To provide a waste water system that is adequate for the maintenance of public health and the management of effluent in an environmentally friendly manner.*

The proposal is consistent with Clause 56.07-3 and Standard C24.

A reticulated waste water system will be provided to the boundary of all proposed lots and designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority and the Environment Protection Authority.

CLAUSE 56.07-3

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STORMWATER MANAGEMENT OBJECTIVES

Clause 56.07-4 has the following objectives:

- *To minimise damage to properties and inconvenience to residents from stormwater.*
- *To ensure that the street operates adequately during major storm events and provides for public safety.*
- *To minimise increases in stormwater and protect the environmental values and physical characteristics of receiving waters from degradation by stormwater.*
- *To encourage stormwater management that maximises the retention and reuse of stormwater.*
- *To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.*

The proposal is consistent with Clause 56.07-4 and Standard C25.

Any stormwater management system will be designed and managed in accordance with Standard C25. It is anticipated that stormwater management conditions will be included as part of any planning permit that it is granted.

CLAUSE 56.07-4

56.08 SITE MANAGEMENT**SITE MANAGEMENT OBJECTIVES**

Clause 56.08-1 outlines the following objectives:

- *To protect drainage infrastructure and receiving waters from sedimentation and contamination.*
- *To protect the site and surrounding area from environmental degradation or nuisance prior to and during construction of subdivision works.*
- *To encourage the re-use of materials from the site and recycled materials in the construction of subdivisions where practicable.*

This proposal is for the subdivision of land into two lots and it is not foreseen that the works required to facilitate this will adversely impact infrastructure, waterways or the environment.

CLAUSE 56.08-1

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56.09 UTILITIES**SHARED TRENCHING OBJECTIVES**

Clause 56.09-1 seeks to:

- *Maximise the opportunities for shared trenching.*
- Minimise constraints on landscaping within street reserves.

The proposal is consistent with Standard C27, and reticulated services will be provided via shared trenching where possible to minimise the amount of land required for underground services.

ELECTRICITY, TELECOMMUNICATIONS, AND GAS OBJECTIVES

Clause 56.09-2 has the following objectives:

- *To provide public utilities to each lot in a timely, efficient and cost effective manner.*
- *To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources.*

Electricity, telecommunications will be provided to the boundary of both proposed lots and designed to the satisfaction of the relevant authorities. (Gas connections are not available in the area)

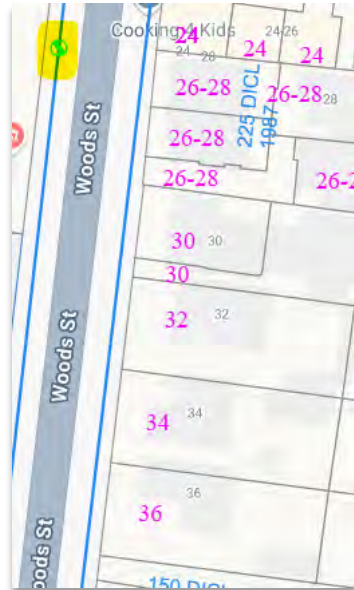
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FIRE HYDRANT OBJECTIVE

Clause 56.09-3 has the objective to:

- *provide fire hydrants and fire plugs in positions that enable fire fighters to access water safely, effectively and efficiently.*

There is a Fire Hydrant located 76metres to the north within the Woods Street road reserve, as per the highlighted symbol below (South East Water Website, 2024). The Hydrant is within the prescribed 120m o the rear of the proposed dwellings.



CLAUSE 56.09-3

PUBLIC LIGHTING OBJECTIVE

Clause 56.09-4 has the objective to:

- *provide public lighting to ensure the safety of pedestrians, cyclists and vehicles.*
- *provide pedestrians with a sense of personal safety at night.*
- *contribute to reducing greenhouse gas emissions and to saving energy.*

This proposal for the subdivision of land into two lots will not be required to contribute to the existing street lighting network.

CLAUSE 56.09-4

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14th MARCH, 2025

Nobelius Land Surveyors Pty Ltd
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Dear [REDACTED]

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APPLICATION NO.:	T240680 PA
PROPERTY NO.:	1936050900
ADDRESS:	L1 TP11736, 36 Woods Street, Beaconsfield VIC 3807
PROPOSAL:	Development of the land for two (2) dwellings and Subdivision of the land into two (2) lots

Thank you for your request for further information under Section 54 of the *Planning and Environment Act 1987* dated 14th of January 2025. The applicant has engaged Nobelius Land Surveyors to assist with satisfying Council's request, and we wish to provide the following information for Council's review:

- Revised Development Plans by *UXD Group*;
- Landscape Plans by *Emee Landscape Design*;
- Traffic (Swept Path) Assessment by *Colliers*;
- Arboricultural Assessment of third party vegetation provided by *ArbKey*;
- Revised Town Planning Report;
- Revised Clause 55 Assessment;
- Revised Clause 56 Assessment.

A response to each of the items requested by Council is provided below:

1. AMENDED TOWN PLANNING REPORT TO:

- 1.1 Include a written response to Clause 53.18 (Stormwater Management in Urban Development).
- 1.2 Update the permit triggers on Page 3 to correctly reference the permit triggers on Cardinia Planning Scheme.
- 1.3 Specify whether the existing dwelling on the lot will be fully demolished.

Response:

- 1.1 A written response has not been provided to clause 53.18 given cl53.18-1 states that an application to subdivide land in a residential zone for residential purposes is exempt as is an application to construct a building or construct or carry out works associated with a dwelling on a lot. Please note that we have not had this request made for subdivision and development of multiple dwellings on land subject to residential zones in Cardinia before. We direct your attention to the link below that has regard to application of clause 53.18 to construction of non-residential development in residential zones.
https://www.clearwatervic.com.au/user-data/event-files/understanding-planning-nov2024/understanding-sw-planning_kmatthews_2-worked-example---commercial_13nov2024.pdf
- 1.2 Permit triggers have been updated on page 3 of the TP report.
- 1.3 The existing dwelling on the lot will be fully demolished. The TP report has been updated to reflect this as part of the proposal. Please refer to Section 4- The proposal in the revised Town Planning report, page 11.

2. AMENDED CLAUSE 55 ASSESSMENT

Amended Clause 55 Assessment to respond to all relevant items in the Preliminary Assessment Comments section below.

Response: The Clause 55 Assessment has been revised to respond to all relevant items in the preliminary Assessment of the RFI.

3. AMENDED CLAUSE 56 ASSESSMENT

Amended Clause 56 Assessment to update the Standard in Clause 56.04-5 from Standard C9 to Standard C11.

Response: The Clause 56 assessment has been updated to show Standard C9 to read C11.

4. SWEPT PATH ANALYSIS

A swept path analysis, prepared by Colliers demonstrates that vehicles associated with all car parking spaces can enter and exit the site in a forward direction. Analysis has been undertaken using vehicles as specified in AS/NZS 2890.1 and 2890.2. The swept path shows:

- *potential worst-case scenario (this may include access and egress in either a forward or reverse direction)*
- *all parking bays can operate independently*
- *chassis and body envelopes can undertake each movement within the roadway*
- *clearance envelopes can undertake each movement without hitting walls or fixed objects*
- *design speeds and lock to lock time as appropriate*
- *has been undertaken using the correct vehicles as specified in AS/NZS 2890.1 and 2890.2*

Response

The Swept Path Assessment is provided by Colliers, March 2025 at Appendix A employs Auto Desk vehicle Tracking v25 and confirms B85 vehicles (as defined in AS2890.1:2004) can successfully enter and exit all spaces independently and in a single manoeuvre in a forward facing direction. The swept

path assessment also confirms that a minimum clearance of 300mm from all objects above 150mm in height can be achieved.

5. AMENDED SITE PLAN SHOWING:

5.1 Existing buildings and structures and vegetation to be retained (if applicable).

5.2 Natural Ground Level (NGL) to Australian Height Datum (AHD) and Finished Floor Level (FFL) of all buildings and decks.

Response:

5.1 The existing structure will be demolished. The existing onsite vegetation will be removed as the plans provide for generous landscaping opportunities. All third-party vegetation will be retained.

5.2 Plans show NGL and FFL to AHD (Please refer to TP-05 for FFL, TP-06 for additional NGL and TP-07 for elevations showing NGL and FFL).

6. AMENDED GROUND FLOOR PLAN SHOWING:

6.1 NGL and FFL of all habitable rooms and decks to be shown to AHD.

6.2 The location of earthworks/retaining walls.

6.3 Location and dimensions of eaves.

6.4 Location of the building footprint of the first floor in dashed line.

6.5 Details of construction materials/colours (including decks and paving and whether they are permeable).

6.6 The storage of provision of 6 cubic metres of externally accessible, secure storage space, as required in standard B30- Storage.

6.7 Details of the internal fencing for secluded private open space (SPOS) of Dwelling 1.

6.8 Location of the lighting for the dwelling entrances and garages.

Response:

6.1 All Ground Floor Plans show NGL and FFL of habitable rooms and decks to AHD. Please refer to TP-05.

6.2 There are no earthworks proposed or required. The site is flat.

6.3 The location of eaves are shown on TP05 for the Ground Floor (purple dotted line) and TP-06 for the First Floor. Eaves have a standard dimension of 450mm, as per TP-06.

6.4 The building footprint of the ground floor and first floor is shown in context on TP-05 and TP-06.

6.5 Details of materials and finishes have been included in plans – please refer to TP-07 and TP-08.

6.6 The storage provision of 12m³ of externally accessible, secure storage space, as required by Standard B30 – Storage is shown as contained in the double garages of each proposed dwelling. The storage capacity is doubled to balance the accessibility via the garage for both dwellings. Access to the SPOS in Dwelling 2 is via the garage door or an external door. Access to SPOS from the garage in Dwelling 1 is via the laundry, or through the garage door and around the dwelling to an external gate to the SPOS. Please refer to TP05.

6.7 Details of the internal fencing for secluded private open space (SPOS) of dwelling 1 is provided under heading “Development Fencing Notes” on TP05. The notes state all fencing to be to the height of 1.8 metres and constructed of timber paling.

6.8 Location of lighting for the dwelling entrances and garages is shown on TP07.

7. AMENDED ELEVATION PLANS SHOWING:

7.1 NGL and FFL (to AHD) clearly nominated on all elevations for the length of the boundaries.

7.2 All four sides (North, South, East and West) of all buildings.

- 7.3 Location and dimensions of proposed decks.
- 7.4 Location of the boundary fencing in a dotted line across each elevation.
- 7.5 The depth of any proposed cut and/or fill (including retaining walls).
- 7.6 Location of the lighting for the dwelling entrances and garages.

Response:

- 7.1 NGL and FFL (to AHD) are clearly nominated on all elevations. Please refer to TP07 and TP08.
- 7.2 All four sides (North, South, East and West) of all buildings has been provided. Please refer to TP07 and TP08.
- 7.3 Location and dimensions of proposed decks are shown, as required, on site and ground floor plans. The FFL to AHD are consistent with the internal and external construction (52140 AHD) so there will be a seamless transition from internal floor level to external deck. Please refer to TP05.
- 7.4 Location of the boundary fencing is shown by an orange dotted line across each elevation. Please refer to TP07.
- 7.5 The depth of any proposed cut and/or fill (including retaining walls) has not been shown as no excavation of fill or retaining walls are necessary or proposed.
- 7.6 Location of the lighting for the dwelling entrances and garages is shown on TP07. Garages will have internal lighting, which will be shown on detailed plans (not TP drawings, as is standard).

8 A LANDSCAPE PLAN DRAWN TO A SET SCALE AND FULLY DIMENSIONED (BASED ON THE SITE PLAN) , PREPARED BY A SUITABLY QUALIFIED PERSON, TO INCLUDE:

- 8.1 A survey (including botanical names) of all existing vegetation on and adjoining the site to be retained and/or removed.
- 8.2 A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity and quantities of each plant.
- 8.3 Details of surface finishes of pathways and driveways.
- 8.4 Location of existing easement (s).
- 8.5 Inclusion of landscaping in the front and side setback, and within the SPOS.

Response:

- 8.1 A survey (including botanical names) of all existing vegetation on and adjoining the site to be retained and/or removed. Please refer to Arboricultural Assessment provided by *Arbkey*, dated March 2025.
- 8.2 A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity and quantities of each plant has been provided in the Landscape Plans provided by *Emee Landscape Design*, dated February 2025.
- 8.3 Details of surface finishes of pathways and driveways has been provided in the Landscape Plans provided by *Emee Landscape Design*, dated February 2025.
- 8.4 Location of existing easement (s) has been provided in the Design Plans provided by UXD Group and incorporated into the Landscape Plan of *Emee Landscape Design*, dated February 2025. Appropriate planting over the easement has been shown and notated on plans.
- 8.5 Inclusion of landscaping in the front and side setback, and within the SPOS has been shown on the Landscape Plans provided by *Emee Landscape Design*, dated February 2025.

PRELIMINARY ASSESSMENT COMMENTS:

1. CLARITY AND ACCURACY OF THE PLANS

- The notation for the enclosure for accommodating common services and mailboxes to be 900mm high, instead of 900m high.

- *Amended First Floor Plan showing Bedroom 2 and 3 of Dwelling 2 on the first floor labelled correctly instead of two 'Bed 2'.*

Response:

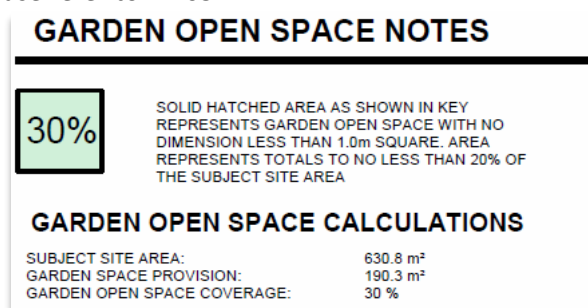
- Updated notation for the enclosure for accommodating common services and mailboxes has been corrected to read 900mm high. Please refer to TP05.
- Amended First Floor Plan shows Bedroom 2 and 3 of Dwelling 2 on the first floor. Please refer to TP06.

2. GARDEN AREA

The proposed garden area is 29.02%, which is less than the minimum requirement of 30% and is not an acceptable outcome. Amended plans must demonstrate compliance with garden area requirement as specified in Clause 32.08-4

Response:

Plan TP05 shows Garden area has been revised and calculated as per below, which is now compliant with Clause 32.08-4. Please refer to TP-05.



3. THE PROPOSAL DOES NOT COMPLY WITH THE FOLLOWING STANDARDS IN CLAUSE 55 OF THE CARDINIA PLANNING SCHEME:

A. **Standard B6 Street Setback**

The proposed front setback is 7.6m measured from the first floor and 8.7m measured from the ground floor wall, which is less than the minimum street setback requirement of 9m. Amended plans or Clause 55 assessment must be submitted.

B. **Standard B13 Landscaping**

The proposed SPOS area for Dwelling 2, measuring 3m wide, is unable to accommodate appropriate landscaping along the rear setback and not allow for vegetation growth. It is highly recommended to increase its size and/or dimensions to improve its useability to demonstrate compliance with objectives of Standard B28 – Private Open Space, and to provide appropriate landscaping to demonstrate compliance with objectives of Standard B13 - Landscaping.

C. **Standard B14 Access**

The existing crossover, measuring approximately 2.2m wide, and the internal driveway, at 2.5m wide, do not meet the minimum accessway requirements specified in Design Standard 1 – Accessways in Clause 52.06 – Car Parking, which requires a width of 3m. The existing crossover and internal driveway must be widened to provide appropriate vehicular access.

D. **Standard B15 Parking Location**

The dining room windows (habitable room windows) are located within 1.5m from the shared internal driveway, which is not comply with Standard B15 – Parking Location.

It is highly encouraged to ensure all habitable room windows facing the shared internal driveway and Woods Street to be installed with noise-attenuation measures to protect residents from vehicular noise within the developments and from the street. This is encouraged in both Standard B15 – Parking Location and Standard B24 – Noise Impacts.

E. Standard B17 Side and rear setbacks

The first floor setback to northern boundary is 1.4m (measured from the bedroom windows of Dwelling 2) which is less than the minimum setback requirement of 1.66m. The proposal fails to meet Standard B17 – Side and Rear Setback, it is highly encouraged to amend relevant plans to demonstrate compliance with Standard B17.

F. Standard B22 Overlooking

The east-facing habitable room windows on the first floor of Dwelling 2 will overlook the SPOS of the allotment to the east at 11 Railway Avenue Beaconsfield. Amended plans must be submitted to demonstrate compliance with Standard B22 - Overlooking.

G. Standard B23 Internal Views

The west-facing habitable room window from the retreat of Dwelling 2 on the first floor will overlook into the habitable room windows of master bedroom of Dwelling 1 on the first floor. The proposal fails to meet objectives of Standard B23 – Internal Views.

H. Standard B27 Daylight to New Windows

Master bedroom habitable room windows of Dwelling 2 on the ground floor only has a dimension of 0.64m clear to sky (measured from the eaves), which is less than the minimum dimension of 1m. It is highly encouraged to increase the setback from the eaves to be at least 1m to allow adequate daylight into the new habitable room windows.

I. Standard B30 Storage

It appears a 12 square metres storage space is provided within each garage; however, this does not comply with Standard B30 – Storage which requires at least 6 cubic metres of externally accessible, secure storage space.

J. Standard B31 Design Detail

It is highly encouraged to ensure the entry to Dwelling 1 to be entirely facing Woods Street to provide a better sense of identity.

The upper floor of the proposed dwellings is excessively large and presents a high level of visual bulk to the adjoining properties and within the streetscape. It is highly encouraged to increase its front, side and rear setbacks from ground floor footprints. Written justification is recommended to provide response to the necessity of retreat on the upper floor while sufficient living spaces provided on the ground floor of each dwelling.

Additional window(s) are highly encouraged to be provided on the south-facing ground floor façade and east-facing first floor façade of Dwelling 2 to improve the façade articulation and detailing and to meet the objectives of Standard B31 Design Detail and Clause 21.06-1 Urban Design.

It is also highly encouraged to add:

Additional window from the retreat of Dwelling 1 facing the internal driveway to maximise passive surveillance.

Additional window(s) in the hallway of the ground floor of Dwelling 2 facing the internal driveway to maximise passive surveillance and improve the façade articulation.

The window(s) must demonstrate compliance with requirements in Standard B22 Overlooking.

Response:

*Please refer to the revised Clause 55 Assessment for full responses.

- A. **Standard B6 Street Setback** – Please refer to the revised Clause 55 Assessment. We have sought and justified a variation regarding the street setback given the dominant setback of dwelling development on Woods Street, Railway Avenue, Souter Street and Horner Street.
- B. **Standard B13 Landscaping** – There are no minimum dimensions associated with Landscaping. Landscaping plans have been provided by *Emee Landscape Design dated February 2025* that evidence sufficient area to accommodate appropriate planting in SPOS areas of the two lots. The Landscape Plan shows the employment of suitably proportioned plants in the SPOS of both dwellings, especially for over the easement for dwelling 2. The Landscape Plan also incorporates vertical gardens to provide green space that ‘softens’ the appearance of fences, contributes to an attractive outdoor area, improves amenity and avoids ‘encroaching’ into the limited space available.
- C. **Standard B14 Access** – TP05 shows the crossover and driveway width as widened to measure 3 metres, which is compliant with the requirements of Clause 52.06 – Car parking.
- D. **Standard B15 Parking Location** – The windows of the Dining Room in Dwelling 01 are shown as double glazed as a noise attenuation measure to protect residents from vehicular noise within the development. This is also compliant with the requirements at Standard B24 – Noise Impacts.
- E. **Standard B17 Side and rear setbacks** – The Dormer windows associated with Bedrooms 2 and 3 of Dwelling 2 protrude beyond the 3D setback envelope by a maximum of 0.26m with the protruding built form consisting mostly of eaves and guttering. The standard states that eaves, façades and gutters may encroach not more than 0.5 metres into the setbacks of this standard. The protrusion is within the realm of what is considered an acceptable encroachment. Please refer to the elevations of TP08 and the Clause 55 Assessment for a full response.
- F. **Standard B22 Overlooking** - The proposed double-storey development has ensured that views into existing secluded private open space and habitable room windows are limited through the use of 1.7m high fencing, suitable setbacks, frosted glazing to a height of 1.7m above FFL and use of slimline windows with a sill height of 1.7m above FFL for windows on the east elevation plans in TP07 (refer to the revised clause 55 assessment).
- G. **Standard B23 Internal Views** - The west-facing habitable window associated with the retreat in dwelling 2 is shown as frosted to a height of 1.7m above FFL to address any view into the Master bedroom of dwelling 1. Please refer to notation on TP06 and elevations TP08.
- H. **Standard B27 Daylight to New Windows** - The Master bedroom of Dwelling 2 is a large north-facing window that is setback from the boundary by 1.2 metres. The eaves have been drawn back to measure 200mm above this room window to ensure the window has a dimension of 1m clear to sky (measured from the revised eave), which complies with the standard and ensures daylight access to this new window.
- I. **Standard B30 Storage** – As discussed with Council previously, the development has been provided with 12m³ located in the garage of each dwelling. The storage has external access via the garage doors of both Dwellings. Anything stored that is required to be used in the SPOS of Dwelling 1 can be carried through the Laundry, or around the dwelling and into the SPOS via a gate in the fence.
- J. **Standard B31 Design Detail** – The provision of bedrooms and additional living space provided on the first floor reflects market preferences (the development must be economically viable) that can cater to separate living for teens or the like. While the association with bulk has been forwarded by Council, we contend that the first floor footprint remains contained within the ground floor footprint with generous window’s (an additional window has been added to the front elevation to provide passive surveillance,

as suggested by Council) and fascia articulation on the western elevation of dwelling 1 providing ample address to counter any impression of bulk.

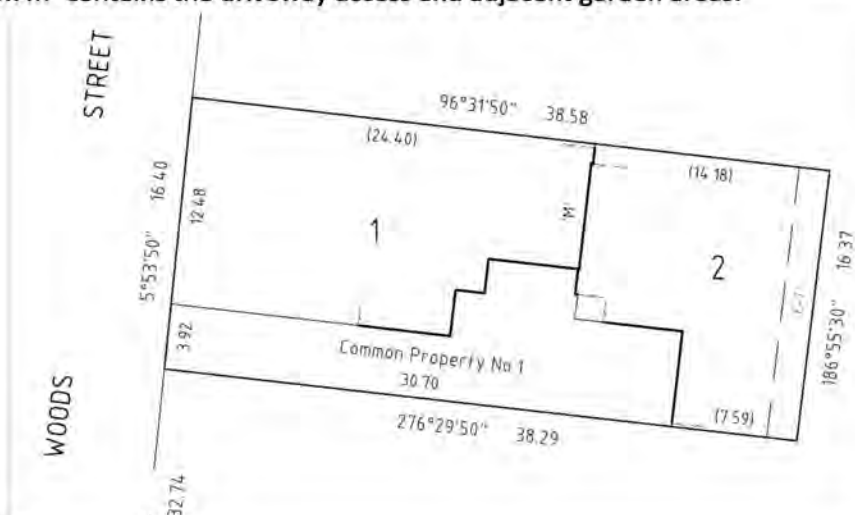
A south-facing window is added from the ground floor study of dwelling 2, and east-facing windows are provided to dwelling 2 that demonstrate compliance with standard B22.

4. THE PROPOSAL DOES NOT COMPLY WITH THE FOLLOWING STANDARDS IN CLAUSE 56 OF THE CARDINIA PLANNING SCHEME:

It appears part of the ground floor eaves, first floor master bedroom window of Dwelling 1, and part of the ground floor eaves of Dwelling 2 will be included in the Common Property No.1. Proposed Plan of Subdivision must be amended to ensure each proposed dwelling to be fully within each proposed lot.

Response:

The Plan of Subdivision has been revised (refer below) to show the Lots contained by vertical surfaces (such as external walls) and the edge of the driveway. The Common Property No. 1 which measures 30.7m² contains the driveway access and adjacent garden areas.



5. E-1 DRAINAGE EASEMENT AT THE REAR OF THE SITE

Please be aware, a drainage easement is present along the rear boundary, it is the responsibility of the applicant to ensure that the proposed development is suitably setback from this easement and asset and/or consent provided by the relevant authority.

Response:

An application to *Build over Easement* has been lodged with Council by UXD Group. The application reference is BOE821. Any requirements issued by Council will be incorporated into designs.

Please do not hesitate to contact me on 03 5941 4112 or julie@nobelius.com.au or planning@nobelius.com.au if you require further information.

Kind Regards,

MURbPlanEnc, BA Geo(Hons), GradCert BPlan, BPAD Level 1 & 2
Senior Town Planner

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22nd March, 2025

[REDACTED]
Nobelius Land Surveyors Pty Ltd
PO BOX 461
Pakenham VIC 3810

[REDACTED]
Statutory Planner
Cardinia Shire Council
mail@cardinia.vic.gov.au

Dear [REDACTED]

APPLICATION NO.:	T240680 PA
PROPERTY NO.:	1936050900
ADDRESS:	L1 TP11736, 36 Woods Street, Beaconsfield VIC 3807
PROPOSAL:	Development of the land for two (2) dwellings and Subdivision of the land into two (2) lots

This cover letter has the purpose of addressing the letter of RFI outstanding, dated 25 March 2025 under Section 54 of the *Planning and Environment Act 1987*. The applicant has engaged Nobelius Land Surveyors to assist with satisfying Council's second request for Information, and we wish to provide the following information for Council's review:

- Revised Development Plans by *UXD Group*;
- Traffic (Swept Path) Assessment by *Colliers*;
- Arboricultural Assessment of third party vegetation provided by *ArbKey*;
- Revised Town Planning Report;
- Revised Clause 55 Assessment;
- Revised Clause 56 Assessment.

A response to each of the items requested by Council is provided below:

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1. AMENDED ELEVATION PLANS

Show the location of boundary fencing as a dotted line across each elevation.

Response:

The elevations show a yellow line that indicates the height and location of the boundary fencing. I have highlighted this line for you in the extract below, see the red circle around the yellow fence line.



We can confirm that all boundary fencing (including northern boundary) is to measure 1.8 metres in height. This is notated on the elevation and ground floor plans.

2. GARDEN AREA

Garden area previously measured 29.02% of the site area, which did not meet minimum requirements of 30%, as per the requirement of clause 32.08-4.

Response: The plans have been adjusted so that the Garden Area now measures 30% and is compliant with the requirements of clause 32.08-4. This is evidenced on TP-05 by UXD Group development Plans. An extract of the Garden Area table is provided below.

GARDEN OPEN SPACE NOTES	
30%	SOLID HATCHED AREA AS SHOWN IN KEY REPRESENTS GARDEN OPEN SPACE WITH NO DIMENSION LESS THAN 1.0m SQUARE. AREA REPRESENTS TOTALS TO NO LESS THAN 20% OF THE SUBJECT SITE AREA.
GARDEN OPEN SPACE CALCULATIONS	
SUBJECT SITE AREA:	630.8 m ²
GARDEN SPACE PROVISION:	192.7 m ²
GARDEN OPEN SPACE COVERAGE:	30 %

The Clause 55 Assessment has been revised to respond to all relevant items in the preliminary Assessment of the RFI.

3. CLAUSE 55 ASSESSMENT

Plans must comply with the following standards of clause 55:
Standard B17 Side and rear setbacks.

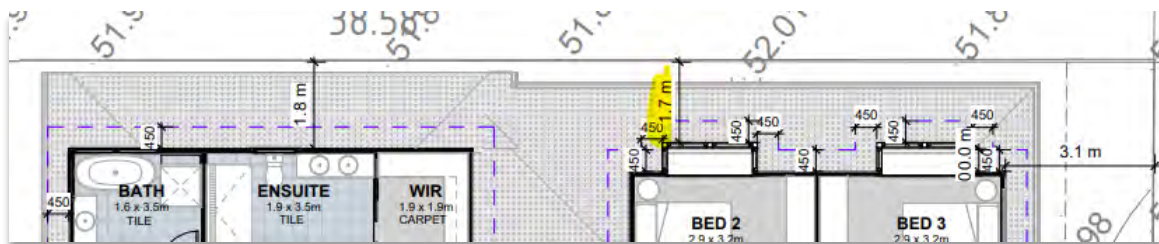
Response:

The Plans have been revised to show the setback of the first floor from the northern boundary now measures 1.7m. This setback is measured from the elevation, not the eave, and is now compliant with the standard that requires a 1.66m setback.

Please refer to First Floor plan, TP-06 of the Development Plans by UXD Group. An extract of the first floor plan is shown below with the revised setback highlighted, and the consequence of this

expanded setback on the 3D setback envelope (TP-16), at bottom, which now complies with Standard B17.

Please note – the Clause 55 response has been updated to ensure consistency between our submitted documents.



3D SETBACK ENVELOPE REAR

4. ARBORIST ASSESSMENT – TREE 46 ENCROACHMENT

The arborist assessment states that the garage encroaches into the TPZ of Tree 46 by more than 10% (major encroachment). To protect the viability of Tree 46, the garage must be realigned to match the existing garage footprint to avoid any additional encroachment into the TPZ of Tree 46.

Response

The plans by UXD Group have been revised to ensure the proposed garage aligns with the footprint of the existing garage to avoid additional encroachment of the proposal into the TPZ of Tree 46. Please refer below to the extract from TP-05. The Arborist Impact Assessment has been revised to show the TPZ encroachment of the realigned garage now avoids any additional encroachment into the TPZ of Tree 46.

The Arboricultural Impact Assessment shows that six (6) third party trees will experience encroachment into their Tree Protection Zones as a result of the proposal. Trees 46,47,48,49,50 and 51 have encroachment of more than 10% into their TPZs. The report states that major encroachment (>10%) can be acceptable where the following apply:

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- The project arborist demonstrates that the tree will remain viable through the encroachment.
- The lost area is compensated elsewhere while still being contiguous with the TPZ.

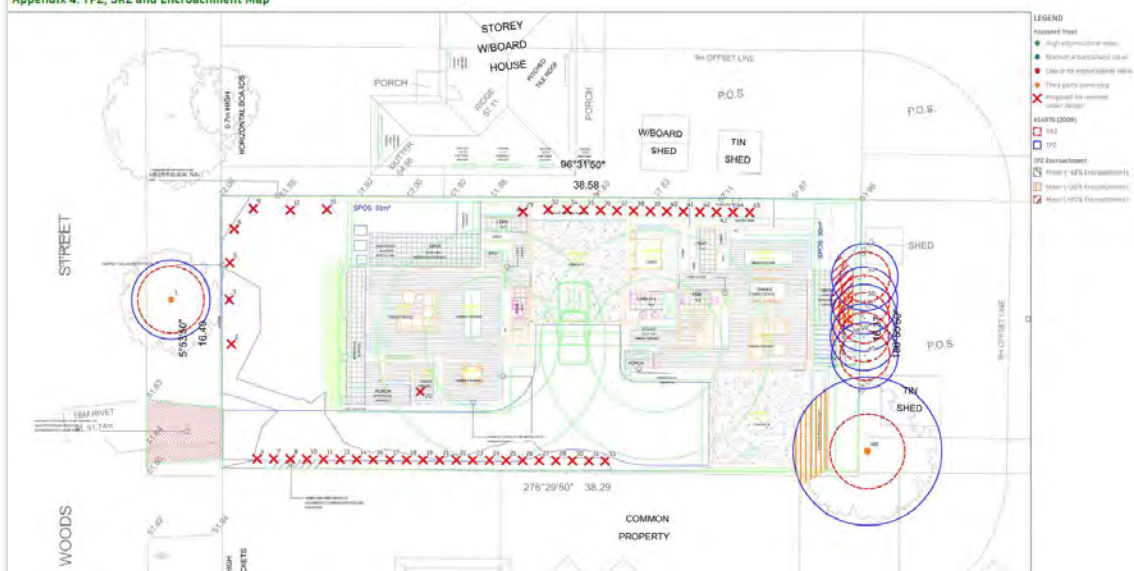
Tree 46 is a third party tree and has major encroachment from the garage however, this is congruent to an existing root-inhibiting garage. The 'footprint of the proposed garage aligns with the existing garage and will not exacerbate the existing root-inhibiting conditions therefore the tree will not be adversely affected by the works proposed within the TPZ and will remain viable throughout the project' (Arbkey, 2025:7).

Trees 47,48,49,50 and 51 are recently planted third-party managed Callery Pears. The proposed deck and landscaping will result in major (>10%) encroachment into the TPZs of these trees however, given these trees are recently planted they will not have extended their root mass into the subject site and will "remain viable throughout the works proposed within their TPZ with no encroachment mitigation measures necessary" (Arbkey, 2025:7).

*Please note that the swept path assessment has also been revised to ensure the realigned garage still functions from an access perspective.

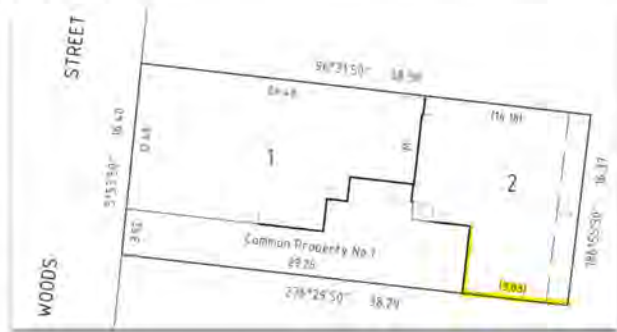


Appendix 4: TPZ, SRZ and Encroachment Map



The Plan of Subdivision has been revised (from the previous plan below left that shows the front of the garage is setback from the rear boundary by 7.59m) to trace the realigned garage (refer to the

extract below right that shows the front of the garage setback from the rear boundary by 9.03 metres) and ensure all submitted documents are consistent. The Clause 56 assessment and Town Planning report have been updated with the new Plan of Subdivision.



The application to *Build over Easement* (BOE821) which was lodged with Council by UXD Group has been withdrawn given the realigned garage no longer protrudes over the E1 drainage easement.

Please do not hesitate to contact me on 03 5941 4112 or julie@nobelius.com.au or planning@nobelius.com.au if you require further information.

Kind Regards,



MUrbPlanEnc, BA Geo(Hons), GradCert BPlan, BPAD Level 1 & 2
Senior Town Planner

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April 8th, 2025

[REDACTED]
Nobelius Land Surveyors

Dear [REDACTED]

**PROPOSED RESIDENTIAL DEVELOPMENT
36 WOODS STREET, BEACONSFIELD
SWEPT PATH ASSESSMENT**

The following letter has been prepared by Colliers in request for a swept path assessment for the proposed residential development at 36 Woods Street, Beaconsfield.

The Applicant has provision for 2 units and 4 on-site car parking spaces (via two double garages).

Cardinia Shire Council has requested a swept path assessment for the car parking spaces under RFI Item 4.

The garage dimensions comply with Clause 52.06-9 of the Planning Scheme. However, since this clause does not specify aisle width requirements for garages, a swept path assessment is considered necessary.

The swept path diagrams, provided in Appendix A using AutoDesk Vehicle Tracking v25, confirm that the 'B85 vehicle' (as defined in AS2890.1:2004) successfully enters and exits all spaces independently in a single manoeuvre, with no corrective manoeuvres required, whilst entering and exiting the site in a forward direction.

Table 1.1 of AS2890.1:2004 allows up to a three-point turn for User Class 1A developments (residential and domestic parking), permitting corrective manoeuvres during entry and exit.

The swept path analysis ensures a minimum clearance of 300mm from all objects above 150mm in height, such as adjacent parked vehicles, walls, fences, porches and steps. Additionally, the vehicle's overhang and wheel track always remain entirely within the roadway.

Residents will be familiar with the necessary manoeuvres to access their own garage.

Colliers are satisfied with the car parking access from a traffic engineering perspective.

Yours faithfully,

Colliers International Engineering & Design (TTMC) Pty Ltd

[REDACTED]

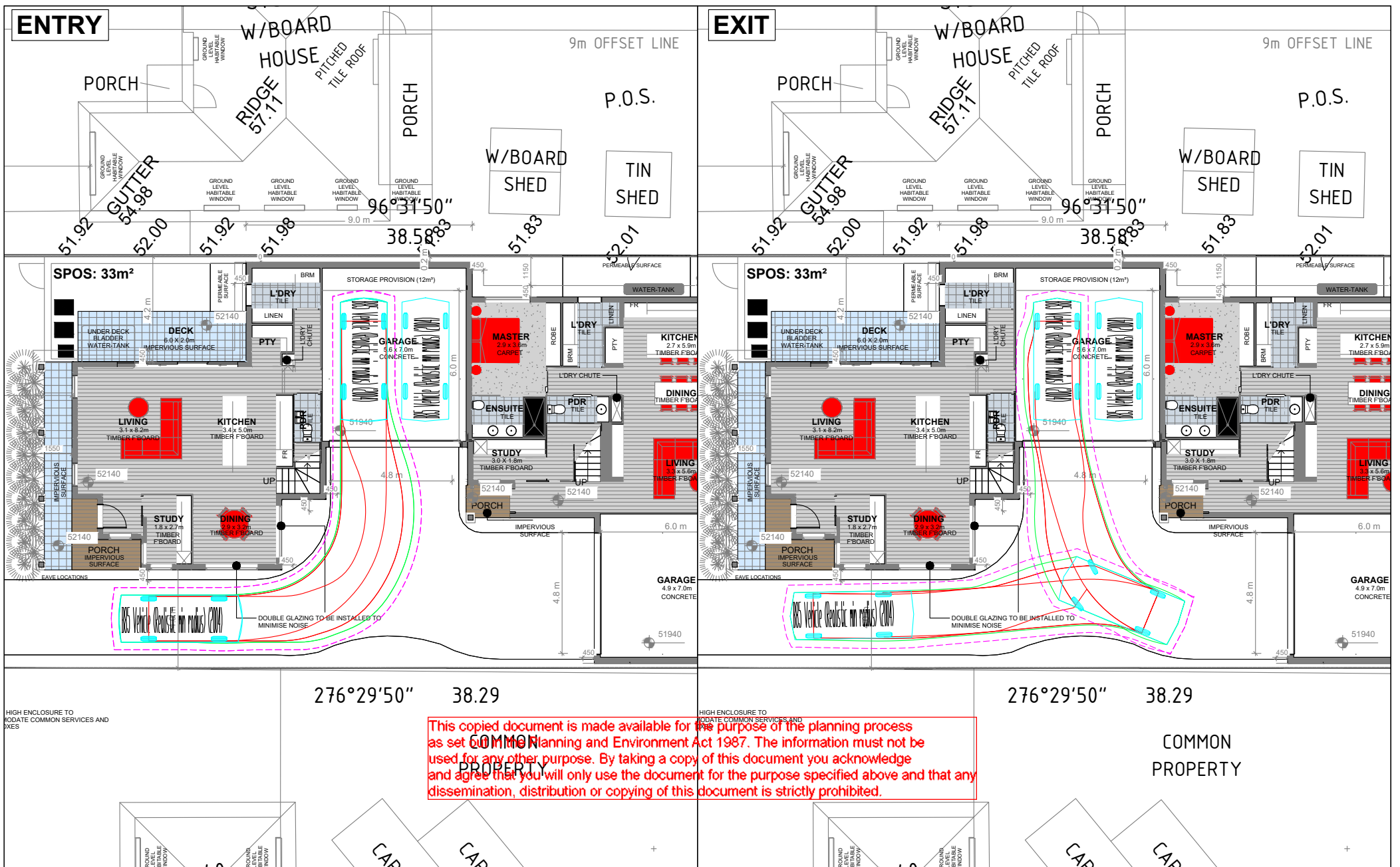
Principal Consultant (Transport)

Ref: 25MET0055L02-SPD.doc

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Appendix A: Swept Path Diagrams

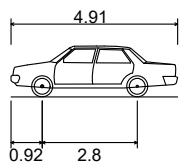
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<p>— Wheel path</p> <p>— Vehicle Overhang</p> <p>— Vehicle Overhang + 300mm Clearance</p>			
B	MS	08/04/25	Amended SPD for revised plans
A	PJM	12/03/25	Original Issue
Issue	Appd	Date	Comments

Swept Path Diagram Prepared using AutoDesk Vehicle Tracking v25



B85 Vehicle (Realistic min radius) (2004)

Overall Length 4.910m

Overall Width 1.870m

Overall Body Height 1.499m

Min Body Ground Clearance 0.120m

Track Width 1.770m

Lock to Lock Time 4.00sec

Curb to Curb Turning Radius 5.750m



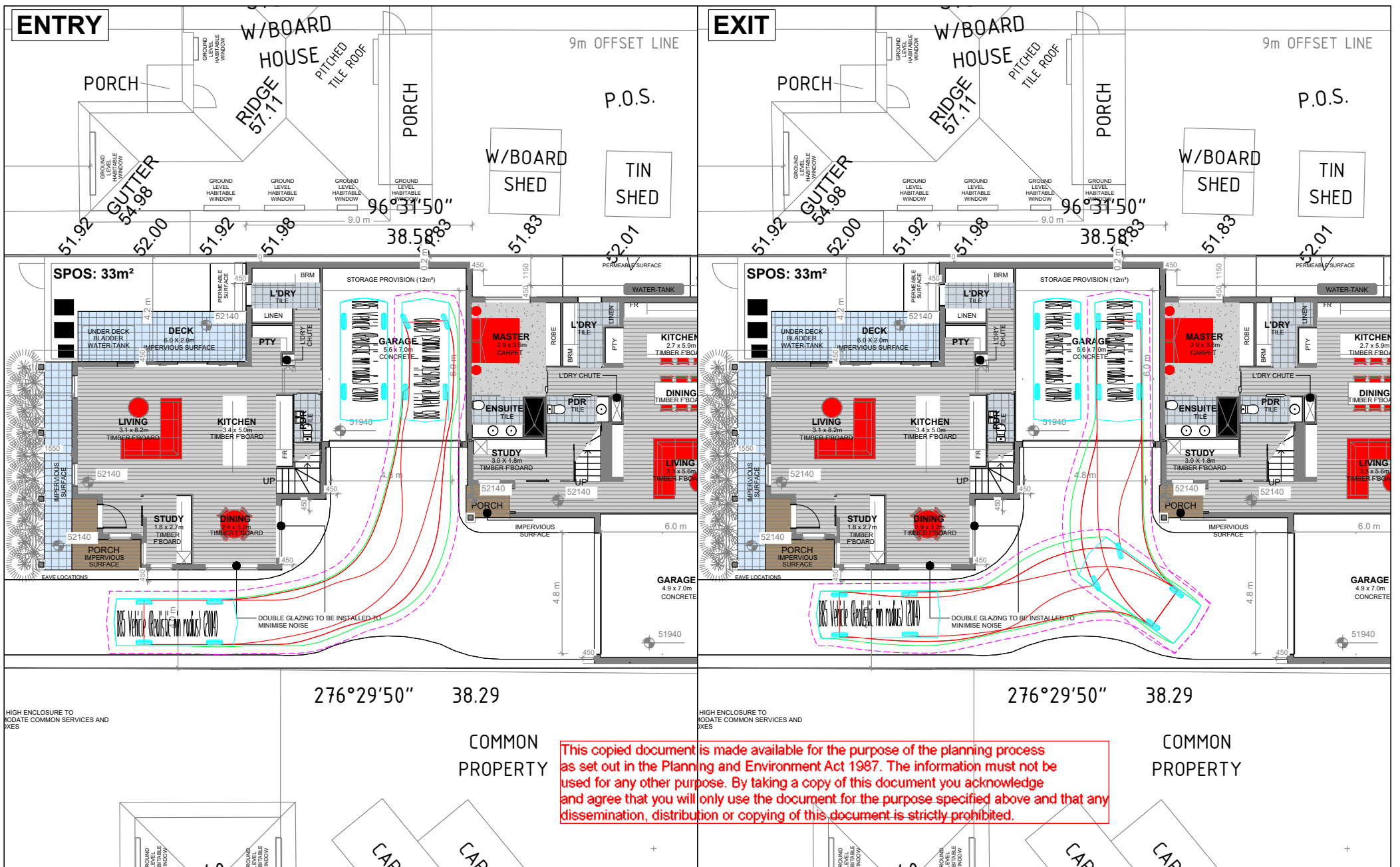
88 Langridge Street
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E : ttmvic@ttmgroup.com.au
W : www.ttmgroup.com.au

PROPOSED DEVELOPMENT
36 WOODS STREET,
BEACONSFIELD
SWEEP PATH DIAGRAM

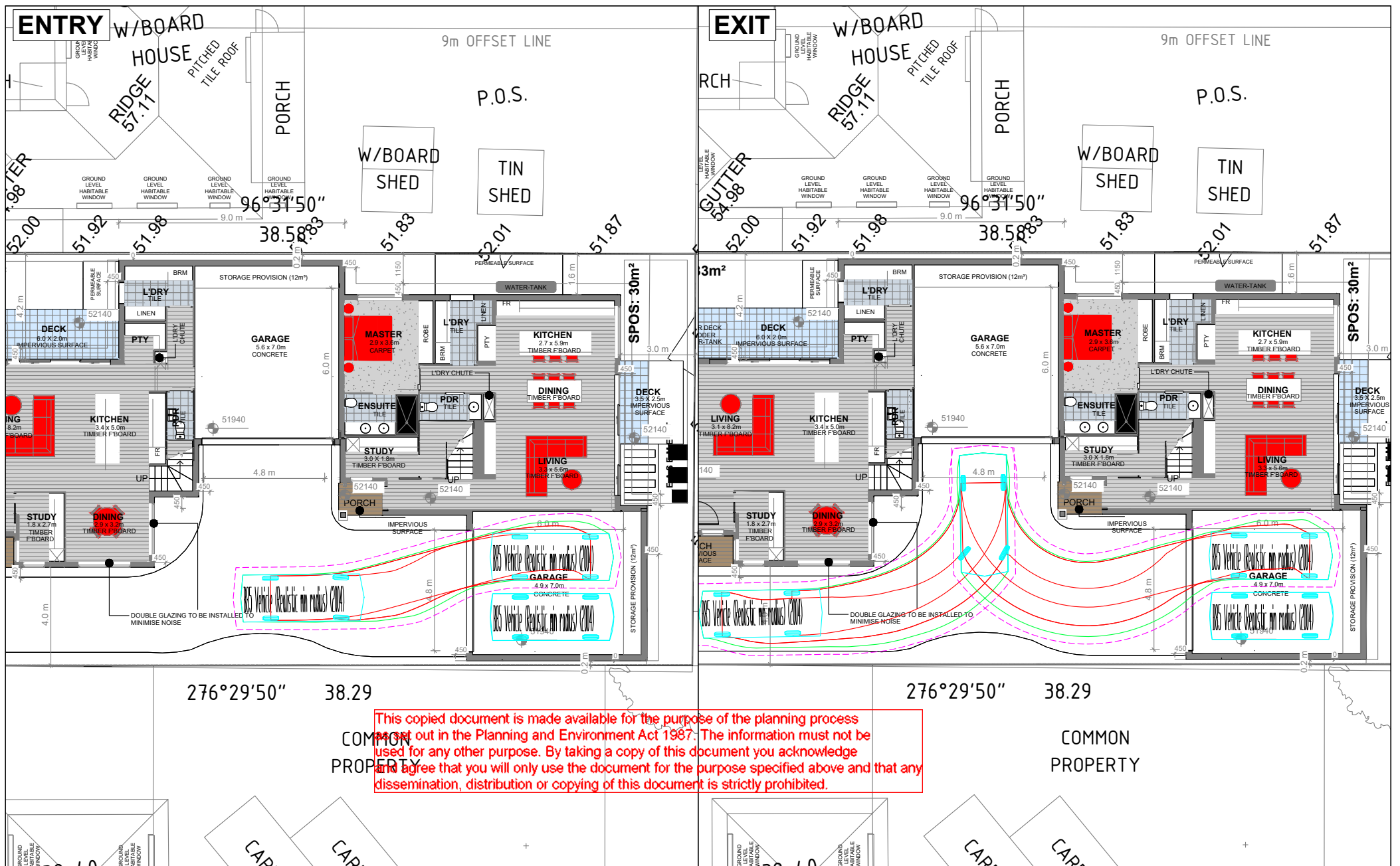
Scale 0 1 2 3 4
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Drawing No : 25MET0055

Sheet No : 1 Issue : B

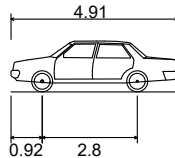


<p>— Wheel path</p> <p>— Vehicle Overhang</p> <p>— Vehicle Overhang + 300mm Clearance</p>				<p>Swept Path Diagram Prepared using AutoDesk Vehicle Tracking v25</p> <p>B85 Vehicle (Realistic min radius) (2004)</p> <p>Overall Length 4.910m</p> <p>Overall Width 1.870m</p> <p>Overall Body Height 1.499m</p> <p>Min Body Ground Clearance 0.120m</p> <p>Track Width 1.770m</p> <p>Lock to Lock Time 4.00sec</p> <p>Curb to Curb Turning Radius 5.750m</p>				<p>Colliers</p> <p>88 Langridge Street</p> <p>Collingwood VIC 3066</p> <p>P : (03) 9419 0911</p> <p>E : ttmvic@ttmgroup.com.au</p> <p>W : www.ttmgroup.com.au</p>		<p>PROPOSED DEVELOPMENT</p> <p>36 WOODS STREET,</p> <p>BEACONSFIELD</p> <p>SWEPT PATH DIAGRAMS</p> <p>Scale 0 1 2 3 4</p> <p>1:200 @ A4</p> <p>Drawing No : 25MET0055</p> <p>Sheet No : 2 Issue : B</p>	
B	MS	08/04/25	Amended SPD for revised plans								
A	PJM	12/03/25	Original Issue								
Issue	Appd	Date	Comments								



<div><div></div> Wheel path</div> <div><div></div> Vehicle Overhang</div> <div><div></div> Vehicle Overhang + 300mm Clearance</div>			
B	MS	08/04/25	Amended SPD for revised plans
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Swept Path Diagram Prepared using AutoDesk Vehicle Tracking v25



B85 Vehicle (Realistic min radius) (2004)

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PROPOSED DEVELOPMENT
36 WOODS STREET,
BEACONSFIELD
SWEEP PATH DIAGRAMS

Scale 0 1 2 3 4
1:200 @ A4

Drawing No : 25MET0055

Sheet No : 3 Issue : B

Arboricultural Impact Assessment

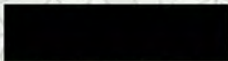
Location:

36 Woods Street, Beaconsfield

Report Commissioned by:

Nobelius Land Surveyors

Author:



Grad. Cert. Arb.

Arbkey ref: 25-03-07WoodsBeaconsfieldV2.docx

Date submitted: April 16, 2025

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Table of Contents

1	Introduction.....	2
2	Site Details.....	3
3	Methodology.....	4
4	Observations.....	5
5	Discussion.....	5
6	Conclusions and Recommendations	8
7	References.....	8
8	Appendix 1: Site Map.....	9
9	Appendix 2: Tree Details.....	10
10	Appendix 3: TPZ and SRZ Details	13
11	Appendix 4: TPZ, SRZ and Encroachment Map.....	14
12	Appendix 5: Tree Photos	15
13	Appendix 6: Data Definitions	18
14	Appendix 7: Tree Protection Zones and Encroachment Overview	20

1 Introduction

Arbkey has been engaged by Nobelius Land Surveyors to provide an Arboricultural Impact Assessment for trees likely to be affected by a proposed development at 36 Woods Street, Beaconsfield. Arboricultural Impact Assessments are a procedure for determining the viability of trees at the design and review stage of a project. For the report arbkey has:

- Identified and assessed the trees, providing their location, species, dimensions, useful life expectancy and health and structural condition.
- Allocated each tree an arboricultural value, indicating its merit for retention throughout nearby disturbance.
- Calculated the size of the Tree Protection Zone (TPZ) in accordance with Australian Standard 4970, Protection of Trees on Development Sites.
- Calculated and provided comment regarding the impact of the proposed development to the trees TPZs and assessed the suitability for retention of all trees against the current development plans.
- Provided recommendations to protect any trees through the proposed developments.

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2 Site Details

The subject site is a single occupancy residential property featuring a central dwelling, rear garage and surrounding yards/gardens (Figure 1). Small trees, normally within informal screens, are present around the border of the site.



Figure 1: Subject site

2.1 Development Proposal

Demolition of the existing buildings and installation of two (2) units is proposed.

2.2 Planning and Policy Context

The subject site is located within General Residential Zone - Schedule 1 of the Cardinia Planning Scheme (DEECA 2025). Tree protection related planning overlays or local law are not applied to the site.

Due to their ownership, any trees within adjacent third-party owned property must remain viable throughout works at the subject site unless under agreement with the tree's respective owner. Modification of trees in adjacent property may also be subject to permit approval.

2.3 Site Map

A site map detailing existing conditions and tree locations has been provided in Appendix 1: Site Map

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3 Methodology

On the 13 March 2025, Lachlan Scott undertook inspection of trees greater than 3m in height located at, or with tree protection zones (AS4970 2009) likely to intersect the property at, 36 Woods Street, Beaconsfield. The following information was collected for the trees:

- Tree Species
- Tree Location
- Height (m)
- Crown Spread (m)
- Diameter at Breast Height (DBH) at 1.4m (cm)
- Diameter at Base (DAB) at just above the root flare (cm)
- Health
- Structure
- Significance
- Photographs of tree

Only a ground based visual inspection was undertaken of all trees according to the principles of Visual Tree Assessment and tree hazard assessment described in Harris, Clark and Matheny (1999) and Mattheck and Breloer (1994).

Tree location has been derived using a feature survey provided by the client or if not present aligned using an RTK corrected GNSS receiver.

Height was measured on site using an impulse laser accurate to +/- 30cm. Crown spread values or drawings are indicative of crown size only, not shape or form.

A diameter tape was used to measure DBH. To prevent trespass, DBH has been estimated on adjacent sites.

Health, Structure and Significance are qualitative values derived from visual indicators and the authors experience and qualifications.

Encroachment of TPZs by the development has been calculated using GIS software.

Full data collection definitions are available in Appendix 6: Data Definitions.

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3.1 Documents Reviewed

Table 1: Documents reviewed to assist in the compilation of this report

Document Name	DWG/Document #	Author	Document Description	Date compiled/drawn
2024-127 36 Woods St - A1 - Sheet - TP-05 - GROUND FLOOR PLAN	2024-127	NA	Site Plans	NA

4 Observations

4.1 Tree Details

51 trees were assessed, 44 on the site itself and seven (7) within adjacent third-party managed property (Table 2). Full details of the assessed trees have been provided in Appendix 2: Tree Details.

Table 2: Count of assessed species and their respective species origin

Genus Species	Common Name	Species Origin	Count of Trees	Tree IDs
<i>Syzygium australe</i>	Brush Cherry	Australian Native	22	4, 7, 8, 10, 11, 13, 14, 16, 17, 18, 19, 21, 22, 23, 24, 25, 26, 27, 28, 30, 31, 33
<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	13	32, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45
<i>Camellia sasanqua</i>	Sasanqua Camellia	Exotic	5	2, 3, 5, 6, 29
<i>Pyrus calleryana</i>	Callery Pear	Exotic	5	47, 48, 49, 50, 51
<i>Ficus microcarpa</i>	Hills Weeping Fig	Australian Native	3	9, 12, 15
<i>Betula pendula</i>	Silver Birch	Exotic	1	20
<i>Prunus cerasifera</i> "Nigra"	Purple Cherry Plum	Exotic	1	1
<i>Syzygium paniculatum</i>	Magenta Cherry	Australian Native	1	46

5 Discussion

5.1 Arboricultural Value

All the assessed trees have been attributed an arboricultural value (Table 3). Arboricultural value is a calculated rating indicating the arboricultural merit of the tree for retention through any nearby disturbance. It is a qualitative combination of the trees ULE and significance values. Trees of higher arboricultural value should be prioritised for retention through works that may impact trees. Conversely, trees of low or no arboricultural value can often be removed to facilitate a development with little or no effect on wider landscape value.

Trees attributed an arboricultural value of 'Third Party Ownership' are located on adjacent land to the assessment. It is assumed that the owner of the tree attributes it a 'High' arboricultural value and requires its retention in the landscape.

Table 3: Overview of arboricultural value

Arboricultural Value	Count	Tree IDs
Medium	1	20
Low	43	2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45
Third Party Ownership	7	1, 46, 47, 48, 49, 50, 51

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5.2 Tree Protection Zone (TPZ) and Structural Root Zone (SRZ)

AS4970 (2009) specifies areas drawn radially from each tree's stem which indicate the area required for its stability (SRZ) and viability (TPZ) throughout nearby disturbance such as development. Further information on TPZs and SRZs has provided in Appendix 7: Tree Protection Zones and Encroachment

5.2.1 TPZ and SRZ details

TPZ and SRZ details for all trees has been supplied in Appendix 3: TPZ and SRZ Details.

5.3 Arboricultural Impact, TPZ Encroachment and Viability

5.3.1 Tree removal

All 44 trees on the site itself are proposed for removal under the current development plans (Table 4). Permit approval is not required for the removal of these trees.

Table 4: Trees proposed for removal, arboricultural value, and permit requirements.

Tree ID	Genus Species	Common Name	Arboricultural Value	Height (m)	Total DBH (cm)
2	<i>Camellia sasanqua</i>	Sasanqua Camellia	Low	4	9
3	<i>Camellia sasanqua</i>	Sasanqua Camellia	Low	4	9
4	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
5	<i>Camellia sasanqua</i>	Sasanqua Camellia	Low	4	9
6	<i>Camellia sasanqua</i>	Sasanqua Camellia	Low	4	9
7	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
8	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
9	<i>Ficus microcarpa</i>	Hills Weeping Fig	Low	3	8
10	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
11	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
12	<i>Ficus microcarpa</i>	Hills Weeping Fig	Low	3	8
13	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
14	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
15	<i>Ficus microcarpa</i>	Hills Weeping Fig	Low	3	8
16	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
17	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
18	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
19	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
20	<i>Betula pendula</i>	Silver Birch	Medium	10	41
21	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
22	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
23	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
24	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
25	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
26	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
27	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
28	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
29	<i>Camellia sasanqua</i>	Sasanqua Camellia	Low	4	15.52
30	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
31	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
32	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
33	<i>Syzygium australe</i>	Brush Cherry	Low	3	7
34	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
35	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
36	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
37	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
38	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
39	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
40	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
41	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
42	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
43	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
44	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9
45	<i>Pittosporum tenuifolium</i>	Kohuhu	Low	5	9

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5.3.2 Impact of design on trees to be retained

To assess the viability of the trees proposed for retention throughout the design's implementation, their TPZ and SRZ has been calculated and mapped as per AS4970 (2009). Where a development's footprint overlaps a TPZ it is termed 'encroachment' within AS4970 (2009).

Six (6) trees have TPZ encroached by the proposed development's footprint (Table 5).

Trees 46, 47, 48, 49, 50 and 51 have TPZ encroached by more than 10% of their respective area by the proposal. Where encroachment of the standard TPZ exceeds 10% of a TPZ it is termed 'Major Encroachment'. Major encroachment and corresponding variations to a TPZ can be considered acceptable providing the following conditions are met:

- The project arborist demonstrates the tree will remain viable through the encroachment.
- The lost area is compensated elsewhere while still being contiguous with the TPZ.

Table 5: Trees to be retained with TPZ encroached by development footprint (AS4970 2009)

Tree ID	Genus Species	Common Name	TPZ Encroachment (%)	SRZ Encroachment?	Encroachment Classification
46	<i>Syzygium paniculatum</i>	Magenta Cherry	14	No	Major
47	<i>Pyrus calleryana</i>	Callery Pear	2.6	No	Minor
48	<i>Pyrus calleryana</i>	Callery Pear	11.3	Yes	Major
49	<i>Pyrus calleryana</i>	Callery Pear	19.6	Yes	Major
50	<i>Pyrus calleryana</i>	Callery Pear	27.2	Yes	Major
51	<i>Pyrus calleryana</i>	Callery Pear	22.5	Yes	Major

The remaining trees proposed for retention are not encroached by the design footprint and would remain viable throughout its implementation.

5.3.3 TPZ, SRZ and Encroachment Map

Maps detailing the TPZ, SRZ and Encroachment have been provided in Appendix 4: TPZ, SRZ and Encroachment Map.

5.3.4 Mitigation measures

Where a tree's TPZ is majorly encroached by a development or disturbance, the project arborist must, if possible, demonstrate that the trees will remain viable throughout the implementation of the design or disturbance.

5.3.4.1 Tree 46

Tree 46, a third party managed Magenta Cherry (*Syzygium paniculatum*), has a TPZ majorly encroached by a proposed garage. The TPZ encroachment from the proposed garage is congruent to an existing root-inhibiting garage. Considering the root-inhibiting existing conditions, Tree 46 would not be adversely affected by the works proposed within its TPZ and would remain viable throughout their implementation.

5.3.4.2 Trees 47, 48, 49, 50 and 51

Trees 47, 48, 49, 50 and 51 are recently installed, third party managed Callery Pears (*Pyrus calleryana*), with TPZ majorly encroached by a proposed deck and surrounding landscaping. Trees 47, 48, 49, 50 and 51 have been recently planted, and are unlikely to have extended significant root mass into the subject site. Considering this, and the low impact of post and beam decking, Trees 47, 48, 49, 50 and 51 would remain viable throughout the works proposed within their TPZ with no encroachment mitigation measures required.

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6 Conclusions and Recommendations

Demolition of the existing buildings and installation of two (2) units is currently proposed at 36 Woods Street, Beaconsfield. Arbkey has been engaged to assess the impact of the development on the trees at or adjacent to the site. 51 trees were assessed, 44 on the site and seven (7) within adjacent property. All 44 trees on the site itself are proposed for removal under the development plans. Permit approval is not required for the removal of these trees.

To assess the viability of the trees proposed for retention throughout the design's implementation, their tree protection zone (TPZ) and structural root zone (SRZ) has been calculated and mapped as per AS4970 (2009). Where a development's footprint overlaps a TPZ it is termed 'encroachment' within AS4970 (2009).

Six (6) of the trees proposed for retention have TPZ encroached by the proposed design footprint. Trees 46, 47, 48, 49, 50 and 51 have TPZ encroached by greater than 10% of their respective TPZ area, a level considered major and generally intolerable under AS4970 (2009).

Tree 46, a third party managed Magenta Cherry (*Syzygium paniculatum*), has a TPZ majorly encroached by a proposed garage. The TPZ encroachment from the proposed garage is congruent to an existing root-inhibiting garage. Considering the root-inhibiting existing conditions, Tree 46 would not be adversely affected by the works proposed within its TPZ and would remain viable throughout their implementation.

Trees 47, 48, 49, 50 and 51 are recently installed, third party managed Callery Pears (*Pyrus calleryana*), with TPZ majorly encroached by a proposed deck and surrounding landscaping. Trees 47, 48, 49, 50 and 51 have been recently planted, and are unlikely to have extended significant root mass into the subject site. Considering this, and the low impact of post and beam decking, Trees 47, 48, 49, 50 and 51 would remain viable throughout the works proposed within their TPZ with no encroachment mitigation measures required.

The remaining trees proposed for retention are not encroached by the design footprint and would remain viable throughout its implementation. It is recommended that, prior to the commencement of any construction or demolition activities, a Tree Protection Management Plan (TPMP) in accordance with AS4970 (2009) is prepared outlining the procedure for protecting any impacted trees throughout the implementation of the endorsed design.

7 References

AS 4970, 2009, Australian Standard, Protection of Trees on Development Sites, Standards Australia

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Harris, R.W., Clark, J.R. & Matheny, N.P., 1999, Arboriculture; Integrated management of landscape trees, shrubs, and vines, Prentice Hall, Upper Saddle River, New Jersey

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8 Appendix 1: Site Map



Figure 2: Site Map – Existing Condition

9 Appendix 2: Tree Details

Table 6: Details of assessed trees

Tree ID	Genus Species	Common Name	Species Origin	Height (m)	Crown Spread (m)	Total DBH (cm)	DAB (cm)	Health	Structure	Maturity	ULE (years)	Arboricultural Value	Comments
1	<i>Prunus cerasifera</i> "Nigra"	Purple Cherry Plum	Exotic	5	3	19.65	30	Poor	Poor	Mature	<5	Third Party Ownership	Decayed at base
2	<i>Camellia sasanqua</i>	Sasanqua Camellia	Exotic	4	2	9	11	Good	Fair	Semi-mature	5 to 15	Low	Group of 4
3	<i>Camellia sasanqua</i>	Sasanqua Camellia	Exotic	4	2	9	11	Good	Fair	Semi-mature	5 to 15	Low	Group of 4
4	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
5	<i>Camellia sasanqua</i>	Sasanqua Camellia	Exotic	4	2	9	11	Good	Fair	Semi-mature	5 to 15	Low	Group of 4
6	<i>Camellia sasanqua</i>	Sasanqua Camellia	Exotic	4	2	9	11	Good	Fair	Semi-mature	5 to 15	Low	Group of 4
7	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
8	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
9	<i>Ficus microcarpa</i>	Hills Weeping Fig	Australian Native	3	1	8	10	Fair	Fair	Semi-mature	15 to 40	Low	
10	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
11	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
12	<i>Ficus microcarpa</i>	Hills Weeping Fig	Australian Native	3	1	8	10	Fair	Fair	Semi-mature	15 to 40	Low	
13	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
14	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
15	<i>Ficus microcarpa</i>	Hills Weeping Fig	Australian Native	3	1	8	10	Fair	Fair	Semi-mature	15 to 40	Low	
16	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
17	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
18	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
19	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings

Tree ID	Genus Species	Common Name	Species Origin	Height (m)	Crown Spread (m)	Total DBH (cm)	DAB (cm)	Health	Structure	Maturity	ULE (years)	Arboricultural Value	Comments
20	<i>Betula pendula</i>	Silver Birch	Exotic	10	8	41	47	Good	Good	Mature	15 to 40	Medium	
21	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
22	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
23	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
24	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
25	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
26	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
27	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
28	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
29	<i>Camellia sasanqua</i>	Sasanqua Camellia	Exotic	4	3	15.52	15	Good	Fair	Mature	5 to 15	Low	
30	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
31	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
32	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
33	<i>Syzygium australe</i>	Brush Cherry	Australian Native	3	1	7	8	Fair	Fair	Semi-mature	5 to 15	Low	Screen against fence - 1m spacings
34	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
35	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
36	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
37	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
38	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
39	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
40	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
41	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings

Tree ID	Genus Species	Common Name	Species Origin	Height (m)	Crown Spread (m)	Total DBH (cm)	DAB (cm)	Health	Structure	Maturity	ULE (years)	Arboricultural Value	Comments
42	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
43	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
44	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
45	<i>Pittosporum tenuifolium</i>	Kohuhu	Exotic	5	1	9	10	Good	Fair	Semi-mature	15 to 40	Low	Screen against fence. 1m spacings
46	<i>Syzygium paniculatum</i>	Magenta Cherry	Australian Native	11	8	37.34	40	Good	Fair	Mature	15 to 40	Third Party Ownership	
47	<i>Pyrus calleryana</i>	Callery Pear	Exotic	4	1	8	9	Good	Good	Semi-mature	15 to 40	Third Party Ownership	Group of 5
48	<i>Pyrus calleryana</i>	Callery Pear	Exotic	4	1	8	9	Good	Good	Semi-mature	15 to 40	Third Party Ownership	Group of 5
49	<i>Pyrus calleryana</i>	Callery Pear	Exotic	4	1	8	9	Good	Good	Semi-mature	15 to 40	Third Party Ownership	Group of 5
50	<i>Pyrus calleryana</i>	Callery Pear	Exotic	4	1	8	9	Good	Good	Semi-mature	15 to 40	Third Party Ownership	Group of 5
51	<i>Pyrus calleryana</i>	Callery Pear	Exotic	4	1	8	9	Good	Good	Semi-mature	15 to 40	Third Party Ownership	Group of 5

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10 Appendix 3: TPZ and SRZ Details

Table 7: TPZ and SRZ details of assessed trees (AS4970 2009)

Tree ID	Genus Species	Common Name	SRZ radius (m) AS4970	TPZ radius (m) AS4970	TPZ Area AS 4970 (m ²)
1	<i>Prunus cerasifera</i> "Nigra"	Purple Cherry Plum	2	2.36	17.497
2	<i>Camellia sasanqua</i>	Sasanqua Camellia	1.5	2	12.566
3	<i>Camellia sasanqua</i>	Sasanqua Camellia	1.5	2	12.566
4	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
5	<i>Camellia sasanqua</i>	Sasanqua Camellia	1.5	2	12.566
6	<i>Camellia sasanqua</i>	Sasanqua Camellia	1.5	2	12.566
7	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
8	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
9	<i>Ficus microcarpa</i>	Hills Weeping Fig	1.5	2	12.566
10	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
11	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
12	<i>Ficus microcarpa</i>	Hills Weeping Fig	1.5	2	12.566
13	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
14	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
15	<i>Ficus microcarpa</i>	Hills Weeping Fig	1.5	2	12.566
16	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
17	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
18	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
19	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
20	<i>Betula pendula</i>	Silver Birch	2.41	4.92	76.047
21	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
22	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
23	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
24	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
25	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
26	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
27	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
28	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
29	<i>Camellia sasanqua</i>	Sasanqua Camellia	1.5	2	12.566
30	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
31	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
32	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
33	<i>Syzygium australe</i>	Brush Cherry	1.5	2	12.566
34	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
35	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
36	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
37	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
38	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
39	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
40	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
41	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
42	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
43	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
44	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
45	<i>Pittosporum tenuifolium</i>	Kohuhu	1.5	2	12.566
46	<i>Syzygium paniculatum</i>	Magenta Cherry	2.25	4.48	63.053
47	<i>Pyrus calleryana</i>	Callery Pear	1.5	2	12.566
48	<i>Pyrus calleryana</i>	Callery Pear	1.5	2	12.566
49	<i>Pyrus calleryana</i>	Callery Pear	1.5	2	12.566
50	<i>Pyrus calleryana</i>	Callery Pear	1.5	2	12.566
51	<i>Pyrus calleryana</i>	Callery Pear	1.5	2	12.566

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11 Appendix 4: TPZ, SRZ and Encroachment Map

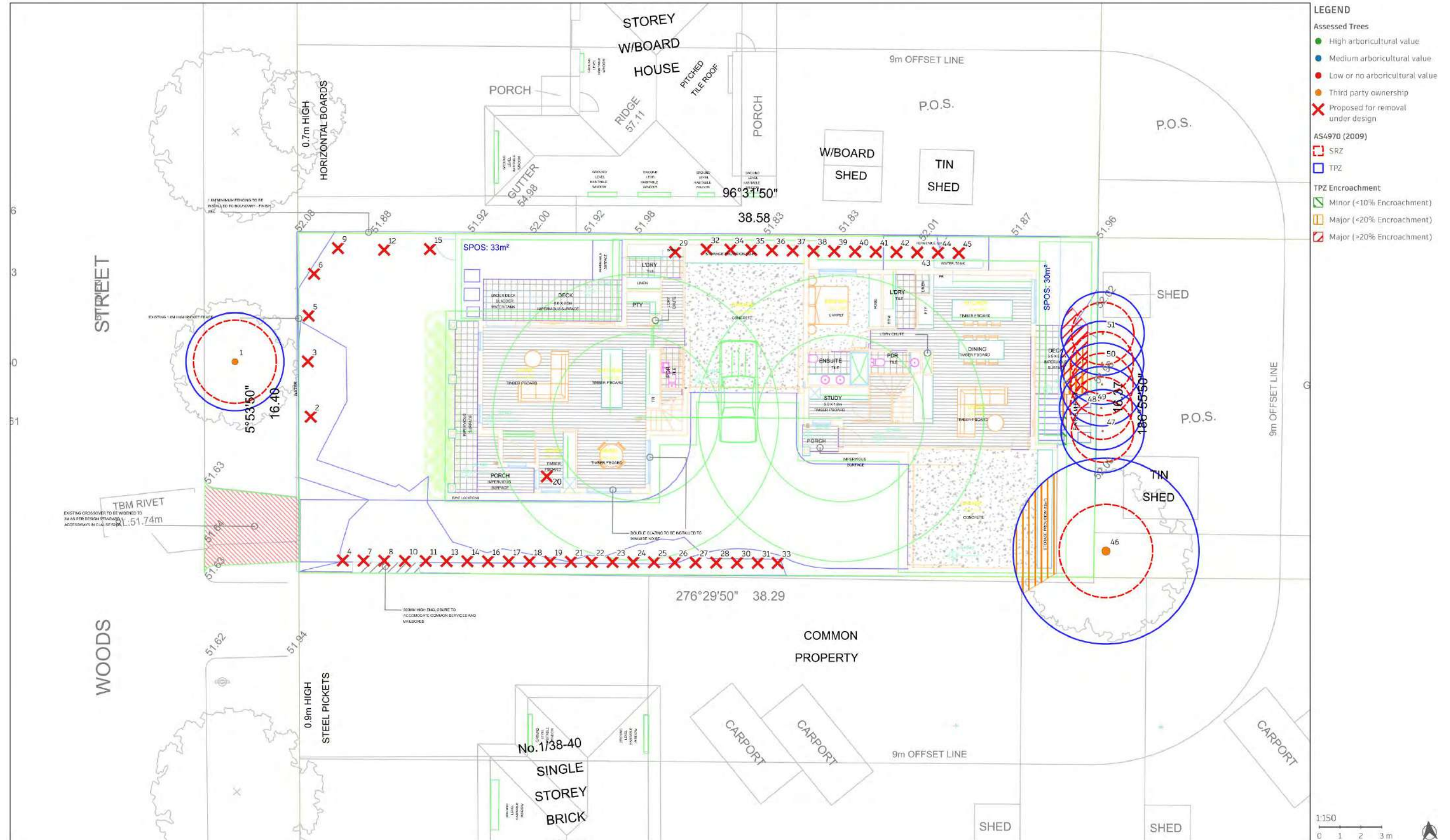


Figure 3: TPZ, SRZ and Encroachment Map

12 Appendix 5: Tree Photos

Tree ID: 1



Tree ID: 2, 3, 5, 6



Tree ID: 4, 7, 8, 10, 11, 13, 14, 16, 17, 18, 19, 21, 22, 23, 24, 25, 26, 27, 28, 30, 31, 33



Tree ID: 9, 12, 15



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Tree ID: 20



Tree ID: 29



Tree ID: 32, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45



Tree ID: 46



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Tree ID: 47, 48, 49, 50, 51



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13 Appendix 6: Data Definitions

DBH (Diameter at Breast Height) is measured at 1.4 m above ground level or calculated from the total stem area if the tree was multi-stemmed at 1.4m above ground level in accordance with AS 4970 (2009).

DAB (Diameter at Base) is measured just above the root collar of a tree in accordance with AS 4970 (2009)

Health summarises qualitative observations of canopy density, overall vigour and vitality made in the field:

- Good - Canopy is visually dense with less than 10% dieback and shows no, or only very minor nutrient deficiencies, pest and disease presence or stress-induced epicormic growth.
- Fair - Canopy is of average density, consists of between 10-30% dieback and shows a minor, or occasionally moderate, level of nutrient deficiency, pest and disease presence or stress-induced epicormic growth.
- Poor - Canopy is visually sparse, consists of more than 30% dieback and typically has significant nutrient deficiency, pest and disease presence or stress induced epicormic growth.
- Dead – No indication the tree is alive

Structure summarises qualitative observations of tree structure and stability made in the field:

- Good - The tree's form is optimal for the species. Typically trees of 'Good' structure have no or only very minor trunk leans or canopy asymmetry. These trees have parts that are not structurally compromised by decay, cracks, or other structural faults. Structural failure of these trees is only likely only under strong and unusual weather events
- Fair - The tree's structure includes minor structural defects that do not typically fail in light or moderate weather events. Typically trees of 'Fair' structure have minor trunk leans or slightly asymmetric canopies. These trees are likely to have parts that are partly compromised by decay or structural defects such as included bark.
- Poor - The tree's structure includes major structural defects. Failure of these trees is considered possible under light or moderate weather events. Typically trees of 'Poor' structure have major trunk leans or heavily asymmetric canopies. These trees are likely to have parts that are heavily compromised by decay or structural defects such as included bark.

Maturity summarises the life stage of the tree.

- Juvenile – The tree is in approximately the first 10% of its expected lifespan in its current environment
- Semi-mature – Tree is 10%-20% through its expected lifespan in its current environment and has not yet reached its mature dimensions.
- Mature – The tree is through 20%-90% of its expected lifespan in its current environment.
- Over-mature – The tree is through approximately 90% of its expected lifespan in its current environment

ULE (Useful Life Expectancy) indicates the anticipated remaining years of lifespan of the tree in its existing surroundings. The tree's lifespan is the time that it will continue to provide amenity value without undue risk or hazard and with a reasonable amount of maintenance.

Significance indicates the importance a tree may have on a respective site. The following descriptors are used to derive this value (adapted from IACA 2010):

High -

- | | |
|--|---|
| <ul style="list-style-type: none"> • Tree is good condition and good vigour • The tree has a form typical for the species • The tree is a remnant specimen or is rare or uncommon in the local area or of botanical interest or substantial age • The tree is listed as a heritage item or threatened species or listed on a municipal significant tree register | <ul style="list-style-type: none"> • The tree is visually prominent and visible from a considerable distance when viewed from most directions due to its size and scale. The tree makes a positive contribution to the local amenity. • The tree supports social or cultural sentiments or spiritual associations or has commemorative values • The tree is appropriate to the site conditions |
|--|---|

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Medium -

- The tree is in fair condition and good or low vigour
- The tree has form typical or atypical of the species
- The tree is a planted locally indigenous taxa or a common species within the area.
- The tree is visible from surrounding properties, although not visually prominent as partially obstructed by other vegetation or buildings when viewed from a public space. The tree provides a moderate contribution to the amenity and character of the local area
- The tree is often partially restricted by above or below ground influences and/or resources.

Low -

- The tree is in fair condition and good or low vigour
- The tree has form atypical of the species.
- The tree is not visible or is partly visible from surrounding properties due to obstructions.
- The tree provides a minor contribution or has a negative impact on landscape amenity or character of the local area.
- The tree is a juvenile specimen that can easily be replaced.
- The tree's growth is severely restricted by above or below ground influences and/or resources.
- The tree has a feature that has potential to become structurally unsound.
- The tree is listed as a noxious or environmental weed under state, federal or municipal policy

Dead/Irreversible Decline -

- The tree is structurally unsound or unstable
- The tree is dead or in irreversible decline

Third Party Ownership

- The tree is located on adjoining land to the assessment.

A tree is to meet several or all the criteria in a category to be classified in that group

Arboricultural Value is a calculated value indicating the merit of the tree for retention through any nearby developments. It is a qualitative combination of the trees ULE and Significance Values (Table 8).

Table 8: Matrix for the calculation of Arboricultural Value

ULE	Significance Value					
		High	Medium	Low	Dead/Irreversible Decline	Third Party Ownership
	>40 years	High	Medium	Low	Low	Third Party Ownership
	15-40 years	High	Medium	Low	Low	Third Party Ownership
	5-15 years	High	Medium	Low	None	Third Party Ownership
	<5 years	Medium	Low	None	None	Third Party Ownership
	0 years	Low	None	None	None	Third Party Ownership

- High – Trees attributed a 'High' arboricultural value are generally of strong visual amenity and significant in the landscape. The utmost level of consideration should be given for the retention of these trees throughout development activities and/or nearby disturbance
- Medium – Trees attributed a 'Medium' arboricultural value are of moderate amenity value and have been attributed some value in the landscape. Trees attributed a 'Medium' arboricultural value should be retained and designed around during developments or nearby disturbance. If retention is not possible for these trees, removal and replacement can be often considered as an acceptable compromise.
- Low – Trees attributed a Low arboricultural value are of poor arboricultural merit. Removal and replacement is an acceptable compromise if designing around these trees is not possible.
- None – Trees attributed an arboricultural value of none have no arboricultural merit. Removal is usually acceptable or required for these trees.
- Third Party Ownership – The tree is located on adjacent land to the assessment. It is assumed that the owner of the tree attributes it a High arboricultural value and requires its retention in the landscape.

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14 Appendix 7: Tree Protection Zones and Encroachment Overview

14.1 Structural Root Zones (SRZ)

SRZs are an indication of the area surrounding the base of a tree that is required for its stability. AS 4970 (2009) provides a method to calculate the SRZ of trees: The SRZ is calculated as

$$(DAB \times 50)^{0.42} \times 0.64$$

For grass like trees such as palms or tree ferns; SRZs are not calculated.

14.2 Tree Protection Zone (TPZ)

A Tree Protection Zone (TPZ) is considered one of the most effective ways to ensure the retention of trees throughout development. The aim of a TPZ is to secure the space around the tree so that no above or below ground activities or developments can affect the integrity of the tree's root system or above ground parts.

AS 4970 (2009) provides a method for calculating the standard area of TPZ's. For all broadleaf trees, the radius of the TPZ is calculated as:

$$12 * DBH$$

For grass like trees such as palms or tree ferns; TPZs are calculated as:

$$\text{Radius of extent of canopy} + 1\text{m},$$

Dead trees are attributed a TPZ of the same size as their SRZ as only their stability can now be protected and not their vigour

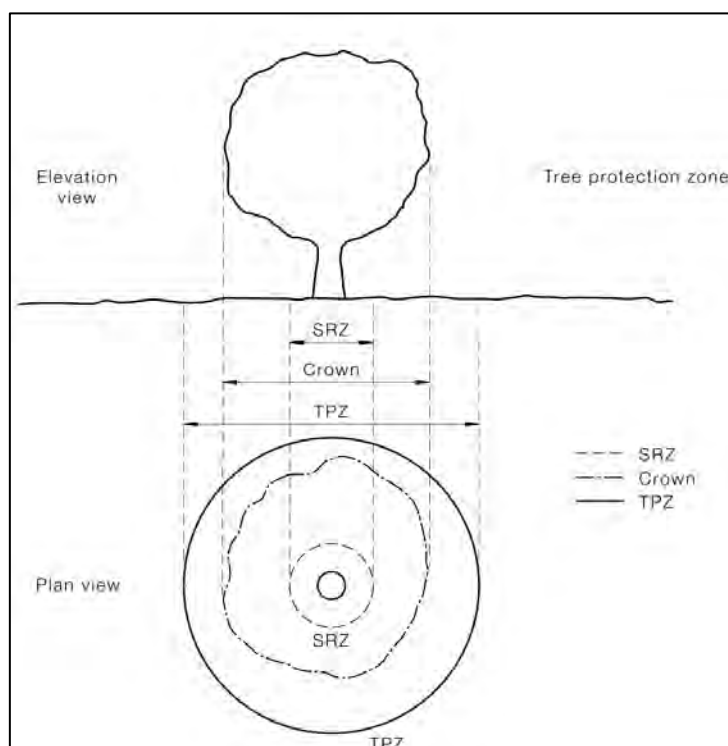


Figure 4: Diagram of TPZ and SRZ (AS 4970 2009)

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14.2.1 TPZ Encroachment:

AS 4970 (2009) allows the extents of 'calculated' TPZs to be varied, under certain conditions, to allow varying levels encroachment into TPZs. Encroachment is the term given to the level of impact of the footprint of a disturbance (such as a development or construction activity) on the calculated TPZ of a tree. Two levels of encroachment are classified within AS 4970:

14.2.1.1 Minor Encroachment

Where encroachment of a respective TPZ is limited to less than 10% of a TPZs area it is termed 'Minor Encroachment'. Minor encroachment and corresponding variations to a TPZ is considered acceptable while the lost area is compensated elsewhere while still being contiguous with the TPZ.

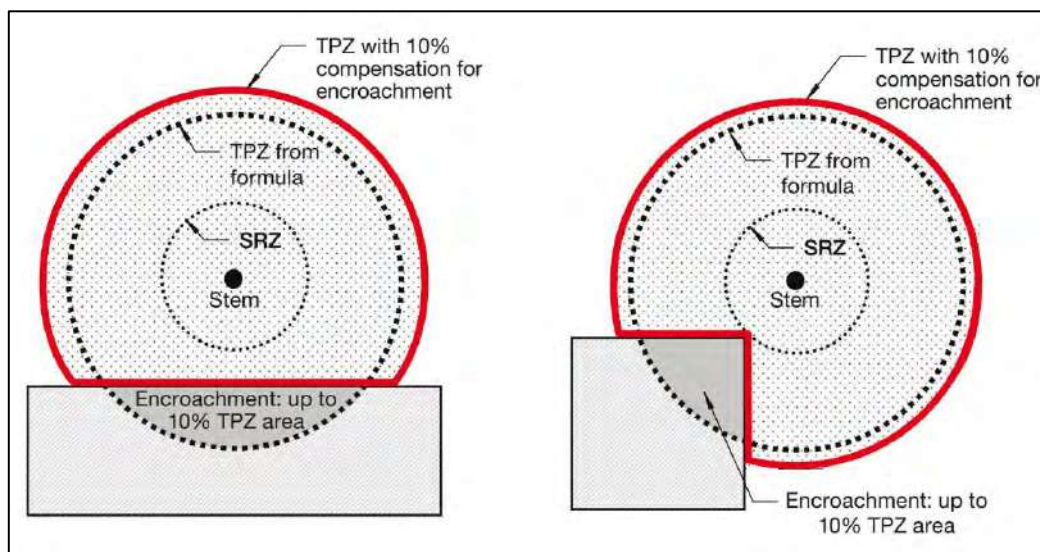


Figure 5: Examples of Minor TPZ encroachment and contiguous TPZ compensation (AS 4970 2009)

14.2.1.2 Major Encroachment

Where encroachment of the standard TPZ exceeds 10% of a TPZ it is termed 'Major Encroachment'. Major encroachment and corresponding variations to a TPZ can be considered acceptable providing the following conditions are met:

- The project arborist demonstrates the tree will remain viable through the encroachment.
- The lost area is compensated elsewhere while still being contiguous with the TPZ.

Regardless of encroachment, final TPZs and tree protection requirements should be clear to all parties during the entire construction process. Ideally all tree protection requirements should be outlined within a Tree Protection Management Plan (TPMP), prepared by a suitably qualified arborist, prior to the commencement of any construction activities

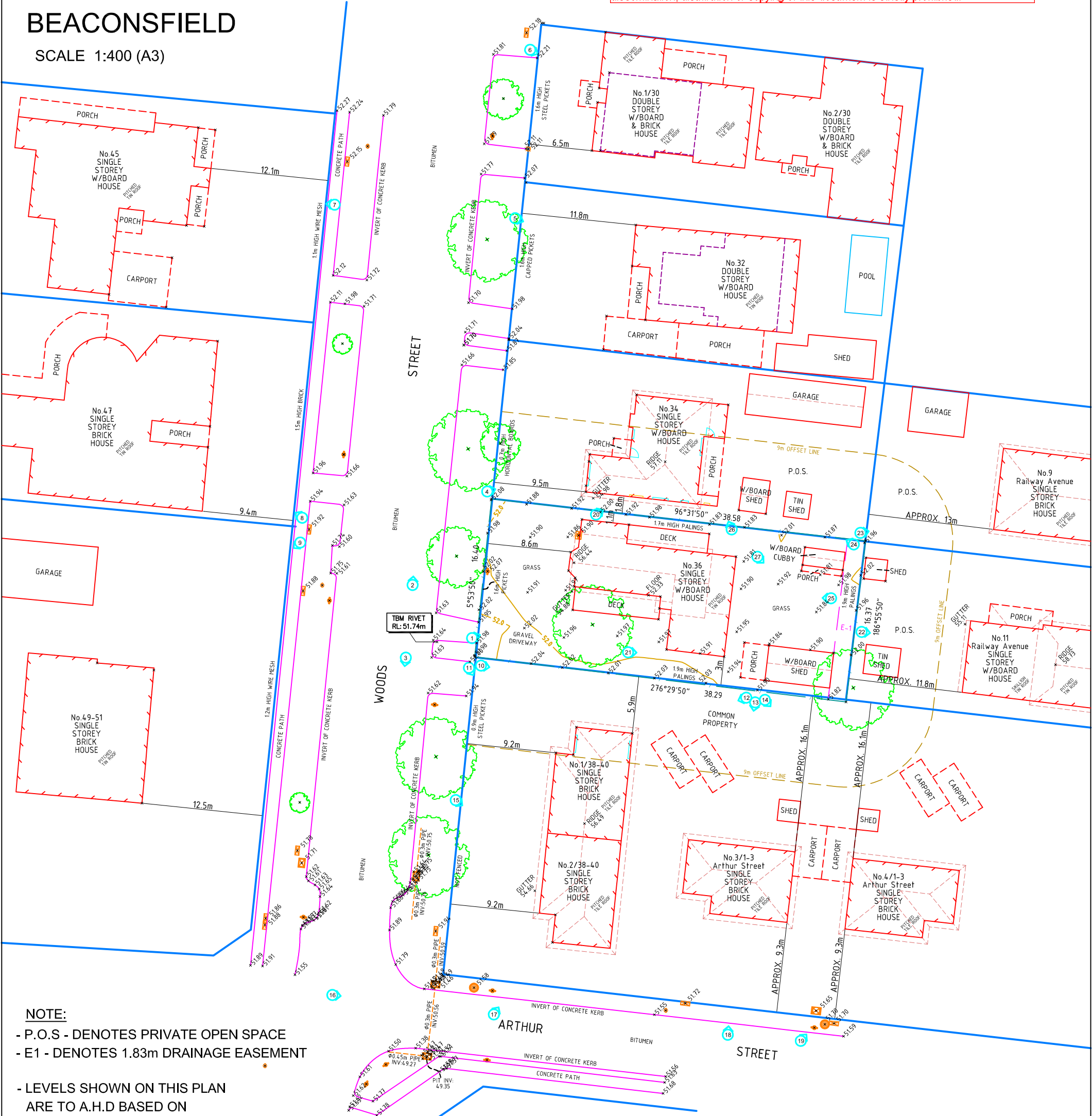
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FEATURE & LEVEL PLAN

36 Woods Street
BEACONSFIELD

SCALE 1:400 (A3)

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NOTE:

- P.O.S - DENOTES PRIVATE OPEN SPACE
- E1 - DENOTES 1.83m DRAINAGE EASEMENT
- LEVELS SHOWN ON THIS PLAN ARE TO A.H.D BASED ON PAKENHAM PM 46 (R.L. 51.756)
- TITLE & BUILDING POSITIONS OFF SUBJECT SITE ARE DISPLAYED FOR INDICATION PURPOSES, USE QUOTED SETBACKS ONLY
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE 'RECORD OF HAVING RE-ESTABLISHED A PARCEL'. INFORMATION REGARDING TITLE BOUNDARIES AND/OR EASEMENTS SHOULD BE TAKEN FROM RE-ESTABLISHMENT PLAN.
- THIS IS A CADASTRAL PLAN PREPARED UNDER THE SUPERVISION OF A LICENSED SURVEYOR.

LEGEND

- SEWER PIT
- SIDE ENTRY PIT
- WATER METER
- TELSTRA PIT
- POWER POLE
- SIGN
- DRAINAGE PIT
- ELEC. PIT
- GAS METER
- PHOTO POSITION & DIRECTION
- DENOTES FIRST FLOOR BUILDING LINE
- DENOTES GROUND FLOOR HABITABLE WINDOWS
- DENOTES GROUND FLOOR NON-HABITABLE WINDOWS

NOBELIUS LAND SURVEYORS



P.O. BOX 461
PAKENHAM 3810
Ph 03 5941 4112
Fax 03 5941 7359
mail@nobelius.com.au

DRAWN BY : HENRY
CHECKED : T.F
DATE OF SURVEY : 21/11/2023
SURV. REF. NO. 21680

Uxkd.

TP-00	COVER PAGE
TP-01	NEIGHBOURHOOD CONTEXT
TP-02	DESIGN RESPONSE
TP-03	GARDEN PLAN
TP-04	SITE PLAN
TP-05	GROUND FLOOR PLAN
TP-06	UPPER FLOOR PLAN
TP-07	ELEVATIONS (1 OF 2)
TP-08	ELEVATIONS (2 OF 2)
TP-09	SHADOW DIAGRAM (9AM)
TP-10	SHADOW DIAGRAM (10AM)
TP-11	SHADOW DIAGRAM (11PM)
TP-12	SHADOW DIAGRAM (12PM)
TP-13	SHADOW DIAGRAM (1PM)
TP-14	SHADOW DIAGRAM (2PM)
TP-15	SHADOW DIAGRAM (3PM)
TP-16	3D SETBACK ENVELOPE
TP-17	3D VIEWS

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LEGEND

SUBJECT SITE

NEIGHBOURING DEVELOPMENT SITES

LOCAL RECREATION & AMENITIES

CAR TRAFFIC

PEDESTRIAN TRAFFIC

SPOS

OVERLOOKING

VIEWS

PROPERTY EASEMENT

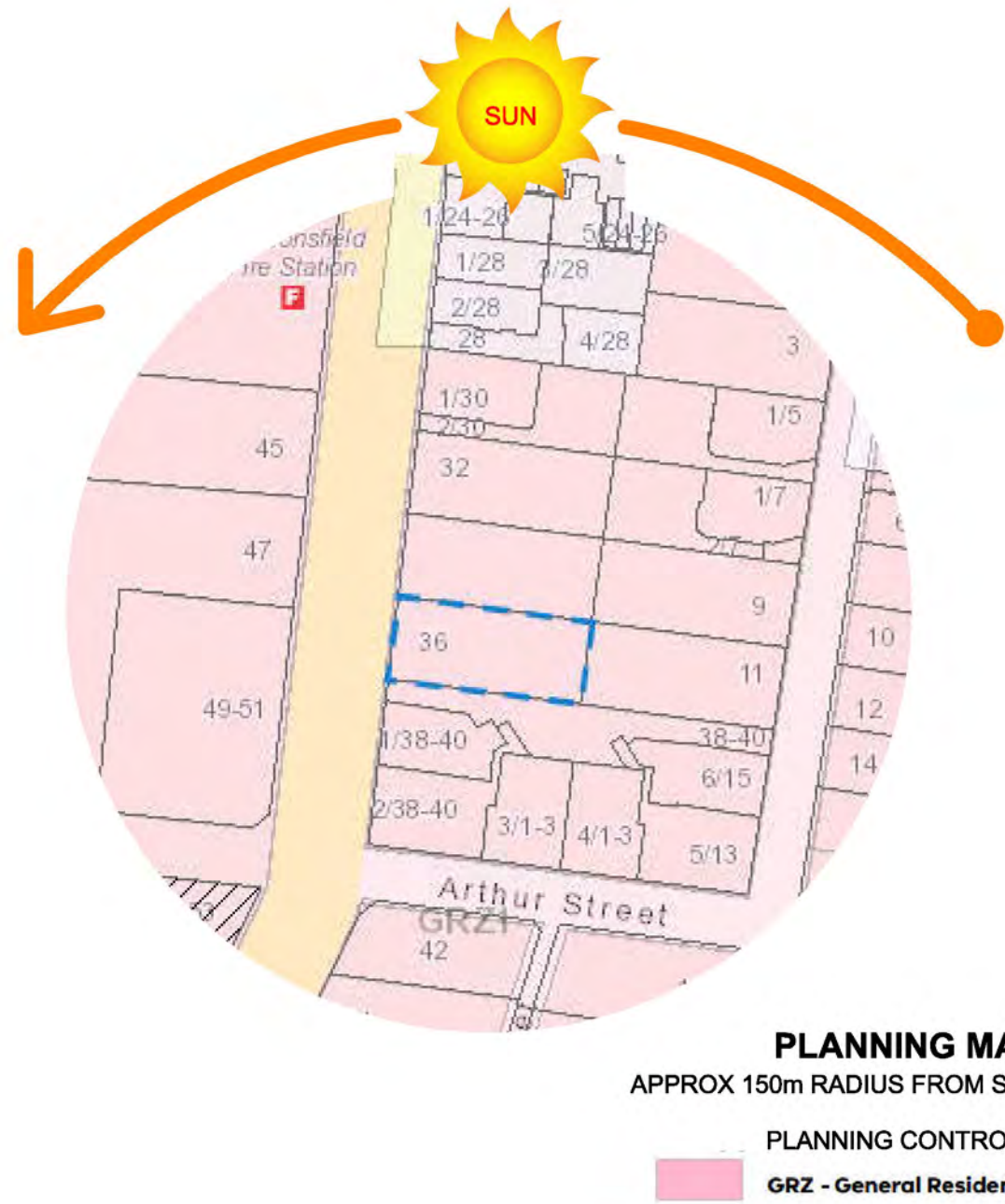
ABBREVIATIONS

SS	SINGLE STOREY
DS	DOUBLE STOREY
BB	BRICK VENEER
WB	WEATHERBOARD
RF	RENDER FINISH
AC	ARCHITECTURAL CLADDING
TR	TILED FINISH
SR	SHEET ROOFING
GAR	GARAGE
CP	CARPORT
HF	HIGH FENCE
LF	LOW FENCE
NF	NO FENCE

AMENITIES + SERVICES SCHEDULE

EDUCATION	KILOMETERS
BEACONSFIELD PRIMARY	300m
HAILEYBURY	600m
ST FRANCIS XAVIER COLLEGE	700m
SHOPPING AMENITIES:	
ALDI BEACONSFIELD	300m
WOOLWORTHS BEACONSFIELD	300m
FOODWORKS BERWICK	2.1km
PUBLIC TRANSPORT:	
PAKENHAM STATION	300m
836 BERWICK STATION	300m
926 PAKENHAM STATION	300m
RECREATION:	
AYAZTECH	6.1km
VILLAGE CINEMAS	6.5km
FOUNTAIN GATE	6.5km
MEDICAL/ HEALTH:	
AMCAL PHARMACY	200m
BERWICK HEALTHCARE	2.5km
BERWICK PHARMACY	2.6km

LOCALITY PLAN



uxd.

USER EXPERIENCE DESIGN GROUP

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LOCATION:	SOUTHBANK, VIC 3006
PHONE:	(03) 9989 3888
EMAIL:	ADMIN@UXDGROUP.CO
WEB:	WWW.UXDGROUP.CO

PROJECT INFO

CLIENTS:	
ADDRESS:	36 WOODS STREET
LOCATION:	BEACONSFIELD VIC 3807
MUNICIPALITY:	CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:

A.3	TOWN PLANNING	03 FEB 2025
A.4	TOWN PLANNING	1 APR 2025

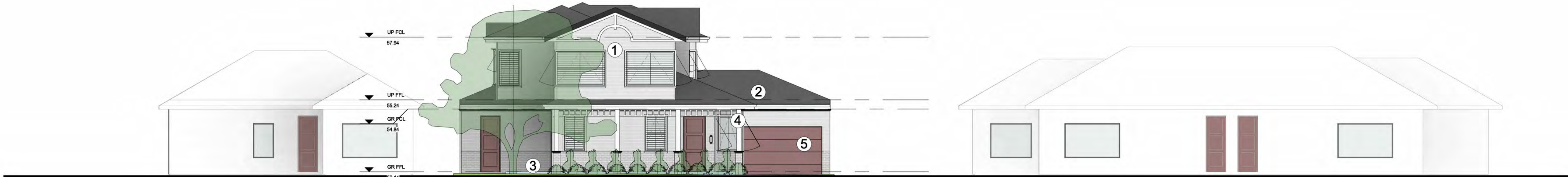
TOWN PLANNING

TP-01

NEIGHBOURHOOD CONTEXT

UXD 2024.127 As @ A2 indicated

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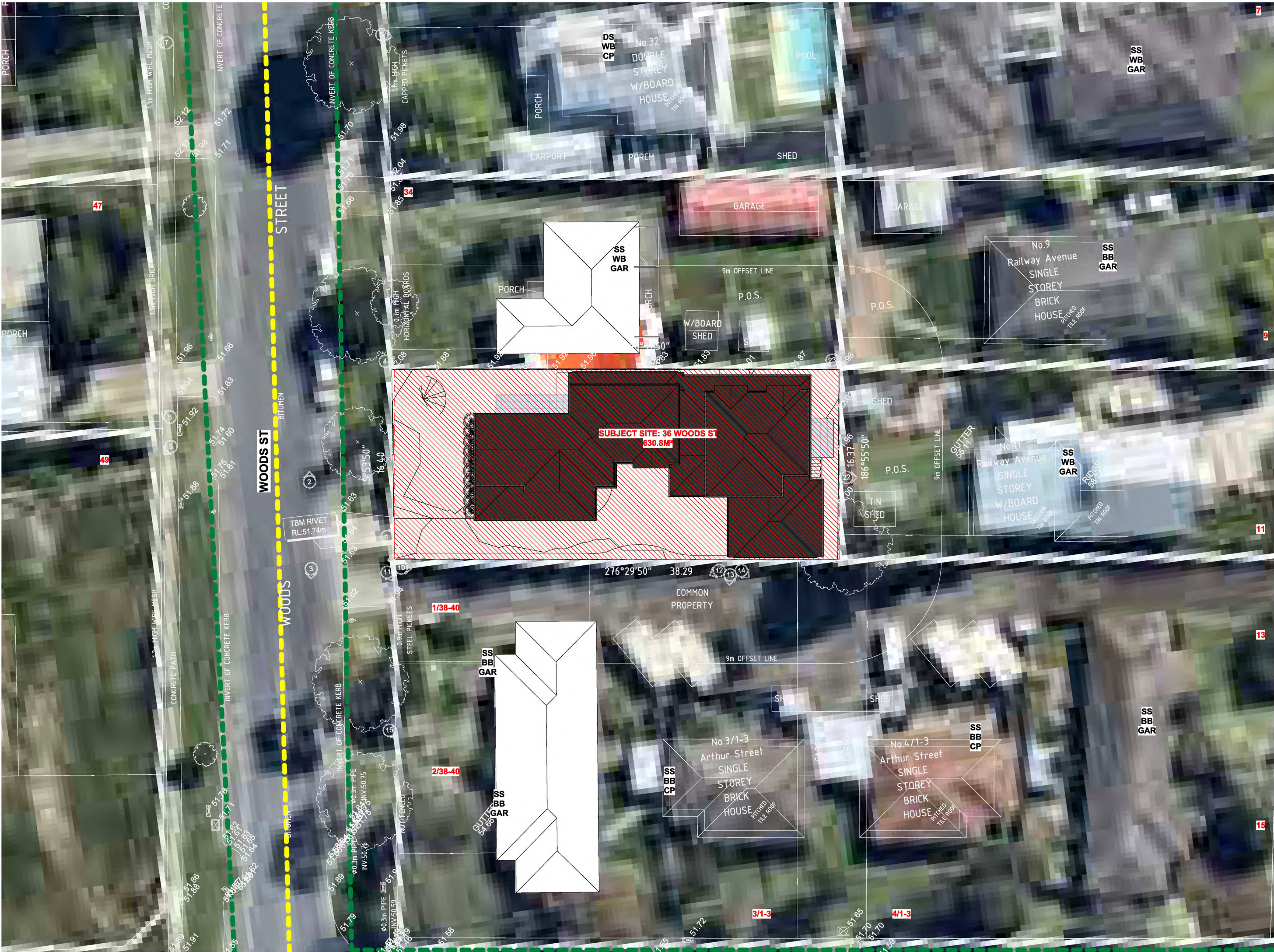
STREET SCAPE VIEW
1 : 100

Design Response

THE PROPOSED DEVELOPMENT OF TWO DOUBLE-STOREY TOWNHOUSES AT 36 WOODS STREET IS DESIGNED TO COMPLEMENT THE EXISTING CHARACTER OF THE NEIGHBORHOOD. USING A BLEND OF TRADITIONAL WEATHERBOARD AND BRICKWORK, THE DESIGN REFERENCES THE CLASSIC MATERIALS FOUND IN THE AREA, BALANCING HERITAGE AESTHETICS WITH MODERN FUNCTIONALITY.

THE TOWNHOUSES FEATURE PITCHED ROOFS, DETAILED CORNICES, AND VARIED FACADES TO REDUCE BULK AND ENHANCE STREET APPEAL, FITTING WELL WITHIN THE SCALE OF NEIGHBORING PROPERTIES. THE WEATHERBOARD UPPER LEVELS LEND A LIGHTWEIGHT, AIRY FEEL, WHILE THE BRICK BASE ADDS A SENSE OF GROUNDED PERMANENCE. GENEROUS FRONT SETBACKS MAINTAIN A GREEN STREETScape, WITH LANDSCAPING THAT RESPECTS AND ENHANCES THE LOCAL VEGETATION.

THIS APPROACH ALIGNS WITH THE AREA'S ESTABLISHED STYLE AND OFFERS A SUBTLE YET FRESH CONTRIBUTION TO THE NEIGHBORHOOD FABRIC. THE MATERIALS AND ARCHITECTURAL DETAILS ARE CHOSEN TO CREATE AN INVITING, TIMELESS QUALITY, ENSURING THAT THE NEW DWELLINGS HARMONIZE WELL WITHIN THE LOCAL CONTEXT OF BEACONSFIELD.



Google Maps Street View Images

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USER EXPERIENCE DESIGN GROUP

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LOCATION: SOUTHBANK, VIC 3006
PHONE: (03) 9989 3888
EMAIL: ADMIN@UXDGROUP.CO
WEB: WWW.UXDGROUP.CO

PROJECT INFO

CLIENTS: [REDACTED]
ADDRESS: 36 WOODS STREET
LOCATION: BEACONSFIELD VIC 3807
MUNICIPALITY: CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:

A.3 TOWN PLANNING 03 FEB 2025
A.4 TOWN PLANNING 1 APR 2025

TOWN PLANNING

TP-02

DESIGN RESPONSE

UXD 2024.127 As @ A2
indicated



TH2 FOOTPRINT

SE
RIDGE-PITCHED
56.49 TILE ROOF

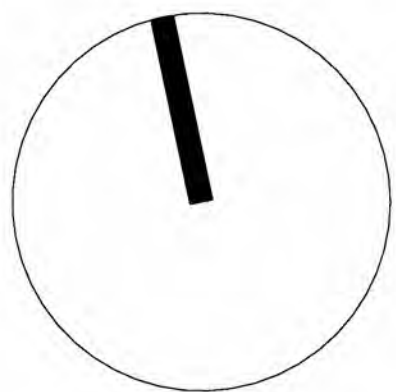
No.4/1-3

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LOCATION:	SOUTHBANK, VIC 3006
PHONE:	(03) 9989 3888
EMAIL:	ADMIN@UXDGROUP.CO
WEB:	WWW.UXDGROUP.CO

REVISION SCHEDULE:		
A.3	TOWN PLANNING	03 FEB 2025
A.4	TOWN PLANNING	1 APR 2025

UXD 2024.127 1 : 100 @ A2

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DEVELOPMENT ANALYSIS

KEY	AREA
TOTAL SITE AREA	630.8 m ²
PROPOSED SITE COVERAGE:	276.8 m ²

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PROJECT INFO

ADDRESS:	36 WOODS STREET
LOCATION:	BEACONSFIELD VIC 3807
MUNICIPALITY:	CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:

A3	TOWN PLANNING	03 FEB 2025
A4	TOWN PLANNING	1 APR 2025

TOWN PLANNING

TP-04

SITE PLAN

UXD 2024.127 1 : 200 @ A2



DEVELOPMENT ANALYSIS

KEY	AREA
TOTAL SITE AREA	630.8 m²
PROPOSED SITE COVERAGE:	276.6 m²
FLOOR-PLATE AREAS	
KEY	AREA
TH1	
GROUND LEVEL FLOOR PLATE:	80.8 m²
UPPER LEVEL FLOOR PLATE:	92.9 m²
GARAGE FLOOR PLATE:	40.2 m²
TOTAL PERMEABLE SURFACE COVERAGE:	133.8 m²
BALANCE OF IMPREVIOUS SERVICES:	27.3 m²
TOTAL FLOOR AREAS:	223.7 m²
ANCILLARY AREAS	
DECK AREAS:	13.3 m²
POS:	33 m²
SPOS:	33 m²
TH2	
GROUND LEVEL FLOOR PLATE:	81.4 m²
UPPER LEVEL FLOOR PLATE:	92.7 m²
GARAGE FLOOR PLATE:	40.9 m²
TOTAL PERMEABLE SURFACE COVERAGE:	38.1 m²
BALANCE OF IMPREVIOUS SERVICES:	10.1 m²
TOTAL FLOOR AREAS:	194.5 m²
ANCILLARY AREAS	
DECK AREAS:	8.2 m²
POS:	58 m²
SPOS:	30 m²

GARDEN OPEN SPACE NOTES

30%	SOLID HATCHED AREA AS SHOWN IN KEY REPRESENTS GARDEN OPEN SPACE WITH NO DIMENSION LESS THAN 1.0m SQUARE AREA REPRESENTS TOTALS TO NO LESS THAN 20% OF THE SUBJECT SITE AREA
-----	---

GARDEN OPEN SPACE CALCULATIONS	
SUBJECT SITE AREA:	630.8 m²
GARDEN SPACE PROVISION:	192.7 m²
GARDEN OPEN SPACE COVERAGE:	30 %

PRIVATE OPEN SPACE PROVISION

AREAS SHOWN IN BLUE DASHED LINE-WORK REPRESENT A TOTAL AREA OF SECLUDED PRIVATE OPEN SPACE. THESE PERIMETERS ARE NO LESS THAN 3.0m IN ANY DIMENSION AND ACHIEVE AN AREA OF A 20.0m² OR GREATER IN ACCORDANCE WITH NRZ SCHEDULE 4 OF CARDINIA SHIRE COUNCIL PLANNING SCHEME.

DEVELOPMENT FENCING NOTES

ALL DEVELOPMENT & BOUNDARY FENCING TO BE A MINIMUM OF 1.8m HIGH ABOVE NATURAL GROUND LEVEL TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. LINE-WORK REFLECTED AS ABOVE ON PLANS INDICATE PROPOSED TIMBER PALING FENCING.

PLANT &EQUIPMENT NOTES

ALL PLANT AND EQUIPMENT TO BE INSTALLED IN SERVICE CORRIDORS OF DWELLINGS OR UPON OR WITHIN ROOFING. PLANT & EQUIPMENT INSTALLED WITHIN EXTERIOR ENVIRONMENT TO BE SCREENED BY TIMBER BATTENS TO SOFTEN AESTHETICS AND ACT AS NOISE BARRIER.

LEGEND	
<div></div>	BINS

uxd.

USER EXPERIENCE DESIGN GROUP

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ADDRESS:	30 WOODS STREET
LOCATION:	BEACONSFIELD VIC 3807
MUNICIPALITY:	CARDINIA SHIRE COUNCIL

REVISIONSCHEDULE:

A3	TOWN PLANNING	03 FEB 2025
A4	TOWN PLANNING	1 APR 2025

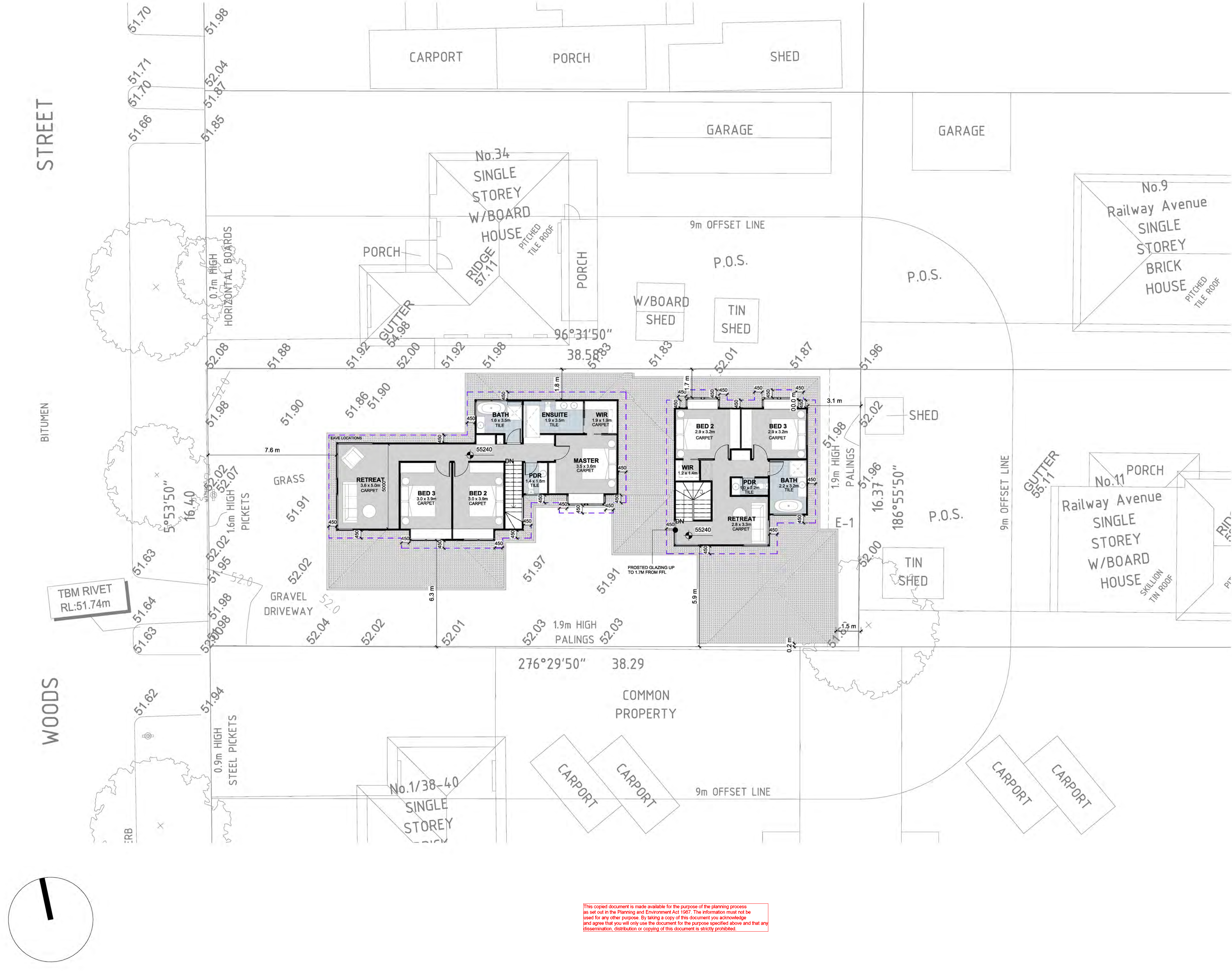
TOWN PLANNING

TP-05

GROUND FLOOR PLAN

UXD 2024.127 1 : 100 @ A2

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DEVELOPMENT ANALYSIS

KEY	AREA
TOTAL SITE AREA	630.8 m²
PROPOSED SITE COVERAGE:	276.6 m²

FLOOR-PLATE AREAS

KEY	AREA
TH1	
GROUND LEVEL FLOOR PLATE:	80.8 m²
UPPER LEVEL FLOOR PLATE:	92.9 m²
GARAGE FLOOR PLATE:	40.2 m²
TOTAL PERMEABLE SURFACE COVERAGE:	133.8 m²
BALANCE OF IMPVIOUS SERVICES:	27.3 m²
TOTAL FLOOR AREAS:	223.7 m²
ANCILLARY AREAS	
DECK AREAS:	13.3 m²
POS:	33 m²
SPOS:	33 m²
TH2	
GROUND LEVEL FLOOR PLATE:	91.4 m²
UPPER LEVEL FLOOR PLATE:	82.2 m²
GARAGE FLOOR PLATE:	40.9 m²
TOTAL PERMEABLE SURFACE COVERAGE:	38.1 m²
BALANCE OF IMPVIOUS SERVICES:	10.1 m²
TOTAL FLOOR AREAS:	194.5 m²
ANCILLARY AREAS	
DECK AREAS:	8.2 m²
POS:	58 m²
SPOS:	30 m²

GARDEN OPEN SPACE NOTES

30%

SOLID HATCHED AREA AS SHOWN IN KEY REPRESENTS GARDEN OPEN SPACE WITH NO DIMENSION LESS THAN 1.0m SQUARE. AREA REPRESENTS TOTALS TO NO LESS THAN 20% OF THE SUBJECT SITE AREA.

GARDEN OPEN SPACE CALCULATIONS

SUBJECT SITE AREA:	630.8 m²
GARDEN SPACE PROVISION:	192.7 m²
GARDEN OPEN SPACE COVERAGE:	30.7%

PRIVATE OPEN SPACE PROVISION

AREAS SHOWN IN BLUE DASHED LINE-WORK REPRESENT A TOTAL AREA OF SECLUDED PRIVATE OPEN SPACE. THESE PERIMETERS ARE NO LESS THAN 3.0m IN ANY DIMENSION AND ACHIEVE AN AREA OF A 20.0m² OR GREATER IN ACCORDANCE WITH MRZ SCHEDULE 4 OF CARDINIA SHIRE COUNCIL PLANNING SCHEME.

DEVELOPMENT FENCING NOTES

ALL DEVELOPMENT & BOUNDARY FENCING TO BE A MINIMUM OF 1.8m HIGH ABOVE NATURAL GROUND LEVEL TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. LINE-WORK REFLECTED AS ABOVE ON PLANS INDICATE PROPOSED TIMBER PALING FENCING.

PLANT &EQUIPMENT NOTES

ALL PLANT AND EQUIPMENT TO BE INSTALLED IN SERVICE CORRIDORS OF DWELLINGS OR UPON OR WITHIN ROOFING. PLANT & EQUIPMENT INSTALLED WITHIN EXTERIOR ENVIRONMENT TO BE SCREENED BY TIMBER BATTENS TO SOFTEN AESTHETICS AND ACT AS NOISE BARRIER.

LEGEND

BINS

uxd.

USER EXPERIENCE DESIGN GROUP

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CLIENTS:

RICHARD & ANNE ROWLANDS	
ADDRESS:	36 WOODS STREET
LOCATION:	BEACONSFIELD VIC 3807
MUNICIPALITY:	CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:

A.3	TOWN PLANNING	03 FEB 2025
A.4	TOWN PLANNING	1 APR 2025

TOWN PLANNING

TP-06

UPPER FLOOR PLAN

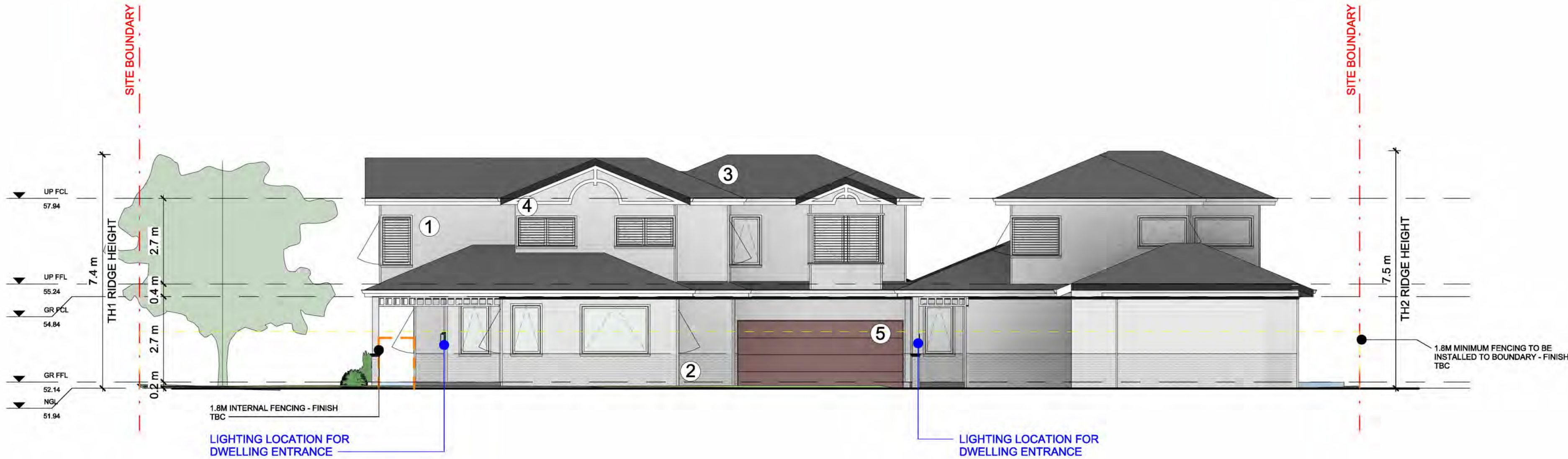
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North Elevation
1 : 100



South Elevation
1 : 100



East Elevation
1 : 100



West Elevation
1 : 100

MATERIALS SCHEDULE

- 1 WEATHERBOARD CLADDING IN 'SHALE GREY' WITH 'WHITE' TRIMS OR SIMILAR
- 2 BRICK FINISH IN 'GREY' SIMILAR
- 3 SLATED ROOF TILING IN 'MONUMENT' OR SIMILAR
- 4 TIMBER IN 'WHITE' OR SIMILAR
- 5 NATURAL TIMBER FINISH

MATERIAL NOTES

WINDOWS THAT SHOW DARK BLUE SHADED PANELS REPRESENT WINDOWS AND GLASS PANELS WHICH NEED TO BE FROSTED GLAZING NO GREATER THAN 25% TRANSPARENT FOR A MINIMUM HEIGHT OF 1.7m ABOVE FFL IN ACCORDANCE WITH B22 STANDARDS

TREATMENT NOTES

RAINWATER FIXTURES (FASCIA, GUTTERS, DOWN-PIPES & THE LIKE) TO BE OF COLORBOND STEEL AND FINISHED IN 'MONUMENT' OR COLOUR SIMILAR

ALUMINIUM FRAMED WINDOW & DOOR SYSTEMS, POWDERCOAT FINISH IN COLORBOND 'MONUMENT' OR SIMILAR COLOUR FINISH

DEVELOPMENT FENCING NOTES

ALL DEVELOPMENT & BOUNDARY FENCING TO BE A MINIMUM OF 1.8m HIGH ABOVE NATURAL GROUND LEVEL TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. LINEWORK REFLECTED AS ABOVE ON PLANS INDICATE PROPOSED TIMBER PALING FENCING

uxd.

USER EXPERIENCE DESIGN GROUP

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LOCATION: SOUTHBANK, VIC 3006
PHONE: (03) 9989 3888
EMAIL: ADMIN@UXDGROUP.CO
WEB: WWW.UXDGROUP.CO

PROJECT INFO

ADDRESS: 36 WOODS STREET
LOCATION: BEACONSFIELD VIC 3807
MUNICIPALITY: CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:

A3 TOWN PLANNING 03 FEB 2025
A4 TOWN PLANNING 1 APR 2025

TOWN PLANNING

TP-07

ELEVATIONS (1 OF 2)

UXD 2024.127 1 : 100 @ A2

MATERIALS SCHEDULE

- 1



WEATHERBOARD CLADDING IN 'SHALE GREY' WITH 'WHITE' TRIMS OR SIMILAR
- 2



BRICK FINISH IN 'GREY' SIMILAR
- 3



SLATED ROOF TILING IN 'MONUMENT' OR SIMILAR
- 4



TIMBER IN 'WHITE' OR SIMILAR
- 5



NATURAL TIMBER FINISH

MATERIAL NOTES

WINDOWS THAT SHOW DARK BLUE SHADED PANELS REPRESENT WINDOWS AND GLASS PANELS WHICH NEED TO BE FROSTED GLAZING NO GREATER THAN 25% TRANSPARENT FOR A MINIMUM HEIGHT OF 1.7m ABOVE FFL IN ACCORDANCE WITH B22 STANDARDS

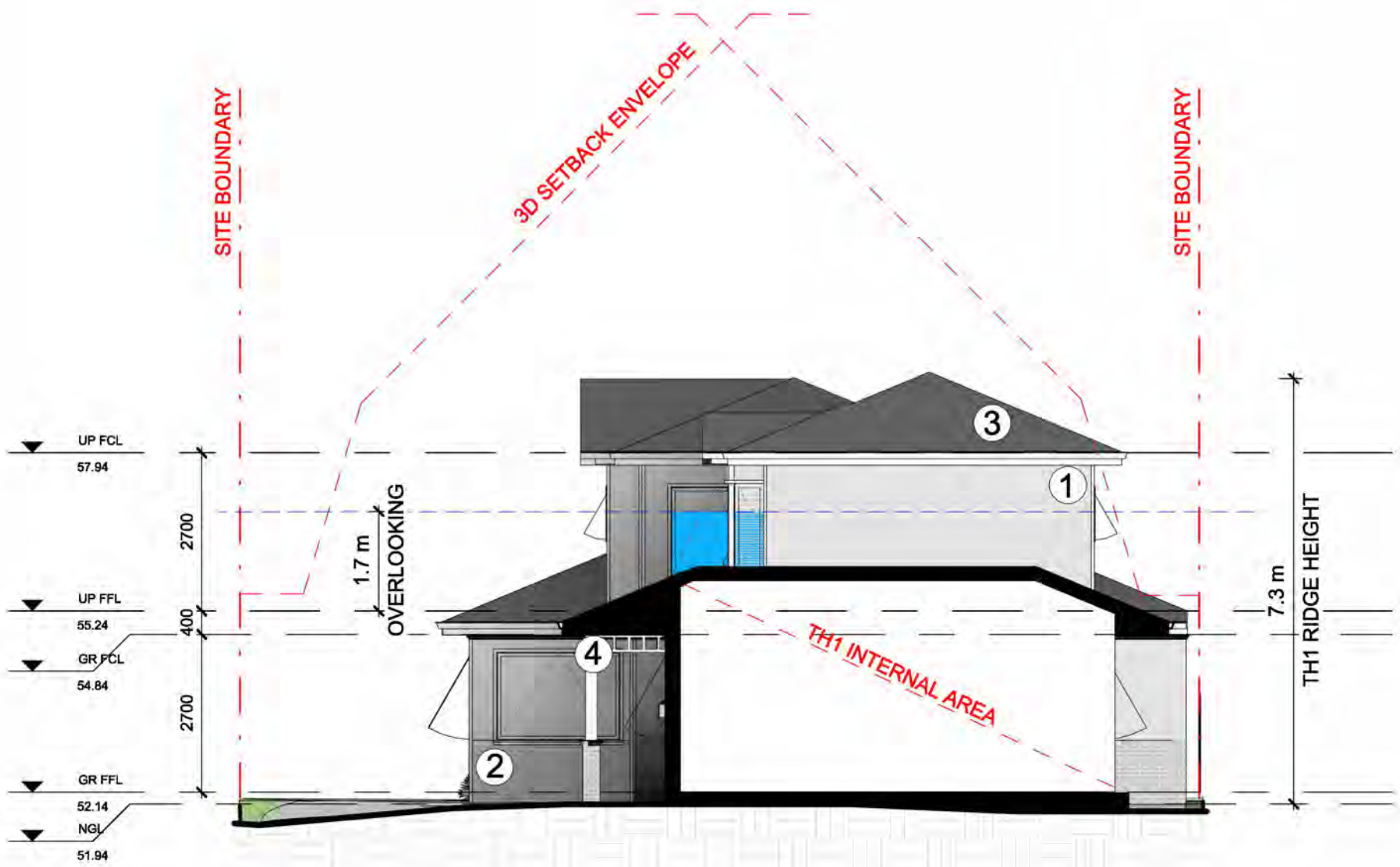
TREATMENT NOTES

RAINWATER FIXTURES (FASCIAS, GUTTERS, DOWN-PIPES & THE LIKE) TO BE OF COLORBOND STEEL AND FINISHED IN MONUMENT OR COLOUR SIMILAR

ALUMINIUM FRAMED WINDOW & DOOR SYSTEMS, POWDERCOAT FINISH IN COLORBOND 'MONUMENT' OR SIMILAR COLOUR FINISH

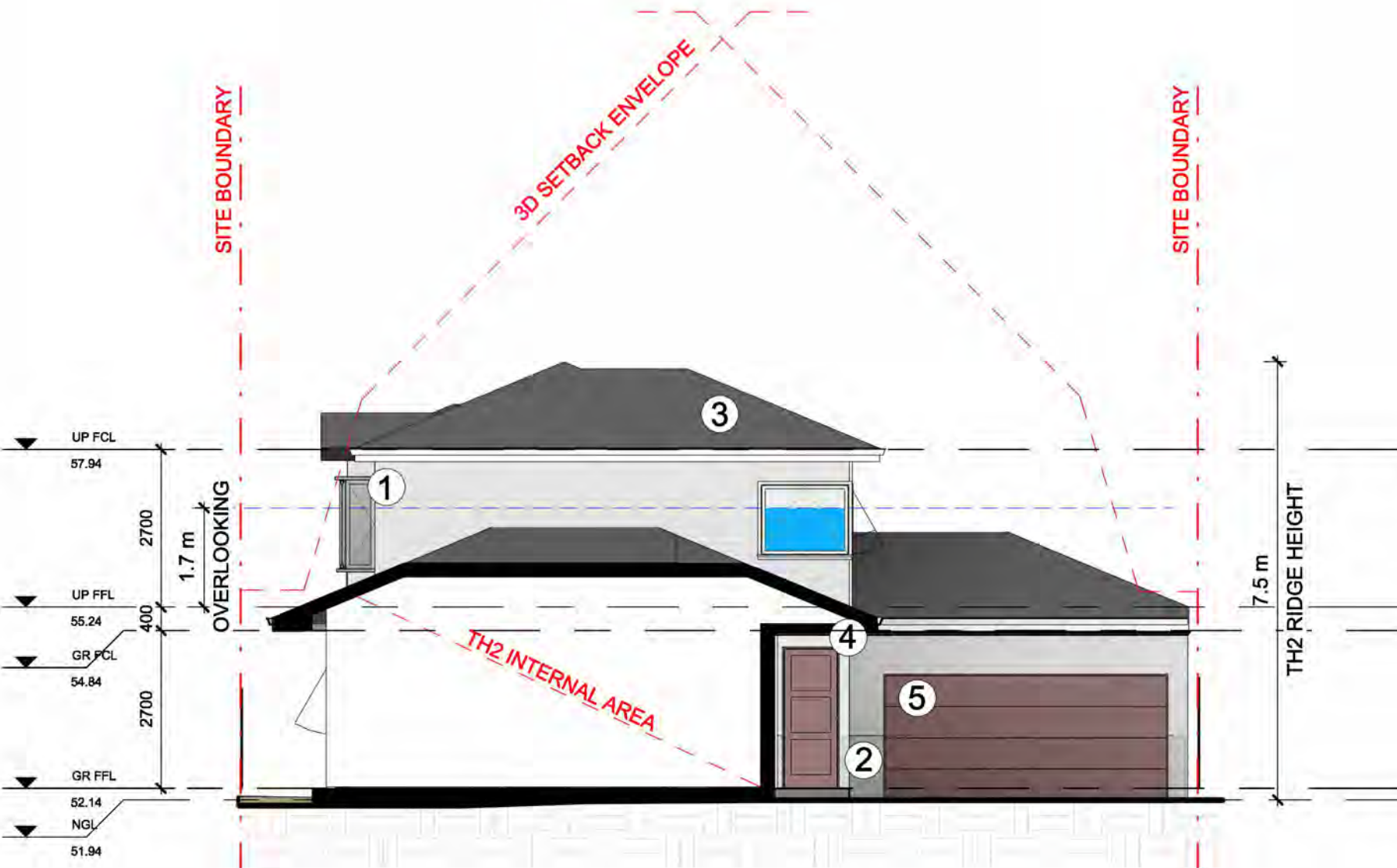
DEVELOPMENT FENCING NOTES

ALL DEVELOPMENT & BOUNDARY FENCING TO BE A MINIMUM OF 1.8m HIGH ABOVE NATURAL GROUND LEVEL TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. LINE WORKS REFLECTED AS ABOVE ON PLANS INDICATE PROPOSED TIMBER PALING FENCING.



TH1 EAST ELEVATION
1 : 100

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TH2 EAST ELEVATION
1 : 100

uxd.

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WEB: WWW.UXDGROUP.CO

ADDRESS: 36 WOODS STREET
LOCATION: BEACONSFIELD VIC 3807
MUNICIPALITY: CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:

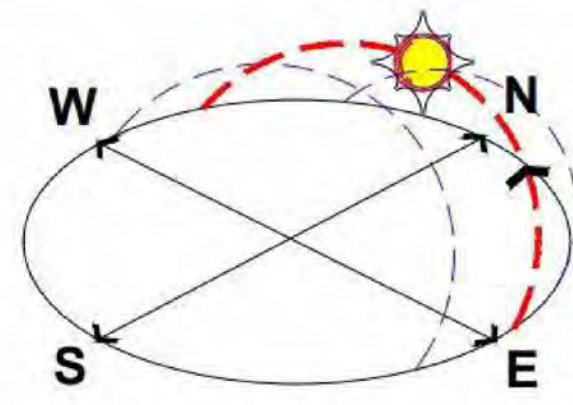
A3 TOWN PLANNING 03 FEB 2025
A4 TOWN PLANNING 1 APR 2025

TOWN PLANNING

TP-08

ELEVATIONS (2 OF 2)

UXD 2024.127 1 : 100 @ A2



SEPTEMBER EQUINOX
DATE: SEPT 22.
SEASON: SEPT EQUINOX

SHADOW CAST KEY

PROPOSED CAST

EXISTING SHADOW CAST

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EMAIL:	ADMIN@UXDGROUP.CO
WEB:	WWW.UXDGROUP.CO

PROJECT INFO	
ADDRESS:	36 WOODS STREET
LOCATION:	BEACONSFIELD VIC 3807
MUNICIPALITY:	CARDINIA SHIRE COUNCIL

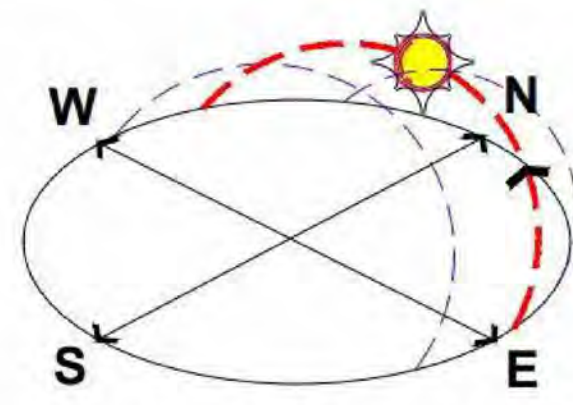
REVISION SCHEDULE:	
A.3 TOWN PLANNING	03 FEB 2025
A.4 TOWN PLANNING	1 APR 2025

TOWN PLANNING

TP-09

SHADOW DIAGRAM (9AM)

UXD 2024.127 1 : 100 @ A2



SEPTEMBER EQUINOX
DATE: SEPT 22.
SEASON: SEPT EQUINOX

SHADOW CAST KEY

PROPOSED CAST

EXISTING SHADOW CAST

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PROJECT INFO	
ADDRESS:	36 WOODS STREET
LOCATION:	BEACONSFIELD VIC 3807
MUNICIPALITY:	CARDINIA SHIRE COUNCIL

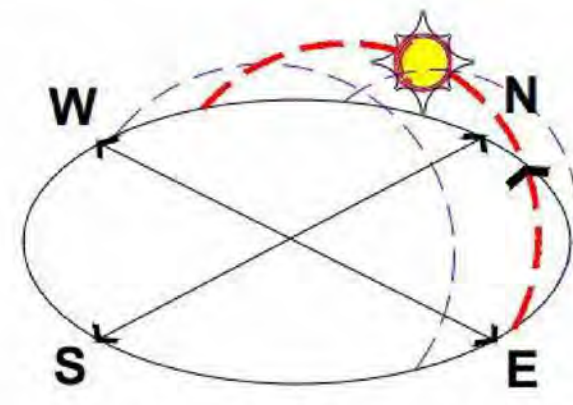
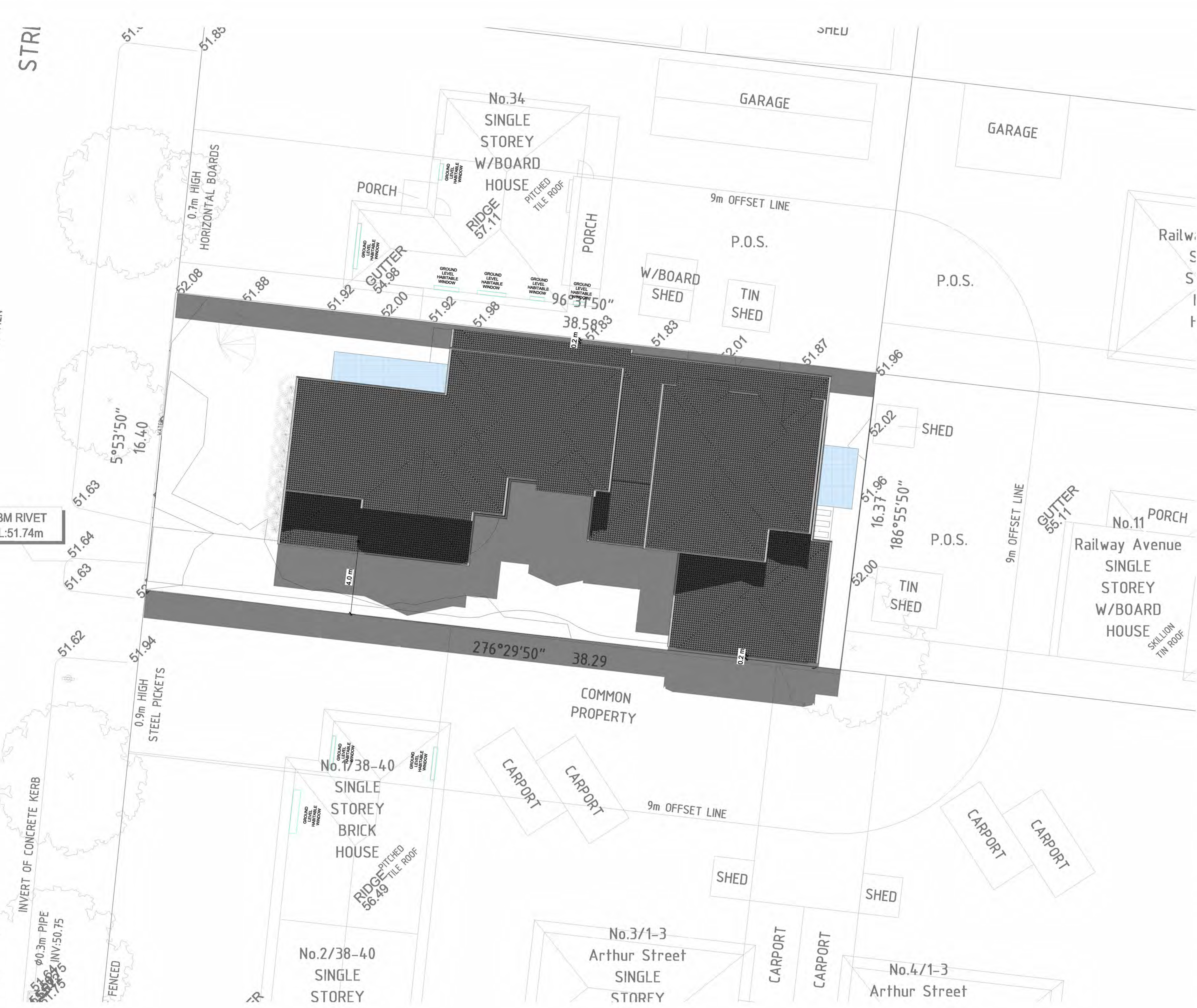
REVISION SCHEDULE:		
A.3	TOWN PLANNING	03 FEB 2025
A.4	TOWN PLANNING	1 APR 2025

TOWN PLANNING

TP-11

SHADOW DIAGRAM (11PM)

UXD 2024.127 1 : 100 @ A2



SEPTEMBER EQUINOX
DATE: SEPT 22.
SEASON: SEPT EQUINOX

SHADOW CAST KEY

PROPOSED CAST

EXISTING SHADOW CAST

uxd.

USER EXPERIENCE DESIGN GROUP
STUDIO: 31 COVENTRY STREET
LOCATION: SOUTHBANK, VIC 3006
PHONE: (03) 9989 3888
EMAIL: ADMIN@UXDGROUP.CO
WEB: WWW.UXDGROUP.CO

ADDRESS: 36 WOODS STREET
LOCATION: BEACONSFIELD VIC 3807
MUNICIPALITY: CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:

A.3	TOWN PLANNING	03 FEB 2025
A.4	TOWN PLANNING	1 APR 2025

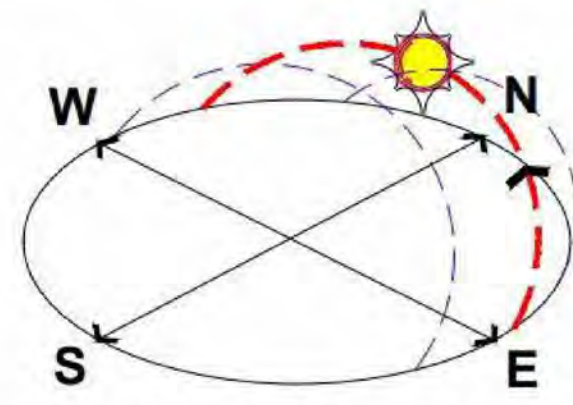
TOWN PLANNING

TP-12

SHADOW DIAGRAM (12PM)

UXD 2024.127 1 : 100 @ A2

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SEPTEMBER EQUINOX
DATE: SEPT 22.
SEASON: SEPT EQUINOX

SHADOW CAST KEY

PROPOSED CAST

EXISTING SHADOW CAST

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PROJECT INFO	
ADDRESS:	30 WOODS STREET
LOCATION:	BEACONSFIELD VIC 3807
MUNICIPALITY:	CARDINIA SHIRE COUNCIL

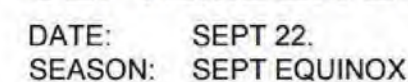
REVISION SCHEDULE:		
A.3	TOWN PLANNING	03 FEB 2025
A.4	TOWN PLANNING	1 APR 2025

TOWN PLANNING

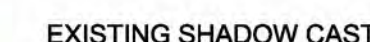
TP-13

SHADOW DIAGRAM (1PM)

UXD 2024.127 1 : 100 @ A2



SHADOW CAST KEY



uxd.

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EMAIL:	ADMIN@UXDGROUP.COM
WEB:	WWW.UXDGROUP.COM

LOCATION:	BEACONSFIELD VIC 3807
MUNICIPALITY:	CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:

A.3	TOWN PLANNING	03 FEB 2023
A.4	TOWN PLANNING	1 APR 2023

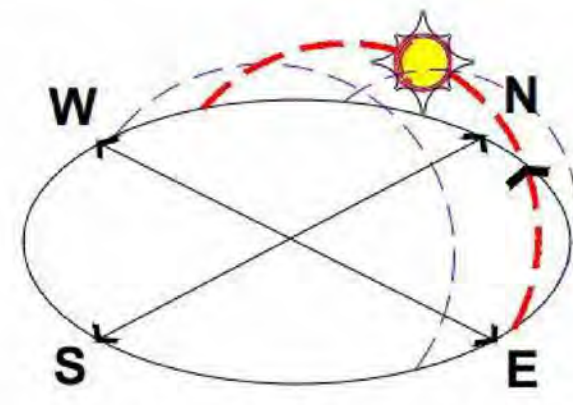
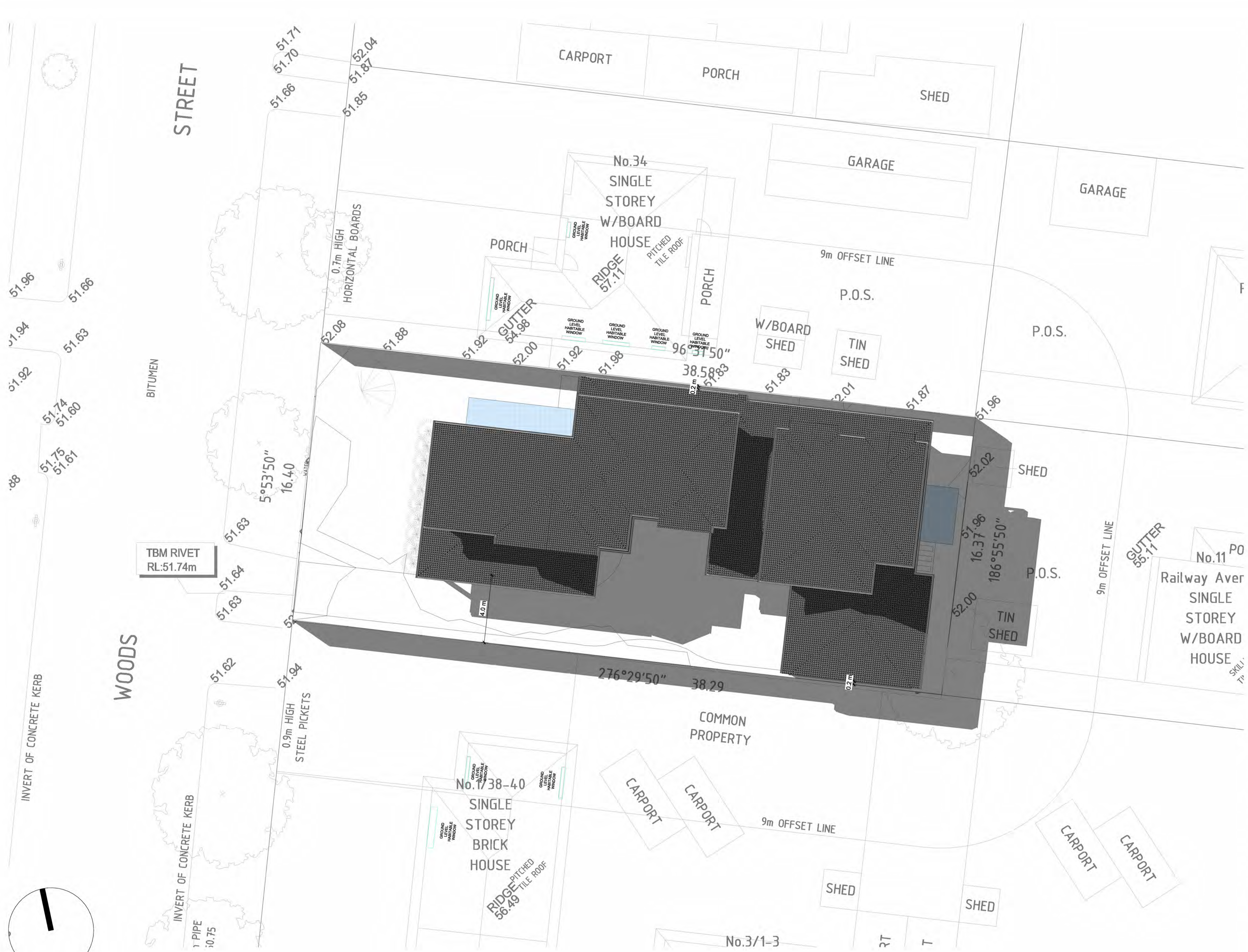
TOWN PLANNING

TP-14

SHADOW DIAGRAM (2PM)

USD 2024.127 1 : 100 @ A2

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SEPTEMBER EQUINOX
DATE: SEPT 22.
SEASON: SEPT EQUINOX

SHADOW CAST KEY

PROPOSED CAST

EXISTING SHADOW CAST

uxd.

USER EXPERIENCE DESIGN GROUP
STUDIO: 31 COVENTRY STREET
LOCATION: SOUTHBANK, VIC 3006
PHONE: (03) 9989 3888
EMAIL: ADMIN@UXDGROUP.CO
WEB: WWW.UXDGROUP.CO

ADDRESS: 36 WOODS STREET
LOCATION: BEACONSFIELD VIC 3807
MUNICIPALITY: CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:		
A.3	TOWN PLANNING	03 FEB 2025
A.4	TOWN PLANNING	1 APR 2025

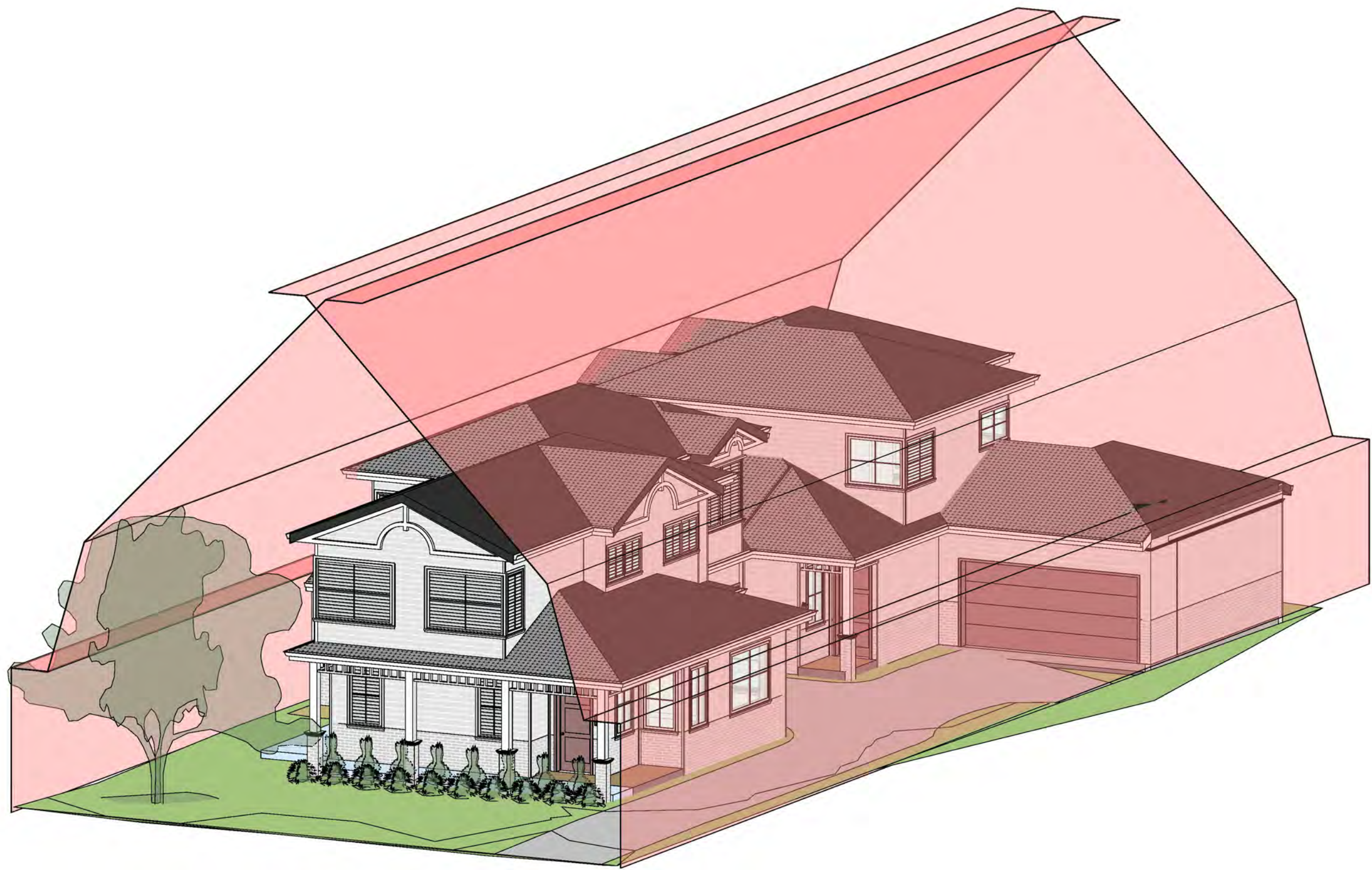
TOWN PLANNING

TP-15

SHADOW DIAGRAM (3PM)

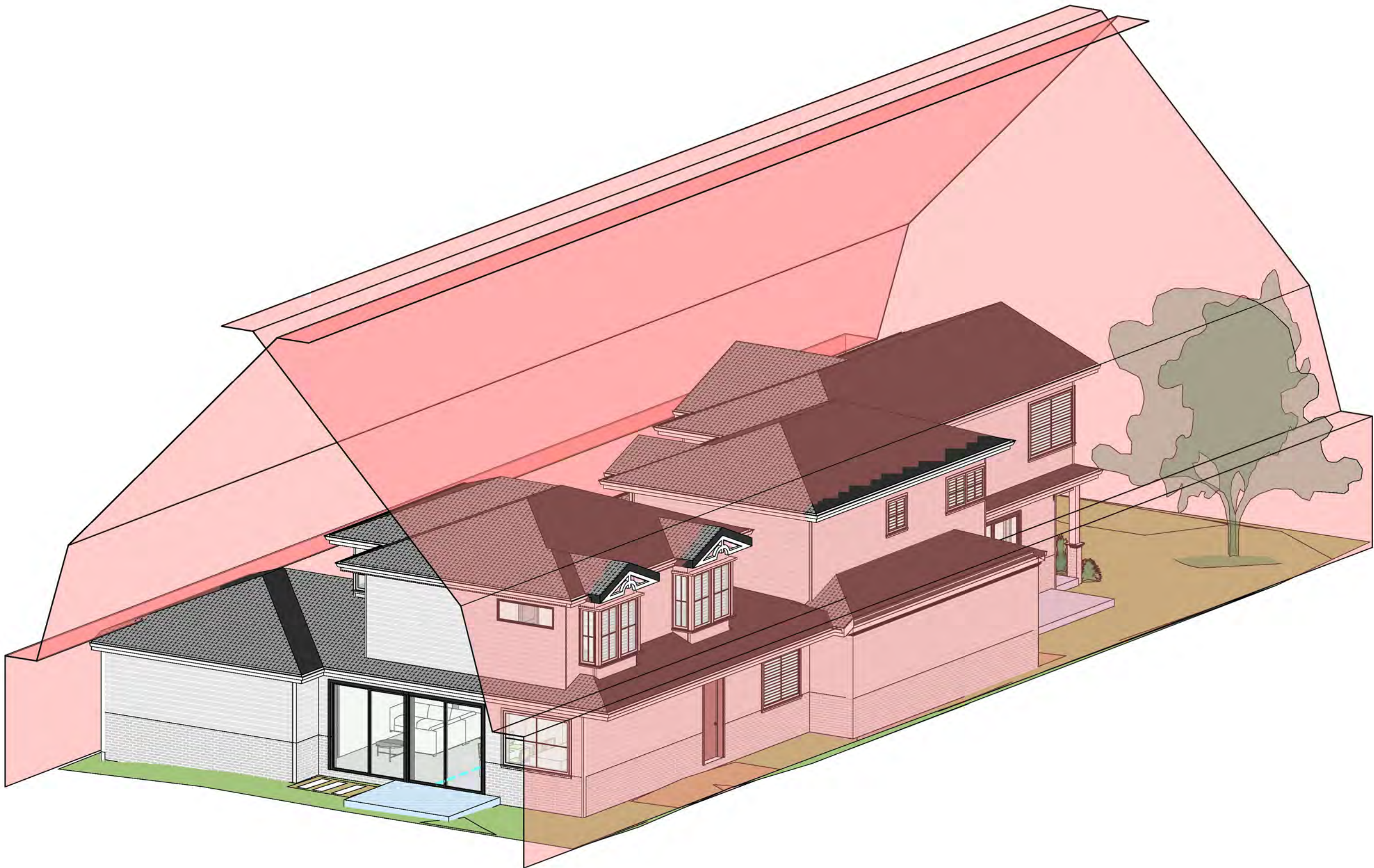
UXD 2024.127 1 : 100 @ A2

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3D SETBACK ENVELOPE FRONT

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3D SETBACK ENVELOPE REAR

uxd.

USER EXPERIENCE DESIGN GROUP

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ADDRESS: 36 WOODS STREET
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MUNICIPALITY: CARDINIA SHIRE COUNCIL

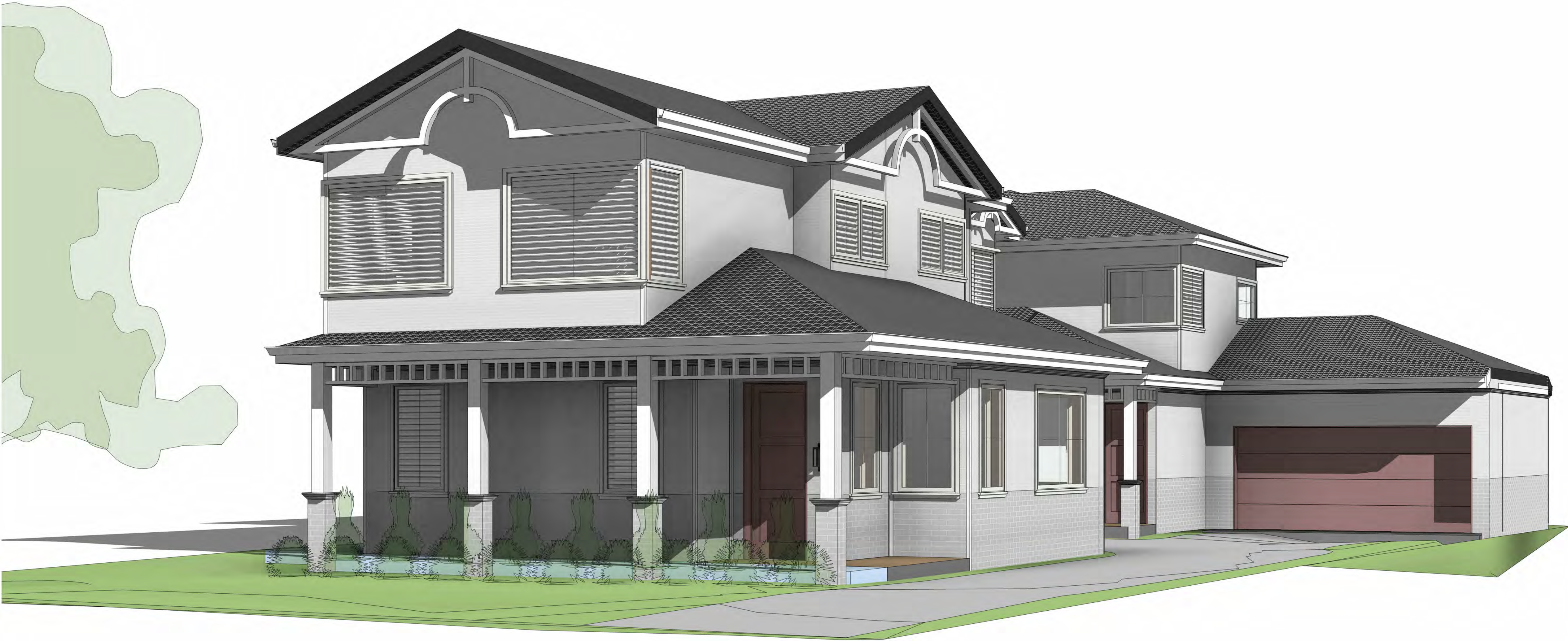
REVISION SCHEDULE:
A.3 TOWN PLANNING 03 FEB 2025
A.4 TOWN PLANNING 1 APR 2025

TOWN PLANNING

TP-16

3D SETBACK ENVELOPE

UXD 2024.127 @ A2



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uxd.

USER EXPERIENCE DESIGN GROUP

STUDIO:	31 COVENTRY STREET
LOCATION:	SOUTHBANK, VIC 3006
PHONE:	(03) 9989 3888
EMAIL:	ADMIN@UXDGROUP.CO
WEB:	WWW.UXDGROUP.CO

PROJECT INFO

ADDRESS:	36 WOODS STREET
LOCATION:	Designer
MUNICIPALITY:	CARDINIA SHIRE COUNCIL

REVISION SCHEDULE:

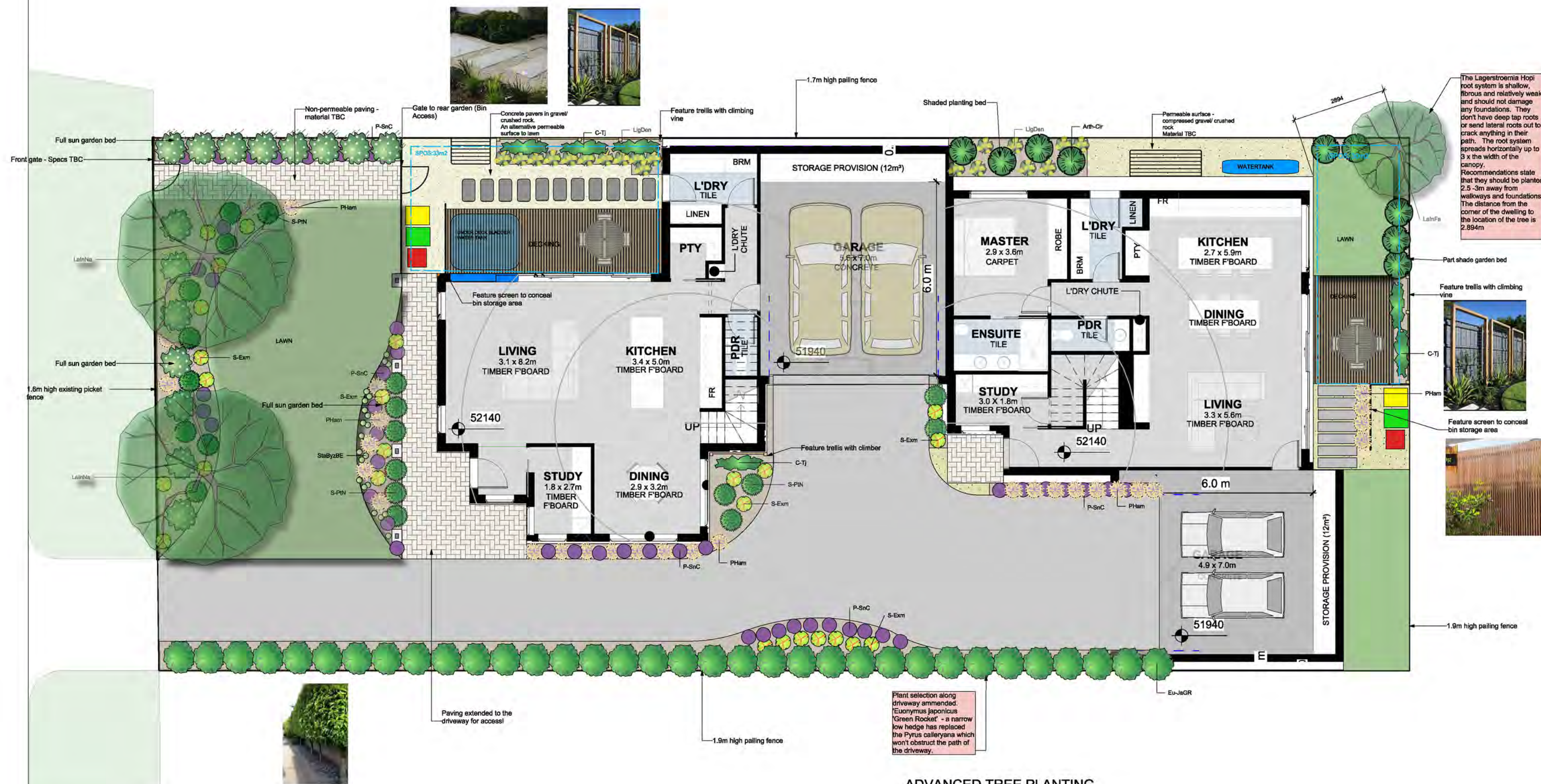
A.3	TOWN PLANNING	03 FEB 2025
A.4	TOWN PLANNING	1 APR 2025

TOWN PLANNING

TP-17

3D VIEWS

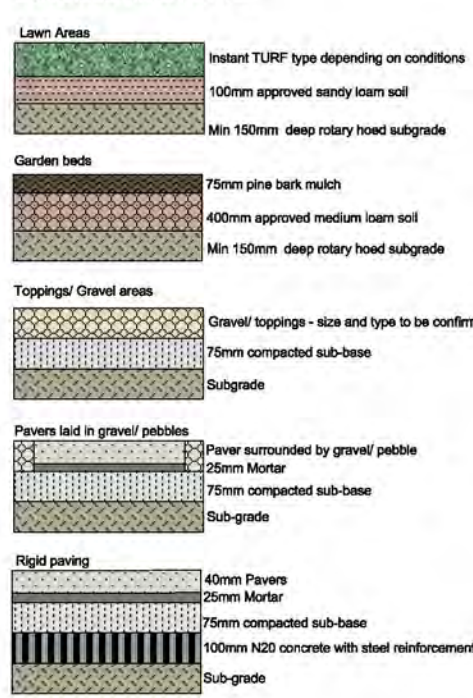
UXD 2024.127 @ A2

ADVANCED TREE PLANTING
detail not drawn to scale

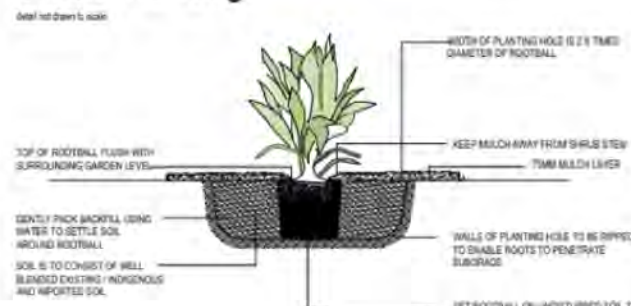
Plant List					
Image	ID	Qty	Common Name	Botanical Name	Mature Height Mature Spread
Trees					
	LainNa	2	Crepe Myrtle	Lagerstroemia indica 'Natchez'	5 - 10m 3.5 - 6m
	LainFa	1	Hopi Crape Myrtle	Lagerstroemia indica x fauriei 'Hopi'	1.5 - 3m 2.0 - 3.5m
Shrubs					
	Arth-Cir	9	New Zealand Rock Lily	Arthropodium cirratum	0.6m - 0.9m 0.9 - 1.2m
	Eu-JaGR	34	Evergreen Spindle	Euonymus japonicus 'Green Rocket'	1-2m 0.6-1m
	S-Exm	25	Martin's Spurge	Euphorbia x martinii	0.5m 0.5m
	LigDen	19	Bigleaf Ligularia	Ligularia dentata	0.9 - 1.5m 0.9 - 1.2m
	S-PIN	20	Japanese Cheesewood	Pittosporum tobira 'Nanum'	.6m .6m
Ground Covers					
	StaByzBE	22	Big Ears Lamb's Ear	Stachys byzantina 'Big Ears'	<.3m .3 - .6m
Grasses					
	PHam	34	Dwarf Fountain Grass	Pennisetum alopecuroides 'Hameln'	.6m .6m
Climbers					
	C-TJ	6	Star Jasmine	Trachelospermum jasminodes	0.5 - 4m 3m
Perennials					
	P-SnC	46	Woodland Sage	Salvia nemorosa 'Caradonna'	.45m .45m
Other					
	Rha-In	15	Indian Hawthorn 'Oriental Pearl'	Rhaphiolepis indica 'Oriental Pearl'	0.3 - 0.45m 0.0 - 0.3m
	Total	218			

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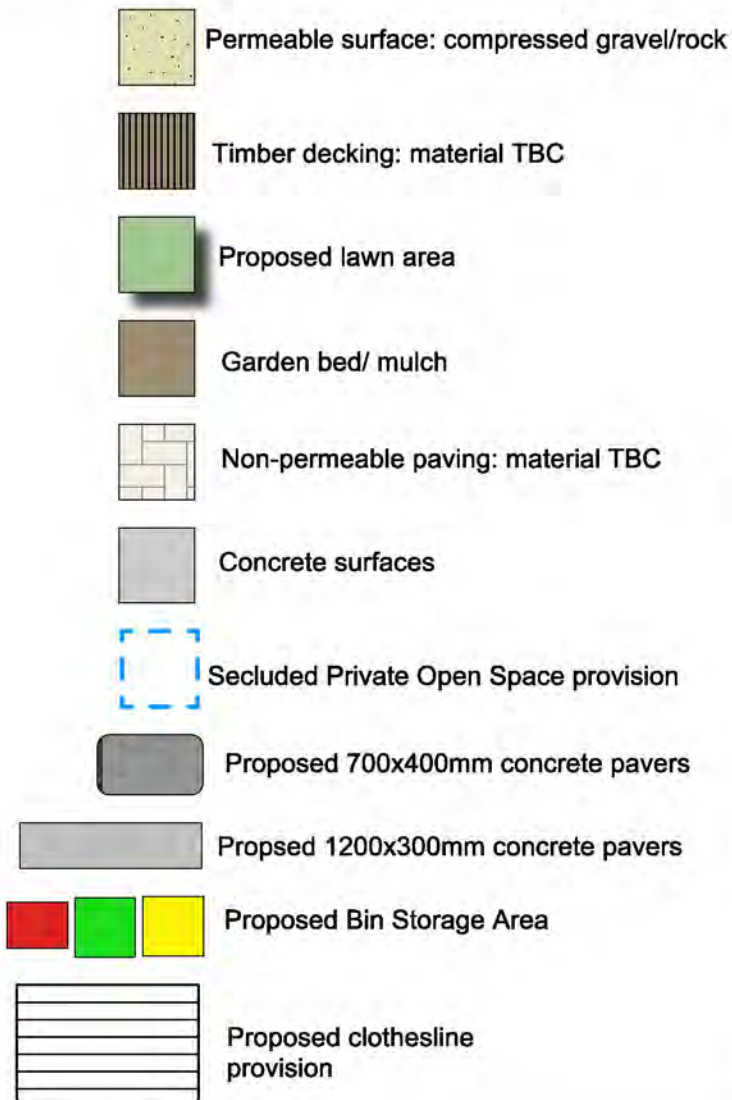
SURFACES FINISH DETAIL



Shrub Planting



LANDSCAPE KEY



LANDSCAPE SPECIFICATIONS

SUB-GRADE PREPARATION

Site preparation to be carried out with best horticultural practice and under suitable conditions. Disturbance to indigenous soil structure is to be minimised which includes avoiding using machinery that may damage the soil profile. Sub-grade to all lawn and planted areas is to be cultivated to a depth of 150mm and shaped to achieve drainage falls prior to adding topsoil. Sub-grade to be tested prior to preparation to determine pH, salinity and potential gypsum requirements. Any gypsum required is to be applied according to manufacturers recommended rate and cultivated into the sub-grade at a minimum depth of 150mm. Proposed topping areas to be graded/ drained to prevent water discharge into neighbouring properties.

WEED CONTROL

Prior to sub-grade preparation and topsoiling, remove and dispose of all environmental weeds.

SOIL PREPARATION

Topsoil is to be spread in maximum 150mm layers and lightly compacted. Finished level to be 75mm below garden edging to allow for mulch. Topsoil for garden beds is to be a general purpose garden soil and lightly compacted to a minimum depth of 300mm. Soil is to comply with AS-4119 2003.

MULCH

Recommended mulch for garden beds is to be an organic material such as pine bark and spread to a minimum depth of 75mm. 1200mm diameter of mulch around retained trees or proposed trees in lawn area.

TREE SIZE

Canopy trees to be 2m high at time of planting.

PLANTING PROCEDURE

For a planting hole that is dry, fill with water and let drain completely. Tree roots are to be teased outwards if circling or matting is present. Place tree in the centre of the hole on firm soil, ensuring root ball is level with the surrounding soil surface and the trunk is vertical. Backfill loosely, ensuring there is no rocks/ building material. Backfilling should be in layers and firmly packed to ensure there are no large air pockets. Trees are to be staked with two 225x70mm hardwood stakes, avoiding the rootball when driving in the ground. Trees are to be secured to each stake with a strong flexible material with enough tension to provide support but loose enough to allow for development of the tree root system. Tree tie material must not injure tree bark or restrict trunk growth for a minimum period of 3 years. Slow release fertiliser is to be applied to the top of the rootball away from the trunk/ stem to manufacturers recommendations and watered in immediately. All trees to be mulched to a diameter of 1200mm wide and a depth of 100mm but not to come in contact with the trunk. The planting hole surface is to be shaped to minimise water logging but retain the mulch material neatly. The site must be left in a clean and safe condition.

PLANT ESTABLISHMENT PERIOD

The landscape is to be maintained by applying best horticultural practice to promote healthy plant performance for a period of 13 weeks following the approval of Practical Completion by the responsible authority including (but not limited to) the following tasks - Pruning - as necessary to maintain plants health and structure, keep plants free of pests and diseases, mulching, staking and tying. Mulch - depth of 75mm to be maintained throughout maintenance period. Watering - as often as necessary to promote healthy growth in accordance with local watering regulations. Weeding - garden beds to remain weed free by either spraying much area with appropriate solution or by mechanical means. 3/6 monthly slow release fertiliser in accordance with manufacturers recommended application rates. Replacement of plants that have died, or have been stolen or vandalised beyond repair or regrowth with the same species as specified in the plant list within the assigned maintenance period.

IRRIGATION

Recommended that an in ground drip irrigation system to be installed to all garden areas in accordance with local watering regulations. Drainage to be connected to rainwater supply.

GARDEN EDGING

Metal garden edging installed to the manufacturers specifications to all garden beds adjoining TURF/ gravel.

DRAINAGE

Landscape and/ or building contactor(s) are responsible for civil and hydraulic computations for landscape building works including but not limited to surface and sub-surface drainage for all landscape areas prior to commencement of works.

QUALITY OF PLANTS AND TREES


Trees and shrubs are to be healthy nursery stock, free from insects, diseases and weeds. Tree trunks are to be undamaged with a single straight trunk with a strong branching pattern and full canopy and not root bound with visible strong vigorous growth.

PAVING

Rigid non permeable paving to be installed in accordance with AS/NZ 2425. Concrete base, 100mm N20 concrete. Steel reinforcement SL62 minimum of 30mm coverage of concrete above & 40mm to the slab edge or formed joint. Bar chairs at max. 600mm centres (AS/NZ 2425). Sub-base crushed rock compacted to max. 100mm. Laid down with mortar 25mm. Levels: Step down from FFL to paving surface must be no less than 50mm (AS 3227) FL of paved area to be 99.95 with a fall of 50mm over the first metre & the 1:100 Drainage: Agricultural pipe along paving edge below ground level in the garden bed & covered with a layer of crushed rock & connected to storm water.

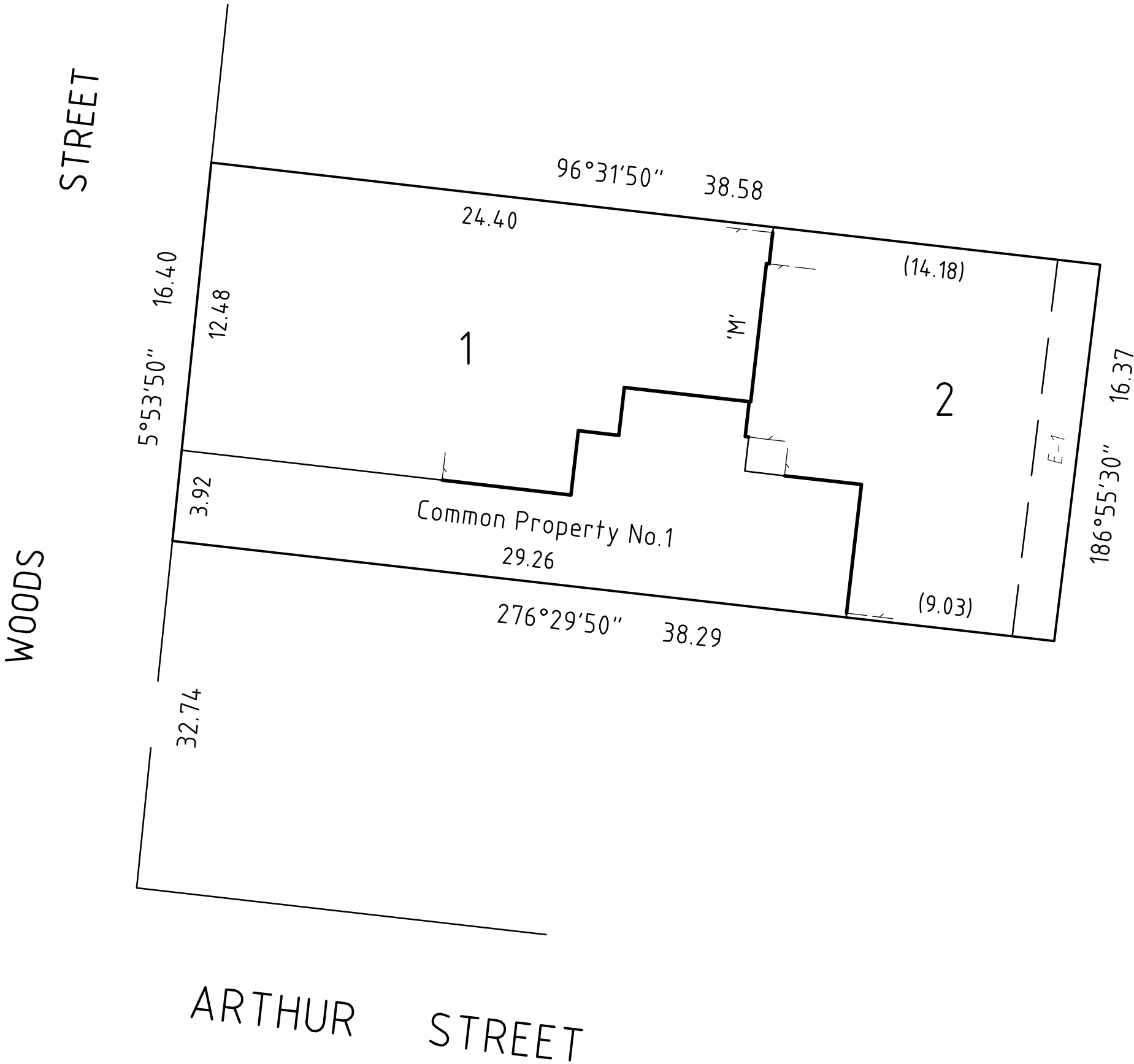
Stepping stones in gravel pathway: Create pathway with garden edging. 75mm layer of crushed rock compacted on top of sub-base. Each paver laid on a bed of mortar 25mm thick. Gravel / pebbles spread in between & around leveled pavers.

3-2025 Revision 2	24-06-2025			Design Firm Emee Landscape Design 39 Burgess St, Bentleigh	Project Title Landscape Plan 36 Woods Street, Beaconsfield	Project ID Project ID
No.	Date	Issue Notes			Reviewed By Reviewed By	Scale 1:100 @A1
					Date 24/02/2025	Sheet No. A-1
					CAD File Name 36 Wood Street 1.vwx	of 1

PLAN OF SUBDIVISION			EDITION 1		PS 928582 A	
LOCATION OF LAND PARISH: Pakenham TOWNSHIP: --- SECTION: A CROWN ALLOTMENT: --- CROWN PORTION: 1 (Part) TITLE REFERENCE: Vol. Fol. LAST PLAN REFERENCE: Lot 1 on TP 11736 Y POSTAL ADDRESS: 36 Woods Street, Beaconsfield 3807 (at time of subdivision) MGA CO-ORDINATES: E: 356 800 ZONE: 55 (of approx centre of land in plan) N: 5 757 580 GDA 2020			Council Name: Cardinia Shire Council <u>EXPLANATORY NOTE:</u> <u>WARNING:</u> This plan is unregistered. Alterations may be required by Council and the Registrar of Titles prior to Registration, Nobelius Land Surveyors accepts no responsibility whatsoever for any loss or damage suffered.			
VESTING OF ROADS AND/OR RESERVES			NOTATIONS			
IDENTIFIER		COUNCIL/BODY/PERSON		<div>Building Boundaries are defined by thick continuous lines</div> <div>Location of Boundaries defined by Buildings</div> <div>Median : Denoted thus 'M'</div> <div>Exterior : All other Boundaries</div> <div><div>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</div></div> <div>LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS. FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, OR ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES.</div>		
NIL		NIL				
NOTATIONS						
DEPTH LIMITATION: DOES NOT APPLY						
SURVEY: This plan is based on survey. STAGING: This is a staged subdivision. Planning Permit No. This survey has been connected to permanent marks No(s). In Proclaimed Survey Area No. 45						
EASEMENT INFORMATION						
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)						
Easements and rights implied by Section 12(2) of the Subdivision Act 1988 apply to all of the land in this plan.						
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of		
E-1	Drainage	1.83	Y 1740 S (Book 623 No. 821)	Lot 1 on TP 11736 Y		
NOBELIUS LAND SURVEYORS  P.O. BOX 461 PAKENHAM 3810 Ph 03 5941 4112 mail@nobelius.com.au		SURVEYORS FILE REF: 21680 LICENSED SURVEYOR: T. D. WALKER VERSION 3		ORIGINAL SHEET SIZE: A3	SHEET 1 OF 2	



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WARNING: This plan is unregistered.
See Sheet 1 for Explanatory Note

NOBELIUS LAND SURVEYORS



P.O. BOX 461
PAKENHAM 3810
Ph 03 5941 4112
mail@nobelius.com.au

SCALE
1:200



ORIGINAL SHEET
SIZE: A3

SHEET 2

LICENSED SURVEYOR: T. D. WALKER
VERSION 3

PS928582A

PS928582A

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Totals		
	Entitlement	Liability
This schedule	50	50
Previous stages	0	0
Overall Total	50	50

Lot	Entitlement	Liability
1	25	25
2	25	25

