
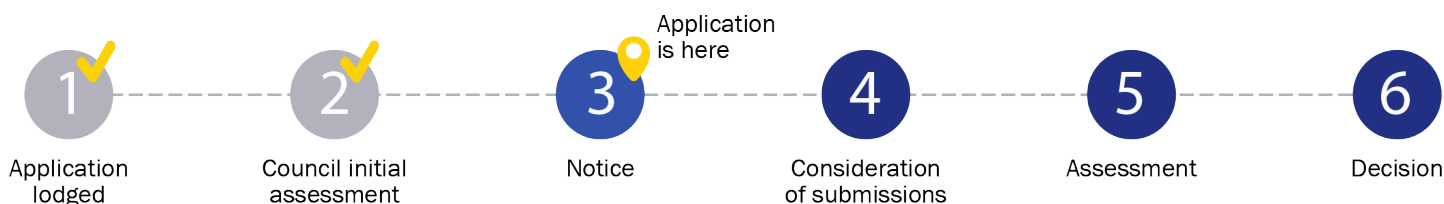


Notice of Application for a Planning Permit

| | |
|--|---|
| The land affected by the application is located at: | L25 LP5809 3 Memorial Avenue, Emerald VIC 3782 |
| The application is for a permit to: | Buildings and Works (Construction of an Outbuilding) |
| A permit is required under the following clauses of the planning scheme: | |
| 43.02-2 | Construct a building or construct or carry out works |
| 44.06-2 | Construct a building or construct or carry out works associated with Retail premises |
| APPLICATION DETAILS | |
| The applicant for the permit is: | Emerald RSL Sub-Branch Inc. |
| Application number: | T250202 |
| <p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p> | |
|  | |
| HOW CAN I MAKE A SUBMISSION? | |
| This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before: | |
| 27 June 2025 | |
| WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued. | <p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected. |
| The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application. | |





ePlanning

Application Summary

Portal Reference A22557V9

Basic Information

| | |
|---------------|--|
| Proposed Use | Replacement of a shed at rear of the RSL. |
| Current Use | An old shed is situated on the land. It is to be replaced with a new shed. |
| Cost of Works | \$34,172 |
| Site Address | 3 Memorial Avenue Emerald 3782 |

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

| Type | Name | Address | Contact Details |
|-------------------|---|--|-----------------|
| Applicant | Emerald RSL Sub-Branch Inc. | 3 Memorial Avenue, Emerald VIC 3782 | |
| Owner | Returned & Services League of Australia (Victorian Branch) Inc. | Anzac House/4 Collins Street, Melbourne VIC 3000 | |
| Preferred Contact | Emerald RSL Sub-Branch Inc. | 3 Memorial Avenue, Emerald VIC 3782 | |

Fees

| Regulation Fee Condition | Amount | Modifier | Payable |
|--|----------|----------|----------|
| 9 - Class 3 More than \$10,000 but not more than \$100,000 | \$694.00 | 100% | \$694.00 |
| Total | | | \$694.00 |

Documents Uploaded

| Date | Type | Filename |
|------------|---------------------|------------------|
| 13-04-2025 | A Copy of Title | TITLE.pdf |
| 13-04-2025 | Site plans | PLANS.pdf |
| 13-04-2025 | Site plans | SITE SURVEY.pdf |
| 13-04-2025 | Additional Document | COVER LETTER.pdf |



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20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

| | | | |
|-----------------|--|-------------------------------------|--|
| Site User | <div></div> Emerald RSL Sub-Branch Inc. | 3 Memorial Avenue, Emerald VIC 3782 | W: 0439-112-204 M: 0439-112-204 E: peter.maloney@emeraldrsl.com.au |
| Submission Date | 13 April 2025 - 09:33:AM | | |

Declaration

☒ By ticking this checkbox, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 06599 FOLIO 629

Security no : 124122997503Q
Produced 20/03/2025 10:30 AM

LAND DESCRIPTION

Lot 25 on Plan of Subdivision 005809.
PARENT TITLE Volume 03941 Folio 081
Created by instrument 4074521R 25/02/1943

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP005809 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 3 MEMORIAL AVENUE EMERALD VIC 3782

DOCUMENT END

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|---|-------------------------|
| Document Type | Plan |
| Document Identification | LP005809 |
| Number of Pages (excluding this cover sheet) | 2 |
| Document Assembled | 20/03/2025 10:30 |

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Plan of Subdivision of Crown Allotment 5, of Sec A Township of Emerald, Parish of Gembrook, County of Mornington

LP 5809

EDITION 5

PLAN MAY BE LODGED 13/7/12

COLOUR CODE

E-1, E-2 & BL = BLUE
BR = BROWN

ROADS COLOURED BROWN

APPURTENANCIES

AS TO LOTS 5-17(B I), 19, 22, 25, 26, 27, 29, 30,
33-37(B I), 41, 42, 44-52 (B I) & 55
TOGETHER WITH A RIGHT OF CARRIAGEWAY
OVER THE ROADS COLOURED BROWN

AS TO LOT 55
TOGETHER WITH A RIGHT OF DRAINAGE
OVER THE LAND MARKED E-1

ENCUMBRANCES

AS TO THE LAND MARKED E-1
THE DRAINAGE EASEMENT CREATED
BY INST. 773762.

AS TO THE LAND MARKED E-2
THE DRAINAGE EASEMENT CREATED
BY INST. 737772.

AS TO ROAD R1
ANY EASEMENTS AFFECTING
THE SAME

Measurements are in Feet & Inches

Conversion Factor

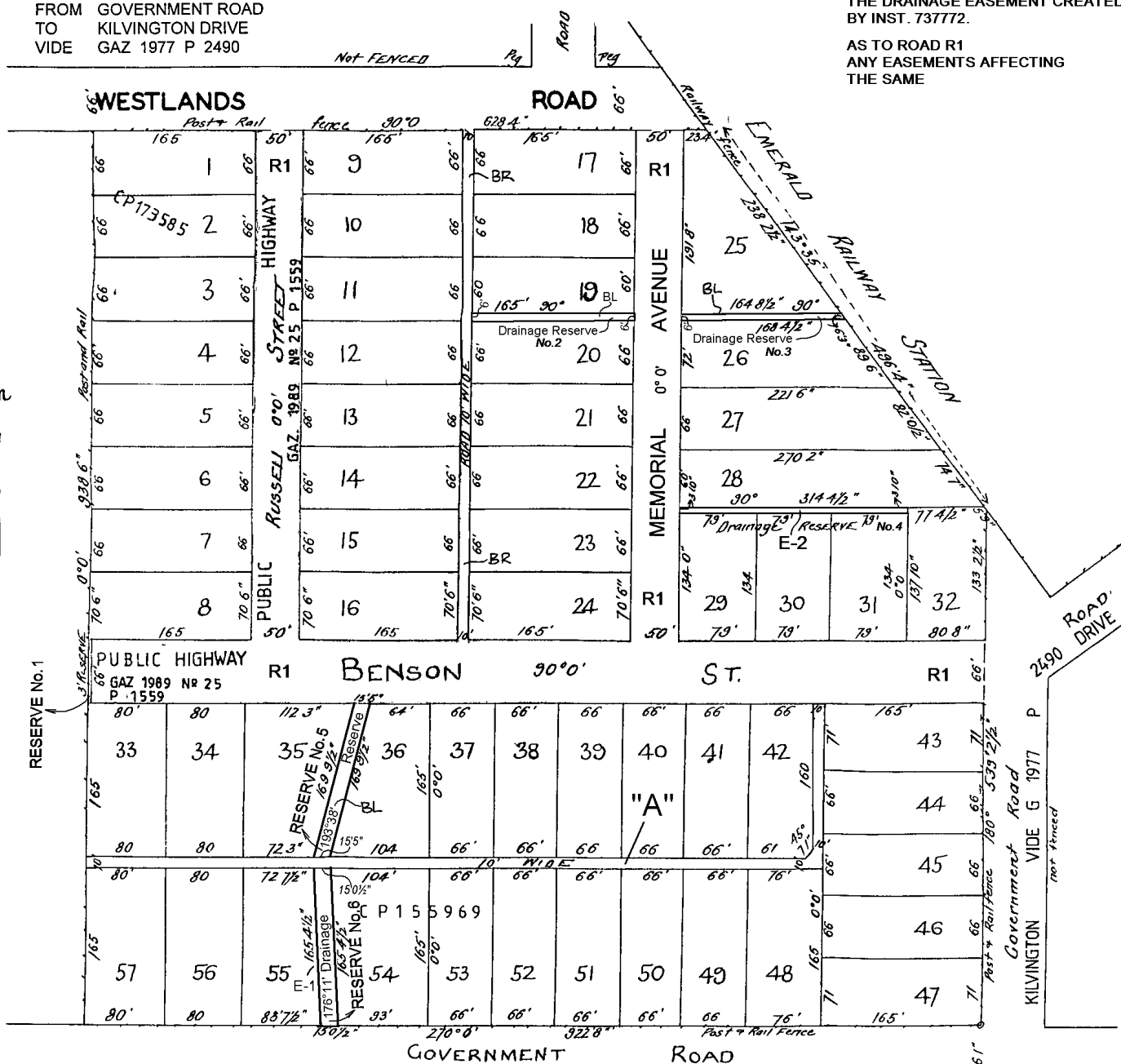
FEET X 0.3048 = METRES

VOL 2793 FOL 450

DEPTH LIMITATION 50 FEET

STREET NAMES AMENDED
FROM CHURCH STREET
TO MEMORIAL AVENUE
FROM GOVERNMENT ROAD
TO WESTLANDS ROAD
VIDE GAZ 1961 P 82

STREET NAME AMENDED
FROM GOVERNMENT ROAD
TO KILVINGTON DRIVE
VIDE GAZ 1977 P 2490



MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED.
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL PLAN/DOCUMENT.

PLAN NUMBER

LP 5809

| AFFECTED LAND/PARCEL | LAND/PARCEL IDENTIFIER CREATED | MODIFICATION | DEALING NUMBER | DATE | TIME | EDITION NUMBER | ASSISTANT REGISTRAR OF TITLES |
|-------------------------|--------------------------------------|---|-------------------|---------|------|-------------------|-------------------------------------|
| THIS PLAN | | APPURTENANCY NOTATION ADDED | | | | 2 | AD |
| "A" | | ROAD DISCONTINUANCE SEC 207D (SEE TP842064N) | AC879850G | 25/5/04 | | 3 | RS |
| LOT 55 | E-1 | APPURTENANCY NOTATION ADDED | | | | 4 | AD |
| RESERVE No.4 | E-2 | CREATION OF EASEMENT | INST. 737772 | | | 5 | AD |
| RESERVE No.6 | E-1 | CREATION OF EASEMENT | INST. 773762 | | | 5 | AD |
| ROADS | R1 | EASEMENTS ENHANCED | | | | 5 | AD |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

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DSBUILDINGDESIGN

BUILDING DESIGN AND ARCHITECTURAL DRAFTING SERVICE

11/04/2025

Cardinia Shire Council
PO Box 7
PAKENHAM VIC 3810
mail@cardinia.vic.gov.au

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| | |
|-----------------------|-----------------------------------|
| PROPOSAL: | PROPOSED SHED |
| ADDRESS: | 3 MEMORIAL AVENUE, EMERALD |
| LOT & PLAN NUMBER: | LOT 25 LP5809 |
| COUNCIL PROPERTY No.: | 2574250200 |

Please find enclosed the following documentation for the above-mentioned project;

- Title documents (Volume 06599, Folio 629)
- Development plans prepared by DS Building Design – Project No. 25010 (revision 3)
- Plan of Survey prepared by M. J. Reddie Surveys Pty Ltd – surveyors ref. no: 25-02-386

THE SITE

The site is located on the eastern side of Memorial Avenue, Emerald. The site is an irregular shape with a Memorial Avenue frontage of 58m. The total site area is 1654m². There are no easements on the property.

The site has a slight fall from the south-eastern (back) corner to the western (front) boundary. A single storey weatherboard hall exists centrally on the property, occupied by the Emerald RSL Sub-branch. To the north of the hall is a carpark, with vehicle access provided via vehicle crossings from Memorial Avenue. To the south of the hall is an asphalt driveway, with vehicle access provided via an additional vehicle crossing from Memorial Avenue. In the south-eastern corner of the site is a detached metal shed. Surrounding the south-eastern side of the shed is a 0.8m high embankment.

The site is located in the Neighbourhood Residential Zone – schedule 1 (NRZ1) and is subject to the Bushfire Management Overlay – schedule 1 (BMO1), the Design and Development Overlay – schedule 2 (DDO2), the Significant Landscape Overlay – schedule 1 (SLO1) and the Vegetation Protection Overlay – schedule 2 (VPO2). The site is also within a designated bushfire prone area.

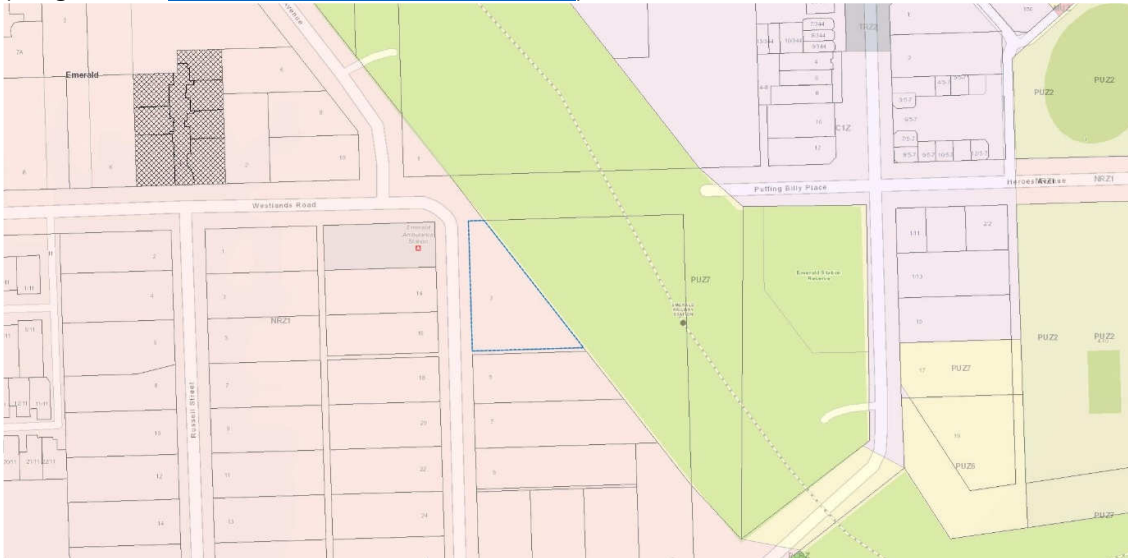
The land is contained in certificate of title volume 06599, folio 629. The formal land description is lot 25 of plan of subdivision LP5809. There are no relevant encumbrances, caveats or notices listed on the title.

THE NEIGHBOURHOOD

The neighbouring property to the south, No. 5 Memorial Avenue has a double storey, brick and weatherboard dwelling and is within the same NRZ1 and subject to the same overlays. Separating the subject site and No. 5 Memorial Avenue is a 1.83m wide drainage reserve. The land to the east of the site is Emerald Puffing Billy Railway, within the Public Use Zone.

Site locality

(Image source <https://mapshare.vic.gov.au/vicplan>)



Aerial photo

(image source <https://www.nearmap.com/au>)

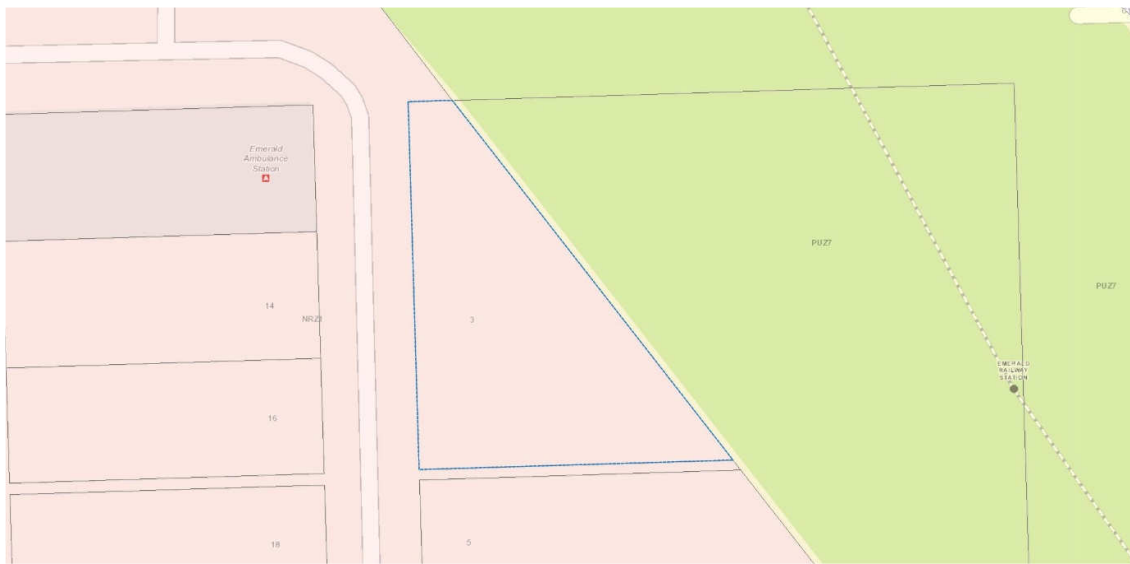


THE PROPOSAL

The proposal is detached metal shed, to replace the existing shed in the south-eastern corner of the site. The shed is to be 7.0m wide, with a length of 8.85m, with a total area of 61.95m². A single roller door is proposed on the western elevation of the shed, adjacent to the existing asphalt driveway. A single PA door is proposed on the northern elevation. A maximum 0.8m excavation is proposed to accommodate the shed, which will generally be a continuation of the existing embankment. No vegetation removal is required. The proposed shed will be used for storage to support the Emerald RSL. The shed will not be accessible to members of the public or patrons to the RSL. The proposed shed is to be a class 10a, non-habitable building, as per the building classifications of the NCC 2022.

PLANNING CONTROLS

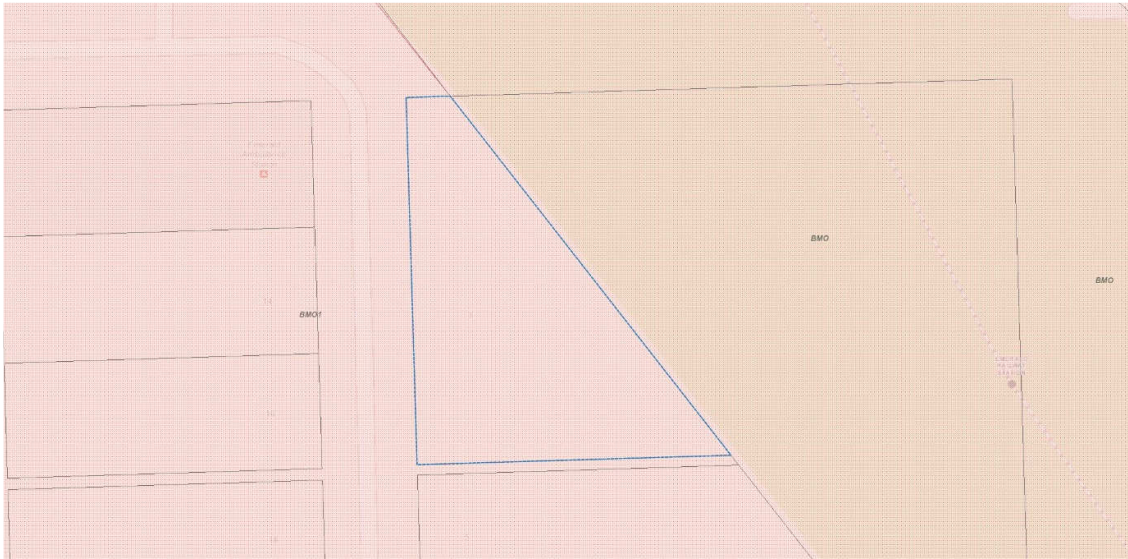
32.09 NEIGHBOURHOOD RESIDENTIAL ZONE – SCHEDULE 1 (NRZ1)



The Emerald RSL hall is a section 2 use, as per clause 32.09-2 (Place of assembly, Food and Drink Premises). As the proposed shed is an ancillary structure to a section 2 use, a planning permit is required under clause 32.09-10.

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44.06 BUSHFIRE MANAGEMENT OVERLAY – SCHEDULE 1 (BMO1)

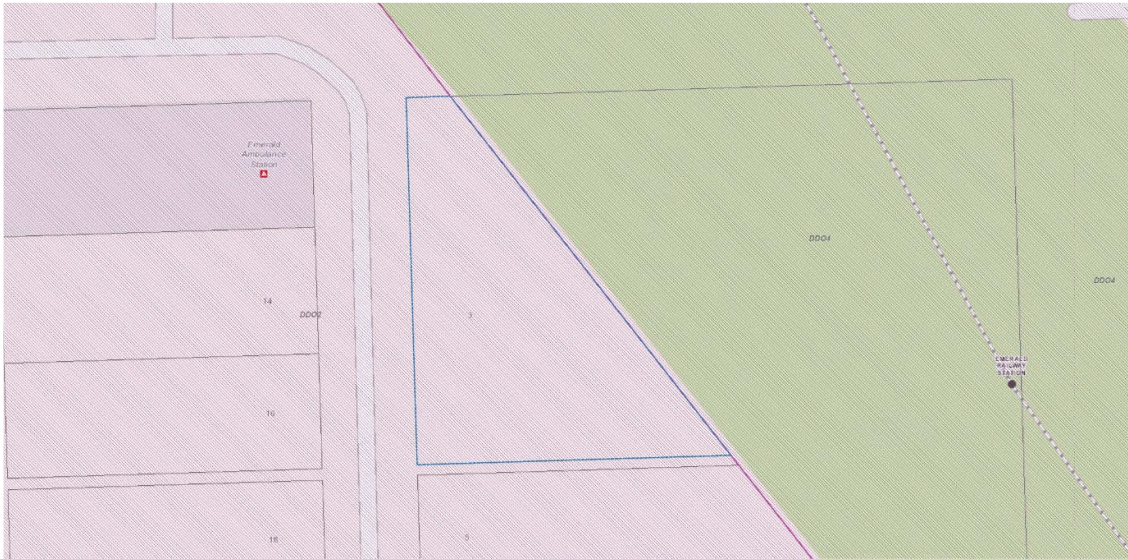


As per clause 44.06-2, a permit is required to construct a building associated with a place of assembly. As such, a permit is required for the proposal under the BMO.

Despite being under 100m² (only 61.95m²), as the shed is not ancillary to a dwelling, it does not benefit from the <100m² exemption of the clause 44.06-2. The proposal also does not benefit from the requirements of the schedule 1 to the BMO, as the proposal is not associated with one dwelling on a lot.

Nevertheless, considering the BAL-12.5 applied under the BMO1 to surrounding residential properties, and the nature, size and intended use of the proposal, a full bushfire planning assessment against clause 53.02 is considered unnecessary and excessive. Therefore, it is requested that council confirm the application requirements, as per clause 44.06-3.

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43.02 DESIGN AND DEVELOPMENT OVERLAY – SCHEDULE 2 (DDO2)

As per clause 43.02-2, a permit is required to construct a building or construct or carry out works. This does not apply if a schedule to the overlay specifically states that a permit is not required.

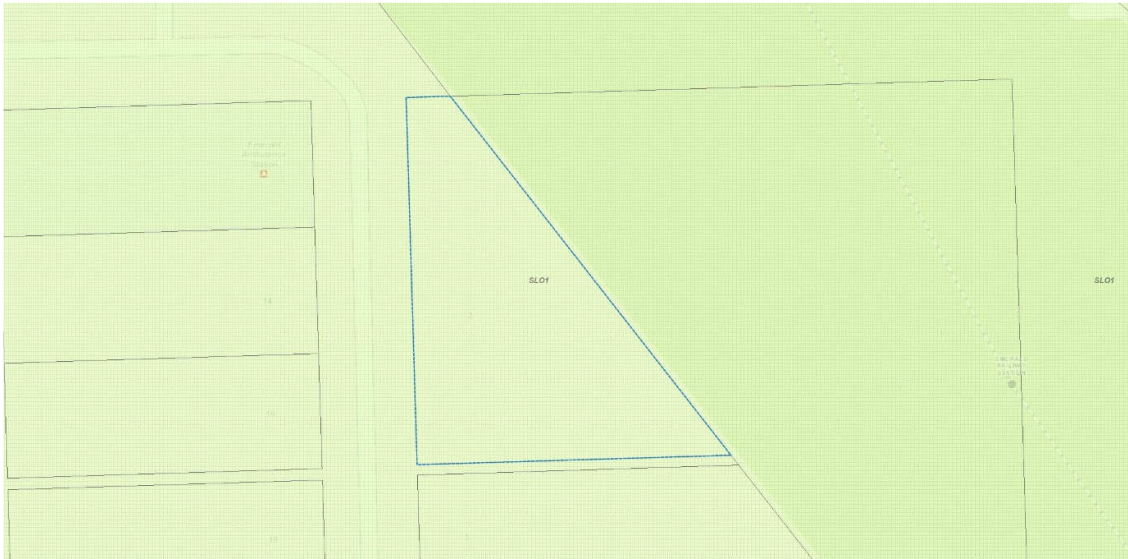
SCHEDULE 2 TO CLAUSE 43.02 – DDO2**2.0 – BUILDINGS AND WORKS**

A permit is not required to construct a building or construct or carry out works provided all of the following requirements are met:

- Any building must be set back at least 10 metres from a Transport Zone 2, 7.5 metres from a Transport Zone 3 or any other road, **and 2 metres from any other boundary.**
- Any building or works must be set back at least 60 metres from a waterway.
- If the building is an extension to an existing dwelling.
- If the building is an outbuilding ancillary to a dwelling, the gross floor area of all outbuildings on the land must not exceed 80 square metres.
- The height of any building must not exceed 7 metres above natural ground level.
- The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion.
- The slope of the land on which buildings or works are undertaken must not exceed 20%.
- Building materials must be non-reflective or subdued colours which complement the environment.
- If sewerage is not available, the land must be capable of containing on site all wastewater generated by the use or development.

As the proposal is within 2m of a boundary, it does not benefit from the permit exemptions of item 2.0 of schedule 2 to clause 43.02 (DDO2). Therefore, a permit is required for the proposal under the DDO2. In response to the design objectives of the DDO2,

- As the proposed shed is generally in the same position as the existing shed, the location and design of the proposal does not disrupt the character and natural environment of the area and does not cause detriment to surrounding residents. This, together with no vegetation removal, ensures that the proposal has regard to the environmental features and constraints of the land.

42.03 SIGNIFICANT LANDSCAPE OVERLAY – SCHEDULE 1 (SLO1)

As per clause 42.03-2, a permit is required to construct a building or construct or carry out works. This does not apply if a schedule to the overlay specifically states that a permit is not required.

SCHEDULE 1 TO CLAUSE 42.03 – SLO1**3.0 – PERMIT REQUIREMENT**

A permit is not required to construct a building or construct or carry out works associated with the day-to-day operation of the Puffing Billy Tourist Railway by the Emerald Tourist Railway Board, including to remove, destroy or lop vegetation as defined in the Schedule to the Public Use Zone at Clause 36.01 under this Planning Scheme.

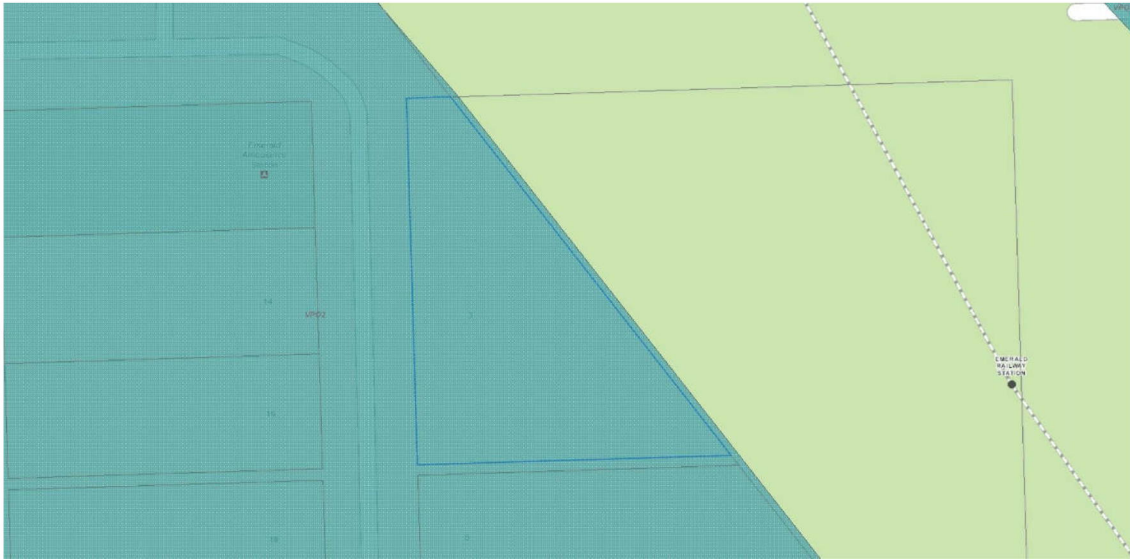
A permit is not required to construct a building or construct or carry out works provided all of the following requirements are met:

- *Building materials and finishes are non-reflective and subdued colours which complement the environment to the satisfaction of the Responsible Authority.*
- *The height of any dwelling does not exceed 7 metres above natural ground level and the height of all other buildings does not exceed 4 metres above natural ground level.*

As the proposed shed is to have non-reflective and subdued colours, and the height of the shed is less than 4m, the proposal benefits from the permit exemptions of the SLO1.

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42.02 VEGETATION PROTECTION OVERLAY – SCHEDULE 2 (VPO2)



As per clause 42.02-2, a permit is required to remove, destroy or lap any vegetation specified in a schedule to the overlay. As no vegetation removal is required, a permit is not required under the VPO2.

Several trees exist on neighbouring properties, within proximity to the proposal. The proposed shed encroaches on the tree protection zone (TPZ) of one of the large gums within the Puffing Billy property to the east of the site. However, the TPZ intrusion is less than 10% of the total TPZ area of the tree and there is no encroachment into the structural root zone (SRZ). As per the Australian Standard 'AS4970 – Protection of trees on development sites', an encroachment under 10% is considered minor.

If you wish to discuss any detail of the proposal or if you require any further information or documentation, please do not hesitate to contact me.

Kind regards,



Building Designer / Director
DS BUILDING DESIGN

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Registered Building Practitioner No.: DP-AD 37699
Design Matters National Membership No.: 2782
Master Builders Association of Victoria Associate Membership No.: 528150

SITE PHOTOS

Site photo locations

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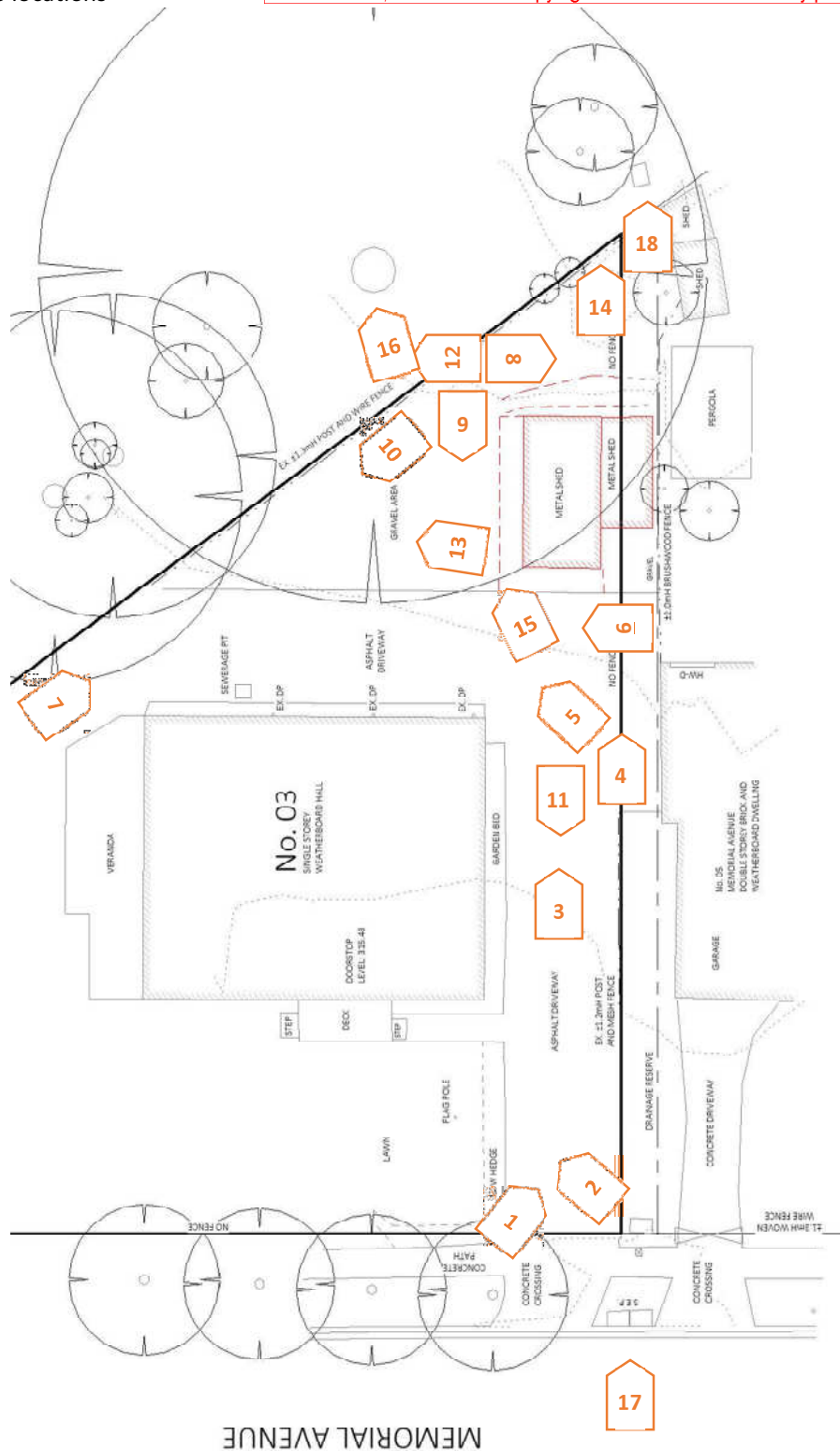


Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



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Photo 7



Photo 8



Photo 9



Photo 10



Photo 11



Photo 12



Photo 13



Photo 14



Photo 15



Photo 16



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Photo 17



Photo 18



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DSBUILDINGDESIGN

BUILDING DESIGN AND DRAFTING SERVICE

01/06/2025

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810
M.Kim@cardinia.vic.gov.au

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| | |
|------------------|-----------------------------------|
| APPLICATION No.: | T250202 |
| PROPOSAL: | PROPOSED SHED |
| ADDRESS: | 3 MEMORIAL AVENUE, EMERALD |

Dear [REDACTED]

I am assisting the Emerald RSL with the above-mentioned planning application.
In response to council's letter of request for further information dated 15th May,

- In response to item 1 – The land is currently used by the Emerald RSL sub-branch, providing hospitality services within the existing hall to both club members and public, commemoration services and veteran support. The hospitality services include the preparation and sale of food and drink for immediate consumption on the premises only, as well as the sale and consumption of liquor on the premises only (refer to the accompanying liquor licence number: 31424045). There are no gambling facilities.
- In response to items 2, 3 & 4 – Please find enclosed the bushfire planning assessment prepared by Ranges Environmental Consulting.
- In response to item 5 – please find enclosed the revised development plans (version: REV4), updated to confirm the depth of all earthworks.

I trust that the above is satisfactory. Should council find that information remains outstanding, an additional month to the lapse date of the 14th June is requested.

Kind regards,

[REDACTED]
Building Designer / Director
DS BUILDING DESIGN

Registered Building Practitioner No.: DP-AD 37699
Design Matters National Membership No.: 2782
Master Builders Association of Victoria Associate Membership No.: 528150

PRELIMINARY
NOT FOR CONSTRUCTION

GENERAL NOTES

USED FIGURED DIMENSIONS ONLY - DO NOT SCALE FROM PLANS

THESE PLANS ARE SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION FROM DS BUILDING DESIGN

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES - VOLUME TWO BUILDING CODE OF AUSTRALIA 2022 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO THE NATIONAL CONSTRUCTION CODE SERIES - VOLUME TWO BUILDING CODE OF AUSTRALIA 2022

ALL OUTSIDE, ABOVE GROUND TIMBER MEMBERS ARE TO BE H3 TREATED
ALL OUTSIDE, IN GROUND TIMBER MEMBERS ARE TO BE H5 TREATED OR HAVE A NATURAL DURABILITY CLASSIFICATION OF 1 OR 2 AS PER TABLE B1 OF AS1684.2-2010

ALL EXTERNAL STEEL MEMBERS ARE TO BE HOT DIP GALVANISED

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS - REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION

THE INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITIES REQUIREMENTS

THE BUILDER AND SUBCONTRACTORS SHALL ENSURE THAT ALL STORMWATER DRAIN, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTINGS AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM

A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS
THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT(S)

PROJECT CONSULTANTS

LAND SURVEYOR - M. J. REDDIE SURVEYS PTY LTD (SURVEYORS REF. No.: 25-02-386)

GEOTECHNICAL ENGINEER -

STRUCTURAL ENGINEER -

SITE WORKS NOTES

ALL UNDERGROUND SERVICES ARE TO BE LOCATED BY ON-SITE BUILDER/CONTRACTOR PRIOR TO EXCAVATION WORKS - REFER www.1100.com.au OR CALL 1100 FOR DIAL-BEFORE-YOU-DIG SERVICE

PROVIDE 0.2mm POLYTHENE VAPOUR BARRIER BENEATH SLABS (EXCLUDING CLASS 10 BUILDINGS) IN ACCORDANCE WITH AS2870

THE FINISHED SLAB HEIGHTS ABOVE EXTERNAL SURFACES SHALL BE;
- 50mm ABOVE PAVED OR CONCRETED AREAS
- 150mm IN ANY OTHER CASE
THE EXTERNAL SURFACE IS TO BE GRADED AWAY FROM THE SLAB, A MIN OF 50mm FOR THE FIRST METER

UN-PROTECTED EMBANKMENTS SHALL BE PROVIDED WITH AN EMBANKMENT SLOPE RATIO AS PER TABLE 3.2.1 OF THE BCA OR AS PER THE GEOTECHNICAL REPORT

ANY EXCAVATION ADJACENT TO EXISTING BUILDINGS OR ALLOTMENT BOUNDARIES SHALL BE LOCATED IN THE SUITABLE AREA AS PER FIGURE 3.1.1.1 AND PROVIDED WITH AN EMBANKMENT SLOPE RATIO AS PER TABLE 3.2.1 OF THE BCA

| ABCB HOUSING PROVISIONS TABLE 3.2.1: UN-RETAINED EMBANKMENT SLOPE RATIOS | | |
|--|--|---|
| SOIL CLASS | SITE CUT (EXCAVATION) MAX SLOPE RATIO (H:L) | COMPACTED FILL MAX SLOPE RATIO (H:L) |
| STABLE ROCK (CLASS A) | 8:1 | 3:3 |
| SAND (CLASS A) | 1:2 | 1:2 |
| FIRM CLAY (CLASS M-E) | 1:1 | 1:2 |
| SOFT CLAY (CLASS M-E) | 2:3 | NOT SUITABLE |

SITE DRAINAGE NOTES

PROVIDE SLOTTED SUBSOIL DRAIN TO THE BASE OF ALL EXCAVATIONS, RETAINING WALLS AND WHERE SITE CONDITIONS CREATE A NEED FOR SUBSOIL AND SURFACE WATER TO BE DIVERTED AWAY FROM BUILDINGS

SLOTTED SUBSOIL DRAINS SHALL BE WRAPPED IN GEOTEXTILE FABRIC AND BE LOCATED IN 20mmø SCREENINGS AND CONNECTED TO THE STORMWATER DRAINAGE SYSTEM VIA A CLEANABLE SILT PIT

ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY

DOWN PIPES SERVING EAVES GUTTERS SHALL BE A MIN OF 100x50 OR 90mmø AND ARE TO BE PLACED AT A MAXIMUM 12.0cts AND BE LOCATED WITH 1.2m OF VALLEY GUTTERS, OR PROVIDE SUFFICIENT OVERFLOW DEVICE TO EAVES GUTTER

HIGH FRONTED EAVES GUTTERS TO BE PROVIDED WITH SLOTTED FACE OR SUITABLE ALTERNATIVE OVERFLOW PROVISIONS

DOWN PIPES ARE TO CONNECT TO THE 90mmø STORMWATER DRAINAGE SYSTEM - MIN COVERAGE TO 90mmø CLASS 6 uPVC PIPE:
- 100mm UNDER SOIL
- 50mm UNDER PAVING OR CONCRETE
- 75mm UNDER REINFORCED CONCRETE SUBJECT TO LIGHT VEHICLE TRAFFIC
- 100mm UNDER PAVING SUBJECT TO LIGHT VEHICLE TRAFFIC

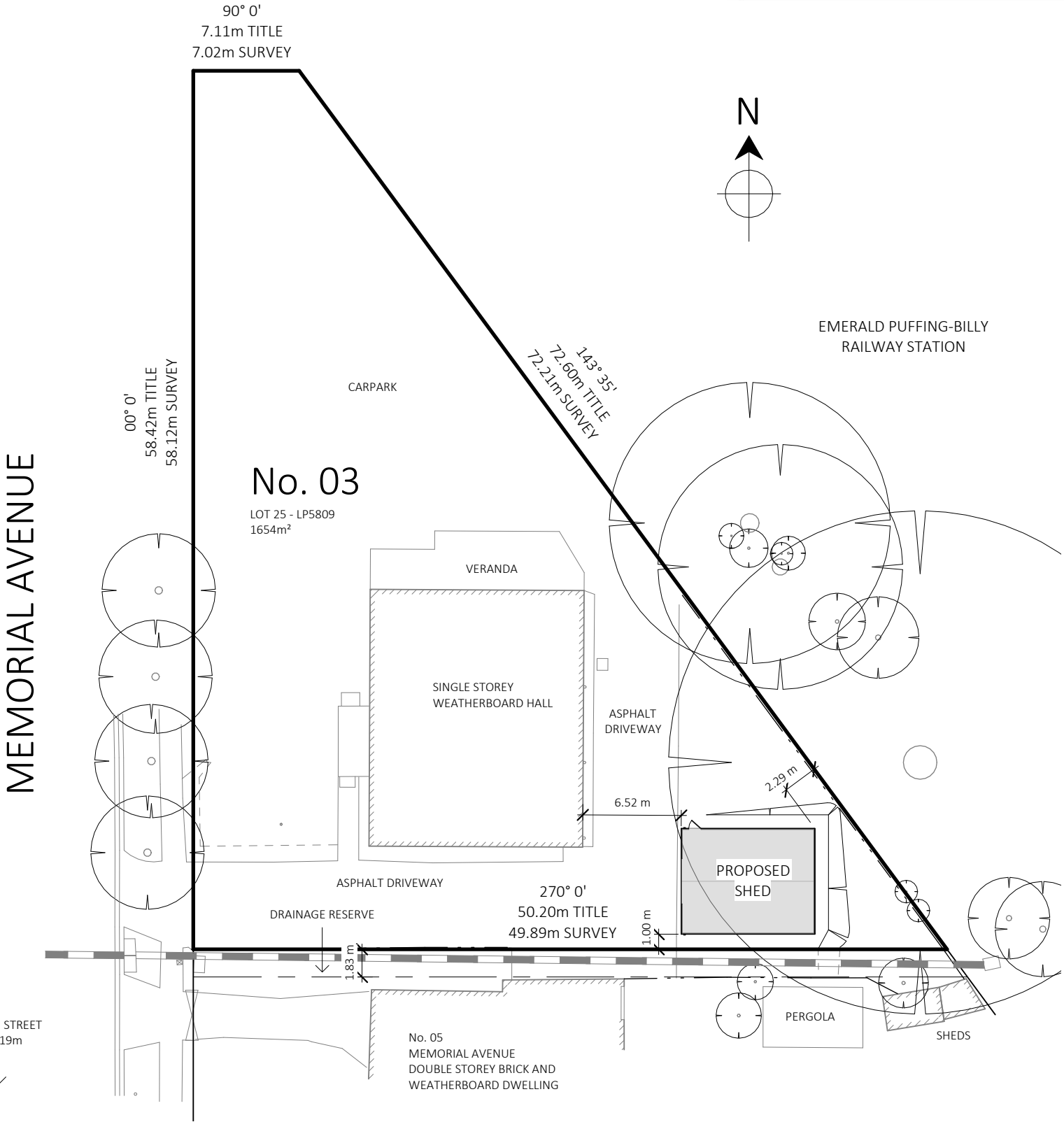
ALL ROOF DRAINAGE TO COMPLY WITH AS3500

TEMPORARY DOWNPIPE SOCKS TO BE USED THROUGH CONSTRUCTION

| SHEET LIST | |
|------------|-------------------|
| No. | SHEET NAME |
| A01 | SITE PLAN |
| A02 | SITE CONTEXT PLAN |
| A03 | SITE DETAIL PLAN |
| A04 | FLOOR PLAN |
| A05 | ELEVATIONS |
| A06 | SECTION A |
| A07 | 3D VIEW |

| REV | DESCRIPTION | DATE | PROJECT: | PROPOSED SHED 3 MEMORIAL AVENUE, EMERALD | © THIS DOCUMENT IS PROTECTED BY COPYRIGHT IT MAY NOT BE REPRODUCED, COPIED OR ALTERED WITHOUT PRIOR WRITTEN CONSENT FROM DS BUILDING DESIGN | A.B.N. 80 203 904 837 PO BOX 439, MONBULK VIC 3793 0400 998 522 daniel@dsbuildingdesign.com.au | SHEET TITLE: | REVISION: 4 |
|-----|--------------------------|------------|---------------------|---|---|---|--------------------------|-----------------------|
| 1 | PRELIMINARY | 20/03/2025 | CLIENT: EMERALD RSL | | | | SITE PLAN | SHEET No.: A01 |
| 2 | DRAINAGE DETAILS UPDATED | 24/03/2025 | | | | | PROJECT No.: 25010 | |
| 3 | PLANNING ISSUE | 11/04/2025 | | | | | PROJECT DATE: 04/03/2025 | |
| 4 | PLANNING RFI | 21/05/2025 | | | | | SCALE @ A3: 1 : 350 | |
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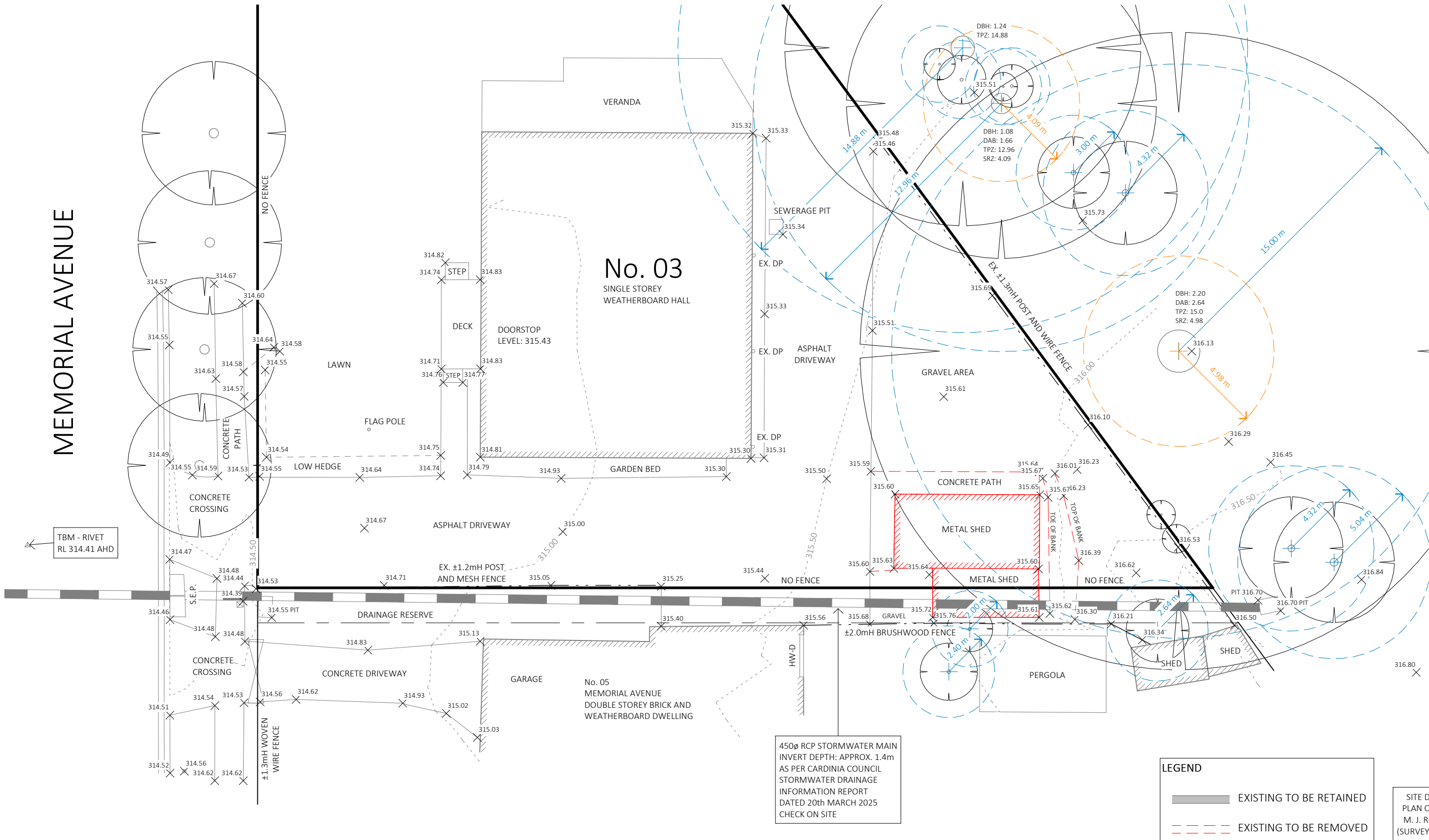
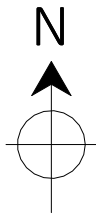
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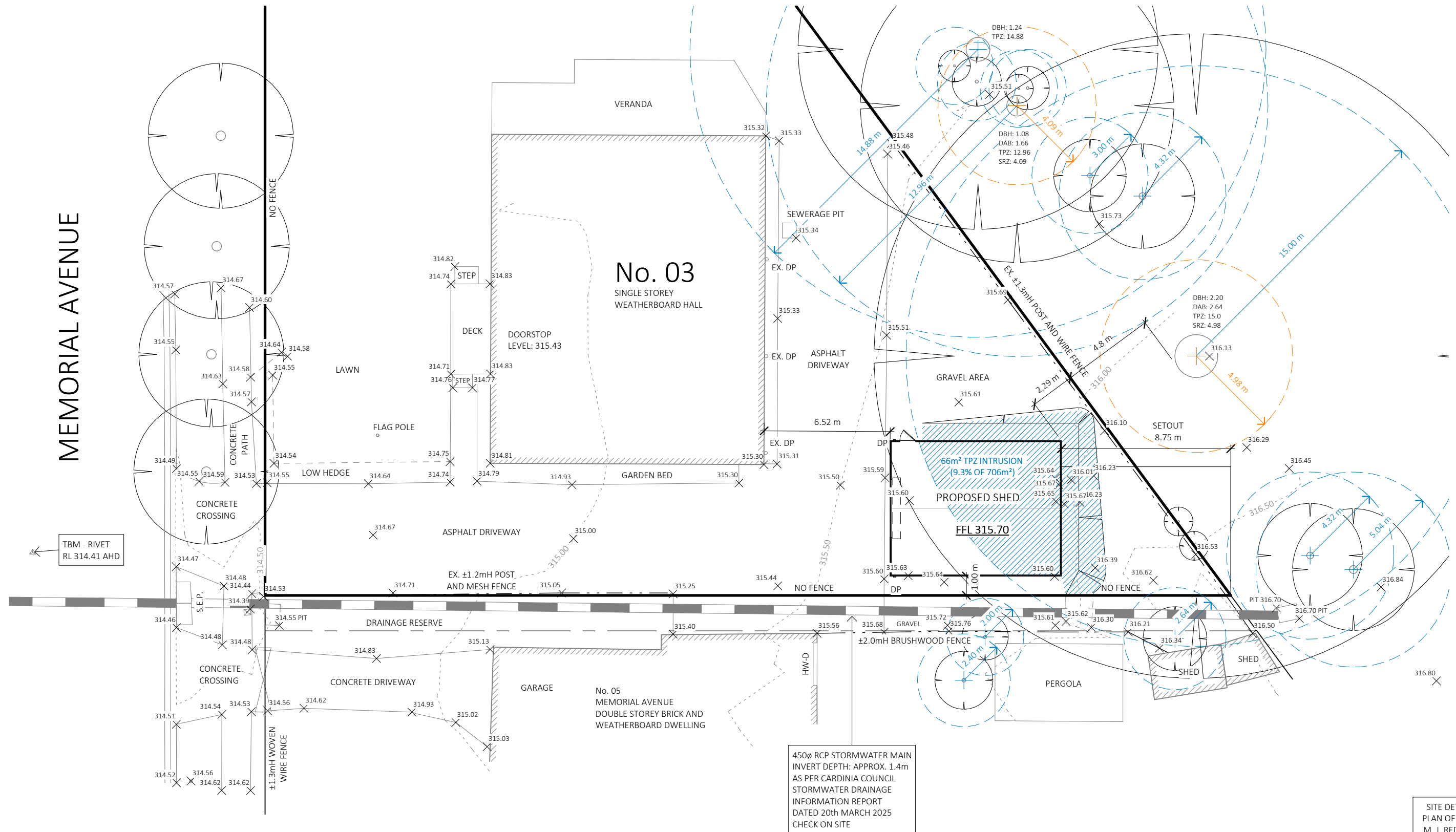
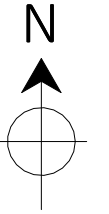
A.B.N. 80 203 904 837
PO BOX 439, MONBULK VIC 3793
0400 998 522
daniel@dsbuildingdesign.com.au

DSBUILDINGDESIGN

| | | |
|-----------------------------------|--------------------------|-------------|
| SHEET TITLE: SITE CONTEXT PLAN | | REVISION: 4 |
| PROJECT No.: 25010 | PROJECT DATE: 04/03/2025 | SHEET No.: |
| DWN BY: DS | SCALE @ A3: 1 : 200 | A02 |

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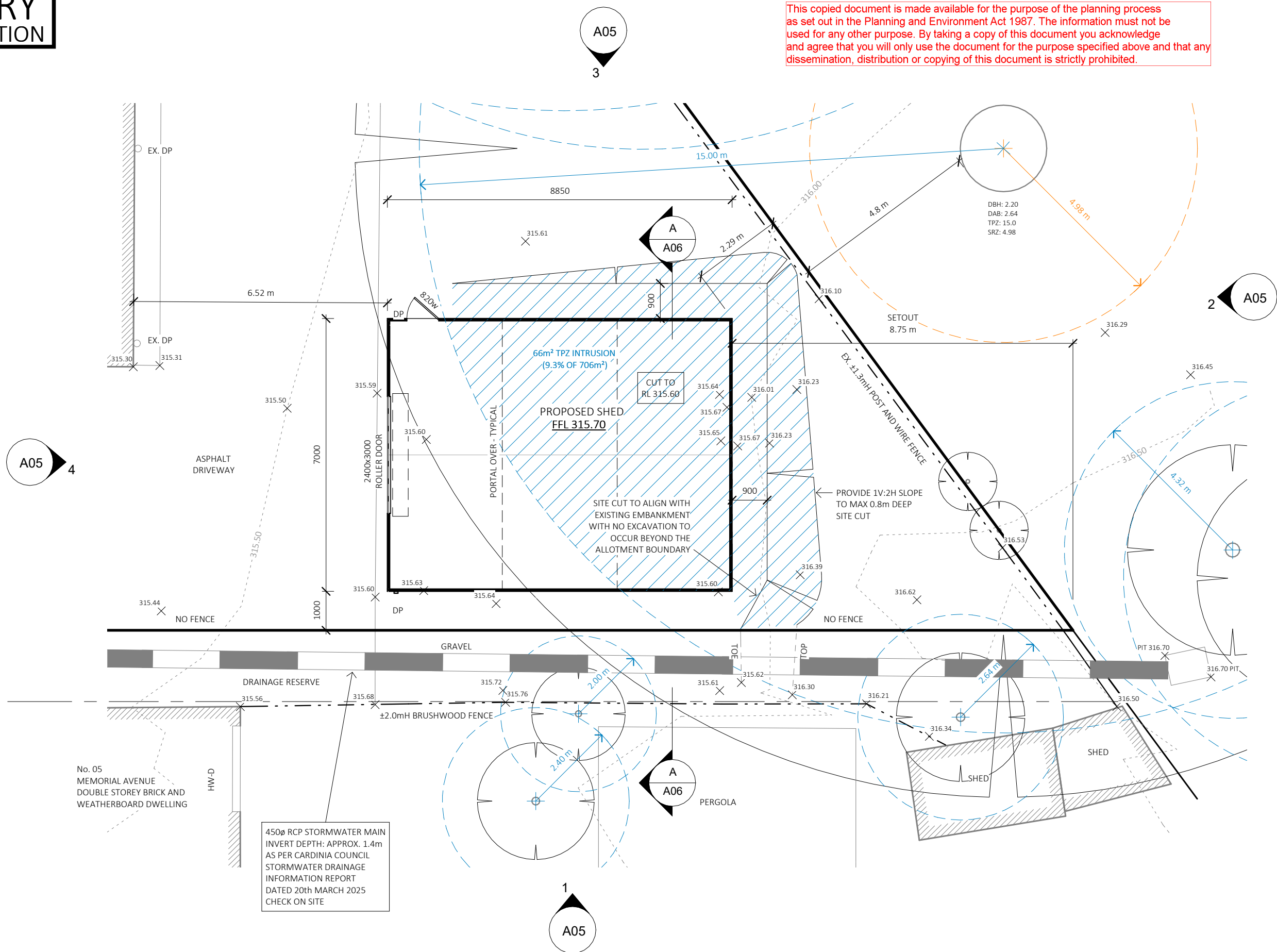
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0400 998 522
daniel@dsbuildingdesign.com.au

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| SHEET TITLE: | |
| SITE DETAIL PLAN | |
| PROJECT No.: 25010 | PROJECT DATE: 04/03/2025 |
| DWN BY: DS | SCALE @ A3: 1 : 200 |

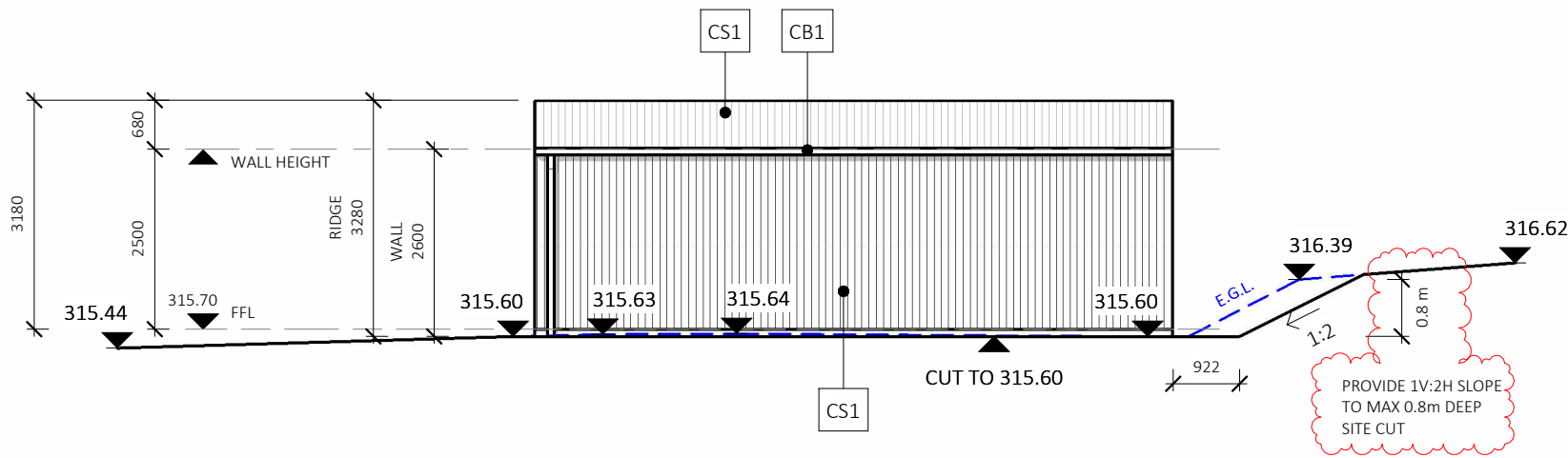
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| REVISION: 4 |
| SHEET No.: A03 |

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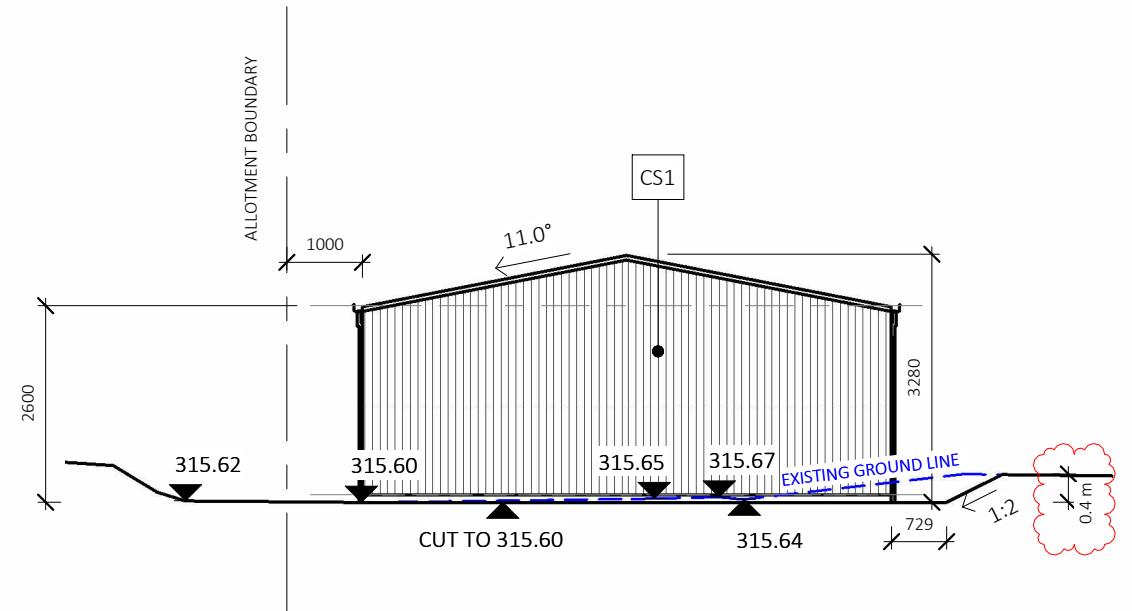


| ARTIFICIAL LIGHTING CALCULATIONS | | |
|----------------------------------|----------------------|-------------|
| ROOM NAME | AREA | MAX WATTAGE |
| SHED | 61.95 m ² | 185W |

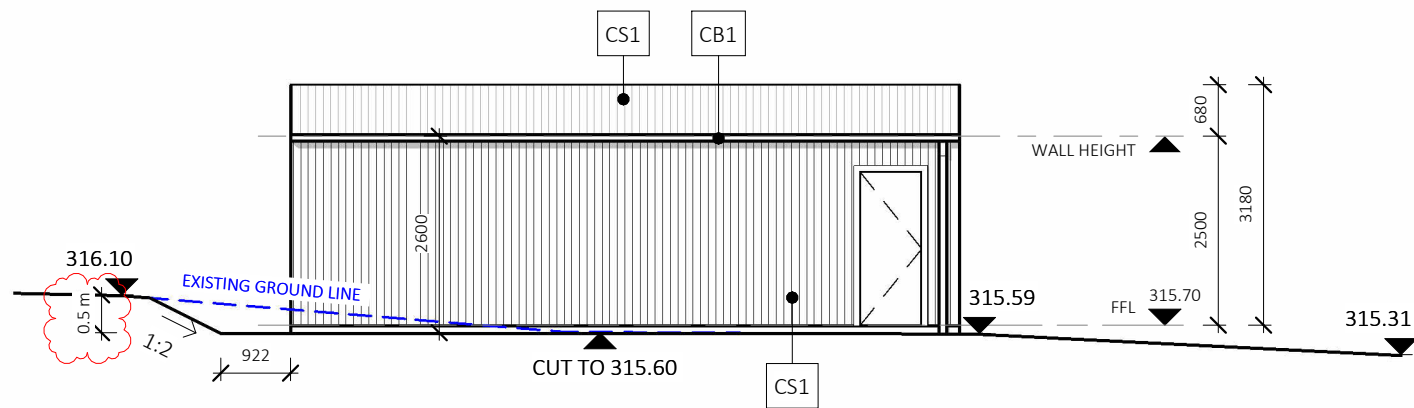
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| 2 | DRAINAGE DETAILS UPDATED | 24/03/2025 | | | | PROJECT DATE: 04/03/2025 | |
| 3 | PLANNING ISSUE | 11/04/2025 | | | | DWN BY: DS | |
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| | | | CLIENT: EMERALD RSL | | | | A04 |



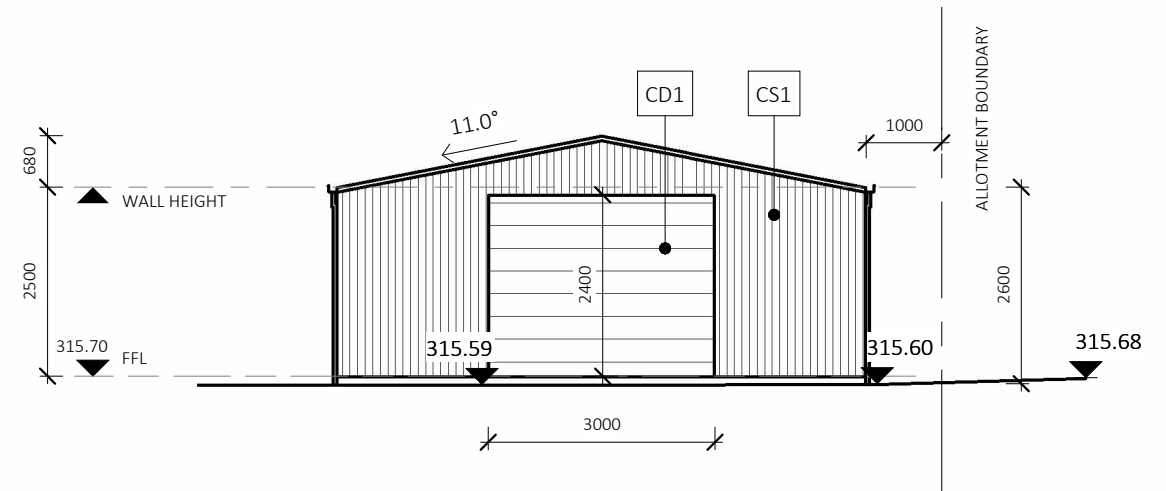
ELEVATION 1 - SOUTH
SCALE 1 : 100



ELEVATION 2 - EAST
SCALE 1 : 100



ELEVATION 3 - NORTH
SCALE 1 : 100



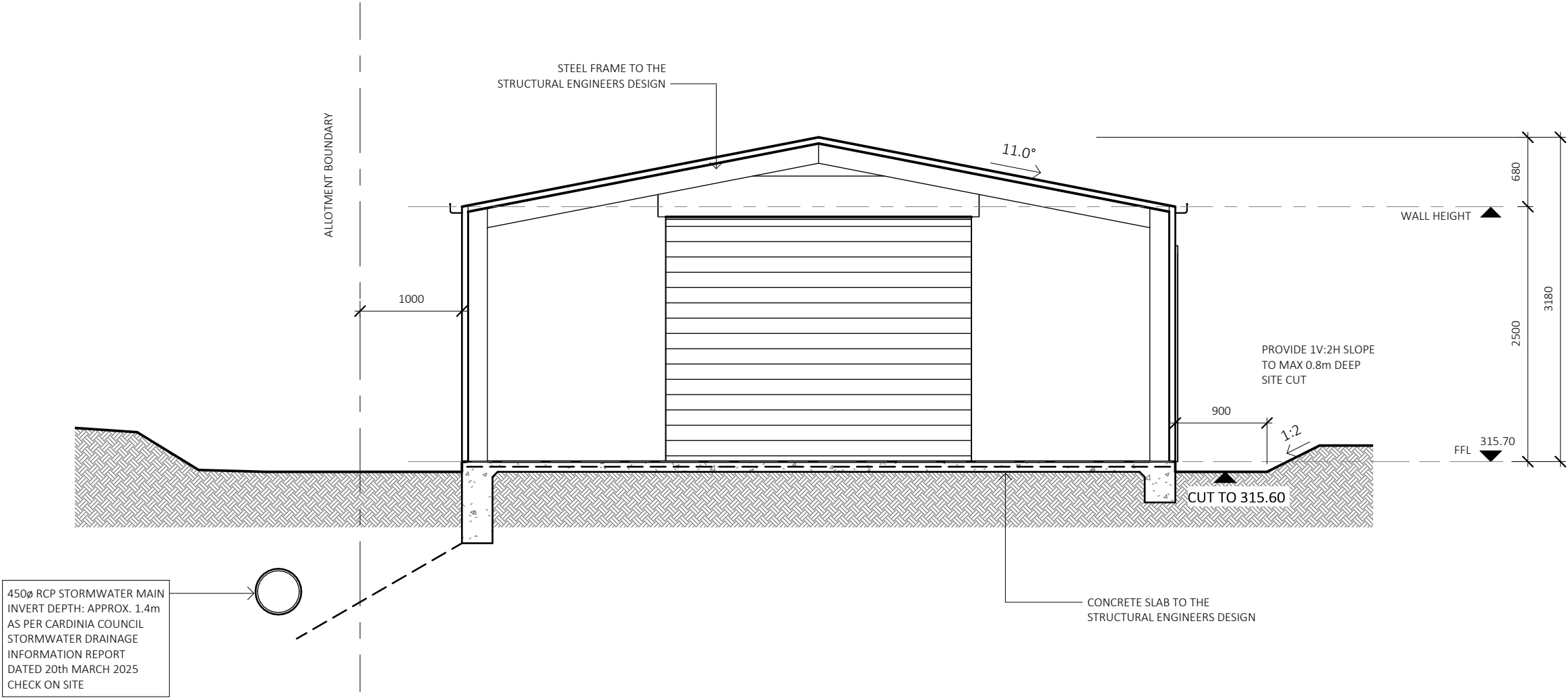
ELEVATION 4 - WEST
SCALE 1 : 100

| MATERIAL SCHEDULE | | |
|-------------------|---|--|
| CB1 | COLORBOND GUTTERS & TRIM - DARK GREY | |
| CD1 | COLORBOND ROLLER DOOR - DARK GREY | |
| CS1 | CORRUGATED COLORBOND SHEETING - DARK GREY | |

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| 3 | PLANNING ISSUE | 11/04/2025 | | | | | |
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| | | | | | | PROJECT DATE: 04/03/2025 SCALE @ A3: 1 : 100 | |

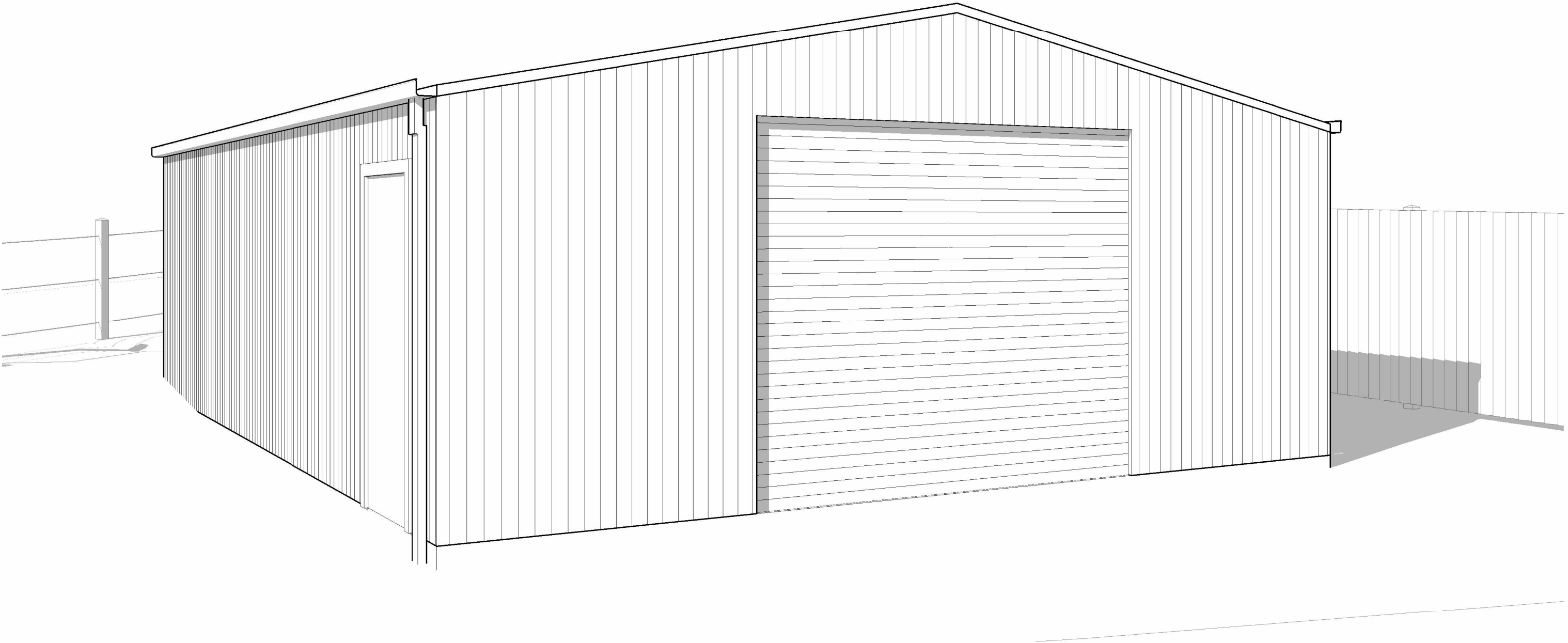
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SECTION A
SCALE 1 : 50

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| 1 | PRELIMINARY | 20/03/2025 | CLIENT: EMERALD RSL | | | DSBUILDINGDESIGN | SECTION A | A06 |
| 2 | DRAINAGE DETAILS UPDATED | 24/03/2025 | | | | | PROJECT No.: 25010 | |
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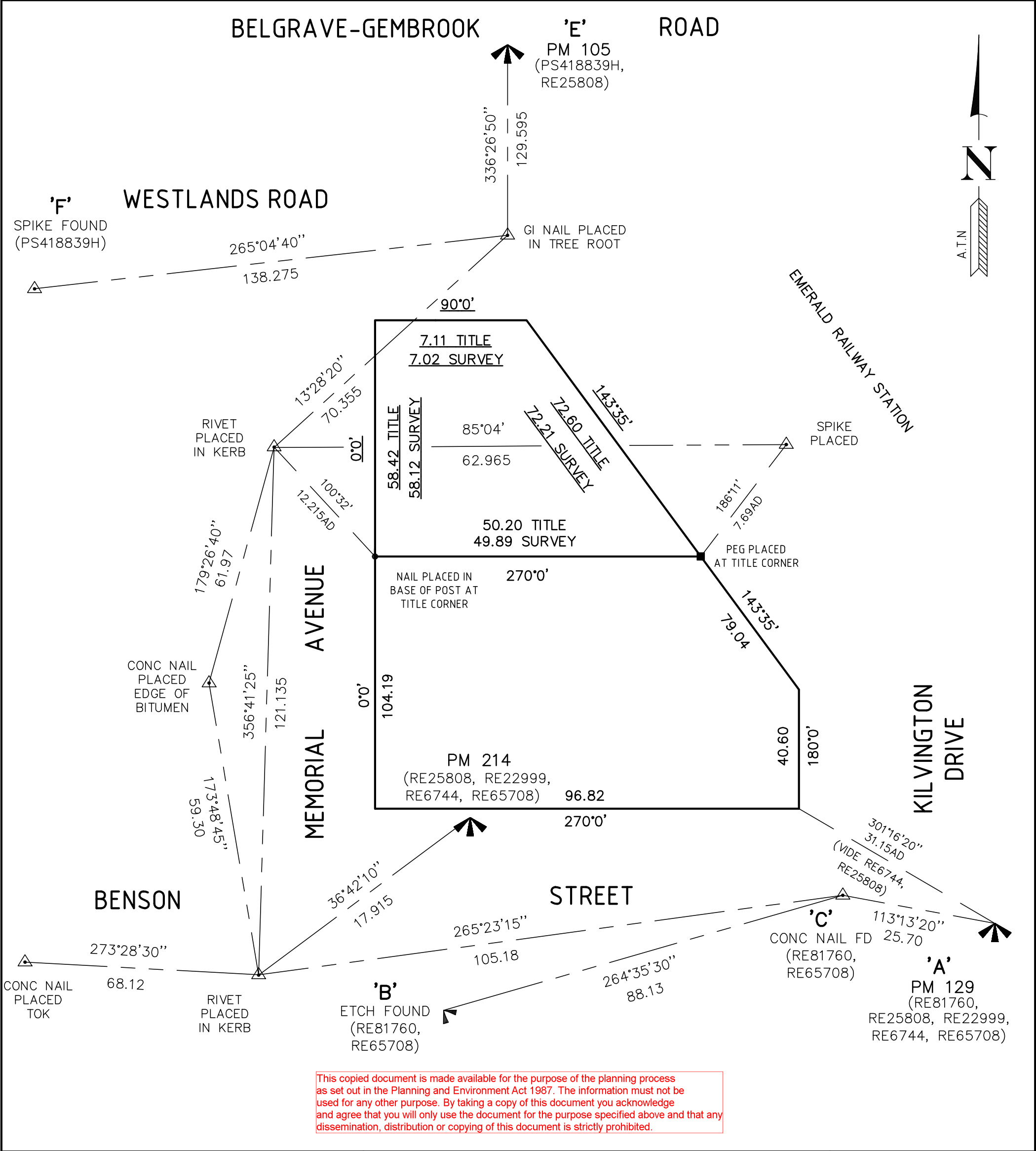
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| 1 | PRELIMINARY | 20/03/2025 | | | | 3D VIEW | | SHEET No.: A07 |
| 2 | DRAINAGE DETAILS UPDATED | 24/03/2025 | | | | PROJECT No.: 25010 | PROJECT DATE: 04/03/2025 | |
| 3 | PLANNING ISSUE | 11/04/2025 | | | | DWN BY: DS | SCALE @ A3: | |
| 4 | PLANNING RFI | 21/05/2025 | | | | CLIENT: EMERALD RSL | | |

| | | |
|--|--|----------------------------|
| RECORD OF HAVING RE–ESTABLISHED A CADASTRAL BOUNDARY | | |
| Surveying (Cadastral Surveys) Regulations 2015 – Schedule 4. Regulation 16 | | |
| LOCATION OF LAND | NOTATIONS | |
| PARISH: GEMBROOK | SURVEY INFORMATION | |
| TOWNSHIP: EMERALD | DATUM: 'A'–'B'–'C' VIDE RE81760 | |
| SECTION: A | 'A'–'D'–'E' VIDE RE25808 | |
| CROWN ALLOTMENT: 5 (PART) | 'E'–'F' VIDE PS418839H | |
| CROWN PORTION: | POSTAL ADDRESS: 3 MEMORIAL AVENUE EMERALD 3782 | |
| LAST PLAN REFERENCE: LOT 25 ON LP5809 | MGA 2020 Co–ordinates E: 362,812 ZONE: 55 | |
| TITLE REFERENCE: | (of approx. centre of land in plan) N: 5,800,389 | |
| <p>PARTIAL SURVEY ONLY. DIMENSIONS SHOWN UNDERLINED ARE NOT A RESULT OF THIS SURVEY.</p> <p>THIS SURVEY HAS DEFINED THE SOUTHERN BOUNDARY OF LOT 25 ON LP5809. MULTIPLE DISCREPANCIES WERE IDENTIFIED IN LP5809, PARTICULARLY IN THE ALIGNMENT OF MEMORIAL AVENUE AND THE DRAINAGE RESERVE.</p> <p>MEMORIAL AVENUE HAS AN EXCESS OF LAND. THE WESTERN SIDE OF MEMORIAL AVENUE STATES AN OVERALL DISTANCE OF 162.31m WHILE THE EASTERN SIDE OF MEMORIAL AVENUE STATES A DISTANCE OF 162.61m. OUR SURVEY HAS CUT BACK TITLE BY 0.30m TO AGREE WITH THE WESTERN ALIGNMENT OF MEMORIAL AVENUE. THIS ALIGNMENT AGREED WELL WITH PS418839H AND FENCING ALONG WESTLANDS STREET. GOOD AGREEMENT WITH FENCING WAS ALSO FOUND ON THE NORTH SIDE OF BENSON STREET TO THE WEST OF MEMORIAL AVENUE.</p> <p>THE DRAINAGE RESERVE TO THE SOUTH OF LOT 25 LP5809 ALSO HAS A LARGE MISCLOSE. I HAVE MAINTAINED THE 1.83m WIDTH OF THIS DRAINAGE RESERVE AS PER THE REST OF LP5809. THIS FIT WELL WITH EXISTING FENCING ALONG MEMORIAL AVENUE.</p> <div>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</div> | | |
| ORIGINAL SHEET SIZE: A3 | | CERTIFICATION BY SURVEYOR |
| FILE: BN | NOT TO SCALE | SHEET 1 OF 2 |
| SURVEYORS FILE REF: 25–02–386 | | |
| M. J. Reddie Surveys Pty Ltd ABN 49 005 965 257 1 Horner Street, Beaconsfield. 3807 P.O. Box 268, Berwick. 3806 Phone (03) 9707 4117 Fax (03) 9707 4428 | | LUKE M. REDDIE / VERSION 1 |

SEE SHEET 1 FOR DETAILS



| | | | | | |
|--|--------------|----------------------------|--|--------------|--|
| ORIGINAL SHEET SIZE: A3 | | CERTIFICATION BY SURVEYOR | | SHEET 2 OF 2 | |
| FILE: BN | NOT TO SCALE | | | | |
| SURVEYORS FILE REF: 25-02-386 | | | | | |
| <div>M. J. Reddie Surveys Pty Ltd</div> <div>ABN 49 005 965 257</div> <div>1 Horner Street, Beaconsfield. 3807</div> <div>P.O. Box 268, Berwick. 3806</div> <div>Phone (03) 9707 4117 Fax (03) 9707 4428</div> | | LUKE M. REDDIE / VERSION 1 | | | |
| | | | | | |