
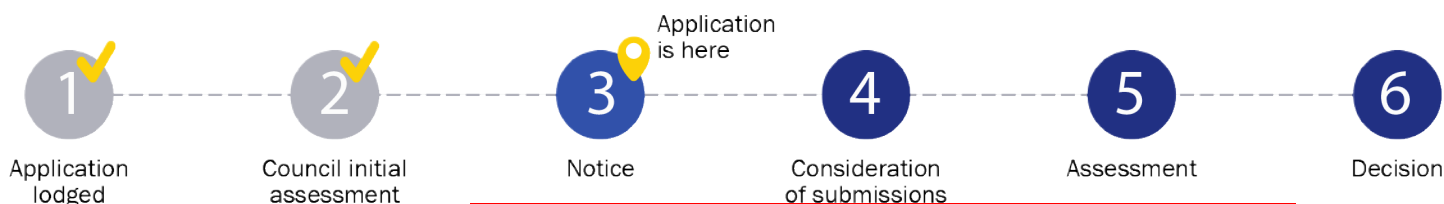


Notice of Application for a Planning Permit

The land affected by the application is located at:	L229 PS902144 V12580 F647 14 Kookaburra Rise, Pakenham VIC 3810
The application is for a permit to:	Buildings and works (Construction of a Dwelling and a Fence)
A permit is required under the following clauses of the planning scheme:	
42.01-2	Construct a building or construct or carry out works
42.01-2	Construct a fence
APPLICATION DETAILS	
The applicant for the permit is:	Fairbairn Frenken Homes Pty Ltd
Application number:	T250189
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	
12 June 2025	
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected.
The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.	



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ePlanning

Application Summary

Portal Reference A22510EU

Basic Information

Proposed Use	CONSTRUCTION OF A NEW SINGLE STOREY DWELLING WITH DOUBLE GARAGE ON LAND THAT IS SUBJECT TO AN ENVIRONMENTAL SIGNIFICANCE OVERLAY
Current Use	VACANT
Cost of Works	\$314,248
Site Address	14 Kookaburra Rise Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Fees

Regulation Fee Condition		Amount	Modifier	Payable
9 - Class 4	More than \$100,000 but not more than \$500,000	\$1,420.70	100%	\$1,420.70
		Total		\$1,420.70



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

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Documents Uploaded

Date	Type	Filename
03-04-2025	A Copy of Title	TITLE.pdf
03-04-2025	Site plans	SITE PLAN MARKED UP.pdf
03-04-2025	A proposed floor plan	229 FLOOR PLAN.pdf
03-04-2025	Proposed elevation plan	229 ELEVATIONS.pdf
03-04-2025	Site plans	229 SITE PLAN.pdf
03-04-2025	Overlay Requirements	ESO 42.01-s4.pdf
03-04-2025	Encumbrance	POS CURRENT 28.03.2025.pdf
03-04-2025	Encumbrance	AX385769J.pdf
03-04-2025	Additional Document	Landscaping Plan - Lot 229 Kookaburra Rise, Pakenham 250402-LAND SCAPING.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit



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20 Siding Avenue, Officer, Victoria

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 2

VOLUME 12580 FOLIO 647

Security no : 124123224306Q

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LAND DESCRIPTION

Lot 229 on Plan of Subdivision 902144W.

PARENT TITLES :

Volume 12330 Folio 800 Volume 12580 Folio 422

Created by instrument PS902144W 01/11/2024

REGISTERED PROPRIETOR

COVENANT PS902144W 01/11/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS902144W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AY880236C (E)	DISCHARGE OF MORTGAGE	Registered	14/02/2025
AY880237A (E)	TRANSFER	Registered	14/02/2025
AY880238X (E)	MORTGAGE	Registered	14/02/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 14 KOOKABURRA RISE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Effective from 14/02/2025

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 2 of 2

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Document Identification	PS902144W
Number of Pages (excluding this cover sheet)	5
Document Assembled	28/03/2025 09:52

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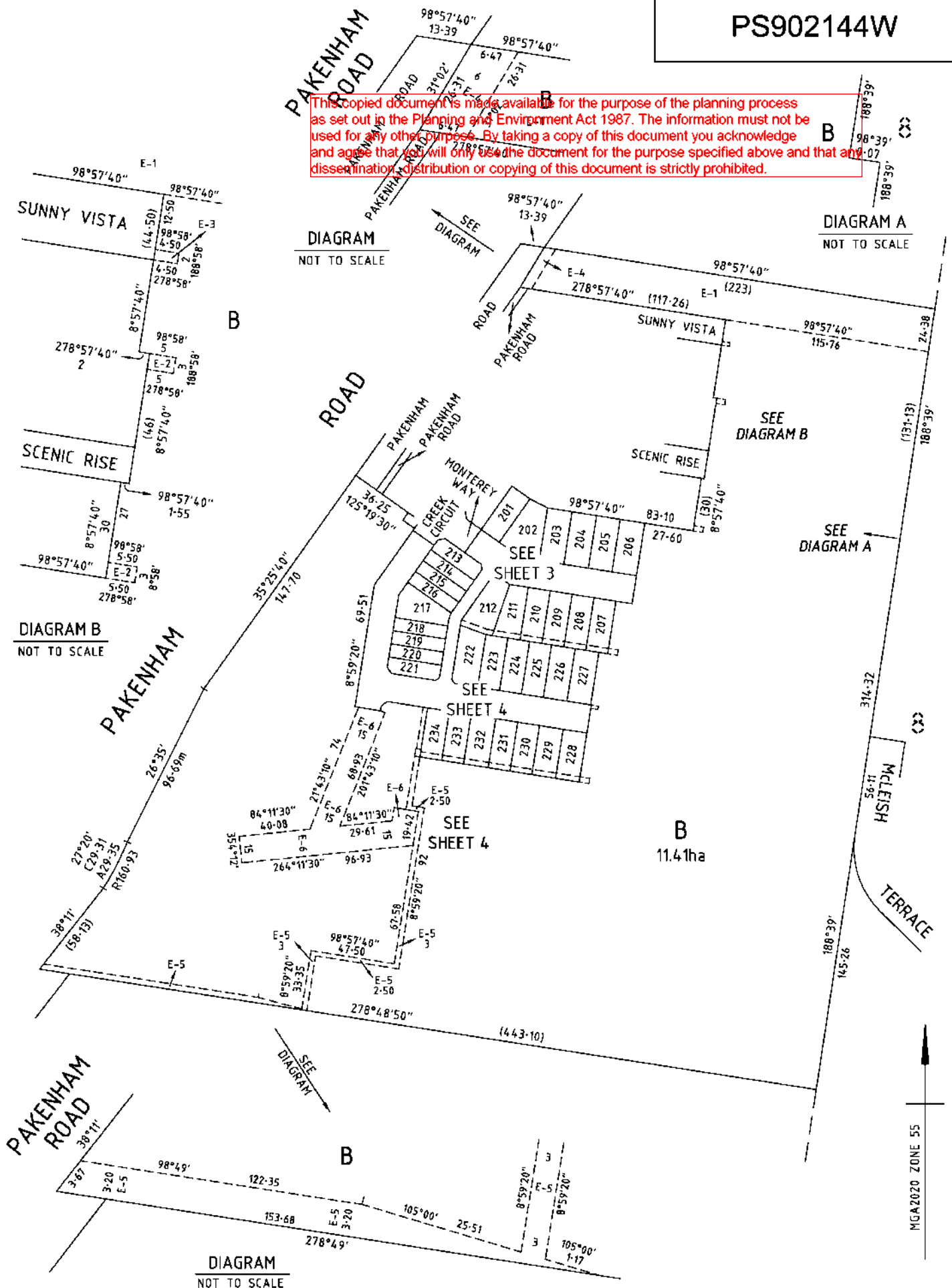
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PLAN OF SUBDIVISION			EDITION 1	PS902144W	
LOCATION OF LAND			Council Name: Cardinia Shire Council		
PARISH: NAR NAR GOON			Council Reference Number: S2-0117		
TOWNSHIP: PAKENHAM			Planning and Environment Act 1967: This information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.		
SECTION: —			SPEAR Reference Number: S182118A		
CROWN ALLOTMENT: 32(PT), 33(PT) & 34(PT)			Certification		
TITLE REFERENCE: VOL. 12580 FOL. 422 VOL. 12330 FOL. 800			This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 16/08/2023		
LAST PLAN REFERENCE: PS848743W (LOT A) LP86652 (LOT 2)			Public Open Space		
POSTAL ADDRESS: 14 SUNNY VISTA (at time of subdivision) PAKENHAM ROAD PAKENHAM 3810			A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification		
MGA CO-ORDINATES: E: 366 200 ZONE: 55 (of approx centre of land in plan) N: 5 786 450 GDA 2020			Digitally signed by: Sonia Higgins for Cardinia Shire Council on 27/06/2024		
VESTING OF ROADS AND/OR RESERVES			Statement of Compliance issued: 28/10/2024		
IDENTIFIER			Public Open Space		
ROAD R1			A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance		
COUNCIL/BODY/PERSON			NOTATIONS		
CARDINIA SHIRE COUNCIL			LOTS 1 TO 200 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.		
NOTATIONS			LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 5		
DEPTH LIMITATION: DOES NOT APPLY			OTHER PURPOSE OF PLAN:		
This is a SPEAR plan.			TO REMOVE THAT PART OF THE SEWERAGE EASEMENT CREATED AS E-3 ON PS848743W CONTAINED WITHIN MONTEREY WAY ON THIS PLAN.		
STAGING:			GROUND'S FOR REMOVAL OF EASEMENT:		
This is not a staged subdivision.			AGREEMENT FROM ALL INTERESTED PARTIES		
Planning Permit No. T160690			(SECTION 6(1)K SUBDIVISION ACT 1988)		
SURVEY:			WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958		
This plan is based on survey.					
This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675					
Estate: The Rise - Pakenham Phase No.: 02 No. of Lots: 34 + Lot B PHASE AREA: 1.772ha					
EASEMENT INFORMATION					
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO LOTS 213 TO 216 (BOTH INCLUSIVE) AND 218 TO 221 (BOTH INCLUSIVE) IN THIS PLAN.					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	
E-1, E-4 E-2 E-2, E-3 E-7, E-5 E-7, E-6 E-4	PIPELINE DRAINAGE SEWERAGE SEWERAGE DRAINAGE SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	24.38 SEE DIAG SEE DIAG SEE DIAG SEE DIAG 6	INST. D613929 PS848743W PS848743W THIS PLAN THIS PLAN PS848743W	VICTORIA PIPELINES COMMISSION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION SOUTH EAST WATER CORPORATION CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION	
Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au			SURVEYORS FILE REF: 2000490/02 2000490-02-PS-V6.DWG		ORIGINAL SHEET SIZE: A3
			Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (6), 03/06/2024, SPEAR Ref: S182118A		SHEET 1 OF 5
			Land Use Victoria Plan Registered 10:25 AM 01/11/2024 Assistant Registrar of Titles		

PS902144W

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2000490/02

SCALE
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LENGTHS ARE IN METRES

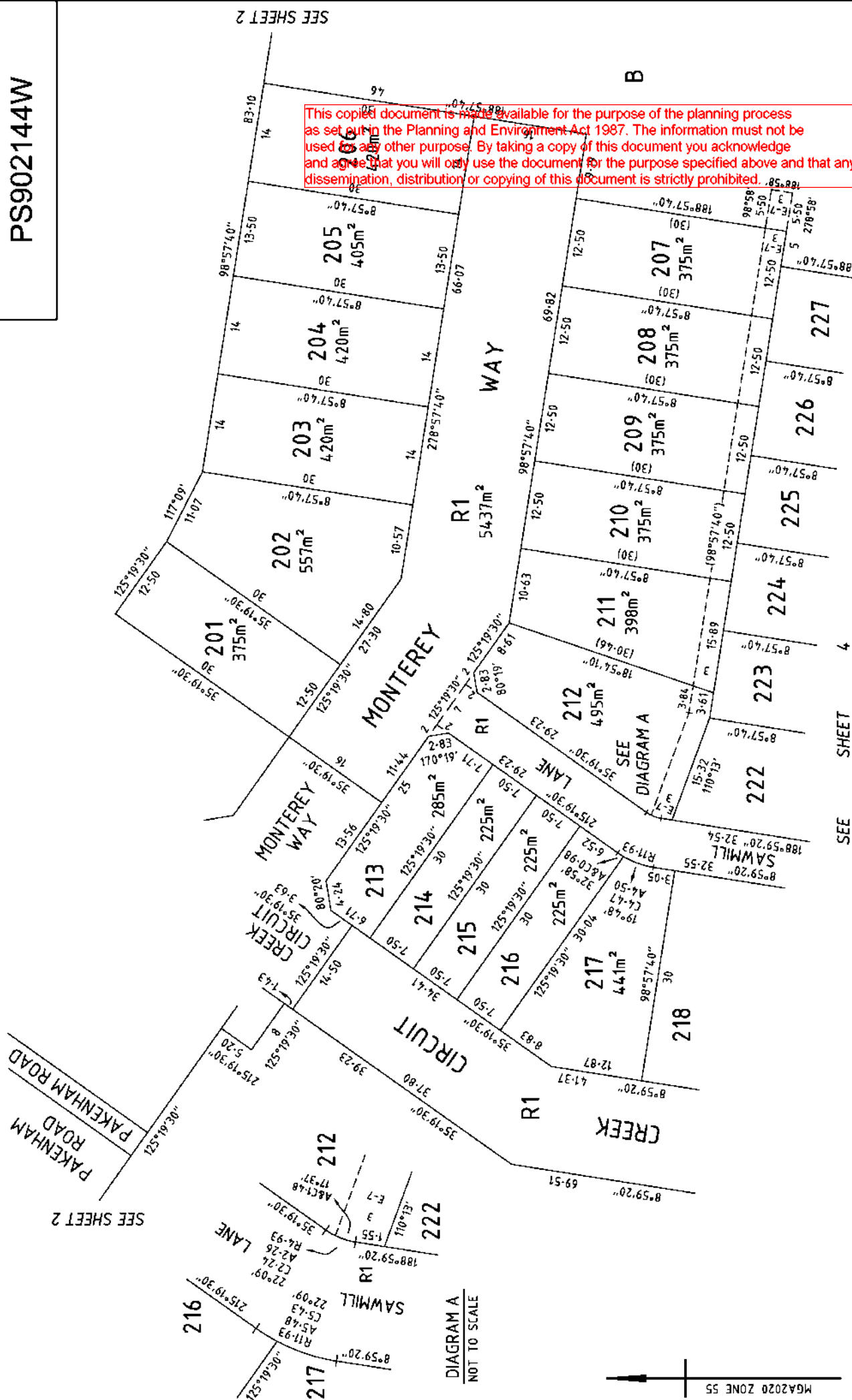
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SHEET 2

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03/06/2024, SPEAR Ref: S182118A

Digitally signed by:
Cardinia Shire Council,
27/06/2024,
SPEAR Ref: S182118A

PS902144W



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/02

SCALE
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LENGTHS ARE IN METRES

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SHEET 3

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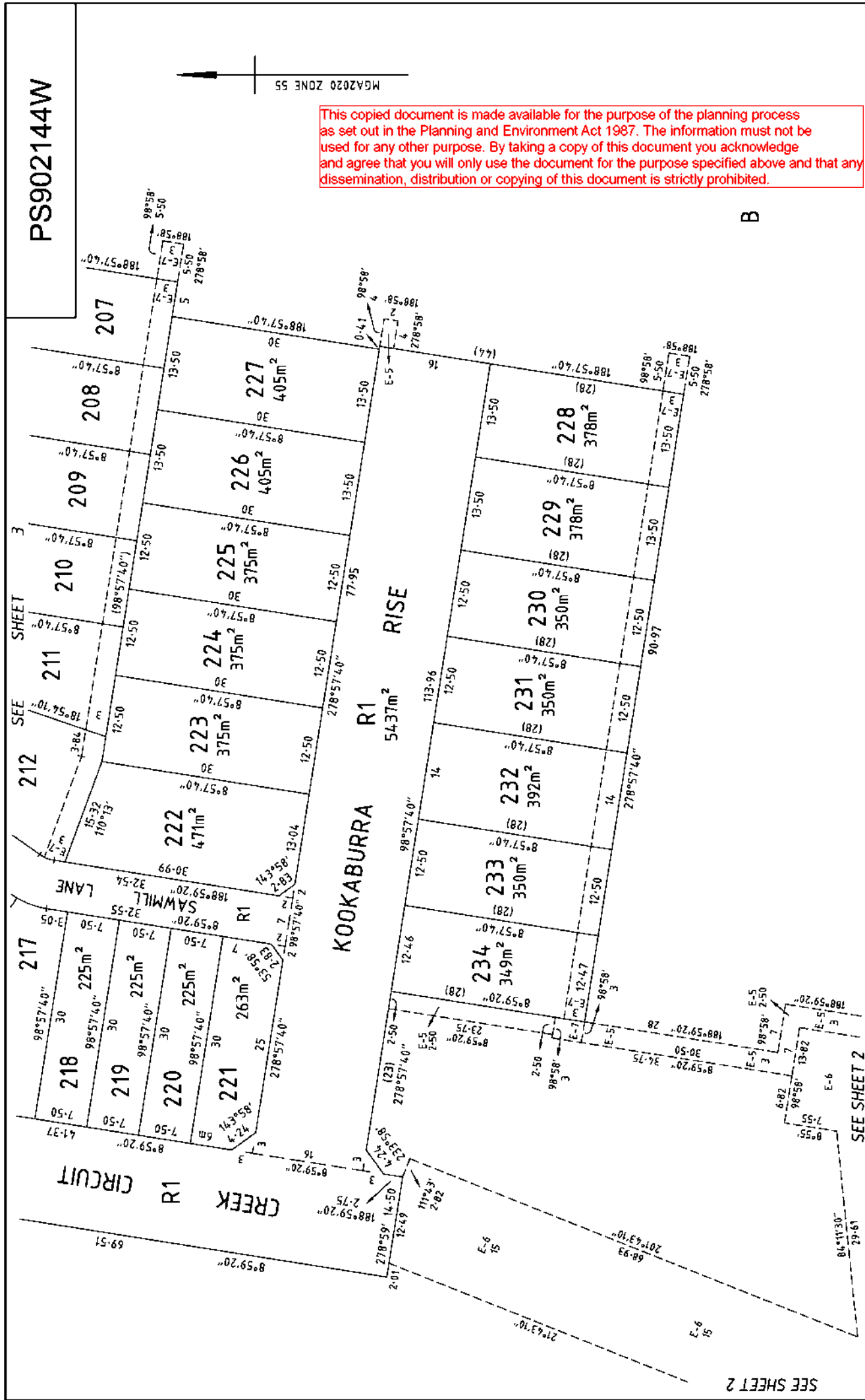
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 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /02		SCALE 1 : 500	5 0 5 10 15 20 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 4
			Digitally signed by: Surveyor, Cardinia Shire Council, 27/06/2024, SPEAR Ref: S182116A			

SUBDIVISION ACT 1988**PS902144W****CREATION OF RESTRICTION 'A'**

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

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LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:

- (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
- (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



Beveridge Williams
development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

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2000490/02

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SHEET 5

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

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Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC



Department of Environment, Land, Water & Planning

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Electronic Instrument Statement

Postcode 3809

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	DAVID PHILIP LITTLEJOHN
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 447 Collins Street, Melbourne VIC 3000 Australia
PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

Table of contents

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Deed of Agreement

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Date 06/10/2023

Parties	Cardinia Shire Council of 20 Siding Avenue, Officer 3809 (Council)
	BNG (PAKENHAM) PTY LTD (ACN 640125686) of Level 5, 991 Whitehorse Road, Box Hill VIC 3128 (Owner)

Recitals	<p>A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.</p> <p>B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.</p> <p>C. On 19 December 2017 Council issued Planning Permit No. T160690 (Planning Permit), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.</p> <p>D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (Amended Planning Permit).</p> <p>E. Condition 41 of the Amended Planning Permit provides that:</p> <p><i>Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:</i></p> <p>a) <i>A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.</i></p> <p>b) <i>A requirement that each land owner must maintain the</i></p>
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plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

- F. The Parties have agreed to enter into this Agreement:
- (a) to give effect to the requirements of the Amended Planning Permit;
 - (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
 - (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

- Act** means the *Planning and Environment Act 1987* (Vic).
- Agreement** means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.
- Building Design Guidelines** means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

Planning Scheme	means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
Plantation Reserve	means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
Subject Land	means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
VCAT	means the Victorian Civil and Administrative Tribunal.
Vegetation Plan	means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

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8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

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8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

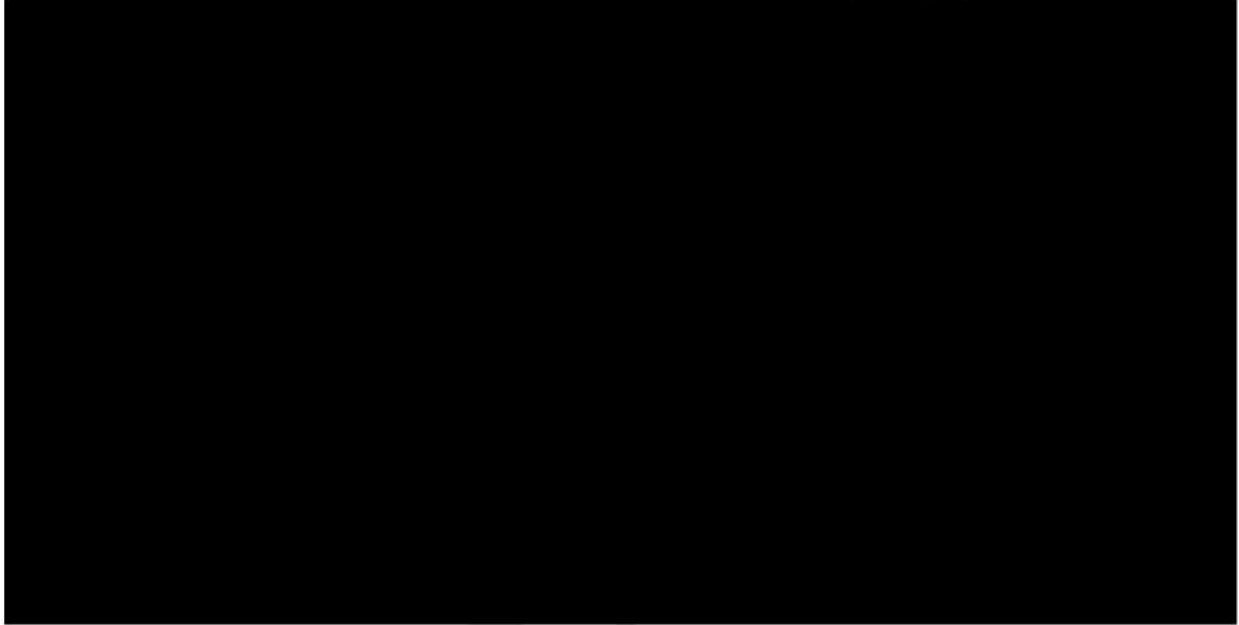
This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

Schedule

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Mortgagee's Consent

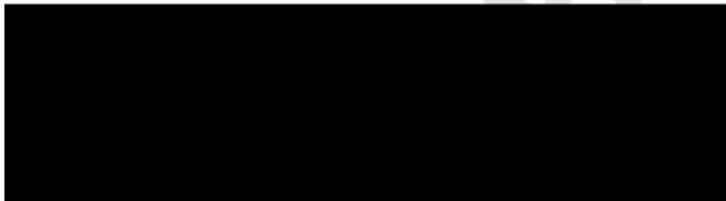
Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.



Executed as a deed

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**Signed, sealed and delivered as a deed by
the parties**



**Executed by BNG (PAKENHAM) PTY LTD
(ACN 640125686) in accordance with
section 127 of the Corporations Act 2001 (Cth)**

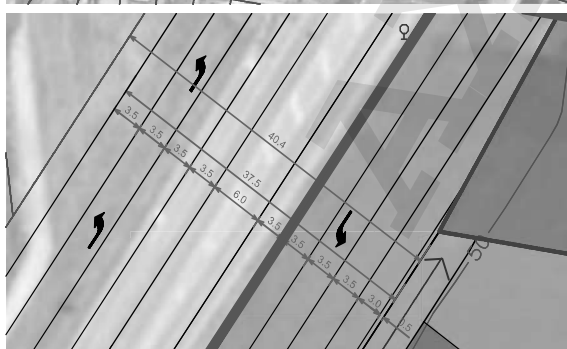
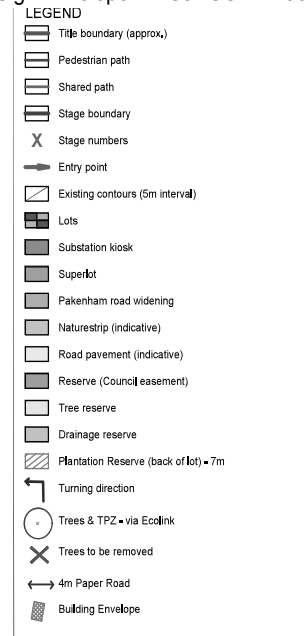


Schedule 1

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Building Envelope Plan

AX385769J



Pakenham Road - Cross Section

Notes:

- This plan is subject to Council approval.
- All dimensions and areas are subject to survey and final computations.
- The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
- All roads are 16m local access level 1 unless noted otherwise
- Road pavement is indicative only and subject to detailed engineering design.
- Arc dimensions shown are length of arc (not chord)

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

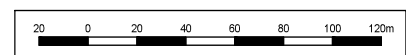
* Stage includes 1 Superlot

Lot Schedule by Area		
Lot Size	Number of Lots	%
0-299m2	42	20.8
300-399m2	56	27.7
400-499m2	81	40.1
500-599m2	3	1.5
600-699m2	0	0.0
700m2+	20	9.9
Total	202	100

* Table does not include superlot

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

* Indicates inclusion in NDA



Schedule 2

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Vegetation Plan

AX385769J

10/06/2021
C254card

SCHEDULE 4 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

Shown on the planning scheme map as ESO4 .

PAKENHAM NORTH RIDGE

1.0
10/06/2021
C254card

Statement of environmental significance

The Pakenham ridge has regional significance for biodiversity. It makes a substantial contribution to biodiversity in the Gippsland Plain Bioregion as well as the Pakenham area. The area has remnants of Grassy Forest, an ecosystem that is vulnerable in the area. The Cobra Greenhood Orchid (*Pterostylis grandiflora*) which is of state significance, and the Green Scentbark (*Eucalyptus fulgens*) which is of state/national significance, are found in the area. The area is characterised by a geology of Devonian Granitic and Silurian Sediment origin, moderate to steep slopes, and areas of remnant vegetation. These characteristics contribute to environmental values including landscape quality, water quality, and habitat of botanical and zoological significance. These characteristics are also a significant factor contributing to environmental hazards such as erosion, salinity and fire risk, and susceptibility to visual intrusion from buildings and works.

2.0
10/06/2021
C254card

Environmental objective to be achieved

To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.

To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.

To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.

To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.

To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors.

3.0
10/06/2021
C254card

Permit requirement

A permit is required to construct a fence.

A permit is not required to remove, destroy or lop any vegetation if:

- The vegetation is a tree overhanging the roof of a building used for Accommodation. This exemption only allows the removal, destruction or lopping of that part of the tree which is overhanging the building and which is necessary for fire protection.
- The vegetation is dead as a result of natural circumstances or as a result of the spread of noxious weeds and which has been assessed as being suitable for removal by an authorised officer of the responsible authority. This exemption does not apply to standing dead trees with a trunk diameter of 40 centimetres or more at a height of 1.3 metres above ground level.
- It is the minimum extent necessary to maintain utility services for the transmission of water, sewage, gas, electricity, electronic communications or the like, provided that the removal, destruction or lopping is with the written consent of the responsible authority.
- It is necessary for maintenance by the Cardinia Shire Council of works including any road, drain, essential service or public facility.
- It is the removal of any vegetation from an existing dam wall where the vegetation may impact on the structural stability of the dam wall.
- The vegetation is required to be pruned or lopped (but not removed or destroyed) as part of normal domestic or horticultural practice for the species.

CARDINIA PLANNING SCHEME

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- The vegetation is an environmental weed contained in the table below, that is not listed under the Schedule to Clause 43.01 (Heritage Overlay) and there is no condition listed in the table:

Botanical name	Common name	Condition
<i>Acacia baileyana</i>	Cootamundra Wattle	
<i>Acacia decurrens</i>	Early Black Wattle	
<i>Acacia elata</i>	Cedar Wattle	
<i>Acacia floribunda</i>	White Sallow Wattle	
<i>Acacia longifolia</i>	Coast / Sallow Wattle	
<i>Acacia saligna</i>	Golden Wreath Wattle	
<i>Acacia sophorae</i>	Coastal Wattle	
<i>Acer spp.</i>	Maple	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Agapanthus praecox orientalis</i>	African Lily	
<i>Allium triquetrum</i>	Angled Onion	
<i>Alstromeria aurea</i>	Peruvian Lily	
<i>Amaryllis belladonna</i>	Belladonna Lily	
<i>Anredera cordifolia</i>	Madeira vine	
<i>Anthoxanthum odoratum</i>	Sweet Vernal Grass	
<i>Arbutus unedo</i>	Strawberry Tree	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Arctotheca calendula</i>	Cape Weed	
<i>Asparagus asparagoides</i>	Bridal Creeper	
<i>Asparagus scandens</i>	Asparagus Fern	
<i>Berberis darwinii</i>	Darwin's Berberry	
<i>Betula spp.</i>	Birch	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Briza minor</i>	Shivery Grass	

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Botanical name	Common name	Condition
<i>Briza maxima</i>	Quaking Grass	
<i>Buddleia variabilis</i>	Butterfly Bush	
<i>Calicotome spinosa</i>	Spiny broom	
<i>Castanea spp.</i>	Chestnut	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Cestrum elegans</i>	Red Cestrum	
<i>Chamaecytisus palmensis</i>	Tree Lucerne	
<i>Chrysanthemoides monilifera</i>	Boneseed	
<i>Chrysanthemum maximum</i>	Shasta Daisy	
<i>Cirsium vulgare</i>	Spear thistle	
<i>Conium maculatum</i>	Hemlock	
<i>Convolvulus spp.</i>	Bindweeds	
<i>Conyza bonariensis</i>	Tall Fleabane	
<i>Coprosma repens</i>	Mirror Bush	
<i>Coprosma repens</i>	Tuapata	
<i>Coprosma robusta</i>	Karamu	
<i>Cornus capitata</i>	Evergreen Dogwood	
<i>Cortaderia selloana</i>	Pampas Grass	
<i>Corymbia maculata</i>	Spotted Gum	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Cotoneaster spp.</i>	Cotoneaster	
<i>Crataegus monogyna</i>	Hawthorn	
<i>Crocosmia x crocosmiifolia</i>	Montbretia	
<i>Cytisus palmensis</i>	Tree Lucerne	
<i>Cytisus scoparius</i>	English Broom	

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Botanical name	Common name	Condition
<i>Cynodon dactylon</i>	Couch grass	
<i>Cyperus erogrostis</i>	Drain Flat Sedge	
<i>Delairea odorata</i>	Cape Ivy	
<i>Dipogon lignosus</i>	Common Dipogon (Dolichos)	
<i>Dodonea viscosa</i>	Sticky Hop Bush	
<i>Echium plantagineum</i>	Paterson's Curse	
<i>Ehrharta erecta</i>	Panic Veldt Grass	
<i>Ehrharta longiflora</i>	Annual Veldt grass	
<i>Erica baccans</i>	Berry-flower Heath	
<i>Erica lusitanica</i>	Spanish Heath	
<i>Eucalyptus botryoides</i>	Southern Mahogany Gum	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Euryops abrotanifolius</i>	Euryops	
<i>Foeniculum vulgare</i>	Fennel	
<i>Fraxinus angustifolia</i>	Narrow-leafed Ash	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Fraxinus ornus</i>	Manna Ash	
<i>Fraxinus oxycarpa</i>	Caucasian Ash	
<i>Galium aparine</i>	Cleavers	
<i>Genista linifolia</i>	Flax Leaf Broom	
<i>Genista monspessulana</i>	Cape/Montpellier Broom	
<i>Hakea salicifolia</i>	Willow Hakea	
<i>Hakea suaveolens</i>	Sweet Hakea	
<i>Hedra helix</i>	English Ivy	
<i>Holcus lanatus</i>	Yorkshire Fog	

CARDINIA PLANNING SCHEME

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Botanical name	Common name	Condition
<i>Hypericum androsaemum</i>	Tutsan	
<i>Hypericum perforatum</i>	St.John's Wort	
<i>Hypericum tetrapterum</i>	St. Peter's Wort	
<i>Ilex aquifolium</i>	Holly	
<i>Ipomoea indica</i>	Morning Glory	
<i>Lathyrus latifolius</i>	Sweet Pea	
<i>Leptospermum laevigatum</i>	Coast Tea Tree	
<i>Leycesteria formosa</i>	Himilayan Honeysuckle	
<i>Ligustrum lucidum</i>	Broad-Leaved Privet	
<i>Ligustrum vulgare</i>	Privet	
<i>Lonicera japonica</i>	Japanese Honeysuckle	
<i>Malus spp</i>	Apple	
<i>Melaleuca armillaris</i>	Giant Honey Myrtle	
<i>Melaleuca hypericifolia</i>	Honey Myrtle	
<i>Myosotis sylvatica</i>	Common Forget-me-not	
<i>Myrsiphyllum scandens</i>	Asparagus Fern	
<i>Myrsiphyllum asparagoides</i>	Bridal Creeper	
<i>Myrsiphyllum asparagoides</i>	Smilax	
<i>Oenothera stricta</i>	Common Evening Primrose	
<i>Opuntia aurantiaca</i>	Prickly Pear	
<i>Oxalis pes-caprae</i>	Soursob	
<i>Portulaca oleracea</i>	Common Purslane	
<i>Paraserianthis lapantha</i>	Cape Wattle	

CARDINIA PLANNING SCHEME

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Botanical name	Common name	Condition
<i>Passiflora sp. aff. mollissima</i>	Banana Passionfruit	
<i>Pentaglottis serpyllifera</i>	Alkante	
<i>Phalaris aquatica</i>	Toowoomba Canary Grass	
<i>Pennisetum clandestinum</i>	Kikuyu	
<i>Phytolacca octandra</i>	Inkweed	
<i>Pinus radiata</i>	Monterey Pine	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Pittosporum crassifolium</i>	Karo	
<i>Pittosporum undulatum</i>	Sweet Pittosporum	
<i>Polygalia myrtifolia</i>	Myrtle Leaf Milkwort	
<i>Populus tremuloides</i>	American Aspen	
<i>Prunus cerasifera</i>	Cherry Plum	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Prunus laurocerasus</i>	Cherry Laurel	
<i>Prunus lusitanica</i>	Portugal Laurel	
<i>Prunus spp.</i>	Plum	Except <i>Prunus cerasifera</i> (Cherry Plum)
<i>Psoralea pinnata</i>	Bloukeur (Pinnate Scurf-Pea)	
<i>Pyracantha spp.</i>	Firethorns	
<i>Quercus spp.</i>	Oak	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Ranunculus repens</i>	Creeping Buttercup	
<i>Rhamnus alaternus</i>	Italian Buckthorn	
<i>Ricinus communis</i>	Castor Oil Plant	
<i>Robinia pseudacacia</i>	Black Locust	
<i>Romulea rosea var australis</i>	Onion Grass	

CARDINIA PLANNING SCHEME

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Botanical name	Common name	Condition
<i>Rosa rubiginosa</i>	Sweet Briar	
<i>Rubus fruticosus</i> spp. agg.	Blackberry	
<i>Salix babylonica</i>	Weeping willow	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Salix</i> spp.	Willow	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Salpichroa origanifolia</i>	Pampas Lily of the Valley	
<i>Senecio jacobaea</i>	Ragwort	
See Cape Wattle	False Wattle	
<i>Solanum linnaeanum</i>	Apple of Sodom	
<i>Solanum mauritianum</i>	Tree Tobacco	
<i>Solanum nigrum</i>	Black Nightshade	
<i>Solanum pseudocapsicum</i>	Madeira Winter Cherry	
<i>Sollya heterophylla</i>	Blue-bell Creeper	
<i>Spartina anglica</i>	Common Cord-grass	
<i>Tradescantia fluminensis</i>	Wandering Jew/Trad	
<i>Trapaolum majus</i>	Nasturtium	
<i>Ulex europaeus</i>	Gorse	
<i>Verbascum thapsus</i>	Great Mullein	
<i>Viburnum timus</i>	Laurestinus	
<i>Vinca major</i>	Blue Periwinkle	
<i>Viola odorata</i>	Fragrant Violet	
<i>Viola riviniana</i>	Wood Violet	
<i>Watsonia borbonica</i>	Rosy Watsonia	
<i>Watsonia meriana</i> var. <i>bulbillifera</i>	Bulbil Watsonia	

Botanical name	Common name	Condition
<i>Zantedeschia aethiopica</i>	White Arum Lily	

4.010/06/2021
C254card**Application requirements**

The following application requirements apply to an application for a permit under 42.01, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

Buildings and works:

- The location of any existing buildings and works.
- Details of elevations, including external colours, materials and finishes.
- The location of any existing vegetation and any vegetation proposed to be removed.
- Details of the location and extent of any earthworks.

To remove, destroy or lop native vegetation:

- A photograph or site plan (drawn to scale) showing the boundaries of the site, existing vegetation and the vegetation to be removed.
- A description of the vegetation including understory to be removed, including the species, extent, number and size (diameter at 1.3 metres above natural ground level) of any trees to be removed and the Ecological Vegetation Class of native vegetation.
- Location of any hollow bearing trees.
- Topographic information, highlighting ridges, crests and hilltops, streams and waterways, slopes of more than 20 percent, drainage lines, low lying areas, saline discharge areas, and areas of existing erosion.
- A written explanation of the steps that have been taken to:
 - Avoid the removal of vegetation, where possible.
 - Minimise the removal of vegetation.
 - Appropriately replace and/or compensate the loss of vegetation, if required.
- A copy of any property vegetation plan that applies to the site.
- Where the removal, destruction or lopping of vegetation is to create defensible space, a statement explaining why removal, destruction or lopping of vegetation is required having regard to other available bushfire risk mitigation measures. This does not apply to the creation of defensible space in conjunction with an application under the Bushfire Management Overlay.

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5.010/06/2021
C254card**Decision guidelines**

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

General

- The Land Capability Study for the Cardinia Shire (February 1997).
- The need for an environmental and landscape impact assessment report, prepared by a properly qualified person and to the satisfaction of the responsible authority, that includes:
 - An appropriate consideration of alternative subdivision layouts and alternative sites for buildings

- Possible design responses and design guidelines
- Consideration of appropriate environmental management practices, including replanting of native vegetation and ongoing protection and management of vegetation and habitat areas.
- The protection and enhancement of environmental significance having regard to:
 - Protecting habitat areas, landscape areas and vantage points of high quality
 - Protecting and enhancing areas of native vegetation
 - Setting development back from the ridgeline to allow appreciation of the ridge landform and topography, and to maintain the natural skyline of the ridge
 - The visual prominence of land above the 60-metre contour as a defining landscape feature
 - The integration of buildings and works with environmental and landscape features
 - Appropriate environmental management practices.
- Measures to address environmental hazards or constraints including erosion, drainage and fire.

Buildings and works

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- The impact of any buildings and works on areas of remnant vegetation, and habitat of botanical and zoological significance.
- The impact of proposed buildings and works on the landscape character of the area, including prominent ridgelines and significant views.
- The control of the density of buildings and subdivision necessary to meet environmental objectives.
- The establishment of appropriate building envelopes and the benefits of requiring building envelopes to be shown on plans of subdivision.
- Whether the siting, height, scale, materials, colours and form of proposed buildings and works, including roads and infrastructure service lines, have been designed to have least visual effect on the ridge environment and landscape.
- Whether approval of any proposed buildings and works is compatible with maintaining the visual, natural and cultural significance of the ridge landscape.
- The benefit of permit conditions requiring all building materials to be non-reflective and of colours that are complementary to those of the natural landscape.
- The benefit of conditions requiring the landscaping of buildings and works, while also having regard to the maintenance of existing viewlines.

Vegetation and habitat

- The retention of remnant vegetation and wildlife habitat, and the need to plant vegetation along waterways, gullies, ridgelines and property boundaries.
- The conservation and enhancement of the area's native vegetation and habitat values, including allowing for natural regeneration of native vegetation
- Providing linked open space and local habitat corridors.
- Maintaining vegetation as a key element of the landscape, and maintaining and enhancing the continuity of vegetation.
- The significance of any vegetation proposed to be removed, including its rarity and habitat value.
- The need to revegetate or landscape the site with native species and dispersing buildings to allow trees to be planted between them.

Response to slope

- The availability of other alternative sites, alternative building designs or alternative construction practices for proposed buildings and works that minimise cut and fill and would better meet the environmental objectives of this schedule, having regard to the size and topography of the land, retention of vegetation, and the form and nature of the proposed buildings and works.
- The availability of reasonable alternative routes, alternative designs or alternative forms of installation for roads, access driveways and infrastructure service lines that would avoid impact on vegetation and habitat areas, follow the contours of the land, minimise cut and fill and better meet the environmental objectives of this schedule.
- Locating buildings and works in low lying positions on a site.
- Slope stability and the need for a geotechnical report, particularly where slopes are greater than 20 percent.

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Waterways

- The protection of waterways and water quality through the appropriate management of stormwater, effluent disposal, erosion, sediment pollution and the provision and protection of vegetation especially along watercourses.

Salinity

- Whether vegetation retention and revegetation is occurring and whether appropriate management techniques are being put in place to address water table and salinity issues.

6.0 Background documents

Ecological Assessment of Pakenham Ridge, Biosis Research (August 2006)

Indigenous Vegetation Survey – an inventory of sites of biodiversity significance in the Pakenham Growth Corridor and adjoining area Volume 2, Ecology Australia (January 2004)

Pakenham North Ridge Precinct Assessment of Landscape Value, Land Design Partnership (June 2007)

Land Capability Study for the Cardinia Shire (February 1997)



ePlanning

Application Summary

Portal Reference	D2252A1
Reference No	T250189

Basic Information

Cost of Works	\$314,248
Site Address	14 Kookaburra Rise Pakenham VIC 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

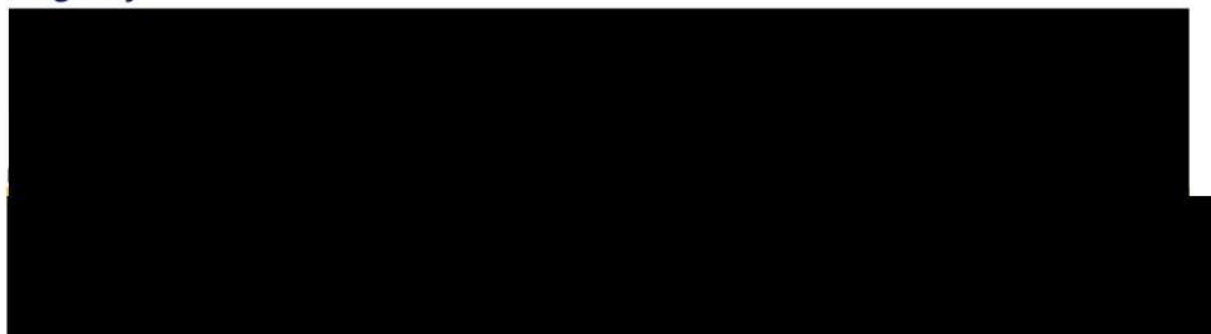
☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Documents Uploaded

Date	Type	Filename
09-04-2025	Additional Document	DA APPROVAL.pdf
09-04-2025	Additional Document	SECTION 50.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810
Email: mail@cardinia.vic.gov.au

Monday to Friday
8.30am-5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T2501859
Address of the Land:	LOT 229 NO 14 KOOKABURRA RISE, PAKENHAM 3810

APPLICANT DETAILS

Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
PROPOSAL TO INCLUDE CLAUSE 42 01-2 A PERMIT IS REQUIRED TO		
CONSTRUCT A FENCE		

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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

Our Ref: 2000490
5 March 2025

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ACN 006 197 235
ABN 38 006 197 235

Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

beveridgewilliams.com.au

**RE: Lot 229 Kookaburra Rise, Pakenham
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. Please refer to any other conditions marked-up on the plans and ensure they are suitably addressed.

Please note;

- **All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.**
- **Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.**
- **Any lot under 300m² in size, requires a planning permit for being under 300m² in addition to the ESO planning permit.**
- **If you require planning services or further information, please contact Andrea Bouilly bouillya@bevwill.com.au or on 0407 050 624**
- **There are no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.**

Should you have any queries, please contact the undersigned on 9524 8888 or via email planlodgement@bevwill.com.au All new submissions, re-submissions, amendment submissions or supplemental submissions, please use www.portal.beveridgewilliams.com.au

LOT 229 KOOKABURRA RISE, PAKENHAM
COLOUR SAMPLES

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BRICKS – AUSTRAL CANTERBURY



ROOF TILES – BRISTLE DEEP SHADOW CLASSIC



WINDOWS & METERBOX – BLACK



FASCIA & GUTTER – NIGHT SKY



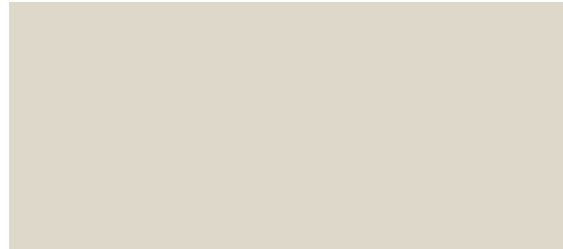
DOWNPIPE TO GARAGE – WINDSPRAY



BALANCE DOWNPIPES – JASPER



RENDER TO PIERS & LETTERBOX – SURFMIST



RENDER TO GARAGE FRONT - WINDSPRAY



GARAGE DOOR COLOUR – MONUMENT



FRONT DOOR COLOUR – DUNE



DRIVEWAY – COLOUR THROUGH CONCRETE – CHARCOAL



DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 05.03.2025

REVIEWED BY: Belinda Blythe



A5. RESCODE SITE COVERAGE STATISTICS

SITE AREA	378.0 M
RESIDENCE	160.7 M
GARAGE	41.4 M
PORCH	2.9 M
ALFRESCO	9.0 M
TOTAL SITE COVER	214.0 M
SITE COVER RATIO	57% (0.566)
DRIVE WAY	28.0 M
OTHER PAVED AREAS	0.0 M
TOTAL HARD COVER	242.0 M
HARD COVER RATIO	64% (0.640)

NOTE: 20 % TO BE PERMEABLE
ie NOT COVERED

DRAINAGE REQUIREMENTS

A/ ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF AS2870.2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:

- SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION

- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING

- WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER

B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1.0M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING.

D/ SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER, FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE SOILS.

NOTES

LEVELS ARE TO AN A.H.D. AND CONTOURS ARE SHOWN ARE 200mm INTERVALS

CONNECT ALL DOWN PIPES TO 90mm DIA. UPVC S.W.DRAINAGE SYSTEM OR TO STORM WATER SYSTEM AS DESIGNED BY ENGINEER AND DISCHARGE TO LEGAL POINT IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

INSPECTION OPENINGS TO BE PROVIDED AT CHANGES IN DIRECTION AND FOR LENGTHS GREATER THAN 20M

RESIDENCE FINISHED FLOOR LEVEL TO BE NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL: REFER TO SITE PLAN

PROVIDE AGGY DRAINS CONNECTED TO SILT PITS AT BASE OF BATTERS. AGGY DRAINS CONNECTED TO STORM WATER SYSTEM VIA SILT PITS

TBM:
ELECTRICITY PIT
R.L. 52.33

- 1 x CANOPY TREE
- MEDIUM SHRUB
- SMALL SHRUB
- GRASSES
- NATURAL MULCH
- WARM SEASON TURF

NOTE:- SITING SUBJECT TO COUNCIL REPORT AND CONSENT FOR GARAGE WALL HEIGHT EXCEEDING 3.2M MAX. AVERAGE

LANDSCAPE PLAN

SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO THE AUSTRALIAN HEIGHT DATUM BASED ON NAR NAR GOON PM 199 (R.L.43.901)

DIMENSIONS & LEVELS TO BE VERIFIED BY CERTIFIED COPY OF TITLE OR RELOCATION SURVEY OR APPROVED PLAN OF SUB-DIVISION

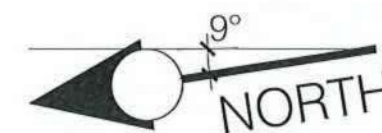
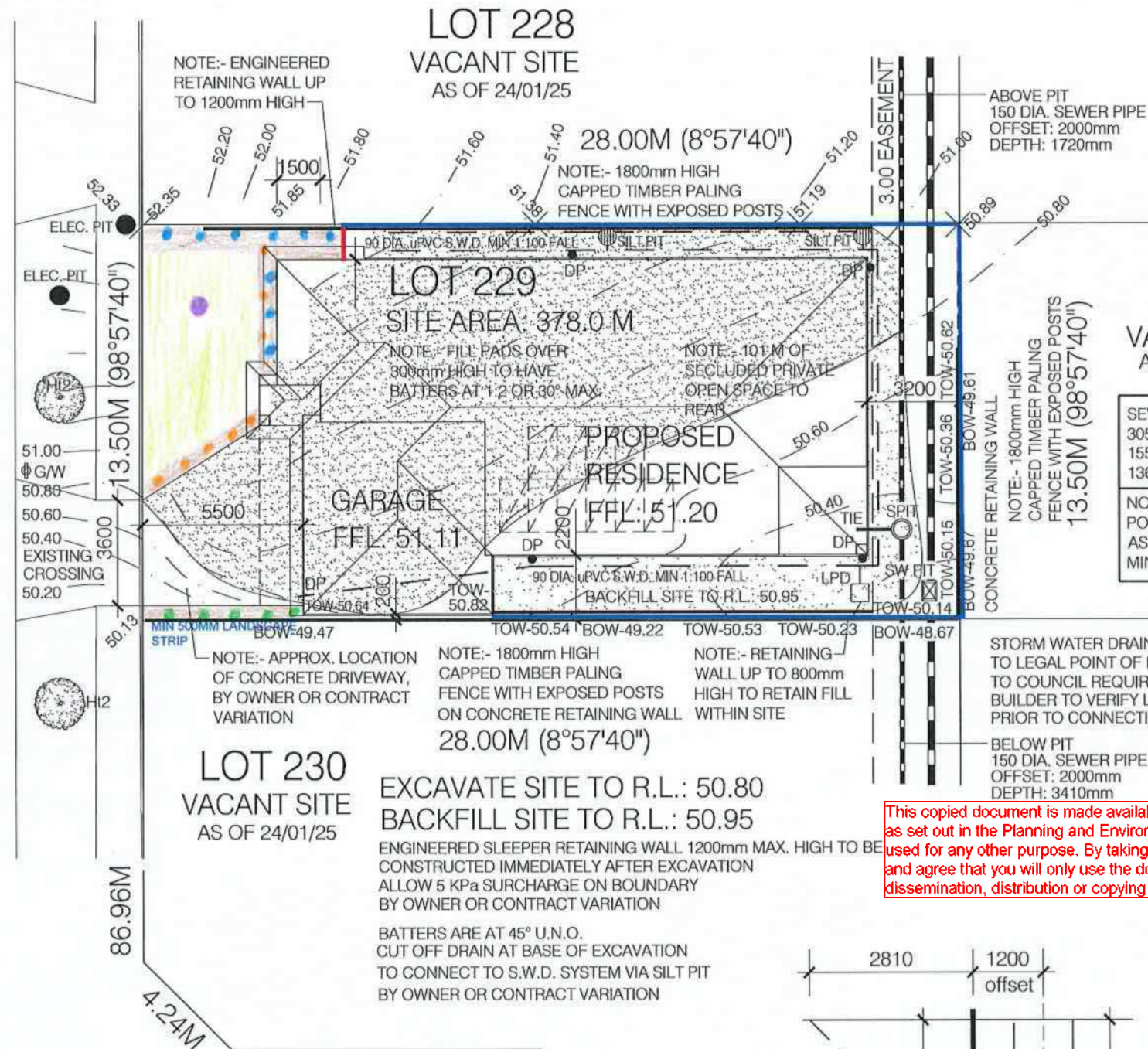
BONDI 161

DATE :- / /
SIGNED BUILDER
SIGNED OWNER



WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT
COPYWRITE:- THIS DRAWING BELONGS THE PROPERTY OF FRENKEN HOMES

KOOKABURRA RISE



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CREEK CIRCUIT

DESIGN ASSESSMENT PANEL

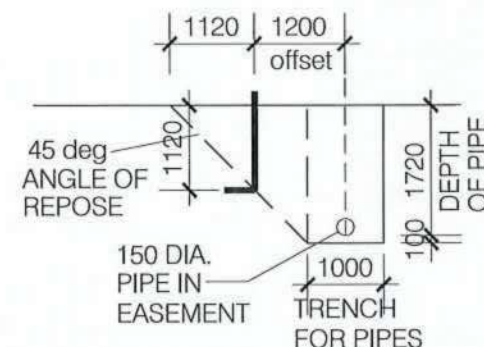
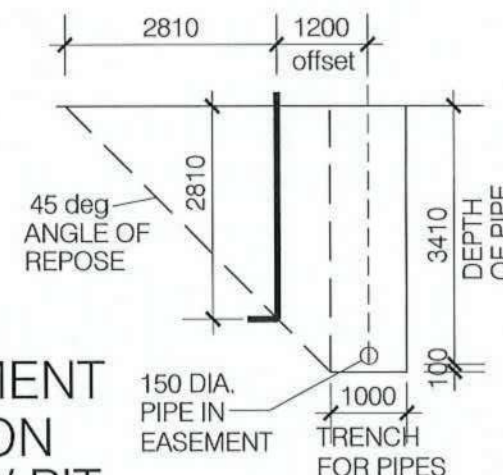
PLAN APPROVAL DATE: 05.03.2025

REVIEWED BY: Belinda Blythe



EASEMENT SECTION BELOW PIT

SCALE :- 1:100



EASEMENT SECTION ABOVE PIT

SCALE :- 1:100

SITE AREA	378.0 M
RESIDENCE	160.7 M
GARAGE	41.4 M
PORCH	2.9 M
ALFRESCO	8.1 M
TOTAL SITE COVER	213.1 M
SITE COVER RATIO	56% (0.564)
DRIVE WAY	28.0 M
OTHER PAVED AREAS	0.0 M
TOTAL HARD COVER	241.1 M
HARD COVER RATIO	64% (0.638)
NOTE: 20 % TO BE PERMEABLE ie NOT COVERED	

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- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING
- WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER

B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES. THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1.0M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING.

D/ SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE SOILS.

LEVELS ARE TO AN A.H.D. AND
CONTOURS ARE SHOWN ARE 200mm
INTERVALS

CONNECT ALL DOWN PIPES TO 90mm
DIA. UPVC S.W.DRAINAGE SYSTEM OR
TO STORM WATER SYSTEM AS
DESIGNED BY ENGINEER AND
DISCHARGE TO LEGAL POINT IN
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REQUIREMENTS

INSPECTION OPENINGS TO BE PROVIDED AT CHANGES IN DIRECTION AND FOR LENGTHS GREATER THAN 20M

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TO SILT PITS AT BASE OF BATTERS.
AGGY DRAINS CONNECTED TO STORM
WATER SYSTEM VIA SILT PITS

TBM:
ELECTRICITY PIT
R.L. 52.33

DENOTES: INTERLOT FENCING
 TO BE CONSTRUCTED OF 1.8M
 HIGH TIMBER PALINGS, LAPPED &
 CAPPED WITH EXPOSED TIMBER
 POSTS TERMINATING 1.5M FROM
 FRONT BUILDING LINE

**DENOTES: RETURN FENCE
RETURN FENCE & ANY GATES
MUST BE STAINED HARDWOOD
WITH HORIZONTAL SLATS MIN
1.5M BEHIND FRONT OF
DWELLING**

NOTE: FIBRE OPTIC CABLING
WILL BE MADE AVAILABLE TO THE
DWELLING TO COMPLY WITH THE
OPTICOMM GUIDELINES

THE LETTERBOX MUST COMPLEMENT THE HOUSE DESIGN AND EXTERNAL COLOUR SCHEME, MUST BE LOCATED ACCORDING TO AUSTRALIA POST STANDARDS AND MUST CLEARLY DISPLAY THE STREET NUMBER OF THE HOUSE. SINGLE POST SUPPORTED LETTERBOXES ARE NOT PERMITTED

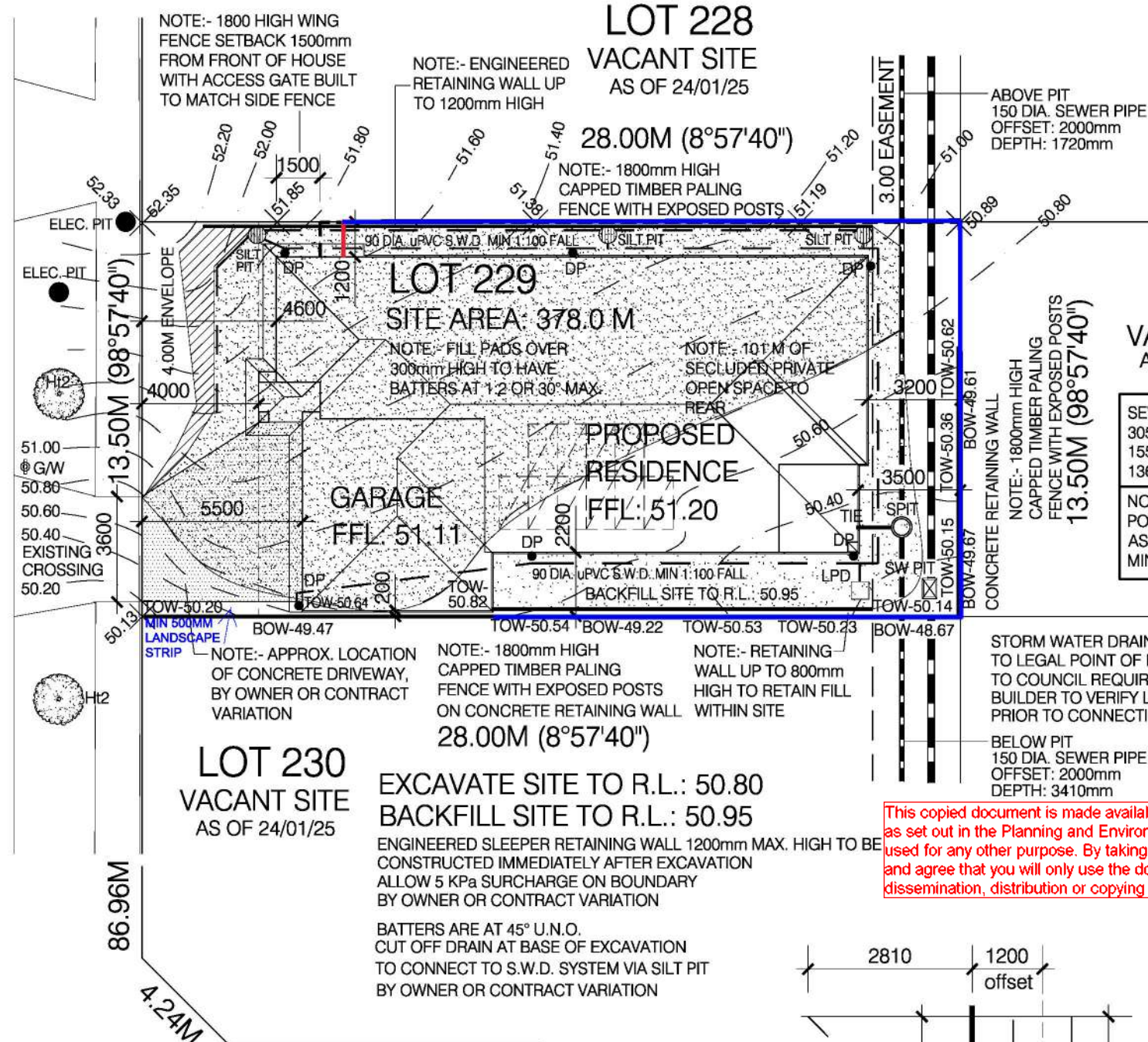
NOTE:- SITING SUBJECT TO COUNCIL REPORT AND CONSENT FOR GARAGE WALL HEIGHT EXCEEDING 3.2M MAX. AVERAGE

SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO
THE AUSTRALIAN HEIGHT DATUM
BASED ON NAR NAR GOON PM 199 (R.L.43.901)

DIMENSIONS & LEVELS TO BE VERIFIED
BY CERTIFIED COPY OF TITLE
OR RELOCATION SURVEY
OR APPROVED PLAN OF SUB-DIVISION

KOOKABURRA RISE



VACANT SITE
AS OF 24/01/25

SEWER TIE POINT
3050mm FROM SIDE BOUDARY
1550mm FROM C/L OF PIPE
1360mm DEEP

NOTE:- SEWER CONNECTION
POINT TO BE SHORTENED SO
AS TO CLEAR RESIDENCE BY A
MIN. OF 600mm

**STORM WATER DRAINS:
TO LEGAL POINT OF DISCHARGE
TO COUNCIL REQUIREMENTS
BUILDER TO VERIFY LPD
PRIOR TO CONNECTION**

— BELOW PIT
150 DIA. SEWER PIPE
OFFSET: 2000mm
DEPTH: 3410mm

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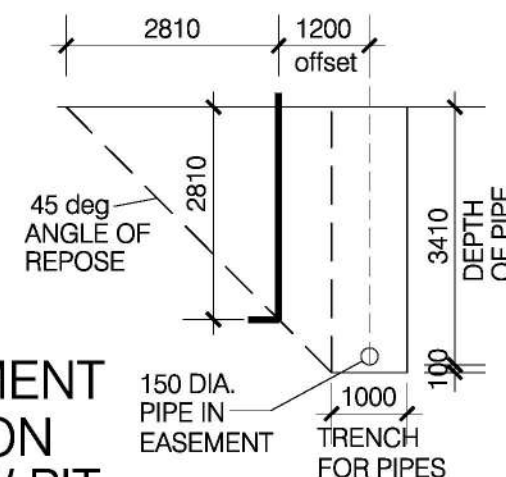
DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 05.03.2025

REVIEWED BY: Belinda Blythe

DEVELOPER CONDITION: PLEASE NOTE THAT A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN APPLICATION MUST BE APPROVED BY COUNCIL BEFORE CONSTRUCTION COMMENCES.

EASEMENT
SECTION
BELOW PIT
SCALE :- 1:100

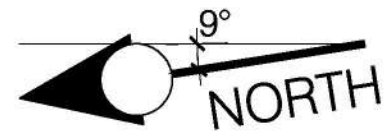
[illegible]

EASEMENT
SECTION
ABOVE PIT
SCALE :- 1:100

BONDI 161

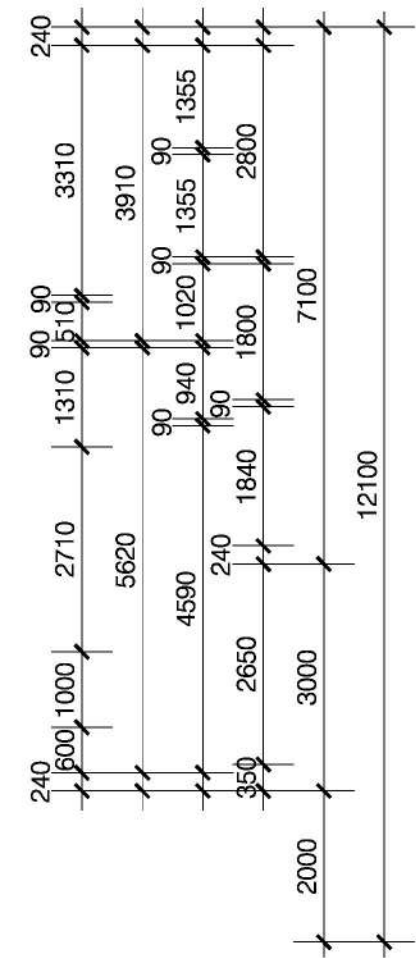
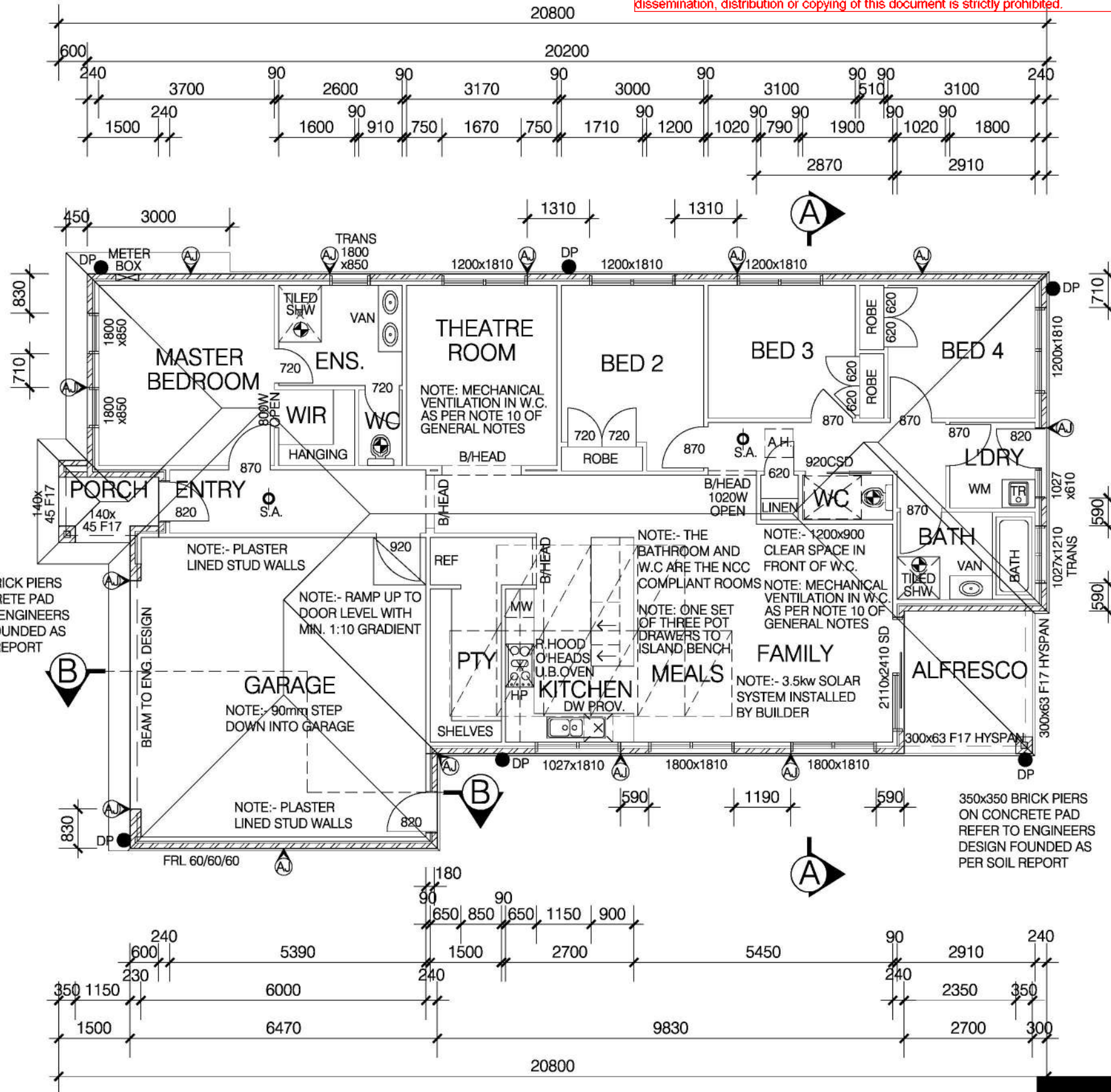
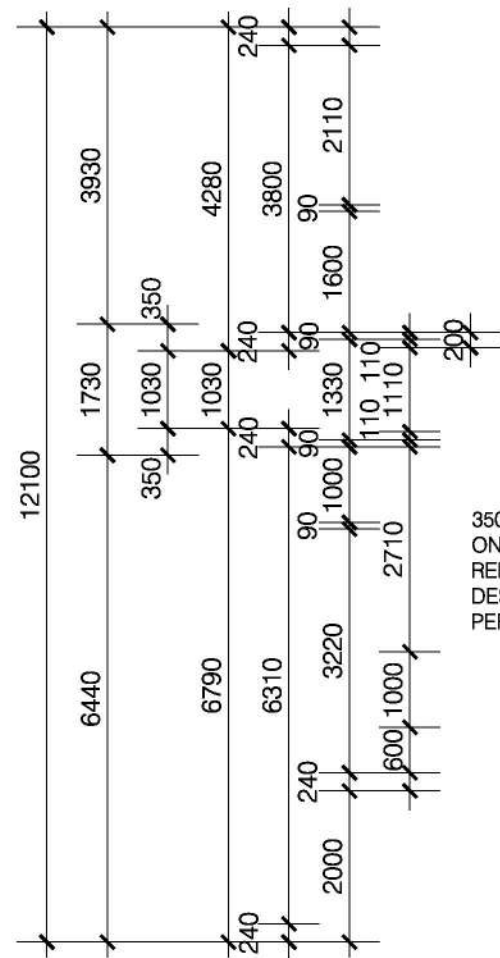
DATE :- / /
SIGNED BUILDER
SIGNED OWNER





LOCALLY FILL AROUND
DOORWAYS TO AVOID THE NEED
FOR STEPS AND GRADE SOIL
AWAY FROM HOUSE AS REQUIRED

WC DOORS TO OPEN OUT OR
HAVE REMOVABLE HINGES IF WC
HAS LESS THAN 1200mm OF
CLEARANCE FROM DOOR TO
CLOSET PAN



FLOOR PLAN

SCALE :- 1:100

AREA STATISTICS

FLOOR PLAN	160.7 M
GARAGE	41.4 M
PORCH	2.9 M
ALFRESCO	8.1 M

BONDI 161

DATE :- / /

SIGNED BUILDER

SIGNED OWNER



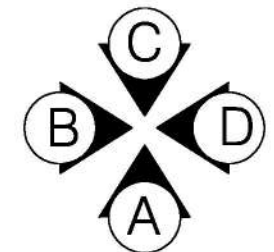
WRITTEN DIMENSIONS TAKE
PRECEDENCE OVER SCALE
CONTRACTORS ARE TO CHECK
ALL DIMENSIONS & LEVELS
PRIOR TO COMMENCEMENT

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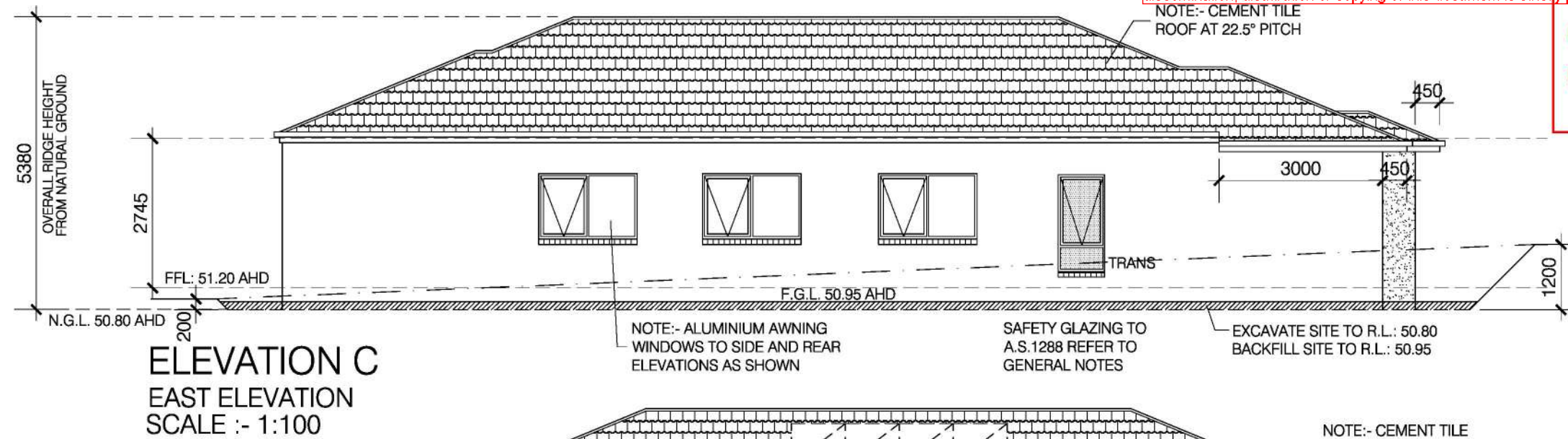
DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 05.03.2025

REVIEWED BY: Belinda Blythe

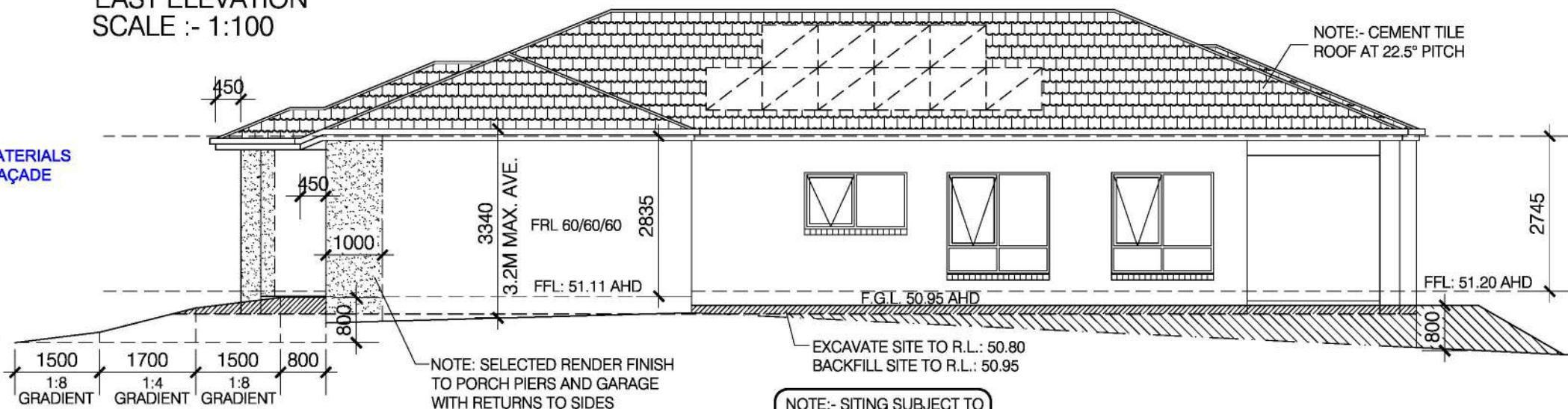


ELEVATION



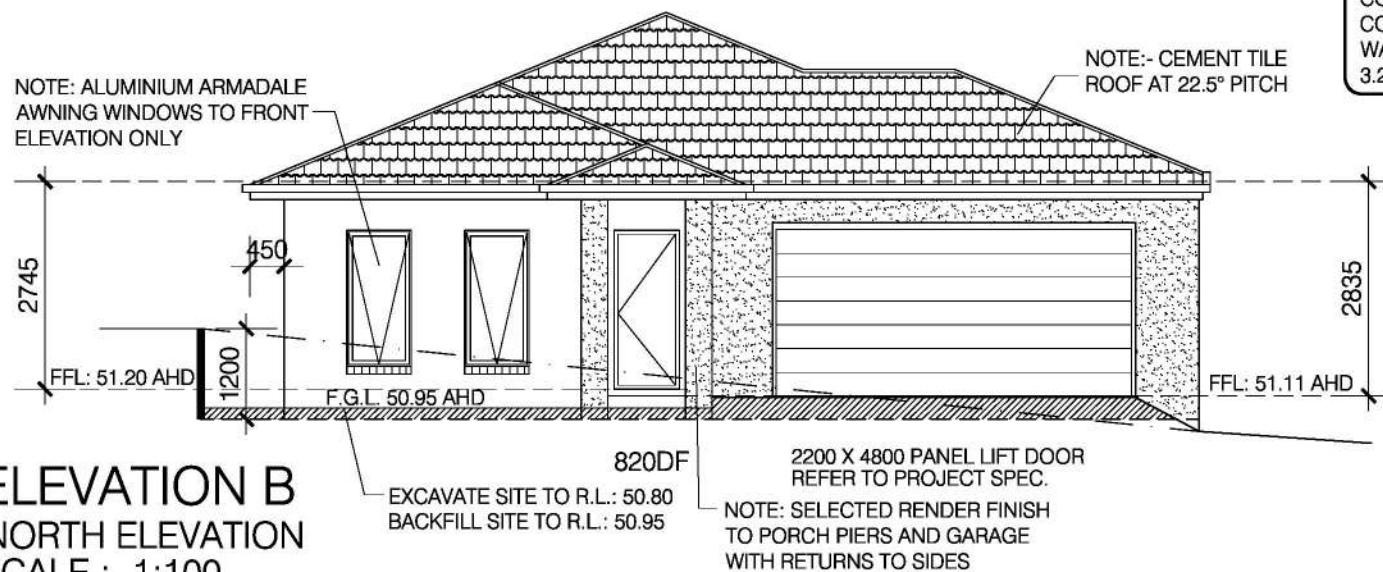
NOTE: NO LIGHTWEIGHT MATERIALS ARE TO BE USED ON THE FAÇADE

ELEVATION A
WEST ELEVATION
SCALE :- 1:100

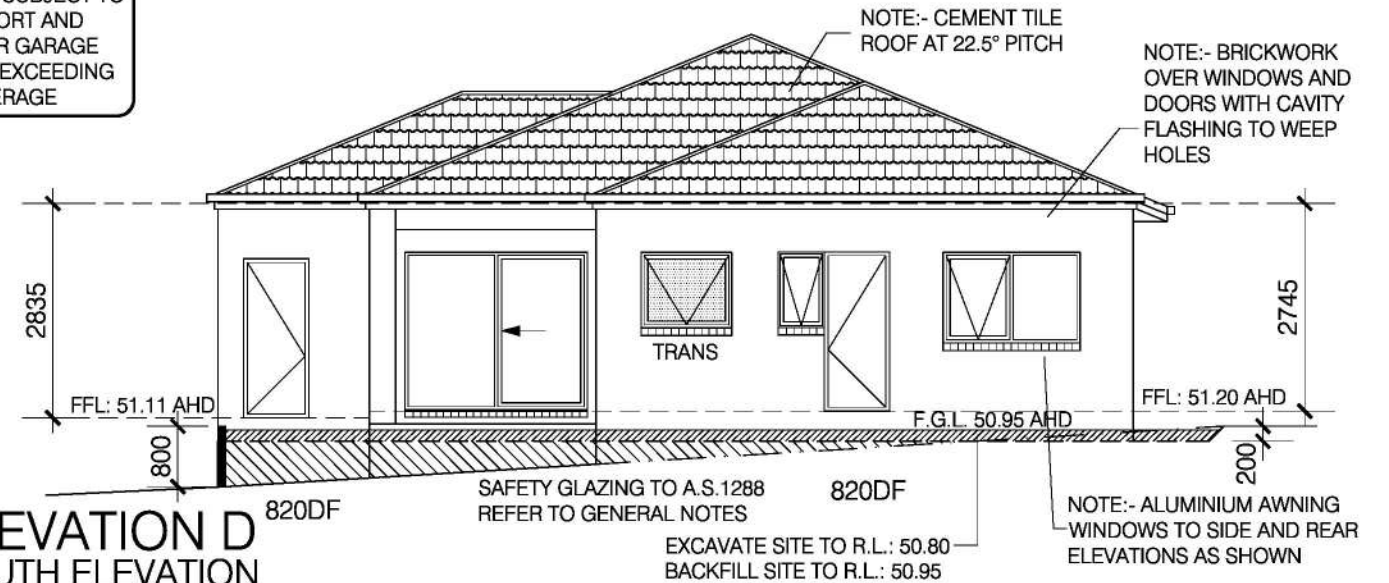


NOTE: ALUMINIUM ARMADALE AWNING WINDOWS TO FRONT ELEVATION ONLY

ELEVATION B
NORTH ELEVATION
SCALE :- 1:100



ELEVATION D
SOUTH ELEVATION
SCALE :- 1:100



WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT

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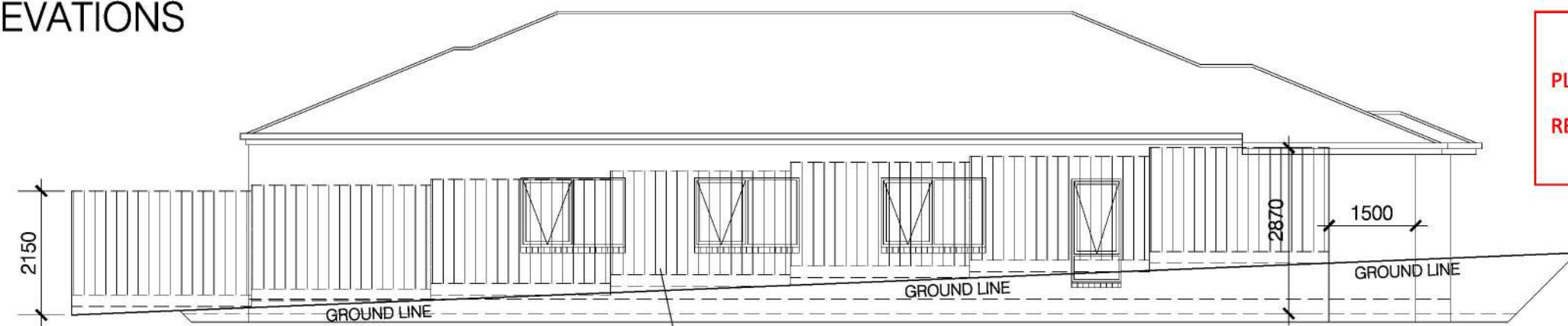
FENCING ELEVATIONS

SCALE :- 1:100

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 05.03.2025

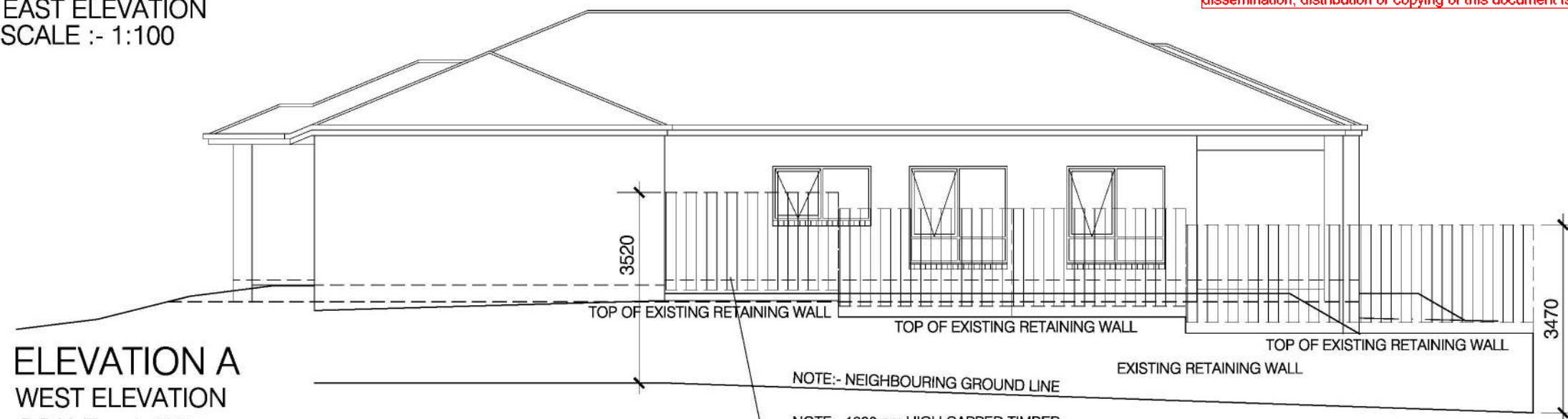
REVIEWED BY: Belinda Blythe



ELEVATION C
EAST ELEVATION
SCALE :- 1:100

NOTE:- 1800mm HIGH CAPPED TIMBER
PALING FENCE WITH EXPOSED POSTS
STEPPED WITH GROUNDLINE

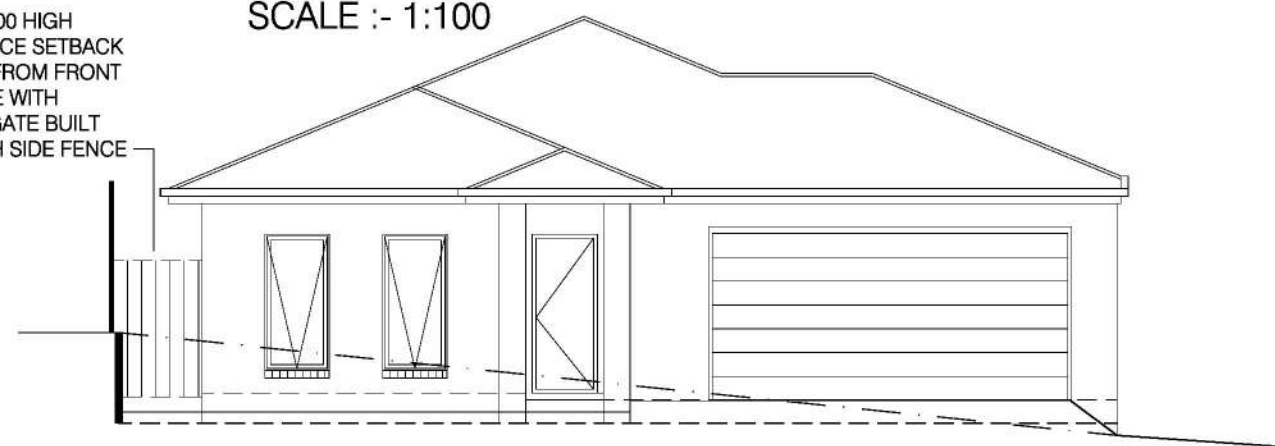
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ELEVATION A
WEST ELEVATION
SCALE :- 1:100

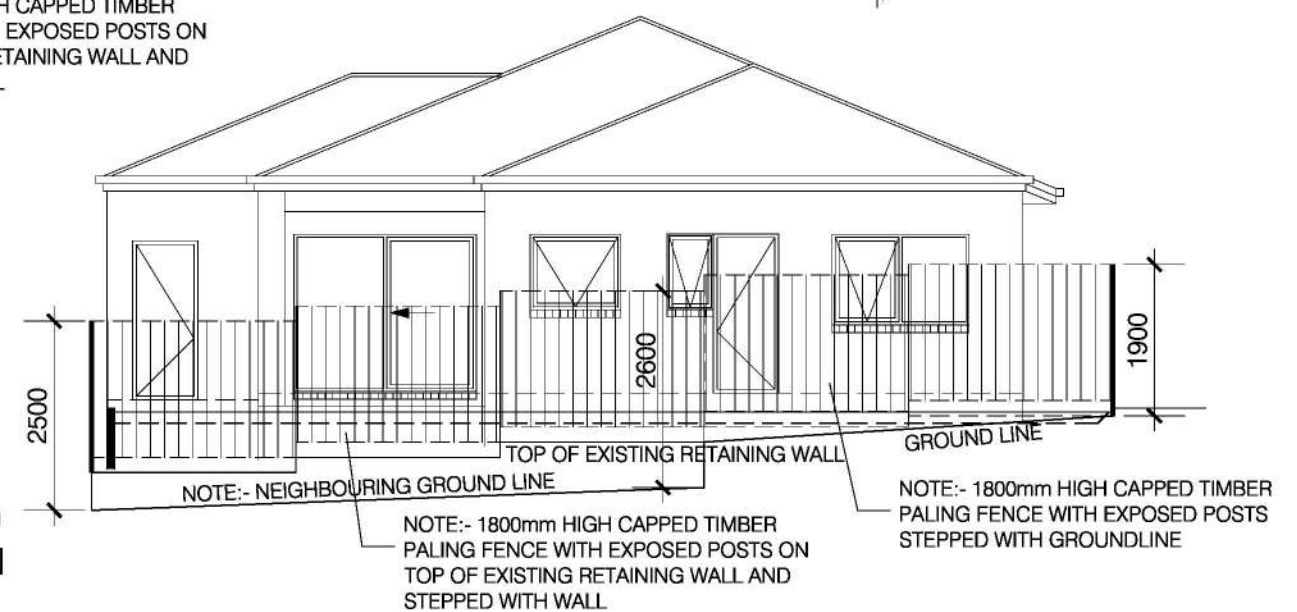
NOTE:- 1800 HIGH
WING FENCE SETBACK
1500mm FROM FRONT
OF HOUSE WITH
ACCESS GATE BUILT
TO MATCH SIDE FENCE

NOTE:- 1800mm HIGH CAPPED TIMBER
PALING FENCE WITH EXPOSED POSTS ON
TOP OF EXISTING RETAINING WALL AND
STEPPED WITH WALL



ELEVATION B
NORTH ELEVATION
SCALE :- 1:100

ELEVATION D
SOUTH ELEVATION
SCALE :- 1:100



WRITTEN DIMENSIONS TAKE
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CONTRACTORS ARE TO CHECK
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SIGNED BUILDER
SIGNED OWNER



GENERAL NOTES

INTELLECTUAL PROPERTY AND USE OF THIS DOCUMENT

THIS DOCUMENT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF AC DESIGN & DRAFTING (THE DESIGNER), FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNERS WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS, DETAILS AND INFORMATION PROVIDED BY THE CONSULTANTS NAMED HEREIN, AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THIS DOCUMENT IS CONDITIONAL ON THE CLIENT OBTAINING THE REQUIRED BUILDING PERMIT.

MATERIALS AND TRADE PRACTICES

ALL MATERIALS, CONSTRUCTION AND WORK PRACTICES SHALL COMPLY WITH BUT NOT BE LIMITED TO THE CURRENT ISSUE OF NATIONAL CONSTRUCTION CODE 2022 BUILDING CODE OF AUSTRALIA VOL. 2 (HEREAFTER REFERRED TO AS BCA), AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS REFERRED TO THEREIN.

WORK AND SITE MANAGEMENT PRACTICES SHALL COMPLY WITH ALL RELEVANT LAWS AND BY-LAWS.

IF ANY PERFORMANCE SOLUTION IS PROPOSED, IT SHALL BE ASSESSED AND APPROVED BY THE [RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER] AS MEETING BCA PERFORMANCE REQUIREMENTS PRIOR TO IMPLEMENTATION OR INSTALLATION.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY'S REQUIREMENTS.

VARIATIONS

SHOULD ANY CONFLICT ARISE BETWEEN THESE PLANS AND BCA, AUSTRALIAN STANDARDS OR A MANUFACTURER'S INSTRUCTIONS, THIS DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER, BEFORE ANY OTHER ACTION IS TAKEN.

THE CLIENT AND/OR THE CLIENTS BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE DESIGNER, EXCEPT WHERE THE [RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER] MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION

THE APPROVAL BY THE DESIGNER OF A SUBSTITUTE MATERIAL, WORK PRACTICE OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS AND/OR SUBSTITUTIONS TO MATERIALS OR WORK PRACTICES SHALL BE ACCEPTED BY ALL PARTIES TO THE BUILDING CONTRACT AND, WHERE APPLICABLE, THE [RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER], PRIOR TO IMPLEMENTATION.

MEASUREMENTS

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

SITE PLAN MEASUREMENTS ARE IN METRES. ALL OTHER MEASUREMENTS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.

UNLESS NOTED OTHERWISE, DIMENSIONS ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT TIMBER FRAME AND STRUCTURAL MEMBERS, NOT FINISHED LININGS/CLADDING.

WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER.

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS, SPECIFICATIONS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION.

SUPPLEMENTARY NOTES

SITE PROTECTION DURING THE CONSTRUCTION PERIOD

PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE SHALL BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR AND/OR COUNCIL.

WHERE REQUIRED BY COUNCIL, THE BUILDER SHALL CONSTRUCT A TEMPORARY CROSSING PLACED OVER THE FOOTPATH.

ALL PRACTICABLE MEASURES SHALL BE IMPLEMENTED TO MINIMISE WASTE TO LANDFILL. THE BUILDER MAY USE A CONSTRUCTION WASTE RECOVERY SERVICE, OR SORT AND TRANSPORT RECYCLABLE MATERIALS TO THE APPROPRIATE REGISTERED RECYCLER. MATERIALS SHALL NOT BE BURNED ON SITE.

A SITE MANAGEMENT PLAN SHALL BE IMPLEMENTED FROM THE COMMENCEMENT OF WORKS, TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH [INSERT RELEVANT STATE/COUNCIL GUIDELINES OR REGULATION]. SILT FENCES SHALL BE PROVIDED TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND 'SILT STOP' FILTER BAGS OR EQUIVALENT SHALL BE PLACED OVER ALL STORM WATER ENTRY PITS. EROSION CONTROL FABRIC SHALL BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION.

DUST-CREATING MATERIAL SHALL BE KEPT SPRAYED WITH WATER SO AS TO PREVENT ANY NUISANCE FROM DUST.

WASTE MATERIALS SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY.

EARTHWORKS (UNRETAINED) SHALL NOT EXCEED 2M.

CUT AND FILL BATTERS SHALL COMPLY WITH BCA TABLE 3.2.1.

PROTECTION OF THE BUILDING FABRIC

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

WINDOWS, DOORS AND SERVICE PENETRATIONS SHALL BE FLASHED ALL AROUND.

ALL PLIABLE MEMBRANES SHALL BE INSTALLED TO COMPLY AND BE IN ACCORDANCE WITH BCA 10.8.1

GUTTERS AND DRAINAGE SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3500.3.

ANTI-PONDING DEVICES/BOARDS SHALL BE INSTALLED ACCORDING TO BCA 7.3.5.

DAMP COURSES WITH WEEPHOLES AND CAVITY FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH AS4773.2.

SURFACES AROUND THE PERIMETER OF A RESIDENTIAL SLAB SHALL FALL AWAY FROM THAT SLAB BY NOT LESS THAN 50MM OVER THE FIRST 1M. WHERE NOT STIPULATED IN THE GEOTECHNICAL REPORT, FREEBOARD SHALL BE NOT LESS THAN 50MM FROM AN IMPERMEABLE SURFACE OR 150MM FROM A PERMEABLE SURFACE.

SUBFLOOR VENTS SHALL BE LOCATED >600MM FROM CORNERS AND BE INSTALLED BELOW BEARERS. SUCH VENTS SHALL PROVIDE A RATE PER 1000MM RUN OF EXTERNAL OR INTERNAL CROSS WALLS OF:

7,500MM 2 CLEAR VENTILATION WHERE PARTICLE BOARD FLOORING IS USED; OR

6,000MM 2 FOR OTHER SUBFLOOR TYPES.

[WHERE A BUILDING OTHER THAN DETACHED CLASS 10 IS LOCATED IN A TERMITE-PRONE AREA] THE BUILDING SHALL BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM COMPLIANT WITH AS3660.1 OR AS3660.2.

IN SALINE OR INDUSTRIAL ENVIRONMENTS, MASONRY UNITS, MORTAR, AND ALL BUILT-IN COMPONENTS SHALL COMPLY WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773.1, PART 1: DESIGN.

BUSHFIRE ATTACK LEVEL

B.A.L.-LOW

NO SPECIAL CONSTRUCTION REQUIREMENTS

29.

SEVEN STAR ENERGY NOTES

- * CEILING INSULATION :- R
- * EXTERNAL WALLS INSULATION :- R
- * GARAGE INTERNAL WALLS INSULATION :- R
- * DOOR SEALS TO ALL EXTERNAL HINGED DOORS AND GARAGE INTERNAL DOOR
- * TAPING OF WALL WRAP JOINTS AND JUNCTIONS WITH WINDOWS AND DOORS
- * SELF SEALING EXHAUST FANS
- * WEATHER STRIP TO EXTERNAL DOORS AND GARAGE INTERNAL DOOR
- * SEALED DOWNLIGHTS

WIND SPEED :- N 1

BUSHFIRE ATTACK LEVEL:- B.A.L. N/A

SOIL CLASSIFICATION " "

REFER TO HARDCORE GEOTECH. P/L

REPORT NO. :-

BRICKWORK CONTROL JOINTS
CONTROL JOINTS TO BE SPACED AT A MAX OF 5.0M
AS PER CN9 AND CEMENT AND CONCRETE ASSOC. NOTE TN61

MELWAY REF:- .

AMENDMENTS

ISSUE	DATE	DESCRIPTION
B	11/2/25	AHD UPDATE / PLANNING & FENCING
		CHANGES FOR SEWER TIE CLEARANCE
C	17/2/25	ALFRESCO REDUCED 300mm
D	9/3/25	GARAGE DOOR CENTERED
E	25/3/25	FINAL PLANS
F	26/3/25	FLOOR LEVELS LOWERED FOR BOUNDARY
		HEIGHT ISSUE & SLAB OVERLAY ADDED
G	1/5/25	FENCE DETAILS AMENDED
H	1/5/25	CHANGES

BONDI 161

DATE :- / /

SIGNED BUILDER

SIGNED OWNER



WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT

COPYWRITE:-THIS DRAWING BELONGS THE PROPERTY OF FRENKEN HOMES

- └ BUILDING TIE-DOWNS SHALL BE APPROPRIATE FOR THE SITE WIND CLASSIFICATION AND PROVIDED IN ACCORDANCE WITH BCA 5.6.6.
- └ CORROSION PROTECTION SHALL BE SUITED TO THE SITE CONTEXT AND PROVIDED FOR BUILT-IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL UNTELS, SHELF ANGLES, CONNECTORS, ACCESSORIES (OTHER THAN WALL TIES) IN ACCORDANCE WITH TABLE 4.1 OF AS4773.1 MASONRY IN SMALL BUILDINGS, PART 1: DESIGN.
- └ SHEET ROOFING SHALL BE PROTECTED FROM CORROSION IN A MANNER APPROPRIATE TO THE SITE CONTEXT, IN ACCORDANCE WITH BCA TABLE 7.2.2A.
- └ SINGLE LEAF MASONRY WALLS SHALL BE WEATHERPROOFED PER BCA 5.7.6.
- └ [IN CLIMATE ZONES 6, 7 AND 8] UNLESS EXCLUDED BY BCA 10.8.3(2) ROOFS SHALL BE PROVIDED WITH VENTILATION OPENINGS PER BCA 10.8.3.
- └ EXTERNAL WATERPROOFING FOR ON FLAT ROOFS, ROOF TERRACES, BALCONIES AND TERRACES AND OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH BCA H2D8.
- └ WATERPROOFING OF WET AREAS - BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE - SHALL BE PROVIDED IN ACCORDANCE WITH BCA 10.2.
- └ BALCONY WATERPROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS4654.1 &AS4654.2. GLAZING
- └ GLAZED UNITS SHALL BE INSTALLED IN ACCORDANCE WITH BCA8.3.2.
- └ FULLY FRAMED GLAZING INSTALLED IN THE PERIMETER OF BUILDINGS SHALL COMPLY WITH BCA 8.3.3.
- └ GLASS – INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, SCREENS, PANELS, SPLASHBACKS AND BARRIERS – SHALL COMPLY WITH BCA 3.3.3.
- └ GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH BCA 8.4. FOOTINGS
- └ FOOTINGS SHALL NOT, UNDER ANY CIRCUMSTANCE, ENCROACH OVER TITLE BOUNDARIES OR EASEMENT LINES.
- └ WHERE CONCRETE STUMPS ARE TO BE USED, THESE SHALL BE:
 - 100 X 100MM (1X 5MM HD WIRE) IF UP TO 1400MM LONG
 - 100 X 100MM (2X 5MM HD WIRES) IF 1401MM TO 1800MM LONG
 - 125 X 125MM (2X 5MM HD WIRES) IF 1801MM TO 3000MM LONG.
- └ 100MM X 100MM STUMPS THAT EXCEED 1200MM ABOVE GROUND LEVEL SHALL BE BRACED WHERE NO PERIMETER BASE BRICKWORK IS PROVIDED.
- └ ALL CONCRETE FOOTINGS SHALL BE FOUNDED AT A DEPTH TO A MINIMUM REQUIRED BEARING CAPACITY AND/OR IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN SOIL REPORT (OR OTHERWISE AT ENGINEER'S DISCRETION). STORMWATER AND SEWERS
- └ [INSERT] MM DIA. CLASS 6 UPVC STORMWATER LINE MIN GRADE 1:100 SHALL BE CONNECTED TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITY'S APPROVAL. PROVIDE INSPECTION OPENINGS AT 9M CENTRES AND AT EACH CHANGE OF DIRECTION.
- └ COVERS TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:
 - 100MM UNDER SOIL
 - 50MM UNDER PAVED OR CONCRETE AREAS
 - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
 - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS
- └ THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS, FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

- SAFETY OF BUILDING USERS
- └ WHERE STAIRS, RAMPS AND BALUSTRADES ARE TO BE CONSTRUCTED, THESE SHALL COMPLY WITH ALL PROVISIONS OF BCA 11.2.
 - └ OTHER THAN SPIRAL STAIRS:
 - RISERS SHALL BE 190MM MAX AND 115MM MIN
 - GOINGS SHALL BE 355MM MAX AND 240MM MIN
 - 2R+G SHALL BE 700MM MAX AND 550MM MIN
 - THERE SHALL BE LESS THAN 125MM GAP BETWEEN OPEN TREADS.
 - └ ALL TREADS, LANDINGS AND THE LIKE SHALL HAVE A SLIP RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
 - └ BARRIERS SHALL BE PROVIDED WHERE IT IS POSSIBLE TO FALL 1M OR MORE FROM THE LEVEL OF THE TRAFFICABLE SURFACE TO THE SURFACE BENEATH. SUCH BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) SHALL BE:
 - 1000MM MIN ABOVE FINISHED STAIR LEVEL (FSL) OF BALCONIES, LANDINGS ETC; AND
 - 865MM MIN ABOVE FSL OF STAIR NOSING OR RAMP; AND VERTICAL, WITH GAPS OF NO MORE THAN 125MM.
 - └ WHERE THE FLOOR BELOW A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH, THE WINDOW SHALL COMPLY WITH BCA CLAUSE 11.3.7.
 - └ WHERE THE FLOOR BELOW A WINDOW OTHER THAN IN A BEDROOM IS 4M OR MORE ABOVE THE SURFACE BENEATH, THE WINDOW SHALL COMPLY WITH BCA CLAUSE 11.3.8.
 - └ WHERE A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH, OR IT IS POSSIBLE TO FALL 4M OR MORE FROM THE LEVEL OF ANY TRAFFICABLE SURFACE TO THE SURFACE BENEATH, ANY HORIZONTAL ELEMENT WITHIN A BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR SHALL NOT FACILITATE CLIMBING.
 - └ HANDRAILS SHALL BE CONTINUOUS, WITH TOPS SET >865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
 - └ WIRE BARRIERS SHALL COMPLY WITH BCA 11.3.4 AND 11.3.6.
 - └ A GLASS BARRIER OR WINDOW SERVING AS A BARRIER SHALL COMPLY WITH BCA H1D8.
 - └ CLASS 1 BUILDINGS WITH AIR PERMEABILITY OF NOT MORE THAN 5 M 3 /HR.M 2 AT 50 PA SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM COMPLYING WITH H6V3.INWARD-OPENING SWING DOORS TO FULLY ENCLOSED SANITARY COMPARTMENTS SHALL COMPLY WITH BCA CLAUSE 10.4.2.
 - └ ALL SHOWER WALLS AND WALLS ADJACENT TO TOILET SHALL BE BRACED WITH 12MM PLY FOR FUTURE GRAB RAILS OR SUPPLY NOGGINGS WITH A THICKNESS OF AT LEAST 25MM IN ACCORDANCE WITH RECOMMENDATIONS OF LIVEABLE HOUSING DESIGN GUIDELINES.
 - └ FLOORING IN WET AREAS, LAUNDRY AND KITCHEN SHALL BE SLIP RESISTANT.
 - └ DOOR HARDWARE SHALL BE INSTALLED 900MM – 1100MM ABOVE THE FINISHED FLOOR.
 - └ THERE SHALL BE A LEVEL TRANSITION BETWEEN ABUTTING INTERNAL SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 5MM BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED).

- SERVICES
- └ SOLAR COLLECTOR PANEL LOCATIONS ARE INDICATIVE ONLY. LOCATION AND SIZE ARE DEPENDENT ON MANUFACTURER'S/INSTALLER'S RECOMMENDATION.
 - └ DUCTWORK FOR HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 &AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN BCA TABLE 3. TIMBER FRAMING
 - └ STANDARD TIMBER ROOFING AND WALL FRAMING SHALL BE PROVIDED IN ACCORDANCE WITH AS1684 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) AND ALL RELEVANT SUPPLEMENTS. ELECTRICAL
 - └ SMOKE DETECTORS SHALL BE FITTED WHERE NONE ARE PRESENT, OR WHERE EXISTING ARE NON-COMPLIANT WITH AS3786.
 - └ NEW SMOKE DETECTORS SHALL BE INTERCONNECTED; MAINS-POWERED; AND LOCATED AND INSTALLED PER BCA 9.5.2 AND 9.5.4.
 - └ IN A CLASS 10A PRIVATE GARAGE, AN ALTERNATIVE ALARM MAY BE INSTALLED PER BCA 9.5.1(B).
 - └ LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION 900MM – 1100MM ABOVE THE FINISHED FLOOR LEVEL; HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.
 - └ POWER POINTS SHALL NOT BE INSTALLED LOWER THAN 300MM ABOVE FINISHED FLOOR LEVEL.
 - └ ALL ELECTRICAL PENETRATIONS SHALL BE SEALED USING MATERIAL APPROPRIATE TO THE RATING OF THE CABLE AND/OR DEVICE.
 - └ ONLY STAMPED IC4-RATED DOWNLIGHTS SHALL BE INSTALLED AND INSULATION SHALL NOT BE PENETRATED FOR DOWNLIGHTS.
 - └ DUCTWORK FOR EXHAUST FANS AND HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 &AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN BCA 13.7.4.
 - └ EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT OR LAUNDRY SHALL BE DISCHARGED DIRECTLY VIA AN INSULATED SHAFT OR R1 INSULATED DUCTING TO OUTDOOR AIR. MINIMUM FLOW RATES SHALL BE:
 - 40 L/S FOR KITCHEN &LAUNDRY
 - 25 L/S FOR BATHROOM OR SANITARY COMPARTMENT.
 - └ AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH BCA 10.6.2(A) SHALL BE INTERLOCKED WITH THE ROOM'S LIGHT SWITCH; AND INCLUDE A 10 MINUTE RUN-ON TIMER.
 - └ EXHAUST FANS, RANGEHOODS AND THE LIKE SHALL BE INSTALLED WITH SELF-CLOSING DAMPERS.

- ROOF VENTILATION AND SARKING
- └ ALL ROOF VENTILATION OF ROOF SPACE, SARKING ECT. TO NCC 2022 AND AS 4200
 - SARKING IF INSTALL TO COMPLY WITH AS 4200

- └ BOX GUTTERS AND MANHOLE COVERS SHALL BE INSULATED TO THE SAME R-VALUE AS THE ROOF, USING INSULATION BATTS OR BLANKET OR CLOSED-CELL FOAM.
- └ DOWNLIGHTS SHALL BE STAMPED AS IC4 RATED, AIRTIGHT AND COVERED BY INSULATION.
- └ [IN CLIMATE ZONES 6, 7 AND 8] A VAPOUR PERMEABLE LAYER SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS IN ALL NEW EXTERNAL WALLS. THE MATERIAL SHALL BE OVERLAPPED AND FULLY TAPED ON THE EXTERNAL SIDE TO ENSURE A TIGHT SEAL. ALL PENETRATIONS IN THE MEMBRANE SHALL BE SEALED, ENSURING THAT THE MATERIAL COVERS GAPS BETWEEN STUDS AND DOORS AND WINDOW FRAMES. ANY FLASHING AROUND WINDOWS SHALL BE TAPED OVER THE BUILDING WRAP.
- └ WHERE A FOIL-BACKED MEMBRANE IS USED, TIMBER BATTENS SHALL BE USED TO MINIMISE THERMAL CONDUCTION.
- └ ALL TRADES SHALL BE INSTRUCTED TO REPLACE ANY INSULATION THEY HAVE REMOVED IN THE COURSE OF THEIR WORK AND TO TAPE ANY CUTS/PENETRATIONS IN BUILDING WRAP. ALL PENETRATIONS SHALL BE CAULKED USING A FIT-FOR-PURPOSE FLEXIBLE SEALANT.
- └ ALL REDUNDANT OPENINGS SUCH AS DECOMMISSIONED CHIMNEYS AND WALL VENTS SHALL BE SEALED OFF AT TOP AND BOTTOM, UNLESS AN UNFLUED GAS HEATER IS PRESENT.
- └ CAULKING PRODUCTS SHALL BE APPROPRIATE FOR THE INTENDED APPLICATION.
- └ BEFORE INSTALLING MOULDINGS, A FIT-FOR-PURPOSE, LONG-LASTING PROPRIETARY TAPE OR FLEXIBLE CAULKING PRODUCT SHALL BE USED TO SEAL JUNCTIONS OF:
 - PLASTERBOARD AND FLOOR
 - PLASTERBOARD AND TOP PLATE (FOR SQUARE SET CORNICES)
 - VERTICAL AND HORIZONTAL PLASTERBOARD
 - TOPS, BOTTOMS AND SIDES OF ARCHITRAVES AND PLASTERBOARD.
 - ALL EXHAUST FANS AND DUCTS, INCLUDING RANGEHOODS, SHALL BE FITTED WITH SELF-CLOSING MECHANISMS.
- └ WHERE IT IS NOT POSSIBLE TO INSULATE UNDER AN EXISTING TIMBER FLOOR, GAPS BETWEEN FLOORBOARDS SHALL BE SEALED BEFORE APPLYING FINISHES OR COVERINGS.
- └ EXTERNAL DOORS AND WINDOWS SHALL BE DRAUGHTPROOFED PER BCA 13.4.4 USING A DURABLE, FIT-FOR-PURPOSE SEAL.
- └ CAVITY SLIDER POCKETS SHALL BE SEALED BEFORE INSTALLATION, EITHER BY WRAPPING WITH VAPOUR PERMEABLE MEMBRANE, OR BY SCREWING PLASTER SECURELY TO THE FRAME AND APPLYING A SILICON BEAD.
- └ CONDITIONED CLASS 1 AND UNCONDITIONED CLASS 10A SPACES SHALL BE SEPARATED BY INSULATION. ANY OPENINGS BETWEEN SUCH SPACES SHALL BE WEATHER-STRIPPED.
- └ THE CLIENT RETAINS THE RIGHT TO IMPLEMENT A BLOWER DOOR TEST TO TEST FOR AIR TIGHTNESS PRIOR TO PAINTING. TARGET AIR PERMEABILITY IS NOT MORE THAN [INSERT] M 3 /HR.M 2 AT 50 PA.
- └ WINDOW SIZES NOMINATED ARE NOMINAL. ACTUAL SIZE MAY VARY MINIMALLY ACCORDING TO MANUFACTURER; HOWEVER, OPENING STYLES, OVERALL SIZE, U-VALUE AND SHGC VALUES ARE INBUILT INTO THE ENERGY RATING AND MAY NOT BE ALTERED WITHOUT THE EXPRESS APPROVAL OF THE PROJECT'S ENERGY RATER.
- └ GLAZED DOORS AND WINDOWS SHALL BE [INSERT] WIND RATED, DOUBLE-GLAZED, WEATHER-STRIPPED AND FLASHED ALL AROUND.
- └ OPENABLE WINDOWS SHALL BE PROVIDED WITH FLYSCREENS.

BONDI 161

DATE :- / /

SIGNED BUILDER

SIGNED OWNER



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A5. RESCODE SITE COVERAGE STATISTICS

SITE AREA	378.0 M
RESIDENCE	160.7 M
GARAGE	41.4 M
PORCH	2.9 M
ALFRESCO	8.1 M
TOTAL SITE COVER	213.1 M
SITE COVER RATIO	56% (0.564)
DRIVE WAY	28.0 M
OTHER PAVED AREAS	0.0 M
TOTAL HARD COVER	241.1 M
HARD COVER RATIO	64% (0.638)

NOTE: 20 % TO BE PERMEABLE
ie NOT COVERED

DRAINAGE REQUIREMENTS

A/ ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF AS2870.2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:

- SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION

- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING

- WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER

B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1.0M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING.

D/ SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE SOILS.

NOTES

LEVELS ARE TO AN A.H.D. AND CONTOURS ARE SHOWN ARE 200mm INTERVALS

CONNECT ALL DOWN PIPES TO 90mm DIA. UPVC S.W. DRAINAGE SYSTEM OR TO STORM WATER SYSTEM AS DESIGNED BY ENGINEER AND DISCHARGE TO LEGAL POINT IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

INSPECTION OPENINGS TO BE PROVIDED AT CHANGES IN DIRECTION AND FOR LENGTHS GREATER THAN 20M

RESIDENCE FINISHED FLOOR LEVEL TO BE NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL: REFER TO SITE PLAN

PROVIDE AGGY DRAINS CONNECTED TO SILT PITS AT BASE OF BATTERS. AGGY DRAINS CONNECTED TO STORM WATER SYSTEM VIA SILT PITS

TBM:
ELECTRICITY PIT
R.L. 52.33

CUT

FILL

NAL

350mm
fill along this line

550mm
fill along this line.

NOTE:- SITING SUBJECT TO COUNCIL REPORT AND CONSENT FOR GARAGE WALL HEIGHT EXCEEDING 3.2M MAX. AVERAGE

EARTHWORK PLAN

SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO THE AUSTRALIAN HEIGHT DATUM BASED ON NAR NAR GOON PM 199 (R.L.43.901)

DIMENSIONS & LEVELS TO BE VERIFIED BY CERTIFIED COPY OF TITLE OR RELOCATION SURVEY OR APPROVED PLAN OF SUB-DIVISION

BONDI 161

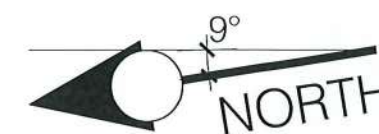
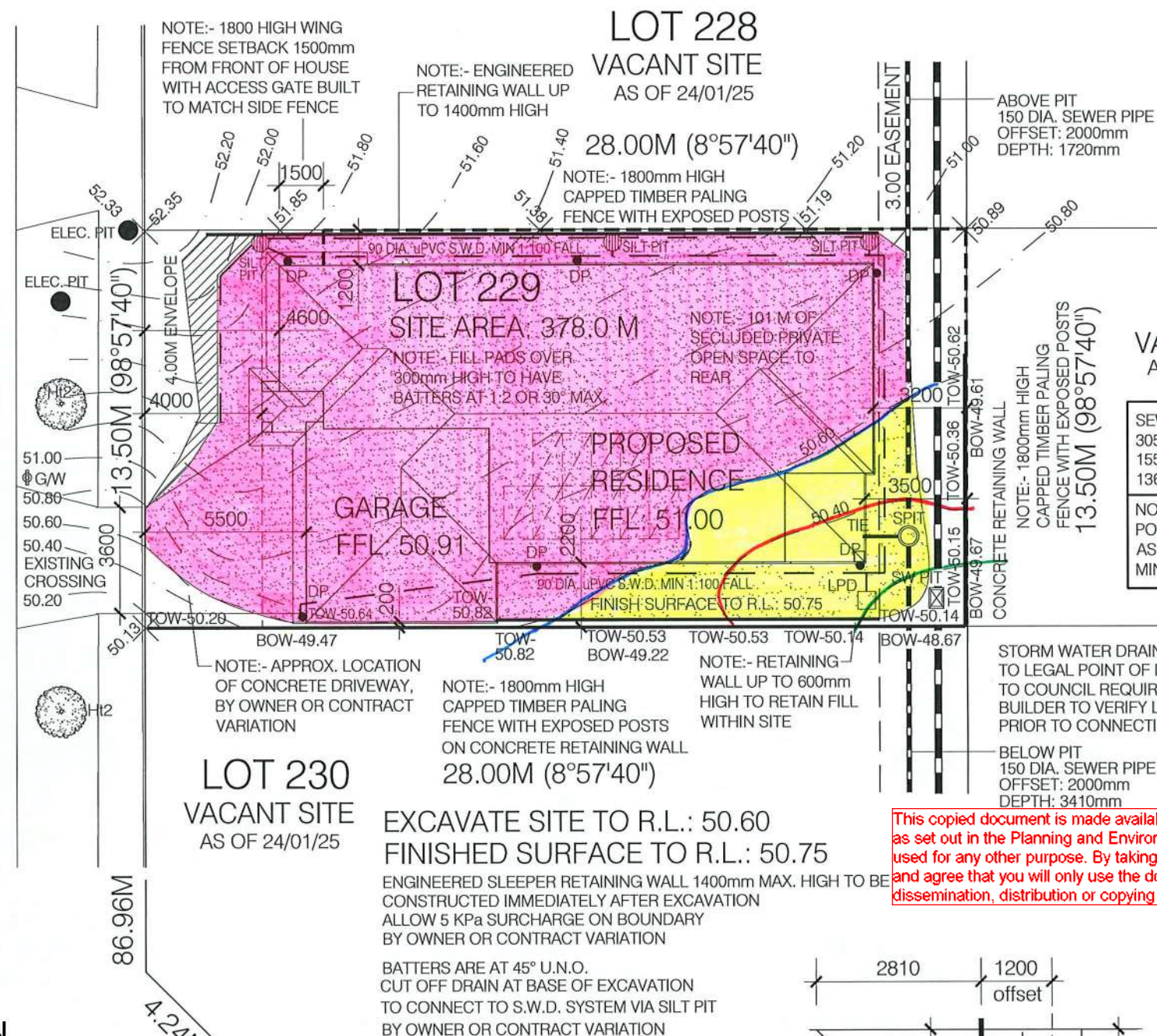
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SIGNED OWNER

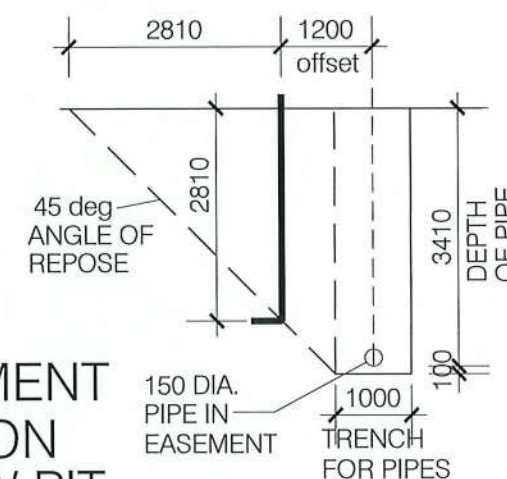
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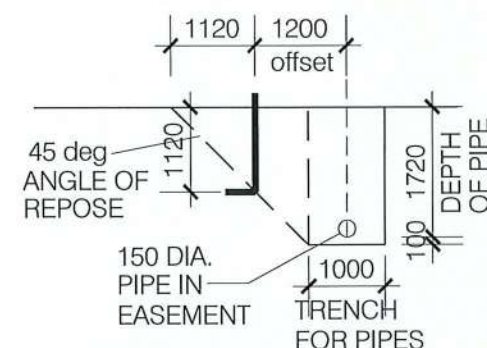


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EASEMENT SECTION BELOW PIT SCALE :- 1:100



EASEMENT SECTION ABOVE PIT SCALE :- 1:100



SITE AREA	378.0 M
RESIDENCE	160.7 M
GARAGE	41.4 M
PORCH	2.9 M
ALFRESCO	8.1 M
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SITE COVER RATIO	56% (0.564)
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TBM:
ELECTRICITY PIT
R.L. 52.33



ULMUS
PARVIFOLIA
"TODD"
(CHINESE ELM)



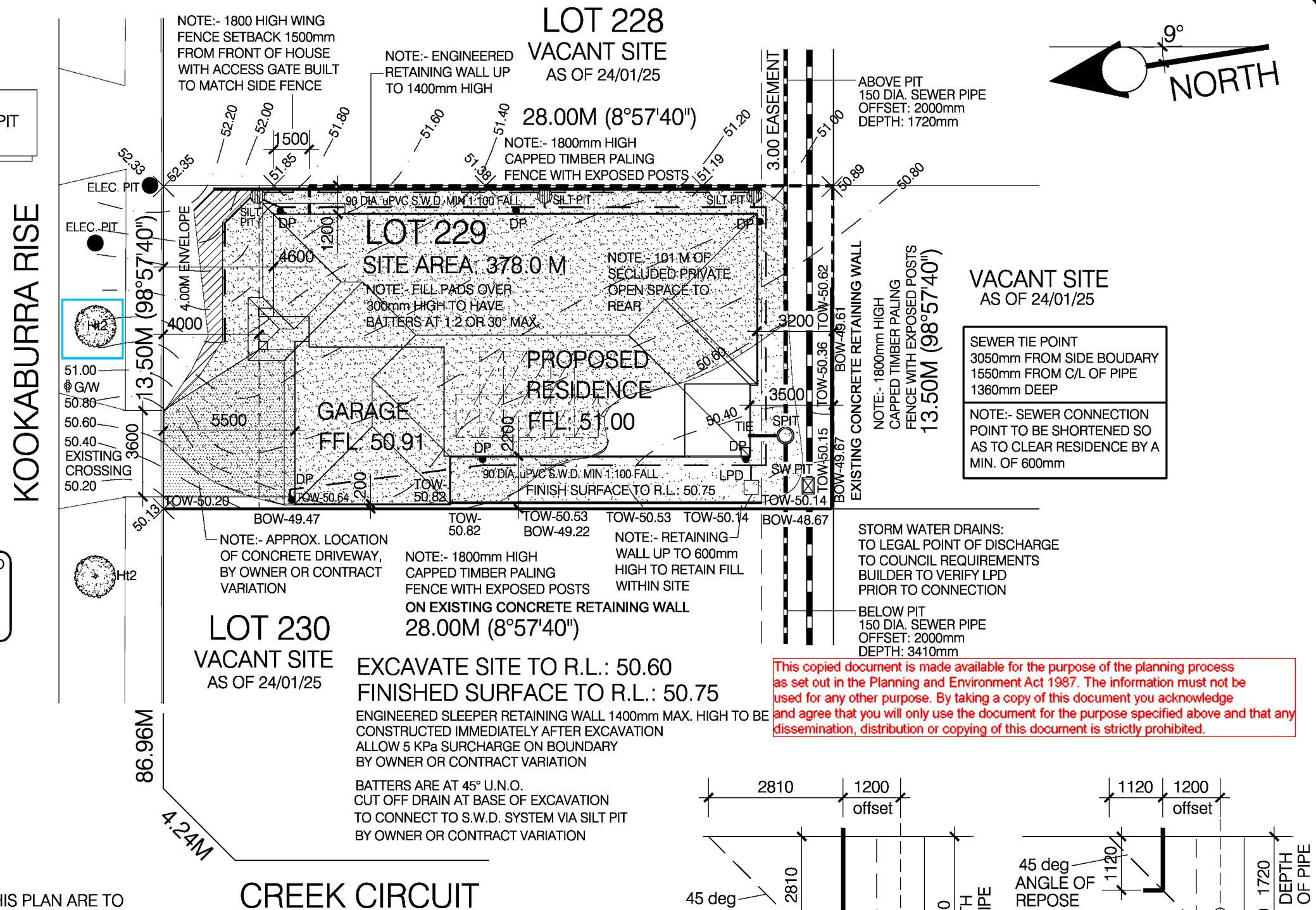
**TREE
PROTECTION
ZONE**

NOTE:- SITING SUBJECT TO COUNCIL REPORT AND CONSENT FOR GARAGE WALL HEIGHT EXCEEDING 3.2M MAX. AVERAGE

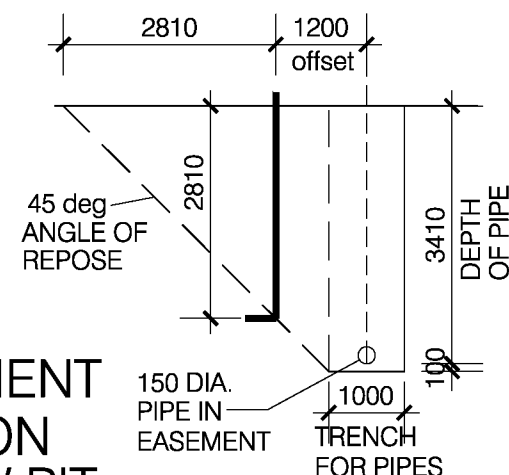
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BASED ON NAR NAR GOON PM 199 (R.L.43.901)

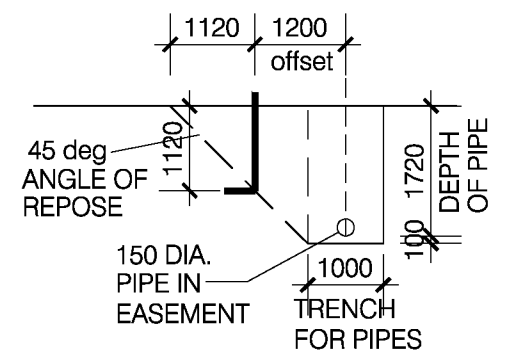
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EASEMENT
SECTION
BELOW PIT
SCALE :- 1:100



EASEMENT
SECTION
ABOVE PIT
SCALE :- 1:100

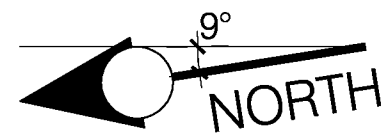


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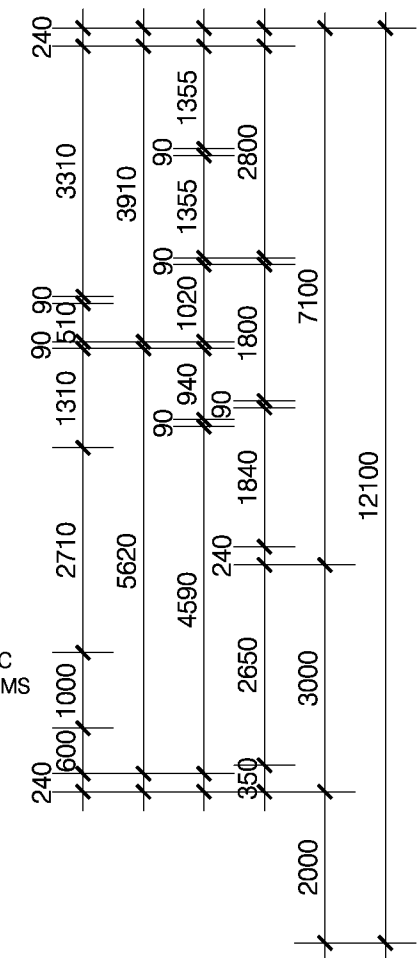
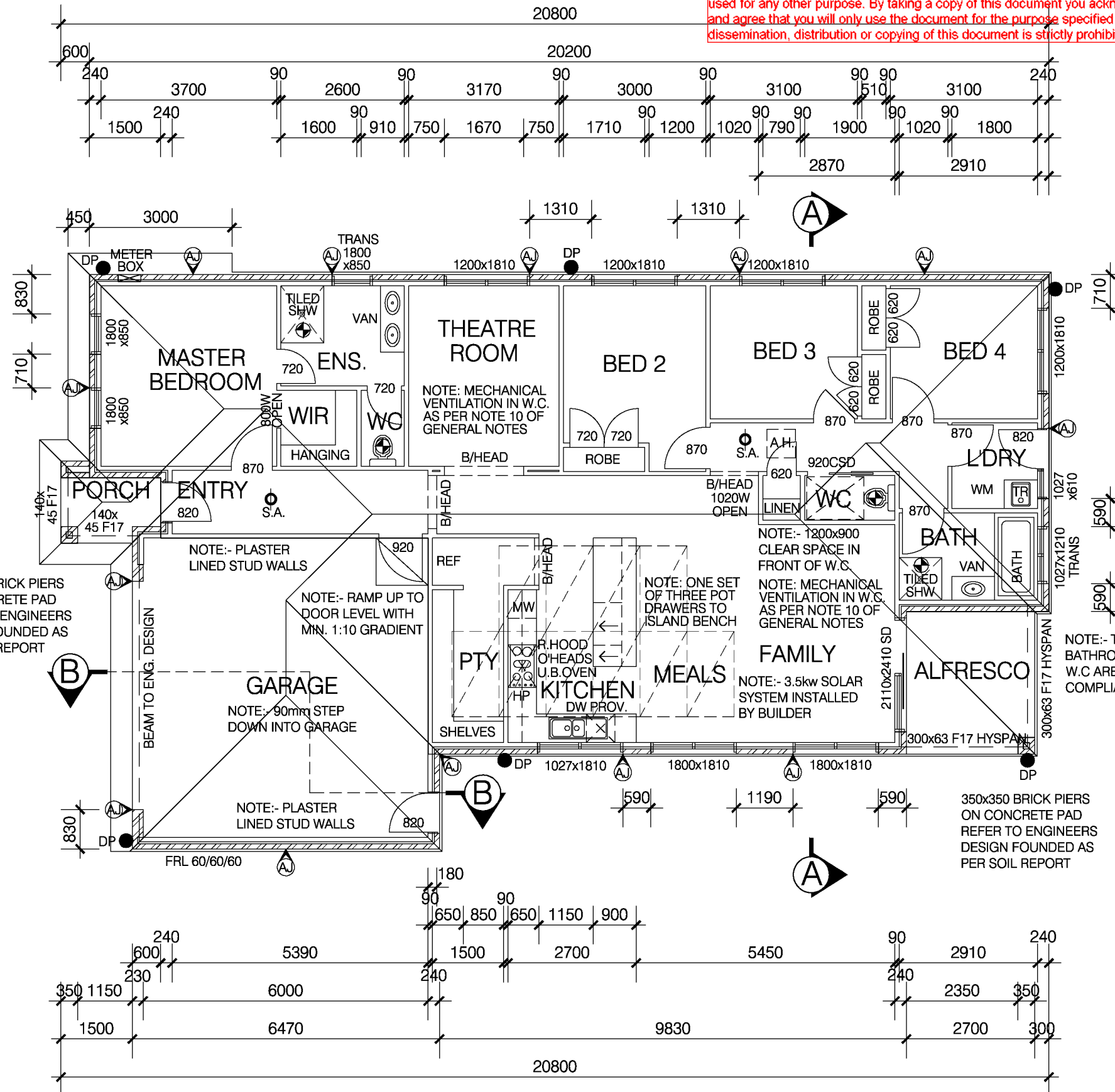
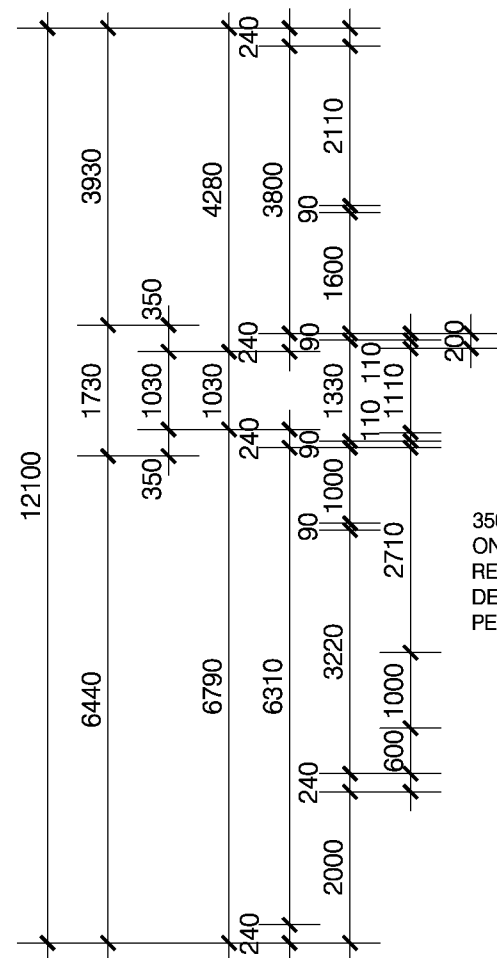


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LOCALLY FILL AROUND
DOORWAYS TO AVOID THE NEED
FOR STEPS AND GRADE SOIL
AWAY FROM HOUSE AS REQUIRED

WC DOORS TO OPEN OUT OR
HAVE REMOVABLE HINGES IF WC
HAS LESS THAN 1200mm OF
CLEARANCE FROM DOOR TO
CLOSET PAN

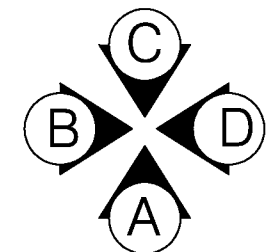


FLOOR PLAN

SCALE :- 1:100

AREA STATISTICS

FLOOR PLAN	160.7 M
GARAGE	41.4 M
PORCH	2.9 M
ALFRESCO	8.1 M



ELEVATION

BONDI 161

DATE :- / /
SIGNED BUILDER
SIGNED OWNER



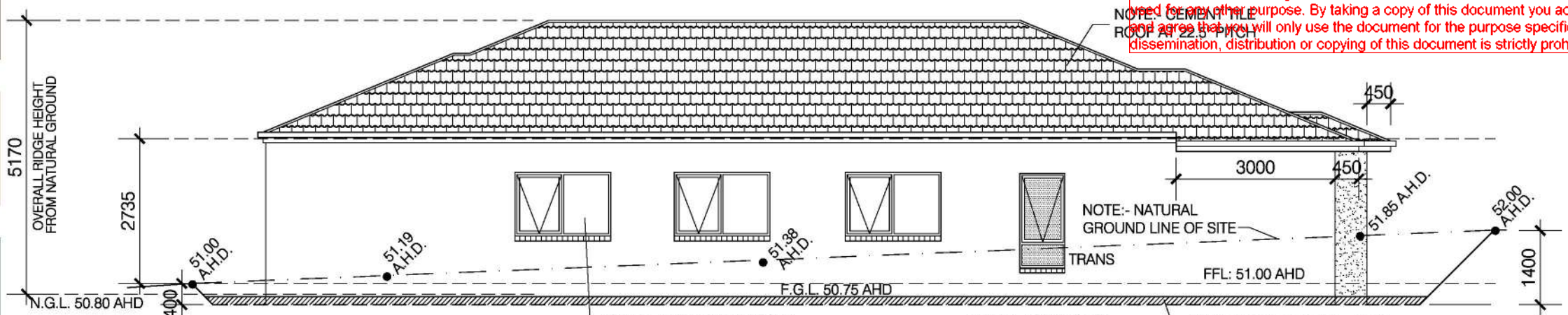
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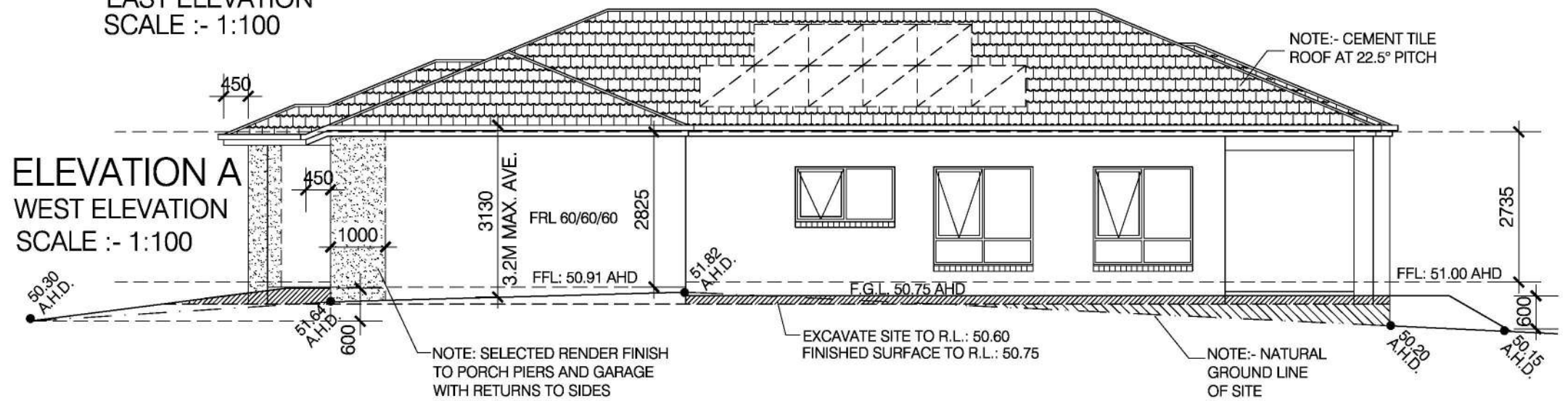
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- BALANCE DOWNPIPES – JASPER
- RENDER TO PIERS & LETTERBOX – SURFMIST
- RENDER TO GARAGE FRONT - WINDSPRAY
- GARAGE DOOR COLOUR – MONUMENT
- FRONT DOOR COLOUR – DUNE
- DRIVEWAY – COLOUR THROUGH CONCRETE – CHARCOAL

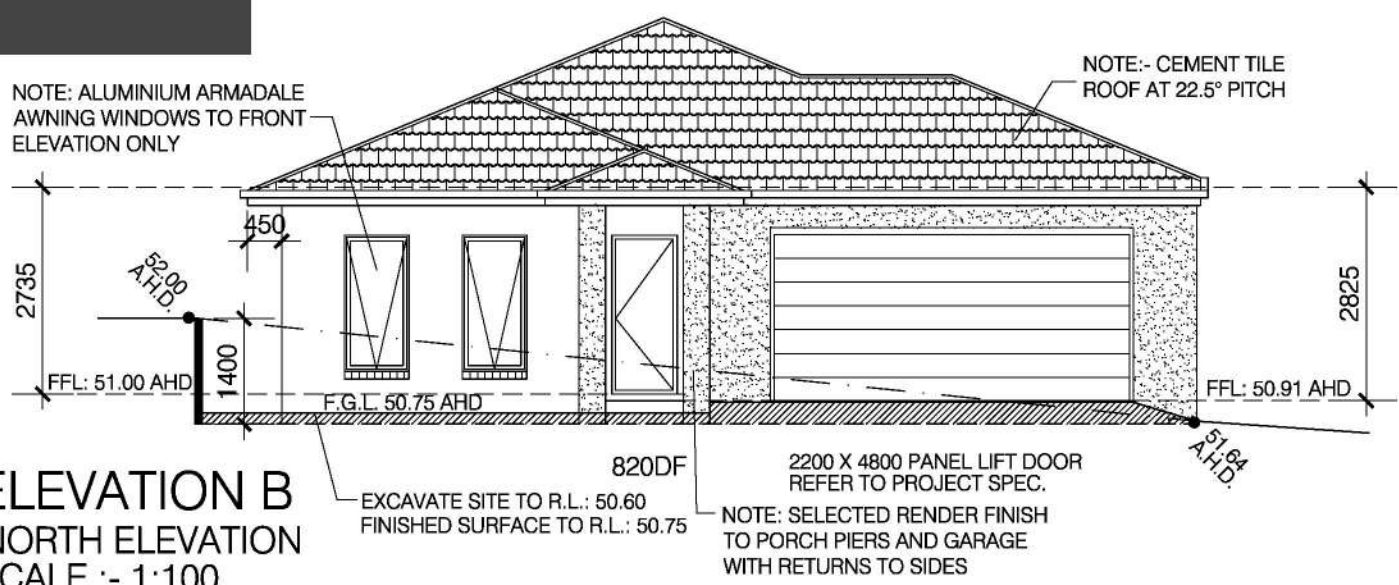
- BRICKS – AUSTRAL CANTERBURY
- ROOF TILES – BRISTLE DEEP SHADOW CLASSIC
- WINDOWS & METERBOX – BLACK
- FASCIA & GUTTER – NIGHT SKY
- DOWNPIPE TO GARAGE – WINDSPRAY



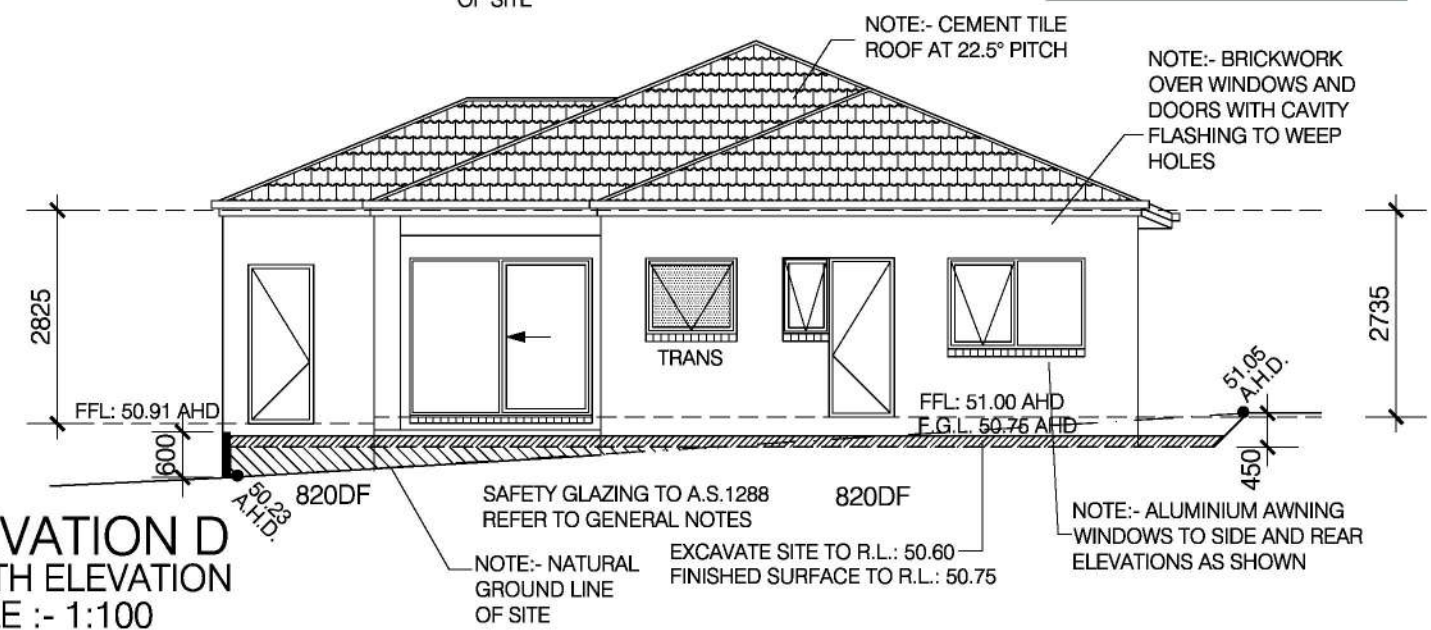
ELEVATION C
EAST ELEVATION
SCALE :- 1:100



ELEVATION A
WEST ELEVATION
SCALE :- 1:100



ELEVATION B
NORTH ELEVATION
SCALE :- 1:100



ELEVATION D
SOUTH ELEVATION
SCALE :- 1:100

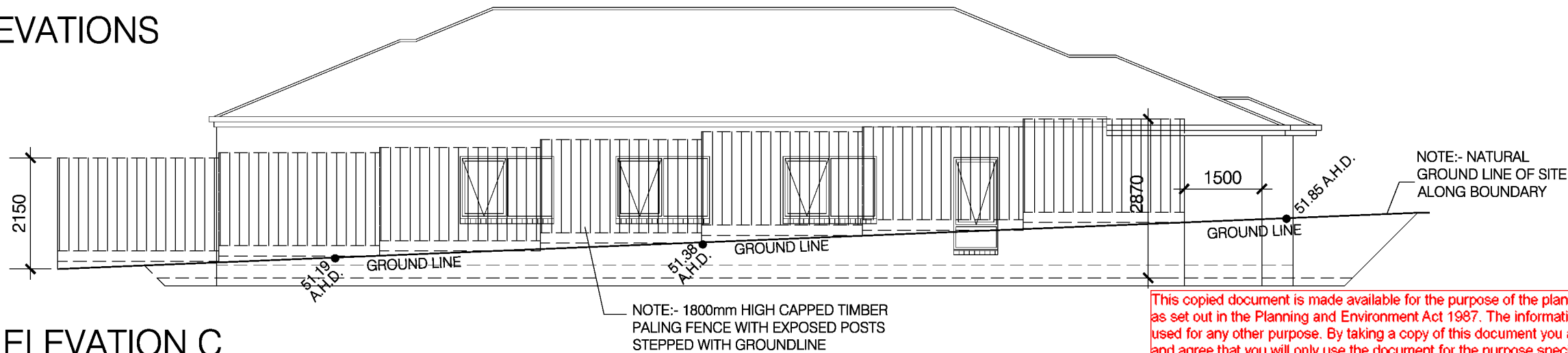
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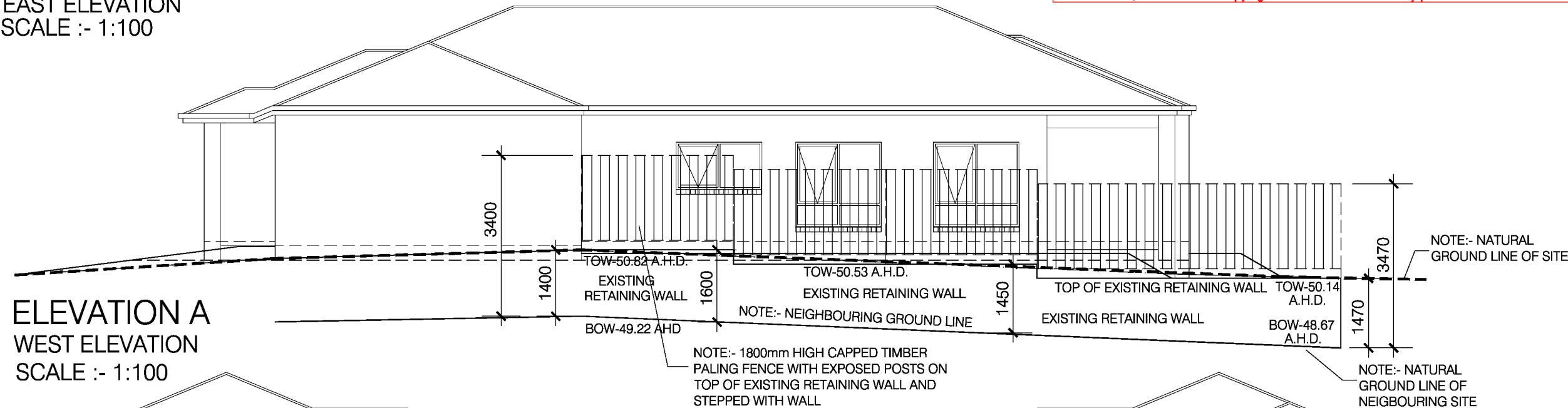
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FENCING ELEVATIONS
SCALE :- 1:100



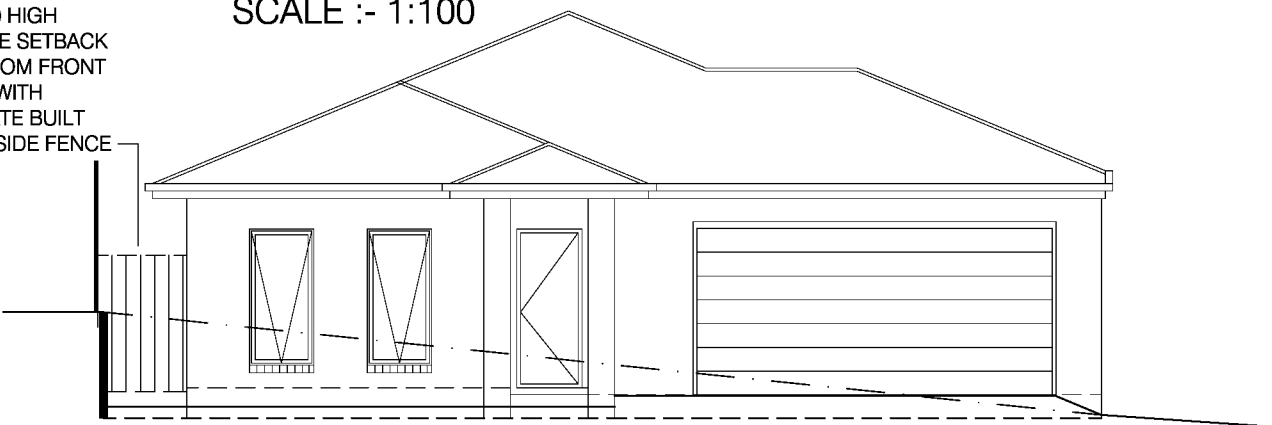
ELEVATION C
EAST ELEVATION
SCALE :- 1:100

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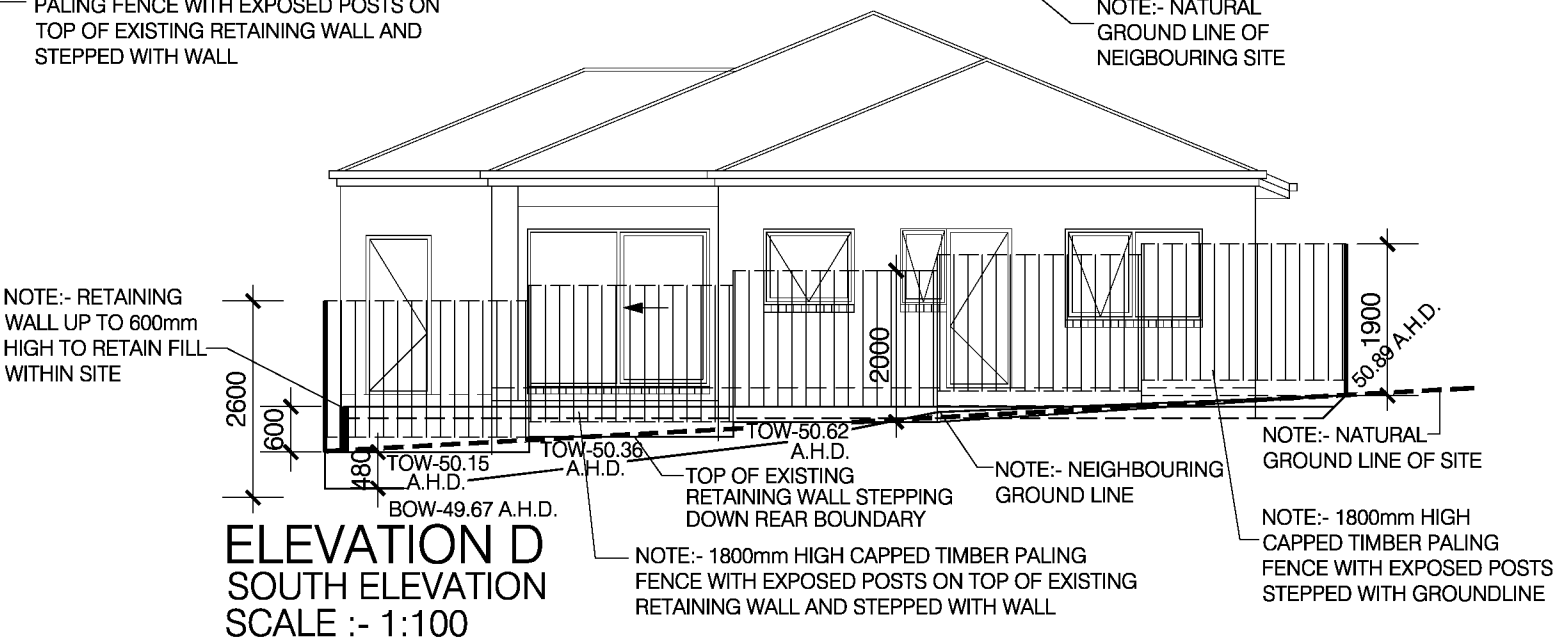


ELEVATION A
WEST ELEVATION
SCALE :- 1:100

NOTE:- 1800 HIGH WING FENCE SETBACK 1500mm FROM FRONT OF HOUSE WITH ACCESS GATE BUILT TO MATCH SIDE FENCE



ELEVATION B
NORTH ELEVATION
SCALE :- 1:100



ELEVATION D
SOUTH ELEVATION
SCALE :- 1:100

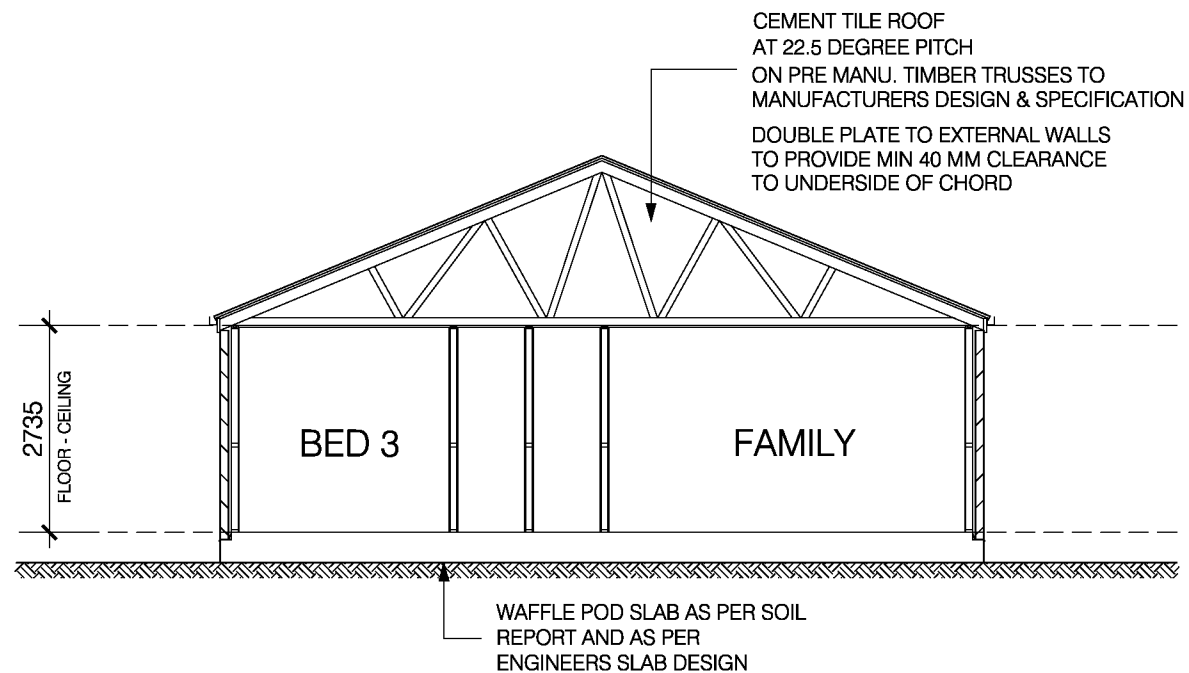
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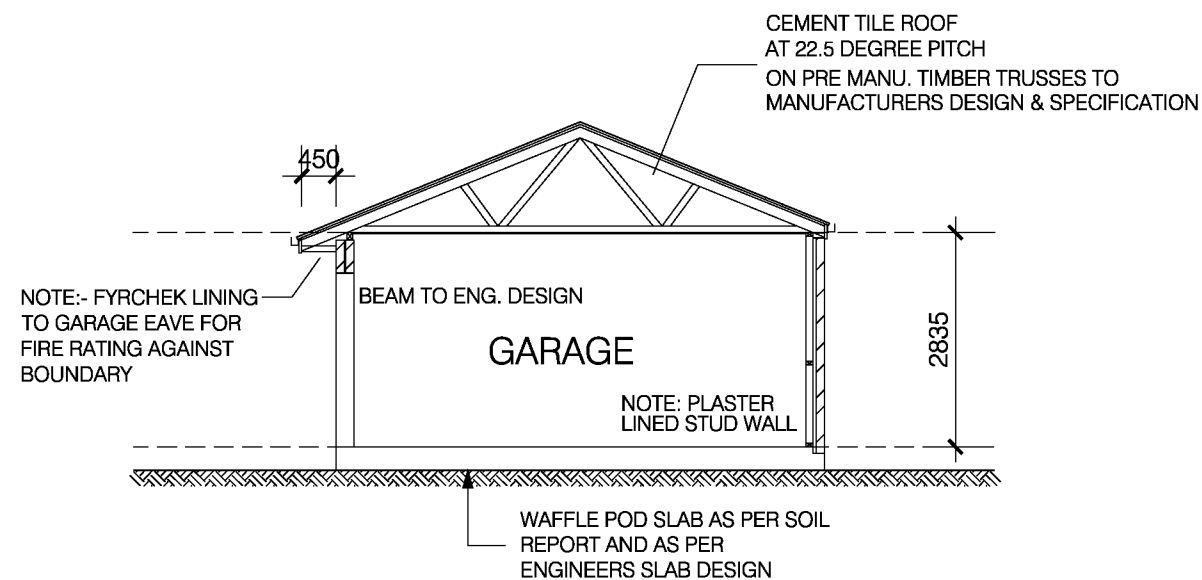


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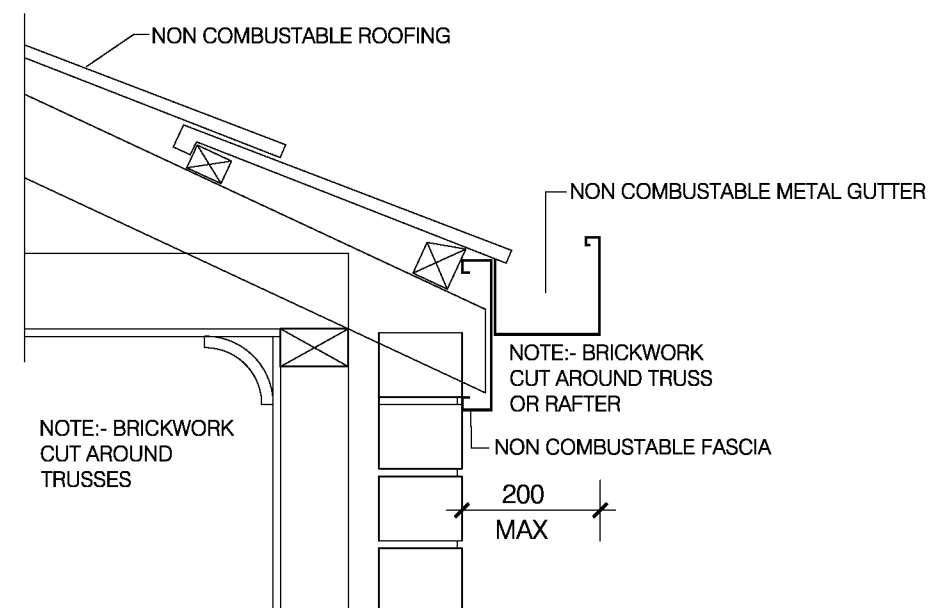
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SECTION A-A
SCALE :- 1:100



SECTION B-B
SCALE :- 1:100



GARAGE OVERHANGING GUTTER
DETAIL A
SCALE :- 1:10

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ELECTRICAL SCHEDULE

⊕	LIGHT POINTS WITH 22watt LOW ENERGY GLOBE
⊕	DOWN LIGHT POINT WITH 22watt GLOBE
+	LED DOWN LIGHTS WITH 10watt GLOBE
◀▶	DOUBLE POWER POINTS
◀	SINGLE POWER POINTS
◀X	EXTERNAL POWER POINTS
⊙	DUCTED EXHAUST FAN/S
⊙ S.A.	SMOKE ALARMS
Ⓚ	HEATING DUCT POINT
EV	EVAP COOLING DUCT POINT
⊙	ROUND FLOURESCENT LIGHT
⊕	SINGLE FLOURESCENT LIGHT 1/32watt FLOURESCENT TUBE
⊕	DOUBLE FLOURESCENT LIGHT 2/32watt FLOURESCENT TUBES
TV	TELEVISION POINT
TEL	TELEPHONE POINT BY OTHERS
⊕	SINGLE PARAFLOOD LIGHT
⊕	DOUBLE PARAFLOOD LIGHT
⊕	IXL TASTIC HEAT/LIGHT/FAN

WATTAGE ALLOWANCE

	Area	Watts M ²	Allowed
Residence	160.7 M	5 Watts M ²	803.5 W
Garage	41.4 M	3 Watts M ²	124.2 W
Outdoor	11.0 M	4 Watts M ²	44.0 W
TOTAL ALLOWANCE			971.7 W
TOTAL SUPPLIED			406.0 W

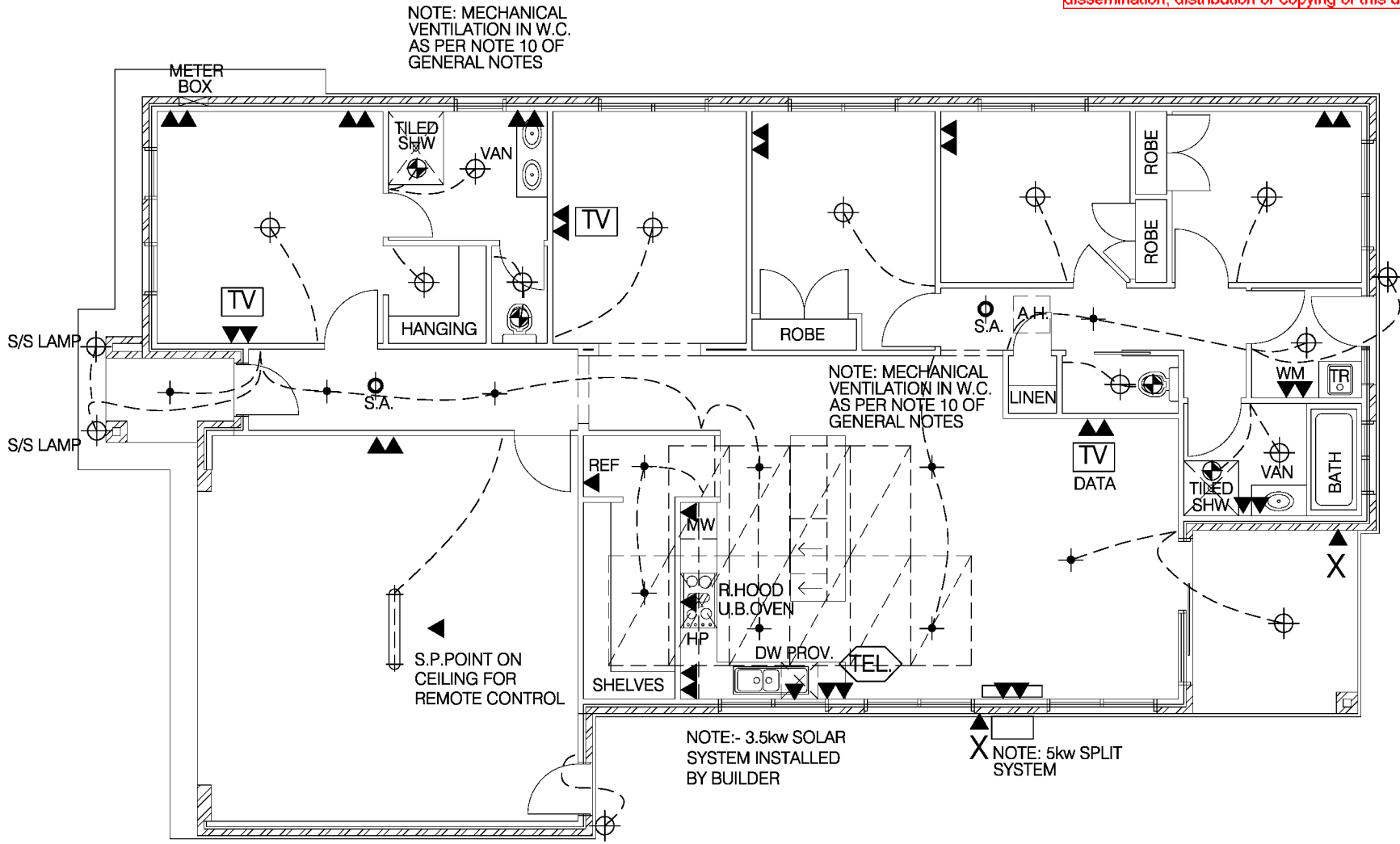
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ELECTRICAL FLOOR PLAN
SCALE :- 1:100

HEATING AND COOLING DUCTWORK

- A/ HEATING AND COOLING DUCTWORK AND FITTINGS MUST-
- (i) ACHIEVE THE MATERIAL R-VALUE IN TABLE 3.12.5.2: AND
 - (ii) BE SEALED AGAINST AIR LOSS-
 - (A) BY CLOSING ALL OPENINGS IN THE SURFACE, JOINTS AND SEAMS OD DUCTWORK WITH ADHESIVE, MASTICS, SEALANT OR GASKETS IN ACCORDANCE WITH AS4254 FOR A CLASS C SEAL OR
 - (B) FOR FLEXIBLE DUCTWORK, WITH A DRAW BAND IN CONJUNCTION WITH A SEALANT OR ADHESIVE TAPE.
- B/ DUCT INSULATION MUST-
- (i) ABUT ADJOINING DUCT INSULATION TO FORM A CONTINUOUS BARRIER AND
 - (ii) BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN AT FLANGES AND SUPPORTS, AND
 - (iii) WHERE LOCATED OUTSIDE THE BUILDING, UNDER A SUSPENDED FLOOR, IN AN ATTACHED CLASS 10a BUILDING OR IN A ROOF SPACE-
 - (A) BE PROTECTED BY AN OUTER SLEEVE OF PROTECTIVE SHEETING TO PREVENT THE INSULATION BECOMING DAMP, AND
 - (B) HAVE THE OUTER PROTECTIVE SLEEVE SEALED WITH ADHESIVE TAPE NOT LESS THAN 48mm WIDE CREATING AN AIRTIGHT AND WATERPROOF SEAL.
- C/ THE REQUIREMENTS OF (A) DO NOT APPLY TO HEATING AND COOLING DUCTWORK AND FITTINGS LOCATED WITHIN THE INSULATED BUILDING ENVELOPE INCLUDING SERVICE RISER WITHIN THE CONDITIONED SPACE, INTERNAL FLOORS BETWEEN STORIYS AND THE LIKE

HEATING AND COOLING DUCTWORK AND FITTINGS
MINIMUM MATERIAL R-VALUE

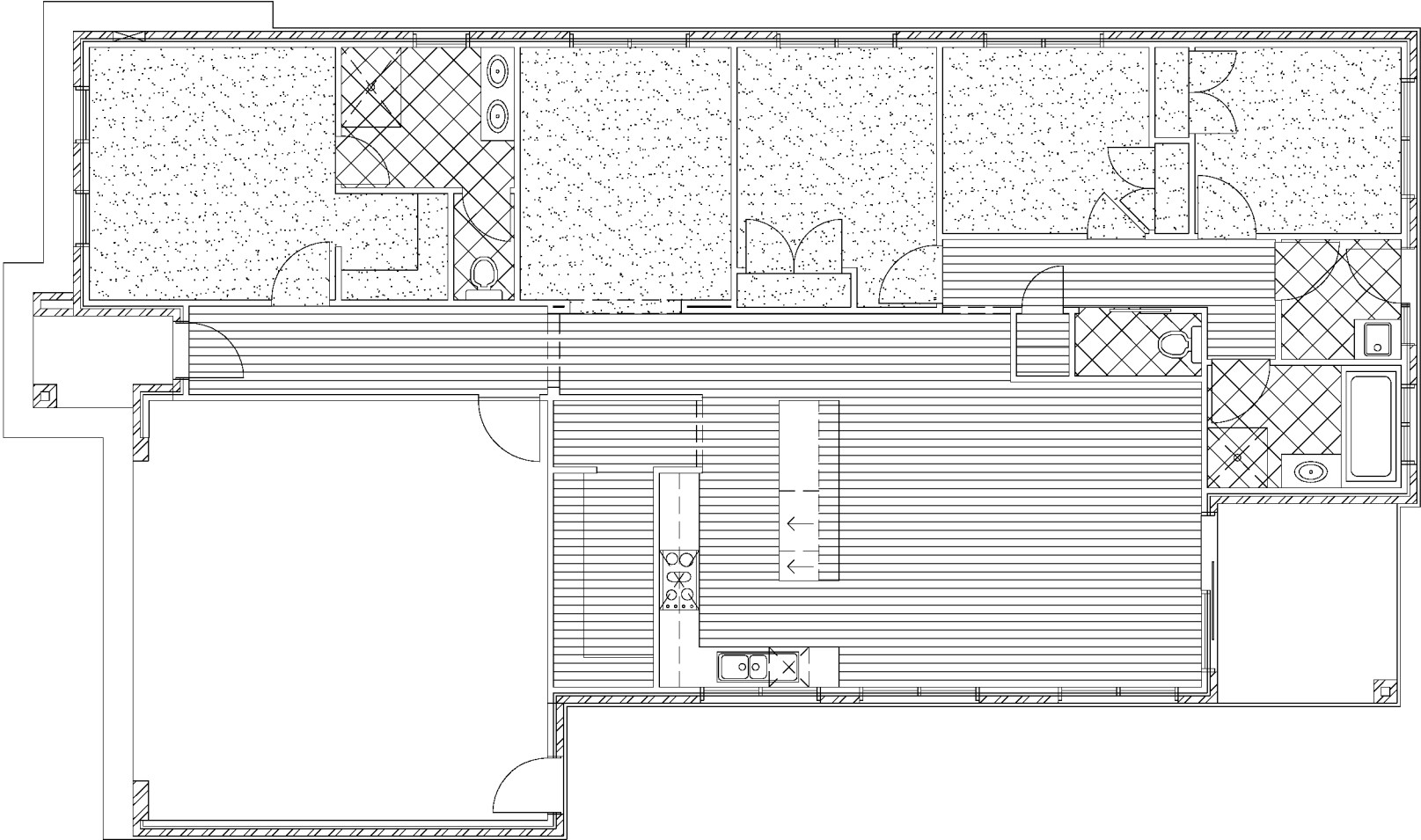
DUCTWORK ELEMENT	MINIMUM MATERIAL R-VALUE FOR DUCTWORK AND FITTINGS IN EACH CLIMATE ZONE				
	HEATING ONLY SYSTEM OR COOLING ONLY SYSTEM INCLUDING AN EVAPORATIVE COOLING SYSTEM		COMBINED HEATING AND REFRIGERATED COOLING SYSTEM		
	CLIMATE ZONES 1, 2, 3, 4, 5, 6 & 7	CLIMATE ZONE 8	CLIMATE ZONES 1, 3, 4, 6 & 7	CLIMATE ZONES 2 & 5	CLIMATE ZONE 8
DUCTWORK	R 1.0	R 1.5	R 1.5 (SEE NOTE)	R 1.0	R 1.5
FITTINGS	R 0.4				

NOTE:- THE MINIMUM MATERIAL R-VALUE REQUIRED FOR DUCTWORK MAY BE REDUCED BY R 0.5 FOR COMBINED HEATING AND REFRIGERATED COOLING SYSTEMS IN CLIMATE ZONE 1, 3, 4, 5 AND 7 IF THE DUCT ARE -

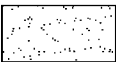

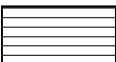
(a) UNDER A SUSPENDED FLOOR WITH AN ENCLOSED PERIMETER, OR

(b) IN A ROOF SPACE THAT HAS INSULATION OF NOT LESS THAN R 0.5 DIRECTLY BENEATH ROOFING

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FLOOR COVERING LAYOUT
SCALE :- 1:100

-  REPRESENTS EXTENT OF CARPET
-  REPRESENTS EXTENT OF FLOOR TILING FOR ILLUSTRATION PURPOSES ONLY
-  REPRESENTS EXTENT OF LAMINATED FLOORING FOR ILLUSTRATION PURPOSES ONLY

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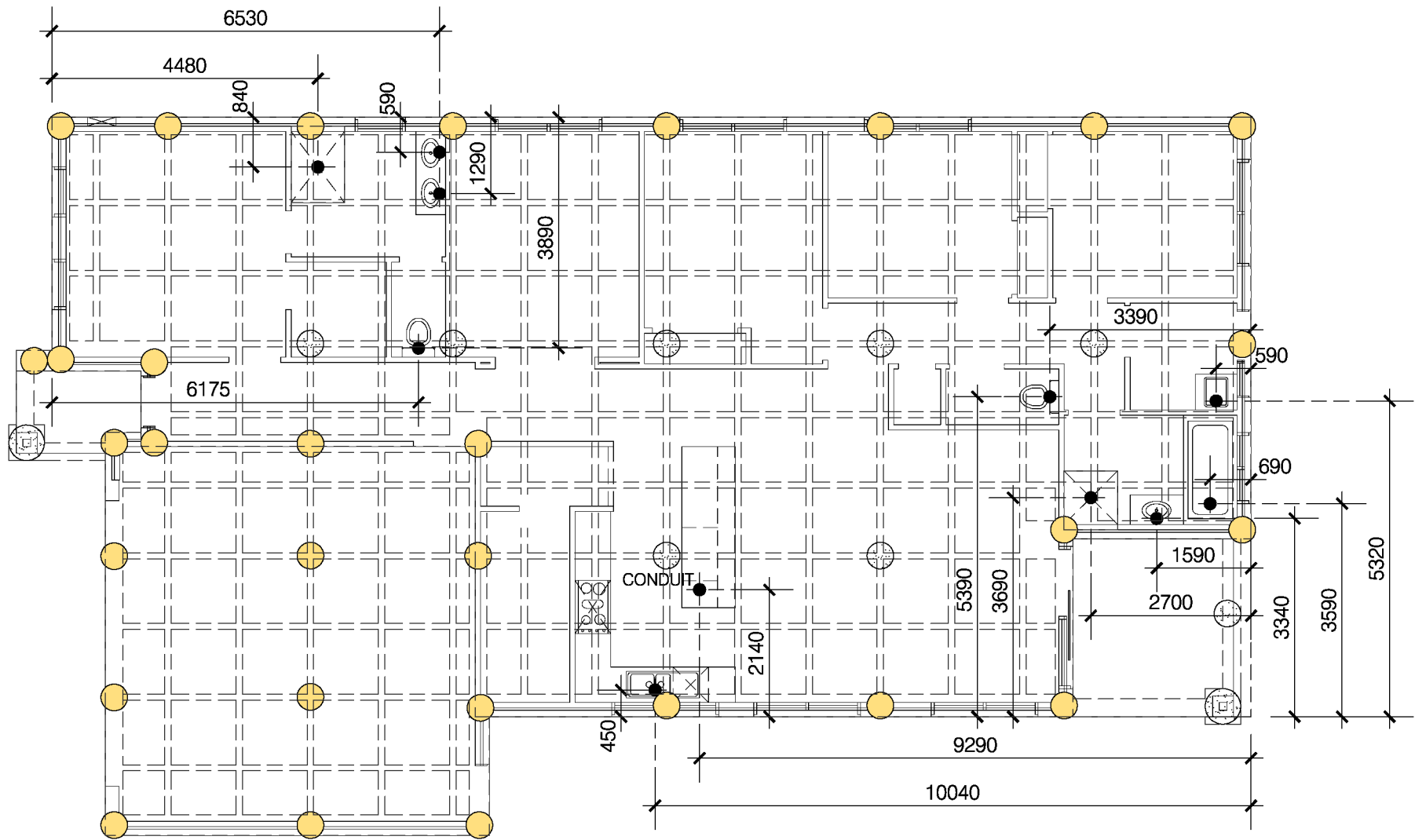


WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT

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SLAB PENETRATION PLAN TO
BE READ IN CONJUNCTION
WITH FLOOR PLAN. BUILDER
TO VERIFY DIMENSIONS ARE
CORRECT PRIOR TO
COMMENCEMENT OF WORKS

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SLAB PENETRATION PLAN
SCALE :- 1:100

BONDI 161

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WATERPROOFING OF DOMESTIC WET AREAS
ALL WORKS TO COMPLY WITH A.S 3740 - 2021
CATEGORY OF RISK FOR WET AREAS:

CATEGORY 1 WET AREAS (HIGH RISK), INCLUDE:

- ENCLOSED SHOWER AREAS
- UNENCLOSED SHOWER AREAS
- BATHS WITH UNENCLOSED SHOWERS OVER THEM
- ANY AREA WITHIN THE REACH OF A HAND-HELD SHOWER FITTING
- WATER CLOSETS WITH A HAND-HELD DOUCHE SPRAY
- DEDICATED DOUCHE ROOMS

CATEGORY 2 WET AREAS (MODERATE RISK), INCLUDE:

- THE WHOLE OF THE BATHROOM AREA OUTSIDE AN UNENCLOSED SHOWER AREA
- THE WHOLE OF THE BATHROOM AREA OUTSIDE AN UNENCLOSED SHOWER OVER BATH

CATEGORY 3 WET AREA (LOW RISK), INCLUDE:

- BATHROOM AREAS OUTSIDE ENCLOSED SHOWER AREAS
- BATHROOMS WITHOUT A SHOWER AREA
- WATER CLOSETS OR POWDER ROOMS
- LAUNDRY ROOMS WITHOUT A SHOWER

WHERE A FLOOR WASTE IS REQUIRED IN A SHOWER AREA OR WET AREA, WATER SHALL DRAIN TO THAT FLOOR WASTE.

WHERE A FLOOR WASTE IS REQUIRED IN A WET AREA, THE MEMBRANE SHALL BE APPLIED TO A SUBSTRATE WITH A MINIMUM 1:100 FALL TOWARDS THE FLOOR WASTE.

THE FALL TO THE FLOOR WASTE IN A SHOWER AREA (CATEGORY 1) SHALL BE A MINIMUM OF 1 :80.

WHERE A REQUIRED FLOOR WASTE IS INSTALLED ADJACENT TO A SHOWER AREA (CATEGORY 2), THE MINIMUM FALL TO THE WASTE SHALL BE 1:100

FALLS IN WET AREA FLOOR FINISHES WHERE THERE IS NO FLOOR WASTE (CATEGORY 3) - THE SHOWER SHALL BE AN ENCLOSED SHOWER, THERE IS NO REQUIREMENT FOR FALL. WATER SHALL BE RETAINED IN THE WET AREA.

WATERSTOPS FOR ENCLOSED SHOWERS WITHOUT HOBS OR SET-DOWNS: AT THE EXTREMITY OF THE SHOWER AREA -

- (A) WHERE A SHOWER SCREEN IS TO BE INSTALLED, A WATERSTOP SHALL BE POSITIONED SO THAT ITS VERTICAL LEG WILL FINISH A MINIMUM OF 5MM ABOVE THE FINISHED FLOOR LEVEL; AND
- (B) WHERE THE WATERSTOP INTERSECTS WITH A WALL OR IS JOINED, THE JUNCTION SHALL BE WATERPROOF.

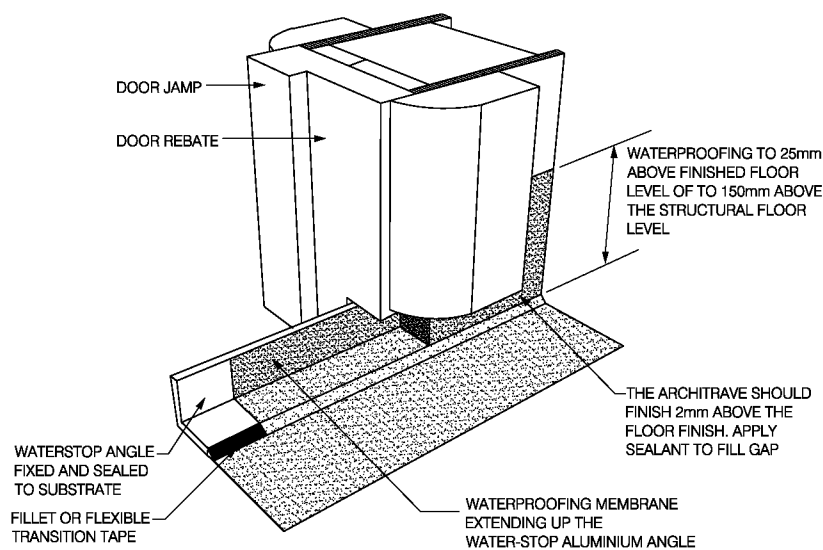


FIGURE 4.9.1. (A) EXAMPLE OF LIQUID WATERPROOFING
AT DOOR OPENING FRAMEWORK
WATER PROOFING DETAILS

DOOR OPENINGS:
PERIMETER FLASHING AT FLOOR LEVEL OPENINGS
(A) WHOLE WET AREA FLOOR WATERPROOFING SHALL INCORPORATE -
(i) A WATERSTOP THAT HAS A VERTICAL LEG FINISHING FLUSH WITH THE TOP OF THE FINISHED FLOOR LEVEL SHALL BE INSTALLED AT FLOOR LEVEL OPENINGS; AND
(ii) A FLOOR MEMBRANE TERMINATED TO CREATE A WATERPROOF SEAL TO THE WATERSTOP AND TO THE PERMETER FLASHING.

(B) WATERPROOFING OTHER THAN WHOLE WET AREA FLOOR WATERPROOFING SHALL INCORPORATE A WATERSTOP THAT -

- (i) HAS A VERTICAL LEG FINISHING FLUSH WITH THE TOP OF THE FINISHED FLOOR LEVEL INSTALLED AT FLOOR LEVEL OPENINGS; AND
- (ii) IS INTEGRAL WITH THE PERMETER FLASHING

(C) PERIMETER FLASHING TO WALL, FLOOR SURFACES AND DOOR OPENINGS SHALL -

- (i) BE CONTINUOUSLY SEALED TO THE HORIZONTAL SURFACE;
- (ii) HAVE A VERTICAL LEG OF A MINIMUM OF 25mm ABOVE THE FINISHED FLOOR LEVEL, EXCEPT ACROSS DOORWAYS; AND
- (iii) HAVE A HORIZONTAL LEG WITH A MINIMUM WIDTH OF 50MM

(D) WATERSTOPS AT CAVITY SLIDERS SHALL -

- (i) BE RETURNED ACROSS THE CAVITY OPENING; AND
- (ii) HAVE A MEMBRANE APPLIED TO FORM A CONTINUOUS PERIMETER FLASHING

PROTECTION OF DOOR FRAMES & ARCHITRAVES:

- (A) TIMBER DOOR FRAMES SHALL NOT BE EMBEDDED INTO THE TILES
- (B) THERE SHALL BE A SEALED GAP OF A MINIMUM OF 2MM BETWEEN THE DOOR ARCHITRAVE AND THE FLOOR
- (C) THE UNDERSIDE OF THE DOOR JAMB AND ARCHITRAVE SHALL BE TREATED TO RESIST MOISTURE.

VERTICAL MEMBRANE TERMINATION:

THE MEMBRANE SHALL BE APPLIED OVER THE FLOOR SUBSTRATE AND UP THE VERTICAL FACE OF THE WALL -

- (A) FOR SHOWERS WITH A HOB OR STEP DOWN, A MINIMUM HEIGHT OF 150MM ABOVE THE FINISHED TILE LEVEL OF THE FLOOR OR 25MM ABOVE THE MAXIMUM RETAINED WATER LEVEL, WHICHEVER IS THE GREATER;
- (B) FOR HOBLESS SHOWERS, A MINIMUM HEIGHT OF 150MM ABOVE THE HIGHEST FINISHED TILE LEVEL OF THE FLOOR WITHIN THE SHOWER AREA;
- (C) FOR WATERPROOFING IN SHOWER AREAS, IT SHALL BE APPLIED TO THE JUNCTIONS AND TERMINATE 1800MM ABOVE THE FINISHED FLOOR LEVEL OR 50MM ABOVE THE SHOWER ROSE, WHICHEVER IS THE HIGHER
- (D) WHERE A SHOWER ROSE IS CEILING MOUNTED, IT SHALL BE APPLIED TO THE JUNCTIONS AND TERMINATE TO THE FULL HEIGHT OF THE WALL WITH A TYPE 3 JUNCTION.

PENETRATIONS:

PENETRATIONS FOR FIXTURES SUCH AS TAPS, SHOWER NOZZLES, RECESSED SOAP HOLDERS AND THE LIKE, SHALL BE WATERPROOFED BY SEALING WITH PRE-FORMED FLANGE SYSTEMS OR A SEALANT. WHEN SEALING THE TAP BODY TO THE WALL, ALLOWANCE SHALL BE MADE FOR THE SERVICING OF TAP WASHERS OR CERAMIC DISKS WITHOUT DAMAGING THE WATERPROOFING OR SEAL.

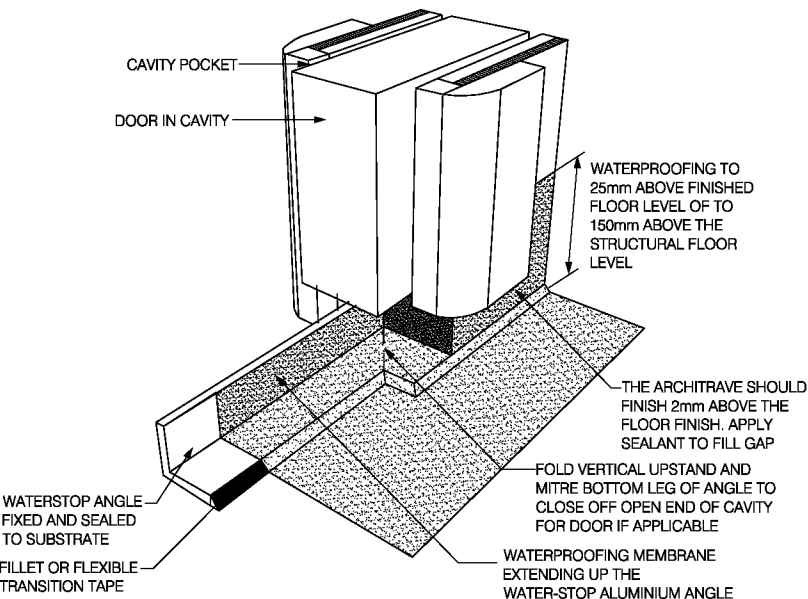


FIGURE 4.9.1. (B) WATERPROOFING AT DOOR OPENING
CAVITY SLIDER

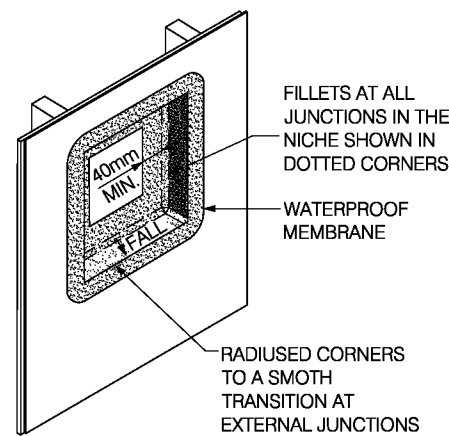


FIGURE 4.12.4. NICHE IN SHOWER WALL FRAMEWORK

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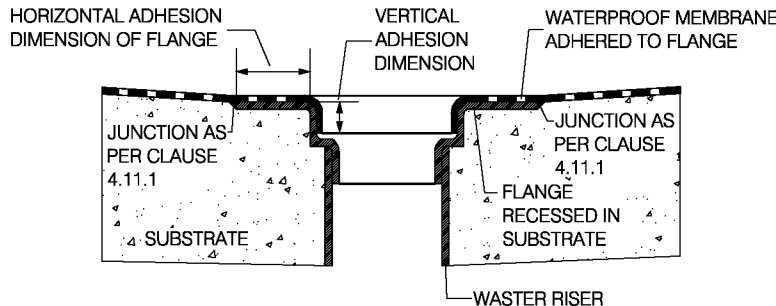
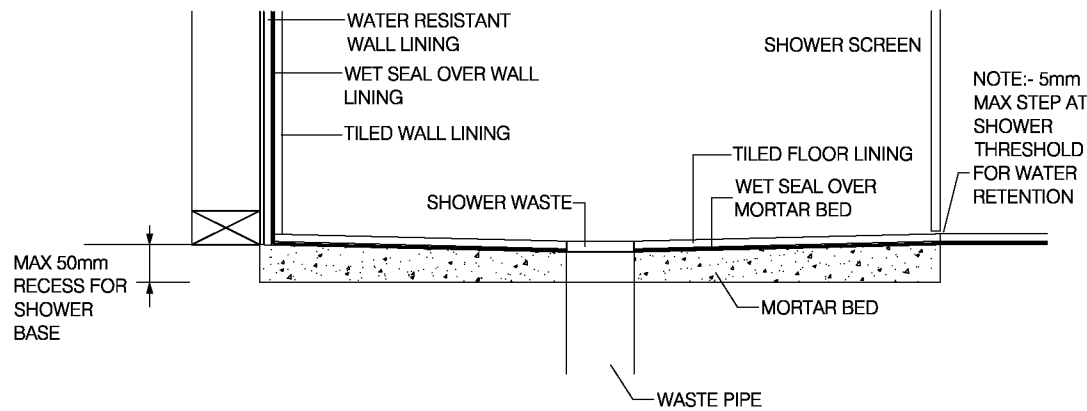


FIGURE 4.3.1. (B) TYPICAL MEMBRANE TERMINATION AT
LEAK CONTROL FLANGE WITH DOWN LEG



TILED SHOWER BASE ON CONCRETE FLOOR

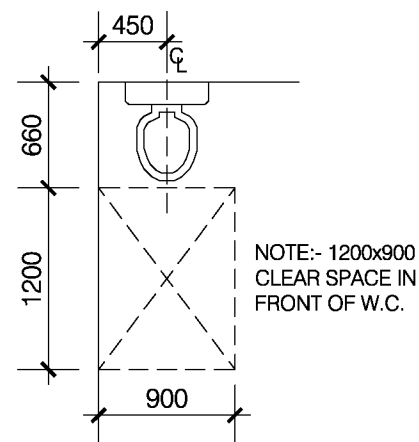
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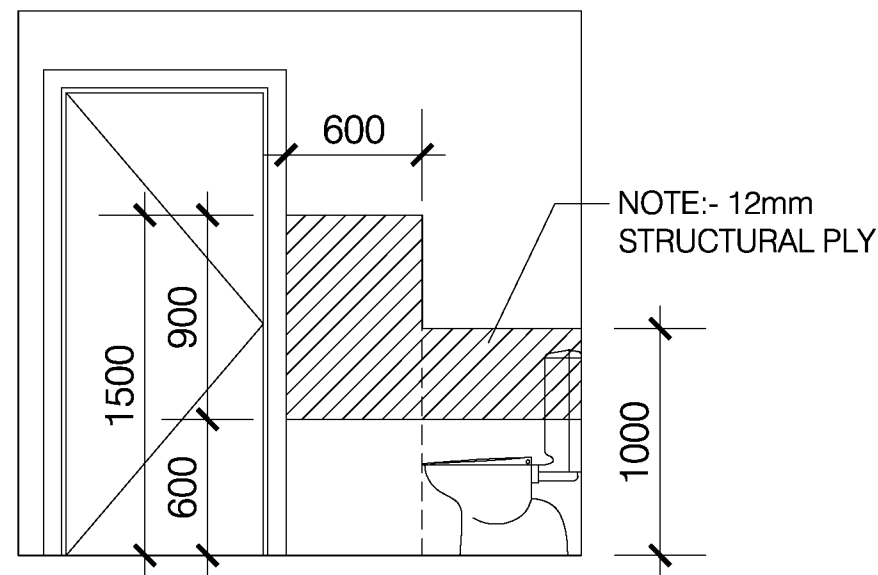


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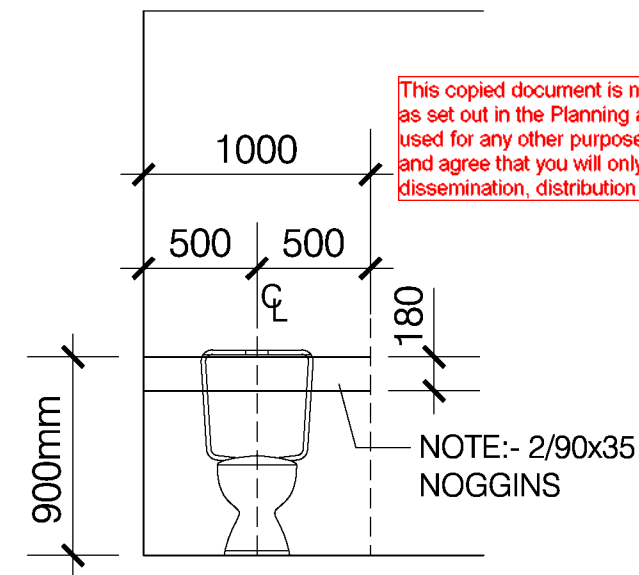
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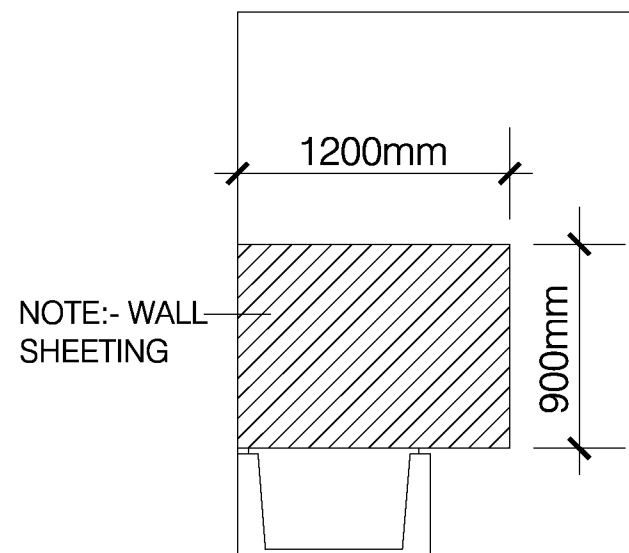
CIRCULATION SPACE FOR W.C.



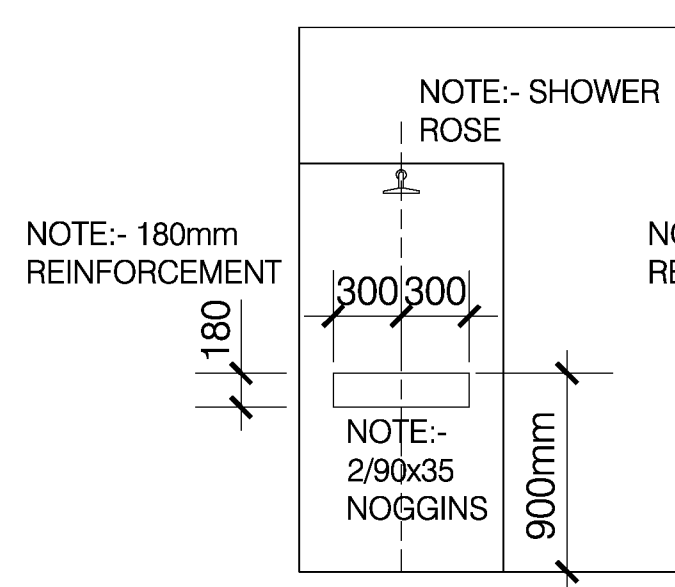
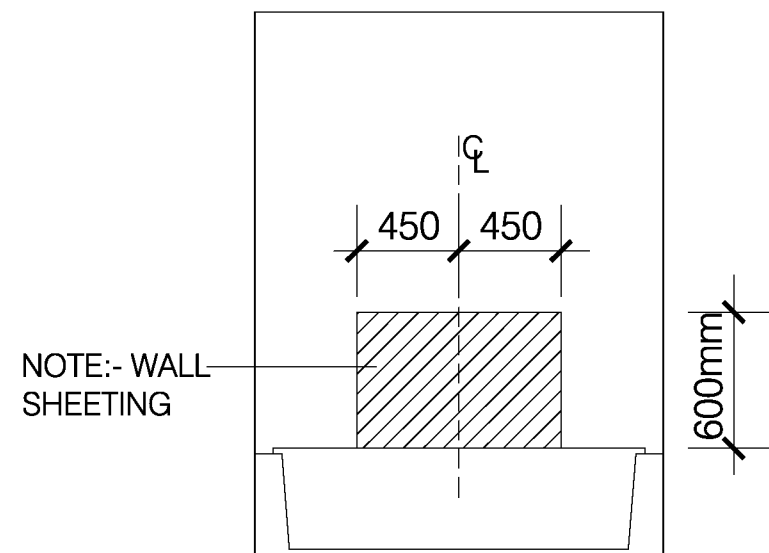
MIN. EXTENT OF SHEETING FOR WALL ADJACENT TO W.C.



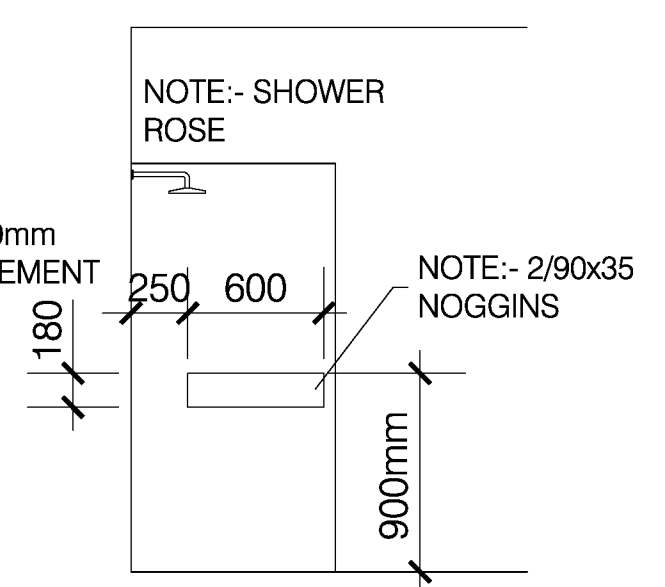
LOCATION OF NOGGINS FOR A WALL BEHIND W.C.



LOCATION OF SHEETING FOR WALLS SURROUNDING A BATH



LOCATION OF NOGGINS FOR SHOWER WALLS



NCC NOGGINS & CLEARANCES

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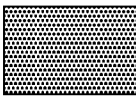
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PLANT SCHEDULE

TYPE	BOTANICAL NAME	COMMON NAME	HT.	WIDTH	FLOWER COLOR	SEASON	SIZE	Qty.
Small Tree	Crowea exaltata	Glossy abelia	0.75m	0.75m			150 tub	6
Plant	Cordyline	Red Sensation	1m	0.6m			200 tub	27
Plant	Acacia cognata limelight		1m	1m	Cream	Spring	150 tub	13
Plant	Ulmus parvifolia "Todd"	Chinese Elm	10m	11m			1.8m	1
Tree	Acacia pendula	Weeping Myall	8m	6m			1.5m	2



MULCHED GARDEN BED
Min. 125mm Top Soil &
Min. 75mm Fine Shredded
Fine Wood Mulch

PLANTING NOTES:

- 1.PLANTS ARE TO BE PLACED IN THE CENTRE OF THE HOLE
- 2.PLANTS MUST BE SET AT A LEVEL SUCH THAT THE CROWN OF THE PLANTS ESTABLISH A NORMAL & NATURAL RELATIONSHIP WITH THE SURROUNDING LEVELS
- 3.AFTER REMOVAL FROM CONTAINER THE HANDLING OF THE ROOT SYSTEM MUST BE DONE WITH MINIMUM ROOT DISTURBANCE PARTICULARLY AUSTRALIAN NATIVES
- 4.PLANTS MUST BE HEALTHY & PLANT ROOT SYSTEM MUST BE MOIST AT THE TIME OF PLANTING. PLANTS MUST BE WATERED WITH APPROX. -10 LITRES OF WATER AT TIME OF PLANTING.
- 5.PLANTS EXCEEDING 200MM POT SIZE SHALL BE STAKED AGAINST PREVAILING WINDS.
- 6.ALL PLANTS SHALL RECEIVE SLOW RELEASE FERTILIZER AT A QUANTITY RELATIVE TO THE POT SIZE.

Two 38mm x 38mm x 2400 Hardwood Stakes Tied Loosely to Plant Using Two 50mm Wide Hessian Ties To Be Driven Clear Of The Root Ball

Leave a Space Between Mulch & Trunk

75mm Deep Mulch

75mm High Beam To Form A Watering Basin

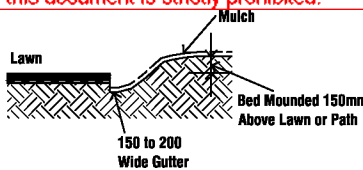
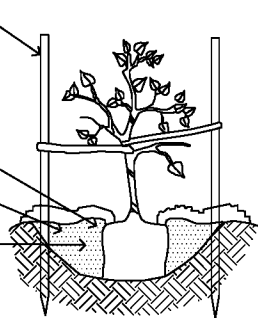
Dig a Sloping Shallow Hole, 2-3 Times The Width of the Root Ball.

Backfill with Site Soil Firming Progressively

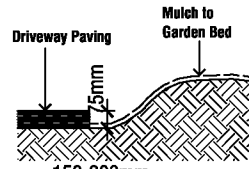
Roughen edge of Planting Hole

Depth of Planting Hole No Deeper Than the Root Ball.

ADVANCED TREE PLANTING DETAIL



LAWN TO GERDEN BED DETAIL



PAVING TO GERDEN BED DETAIL

Tree Protection

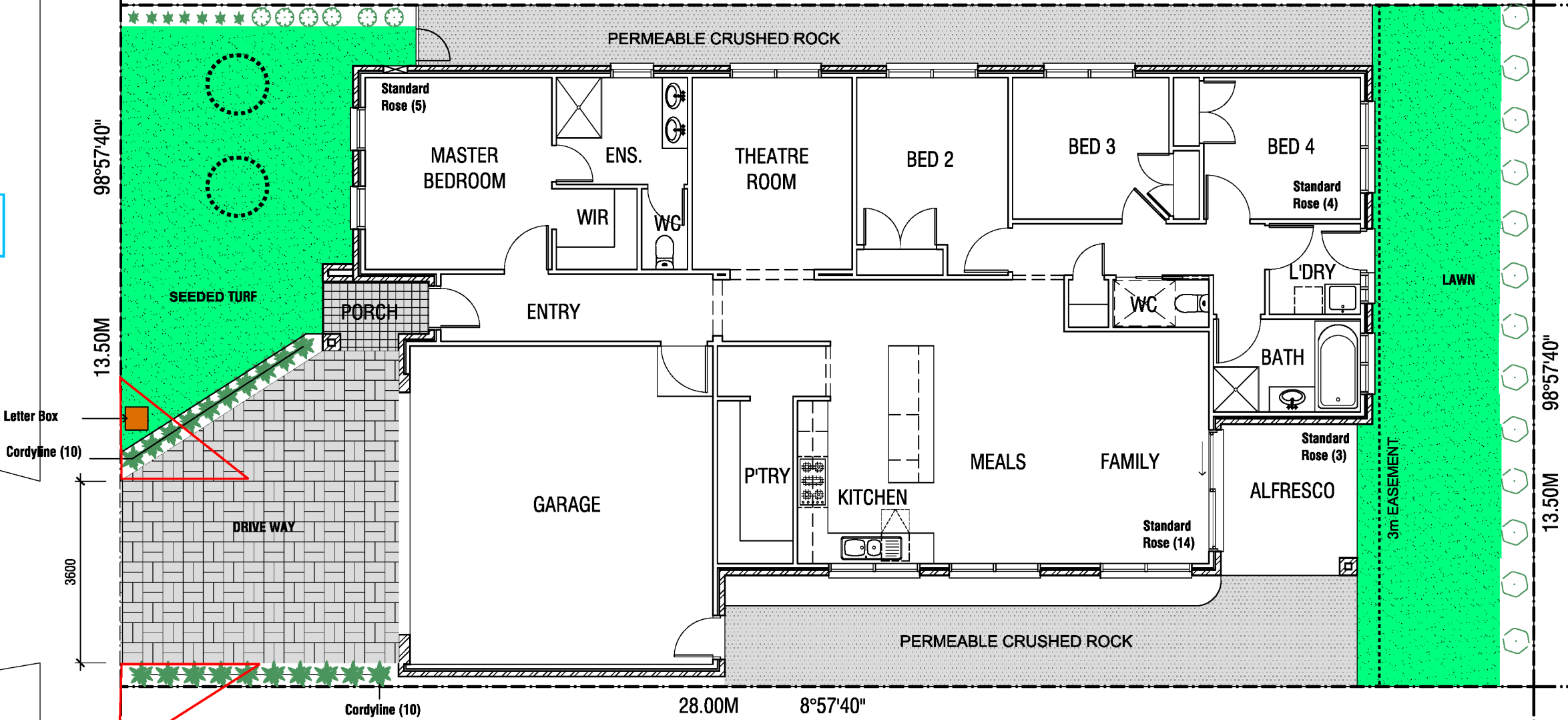
NOTE: Canopy trees to front yard, plants to LHS front boundary & all plants to rear to be installed by owner in addition to other planting done by builder

NOTE: Cordyline to be pruned & kept to 0.6m

KOOKABUBRA RISE

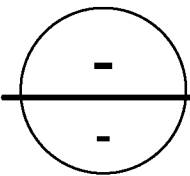
LOT 228

28.00M 8°57'40"



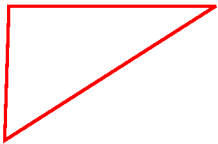
VACANT SITE

LOT 230

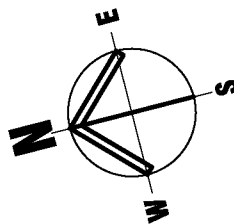


LANDSCAPE PLAN

SCALE 1:100



Corner spay minimum 50% clear of visual obstructions extending at least 2m along the frontage road & 2.5m along exit lane. Landscaping within corner spay must have maximum height of 600mm



SCALE 1:100 A3 SIZE