
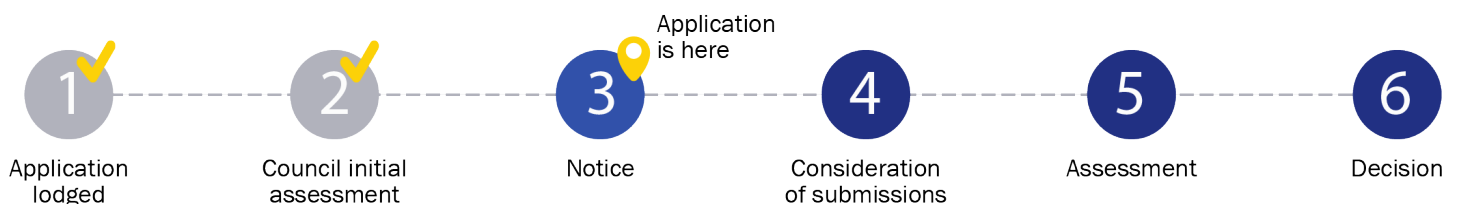


# Notice of Application for a Planning Permit

The land affected by the application is located at:	L2 PS804254 335 McCraws Road, Catani VIC 3981
The application is for a permit to:	Buildings and Works (Construction of an Outbuilding and Alfresco)
A permit is required under the following clauses of the planning scheme:	
35.04-5	Construct a building or construct or carry out works associated with a dwelling
44.04-2	Construct a building or construct or carry out works
<b>APPLICATION DETAILS</b>	
The applicant for the permit is:	BAM Inspect and Build
Application number:	T250038
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.</p>	
	
<b>HOW CAN I MAKE A SUBMISSION?</b>	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	<b>13 June 2025</b>
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul> <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>





## ePlanning

### Application Summary

Portal Reference A125772F

### Basic Information

Proposed Use	Shed and Verandah addition
Current Use	Dwelling/ farming
Cost of Works	\$30,000
Site Address	335 McCraws Road Catani 3981

### Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

### Contacts

Type	Name	Address	Contact Details
Applicant	BAM Inspect and Build	110 Seymour Road, Nar Nar Goon North VIC 3812	W: 0429-918-899 M: 0429-918-899 E: bam@inspectandbuild.com.au
Owner			
Preferred Contact	BAM Inspect and Build	110 Seymour Road, Nar Nar Goon North VIC 3812	W: 0429-918-899 M: 0429-918-899 E: bam@inspectandbuild.com.au

### Fees

Regulation	Fee Condition	Amount	Modifier	Payable
9 - Class 3	More than \$10,000 but not more than \$100,000	\$694.00	100%	\$694.00
Total				\$694.00

### Documents Uploaded

Date	Type	Filename
28-01-2025	A Copy of Title	title plan .pdf
28-01-2025	Encumbrance	title .pdf
28-01-2025	Site plans	2



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810

**Email:** mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	
Submission Date	28 January 2025 - 08:48:PM

## Declaration

☒ By ticking this checkbox, I, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

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## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 11858 FOLIO 196

Security no : 124121539192L  
Produced 28/01/2025 08:29 PM

### LAND DESCRIPTION

Lot 2 on Plan of Subdivision 804254L.

PARENT TITLES :

Volume 04457 Folio 361      Volume 11641 Folio 148

Created by instrument PS804254L 01/03/2017

### REGISTERED PROPRIETOR

### ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE PS804254L FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 335 MCCRAWS ROAD CATANI VIC 3981

### ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

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Document Type	<b>Plan</b>
Document Identification	<b>PS804254L</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>28/01/2025 20:29</b>

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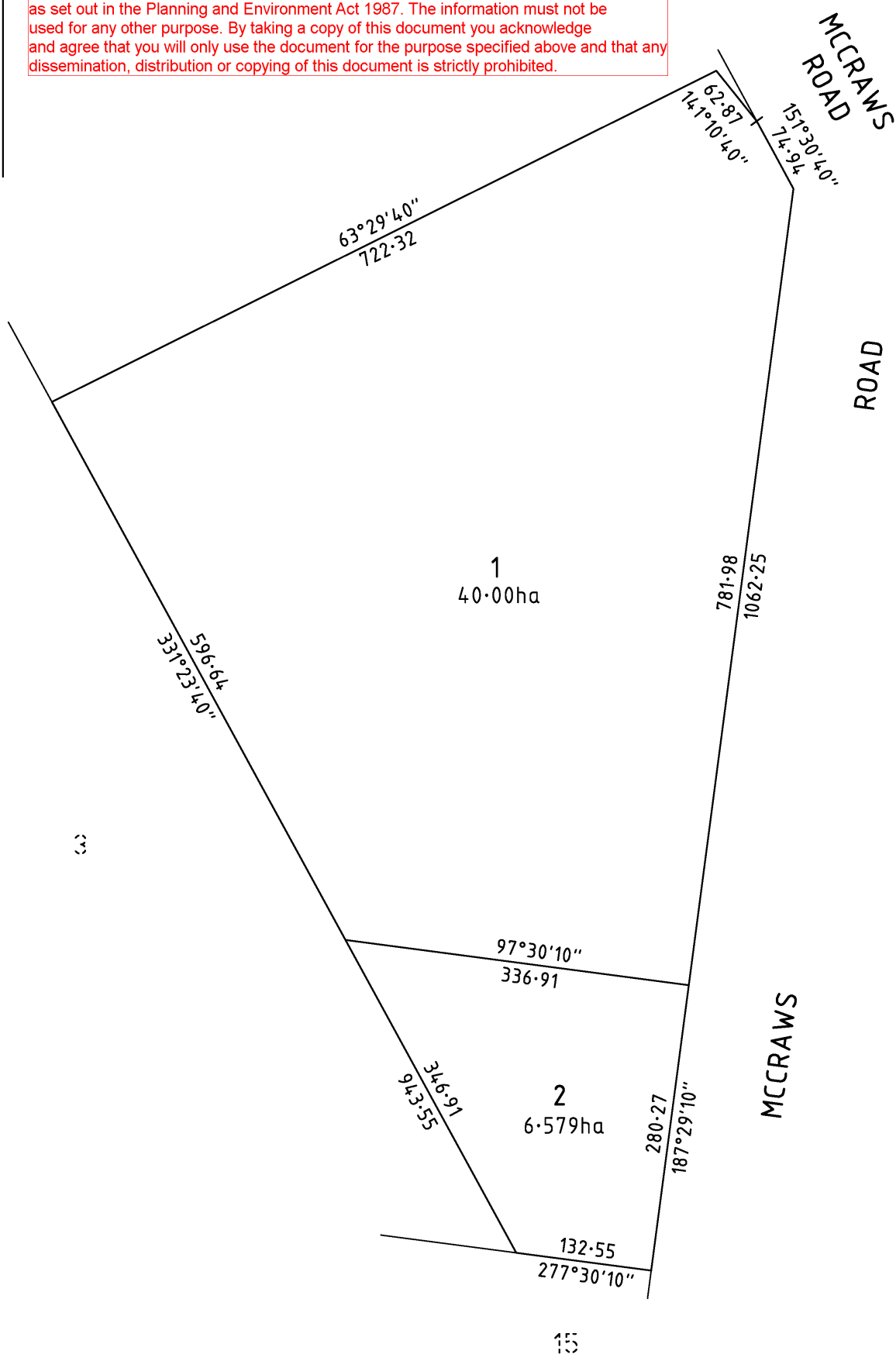
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<b>PLAN OF SUBDIVISION</b>			<b>EDITION 1</b>	<b>PS804254L</b>
<b>LOCATION OF LAND</b>  <b>PARISH:</b> YANNATHAN <b>TOWNSHIP:</b> — <b>SECTION:</b> — <b>CROWN ALLOTMENT:</b> 4 (PART) <b>CROWN PORTION:</b> — <b>TITLE REFERENCE:</b> VOL. 4457 FOL. 361 VOL. 11641 FOL. 148  <b>LAST PLAN REFERENCE:</b> TP899686F (LOT 1) TP232583P (LOT 1)  <b>POSTAL ADDRESS:</b> 305 McCraws Road (at time of subdivision) Catani 3981  <b>MGA CO-ORDINATES:</b> E: 381 780                      ZONE: 55 (of approx centre of land in plan) N: 5769 990                      GDA 94			Council Name: Cardinia Shire Council  Council Reference Number: S16/160 Planning Permit Reference: T160275 SPEAR Reference Number: S089987T  Certification  This plan is certified under section 6 of the Subdivision Act 1988  Public Open Space  A requirement for public open space under section 18 of the Subdivision Act 1988 Has not been made at Certification  Digitally signed by: Sonia Higgins for Cardinia Shire Council on 16/01/2017	
<b>VESTING OF ROADS AND/OR RESERVES</b>			<b>NOTATIONS</b>	
IDENTIFIER	COUNCIL/BODY/PERSON			
NIL	NIL			
<b>NOTATIONS</b>				
<b>DEPTH LIMITATION: DOES NOT APPLY</b>  This is a SPEAR plan. <b>STAGING:</b> This is not a staged subdivision. Planning Permit No.T160275  <b>SURVEY:</b> This plan is based on survey. This survey has been connected to permanent marks No(s). 26, 35 In Proclaimed Survey Area No. —				
<b>EASEMENT INFORMATION</b>				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
<div style="border: 1px solid red; padding: 10px; color: red;"> This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. </div>				
 <b>Beveridge Williams</b> development & environment consultants  Melbourne ph : 03 9524 8888  <a href="http://www.beveridgewilliams.com.au">www.beveridgewilliams.com.au</a>			SURVEYORS FILE REF: 1600411  Digitally signed by: ROGER BRUCE BLAKEMAN (Beveridge Williams & Co Pty Ltd - Malvern), Surveyor's Plan Version (3), 03/10/2016	ORIGINAL SHEET SIZE: A3 SHEET 1 OF 2  PLAN REGISTERED TIME: 5:31 PM DATE: 01 / 03 / 2017 Mark Cagdas Assistant Registrar of Titles

PS804254L

MGA 94 ZONE 55

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**Beveridge Williams**  
development & environment consultants

Melbourne ph : 03 9524 8888

[www.beveridgewilliams.com.au](http://www.beveridgewilliams.com.au)

SURVEYORS REF  
1600411

SCALE  
1 : 4000

40 0 40 80 120 160  
LENGTHS ARE IN METRES

ORIGINAL SHEET  
SIZE: A3

SHEET 2

Digitally signed by: ROGER BRUCE BLAKEMAN  
(Beveridge Williams & Co Pty Ltd - Malvern),  
Surveyor's Plan Version (3),  
03/10/2016

Digitally signed by:  
Cardinia Shire Council,  
16/01/2017,  
SPEAR Ref: S089987T

**From:** [REDACTED]  
**Sent:** Sunday, 30 March 2025 7:55 PM  
**To:** [REDACTED]  
**Subject:** Re: T250038 PA -335 McCraws Road, Catani: S54 Request for Further Information

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**CAUTION:** This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hey

Re: T250038 PA -335 McCraws Road, Catani: S54 Request for Further Information

I'm currently awaiting amended plans with further details as requested. I hope to have amended plans within next week if we can get an extension of time to provide documentation.

The current use of the property is for dwelling as as farm with livestock,

The use of the garage will be for the storage of vehicles

Kind Regards

## BAM Inspect and Build

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On 25 Feb 2025, at 4:47 pm, Isabelle Kerr <I.Kerr@cardinia.vic.gov.au> wrote:

**OFFICIAL - This document is a record of a Council decision or action and MUST be stored to SharePoint or a Corporate system.**

<image003.png>

<image004.png>

<image005.png>

<image006.png>

We value: **Teamwork** | **Respect** | **Accountability** | **Communication** | **Customer focus**

Cardinia Shire Council acknowledges and pays respect to the traditional custodians of these lands, the Bunurong and Wurundjeri people.

<T250038PA- RFI Request - Letter to Applicant.pdf>



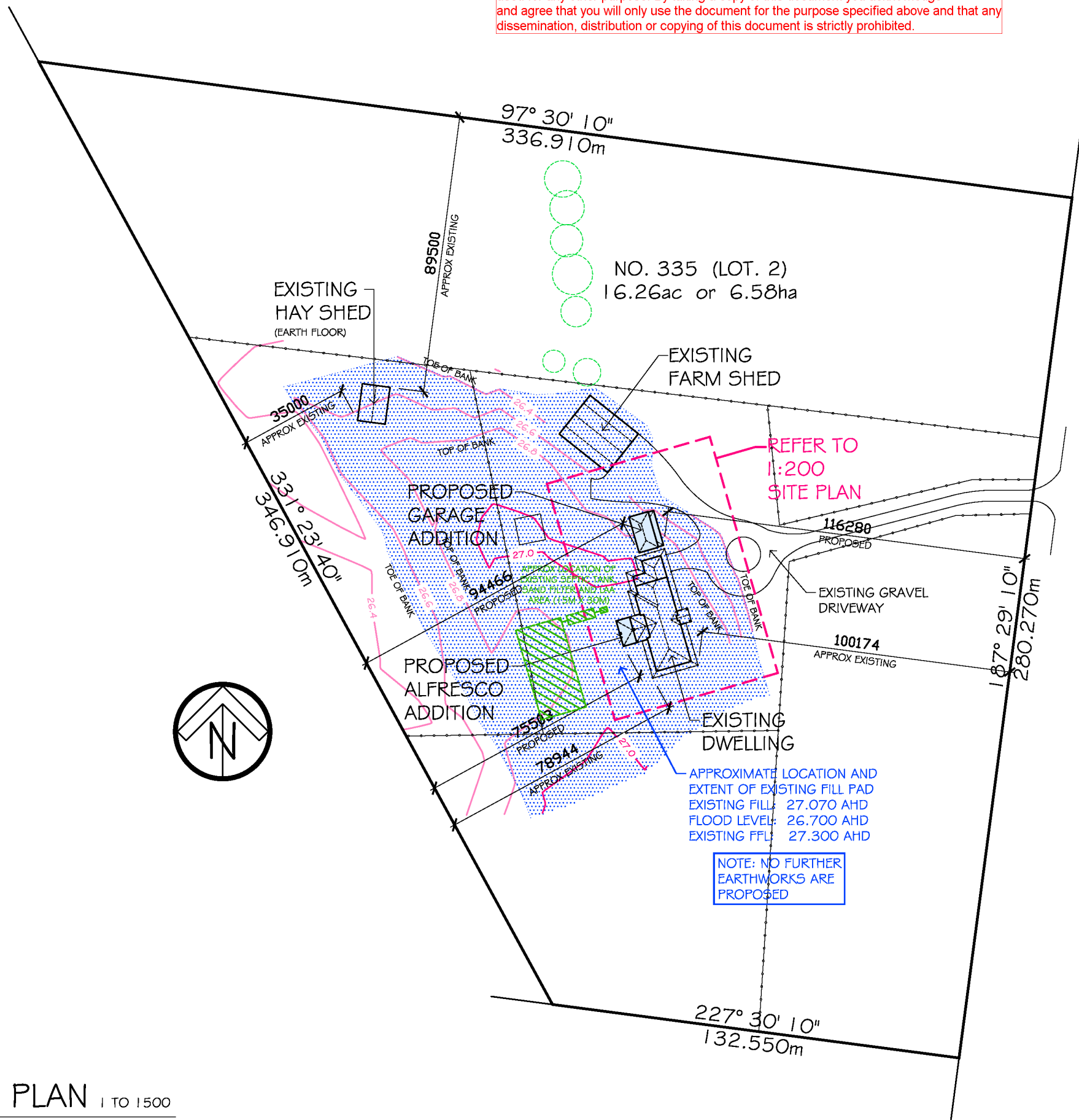
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DO NOT SCALE FROM PLAN.

ALL STORMWATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE TO DIRECTION OF LOCAL AUTHORITY. BUILDER TO CONFIRM DISCHARGE POINT PRIOR TO CONSTRUCTION.

LEVELS TO AN ARBITRARY DATUM. CONTOURS SHOWN AT 100mm INTERVALS.

CONNECT ALL 100 X 50 G.I D/PIPES TO EXISTING 90mm DIA. U.P.V.C SWD SYSTEM (300 MIN COVER) & DISCHARGE TO A LEGAL POINT IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS, 1:80 MIN. FALL. INSPECTION OPENINGS TO BE PROVIDED AT CHANGES IN DIRECTION & LENGTHS GREATER THAN 20 M.



#### SHEET LEGEND

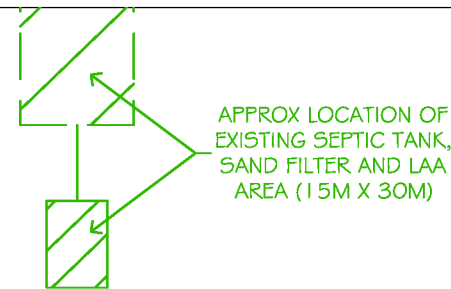
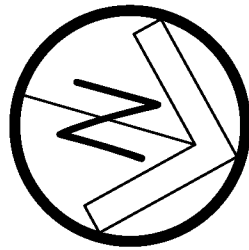
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A01	SITE PLAN - PROPOSED 1:1500	P3	04.05.2025
A02	SITE PLAN - PROPOSED 1:200	P3	04.05.2025
A03	EXISTING FLOOR PLAN	P3	04.05.2025
A04	EXISTING ELEVATIONS	P3	04.05.2025
A05	EXISTING ELEVATIONS	P3	04.05.2025
A06	PROPOSED FLOOR PLAN (ALFRESCO)	P3	04.05.2025
A07	PROPOSED FLOOR PLAN (GARAGE)	P3	04.05.2025
A08	PROPOSED ELEVATIONS (ALFRESCO)	P3	04.05.2025
A09	PROPOSED ELEVATIONS (GARAGE)	P3	04.05.2025
A10	PROPOSED ELEVATIONS (GARAGE)	P3	04.05.2025

PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

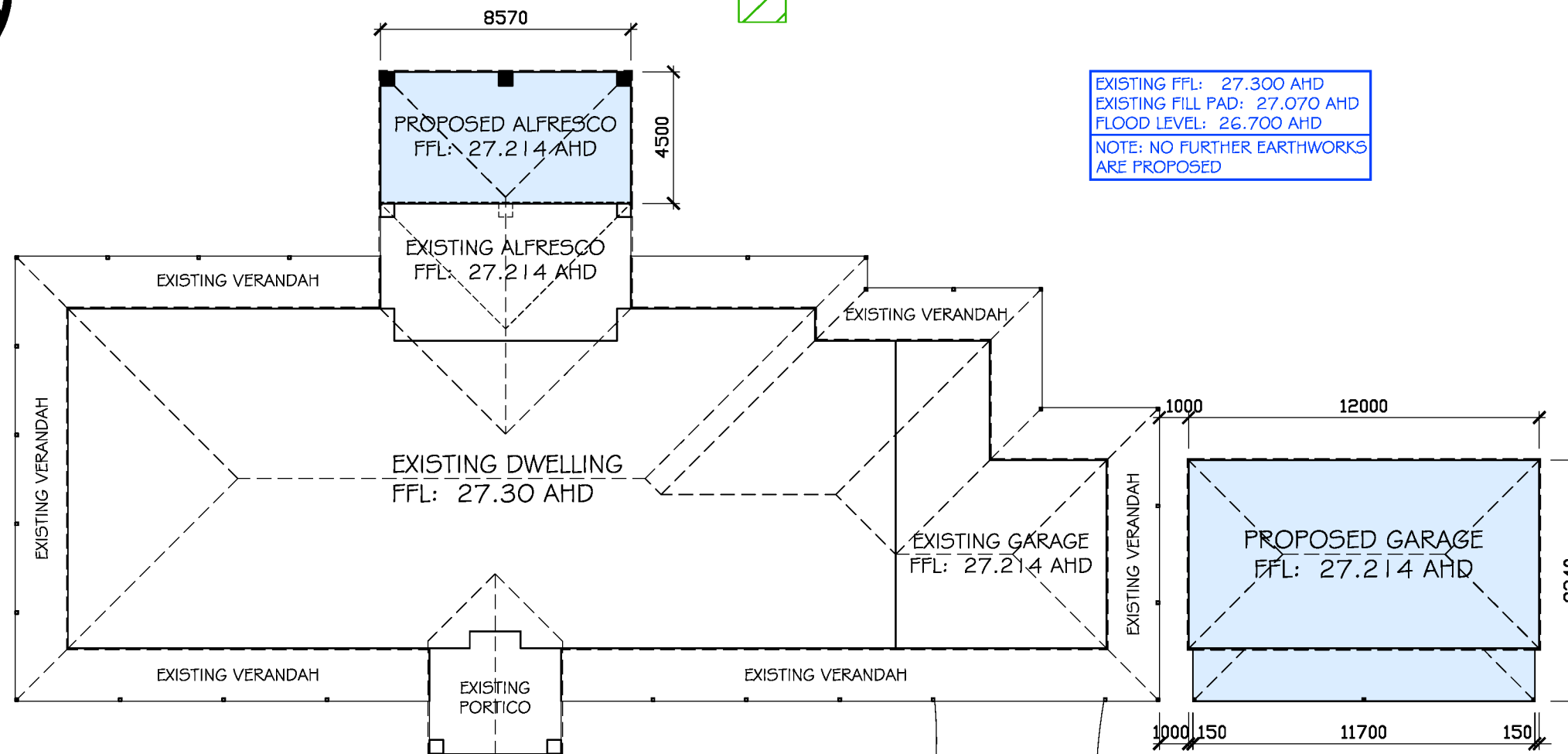
ADDRESS: LOT 2, 335 McCRAWS  
ROAD, CATANI. 3981

DATE: 04.05.2025  
SCALE: 1 TO 1500 (A3)  
DRAWN: M.MILES  
ISSUE: P3  
A01

SITE PLAN 1 TO 1500



NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.  
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EXISTING FFL: 27.300 AHD  
EXISTING FILL PAD: 27.070 AHD  
FLOOD LEVEL: 26.700 AHD  
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

EXISTING FFL: 27.300 AHD  
EXISTING FILL PAD: 27.070 AHD  
FLOOD LEVEL: 26.700 AHD  
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

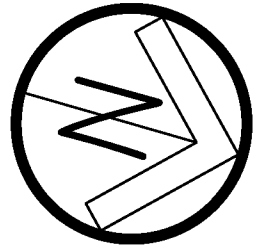
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# SITE PLAN 1 TO 200

PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

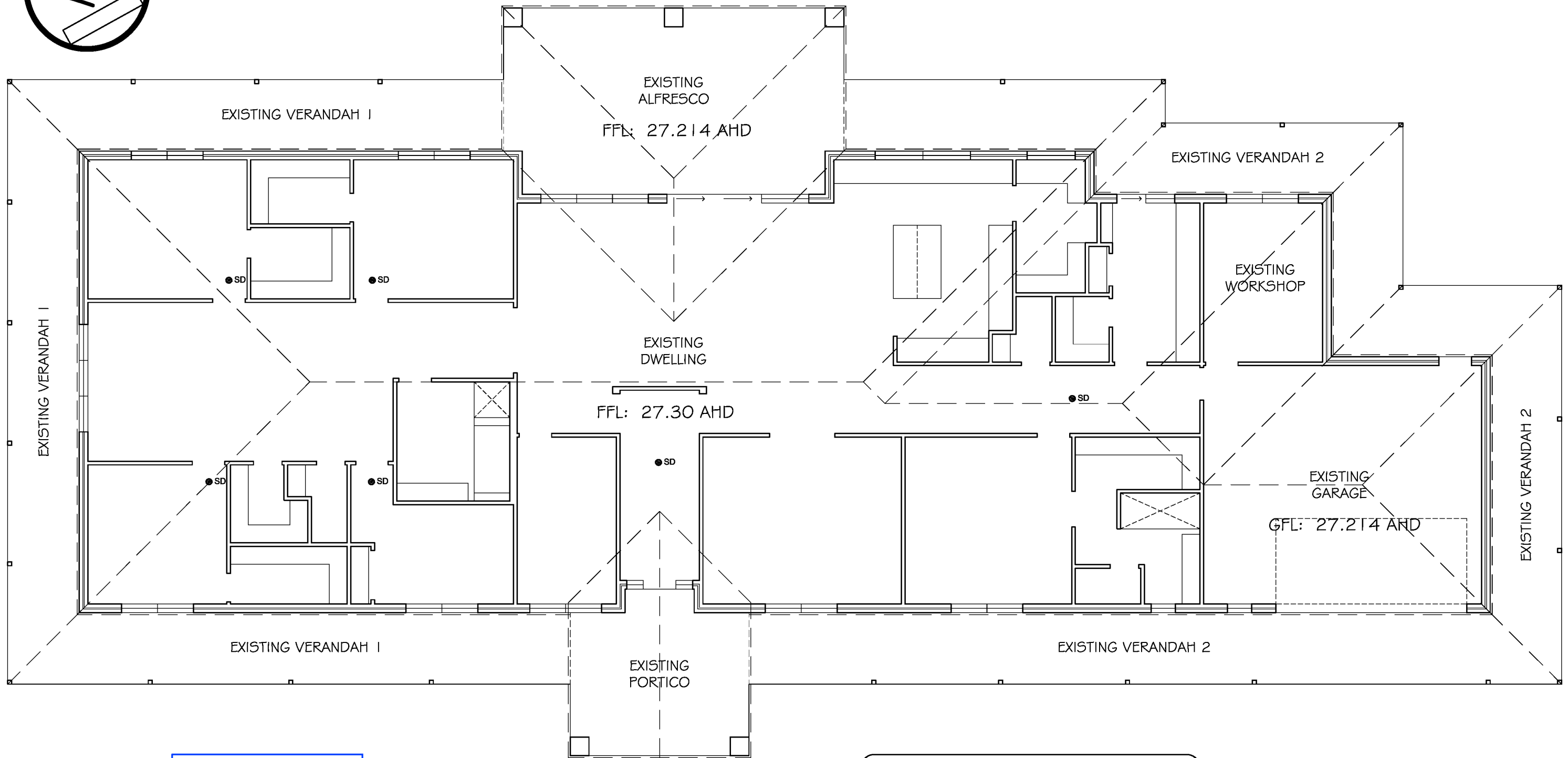
ADDRESS: LOT 2, 335 McCRAWS ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: A02
SCALE: 1 TO 200 (A3)	P3
DRAWN: M.MILES	



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EXISTING FFL: 27.300 AHD  
EXISTING FILL PAD: 27.070 AHD  
FLOOD LEVEL: 26.700 AHD  
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

AREA ANALYSIS - EXISTING SHEDS	
EXISTING FARM SHED	320.00 M2
EXISTING HAY SHED	108.00 M2

AREA ANALYSIS - EXISTING DWELLING		
EXISTING DWELLING	316.72 M2	34.09 SQ
EXISTING ALFRESCO	39.17 M2	4.22 SQ
EXISTING PORTICO	17.22 M2	1.85 SQ
EXISTING GARAGE	59.66 M2	6.42 SQ
EXISTING VERANDAH 1	68.90 M2	7.42 SQ
EXISTING VERANDAH 2	90.30 M2	9.72 SQ
TOTAL	591.97 M2	63.72 SQ

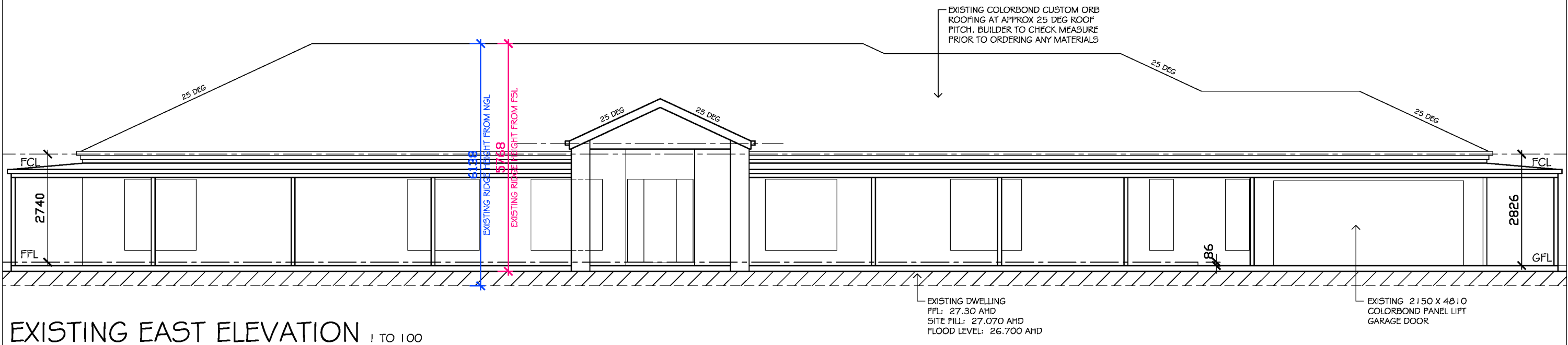
PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS  
ROAD, CATANI. 3981

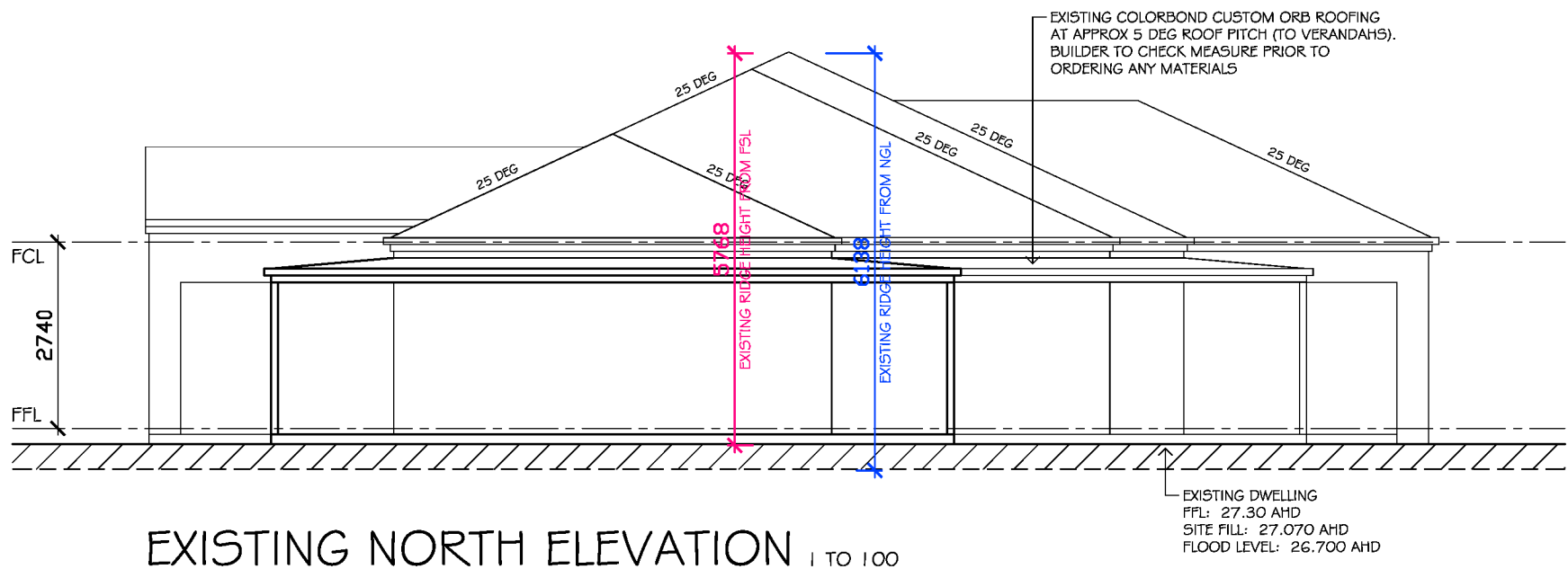
DATE: 04.05.2025	ISSUE: P3	A03
SCALE: 1 TO 100 (A3)		
DRAWN: M.MILES		

EXISTING FLOOR PLAN | TO 100

NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.  
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EXISTING EAST ELEVATION | TO 100



EXISTING NORTH ELEVATION | TO 100

EXISTING FFL: 27.300 AHD  
EXISTING FILL PAD: 27.070 AHD  
FLOOD LEVEL: 26.700 AHD  
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

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EXISTING ELEVATIONS | TO 100

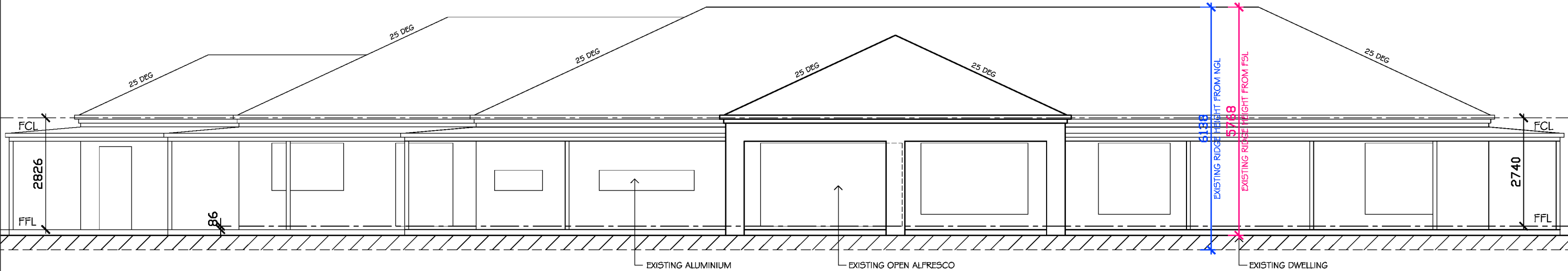
PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS  
ROAD, CATANI. 3981

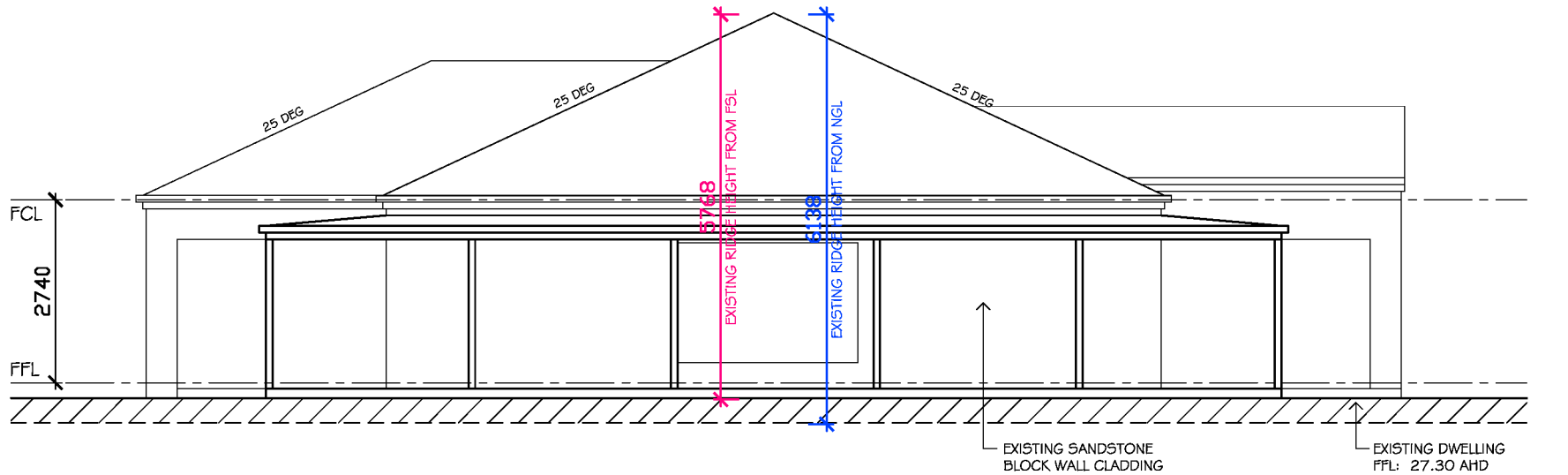
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SCALE:	1 TO 100 (A3)		
DRAWN:	M.MILES		

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EXISTING WEST ELEVATION | TO 100



EXISTING SOUTH ELEVATION | TO 100

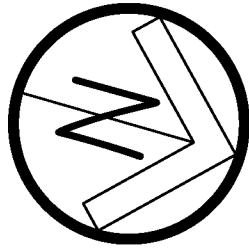
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EXISTING FILL PAD: 27.070 AHD  
FLOOD LEVEL: 26.700 AHD  
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

EXISTING ELEVATIONS | TO 100

PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS  
ROAD, CATANI. 3981

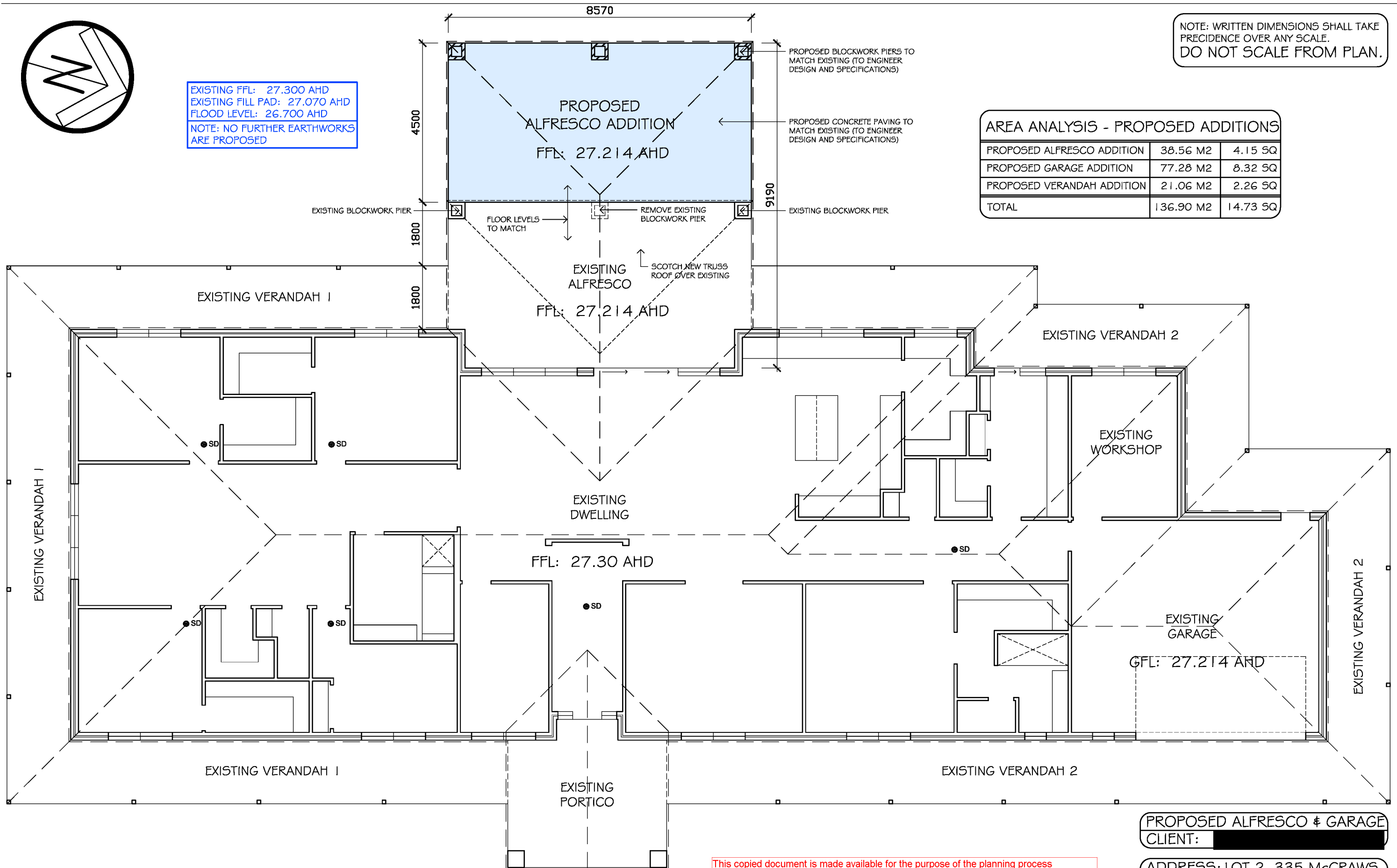
DATE: 04.05.2025	ISSUE: A05
SCALE: 1 TO 100 (A3)	P3
DRAWN: M.MILES	



EXISTING FFL: 27.300 AHD  
EXISTING FILL PAD: 27.070 AHD  
FLOOD LEVEL: 26.700 AHD  
NOTE: NO FURTHER EARTHWORKS  
ARE PROPOSED

NOTE: WRITTEN DIMENSIONS SHALL TAKE  
PRECEDENCE OVER ANY SCALE.  
DO NOT SCALE FROM PLAN.

AREA ANALYSIS - PROPOSED ADDITIONS		
PROPOSED ALFRESCO ADDITION	38.56 M2	4.15 SQ
PROPOSED GARAGE ADDITION	77.28 M2	8.32 SQ
PROPOSED VERANDAH ADDITION	21.06 M2	2.26 SQ
TOTAL	136.90 M2	14.73 SQ



# PROPOSED FLOOR PLAN 1 TO 100

ALFRESCO ADDITION

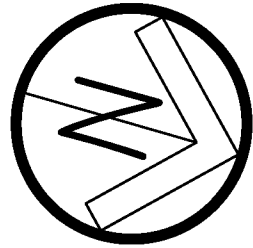
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PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS  
ROAD, CATANI. 3981

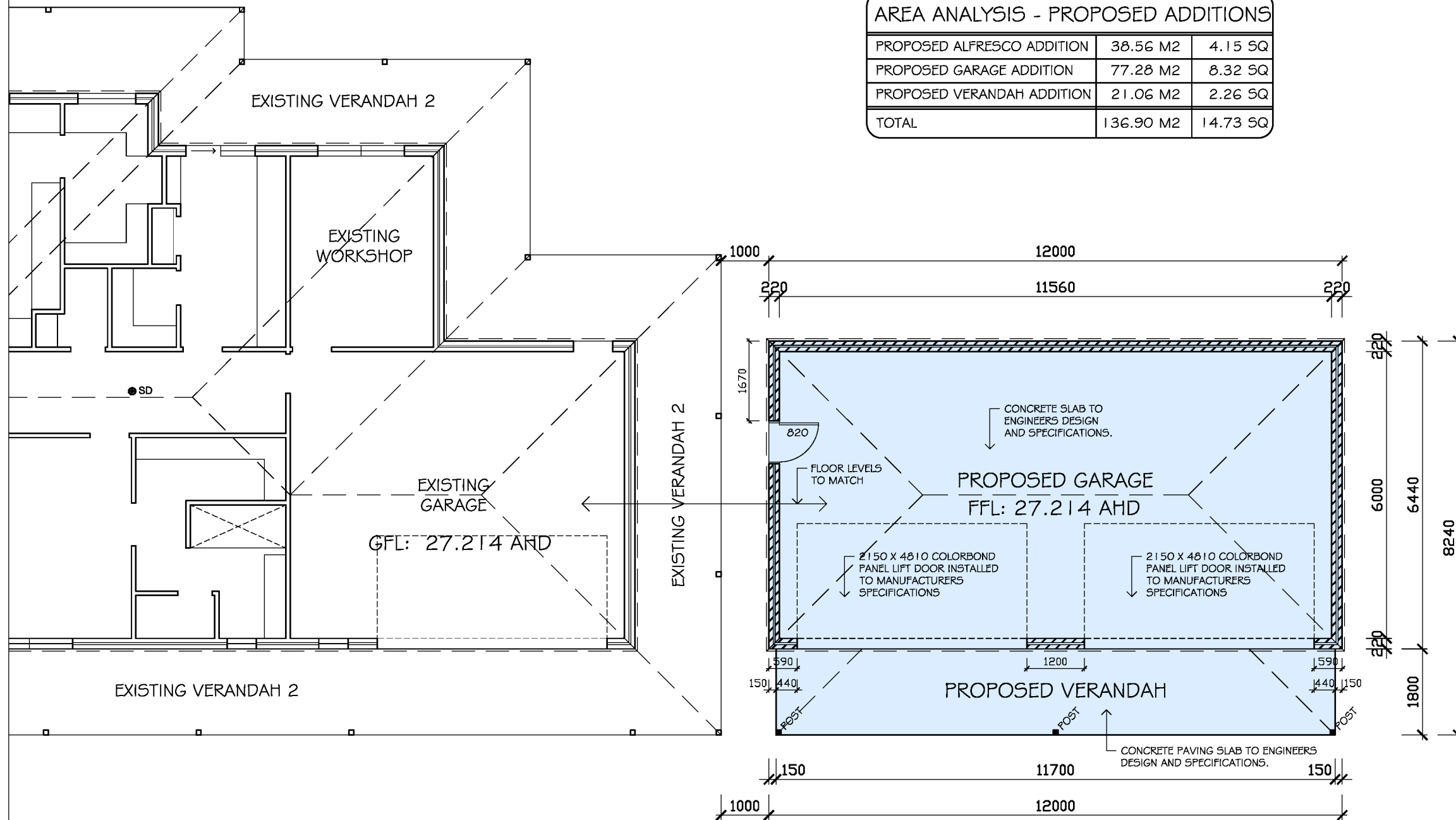
DATE: 04.05.2025	ISSUE: A06
SCALE: 1 TO 100 (A3)	P3
DRAWN: M.MILES	





NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.  
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AREA ANALYSIS - PROPOSED ADDITIONS		
PROPOSED ALFRESCO ADDITION	38.56 M2	4.15 SQ
PROPOSED GARAGE ADDITION	77.28 M2	8.32 SQ
PROPOSED VERANDAH ADDITION	21.06 M2	2.26 SQ
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EXISTING FILL PAD: 27.070 AHD  
FLOOD LEVEL: 26.700 AHD  
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

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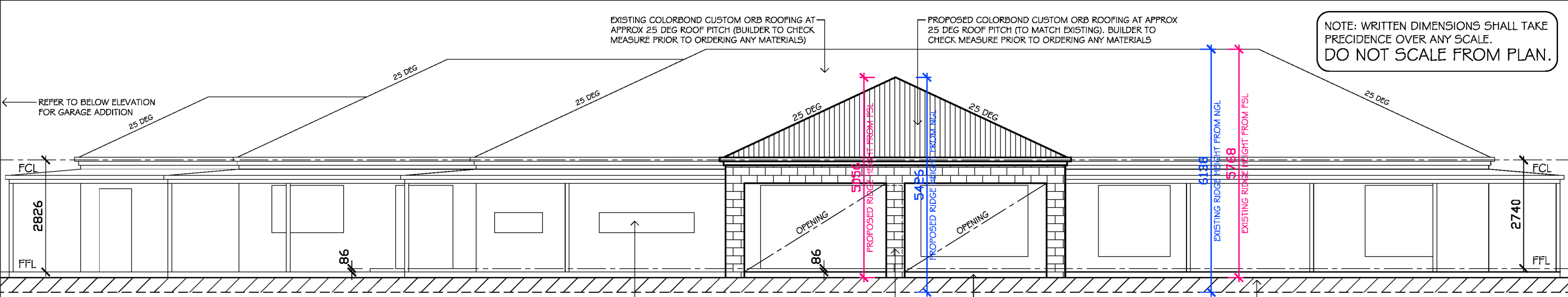
# PROPOSED FLOOR PLAN | TO 100

GARAGE ADDITION

PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

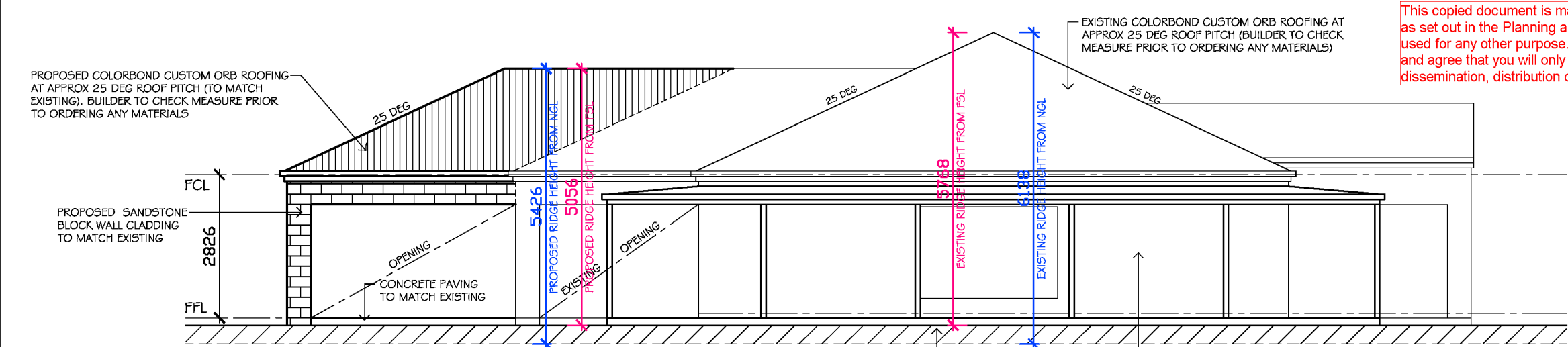
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ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: P3	A07
SCALE: 1 TO 100 (A3)		
DRAWN: M.MILES		



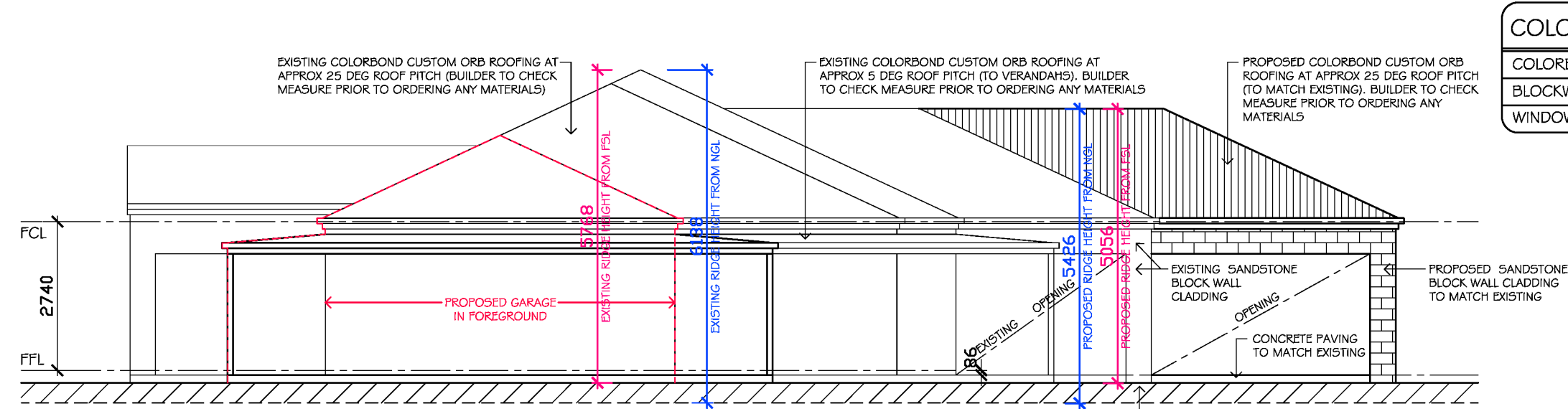
## PROPOSED WEST ELEVATION | TO 100

ALFRESCO ADDITION



## PROPOSED SOUTH ELEVATION | TO 100

ALFRESCO ADDITION



## PROPOSED NORTH ELEVATION | TO 100

ALFRESCO ADDITION

### COLOUR SCHEDULE

COLORBOND ROOF	WOODLAND GREY TO MATCH EXISTING
BLOCKWORK WALLS	CREAM/BIEGE TO MATCH EXISTING
WINDOWS/DOORS	WOODLAND GREY TO MATCH EXISTING

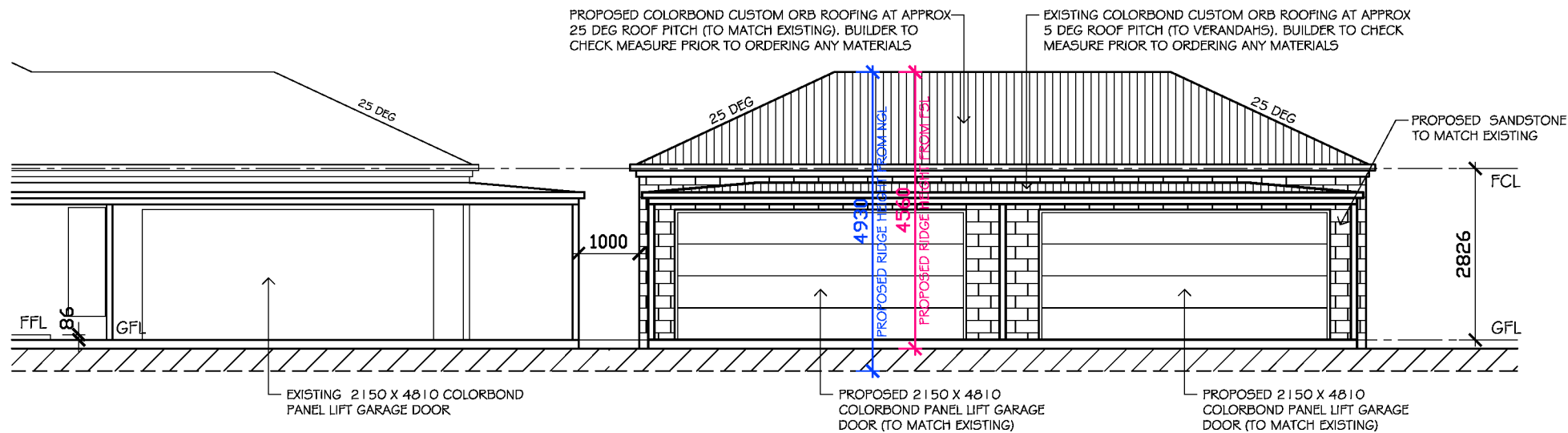
PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS  
ROAD, CATANI. 398 I

DATE: 04.05.2025	ISSUE: A08
SCALE: 1 TO 100 (A3)	P3
DRAWN: M.MILES	



NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.  
DO NOT SCALE FROM PLAN.

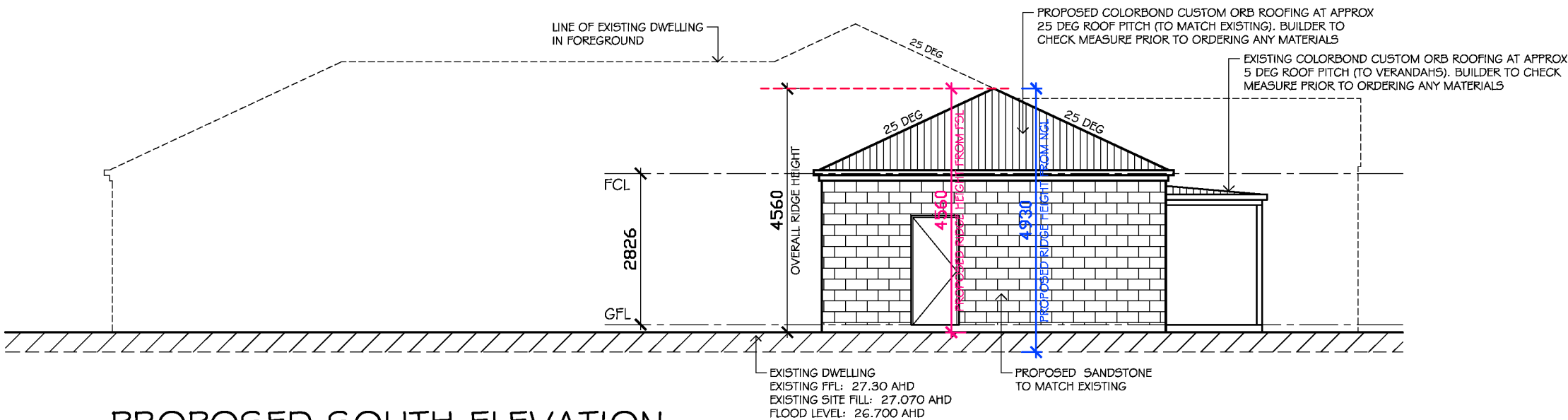


PROPOSED EAST ELEVATION | 1 TO 100

GARAGE ADDITION

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EXISTING FFL: 27.300 AHD  
EXISTING FILL PAD: 27.070 AHD  
FLOOD LEVEL: 26.700 AHD  
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED



PROPOSED SOUTH ELEVATION | 1 TO 100

GARAGE ADDITION

COLOUR SCHEDULE

COLORBOND ROOF	WOODLAND GREY TO MATCH EXISTING
BLOCKWORK WALLS	CREAM/BIEGE TO MATCH EXISTING
WINDOWS/DOORS	WOODLAND GREY TO MATCH EXISTING

PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

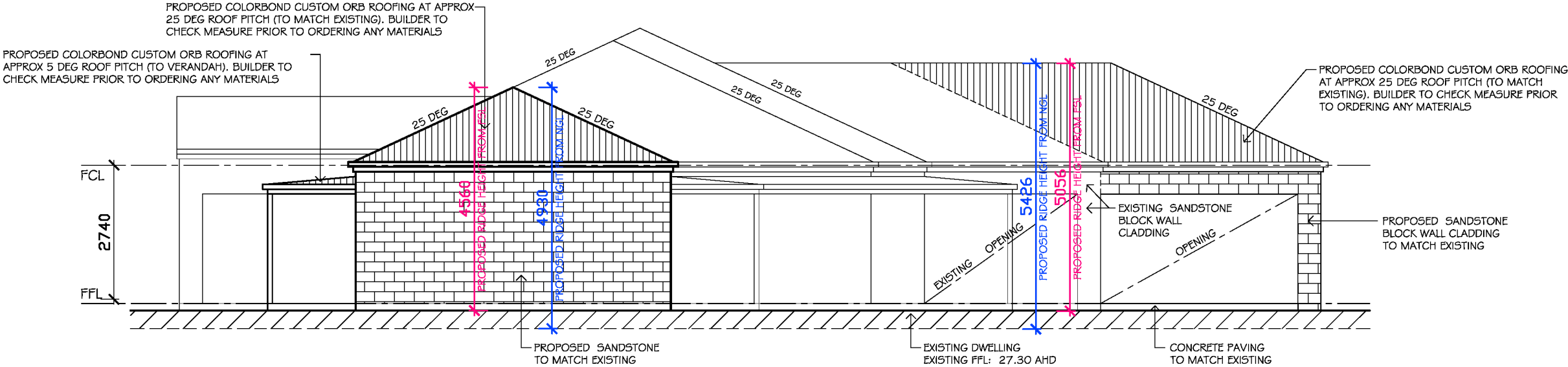
ADDRESS: LOT 2, 335 McCRAWS ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: P3	A09
SCALE: 1 TO 100 (A3)		
DRAWN: M.MILES		

PROPOSED ELEVATIONS | 1 TO 100

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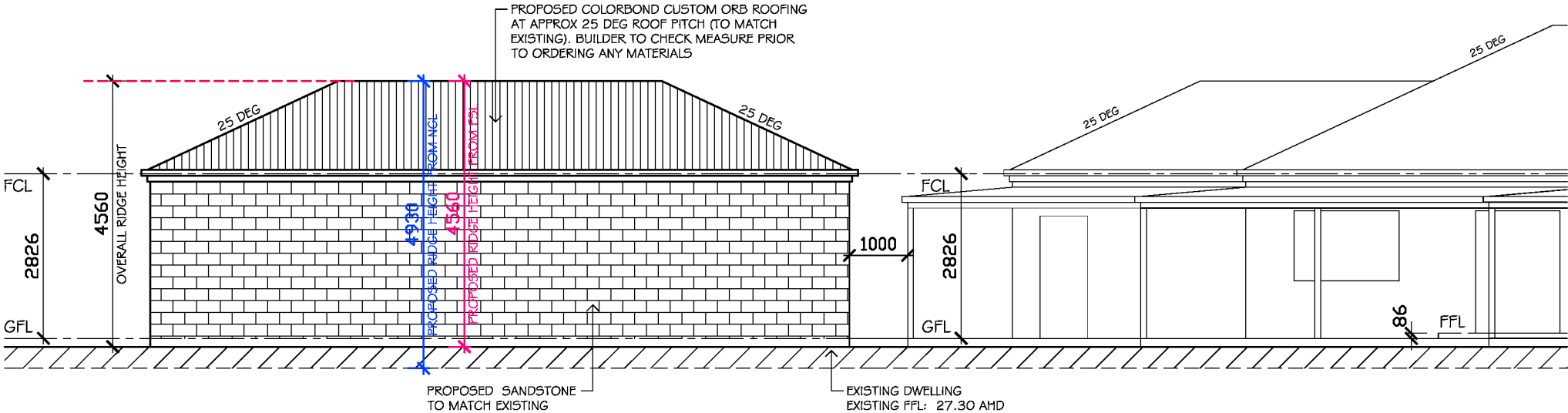
NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.  
DO NOT SCALE FROM PLAN.



PROPOSED NORTH ELEVATION 1 TO 100

GARAGE ADDITION

EXISTING FFL: 27.300 AHD  
EXISTING FILL PAD: 27.070 AHD  
FLOOD LEVEL: 26.700 AHD  
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED



PROPOSED WEST ELEVATION 1 TO 100

GARAGE ADDITION

COLOUR SCHEDULE

COLORBOND ROOF	WOODLAND GREY TO MATCH EXISTING
BLOCKWORK WALLS	CREAM/BIEGE TO MATCH EXISTING
WINDOWS/DOORS	WOODLAND GREY TO MATCH EXISTING

PROPOSED ALFRESCO & GARAGE  
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS  
ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: A10
SCALE: 1 TO 100 (A3)	P3
DRAWN: M.MILES	

PROPOSED ELEVATIONS 1 TO 100

# Receipt

Receipt No	[REDACTED]
Amount Paid	\$694.00
Transaction Status	Processing
Transaction Date	28/01/2025 8:50:25 PM
Reference 1	[REDACTED]
Reference 2	[REDACTED]
Reference 3	[REDACTED]

Applicant

Applicant Address

Owner

Owner Address

Preferred Contact

Preferred Contact Address

Site Address

Portal Reference  
ReferenceNumber

InvoiceNumber  
InvoiceDate  
InvoicePayByDate

BAM Inspect and Build  
110 Seymour Road, Nar Nar Goon North VIC  
3812

335 McCraws Road Catani 3981

A125772F  
T250038

480018  
28-Jan-2025  
27-Feb-2025

Regulation	Description	Amount	Modifier	Modified Amount
9 - Class 3	More than \$10,000 but not more than \$100,000	\$694.00	100%	\$694.00

Total Amount

\$694.00