
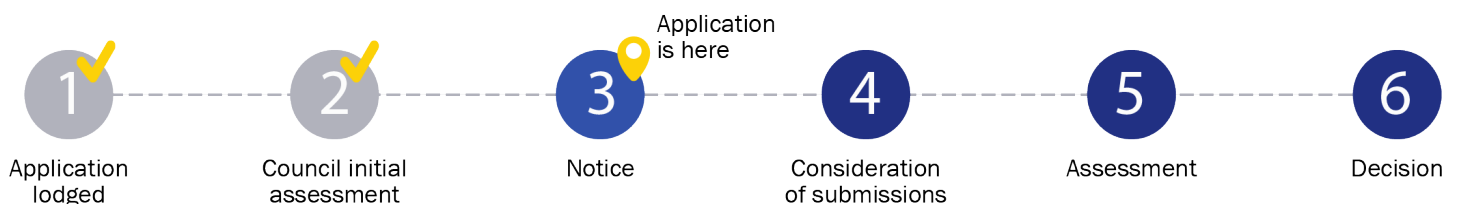


Notice of Application for a Planning Permit

The land affected by the application is located at:	L2 PS804254 335 McCraws Road, Catani VIC 3981
The application is for a permit to:	Buildings and Works (Construction of an Outbuilding and Alfresco)
A permit is required under the following clauses of the planning scheme:	
35.04-5	Construct a building or construct or carry out works associated with a dwelling
44.04-2	Construct a building or construct or carry out works
APPLICATION DETAILS	
The applicant for the permit is:	BAM Inspect and Build
Application number:	T250038
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	
	
HOW CAN I MAKE A SUBMISSION?	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected.
The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.	





ePlanning

Application Summary

Portal Reference A125772F

Basic Information

Proposed Use	Shed and Verandah addition
Current Use	Dwelling/ farming
Cost of Works	\$30,000
Site Address	335 McCraws Road Catani 3981

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	BAM Inspect and Build	110 Seymour Road, Nar Nar Goon North VIC 3812	W: 0429-918-899 M: 0429-918-899 E: bam@inspectandbuild.com.au
Owner			
Preferred Contact	BAM Inspect and Build	110 Seymour Road, Nar Nar Goon North VIC 3812	W: 0429-918-899 M: 0429-918-899 E: bam@inspectandbuild.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 3 More than \$10,000 but not more than \$100,000	\$694.00	100%	\$694.00
Total			\$694.00

Documents Uploaded

Date	Type	Filename
28-01-2025	A Copy of Title	title plan .pdf
28-01-2025	Encumbrance	title .pdf
28-01-2025	Site plans	2



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm

Phone: 1300 787 624

After Hours: 1300 787 624

Fax: 03 5941 3784

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	
Submission Date	28 January 2025 - 08:48:PM

Declaration

☒ By ticking this checkbox, I, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

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Fax: 03 5941 3784

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 11858 FOLIO 196

Security no : 124121539192L
Produced 28/01/2025 08:29 PM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 804254L.

PARENT TITLES :

Volume 04457 Folio 361 Volume 11641 Folio 148

Created by instrument PS804254L 01/03/2017

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS804254L FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 335 MCCRAWS ROAD CATANI VIC 3981

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

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Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.


Document Type	Plan
Document Identification	PS804254L
Number of Pages (excluding this cover sheet)	2
Document Assembled	28/01/2025 20:29

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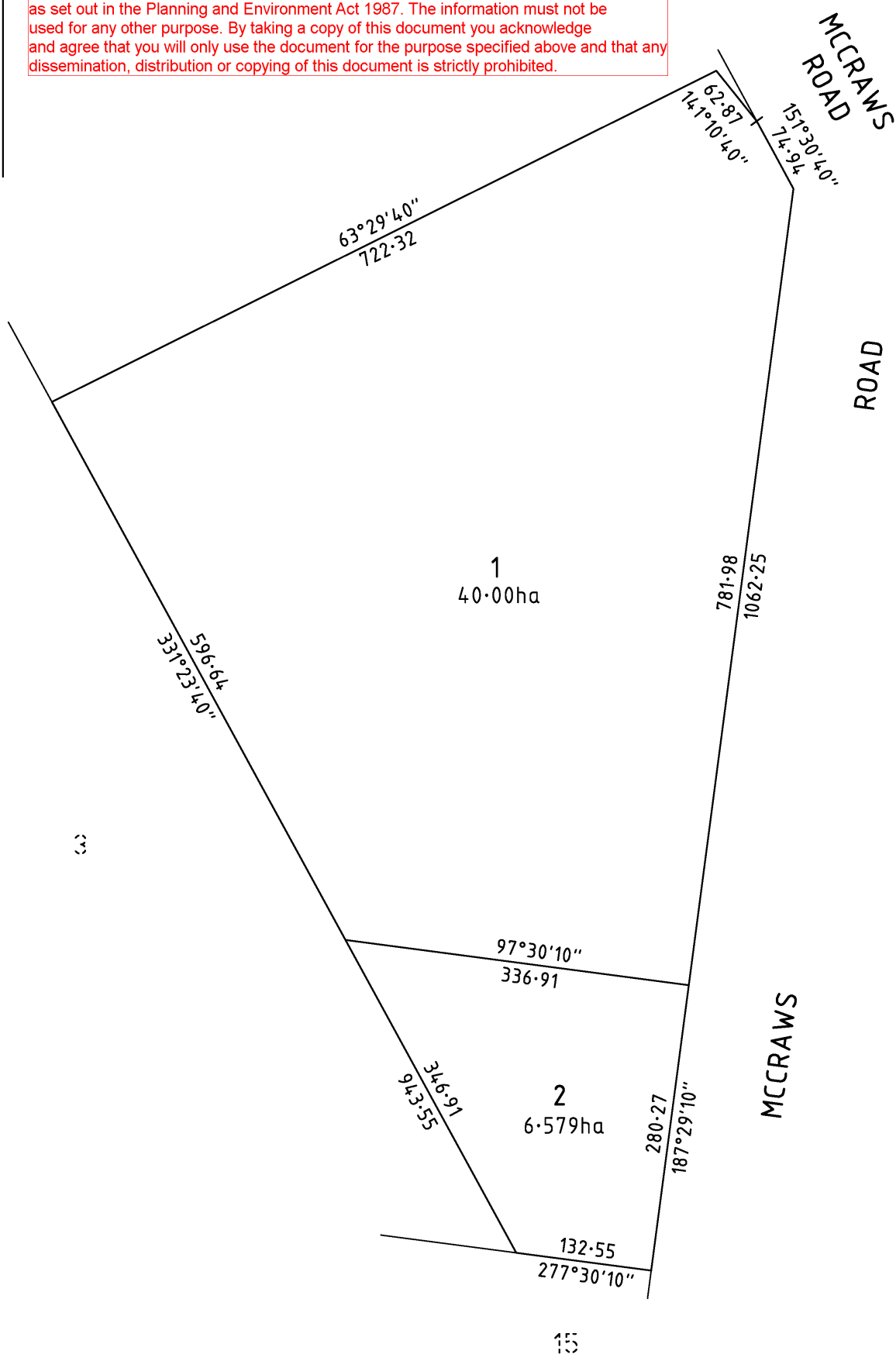
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PLAN OF SUBDIVISION			EDITION 1	PS804254L
LOCATION OF LAND PARISH: YANNATHAN TOWNSHIP: — SECTION: — CROWN ALLOTMENT: 4 (PART) CROWN PORTION: — TITLE REFERENCE: VOL. 4457 FOL. 361 VOL. 11641 FOL. 148 LAST PLAN REFERENCE: TP899686F (LOT 1) TP232583P (LOT 1) POSTAL ADDRESS: 305 McCraws Road (at time of subdivision) Catani 3981 MGA CO-ORDINATES: E: 381 780 ZONE: 55 (of approx centre of land in plan) N: 5769 990 GDA 94			Council Name: Cardinia Shire Council Council Reference Number: S16/160 Planning Permit Reference: T160275 SPEAR Reference Number: S089987T Certification This plan is certified under section 6 of the Subdivision Act 1988 Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 Has not been made at Certification Digitally signed by: Sonia Higgins for Cardinia Shire Council on 16/01/2017	
VESTING OF ROADS AND/OR RESERVES			NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON			
NIL	NIL			
NOTATIONS				
DEPTH LIMITATION: DOES NOT APPLY This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No.T160275 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 26, 35 In Proclaimed Survey Area No. —				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
<div style="border: 1px solid red; padding: 10px; color: red;"> This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited. </div>				
 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au		SURVEYORS FILE REF: 1600411 Digitally signed by: ROGER BRUCE BLAKEMAN (Beveridge Williams & Co Pty Ltd - Malvern), Surveyor's Plan Version (3), 03/10/2016		ORIGINAL SHEET SIZE: A3 SHEET 1 OF 2
PLAN REGISTERED TIME: 5:31 PM DATE: 01 / 03 / 2017 Mark Cagdas Assistant Registrar of Titles				

PS804254L

MGA 94 ZONE 55

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Beveridge Williams
development & environment consultants

Melbourne ph : 03 9524 8888

www.beveridgewilliams.com.au

SURVEYORS REF
1600411

SCALE
1 : 4000

40 0 40 80 120 160
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by: ROGER BRUCE BLAKEMAN
(Beveridge Williams & Co Pty Ltd - Malvern),
Surveyor's Plan Version (3),
03/10/2016

Digitally signed by:
Cardinia Shire Council,
16/01/2017,
SPEAR Ref: S089987T

From: [REDACTED]
Sent: Sunday, 30 March 2025 7:55 PM
To: [REDACTED]
Subject: Re: T250038 PA -335 McCraws Road, Catani: S54 Request for Further Information

Follow Up Flag: Follow up
Flag Status: Completed

CAUTION: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hey

Re: T250038 PA -335 McCraws Road, Catani: S54 Request for Further Information

I'm currently awaiting amended plans with further details as requested. I hope to have amended plans within next week if we can get an extension of time to provide documentation.

The current use of the property is for dwelling as as farm with livestock,

The use of the garage will be for the storage of vehicles

Kind Regards

BAM Inspect and Build

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On 25 Feb 2025, at 4:47 pm, Isabelle Kerr <I.Kerr@cardinia.vic.gov.au> wrote:

OFFICIAL - This document is a record of a Council decision or action and MUST be stored to SharePoint or a Corporate system.

<image003.png>

<image004.png>

<image005.png>

<image006.png>

We value: **Teamwork** | **Respect** | **Accountability** | **Communication** | **Customer focus**

Cardinia Shire Council acknowledges and pays respect to the traditional custodians of these lands, the Bunurong and Wurundjeri people.

<T250038PA- RFI Request - Letter to Applicant.pdf>

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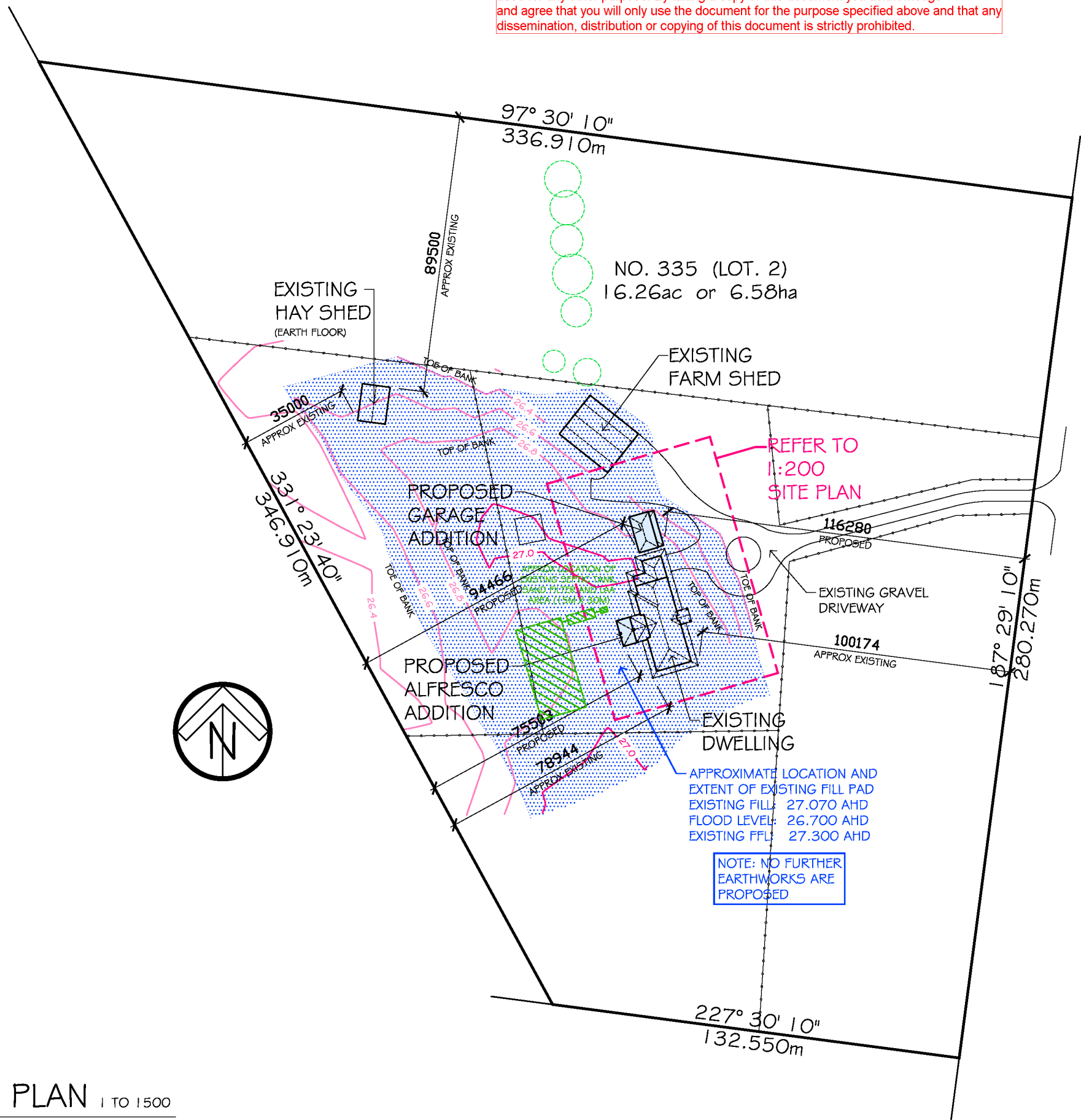
NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.
DO NOT SCALE FROM PLAN.

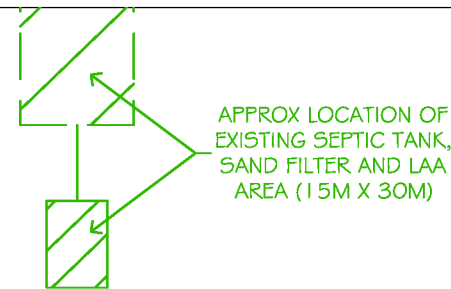
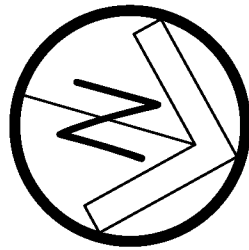
ALL STORMWATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE TO DIRECTION OF LOCAL AUTHORITY. BUILDER TO CONFIRM DISCHARGE POINT PRIOR TO CONSTRUCTION.

LEVELS TO AN ARBITRARY DATUM. CONTOURS SHOWN AT 100mm INTERVALS.

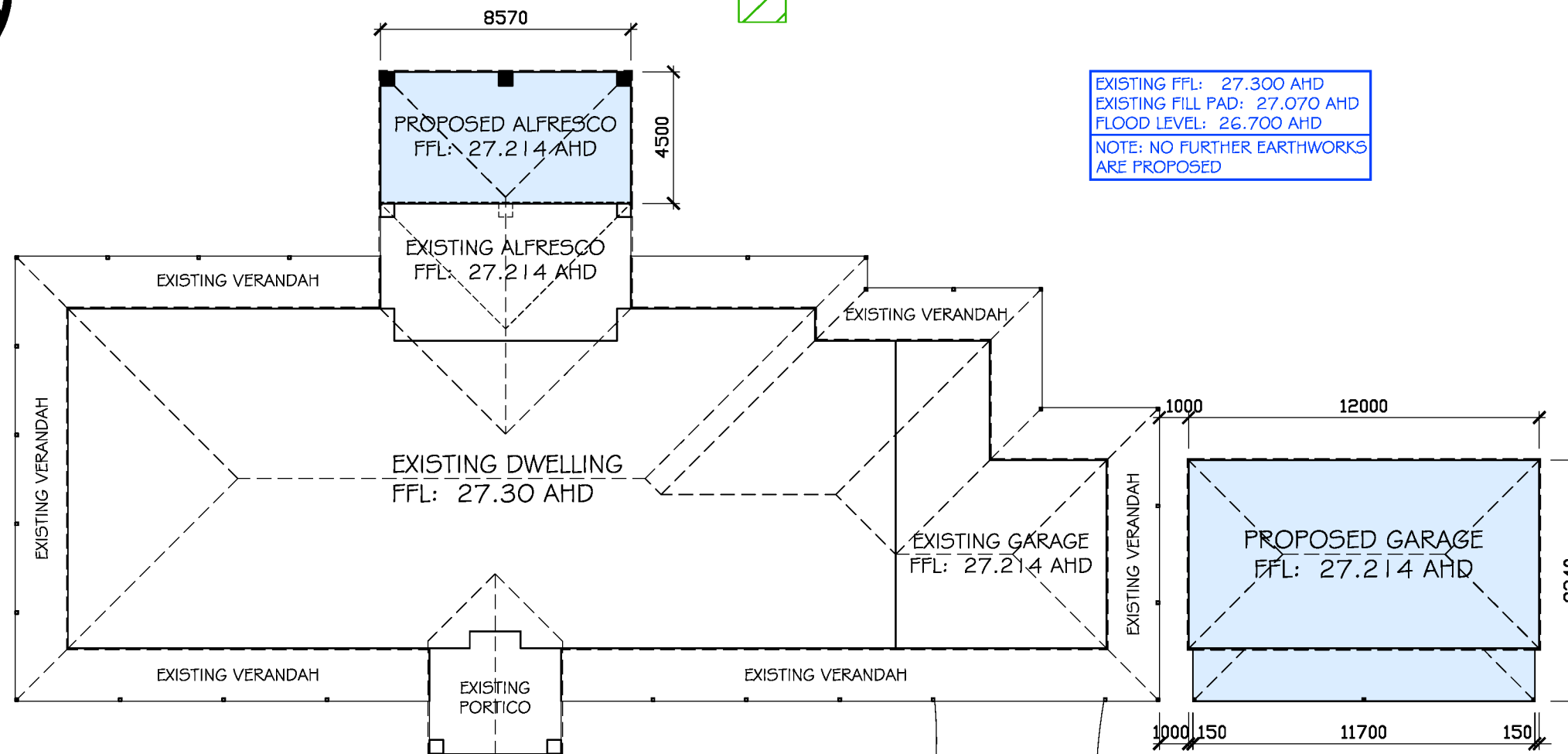
CONNECT ALL 100 X 50 G.I D/PIPES TO EXISTING 90mm DIA. U.P.V.C SWD SYSTEM (300 MIN COVER) & DISCHARGE TO A LEGAL POINT IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS, 1:80 MIN. FALL. INSPECTION OPENINGS TO BE PROVIDED AT CHANGES IN DIRECTION & LENGTHS GREATER THAN 20 M.

SITE PLAN 1 TO 1500





NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.
DO NOT SCALE FROM PLAN.



EXISTING FFL: 27.300 AHD
EXISTING FILL PAD: 27.070 AHD
FLOOD LEVEL: 26.700 AHD
NOTE: NO FURTHER EARTHWORKS
ARE PROPOSED

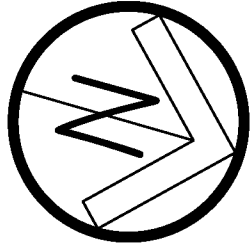
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SITE PLAN 1 TO 200

PROPOSED ALFRESCO & GARAGE
CLIENT: [REDACTED]

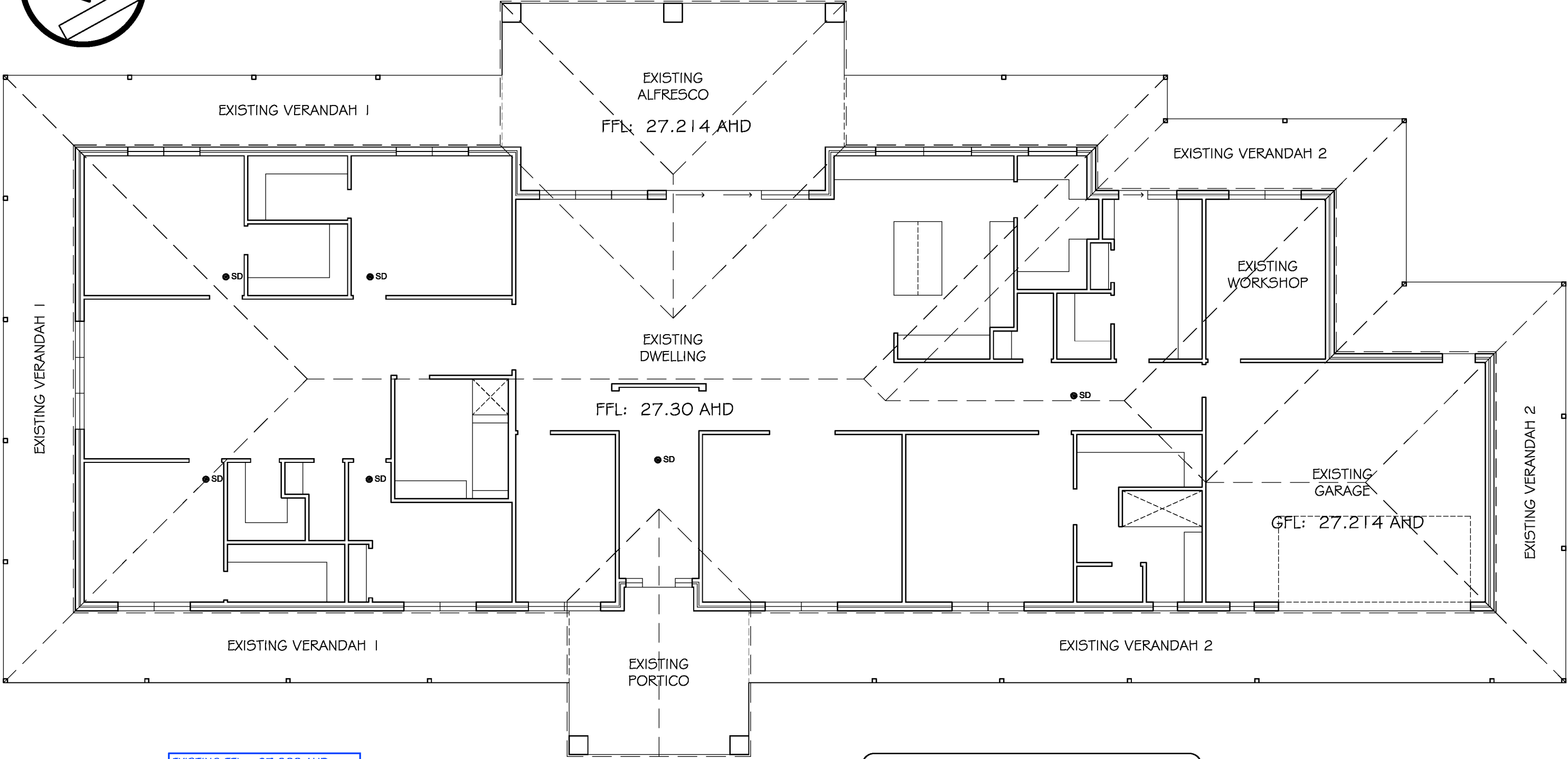
ADDRESS: LOT 2, 335 McCRAWS
ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: P3	A02
SCALE: 1 TO 200 (A3)		
DRAWN: M.MILES		



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EXISTING FFL: 27.300 AHD
EXISTING FILL PAD: 27.070 AHD
FLOOD LEVEL: 26.700 AHD
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

AREA ANALYSIS - EXISTING SHEDS	
EXISTING FARM SHED	320.00 M2
EXISTING HAY SHED	108.00 M2

AREA ANALYSIS - EXISTING DWELLING		
EXISTING DWELLING	316.72 M2	34.09 SQ
EXISTING ALFRESCO	39.17 M2	4.22 SQ
EXISTING PORTICO	17.22 M2	1.85 SQ
EXISTING GARAGE	59.66 M2	6.42 SQ
EXISTING VERANDAH 1	68.90 M2	7.42 SQ
EXISTING VERANDAH 2	90.30 M2	9.72 SQ
TOTAL	591.97 M2	63.72 SQ

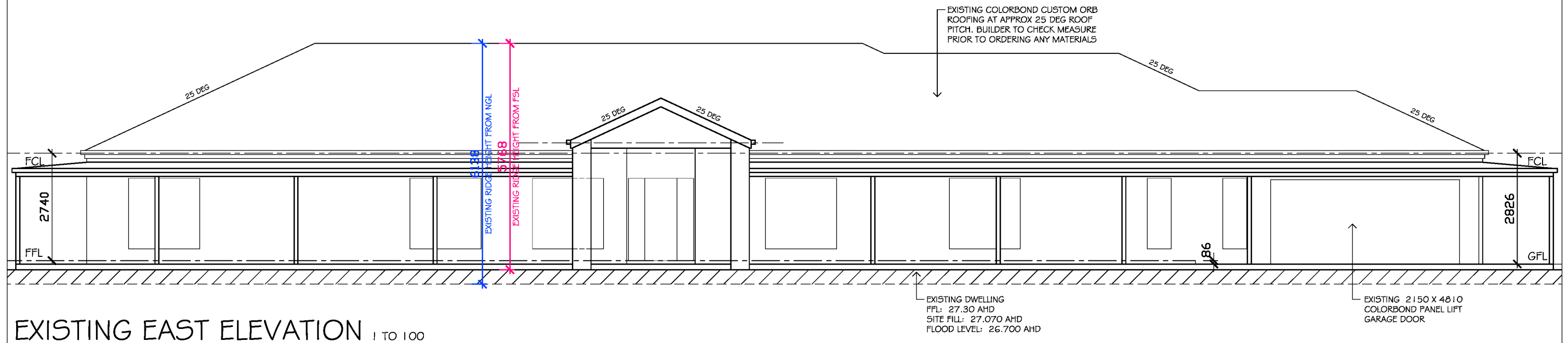
PROPOSED ALFRESCO & GARAGE
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS
ROAD, CATANI. 3981

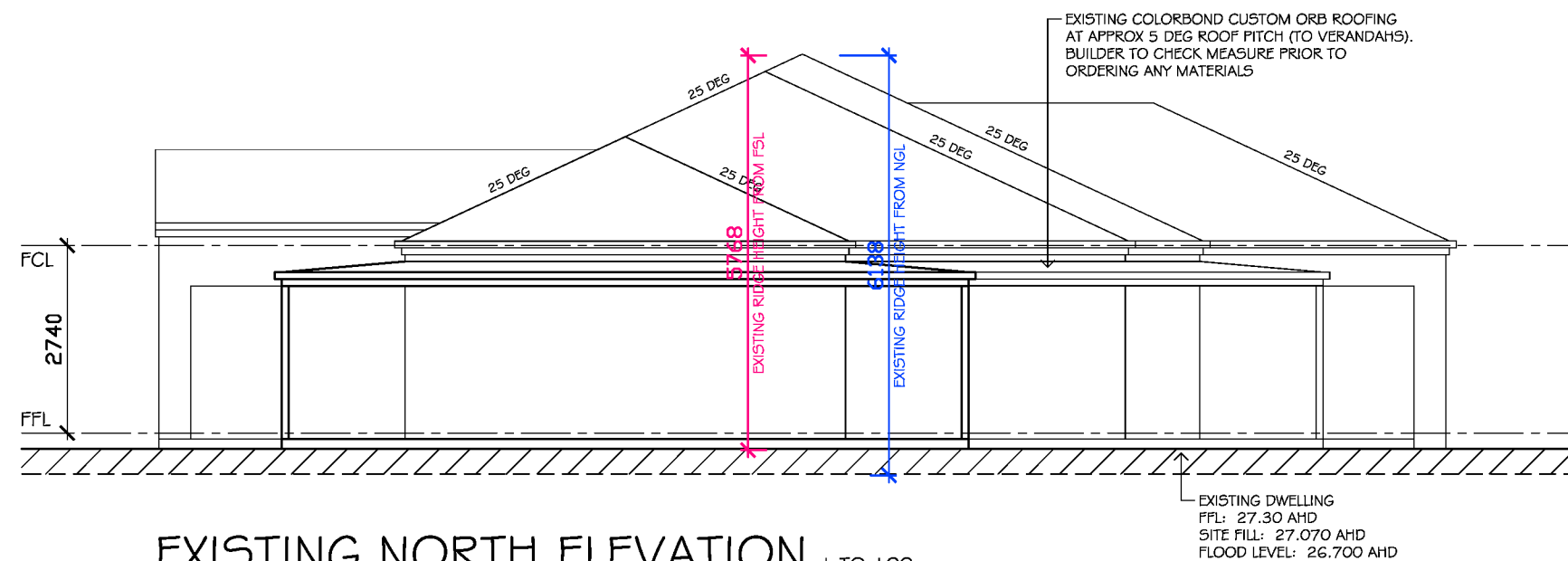
DATE: 04.05.2025	ISSUE: P3	A03
SCALE: 1 TO 100 (A3)		
DRAWN: M.MILES		

EXISTING FLOOR PLAN | 1 TO 100

NOTE: WRITTEN DIMENSIONS SHALL TAKE
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DO NOT SCALE FROM PLAN.



EXISTING EAST ELEVATION 1 TO 100



EXISTING NORTH ELEVATION 1 TO 100

EXISTING FFL: 27.300 AHD
EXISTING FILL PAD: 27.070 AHD
FLOOD LEVEL: 26.700 AHD
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

EXISTING ELEVATIONS | TO 100

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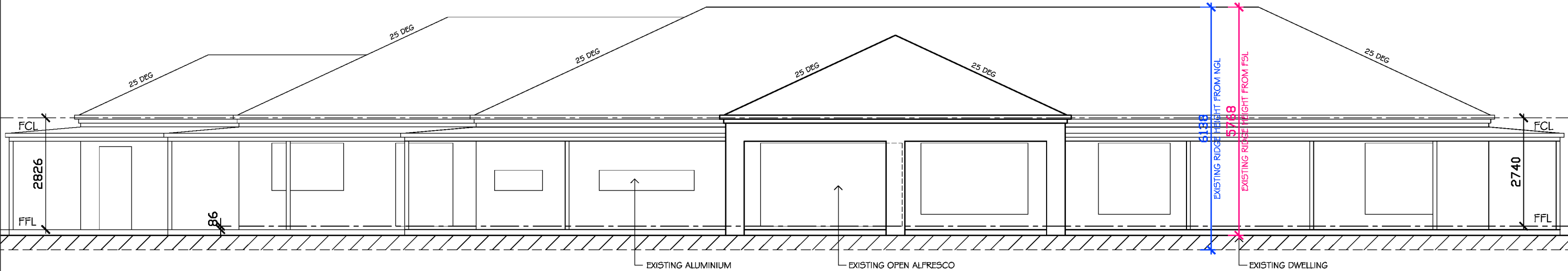
PROPOSED ALFRESCO & GARAGE
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS
ROAD, CATANI. 3981

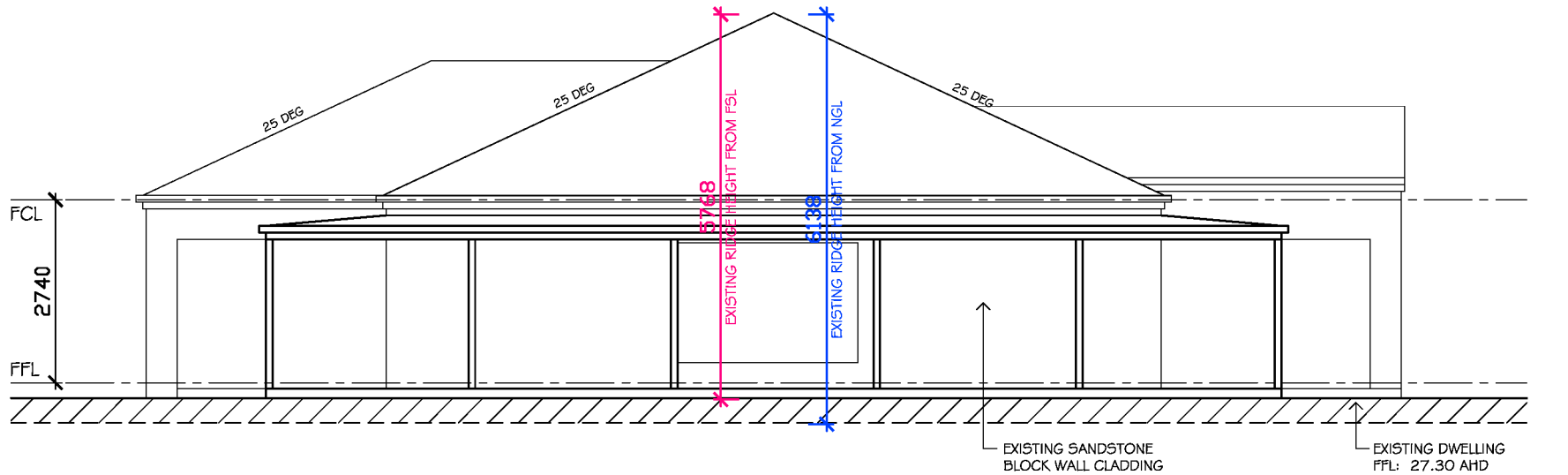
DATE: 04.05.2025	ISSUE: P3	A04
SCALE: 1 TO 100 (A3)		
DRAWN: M.MILES		

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EXISTING WEST ELEVATION | TO 100



EXISTING SOUTH ELEVATION | TO 100

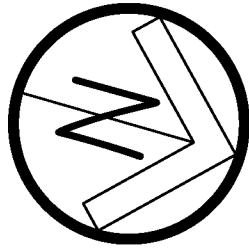
EXISTING FFL: 27.300 AHD
EXISTING FILL PAD: 27.070 AHD
FLOOD LEVEL: 26.700 AHD
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

EXISTING ELEVATIONS | TO 100

PROPOSED ALFRESCO & GARAGE
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS
ROAD, CATANI. 3981

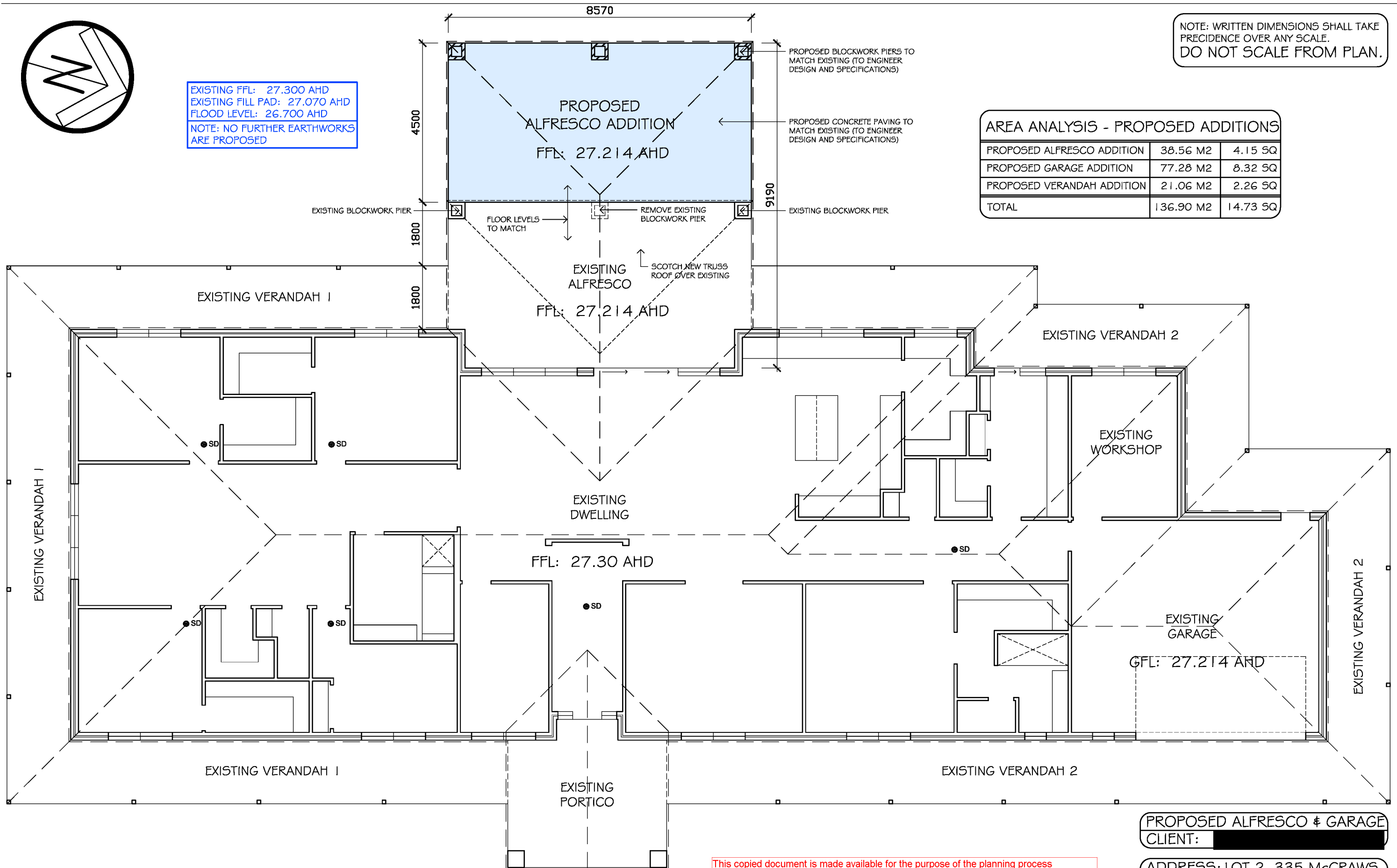
DATE:	04.05.2025	ISSUE:	A05
SCALE:	1 TO 100 (A3)		
DRAWN:	M.MILES		



EXISTING FFL: 27.300 AHD
EXISTING FILL PAD: 27.070 AHD
FLOOD LEVEL: 26.700 AHD
NOTE: NO FURTHER EARTHWORKS
ARE PROPOSED

NOTE: WRITTEN DIMENSIONS SHALL TAKE
PRECEDENCE OVER ANY SCALE.
DO NOT SCALE FROM PLAN.

AREA ANALYSIS - PROPOSED ADDITIONS		
PROPOSED ALFRESCO ADDITION	38.56 M2	4.15 SQ
PROPOSED GARAGE ADDITION	77.28 M2	8.32 SQ
PROPOSED VERANDAH ADDITION	21.06 M2	2.26 SQ
TOTAL	136.90 M2	14.73 SQ



PROPOSED FLOOR PLAN 1 TO 100

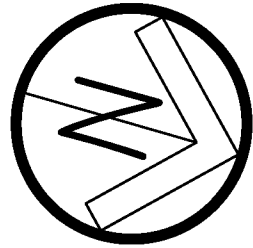
ALFRESCO ADDITION

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PROPOSED ALFRESCO & GARAGE
CLIENT: [REDACTED]

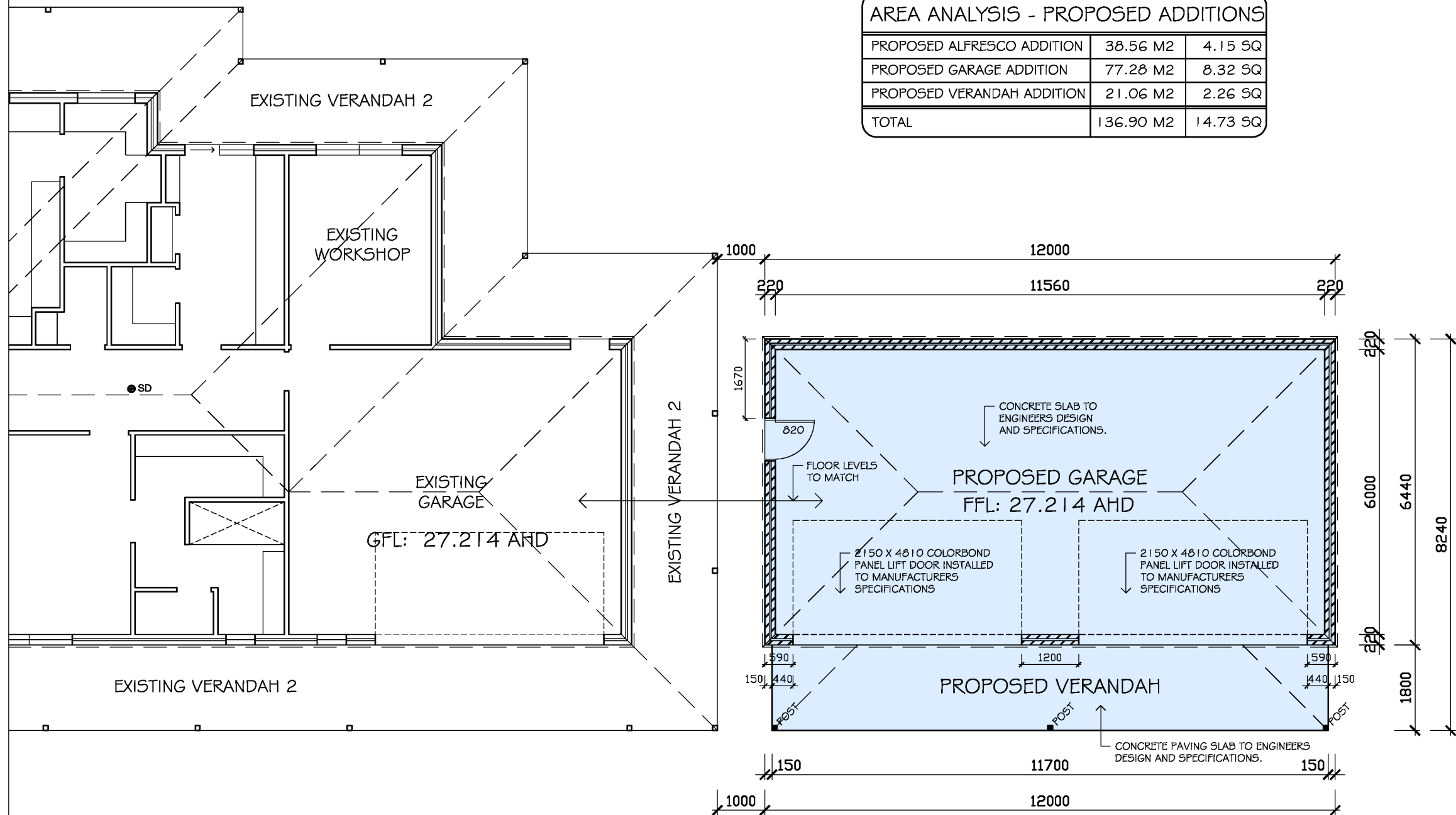
ADDRESS: LOT 2, 335 McCRAWS
ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: A06
SCALE: 1 TO 100 (A3)	P3
DRAWN: M.MILES	



NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.
DO NOT SCALE FROM PLAN.

AREA ANALYSIS - PROPOSED ADDITIONS		
PROPOSED ALFRESCO ADDITION	38.56 M2	4.15 SQ
PROPOSED GARAGE ADDITION	77.28 M2	8.32 SQ
PROPOSED VERANDAH ADDITION	21.06 M2	2.26 SQ
TOTAL	136.90 M2	14.73 SQ



EXISTING FFL: 27.300 AHD
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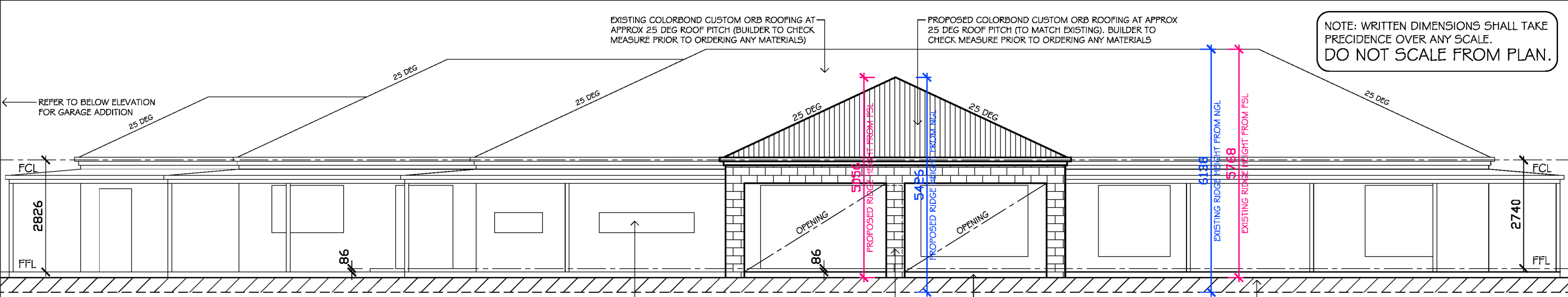
PROPOSED FLOOR PLAN | TO 100

GARAGE ADDITION

PROPOSED ALFRESCO & GARAGE
CLIENT: [REDACTED]

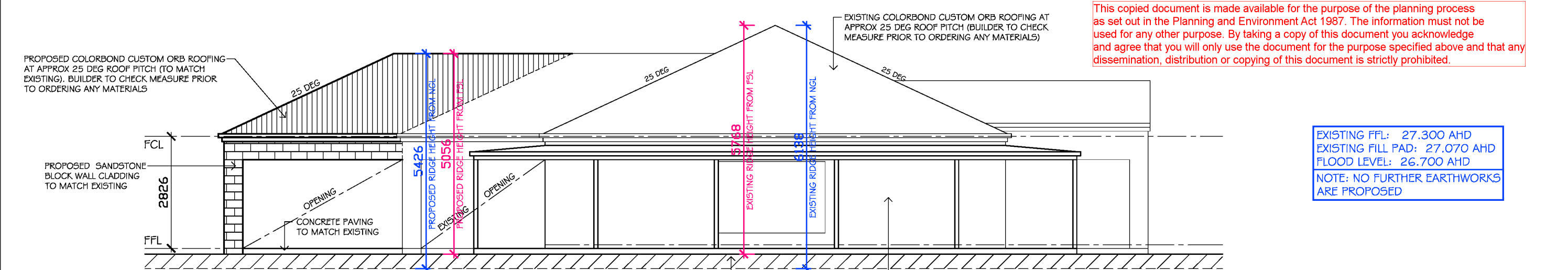
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ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: P3	A07
SCALE: 1 TO 100 (A3)		
DRAWN: M.MILES		



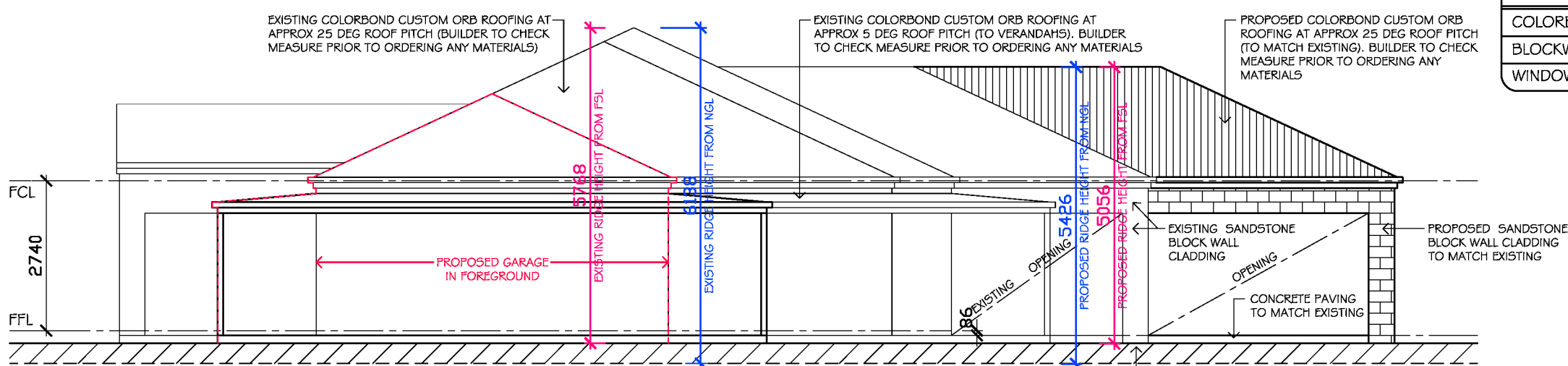
PROPOSED WEST ELEVATION | 1 TO 100

ALFRESCO ADDITION



PROPOSED SOUTH ELEVATION | 1 TO 100

ALFRESCO ADDITION



PROPOSED NORTH ELEVATION | 1 TO 100

ALFRESCO ADDITION

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EXISTING FFL: 27.300 AHD
EXISTING FILL PAD: 27.070 AHD
FLOOD LEVEL: 26.700 AHD
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED

COLOUR SCHEDULE

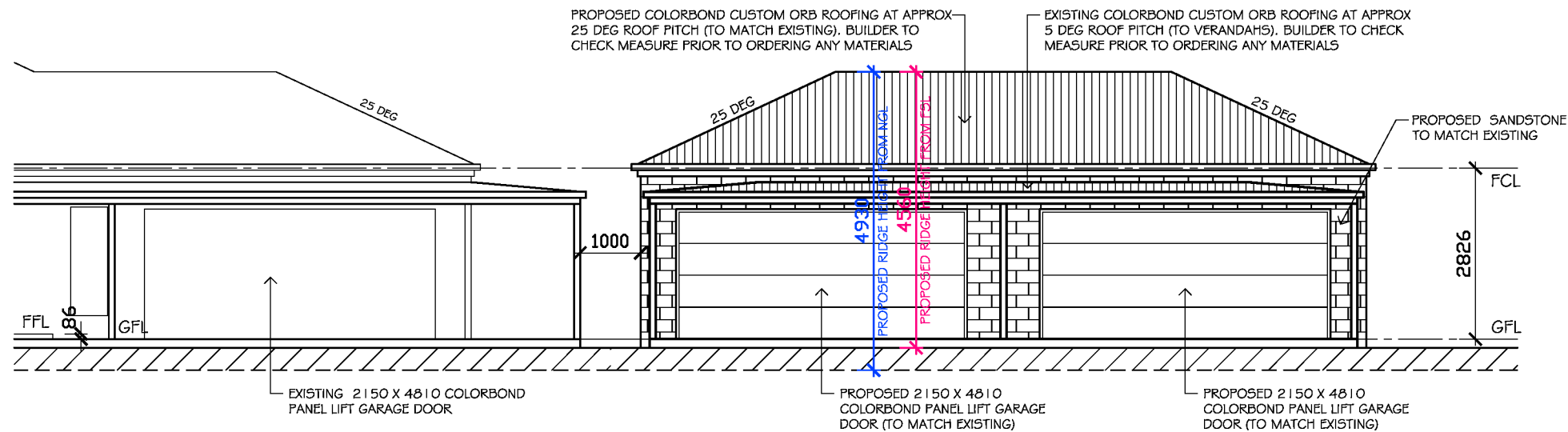
COLORBOND ROOF	WOODLAND GREY TO MATCH EXISTING
BLOCKWORK WALLS	CREAM/BIEGE TO MATCH EXISTING
WINDOWS/DOORS	WOODLAND GREY TO MATCH EXISTING

PROPOSED ALFRESCO & GARAGE
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: P3	A08
SCALE: 1 TO 100 (A3)		
DRAWN: M.MILES		

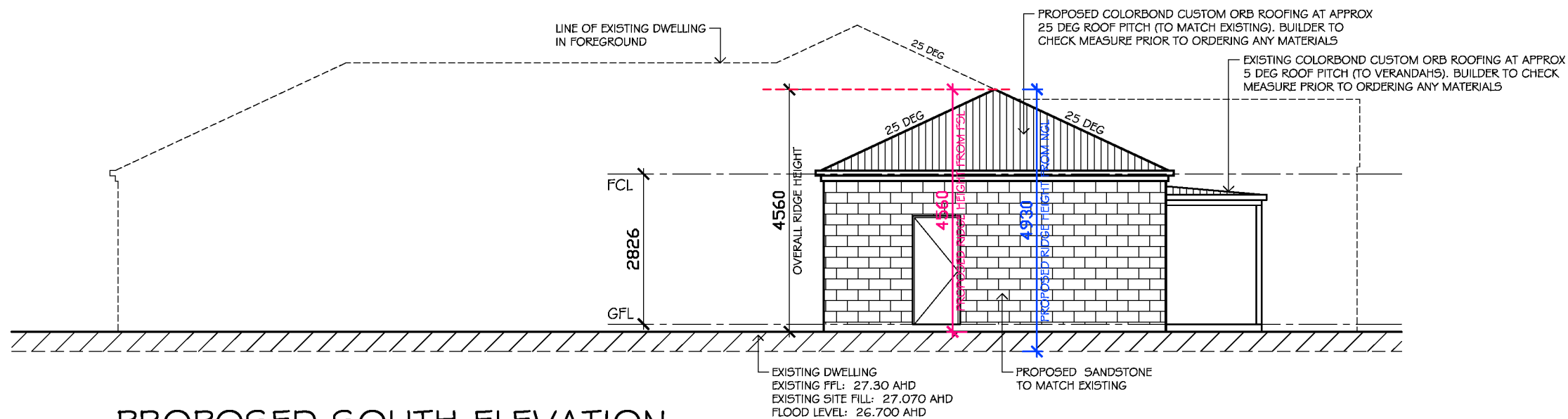
NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.
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PROPOSED EAST ELEVATION | 1 TO 100
GARAGE ADDITION

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EXISTING FFL: 27.300 AHD
EXISTING FILL PAD: 27.070 AHD
FLOOD LEVEL: 26.700 AHD
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED



PROPOSED SOUTH ELEVATION | 1 TO 100
GARAGE ADDITION

COLOUR SCHEDULE

COLORBOND ROOF	WOODLAND GREY TO MATCH EXISTING
BLOCKWORK WALLS	CREAM/BIEGE TO MATCH EXISTING
WINDOWS/DOORS	WOODLAND GREY TO MATCH EXISTING

PROPOSED ALFRESCO & GARAGE
CLIENT: [REDACTED]

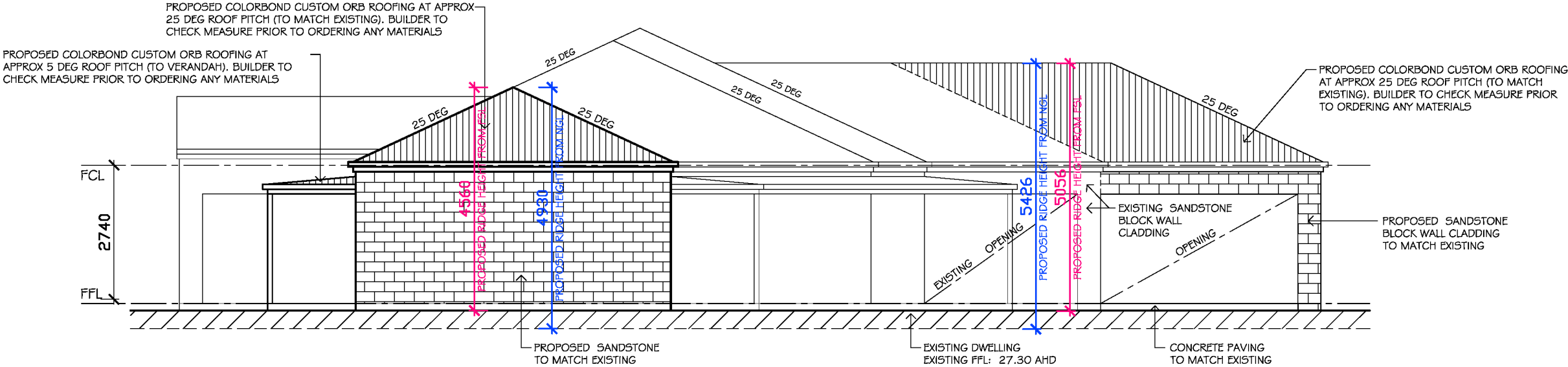
ADDRESS: LOT 2, 335 McCRAWS ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: P3	A09
SCALE: 1 TO 100 (A3)		
DRAWN: M.MILES		

PROPOSED ELEVATIONS | 1 TO 100

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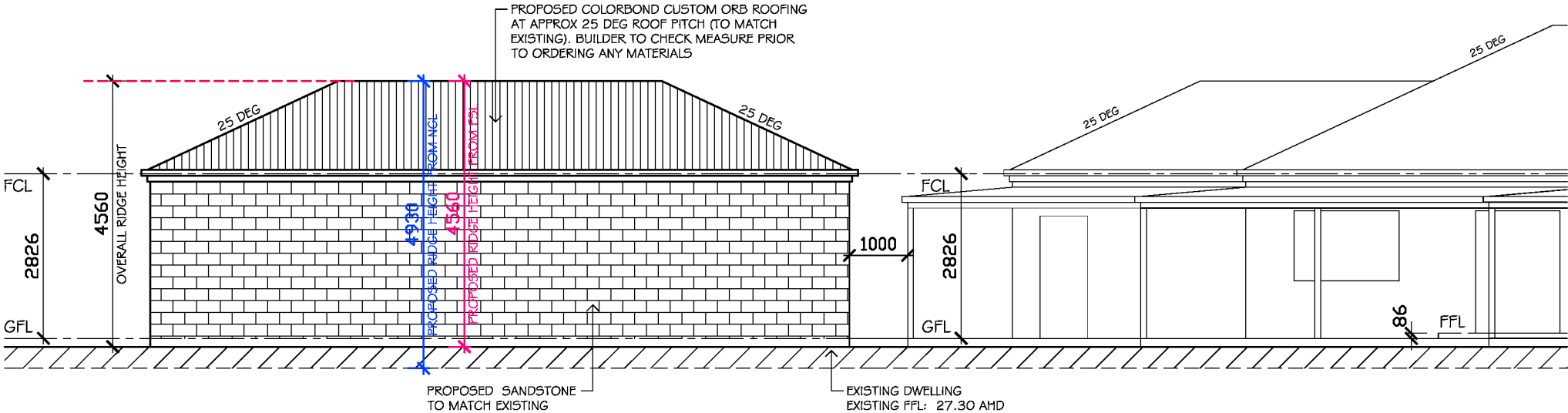
NOTE: WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALE.
DO NOT SCALE FROM PLAN.



PROPOSED NORTH ELEVATION 1 TO 100

GARAGE ADDITION

EXISTING FFL: 27.300 AHD
EXISTING FILL PAD: 27.070 AHD
FLOOD LEVEL: 26.700 AHD
NOTE: NO FURTHER EARTHWORKS ARE PROPOSED



PROPOSED WEST ELEVATION 1 TO 100

GARAGE ADDITION

COLOUR SCHEDULE

COLORBOND ROOF	WOODLAND GREY TO MATCH EXISTING
BLOCKWORK WALLS	CREAM/BIEGE TO MATCH EXISTING
WINDOWS/DOORS	WOODLAND GREY TO MATCH EXISTING

PROPOSED ALFRESCO & GARAGE
CLIENT: [REDACTED]

ADDRESS: LOT 2, 335 McCRAWS
ROAD, CATANI. 3981

DATE: 04.05.2025	ISSUE: A10
SCALE: 1 TO 100 (A3)	P3
DRAWN: M.MILES	

PROPOSED ELEVATIONS 1 TO 100

Receipt

Receipt No	[REDACTED]
Amount Paid	\$694.00
Transaction Status	Processing
Transaction Date	28/01/2025 8:50:25 PM
Reference 1	[REDACTED]
Reference 2	[REDACTED]
Reference 3	[REDACTED]

Applicant

Applicant Address

Owner

Owner Address

Preferred Contact

Preferred Contact Address

Site Address

Portal Reference
ReferenceNumber

InvoiceNumber
InvoiceDate
InvoicePayByDate

BAM Inspect and Build
110 Seymour Road, Nar Nar Goon North VIC
3812

335 McCraws Road Catani 3981

A125772F
T250038

480018
28-Jan-2025
27-Feb-2025

Regulation	Description	Amount	Modifier	Modified Amount
9 - Class 3	More than \$10,000 but not more than \$100,000	\$694.00	100%	\$694.00

Total Amount

\$694.00