

Notice of an Application for an Amendment to a Planning Permit

The land affected by the application is located at:	L30 PS827498 V12296 F643 & L31 PS827498 V12296 F644 55 & 57 Commercial Drive, Pakenham VIC 3810
The application is to:	Amendment to Planning Permit T220340 which allows for the use and development of the land for a retail premise (caravan sales and servicing), and display of a business identification sign. The amendment seeks to display two (2) internally illuminated signs.

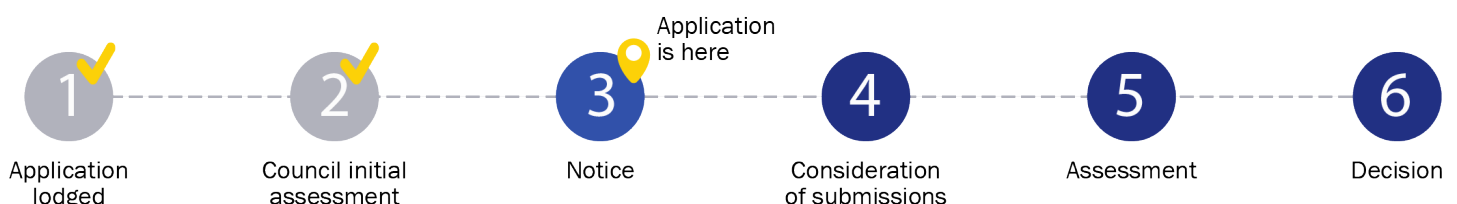
APPLICATION DETAILS

The applicant for the amendment to the permit is:	SS Signs
Application number:	T220340 - 1
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	



HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		06 June 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the proposed amendment to permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.





Planning Enquiries
Phone: 1300 787 624
Web: www.cardinia.vic.gov.au

Office Use Only Application No.:

Date Lodged: / /

Application to AMEND a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

- Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.
- This form cannot be used to:
 - amend a permit or part of a permit if the Victorian Civil and Administrative Tribunal (VCAT) has directed under section 85 of the Act that the responsible authority must not amend that permit or that part of the permit (as the case requires); or
 - amend a permit issued by the Minister under Division 6 of Part 4 of the Act (these applications must be made to the Minister under section 97I of the Act).
- Questions marked with an asterisk (*) must be completed.
- Click for further information.

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 55 & 57	St. Name: Commercial Drive
Suburb/Locality: Pakenham		Postcode: 3810

Formal Land Description *

Complete either A or B.

- This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.: 31	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.: 827498B
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

Planning Permit Details

What permit is being amended?*

Planning Permit No.: T 220340

The Amended Proposal

- You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application

What is the amendment being applied for?*

- Indicate the type of changes proposed to the permit.
- List details of the proposed changes.

If the space provided is insufficient, attach a separate sheet.

This application seeks to amend:	
<input type="checkbox"/> What the permit allows	<input checked="" type="checkbox"/> Plans endorsed under the permit
<input checked="" type="checkbox"/> Current conditions of the permit	<input type="checkbox"/> Other documents endorsed under the permit
Details: We are needing to amend permit T220340 to have a illuminated sign and pylon included	
<div>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</div>	
Provide plans clearly identifying all proposed changes to the endorsed plans, together with: any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.	



Development Cost i

Estimate cost of development*

If the permit allows **development**, estimate the cost difference between the development allowed by the permit and the development to be allowed by the amended permit.

Cost of proposed amended development:		Cost of the permitted development:		Cost difference (+ or -):
<input type="text" value="\$ NA"/>	-	<input type="text" value="\$"/>	=	<input type="text" value="\$"/>

Insert 'NA' if no development is proposed by the permit.

You may be required to verify this estimate.

Existing Conditions i

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Have the conditions of the land changed since the time of the original permit application? ☐ Yes ☒ No

If yes, please provide details of the existing conditions.

Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Title Information i

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes (If 'yes' contact council for advice on how to proceed before continuing with this application.)

☐ No

☐ Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

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Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Title:

First Name:

Surname:

Mobile phone:

Fax:

Contact person's details*

Same as applicant ☒

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Name:

Same as applicant ☐

Owner's Signature (Optional):

Date:

day / month / year

Declaration

This form must be signed by the applicant*

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; that all the information in this application is true and correct; that all changes to the permit and plan have been listed as part of the amended proposal and that the owner (if not myself) has been notified of the permit application.

Signature

Date:

05 / 02 / 2025

day / month / year

Need help with the Application?

If you need help to complete this form, read More Information at the end of this form or contact Council's planning department. General information about the planning process is available at [planning.vic.gov.au](#)

Contact Council's planning department to discuss the specific requirements for his application and obtain a checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer

☒ No ☐ Yes

If 'Yes', with whom?:

Date:

day / month / year

Application to AMEND a Planning Permit


Page 3



Checklist

Have you:

- ☐ Filled in the form completely?
- ☐ Paid or included the application fee?
- ☐ Attached all necessary supporting information and documents?
- ☐ Completed the relevant council planning permit checklist?
- ☐ Signed the declaration above?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

Lodgement

Lodge the completed and signed form and all documents with:

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact information:
Telephone: 1300 787 624
Fax: (03) 5941 3784
Email: mail@cardinia.vic.gov.au
DX: 81006

Deliver application in person, by post or by electronic lodgement.

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MORE INFORMATION

The Land

It is important that your application to amend a planning permit includes details of the land, consistent with the Planning Permit. Refer to a copy of your Planning Permit, when completing the street address section of the form.

Also ensure you provide up-to-date details for the formal land description, using the current copy of the title.

Planning Permit Details

You must identify the permit being amended by specifying the permit number. This can be found at the beginning of the permit.

The Amended Proposal

First select the type of amendment being applied for. This may include an amendment to:

- the use and/or development allowed by the permit
- conditions of the permit.
- plans approved by the permit.
- any other document approved by the permit.

Then describe the changes proposed to the permit, including any changes to the plans or other documents included in the permit.

Development Cost

In most instances an application fee will be required. This fee must be paid when you lodge the application. The fee is set down by government regulations.

To help Council calculate the application fee, you must provide an accurate cost estimate of the proposed development to be allowed by the amended permit and the difference between the development allowed by the permit.

Council may ask you to justify your cost estimates. Costs are required solely to allow Council to calculate the permit application fee.

Fees are exempt from GST.

The cost difference is calculated as follows:

Development cost related to the Application to Amend a Planning Permit	–	Development cost related to the Application for Planning Permit	=	Cost Difference
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If the estimated cost of the proposed amended development is less than the estimated cost of the development allowed by the permit, show it as a negative number.

Example 1

Where the cost of the development to be allowed by the amended permit is lower than the cost of the development allowed by the permit:

$$\$180,000 - \$195,000 = -\$15,000$$

Example 2

Where the cost of the development to be allowed by the amended permit is higher than the cost of the development allowed by the permit:

$$\$250,000 - \$195,000 = \$55,000$$

▲ Costs for different types of development can be obtained from specialist publications such as Cordell Housing: Building Cost Guide or Rawlinsons: Australian Construction Handbook.

▲ Contact the Council to determine the appropriate fee. Go to planning.vic.gov.au to view a summary of fees in the Planning and Environment (Fees) Regulations.

Existing Conditions

How should land be described?

If the conditions of the land have changed since the time of the original permit application, you need to describe, in general terms, the way the land is used now, including the activities, buildings, structures and works that exist (for example, single dwelling, 24 dwellings in a three-storey building, medical centre with three practitioners and 8 car parking spaces, vacant land).

Please attach to your application a plan of the existing conditions of the land, if the conditions have changed since the time of the original permit application. Check with the local Council for the quantity, scale and level of detail required.

It is also helpful to include photographs of the existing conditions.

Title Information

What is an encumbrance?

An 'encumbrance' is a formal obligation on the land, with the most common type being a 'mortgage'. Other common examples of encumbrances include:

- **Restrictive Covenants:** A 'restrictive covenant' is a written agreement between owners of land restricting the use or development of the land for the benefit of others, (eg. a limit of one dwelling or limits on type of building materials to be used).
- **Section 173 Agreements:** A 'section 173 agreement' is a contract between an owner of the land and the Council which sets out limitations on the use or development of the land.
- **Easements:** An 'easement' gives rights to other parties to use the land or provide for services or access on, under or above the surface of the land.
- **Building Envelopes:** A 'building envelope' defines the development boundaries for the land.

Aside from mortgages, the above encumbrances can potentially limit or even prevent certain types of proposals.

What documents should I check to find encumbrances

Encumbrances are identified on the title (register search statement) under the header 'encumbrances, caveats and notices'. The actual details of an encumbrance are usually provided in a separate document (instrument) associated with the title. Sometimes encumbrances are also marked on the title diagram or plan, such as easements or building envelopes.

What about caveats and notices?

A 'caveat' is a record of a claim from a party to an interest in the land. Caveats are not normally relevant to planning applications as they typically relate to a purchaser, mortgagee or chargee claim, but can sometimes include claims to a covenant or easement on the land. These types of caveats may affect your proposal.

Other less common types of obligations may also be specified on title in the form of 'notices'. These may have an effect on your proposal, such as a notice that the building on the land is listed on the Heritage Register.

What happens if the proposal contravenes an encumbrance on title?

Encumbrances may affect or limit your proposal or prevent it from proceeding. Section 61(4) of the *Planning and Environment Act 1987* for example, prevents a Council from granting a permit if it would result in a breach of a registered restrictive covenant. If the proposal contravenes any encumbrance, contact the Council for advice on how to proceed.

You may be able to modify your proposal to respond to the issue. If not, separate procedures exist to change or remove the various types of encumbrances from the title. The procedures are generally quite involved and if the encumbrance relates to more than the subject property, the process will include notice to the affected party.

▲ You should seek advice from an appropriately qualified person, such as a solicitor, if you need to interpret the effect of an encumbrance or if you seek to amend or remove an encumbrance.

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Why is title information required?

Title information confirms the location and dimensions of the land specified in the planning application and any obligations affecting what can be done on or with the land.

As well as describing the land, a full copy of the title will include a diagram or plan of the land and will identify any encumbrances, caveats and notices.

What is a ‘full’ copy of the title?

The title information accompanying your application must include a ‘register search statement’ and the title diagram, which together make up the title. In addition, any relevant associated title documents, known as ‘instruments’, must also be provided to make up a full copy of the title.

Check the title to see if any of the types of encumbrances, such as a restrictive covenant, section 173 agreement, easement or building envelope, are listed. If so, you must submit a copy of the document (instrument) describing that encumbrance. Mortgages do not need to be provided with planning applications.

Some titles have not yet been converted by Land Registry into an electronic register search statement format. In these earlier types of titles, the diagram and encumbrances are often detailed on the actual title, rather than in separate plans or instruments.

Why is ‘current’ title information required?

It is important that you attach a current copy of the title for each individual parcel of land forming the subject site. ‘Current’ title information accurately provides all relevant and up-to-date information.

Some councils require that title information must have been searched within a specified time frame. Contact the Council for advice on their requirements.

Copies of title documents can be obtained from Land Registry: Level 10, 570 Bourke Street, Melbourne; 03 8636 2010; www.landata.vic.gov.au – go direct to “titles & property certificates”

Applicant and Owner Details

This section provides information about the permit applicant, the owner of the land and the person who should be contacted about any matters concerning the permit application.

The applicant is the person or organisation that wants the permit. The applicant can, but need not, be the contact person.

In order to avoid any confusion, the Council will communicate only with the person who is also responsible for providing further details. The contact may be a professional adviser (e.g. architect or planner) engaged to prepare or manage the application. To ensure prompt communications, contact details should be given.

Check with Council how they prefer to communicate with you about the application. If an email address is provided this may be the preferred method of communication between Council and the applicant/contact.

The owner of the land is the person or organisation who owns the land at the time the application is made. Where a parcel of land has been sold and an application made prior to settlement, the owner’s details should be identified as those of the vendor. The owner can, but need not, be the contact or the applicant.

See **Example**.

Declaration

The declaration should be signed by the person who takes responsibility for the accuracy of all the information that is provided. This declaration is a signed statement that the information included with the application is true and correct at the time of lodgement.

The declaration can be signed by the applicant or owner. If the owner is not the applicant, the owner must either sign the application form or must be notified of the application which is acknowledged in the declaration

Obtaining or attempting to obtain a permit by wilfully making or causing any false representation or declaration, either orally or in writing, is an offence under the *Planning and Environment Act 1987* and could result in a fine and/or cancellation of the permit

Need help with the Application?

If you have attended a pre-application meeting with a Council planner, fill in the name of the planner and the date, so that the person can be consulted about the application once it has been lodged. This will help speed up the processing of your application.

Checklist

You should provide sufficient supporting material with the application to describe the proposal in enough detail for the council to make a decision. It is important that copies of all plans and information submitted with the application are legible.

There may be specific application requirements set out in the planning scheme for the use or development you propose. The application should demonstrate how these have been addressed or met.

The checklist is to help ensure that you have:

- provided all the required information on the form
- included payment of the application fee
- attached all necessary supporting information and documents
- completed the relevant Council planning permit checklist
- signed the declaration on the last page of the application form.

The more complete the information you provide with your application, the sooner Council will be able to make a decision.

Lodgement

The application must be lodged with the Council responsible for the planning scheme in which the land affected by the application is located. In some cases the Minister for Planning or another body is the responsible authority instead of Council. Ask the Council if in doubt.

Check with council how they prefer to have the application lodged. For example, they may have an online lodgement system, prefer email or want an electronic and hard copy. Check also how many copies of plans and the size of plans that may be required.

Contact details are listed in the lodgement section on the last page of the form.

Approval from other authorities: In addition to obtaining a planning permit, approvals or exemptions may be required from other authorities or Council departments. Depending on the nature of your proposal, these may include food or health registrations, building permits or approvals from water and other service authorities.

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Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

*Please provide at least one contact phone number **

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Title: **MR**

First Name: **LEN**

Surname: **BROWNING**

Organisation (if applicable): **RESPONSIBLE DEVELOPERS PTY LTD**

Postal Address:

Unit No.: **4**

St. No.: **12**

St. Name: **ARDOUR LANE**

Suburb/Locality: **WYCHEPROOF**

State: **VIC**

Postcode: **3527**

Contact information for applicant OR contact person below

Business phone: **9123 4567**

Email: **tcpl@bigpond.net.au**

Mobile phone: **0412 345 678**

Fax: **9123 4567**

Contact person's details*

Name: Same as applicant ☐

Title: **MR**

First Name: **ANDREW**

Surname: **HODGE**

Organisation (if applicable): **TOWN PLANNING CONSULTANTS**

Postal Address:

Unit No.:

St. No.:

St. Name: **PO BOX 111**

Suburb/Locality: **PARKDALE**

State: **VIC**

Postcode: **3194**

Name: Same as applicant ☒

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Owner's Signature (Optional):

Date:

day / month / year

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Application to AMEND a Planning Permit | Metropolitan Council

Addendum



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T220240
Address of the Land:	55 & 57 Commercial dr Pakenham

APPLICANT DETAILS

Name:	
Organisation:	
Address:	
Phone:	
Email:	

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A – Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
We are needing to amend the plans to move the illuminated pylon 32.7m west down Commercial dr. No other amendments are required.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.

Name:

Signature:

Date:

2/05/25

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 12296 FOLIO 644

Security no : 124121750214P

Produced 05/02/2025 10:40 AM

LAND DESCRIPTION

Lot 31 on Plan of Subdivision 827498B.
PARENT TITLE Volume 12154 Folio 204
Created by instrument PS827498B 13/04/2021

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT PS827498B 13/04/2021

COVENANT AU424946B 07/06/2021

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS827498B FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 57 COMMERCIAL DRIVE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

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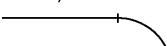
Document Type	Plan
Document Identification	PS827498B
Number of Pages (excluding this cover sheet)	9
Document Assembled	26/03/2025 14:55

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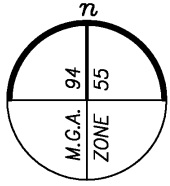
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PLAN OF SUBDIVISION			EDITION	PS 827498B																				
<p style="text-align: center;">LOCATION OF LAND</p> <p>PARISH: NAR NAR GOON</p> <p>TOWNSHIP: -</p> <p>SECTION: -</p> <p>CROWN ALLOTMENT: 47, 49 & 50 (PARTS)</p> <p>CROWN PORTION: -</p> <p>TITLE REFERENCE: VOL 12154 FOL 204</p> <p>LAST PLAN REFERENCE: LOT A ON PS823245E</p> <p>POSTAL ADDRESS: (at time of subdivision) SOUTHEAST BOULEVARD PAKENHAM 3810</p> <p>MGA 94 CO-ORDINATES: (approx. centre of land in plan) E 366 250 N 5 782 350 ZONE: 55</p>			<p>Council Name: Cardinia Shire Council</p> <p>Council Reference Number: S19-004 Planning Permit Reference: T170658 SPEAR Reference Number: S134485H</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 09/04/2020</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made</p> <p>Digitally signed by: Sonia Higgins for Cardinia Shire Council on 15/03/2021</p> <p>Statement of Compliance issued: 29/03/2021</p>																					
<p style="text-align: center;">VESTING OF ROADS AND/OR RESERVES</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 20%;">IDENTIFIER</th> <th>COUNCIL/BODY/PERSON</th> </tr> </thead> <tbody> <tr> <td>ROAD R1</td> <td>CARDINIA SHIRE COUNCIL</td> </tr> <tr> <td>RESERVE No.1</td> <td>CARDINIA SHIRE COUNCIL</td> </tr> <tr> <td>RESERVE No.2</td> <td>CARDINIA SHIRE COUNCIL</td> </tr> <tr> <td>RESERVE No.3</td> <td>AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)</td> </tr> <tr> <td>RESERVE No.4</td> <td>AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)</td> </tr> <tr> <td>RESERVE No.5</td> <td>AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)</td> </tr> <tr> <td>RESERVE No.6</td> <td>AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)</td> </tr> <tr> <td>RESERVE No.7</td> <td>AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)</td> </tr> <tr> <td>RESERVE No.8</td> <td>AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)</td> </tr> </tbody> </table>			IDENTIFIER	COUNCIL/BODY/PERSON	ROAD R1	CARDINIA SHIRE COUNCIL	RESERVE No.1	CARDINIA SHIRE COUNCIL	RESERVE No.2	CARDINIA SHIRE COUNCIL	RESERVE No.3	AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)	RESERVE No.4	AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)	RESERVE No.5	AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)	RESERVE No.6	AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)	RESERVE No.7	AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)	RESERVE No.8	AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)	<p style="text-align: center;">NOTATIONS</p> <p>STAGING THIS PLAN IS NOT A STAGED SUBDIVISION PLANNING PERMIT NO. T170658</p> <p>SURVEY THIS PLAN IS NOT BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS NO(S) 144,147,512,519,605,606,607 IN PROCLAIMED SURVEY AREA NO. 71</p> <p>DEPTH LIMITATION DOES NOT APPLY</p> <p>LOTS 1 TO 28, 47, 90 TO 104 & LOT A (ALL INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. EASEMENTS E-1 TO E-15 (BOTH INCLUSIVE) AND E-17 HAVE BEEN OMITTED FROM THIS PLAN. AREA OF LAND SUBDIVIDED (EXCLUDING LOT B) - 34.39ha TANGENT POINTS ARE SHOWN THUS: </p> <p>OTHER PURPOSE OF PLAN</p> <p>TO REMOVE THAT PART OF POWERLINE EASEMENT E-17 ON PS823245E NOW CONTAINED IN COMMERCIAL DRIVE & NATIONAL AVENUE ON THIS PLAN.</p> <p>TO REMOVE THOSE PARTS OF DRAINAGE EASEMENT E-18 ON PS823245E NOW CONTAINED IN COMMERCIAL DRIVE, NATIONAL AVENUE, EVOLUTION DRIVE & SOUTHEAST BOULEVARD ON THIS PLAN.</p> <p>TO REMOVE THAT PART OF SEWERAGE EASEMENT E-19 ON PS823245E NOW CONTAINED IN NATIONAL AVENUE, ADMINISTRATION DRIVE, SOUTHEAST BOULEVARD & INNOVATION WAY ON THIS PLAN.</p> <p>GROUND FOR REMOVAL OF EASEMENTS</p> <p>AGREEMENT BY ALL INTERESTED PARTIES.</p>	
IDENTIFIER	COUNCIL/BODY/PERSON																							
ROAD R1	CARDINIA SHIRE COUNCIL																							
RESERVE No.1	CARDINIA SHIRE COUNCIL																							
RESERVE No.2	CARDINIA SHIRE COUNCIL																							
RESERVE No.3	AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)																							
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EASEMENT INFORMATION																								
LEGEND: E - ENCUMBERING EASEMENT, CONDITION IN CROWN GRANT IN THE NATURE OF AN EASEMENT OR OTHER ENCUMBRANCE A - APPURTENANT EASEMENT																								
SUBJECT LAND	PURPOSE	WIDTH (metres)	ORIGIN	LAND BENEFITED/IN FAVOUR OF																				
E-16	DRAINAGE	SEE DIAG.	PS714684K	CARDINIA SHIRE COUNCIL																				
E-16	SEWERAGE	SEE DIAG.	PS714684K	SOUTH EAST WATER CORPORATION																				
E-18	DRAINAGE	SEE DIAG.	PS823245E	CARDINIA SHIRE COUNCIL																				
E-19	SEWERAGE	SEE DIAG.	PS823245E	SOUTH EAST WATER CORPORATION																				
E-20	DRAINAGE	SEE DIAG.	PS823245E	CARDINIA SHIRE COUNCIL																				
E-20	SEWERAGE	SEE DIAG.	PS823245E	SOUTH EAST WATER CORPORATION																				
E-20	TRANSMISSION OF TELECOMMUNICATION SIGNALS BY UNDERGROUND CABLE	SEE DIAG.	PS823245E	LOTS ON PS823245E																				
E-21	POWERLINE	SEE DIAG.	THIS PLAN - SECTION 88 ELECTRICITY INDUSTRY ACT 2000	AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)																				
E-22	DRAINAGE	SEE DIAG.	THIS PLAN	CARDINIA SHIRE COUNCIL																				
E-23	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION																				
E-24	DRAINAGE	SEE DIAG.	THIS PLAN	CARDINIA SHIRE COUNCIL																				
E-24	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION																				
E-25	SEWERAGE	SEE DIAG.	PS823245E	SOUTH EAST WATER CORPORATION																				
E-25	DRAINAGE	SEE DIAG.	THIS PLAN	CARDINIA SHIRE COUNCIL																				
E-26	PARTY WALL	SEE DIAG.	THIS PLAN	THE RELEVANT ABUTTING LOT ON THIS PLAN																				
SOUTHEAST BUSINESS PARK - 1B 63 LOTS AND BALANCE LOT B		LICENSED SURVEYOR ADRIAN A. THOMAS																						
Level 3, 1 Southbank Boulevard Southbank, Victoria 3006 03) 7019 8400 www.veris.com.au DEVELOP WITH CONFIDENCE™ <i>Formerly Bosco Jonson</i>		DATE 12/03/21 REFERENCE 331900-ST1B VERSION J DRAWING 331900-ST1B-AJ		ORIGINAL SHEET SIZE A3 SHEET 1 OF 9 SHEETS																				
Digitally signed by: Adrian A Thomas, Licensed Surveyor, Surveyor's Plan Version (J), 12/03/2021, SPEAR Ref: S134485H			PLAN REGISTERED TIME: 10:05 AM DATE: 13/04/2021 R.D'rozario Assistant Registrar of Titles																					

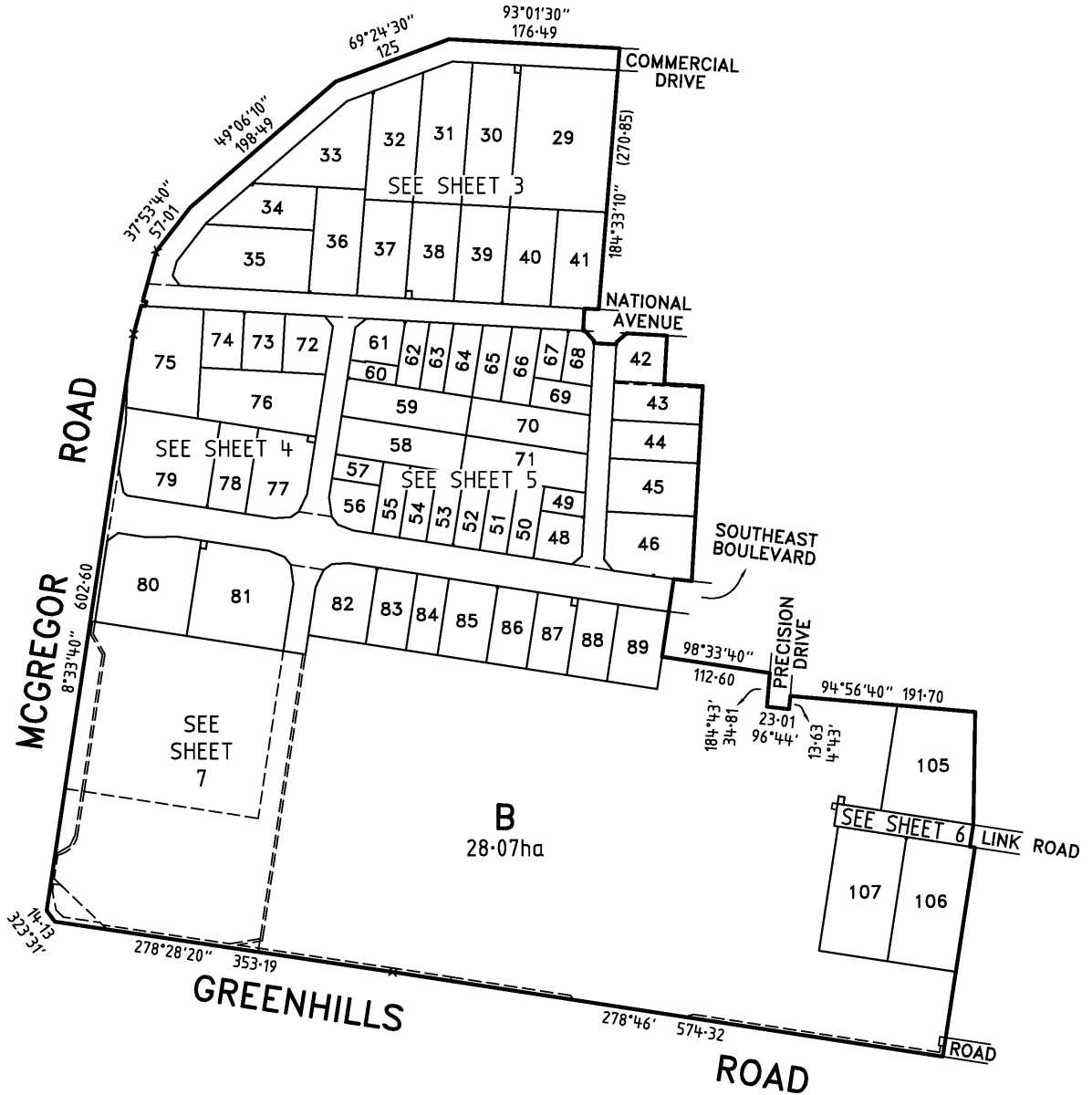
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PLAN OF SUBDIVISION

PS 827498B



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SOUTHEAST BUSINESS PARK - 1B

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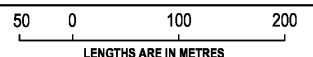
LICENSED SURVEYOR **ADRIAN A. THOMAS**

DATE 12/03/21
VERSION J

REFERENCE 331900-ST1B
DRAWING 331900-ST1B-AJ

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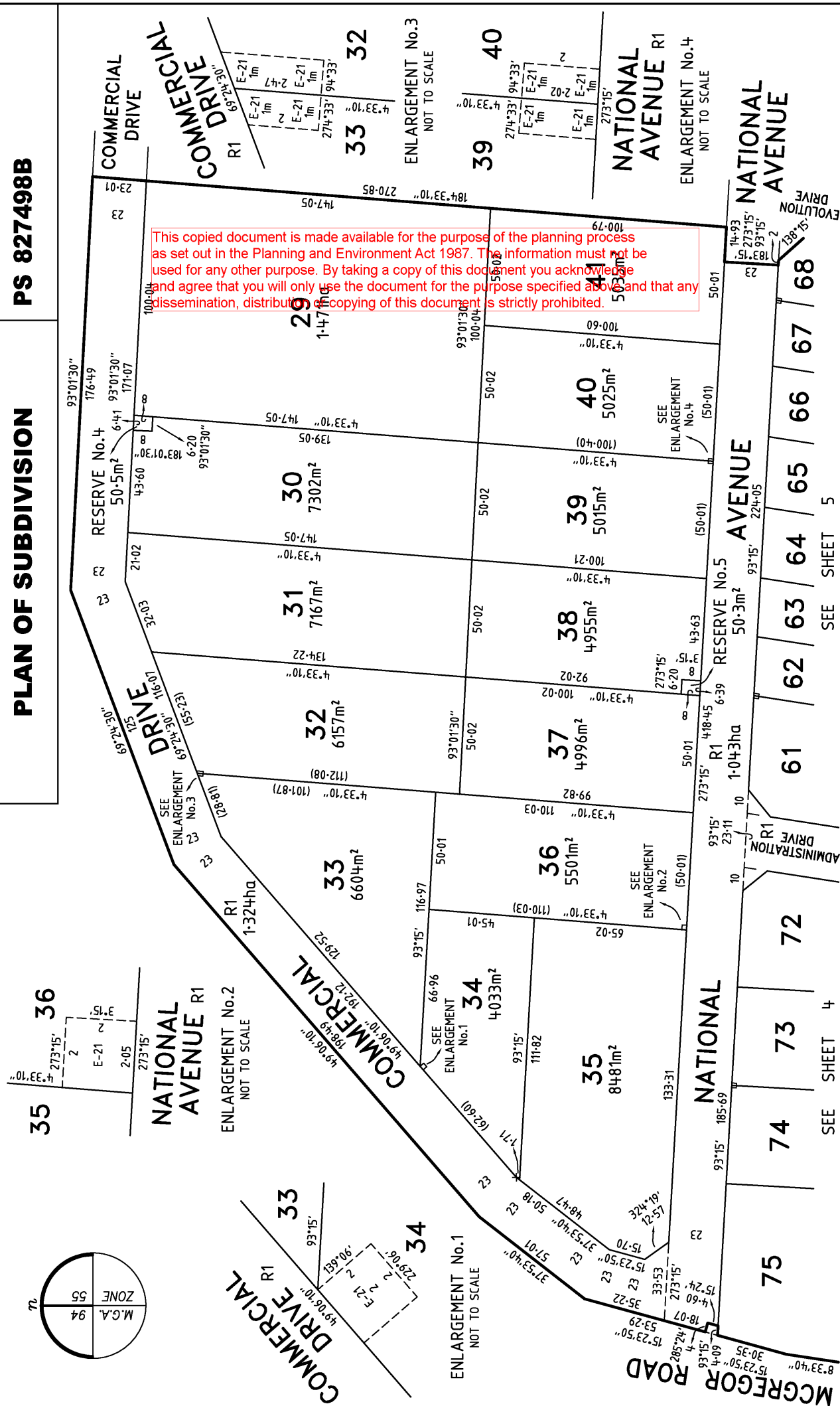
ORIGINAL SHEET SIZE A3

SHEET 2

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PLAN OF SUBDIVISION

PS 827498B



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LICENSED SURVEYOR ADRIAN A. THOMAS

REFERENCE 331900-ST1B
DRAWING 331900-ST1B-AJ

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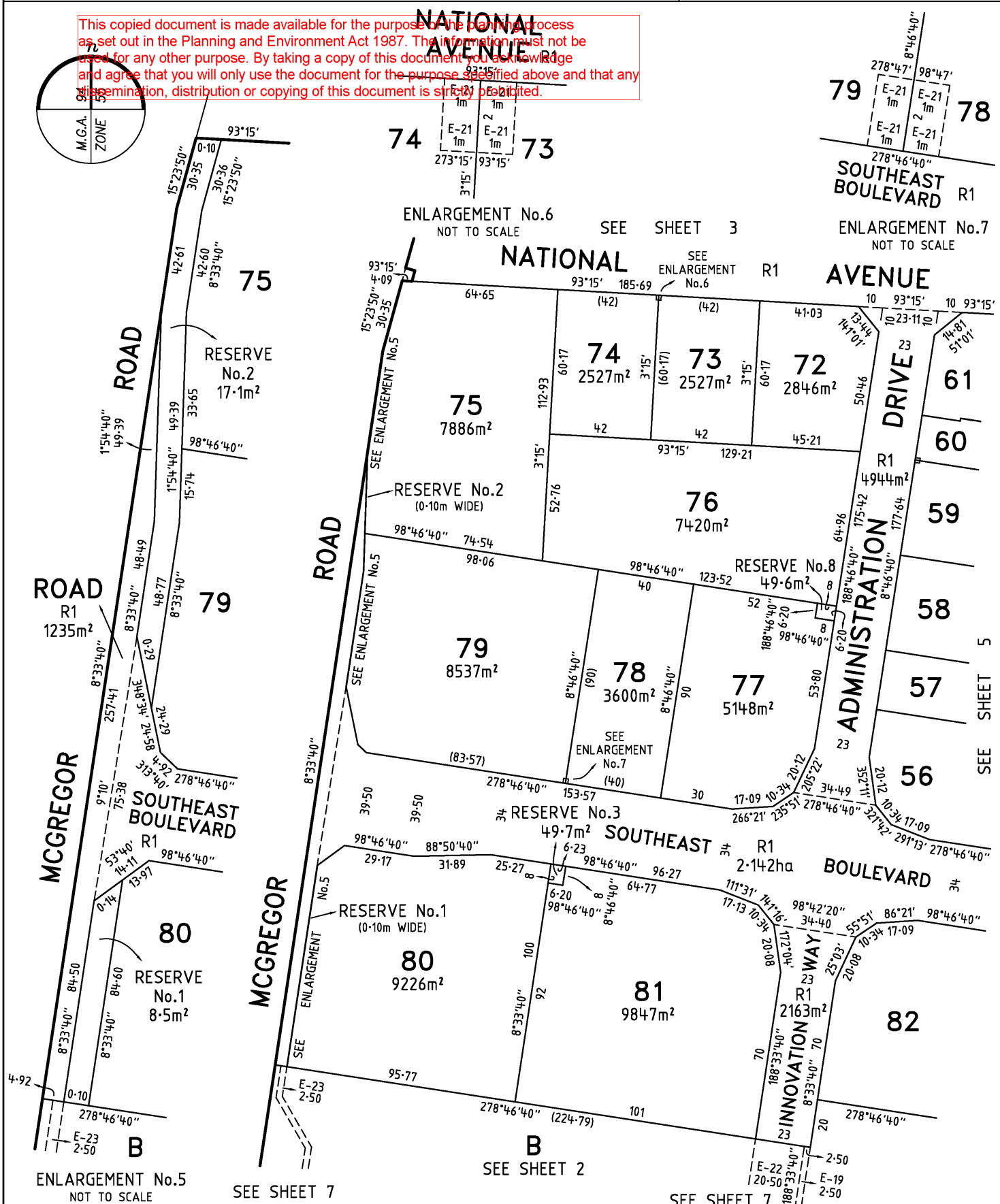
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SPEAR Ref: S134485H

15	0	30	60	SCALE 1:1500	ORIGINAL SHEET SIZE A3 SHEET 3
LENGTHS ARE IN METRES					

PLAN OF SUBDIVISION

PS 827498B

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SOUTHEAST BUSINESS PARK - 1B

LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE
1:1500

15 0 30 60
LENGTHS ARE IN METRES

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SHEET 4

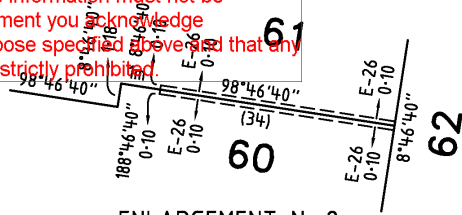
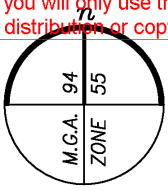
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15/03/2021,
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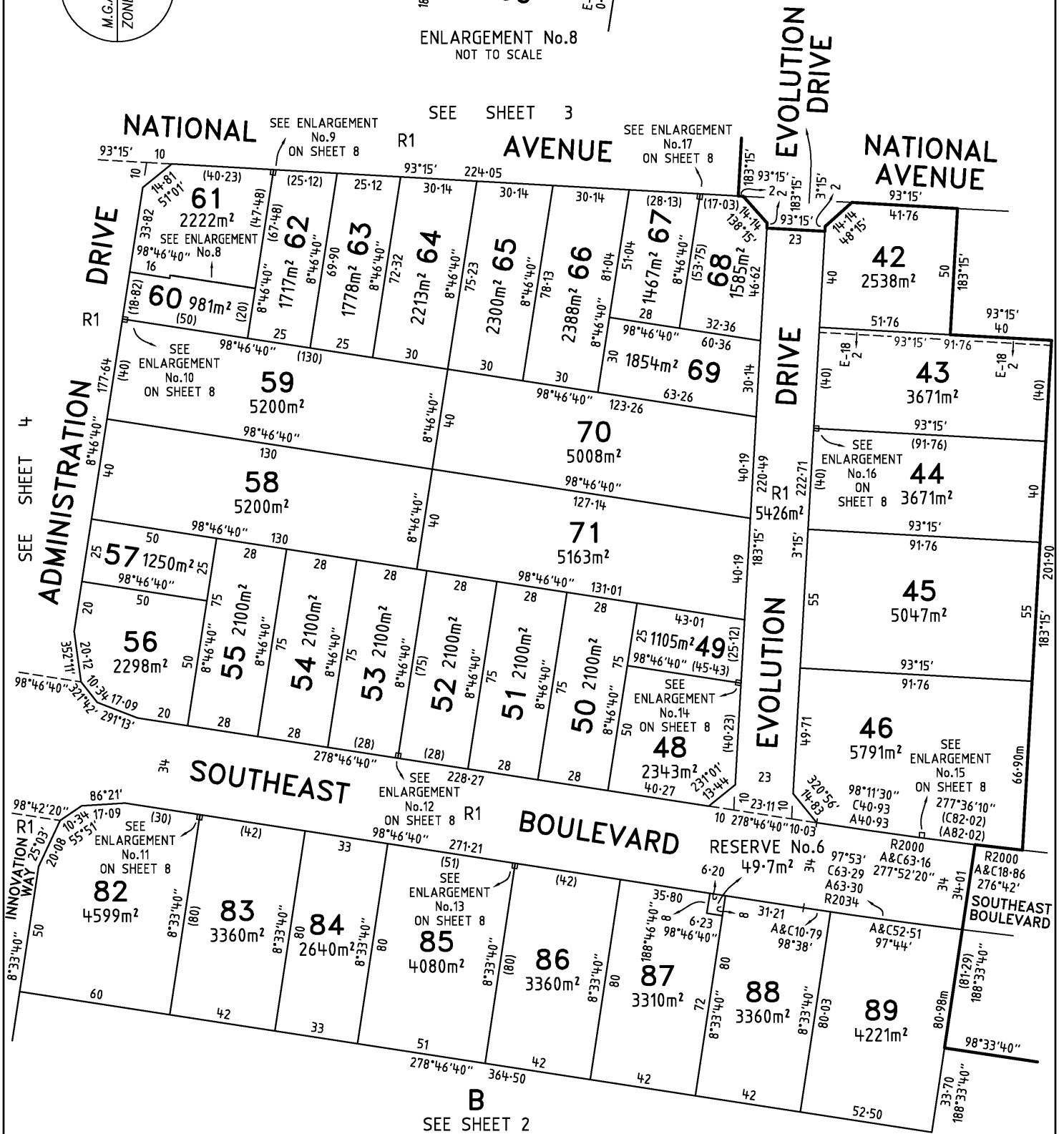
PLAN OF SUBDIVISION

PS 827498B

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ENLARGEMENT No.8
NOT TO SCALE



B
SEE SHEET 2

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LICENCED SURVEYOR ADRIAN A. THOMAS

SCALE
1:1500

15 0 30 60
LENGTHS ARE IN METRES

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03) 7019 8400



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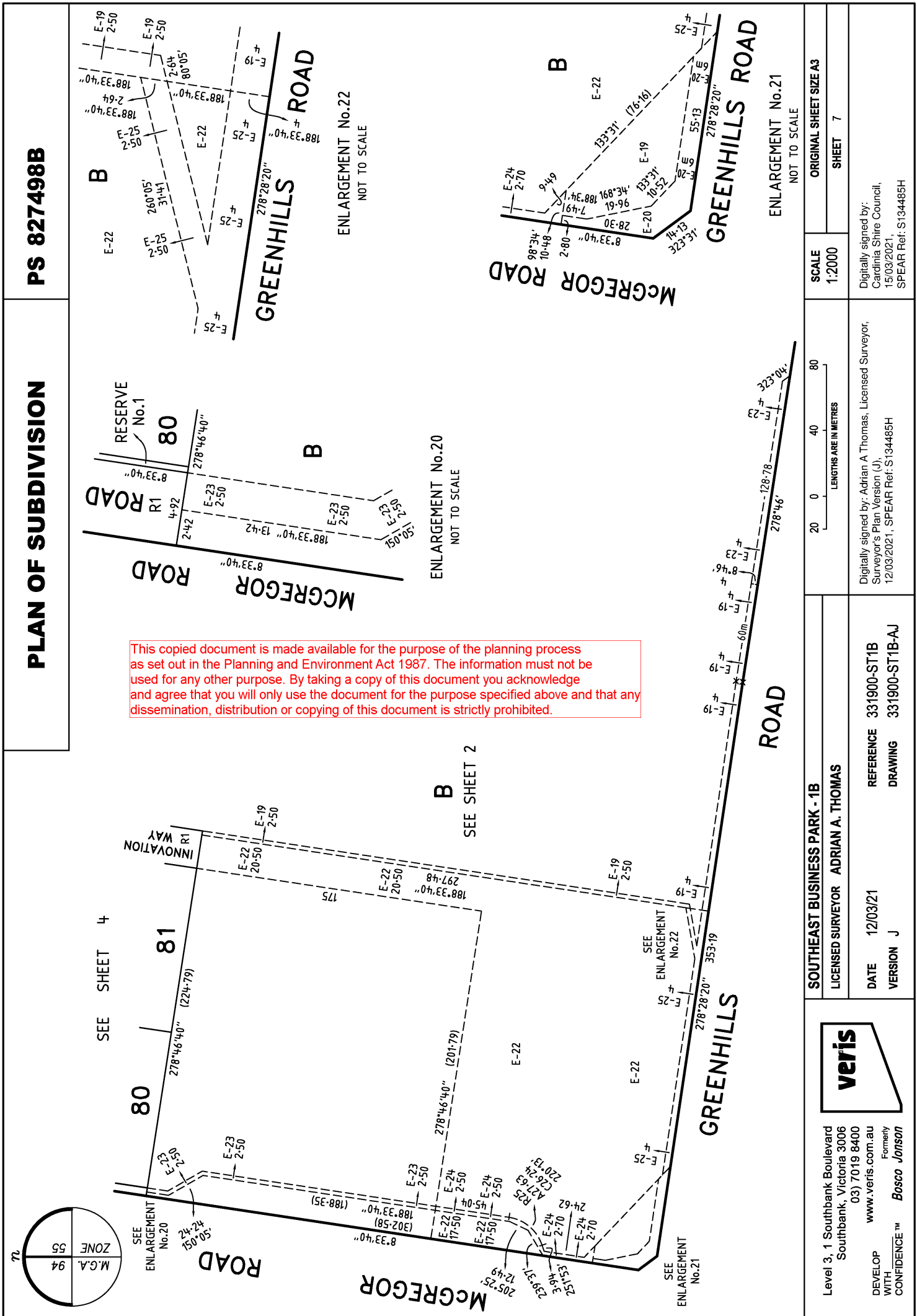
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DRAWING 331900-ST1B-AJ

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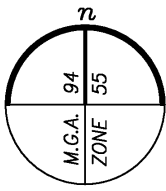
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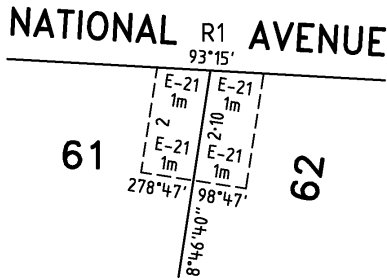


PLAN OF SUBDIVISION

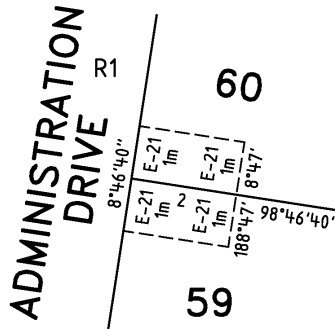
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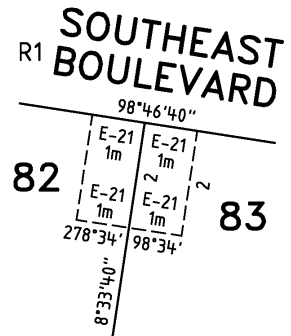
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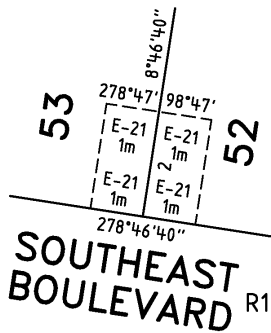
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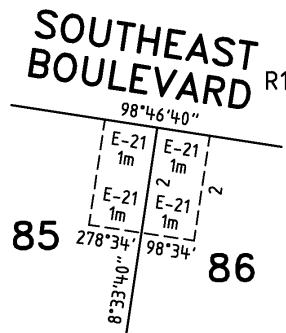
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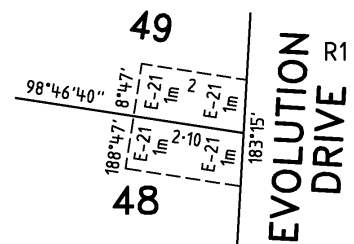
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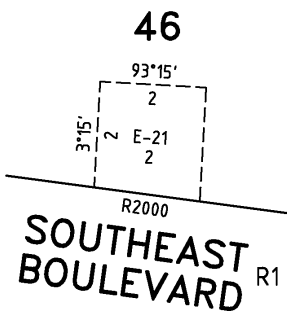
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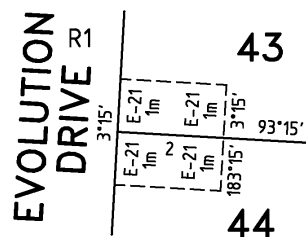
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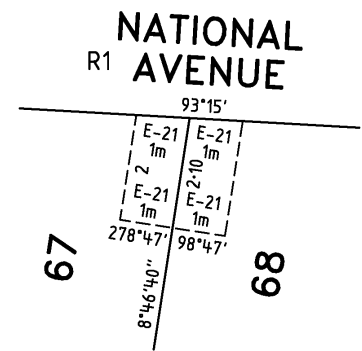
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ENLARGEMENT No.15
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ENLARGEMENT No.16
NOT TO SCALE



ENLARGEMENT No.17
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SOUTHEAST BUSINESS PARK - 1B

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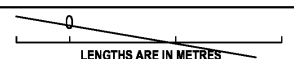
LICENSED SURVEYOR **ADRIAN A. THOMAS**

DATE 12/03/21
VERSION J

REFERENCE 331900-ST1B
DRAWING 331900-ST1B-AJ

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12/03/2021, SPEAR Ref: S134485H

SCALE



ORIGINAL SHEET SIZE A3

SHEET 8

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15/03/2021,
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PLAN OF SUBDIVISION**PS 827498B****CREATION OF RESTRICTION**

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

TABLE OF LAND BURDENED AND LAND BENEFITED

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
29	30, 40, 41
30	29, 31, 39
31	30, 32, 38
32	31, 33, 36, 37
33	32, 34, 36
34	33, 35, 36
35	34, 36
36	32, 33, 34, 35, 37
37	32, 36, 38
38	31, 37, 39
39	30, 38, 40
40	29, 39, 41
41	29, 40
42	43
43	42, 44
44	43, 45
45	44, 46
46	45
48	49, 50
49	48, 50, 71
50	48, 49, 51, 71
51	50, 52, 71
52	51, 53, 71
53	52, 54, 58, 71
54	53, 55, 58
55	54, 56, 57, 58
56	55, 57
57	55, 56, 58
58	53, 54, 55, 57, 59, 71
59	58, 60, 62, 63, 64, 70
60	59, 61, 62

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
61	60, 62
62	59, 60, 61, 63
63	59, 62, 64
64	59, 63, 65
65	64, 66, 70
66	65, 67, 69, 70
67	66, 68, 69
68	67, 69
69	66, 67, 68, 70
70	59, 65, 66, 69, 71
71	49, 50, 51, 52, 53, 58, 70
72	73, 76
73	72, 74, 76
74	73, 75, 76
75	74, 76, 79
76	72, 73, 74, 75, 77, 78, 79
77	76, 78
78	76, 77, 79
79	75, 76, 78
80	81
81	80
82	83
83	82, 84
84	83, 85
85	84, 86
86	85, 87
87	86, 88
88	87, 89
89	88
105	106
106	107
107	106

RESTRICTION:

- THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT MUST NOT CONSTRUCT A BUILDING OR ALLOW A BUILDING TO BE CONSTRUCTED THAT DOES NOT COMPLY WITH THE OBJECTIVES OF THE ENDORSED SOUTHEAST BUSINESS PARK BUILDING DESIGN GUIDELINES AS APPROVED BY CARDINIA SHIRE COUNCIL UNDER PLANNING PERMIT T170658.
- THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT MUST NOT CONSTRUCT OR EXTERNALLY ALTER A BUILDING OR ALLOW A BUILDING TO BE CONSTRUCTED OR EXTERNALLY ALTERED UNLESS APPROVAL FOR THE PROPOSED DEVELOPMENT HAS BEEN GRANTED IN WRITING BY A REPRESENTATIVE OF SOUTHEAST BUSINESS DEVELOPMENTS PTY LTD.

EXPIRY DATE: 31/12/2035

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SOUTHEAST BUSINESS PARK - 1B

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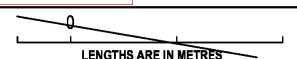
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**LICENSED SURVEYOR ADRIAN A. THOMAS**

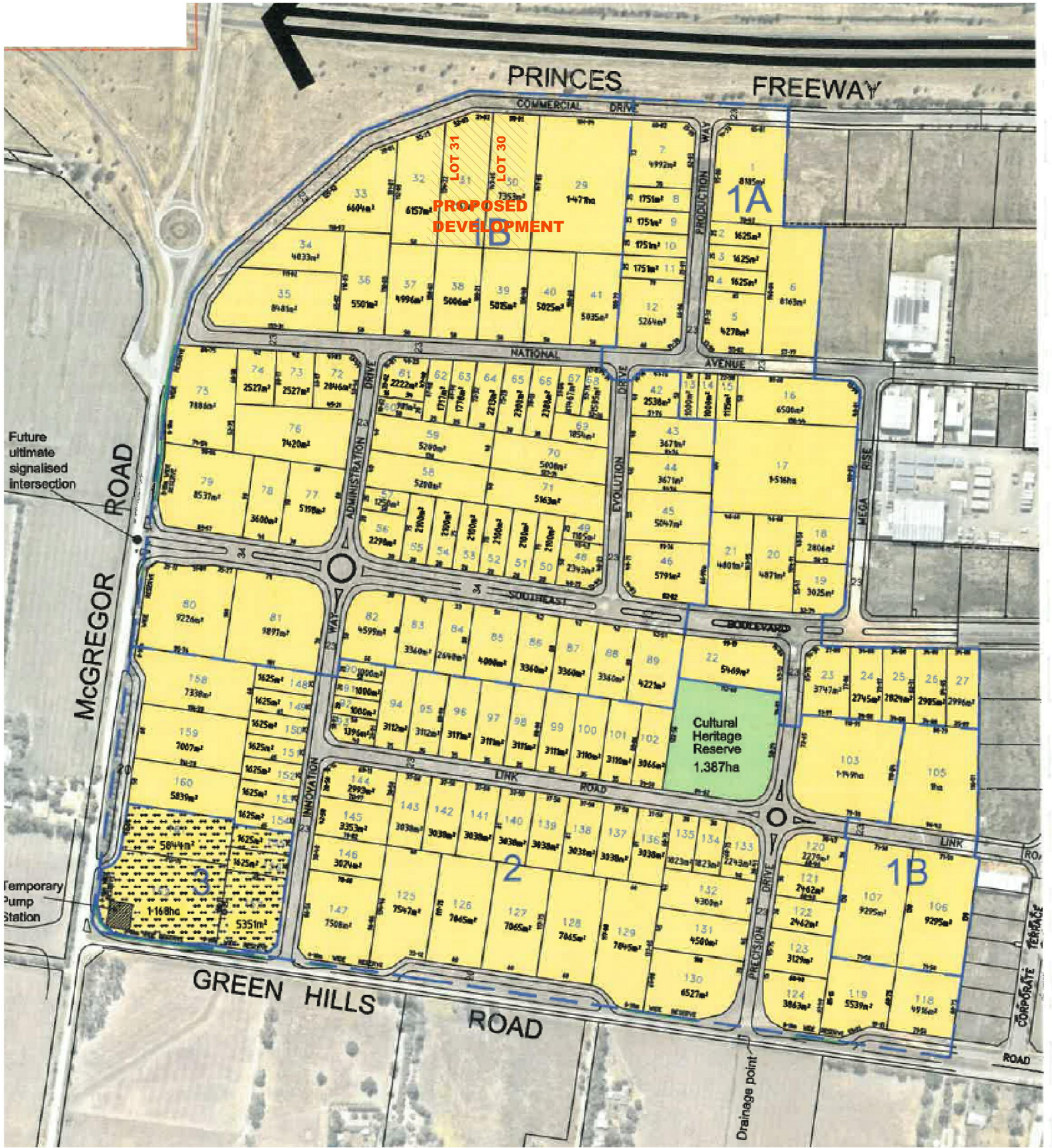
DATE 12/03/21
VERSION J

REFERENCE 331900-ST1B
DRAWING 331900-ST1B-AJ

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Surveyor's Plan Version (J),
12/03/2021, SPEAR Ref: S134485H

SCALE**ORIGINAL SHEET SIZE A3****SHEET 9**

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15/03/2021,
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SITE / CONTEXT PLAN
SCALE 1:1000

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FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT:
PROPOSED:
**CARAVAN SHOWROOM / SERVICE CENTRE
WAREHOUSE / ASSOC' OFFICES**
AT: (LOTS 30-31) 55-57 COMMERCIAL DV
SOUTHEAST BUSINESS PARK
PAKENHAM

DRAWING TITLE

TOWN PLANNING
site context plan

THESE DRAWINGS ARE TO BE READ
IN CONJUNCTION WITH RELEVANT
STRUCTURAL DRAWINGS, ROOF
TRUSS MANUFACTURER AND
RELEVANT DOCUMENTATION.

BUILDER TO VERIFY ALL
DIMENSIONS, LEVELS & SOIL
CLASSIFICATION PRIOR TO
COMMENCING ANY WORK.

ANDREWS COMPLETE
DRAFTING SERVICE
ANDREW FARRUGIA
Ph/fax: 9 421 3655
Mobile: 0414 543 702
Email: acds@inet.net.au



60 CROWN STR. RICHMOND VIC 3121

FOR PROFESSIONAL
DRAWING AND SERVICE

	SHEET:	12.5.25	PROJECT NO:
	1	SCALE: 1:200@A1	0044-21
	DRAWN:	SS SIGNS	

JB CARAVANS - PAKENHAM BUILDING SIGNAGE

SIGNAGE LOCATIONS



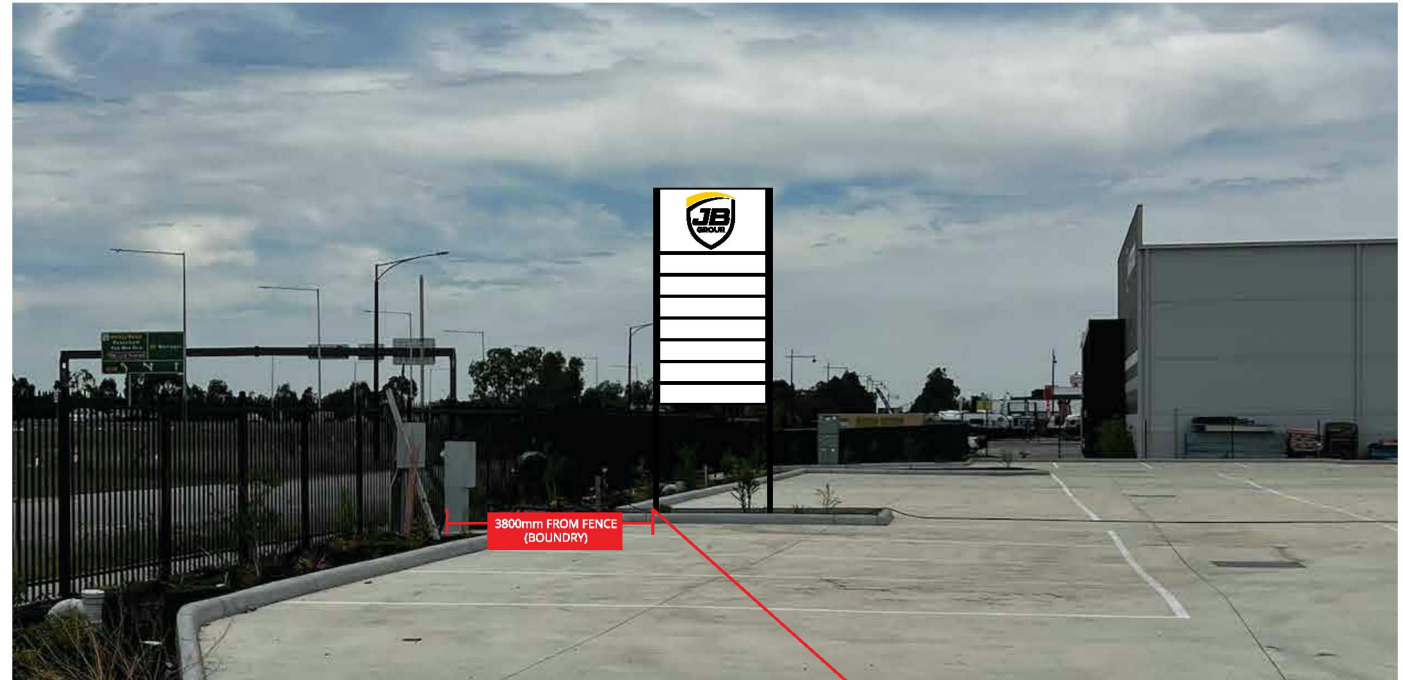
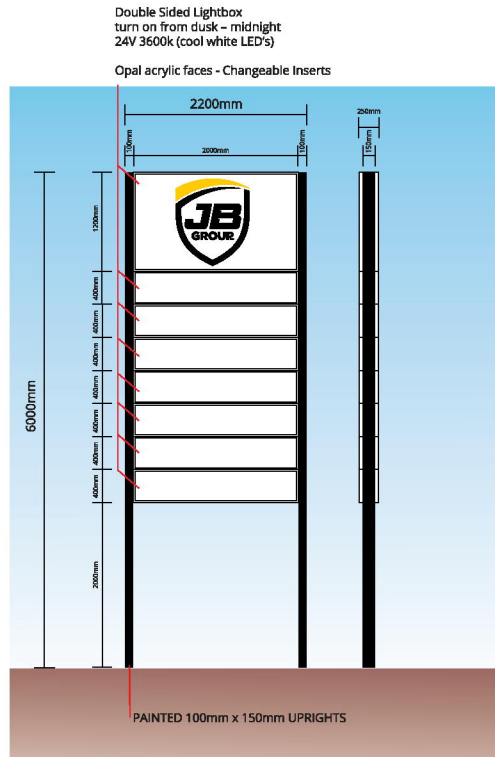
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**DISTANCE BETWEEN
BUILDING SIGN
40mtrs**

JB CARAVANS - PAKENHAM BUILDING SIGNAGE

PYLON SIGN

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AERIAL VIEW



JB CARAVANS - PAKENHAM BUILDING SIGNAGE

BUILDING SIGN

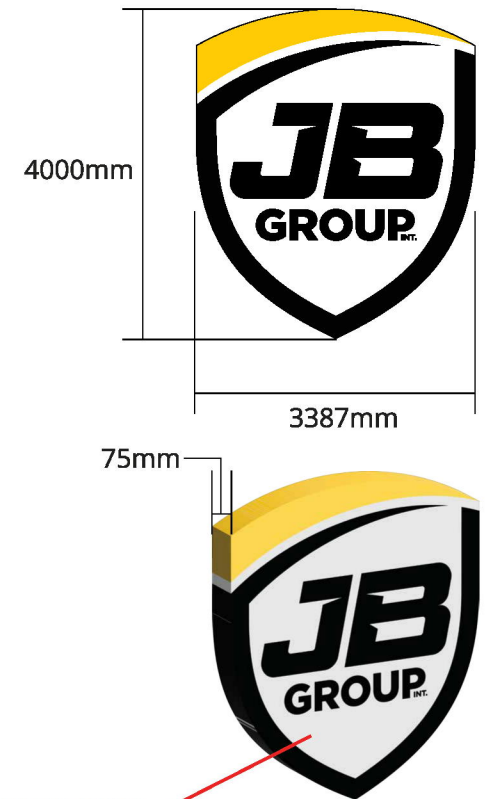
DAY VIEW



NIGHT VIEW



Location of wall sign
 Turn on from dusk – midnight
 Face lit
 24V 3600k (cool white LED's)



FACE ILLUMINATION

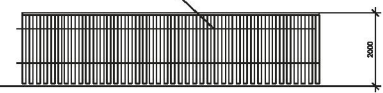
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LANDSCAPE SCHEDULE

BOTANICAL NAME	QTY	H	X	W	P/s	COMMON NAME
TREES						
EL Eucalyptus leucoxylon	8	15	x	6	2mA	Yellow Gum
EED Eucalyptus Fulgens	7	8	x	5	2mA	Green Scentbark
CS Corymbia citriodora	3	20	x	8	25	Lemon-Scented Gum
SHRUBS						
GS Leionema 'Green Screen'	7	1.5	x	1.2	25	Green Screen
GR Grevillea rosmarinifolia	15	1.2	x	1.2	20	Red Grevillea
CRO Correa reflexa	45	.9	x	.9	14	Common Correa
APN Agonis F. nana	200	.6	x	.9	14	Dwarf Agonis
GROUNDCOVERS						
OS Osteospermum cvs	36	.1	x	.9	14	Black Eyed Susan
CR Carpobrotus rossii	40	.1	x	.9	14	Pigface
LL Lomandra longifolia	40	.9	x	.9	14	Mat Rush
PO Pattersonia occidentalis	20	.6	x	.6	14	Native Iris

NOTE:
TREES TO BE A MIN 1.8 METERS HEIGHT AT PLANTING

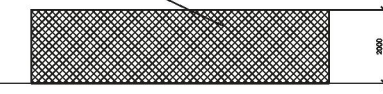
Proposed black powder coated steel picket fence with plain capped top and automated gated as shown on plan



FRONT AND BOUNDARY FENCE DETAIL

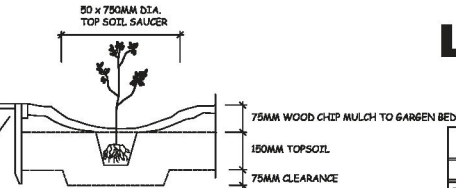
= proposed black steel picket fence with automated gated as shown on plan

Proposed black vinyl coated cyclone fencing to sides and rear



SIDE AND REAR FENCE DETAIL

= proposed black steel picket fence with automated gated as shown on plan



TYPICAL PLANTATION



- 2 no. 50 X 50 HW STAKES TO BE DRIVEN CLEAR OF ROOT BALL
- PROVIDE SPACE BETWEEN MULCH AND TRUNK
- 75mm DEPTH MULCH
- FORM WATERING BASIN
- DTP A SLOPING SHALLOW HOLE 2-3 TIMES THE WIDTH OF THE ROOT BALL
- BACK FILL WITH TOP SOIL WITH 150mm CLEARANCE BETWEEN ROOTBALL AND SIDE OF HOLE
- CANVAS OR APPROVED RUBBER TIE
- ROUGHEN EDGE OF PLANTING HOLE
- DEPTH OF PLANTING HOLE NO DEEPER THAN THE ROOT BALL

TREE PLANTING/BRACING DETAIL

LANDSCAPE NOTES:

Proposed planting areas to be cleared of all weed growth & rubbish. Planting areas to be cultivated to a 250mm min. depth.
Plants to be of a healthy stock, true to type and not pot bound.
Plants to be given an application of slow release fertilizer at planting time. Plants to be staked and tied as required.
All planting areas to be mulched to a depth of 100mm with pinebark. Plastic film not to be used beneath mulch.
All lawn areas to be enclosed with timber mower strips

STAKING OF TREES

- Tree to be staked using 2 hardwood stakes.

- Ties to be nailed or attached to stakes and shall be jute material or similar.

IRRIGATION:

- All beds including lawn areas should be irrigated with a spray system operated by a timing device- manual or automatic

SOIL:

- All good quality top soil that needs to be removed for construction purposes should be re used on garden beds ensure all builders rubble and debris removed and new potting mix quality soil added with appropriate fertilizer additive and dug in .water well and leave to settle for a few days prior to planting

GRASSING WORKS SEQUENCE:

1. Control weeds, apply glyphosate herbicide, two applications.
2. Cultivate to 300mm deep. cultivate across slope.
3. Grade surface to obtain smooth finish to final level.
4. Prepare seed bed cultivate to fine lith 50mm deep.
5. Remove surface rubble, rock etc. with diameter greater than 25mm.
6. Hydrosed

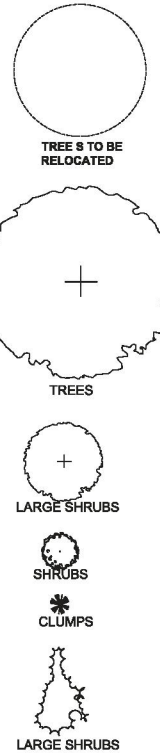
HYDROMULCH MIX:

- Cellulose mulch @ 1500kg/ha
- Binder- organic tackifier @ 60kg/ha
- Rye grass @ 350kg/ha
- Starter fertilizer to manufacturers instructions

Prepare seed bed for turf establishment

ALL LANDSCAPING DRAINAGE AND MIN CULTIVATION DEPTH'S AND MAINTENANCE REGIMES TO BE IN ACCORDANCE WITH DESIGN GUIDELINES

LEGEND



FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT:
PROPOSED :
CARAVAN SHOWROOM / SERVICE CENTRE WAREHOUSE /ASSOC' OFFICES
AT: (LOTS 30 -31) 55-57 COMMERCIAL DV
SOUTHEAST BUSINESS PARK
PAKENHAM

DRAWING TITLE
TOWN PLANNING
landscape

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT STRUCTURAL DRAWINGS, ROOF TRUSS MANUFACTURER AND RELEVANT DOCUMENTATION.

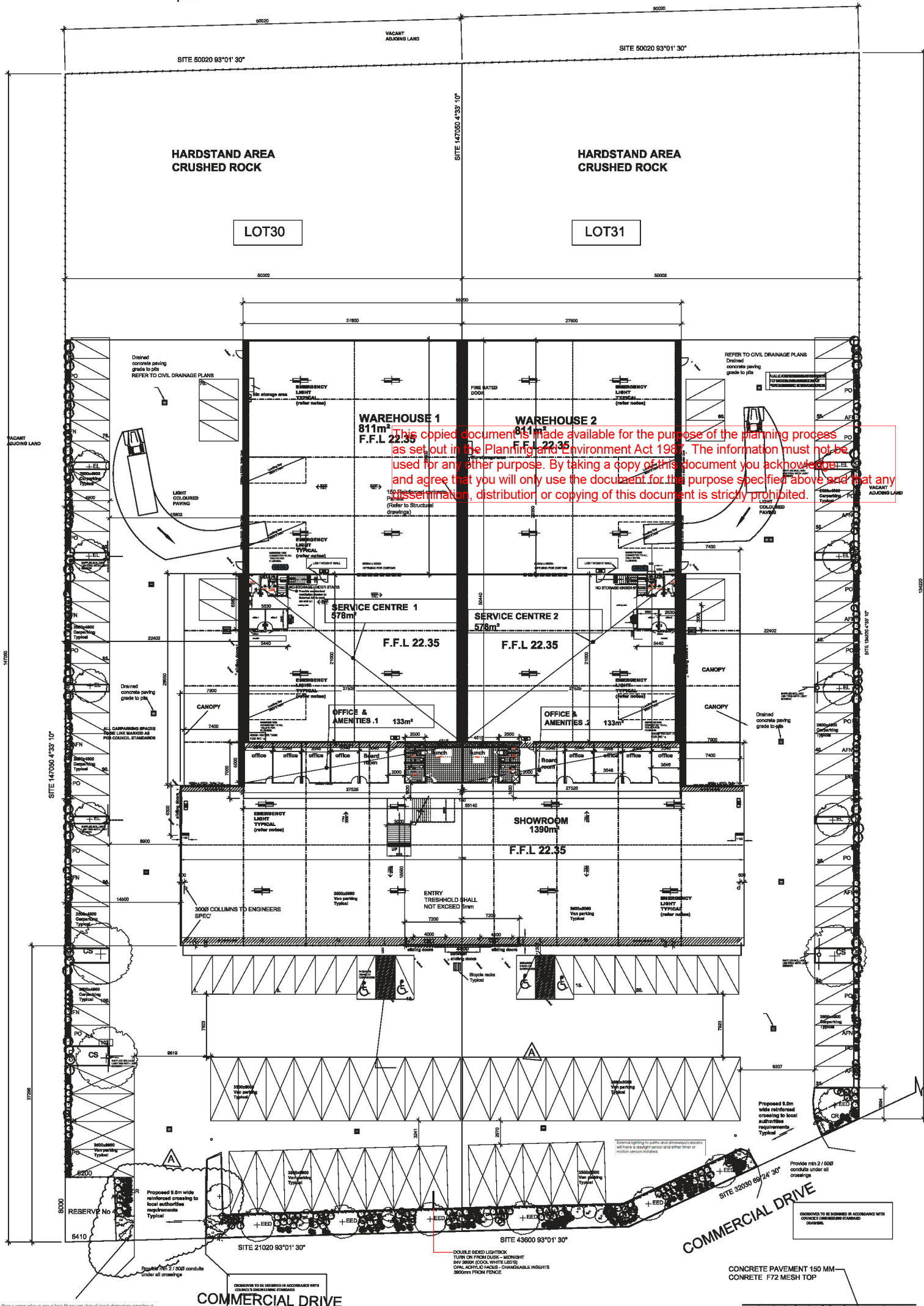
BUILDER TO VERIFY ALL DIMENSIONS, LEVELS & SOIL CLASSIFICATION PRIOR TO COMMENCING ANY WORK.

ANDREWS COMPLETE DRAFTING SERVICE
ANDREW FARRUGIA
Ph:0421 3655
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Email: aode@inet.net.au



FOR PROFESSIONAL DRAWING AND SERVICE

SHEET: 5	DATE: 12.5.25	PROJECT NO: 0044-21
	SCALE: 1:200@A1	



SITE / LANDSCAPE PLAN
SCALE: 1:200

ALL LANDSCAPING DRAINAGE AND MIN CULTIVATION DEPTH'S AND MAINTENANCE REGIMES TO BE IN ACCORDANCE WITH DESIGN GUIDELINES



CONCRETE PAVEMENT DETAIL

AMENDED PLANNING PERMIT 09.08.2023
CONDITION 1 PLANNING PERMIT 21.03.2023



SITE ANALYSIS :

WAREHOUSE 1	811m²	WAREHOUSE 2	811m²
SERVICE CENTRE 1	578m²	SERVICE CENTRE 2	578m²
OFFICE /AMENITIES1	133m²	OFFICE /AMENITIES 2	133m²
MEZZANINE FRONT	379m²		
MEZZANINE REAR 1	33m²	MEZZANINE REAR 2	33m²
SHOWROOM	1390m²		
CANOPY 1	197m²	CANOPY 2	197m²
TOTAL AREA:	3521m²	TOTAL AREA:	1752m²

TOTAL FLOOR AREA: 5273m²

LOT 30 TOTAL SITE: 7302m²

LOT 31 TOTAL SITE: 7167m²

TOTAL SITE AREA: 14469m²

TOTAL SITE COVERAGE: 36%

TOTAL SIGNAGE AREA 50m²

CARPARKING ANALYSIS :

TOTAL WAREHOUSE AREA	1622m²
LESS LOADING BAYS	109m²
NETT FLOOR AREA :	1513m²
CARPARKING	$\frac{1513m^2}{100m^2} \times 1.5 = 22 \text{ CARS} + 2 \text{ CARS PER BUILDING}$
	= 24 CARS REQUIRED

TOTAL SERVICE CENTRE AND OFFICE / AMENITIES 1867m²

CARPARKING	$\frac{1867m^2}{100m^2} \times 2.9 = 54 \text{ CARS}$
	= 54 CARS REQUIRED

TOTAL CARS REQUIRED: = 78 CARS REQUIRED
TOTAL CARS PROVIDED: = 102 CARS PROVIDED

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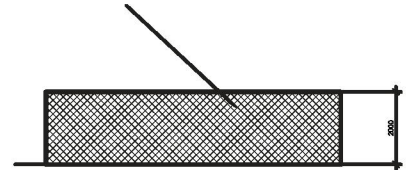
Proposed black powder coated steel picket fence with plain capped top and automated gated as shown on plan



FRONT AND BOUNDARY FENCE DETAIL

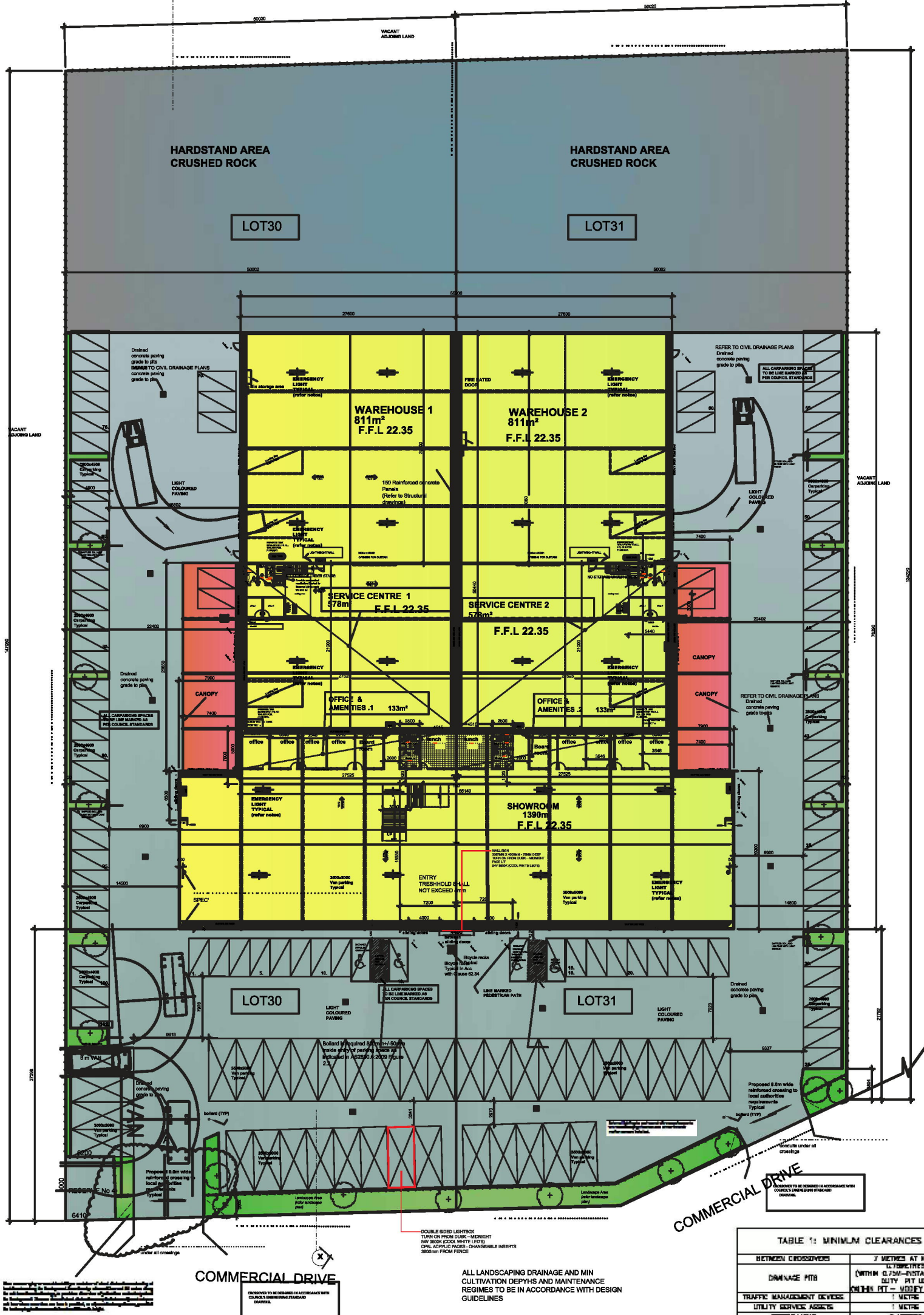
= proposed black steel picket fence with automated gated as shown on plan

Proposed black vinyl coated cyclone fencing to sides and rear



SIDE AND REAR FENCE DETAIL

= proposed black steel picket fence with automated gated as shown on plan



ESD NOTES

- ALL KITCHEN TAPS, BATHROOM TAPS TO BE MINIMUM 5 STAR WELS RATING
- ALL TOILETS TO BE MINIMUM 4 STAR WELS RATING
- ALL SHOWERHEADS TO BE 4 Star WELS RATING ($\geq 4.5 \text{ l/s} @ 0.3 \text{ bar}$)
- RAINWATER TANKS ARE TO BE CONNECTED TO TOILETS
- ENERGY
- ALL FACADES ARE TO DEMONSTRATE A MIN 10% IMPROVEMENT IN REQUIRED NCQ2019 INSULATION LEVEL (TOTAL R VALUE UPWARDS AND DOWNWARDS)
- ALL GLAZING TO OFFICE AREAS IS TO MEET REQUIREMENTS OF NCQ2019 FACADE CALCULATOR (OR BETTER THAN 90% OF TOTAL ALLOWANCE)
- HEATING AND COOLING SYSTEMS WITHIN ONE STAR, OR COEFFICIENT OF PERFORMANCE (COP) & ENERGY EFFICIENCY RATIOS (EER) 80% OR BETTER THAN THE MOST EFFICIENT EQUIVALENT CAPACITY UNIT AVAILABLE.
- 'OCCUPANCY SENSORS' TO BE PROVIDED FOR HEATING AND COOLING SYSTEMS
- FULL ECONOMY CYCLE CAPACITY WILL BE PROVIDED FOR ANY DUCTED, REFRIGERATED SPACE CONDITIONING SYSTEM.
- WATER HEATING SYSTEMS WITHIN ONE STAR, OR 80% OR BETTER THAN THE MOST EFFICIENT EQUIVALENT CAPACITY UNIT AVAILABLE
- MAXIMUM ILLUMINATION POWER DENSITY (W/M²) IN AT LEAST 90% OF THE RELEVANT BUILDING CLASS AT LEAST 20% LOWER THAN REQUIRED BY TABLE A.3.2A OF THE NCQ 2019 BCA VOLUME 1 SECTION 1
- MOTION SENSOR LIGHTS ARE TO BE INSTALLED IN TOILETS AND TEA ROOMS. EXTERNAL LIGHTING TO BE MOTION ACTIVATED.
- MATERIALS
- THIS DEVELOPMENT WILL COMMIT TO USING SUSTAINABLE CERTIFIED TIMBERS (E0, FSC OR PEFC CERTIFICATION).
- IT IS RECOMMENDED TO USE ROOF MATERIALS THAT ARE LIGHT COLOURED WITH A SOLAR REFLECTIVE INDEX (SRI) GREATER THAN 65. ROOF COLOUR TO HAVE SOLAR ABSORBANCE OF LESS THAN 0.4.
- ALL CARPETS, PAINTS, SEALANTS AND ADHESIVES USED IN THE DEVELOPMENT MUST MEET THE MAXIMUM TOTAL INDOOR POLLUTANT EMISSION LIMITS
- GREEN CONCRETE IS RECOMMENDED TO BE USED FOR THIS DEVELOPMENT
- SURFACES THAT ARE TO BE PAINTED WITHIN THE BUILDING ARE TO BE LOW VOC
- MISCELLANEOUS
- RECYCLING BINS ARE TO BE LOCATED ADJACENT TO LANDFILL WASTE BINS
- 2 BICYCLE RACKS TO BE INSTALLED

FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT:
PROPOSED :
**CARAVAN SHOWROOM / SERVICE CENTRE
WAREHOUSE / ASSOC' OFFICES**
AT: (LOTS 30-31) 55-57 COMMERCIAL DV
SOUTHEAST BUSINESS PARK
PAKENHAM

DRAWING TITLE
**TOWN PLANNING
ground floor site plan**

THESE DRAWINGS ARE TO BE READ
IN CONJUNCTION WITH RELEVANT
STRUCTURAL DRAWINGS, ROOF
TRUSS MANUFACTURER AND
RELEVANT DOCUMENTATION.

BUILDER TO VERIFY ALL
DIMENSIONS, LEVELS & SOIL
CLASSIFICATION PRIOR TO
COMMENCING ANY WORK.

SHEET:	DATE:	12.5.25	PROJECT NO
2	SCALE:	1:200@A1	0044-21
	DRAWN:		

ANDREWS COMPLETE
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ANDREW FARRUGIA
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Email: acds@tinet.net.au



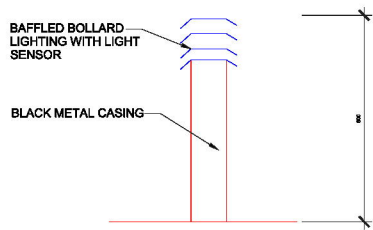
80 CROWN STR. RICHMOND VIC 3121

FOR PROFESSIONAL
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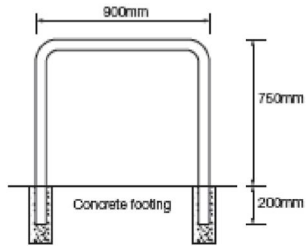
TABLE 1: MINIMUM CLEARANCES	
BETWEEN CROSSOVERS	7 METRES AT REAR
DRAINAGE PIT	1.5 METRES (WITHIN 0.75M-INSTALL HEAVY DUTY RT LID)
TRAFFIC MANAGEMENT DEVICES	1 METRE
UTILITY SERVICE ACCESS	1 METRE
STREET LIGHT	2 METRES
INTERSECTIONS:	0 METRES FROM PROPERTY BOUNDARY LINE
FRONT CROSSINGS	2 METRES
TROPS	3 METRES DESIRABLE
FIRE HYDRANT	1.5 METRES
LEGAL POINT OF DISCHARGE	1 METRE

SITE / GROUND FLOOR PLAN
SCALE 1:200

AMENDED PLANNING PERMIT 09.08.2023
CONDITION 1 PLANNING PERMIT 21.03.2023

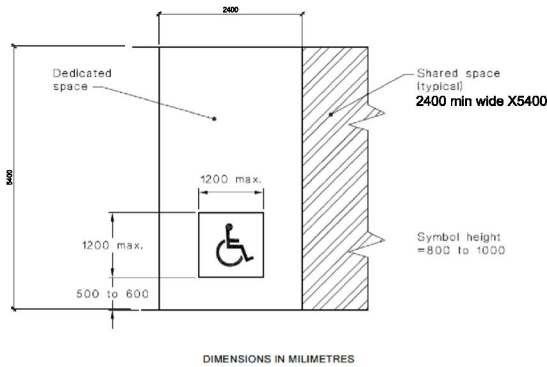
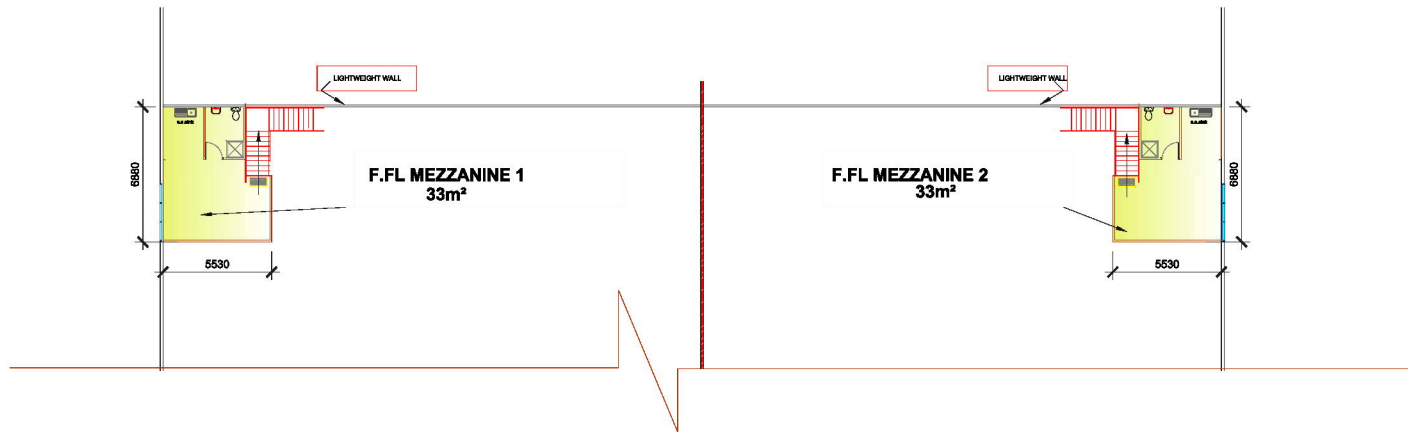


BOLLARD LIGHTING DETAIL



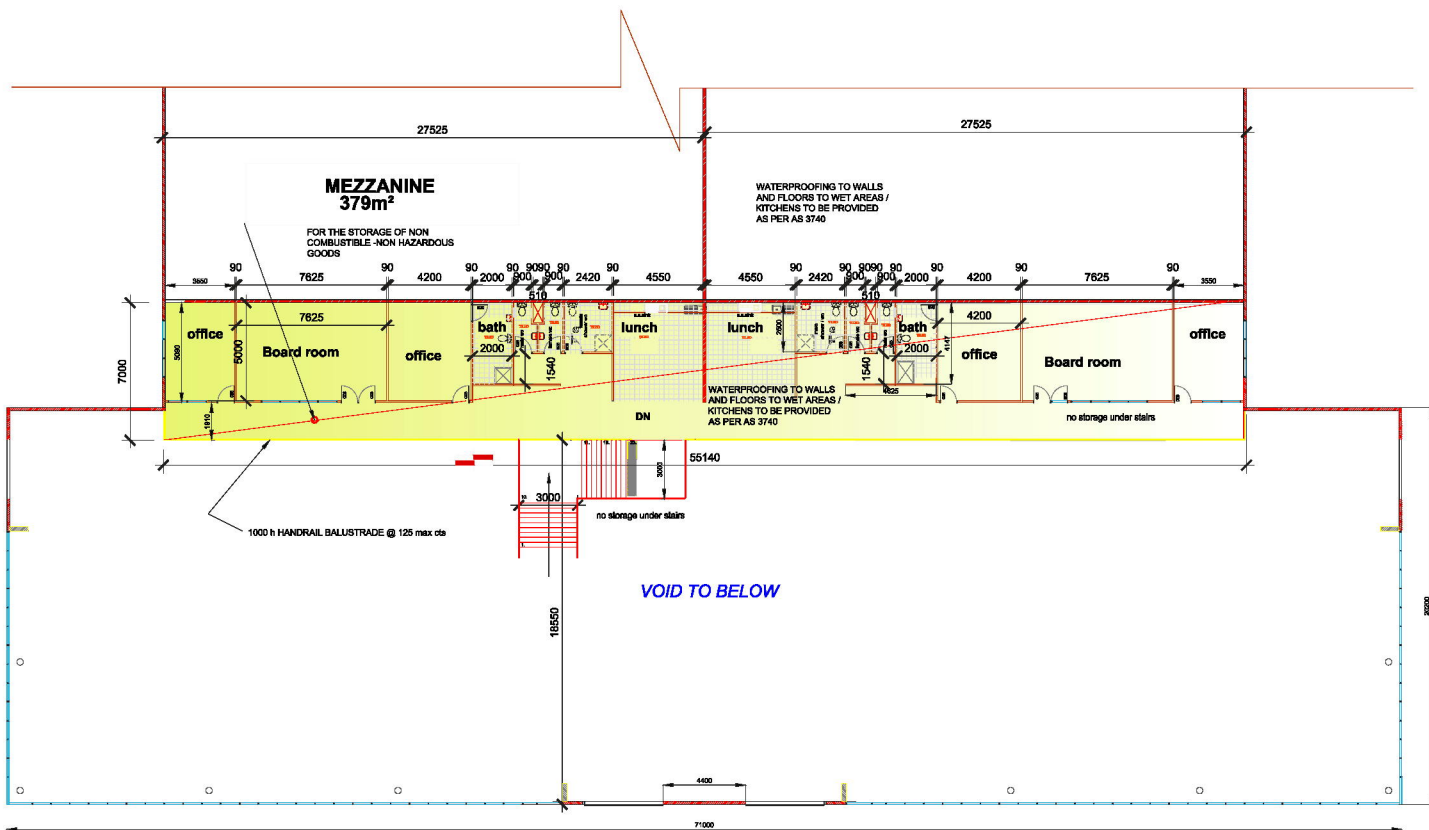
BICYCLE RACK

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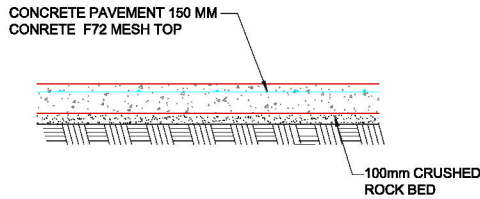
LINEMARKING DISABLED CARPARK

ACCESSIBLE CARPARK DIMENSIONS AND LININGS DETAIL TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF AS2890.6-2009.



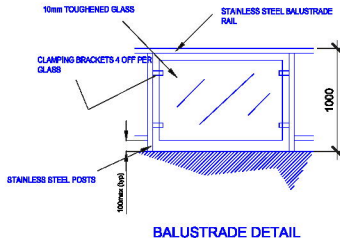
FIRST FLOOR PLAN

SCALE 1:100



CONCRETE PAVEMENT DETAIL

SCALE 1:20



BALUSTRADE DETAIL

Standard Access Notes:

1. Signage to designated car spaces to be in accordance with AS2890.6:2009.
2. Maximum crossfall to designated car spaces to not exceed 1:33 (for asphalt) or 1:40 (for concrete) in both directions.
3. Crossfall on all paths of travel, ramps and walkways to be 1:40 maximum. Surfaces to be slip resistive. Minimum width of paths of travel to be 1000mm.
4. Abutments between materials on paths of travel to have no lip or step greater than 5mm, and to be rounded or bevelled edge.
5. Kerb ramps to be constructed according to AS1428.1 including maximum gradient 1:8.
6. Drainage grates located on a path of travel to have apertures no larger than 13mm x 150mm and with the larger dimension transverse to the direction of travel.
7. Ramp handrails and kerbrails to be provided in accordance with AS1428.1:2009.
8. External access stairs to be designed in accordance with AS1428.1:2009 with complying handrails both sides and contrast nosing to treads.
9. Stairs to be constructed according to AS1428.1:2009 requirements for handrails and contrast nosings where required.
10. Tactile ground surface indicators to be provided to stairs used by the public (excluding Fire Stairs), kerb ramps and ramps in accordance with AS1428.4.
11. Tactile ground surface indicators to be provided where a pedestrian path intersects with a roadway, setback 300mm from the roadway.
12. Landings to Entry Doors to have a maximum crossfall of 1:40. Landing dimensions as per AS1428.1:2009.

FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.

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CARAVAN SHOWROOM / SERVICE CENTRE
WAREHOUSE /ASSOC' OFFICES
AT: (LOTS 30 -31) 55-57 COMMERCIAL DV
SOUTHEAST BUSINESS PARK
PAKENHAM

DRAWING TITLE

TOWN PLANNING
first floor

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80 CROWN STR. RICHMOND VIC 3121

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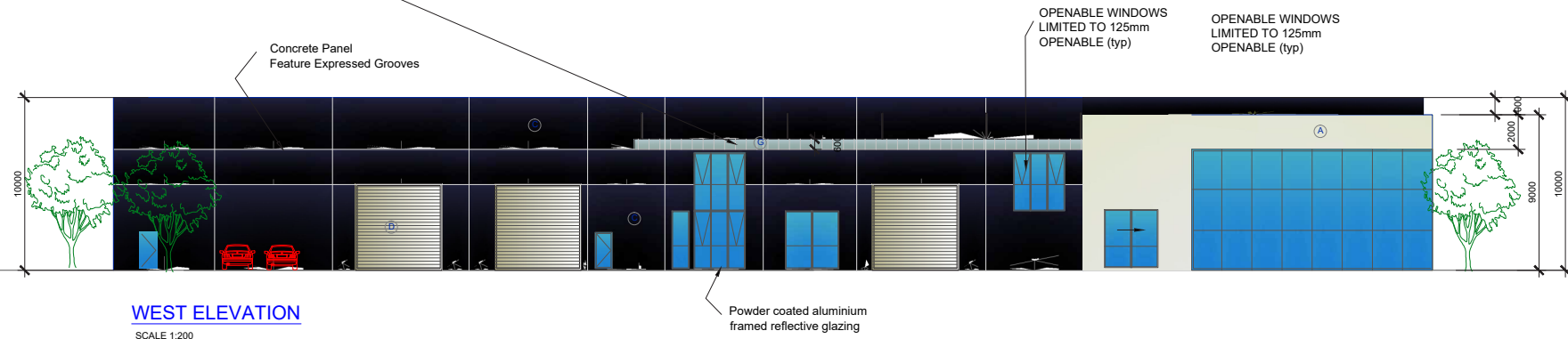
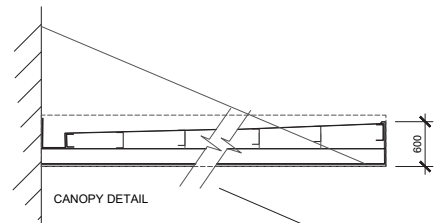
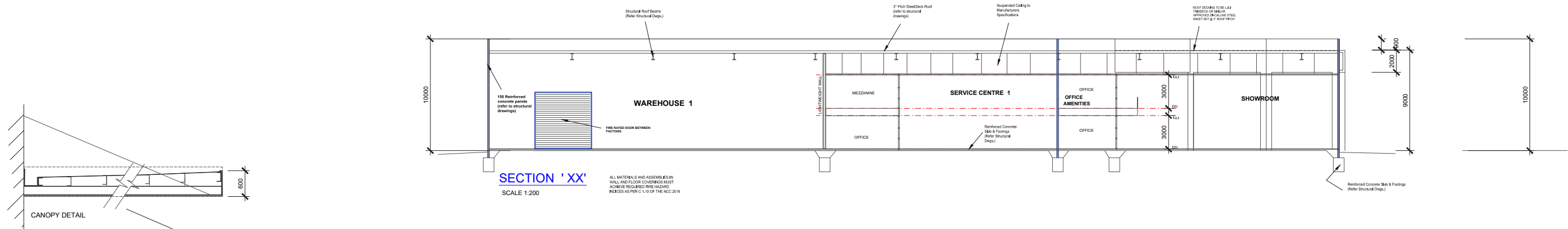
SHEET:
3

12.5.25

PROJECT NO:

0044-21

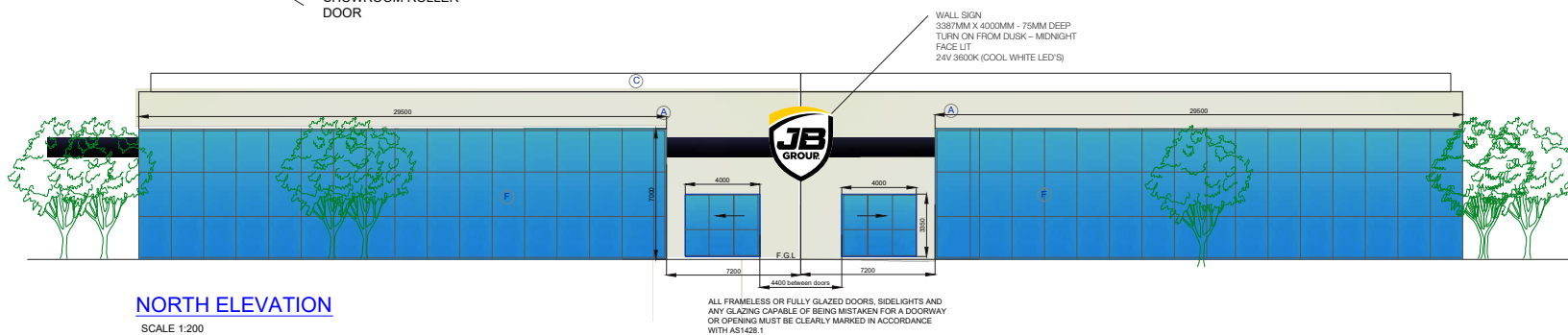
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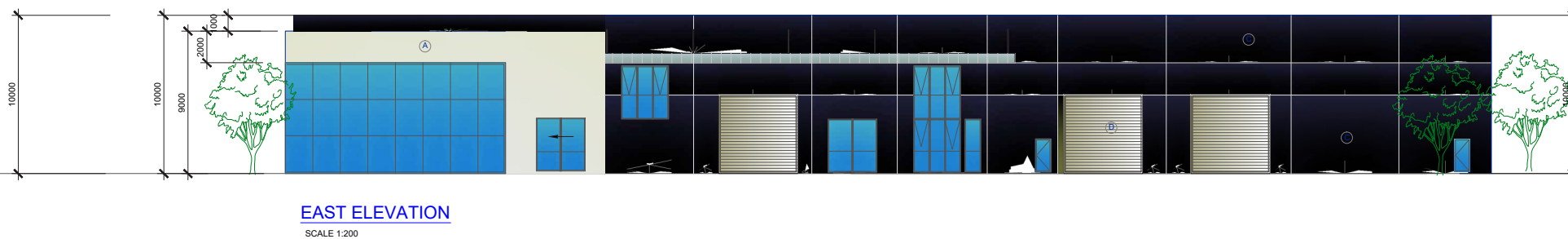
WEST ELEVATION
SCALE 1:200



SOUTH ELEVATION
SCALE 1:200



NORTH ELEVATION
SCALE 1:200

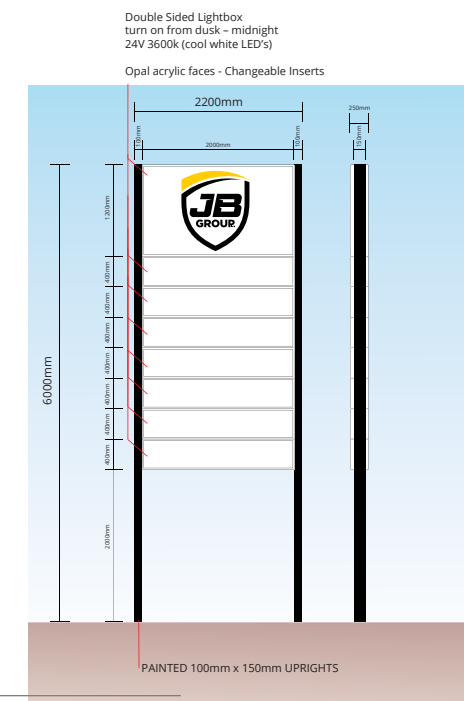


EAST ELEVATION
SCALE 1:200

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AREA:	MATERIAL:	FINISH:	COLOUR:	SAMPLE:	
WALL	CONCRETE	SMOOTH	DULUX "ANTIQUE WHITE USA"		(A)
WALL	CONCRETE	SMOOTH	DULUX "ENDLESS DUSK"		(B)
WALL	CONCRETE	TEXTURED	"BLACK"		(C)
ROLLER DOORS	C" BOND	-	"BERRY GREY"		(D)
GLAZING FRAME	ALUMINIUM	-	"SILVER PEARL"		(E)
GLASS	GLASS	TINTED	"SUPERBLUE"		(F)
STEEL CANOPY	STEEL	METAL	WHITE		(G)

NOTE:
ALL COLOURS ARE FROM DULUX TRADITIONAL COLOUR SOLUTIONS



FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJECT:
PROPOSED :
**CARAVAN SHOWROOM / SERVICE CENTRE
WAREHOUSE /ASSOC' OFFICES**
AT: (LOTS 30 -31) **55-57 COMMERCIAL DV
SOUTHEAST BUSINESS PARK
PAKENHAM**

DRAWING TITLE

TOWN PLANNING
elevations

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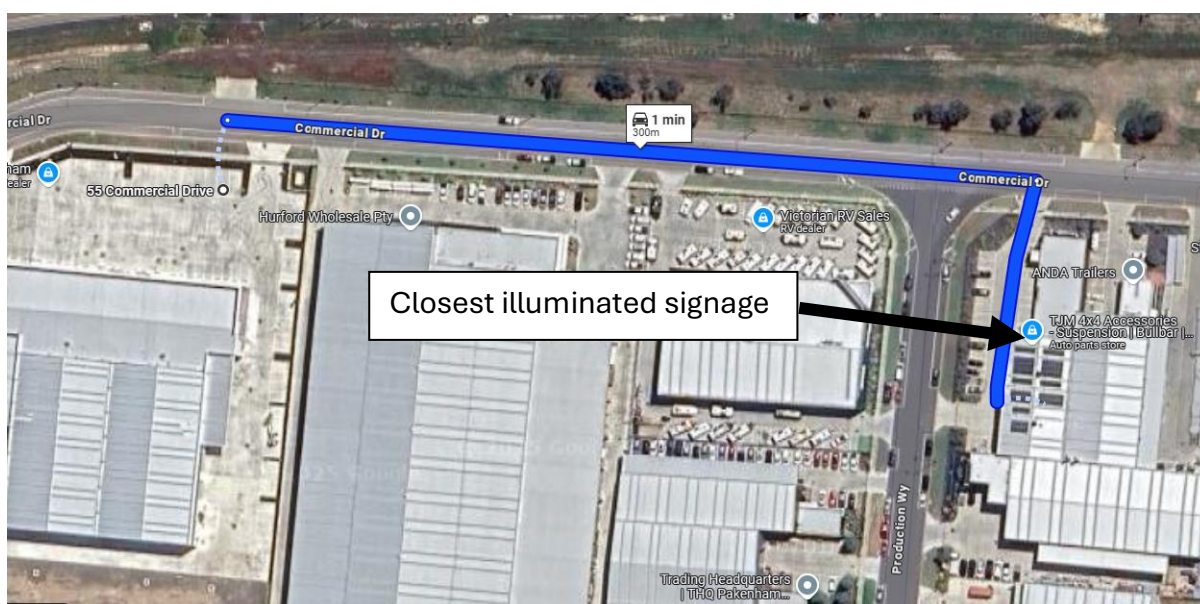


60 CROWN STR. RICHMOND VIC 3121

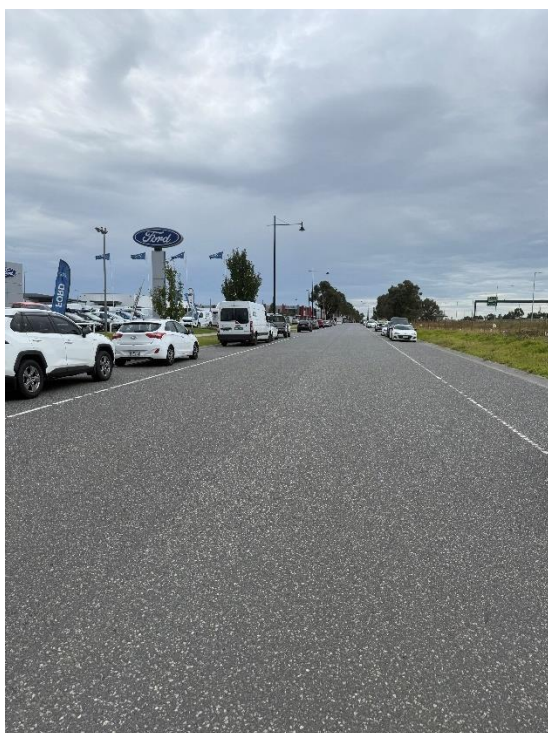
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AMENDED PLANNING PERMIT 09.08.2023
PLANNING RF1 15 JUNE 22

SHEET:	12.5.25	PROJECT NO:
4	SCALE: 1:200@A1	0044-21
	DRAWN: NICK LOVE - SS SIGNS	



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