

Notice of an Application for an Amendment to a Planning Permit

The land affected by the application is located at:	L56 LP44573 89 Bellbird Crescent, Emerald VIC 3782
The application is to:	Building and Works for a Dwelling

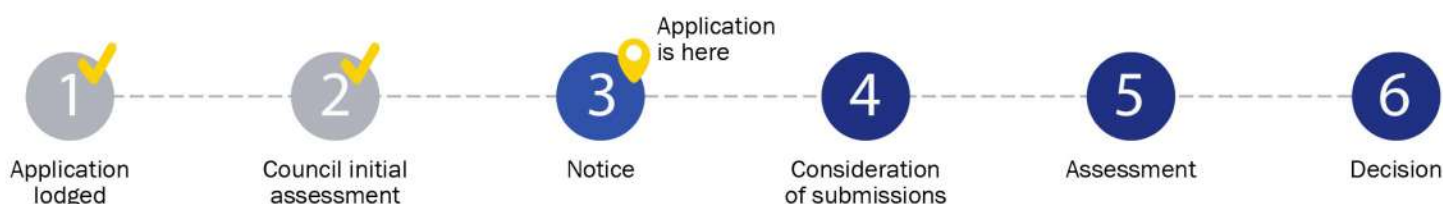
APPLICATION DETAILS

The applicant for the amendment to the permit is:	[REDACTED]
Application number:	T200130 - 1
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	



HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		06 June 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the proposed amendment to permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.





Planning Enquiries
Phone: 1300 787 624
Web: www.cardinia.vic.gov.au

Application to AMEND a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

⚠ This form cannot be used to:

- amend a permit or part of a permit if the Victorian Civil and Administrative Tribunal (VCAT) has directed under section 85 of the Act that the responsible authority must not amend that permit or that part of the permit (as the case requires); or
- amend a permit issued by the Minister under Division 6 of Part 4 of the Act (these applications must be made to the Minister under section 97I of the Act).

⚠ Questions marked with an asterisk (*) must be completed.

i Click for further information.

The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 89	St. Name: BELLBIRD CRESCENT
Suburb/Locality: EMERALD		Postcode: 3782

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.: 56	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.: 044573
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

Planning Permit Details **i**

What permit is being amended?*

Planning Permit No.:	T200130
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The Amended Proposal **i**

⚠ You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application

What is the amendment being applied for?*

- Indicate the type of changes proposed to the permit.
- List details of the proposed changes.

If the space provided is insufficient, attach a separate sheet.

This application seeks to amend:	
<input type="checkbox"/> What the permit allows	<input checked="" type="checkbox"/> Plans endorsed under the permit
<input type="checkbox"/> Current conditions of the permit	<input type="checkbox"/> Other documents endorsed under the permit
Details:	
<p>The home approved is not suited to the slope or visually attractive to Puffing Billy with there being 6m steel posts required with an empty & unattractive subfloor facing Puffing Billy & huge 2m+ retaining walls for an elevated driveway, nor is it 7-star energy rated. In summary, the build cost is prohibitive & the style not suited to the area. I have therefore redesigned the proposed dwelling to be more suitable to the land & the environment. I have done this by making the home more aesthetically acceptable to the natural environment with minimal retaining walls, to have a smaller footprint on the ground & by placing the home in a location to have less impact on some of the more beautiful, big trees on the block.</p>	
Ⓢ Provide plans clearly identifying all proposed changes to the endorsed plans, together with: any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.	

Development Cost

Estimate cost of development*

If the permit allows *development*, estimate the cost difference between the development allowed by the permit and the development to be allowed by the amended permit.

Cost of proposed amended development:

\$ 550000


Cost of the permitted development:

\$ 250000

Cost difference (+ or -):

\$ 300000

Insert 'NA' if no development is proposed by the permit.

 You may be required to verify this estimate.


Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Have the conditions of the land changed since the time of the original permit application? ☐ Yes ☒ No

If yes, please provide details of the existing conditions.

 Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Title Information


Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes (If 'yes' contact council for advice on how to proceed before continuing with this application.)

☒ No

☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

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Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:			
Contact information for applicant OR contact person below			
Business phone:			
Mobile phone:			
Contact person's details*			
Name:			<input type="checkbox"/> Same as applicant
Title:	First Name:	Surname:	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.:	St. Name:	
Suburb/Locality:		State:	Postcode:
Name:			
<input type="checkbox"/> Same as applicant			
Title:	First Name:	Surname:	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.:	St. Name:	
Suburb/Locality:		State:	Postcode:
Owner's Signature (Optional):			Date:
			day / month / year

Declaration

This form must be signed by the applicant^a

- ⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.**

I declare that I am the applicant; that all the information in this application is true and correct; that all changes to the permit and plan have been listed as part of the amended proposal and that the

Need help with the Application? [i](#)

If you need help to complete this form, read [More Information](#) at the end of this form or contact Council's planning department. General information about the planning process is available at planning.vic.gov.au


Contact Council's planning department to discuss the specific requirements for his application and obtain a checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer

☒ No ☐ Yes If 'Yes', with whom?:
Date: day / month / year

Checklist

Have you:

<input checked="" type="checkbox"/>	Filled in the form completely?	 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
<input checked="" type="checkbox"/>	Paid or included the application fee?	
<input checked="" type="checkbox"/>	Attached all necessary supporting information and documents?	
<input checked="" type="checkbox"/>	Completed the relevant council planning permit checklist?	
<input checked="" type="checkbox"/>	Signed the declaration above?	

Lodgement

Lodge the completed and signed form and all documents with:

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact information:

Telephone: 1300 787 624

Fax: (03) 5941 3784

Email: mail@cardinia.vic.gov.au

DX: 81006

Deliver application in person, by post or by electronic lodgement.

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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T200130
Address of the Land:	89 BELLBIRD CRESCENT EMERALD VIC 3782

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	
Address:	[REDACTED]
Phone:	
Email:	

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Revision to previously approved plans to make the home more empathetic to the natural environment & slope of the land, more appealing from the perspective of Puffing Billy & more viable to build.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input type="checkbox"/>	New amount \$500000

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	09/04/2025

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
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IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
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REGISTRATION CONFIRMATION STATEMENT

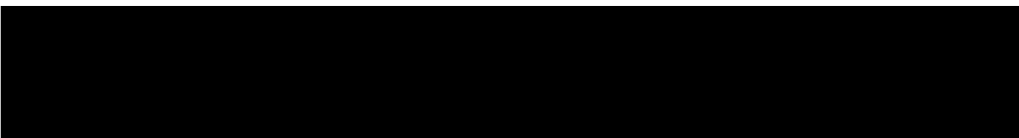
Produced: 17/01/2025 02:34:52 PM

VOLUME 8235 FOLIO 900

LAND DESCRIPTION

Lot 56 on Plan of Subdivision 044573.
PARENT TITLE Volume 08212 Folio 259
Created by instrument A766996 30/06/1959

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP044573 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER	STATUS	DATE
AY793668F (E)	DISCHARGE OF MORTGAGE	Registered 17/01/2025
AY793669D (E)	TRANSFER	Registered 17/01/2025

Additional information:

Street Address: 89 BELLBIRD CRESCENT EMERALD VIC 3782

ADMINISTRATIVE NOTICES

NIL

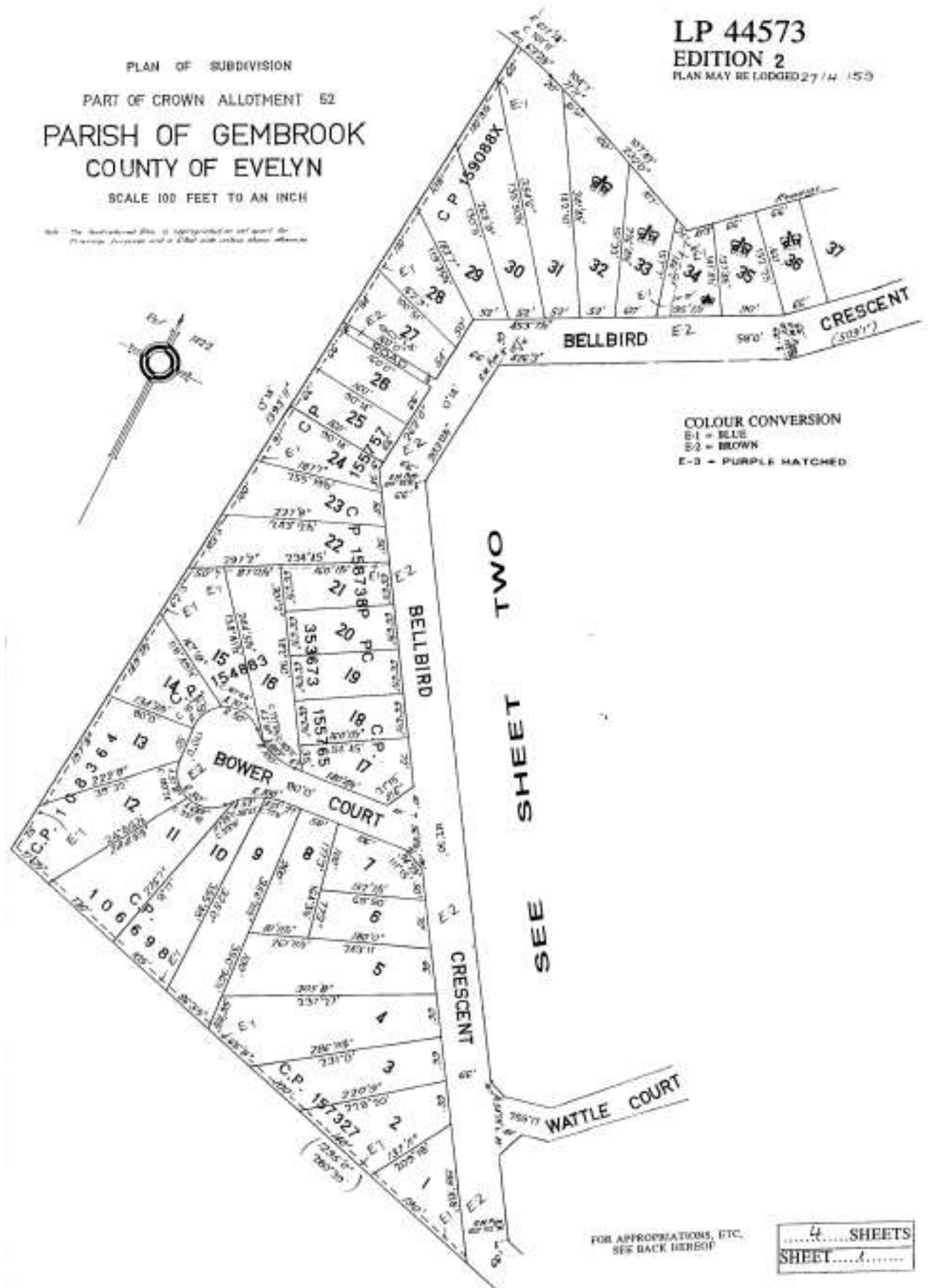


DOCUMENT END

Lodgement No: 9230985
Email: OFFICE@MOUNTAINCONVEYANCING.COM.AU
Customer Code: 19097Y
Customer Name: MOUNTAIN CONVEYANCING

Secure Electronic Registries Victoria (SERV)
Level 13, 697 Collins Street Docklands 3008
Locked bag 20005, Melbourne 3001, DX 210189
Telephone: (03) 9102 0401 ABN: 86 627 986 396

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LP 44573

SEE SHEET THREE

4. SHEETS
SHEET 2

GOVT ROAD

COLOUR CONVERSION
E-1 = BLUE
E-2 = BROWN
E-3 = PURPLE HATCHED

SEE SHEET ONE

BELLBIRD DRIVE

BELLBIRD CRESCENT

BOWER COURT

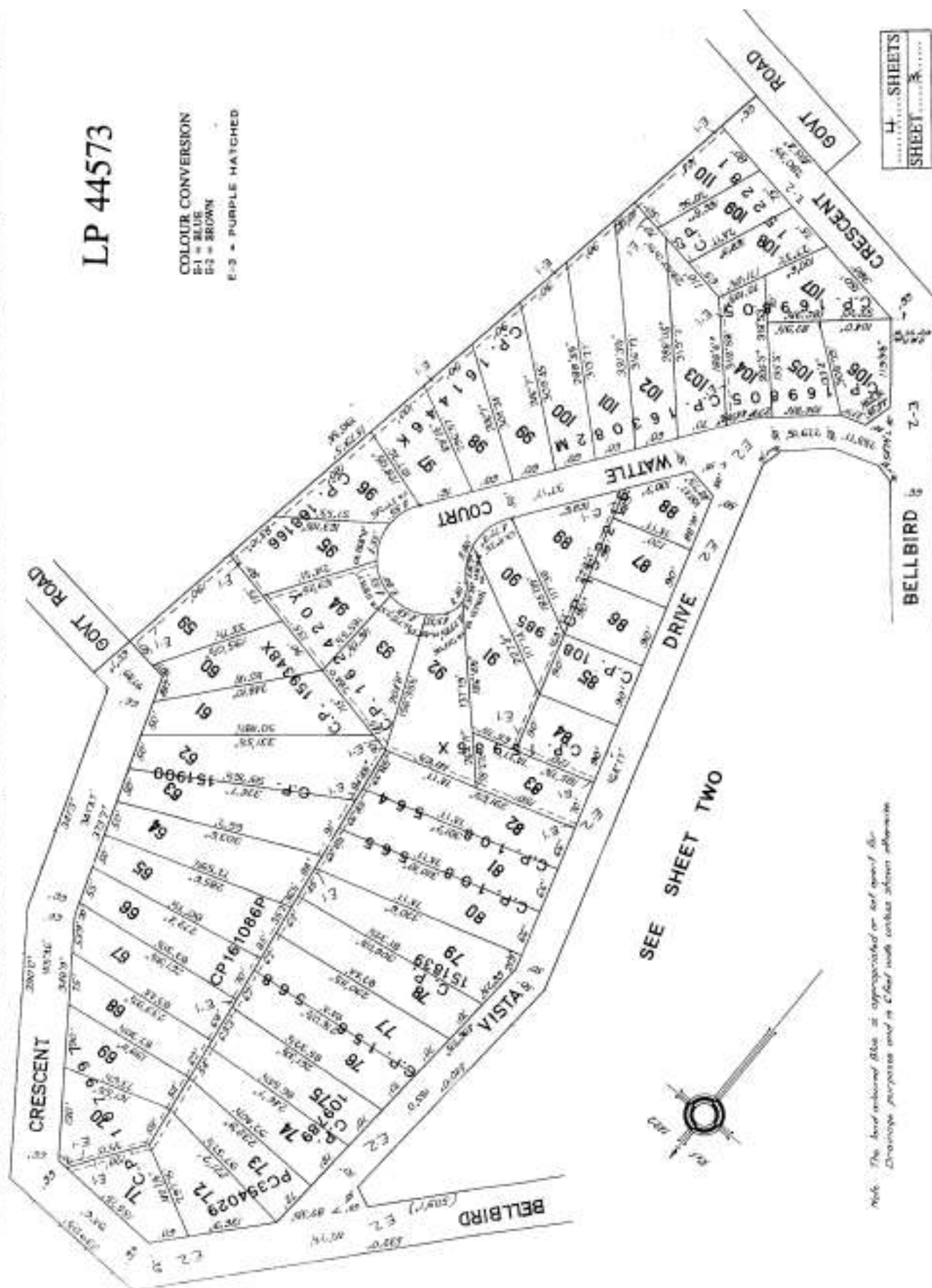
WATTLE COURT

Note: The land coloured blue is appropriated as and apart for
Cemeteries purposes and is 5 feet wide unless otherwise shown

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COLOUR CONVERSION
B-1 = BLUE
B-2 = BROWN
B-3 = PURPLE HATCHED

4 SHEETS
SHEET 3



Note: The level indicated above is appropriate for an oral report. The written manuscript must be typed with correct grammar and punctuation.

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CERTIFICATE OF TITLE V, 4867 P. 280.

LODGED BY BROADBENT INVESTMENTS

DEALING No. 8886268 DATE 10.12.87

DECLARED BY R. G. LEE C. 12.1987

CONSENT OF COUNCIL SHIRE OF


FRANKLIN DISTRICT

10.12.87

PLAN MAY BE LODGED F.N.A. 27.4.1989


THE LAND COLOURED BROWN
IS APPROPRIATED
OR SET APART FOR
EASEMENTS OF WAY AND DRAINAGE

LP 44.573
BACK OF SHEET 1

LAND SHOWN THUS  HAS BEEN
TRANSFERRED TO THE CROWN

CA.	DEALING No.
LOT 34	H 471535
LOT 32	H 471536
LOT 30	H 482770
LOT 31	H 507841
LOT 34	H 507842
LOT 34	H 507843
LOT 43	H 559 765
LOT 46	H 559 766
LOT 47	H 559 767
LOT 52	H 559 768
LOT 41	H 559 769
LOT 42	H 559 769
LOT 37	H 559 770
LOT 48	H 559 772
LOT 39	H 559 773
LOT 46	H 724247
LOT 47	H 724248
LOT 38	H 724249
LOT 40	H 724250
LOT 45	H 724251
LOT 46	H 724252
LOT 49	H 816100
LOT 35	H 802283
LOT 33	H 724251
LOT 40	H 32128

THE LAND COLOURED BLUE AND PURPLE HATCHED
IS APPROPRIATED
OR SET APART FOR
EASEMENTS OF DRAINAGE

LIST OF MODIFICATIONS			APPROVAL DATE 1 / 1		
LAND	MODIFICATION	DEALING No.	DATE	A.R.T.	EDN No.
95	REMOVAL OF EASEMENT	Vide A.C. Appn G3967 SEC 73			2

4 SHEETS
SHEET 4

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Planning report

89 Bellbird Crescent, Emerald

April 2025

Prepared by BM Town Planning

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1. Introduction

BM Town Planning has been engaged by [REDACTED] (landowner) to prepare this planning report to accompany the section 72 amendment application to the existing planning permit T200130.

The report provides details on the subject site and surrounding area, background on the existing planning permit, proposed amendments and identifies the relevant planning policy and controls followed by discussion on why the proposed amendments are appropriate with respect to the Cardinia Planning Scheme. The report demonstrates that the proposal satisfies the relevant considerations of the Cardinia Planning Scheme and therefore should be supported by Council.

Project summary

Planning Scheme	Cardinia Shire
Zoning	Low Density Residential Zone – Schedule 2
Overlays	Bushfire Management Overlay Design and Development Overlay – Schedule 1 Significant Landscape Overlay – Schedule 1 Vegetation Protection Overlay – Schedule 1
Proposal	New dwelling and vegetation removal
Site area	1121.9 square metres
Amended permit trigger/s	<ul style="list-style-type: none">• Buildings and works in the Bushfire Management Overlay• Buildings and works in the Design and Development Overlay – Schedule 1• Buildings and works in the Significant Landscape Overlay – Schedule 1
Key considerations	<ul style="list-style-type: none">• Appropriateness of buildings and works in the overlays• Bushfire planning

2. Subject site

The subject land relates to 89 Bellbird Crescent, Emerald and is formally described as Lot 56 on Plan of Subdivision 44573.

The land is irregular in shape and is situated on the eastern side of Bellbird Crescent. The site has a frontage of 16.76 metres (m) and a maximum depth of 54 m. The total site area equates to 1121.9 square metres (m²).

The land is currently vacant of any buildings and contains dense vegetation of mostly eucalyptus species. These species include Messmate (*Eucalyptus radiata*) and Narrow-leaved peppermint (*Eucalyptus obliqua*) trees. The land has a significant fall of approximately 16 m from the front to rear.

There is a 1.83 m wide drainage easement along approximately half of the site's rear boundary. There are no restrictions registered on title.

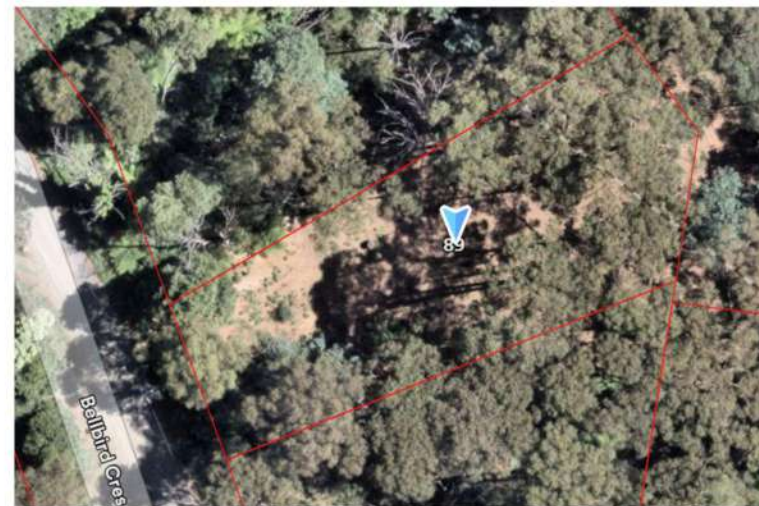


Figure 1 – aerial view of subject site (source – Nearmans, dated 15 December 2024)

3. Surrounding land

The land is situated on the Puffing Billy railway corridor, centrally positioned between the townships of Emerald to the west, Cockatoo to the east and Avonsleigh to the north. The site is one of only two properties zoned for residential purposes on the eastern side of Bellbird Crescent. The balance of this land is reserved for public use and conservation including Puffing Billy railway track adjoining the rear boundary of the subject land. On the opposite side to the west of the subject site is a residential pocket of land comprising of single dwelling allotments of various shapes and sizes. This residential pocket continues south-east connecting to Bailey Road in Cockatoo. As is typical for the Dandenong Ranges and foothills, the surrounding landscape is characterised by undulating hills and dense indigenous/native forest except for some moderate clearing on residential lots. The site sits on the lower section of the fall towards Wattle Creek.



Figure 2 – aerial view of subject site surrounds (source – Nearmaps, dated 15 December 2024)

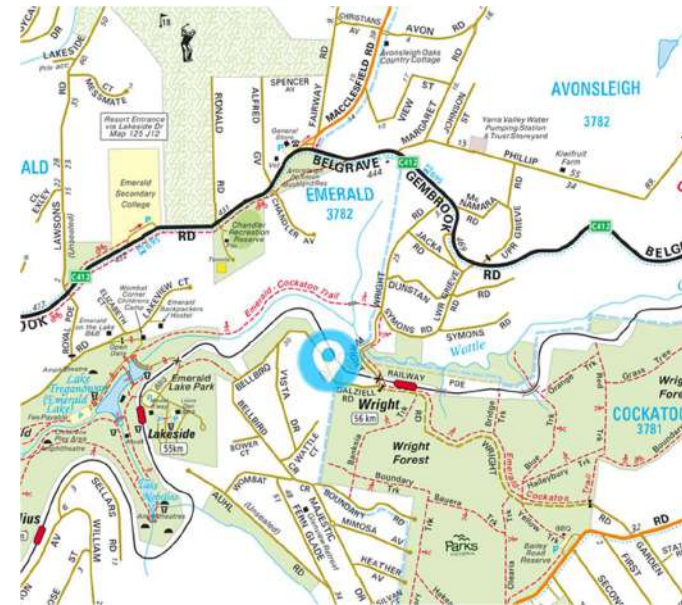


Figure 3 – locality map surrounding subject site (source – Melways)

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4. Background

The original planning permit application T200130 proposed the development of land for a dwelling, associated works and removal of one tree. The planning permit was issued by Council on 18 February 2021 subject to conditions. In accordance with condition 1 of the permit, amended plans were prepared and endorsed on 27 July 2023. The expiry condition of the permit required the development to commence by 18 February 2023 and be completed by 18 February 2025. An extension of time to the permit expiry was granted by the Council on 20 March 2023, setting a new commencement date for 18 February 2025 and completion by 18 February 2027.

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5. Proposal

It is proposed to amend the approved dwelling to meet the requirements and needs of the new owners of the land. These amendments comprise of the following:

- Modified from a single level to a 3 split level dwelling and subsequent redesign to the internal layout.
- 1 m increase to the maximum building height from 9 m to 10 m.
- Modified building setbacks including a reduced front setback from 15.1 m to 9 m and reduced side setbacks from a minimum 4.6 m to 2.6 m. The rear setback largely remains as approved.
- Addition of an attached double garage on the north-west corner of the dwelling.
- Adjustment to the driveway alignment including a reduction to its footprint, increased setback from the side boundary from 700 mm to 3.3 m and reduced front setback. Instead of the driveway leading to open car spaces, the realigned driveway will provide access to the new garage and open car space to the front of the dwelling.
- Modifications to the architectural expression including to fenestration, roofing form and materiality/finishes.

- Associated works include a 1.8 m deep fill pad and rock embankment to level out the rear of the dwelling as well as up to 1.2 m deep fill and rock embankment for the driveway.
- The water tank repositioned to the southern front corner of the site directly adjacent to the road. A maximum 1.8 m high retaining wall will sit around the sides and rear perimeter of the tank.

R CONSTRUCTION



Figure 4 – 3D images of proposed dwelling (source – DS Building Design)

It is also proposed to remove another three (3) trees due to the modified driveway (tree no. 2) and reduced building setback to the northern boundary (tree no. 8 and 9). The species of the removed trees are a Narrow-leaved Peppermint (*Eucalyptus radiata*) and Messmate (*Eucalyptus obliqua*). Refer to Figure 5 below showing locations of these trees.

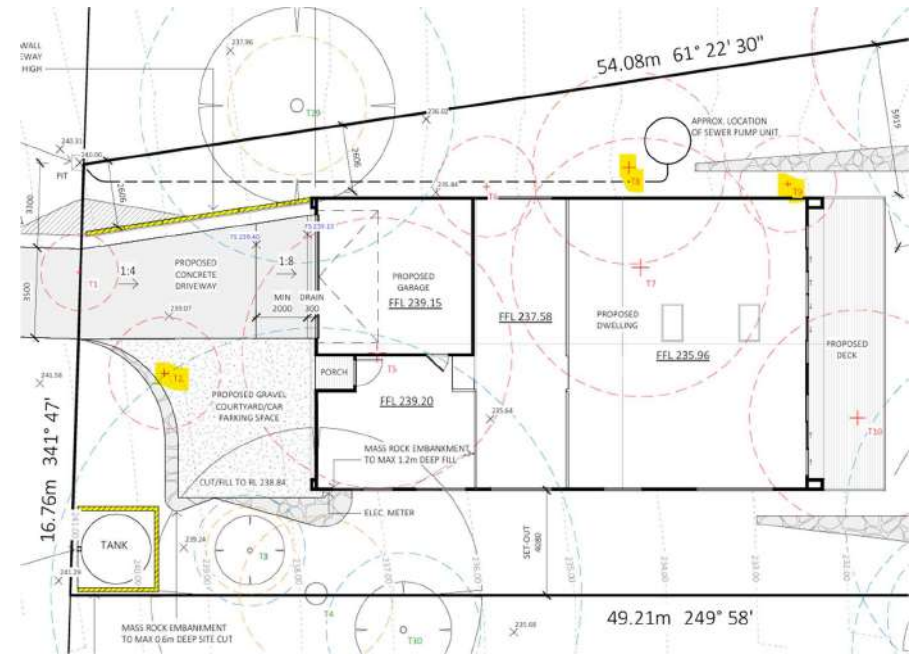


Figure 5 – additional trees for removal marked in yellow (source – DS Building Design)

It is noted that tree no. 1, 5, 6, 7, 10 and 14 have been removed from the land. These trees as well as the other trees proposed to be removed have already been considered and approved under the original planning permit.

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6. Planning controls

6.1 Zone

Low Density Residential Zone

The subject land is in the Low Density Residential Zone (LDRZ). A planning permit was not required under the original application to use or construct buildings and works for a dwelling in the LDRZ. There are no permit triggers under the zone that apply to the proposed amendments.

The proposed dwelling satisfies the requirements of Clause 32.03-2, confirming that reticulated sewerage, water and electricity is available to the land. Please refer to accompanying asset plans from Yarra Valley Water and Ausnet.

6.2 Overlays

Bushfire Management Overlay

The land is affected by the Bushfire Management Overlay (BMO). A planning permit was required under this overlay for buildings and works in the original application. There are no additional permit triggers under the BMO for the amended proposal, however an updated Bushfire Management Plan has been prepared to align with the amended proposal.

Design and Development Overlay

The land is affected by the Design and Development Overlay – Schedule 1 (DDO1). A planning permit was required under this overlay for buildings and works in the original application. This overlay remains a consideration with the amended proposal particularly as the dwelling will be located within 10 m from a road.

Significant Landscape Overlay

The land is affected by the Significant Landscape Overlay – Schedule 1 (SLO1). A planning permit was required under this overlay for buildings and works in the original application. This overlay remains a consideration with the amended proposal.

Schedule 1 of the overlay relates to 'Puffing Billy Tourist Railway Scenic Corridor'. The landscape character objectives for this schedule are:

- *To recognise the importance of the rural and natural landscape in the scenic corridor and views from the railway line as a significant attraction of the Puffing Billy Tourist Railway.*
- *To ensure that any development on land within the scenic corridor is appropriately sited and designed to have a minimal impact in the immediate corridor and viewlines.*

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- To encourage the retention of vegetation and, wherever possible, promote natural regeneration, revegetation, reforestation and long-term management of vegetation to prevent the incremental loss of vegetation.
- To support the biolink along the corridor.

Vegetation Protection Overlay

The land is affected by the Vegetation Protection Overlay – Schedule 1 (VPO1). Schedule 1 of the overlay relates to low density residential. The additional tree removals do not require a planning permit as they benefit from the defendable space exemptions of Clause 52.12 as outlined under section 6.3.

6.3 Particular Provisions

Clause 52.12 – Bushfire Protection Exemptions

This provision contains permit exemptions for the removal of vegetation in creating defendable space for bushfire protection for existing and new dwellings. Of relevance to the proposal is the exemptions for vegetation removal to create defendable space for a new dwelling under Clause 52.12-5 which specifies the following exemption criteria:

- Land is in the Bushfire Management Overlay.
- Land is in the General Residential Zone, Residential Growth Zone, Neighbourhood Residential Zone, Urban Growth Zone, Low Density Residential Zone, Township Zone, Rural Living Zone, Farming Zone or Rural Activity Zone.

- The removal, destruction or lopping of vegetation:
 - Does not exceed the distance specified in Table 1 to Clause 53.02-3 of this planning scheme, based on the bushfire attack level determined by a relevant building surveyor in deciding an application for a building permit under the Building Act 1993 for a dwelling or alteration or extension to the dwelling.

As per the third criteria, the accompanying bushfire assessments identify the land as having a BAL-29 rating and a defendable space requirement of 50 m or to the property boundary (whichever is closer) from the new dwelling. As such, the proposed vegetation removal does not require a planning permit as all criteria under Clause 52.12-5 have been satisfied.

Clause 53.02 – Bushfire Planning

In addition to the BMO requirements of Clause 44.06, the application must meet the requirements of Clause 53.02. In accordance with Clause 44.06-3 and Clause 53.02, an amended Bushfire Management Plan has been prepared and accompanies the application.

Clause 53.03 – Residential Reticulated Gas Service Connection

In accordance with this provision, any new dwelling must not be connected to reticulated gas services effective of 1 January 2024. However, the permit and section 72 amendment application benefit from the transitional provisions of Clause 53.03-5 and therefore this provision does not apply in this instance.

6.4 Aboriginal Cultural Heritage

The land is within an area of cultural heritage sensitivity. The construction of one dwelling and associated buildings and works is exempt from the requirements of the *Aboriginal Heritage Regulations 2018* in accordance with regulation 9.

7. Planning policy

The table below summarises the planning policy under the Cardinia Planning Scheme as relevant to the amended proposal and section 72 application. The below section 7.1 expands on each of these policies.

Planning Policy Framework	Clause 12.05-1S – Environmentally sensitive areas
	Clause 12.05-2S – Landscapes
	Clause 13.02-1S – Bushfire planning
	Clause 15.01-2S – Building design
	Clause 15.01-6S – Design for rural areas
Municipal Strategic Statement	Clause 21.01 – Cardinia Shire Key Issues and Strategic Vision
	Clause 21.02-2 – Landscape
	Clause 21.02-4 – Bushfire management
	Clause 21.03-4 – Rural townships
	Clause 21.03-5 – Rural residential and rural living development
	Clause 21.07-3 – Emerald, Avonsleigh & Clematis

7.1 Planning Policy Framework

Clause 12.05-1S – Environmentally sensitive areas

The policy seeks to protect and conserve environmentally sensitive areas (including the Dandenong Ranges) from inappropriate development and ensure the recreational and conservation values of these areas are not diminished.

Clause 12.05-2S – Landscapes

The policy seeks to protect and enhance significant landscapes that contribute to character, identity and sustainable environments. Strategies to achieve this objective (as relevant to the application) include ensuring development does not detract from the natural qualities of significant landscape areas.

Clause 13.02-1S – Bushfire planning

This policy expands upon the provisions of the BMO and Clause 53.02 in ensuring new use and development planning considers bushfire risks and prioritises human life above all other policy considerations.

Clause 15.01-2S – Building design

The objective and strategies of this clause aim to achieve new building design that contributes positively to its surrounding context including the public realm and incorporates sustainable development initiatives.

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Clause 15.01-6S – Design for rural areas

The policy recognises the value of rural areas with respect to character and its landscape and seeks to protect these areas through sympathetically and sensitively designed development.

7.2 Municipal Strategic Statement

Clause 21.01 – Cardinia Shire Key Issues and Strategic Vision

This Clause provides a snapshot of Cardinia Shire including key planning issues and strategic vision as reflected in its Council Plan. The issues identified within this policy are broken up in 5 themes including environment, settlement and housing, economic development, infrastructure and particular use and development. The most relevant themes to the application are the environment and settlement and housing issues which are summarised as follows:

Environment

- The protection of environmentally significant areas including the northern hills and the Western Port coast.
- The maintenance and enhancement of existing significant landscapes.
- The protection of life and property in terms of flooding and bushfire.
- The reduction in greenhouse gas emissions and potable water usage.

Settlement and housing

- The sustainable development of the Urban Established Areas, Urban Growth Area, and **rural townships**.

- *The provision of appropriate rural residential and rural living development.*

Additionally, the Cardinia Shire Framework Plan is detailed under Clause 21.01-5. The plan outlines the land use and development pattern of the municipality, developed to respond to the key planning issues and influences in Cardinia. As shown under *Figure 7*, the subject site is identified in 'residential areas'.

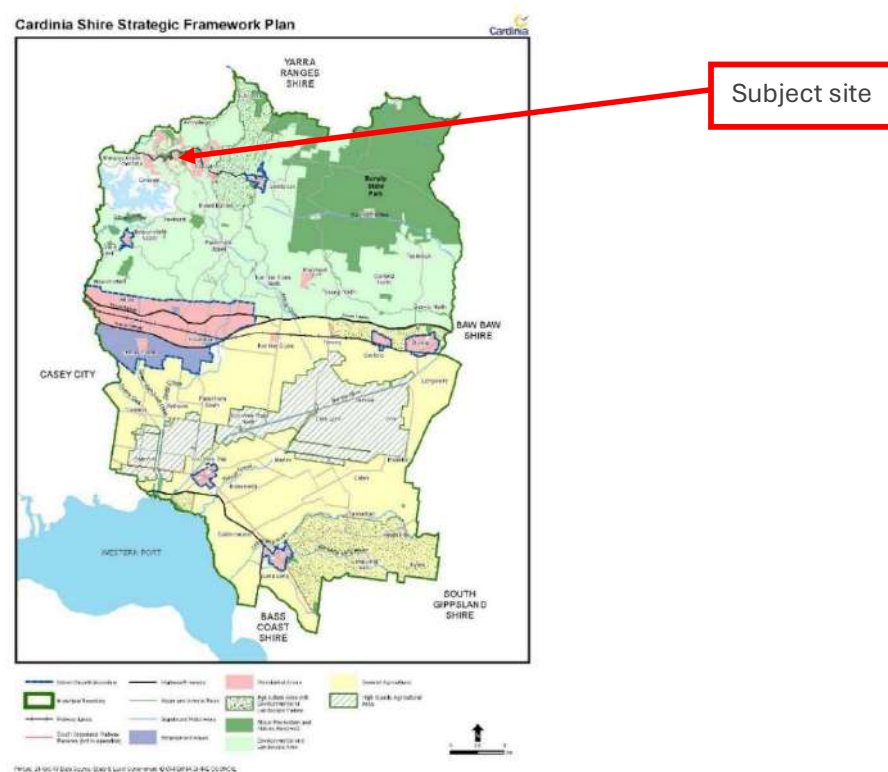


Figure 6 – Cardinia Shire Strategic Framework Plan (source – Cardinia Planning Scheme, Department of Transport & Planning)

Clause 21.02-2 - Landscape

This clause identifies several significant landscape areas within Cardinia Shire including as relevant to the application, the Puffing Billy corridor. Under the policy, it is sought to protect these landscape areas and their values, with the following strategies used to assist in achieving this objective (as relevant):

Landscape values

- *Protect significant landscapes recognised by the National Trust including the Western Port Coast, Heath Hill, Cockatoo Creek and Menzies Creek Valley from development that is inconsistent with the landscape values and built form of the surrounds.*
- *Protect the scenic corridor of the Puffing Billy Tourist Railway from extensive native vegetation removal and development that is inconsistent with the landscape values of the existing corridor.*
- *Recognise the value of the landscape to the community and as a competitive strength for the sustained development of tourism in the municipality.*

Design and built form

- *Require the use of building materials and colours which are in context with the surrounding environment in areas of landscape significance and in rural residential and rural living areas.*
- *Ensure the sensitive siting of buildings and other structures having regard to the protection of prominent ridgelines, significant views and areas of remnant vegetation.*

Clause 21.02-4 – Bushfire management

This policy expands on other bushfire management policies and provisions of the Scheme but in the Cardinia context. The policy seeks to ensure new development manages the risk to life and property through siting and design with respect to the existing slope, aspect and vegetation. Further, new development should ensure appropriately designed access for emergency vehicles and adequate access to water for fire fighting purposes.

Clause 21.03-4 – Rural townships

Under this policy, Emerald is identified as a 'large rural township'. The policy includes objectives and corresponding strategies to support townships across the municipality including (as relevant):

Objective 1

To provide for the sustainable development of townships in the municipality having regard to environmental and servicing constraints.

Strategies

Provide sewage treatment and stormwater management systems to minimise the impact of existing township development on the environment, and to enable development to occur in townships in accordance with strategy plans.

Objective 2

To maintain and enhance the distinct character and environmental qualities of each of the townships.

Strategies

Ensure that the siting and design of new buildings and works complement the rural character of the township and does not dominate the landscape or surrounding built form character.

Protect the natural environment and character of the area, particularly areas of remnant vegetation in the hills townships.

Encourage new development to include works that enhance the environment including the protection of waterways and remnant vegetation, weed control and revegetation.

Clause 21.03-5 – Rural residential and rural living development

This policy relates specifically to rural residential and rural living development, with the former defined as being single dwelling development on lots between 0.4 to 2 ha as applies to the subject site. The objectives and corresponding strategies of this policy include as follows (where relevant):

Objective 1

To recognise the demand for rural residential and rural living development, and to provide for this development where it is closely integrated with an existing township or urban area.

Strategies

Ensure that rural residential and rural living development is appropriately located to minimise its impact on surrounding agricultural land.

Encourage rural residential development within existing urban areas and townships.

Objective 2

To ensure development reflects a high quality of design and does not result in environmental degradation.

Strategies

Ensure subdivisions and developments are designed to take into account the constraints of the area and limit detrimental impacts to the surrounding environment.

Ensure that rural residential and rural living development on land affected by environmental hazards and constraints is undertaken in a manner which prevents environmental degradation and minimises any risk from hazards.

Ensure that any proposal for rural residential and rural living development is assessed in relation to its ability to contain all wastewater within the site.

Ensure that proposed development will not increase and will adequately control pest plants and pest animals on site.

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Clause 21.07-3 – Emerald, Avonsleigh and Clematis

This policy is derived from the *Emerald District Strategy (June 2009)* which guides new use and development within or around Emerald, Avonsleigh and Clematis. As part of this policy, residential development should consider, as appropriate, the Neighbourhood Context Guidelines set out in the Emerald District Strategy. As per the 'Emerald District Framework Plan' under *Figure 8*, the subject land is in 'traditional residential' areas:

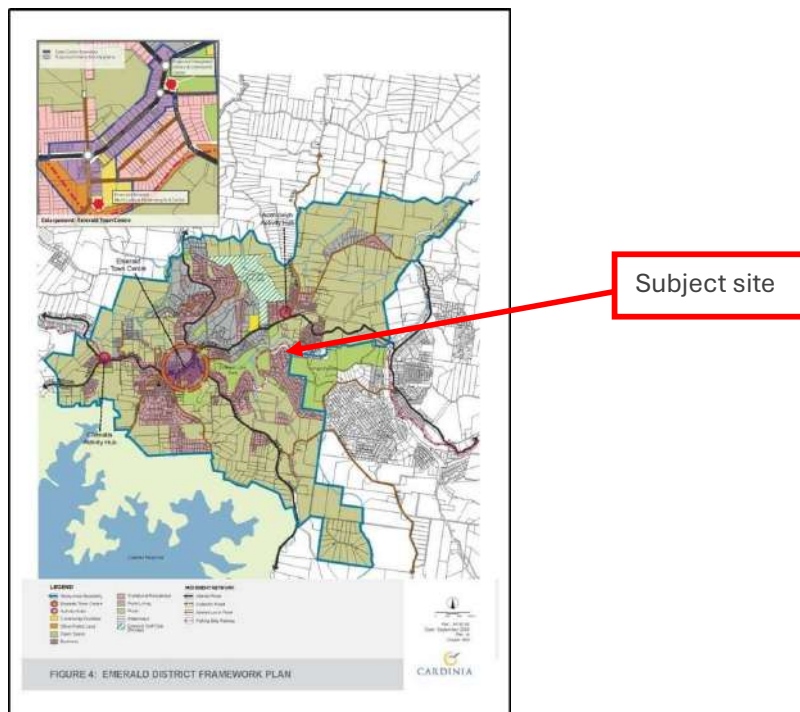
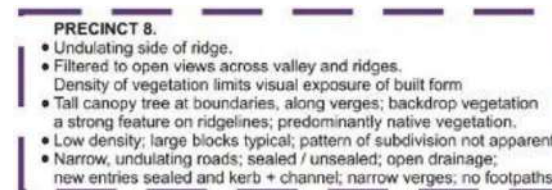


Figure 7 – Emerald District Framework Plan (source – Cardinia Planning Scheme, Department of Transport & Planning)

7.3 Other relevant documentation

Emerald District Strategy (June 2009)

As outlined above under Clause 21.07-3, the Emerald District Strategy guides new use and development within the Emerald region and further breaks down the residential areas into neighbourhood precincts. The subject site is located within Precinct 8 which is characterised as follows:



Further to this, the Strategy specifies a number of guidelines for new development in the various residential precincts. As applicable to Precinct 8, these guidelines are as follows:

- Respond to topography, minimise visual intrusion and disruption of views.
- Contribution to landscape character, retention of existing vegetation.
- Setbacks from street frontages, boundaries, adjacent developments. Maximise opportunities for landscape.
- Discourage front and side fences.
- Single driveway access. Minimise cut and fill. Clear sightlines.
- Unobtrusive garages, setback at rear/attached.

- *Provide adequate car parking including visitor parking.*
- *Colours schemes and materials appropriate to the context of the surrounding environment.*
- *Discourage replication of other existing designs in or near the same precinct and encourage individual designs using materials compatible with the character of the precinct.*
- *A minimum 6 star energy rating and environmentally sustainable design.*

The above guidelines are responded to in the subsequent planning assessment.

Puffing Billy Corridor Landscape Evaluation Study (Scenic Spectrums, May 1992)

The following guidelines apply to new development within the Puffing Billy Railway Scenic Corridor to ensure these corridors landscapes and character is protected and conserved:

- *The location, bulk and appearance of the proposed use, development or works will not adversely affect the character and appearance of the corridor.*
- *Appropriate landscape treatments are proposed for setback areas, particularly setbacks to the railway line, and in relation to development or works in visually exposed locations.*
- *The impact of any use, development or works on the quality and character of important viewlines and panoramas from the railway line can be minimised.*
- *Appropriate measures are proposed to retain and enhance the landscape character and quality of the corridor and in particular, retain remnant vegetation and require landscaping predominantly with indigenous species.*

8. Planning assessment and policy response

Appropriateness of amended proposal

The proposed dwelling has been carefully designed to be sympathetic to its surrounding low density residential landscape and limiting amenity impacts to adjoining properties in accordance with the provisions and policies outlined under section 6 and 7.

The dwelling is to be positioned in the front half of the land in closer proximity to the already established residential allotments on the opposite side of Bellbird Crescent. This provides a better response than positioning the dwelling to the rear and at a greater impact to vegetation and views from the adjoining Puffing Billy corridor.

The footprint of the dwelling is modest in scale and smaller than most footprints of existing dwellings in the surrounding neighbourhood. An aerial image of the proposed dwelling in its context clearly illustrates this point as shown in Figure 8.

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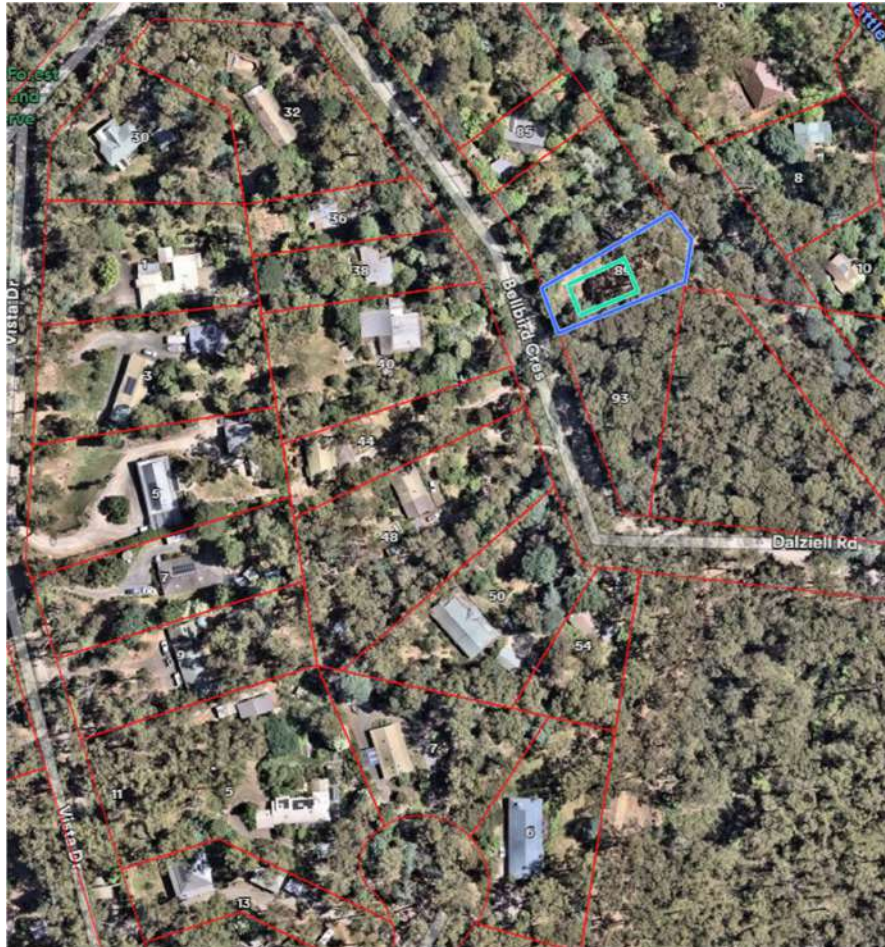


Figure 8 – green outline showing proposed building footprint in its surrounding building context (source – Nearmaps, dated 15 December 2024)

It is worth noting that the amended dwelling has been designed with split levels that follow the downward slope towards the rear of the site. This is in complete contrast to the original approval which has a single level, relying on a rising subfloor as the land slopes. The original approval is also substantially higher at 9 m from natural ground level at its rear compared to 7.6 m for the amended proposal. The amended proposal will also achieve a well-articulated architectural response with detailing and materiality/finishes deliberately chosen to both blend into its surrounding environment and provide visual interest. These outcomes will ensure the amended proposal is not dominant to the site's most sensitive interface, the Puffing Billy railway corridor. Figure 9 below illustrates this comparison between elevations and the clear superiority of the amended design.



Figure 8 – east elevation of the current endorsed plan on the left and amended proposal on the right

The dwelling will be on the higher slope when viewed from this corridor, however the surrounding vegetation and design of the dwelling ensures it blends in with its natural environment. The proposal is a custom design and not a replication of existing house designs in the area, ensuring dwelling individuality and high-quality architecture for the neighbourhood.

External finishes are of natural and muted tones, deliberately chosen to be sympathetic to its forest surrounds and minimising its visual impact to the rear boundary. The vegetation to be retained in the rear yard range from 18 m to 26 m in height also offer natural screening from the railway. Although setbacks are to be reduced from the front and side boundaries, these setbacks remain generous and provide sufficient spacings and buffers to the adjoining public land.

The dwelling will incorporate best practice sustainable design and is required to achieve a 7 star energy rating under recent updates to the building standards. In addition, solar panels are to be installed on the roof and skylights are to be added above living areas and staircase to enhance natural light.

The amount of vegetation required to be removed has been minimised where possible to limit its impact on the densely forest landscape. The amount to be cleared is not dissimilar to what has been cleared on surrounding residential allotments and is necessary for defensible space requirements against bushfire hazards. Given the residential zoning of the land, there is an expectation that some vegetation loss is to occur to accommodate a new dwelling.

The length of the driveway has also been reduced minimising cut and fill works along the north boundary compared to what was originally approved. Some fill will be necessary to the rear to level out the rear part of the dwelling and limit its vertical form.

Sediment and erosion will be controlled and managed appropriately on-site and in accordance with existing permit conditions. Stormwater will also be designed and managed on-site and discharged off-site to a satisfactory point approved by the Responsible Authority, in accordance with existing permit conditions.

Effluent will be disposed of and managed via the existing reticulated system available at the front of the site. A sewer pump unit will be located at the side of the dwelling to pump waste to the system at the front of the site. The availability of this reticulated system will ensure no adverse impact on environmental and human health.

Bushfire planning

In response to the bushfire management considerations of the proposed dwelling, we rely on the amended Bushfire Management Plan (BMP) prepared by 'Red Eagle Bushfire Protection Services'. The amended BMP is generally in accordance with the approved BMP including the requirement for the building design and construction to a minimum Bushfire Attack Level of BAL-29 and defensible space requirements of 50 m or to the property boundary. Other requirements that remain as approved including the static water supply and vehicle design and construction. The BMP also states that the amended proposal will provide improved bushfire protection in comparison to the original approval. This includes a smaller building footprint with straight sides and no corners for ember build up and closer to road access and shorter driveway entrance.

The BMP has demonstrated that all relevant requirements under the BMO and Clause 53.02 are to be satisfied.

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9. Conclusion

Having considered the above assessment, the amended proposal represents an appropriate outcome for the site and its surrounding area and will be a superior outcome over the original approved dwelling. Further,

- The proposal is well supported by the relevant policies within the Cardinia Planning Scheme.
- The design and layout of the development complements the surrounding low density character.
- It respects the existing built form context and contributes positively to the desired character of the area with detrimentally impacting on the adjoining Puffing Billy railway corridor.
- There will be no detrimental amenity impacts to adjoining properties.
- Bushfire protection measures have been recommended to mitigate against fire risk to the property and proposed dwelling.

Accordingly, it is respectfully requested that Council support the amendment application for the development of a dwelling.



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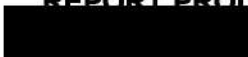
ARBORICULTURAL IMPACT ASSESSMENT REPORT

for



ARBORICULTURAL CONSTRUCTION IMPACT REPORT FOR
A PROPOSED DWELLING AT 89 BELLBIRD CRESCENT
EMERALD.

REPORT PRODUCED BY:



Dip. Horticulture (Holmesglen 2012)
Dip. Arboriculture (NMIT 2013)
QTRA registered (2021)
TRAQ registered (2022)

M: 0499 00 4795



REPORT COMMISSIONED BY:



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Sunday 3RD November 2024
Amendment A – 29 December 2024
Amendment B – 24 March 2025

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2. INTRODUCTION

This arboricultural report assessed thirty trees at 89 Bellbird Crescent Emerald and will serve to give an assessment of the trees on site in order to determine if the trees should be considered for retention and inclusion in the proposed development of the site.

Trees are proposed for removal in order to create defensible space for the proposed new dwelling on the land.

A sitemap of the property and assessed trees can be seen below in figure 1a:

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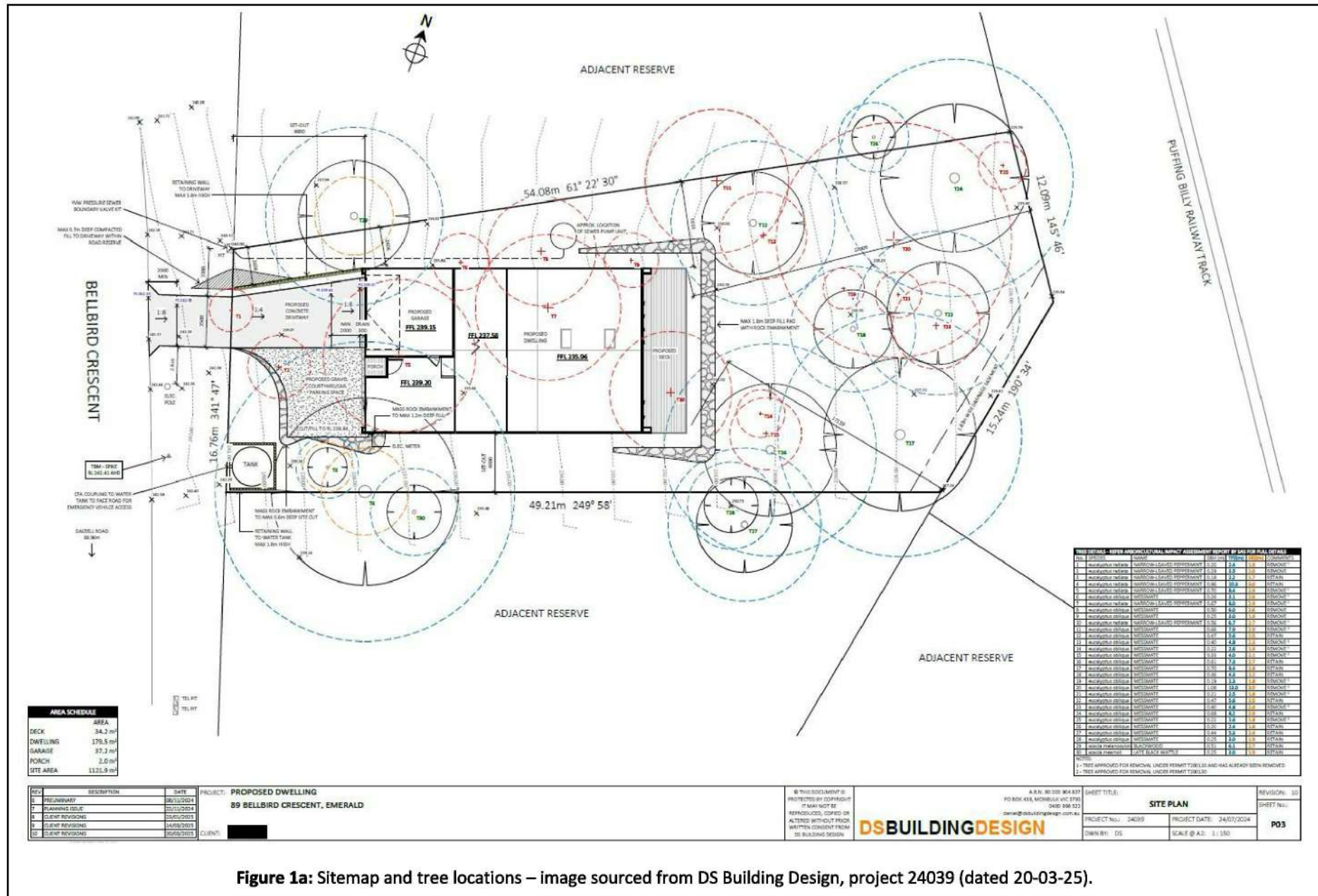


Figure 1a: Sitemap and tree locations – image sourced from DS Building Design, project 24039 (dated 20-03-25).

3. ASSESSMENT METHODOLOGY

[REDACTED] undertook a visual assessment of the trees onsite on 3RD November 2024. Observations and pictures were recorded during the inspection for inclusion in the report and also for future reference. Photographs of the trees were taken with a digital camera.

Trees on site were assessed for a number of factors including health, structure, useful life expectancy and retention value.

DBH (Diameter at Breast Height) measurements were taken using a DBH measuring tape and measurements were taken at 1.4 metres from ground level (as per Australian Standard AS 4970-2009, *Protection of Trees on Development Sites*). The height and width of assessed trees has been estimated.

*No investigations of the soil conditions or the trees' root systems on site were undertaken.

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4. OBSERVATIONS

Trees assessed were given ratings on health, structure, useful life expectancy (ULE) and retention value. Tree details can be found in Appendix 1 and definitions of the tree ratings can be found in Appendix 2.

4.1. Table 1: Tree Health Summary

Health rating	No. of Trees
Good	0
Fair	28
Poor	1
Dead	1
Total	30

Tree health is assessed according to a number of factors including tree foliage density and entirety, signs of pathogens, growth indicators and amount of deadwood present in the tree.

28 trees received a rating of *Fair*, one tree received a rating of *Poor* and one tree was rated as *Dead*.

4.2. Table 2: Tree Structure Summary

Structure rating	No. of Trees
Good	0
Fair	29
Poor	0
Dead	1
Total	30

Tree structure is assessed to determine factors such as whether the tree trunk and scaffold branches show good taper and attachment with minimal or no structural defects, if the tree is a good example of the species, form development, root problems or pest and disease problems.

29 trees received a *Fair* rating and one tree was rated as *Dead*.

4.3. Table 3: Tree ULE Summary

ULE rating	No. of Trees
Long	0
Medium	16
Short	9
Remove	5
Total	30

16 trees were rated as having a *Medium* ULE, nine trees were rated as *Short* and five trees received a rating of *Remove*.

4.4. Table 4: Tree Retention Value Summary

Retention rating	No. of Trees
High	7
Medium	16
Low	2
Remove	5
Total	30

Seven trees received a *High* retention rating, 16 trees were rated *Medium*, two trees were rated *Low* and five trees received a *Remove* retention rating. Factors taken into account included the trees' health and structure, possible beneficial attributes, their future growth potential at the site and maintenance requirements now or in the future.

Trees that received a high rating should be included within the development design. Trees with a medium retention value rating should be considered for retention if possible and may be modified to allow for construction. (e.g. pruning, etc).

Provision of appropriate defensible space and adequate canopy clearances, must be provided for.

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5. PLANNING SCHEME ZONES AND OVERLAYS

The following zones and overlays apply to the property:

ZONE:

LOW DENSITY RESIDENTIAL ZONE (LDRZ)

LOW DENSITY RESIDENTIAL ZONE – SCHEDULE 2 (LDRZ2)

OVERLAY/S:

DESIGN AND DEVELOPMENT OVERLAY (DDO)

DESIGN AND DEVELOPMENT OVERLAY – SCHEDULE 1 (DDO1)

SIGNIFICANT LANDSCAPE OVERLAY (SLO)

SIGNIFICANT LANDSCAPE OVERLAY – SCHEDULE 1 (SLO1)

VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY – SCHEDULE 1 (VPO1)

BUSHFIRE MANAGEMENT OVERLAY (BMO)

The property is in a designated bushfire prone area.

Cardinia Shire Council are the local government responsible for governing tree controls in this municipality.

Under Clause 42.03-2 of the SLO a planning permit is required to remove, destroy or lop any vegetation specified in the schedule to this overlay.

Under Clause 42.02-2 of the SLO a planning permit is required to remove, destroy or lop any vegetation specified in the schedule to this overlay.

Under Clause 52.12-5 of the Cardinia Planning Scheme, any requirement of a planning permit, including any condition, which has the effect of prohibiting the removal, destruction or lopping of vegetation, or any requirement of this planning scheme to obtain a planning permit, or any provision of this planning scheme that prohibits the removal, destruction or lopping of vegetation or requires the removal, destruction or lopping of vegetation to be carried out in a particular manner, does not apply to the removal, destruction or lopping of vegetation to enable the construction of a dwelling, or the alteration or extension of an existing dwelling, and create its defensible space if all of the following requirements are met:

- Land is in the Bushfire Management Overlay.
- Land is in the Low Density Residential Zone.
- The removal, destruction or lopping of vegetation:
 - Does not exceed the distance specified in Table 1 to Clause 53.02-3 of this planning scheme, based on the bushfire attack level determined by a relevant building surveyor in deciding an application for a building permit

- under the *Building Act 1993* for a dwelling or alteration or extension to the dwelling; or
- Is required to be undertaken by a condition in a planning permit issued after 31 July 2014 under Clause 44.06 of this scheme for a dwelling or an alteration or extension to the dwelling.

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6. DISCUSSION

The site is a standard residential type allotment of approximately 1,093m². A construction impact assessment report was requested as the site is proposed to be developed for a dwelling.

A previous construction impact assessment report was prepared by Trevor Moulynnox (AQF level 5) of Urban Forestry Victoria, dated 23 July 2020. Tree numbers from this report have been kept the same in this revised, updated report for consistency and continuity.

A total of 30 trees were assessed and all are Victorian native trees. There were no exotic tree species found to be located on the site. A total of five trees are located on adjoining properties to both the north and south. Trees 27, 28 and 30 are located on the adjoining property to the south. Trees 26 and 29 are located on the adjoining property to the north.

The following trees were approved to be removed under planning permit T200130 PC1 (dated 27 July 2023): trees 1, 5, 6, 7, 10, 11, 13, 14, 15, 19, 20, 21, 23 and 25.

The following trees have been removed onsite prior to the current owner purchasing the property: trees 1, 5, 6, 7, 10 and 14.

6.1 DEFENDABLE SPACE REQUIREMENT – TREE PRUNING AND REMOVAL

The property is within a designated bushfire prone area and a BMO also applies under the Cardinia Planning Scheme.

Under Clause 44.06-3 of the Cardinia Planning Scheme, a bushfire hazard site assessment, bushfire hazard landscape assessment and a bushfire management statement are required. These documents have been prepared by Red Eagle and the site has been classified as a BAL-29, with a five metre tree canopy separation required.

In order to achieve the defendable space requirement (and associated 5m tree canopy separation) the following trees are required to be removed:

- 2, 8, 9, 11, 13, 15, 19, 21, 23 and 25.

A number of trees listed above are required to be removed due to the fact that more than 30% canopy pruning is required in order to achieve the five metre tree canopy separation and thus the tree could be assumed to not survive if this were to occur. In some cases, trees also displayed poor health and structure (or were already dead when assessed).

Tree 11 is dead and offers no value for retention. There were no hollows (habitat) observed on the day of assessment.

All proposed tree to be removed are exempt from Clause 52.17 offsetting under Clause 52.12-5.

Trees that are proposed to be retained and that require pruning, to meet the required five metre canopy separation are as follows:

- 4, 12, 17, 16, 18, 20, 22 and 24.

All trees identified above for pruning – require less than 30% of the total canopy to be pruned for separation and all trees should remain viable post pruning.

All pruning must be in accordance with AS4373-2007 Pruning of Amenity Trees.

6.2 CONSTRUCTION IMPACT

Tree 3 is located 2 metres from the proposed gravel driveway. Tree 3 has a TPZ of 2.2m. The proposed encroachment to tree 4 is approximately 1.2%. The Australian Standard AS4970-2009 *Protection of Trees on Development Sites*, considers encroachment less than 10% to be minor encroachment.

Tree 4 is located 4 metres from the proposed gravel driveway and dwelling. Tree 4 has a TPZ of 3.7m. The proposed encroachment to tree 4 is approximately 29%. The Australian Standard AS4970-2009 *Protection of Trees on Development Sites*, considers encroachment greater than 10% to be major encroachment. However, given that the canopy of this tree requires approximately 10-15% pruning of the south-east side, this level of proposed encroachment should not render the tree unviable as the canopy pruning will offset the loss of root mass. The TPZ area lost to this encroachment can be compensated for elsewhere and kept contiguous with the TPZ.

Tree 29 is located 2.4 metres from the proposed driveway and dwelling. Tree 29 has a TPZ of 6.1m. The proposed encroachment to tree 6 is approximately 21%. The Australian Standard AS4970-2009 *Protection of Trees on Development Sites*, considers encroachment greater than 10% to be major encroachment. However, given that the canopy of this tree requires approximately 10-15% pruning of the south-east side, this level of proposed encroachment should not render the tree unviable as the canopy pruning will offset the loss of root mass. The TPZ area lost to this encroachment can be compensated for elsewhere and kept contiguous with the TPZ.

7. CONCLUSIONS

1. A total of 30 trees were assessed in this report. All of the assessed trees are native (to Victoria).

2. A total of five trees are located on adjoining properties to both the north and south. Trees 27, 28 and 30 are located on the adjoining property to the south. Trees 26 and 29 are located on the adjoining property to the north.
3. The following trees have already been removed onsite prior to the current owner purchasing the property: trees 1, 5, 6, 7, 10 and 14.
4. In order to achieve the defendable space requirement (and associated 5m tree canopy separation) the following trees are required to be removed: 2, 8, 9, 11, 13, 15, 19, 21, 23 and 25.
5. Tree 11 is dead and offers no value for retention. There were no hollows (habitat) observed on the day of assessment.
6. Trees that are proposed to be retained and that require pruning, to meet the required five metre canopy separation are as follows: 4, 12, 17, 16, 18, 20, 22 and 24. All trees that require pruning – require less than 30% of the total canopy to be pruned for separation and all trees should remain viable post pruning.
7. Trees 27, 28 and 30 will require 5-10% canopy pruning and as these are neighbouring trees, not located within the subject site, pruning must only occur to the north side of the canopy – within the title boundary specified.
8. In terms of construction impact or encroachment to trees:
 - (a) 4 and 29 have respectively 29% and 21%. AS AS4970-2009 considers encroachment greater than 10% to be major encroachment. However, given that the canopy of both trees require pruning, this level of proposed encroachment should not render the tree unviable as the canopy pruning will offset the loss of root mass. The TPZ area lost to this encroachment can be compensated for elsewhere and kept contiguous with the TPZ.
9. As Clause 52.12-5 applies – Clause 52.17 native vegetation offsets are not required.

8. RECOMMENDATIONS

1. Tree protection guidelines, as per Appendix 3, must be followed for the duration of the construction process.
2. Any tree roots encountered during excavation works, must be pruned in accordance with AS4373-2007.
3. All tree pruning works must be undertaken in accordance with AS4373-2007.

Refer to Appendix 1 for Tree details.

Refer to Appendix 2 for Tree descriptors and retention values.

Refer to Appendix 3 for Tree protection guidelines.

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10. APPENDIX 1: TREE DETAILS

Tree No	Botanical name	Common name	H x W (m)	DBH (m)	SRZ (m)	TPZ radius (m)	Health	Structure	Age	ULE	Retention value
1	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	5x5	0.20	1.9	2.4	Fair	Fair	Young	Short	Medium
2	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	12x4	0.29	2.0	3.5	Fair	Fair	Semi-mature	Short	Medium
3	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	8x2	0.18	1.7	2.2	Fair	Fair	Young	Remove	Remove
4	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	20x6	0.86	3.0	10.3	Fair	Fair	Mature	Medium	Medium
5	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	20x8	0.7	2.9	8.4	Fair	Fair	Mature	Medium	High
6	<i>Eucalyptus obliqua</i>	Messmate	14x4	0.26	2.0	3.1	Fair	Fair	Young	Medium	Medium
7	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	24x8	0.67	2.9	8.0	Fair	Fair	Mature	Remove	Remove
8	<i>Eucalyptus obliqua</i>	Messmate	22x5	0.5	2.6	6.0	Fair	Fair	Mature	Medium	High
9	<i>Eucalyptus obliqua</i>	Messmate	20x2	0.25	1.9	3.0	Fair	Fair	Semi-mature	Medium	Medium
10	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	22x8	0.56	2.7	6.7	Fair	Fair	Mature	Short	Medium
11	<i>Eucalyptus obliqua</i>	Messmate	26x12	0.66	2.9	7.9	Dead	Dead	Mature	Remove	Remove
12	<i>Eucalyptus obliqua</i>	Messmate	26x3	0.47	2.5	5.6	Fair	Fair	Mature	Medium	High
13	<i>Eucalyptus obliqua</i>	Messmate	20x5	0.4	2.3	4.8	Fair	Fair	Mature	Short	Medium
14	<i>Eucalyptus obliqua</i>	Messmate	8x4	0.22	1.9	2.6	Fair	Fair	Young	Remove	Remove
15	<i>Eucalyptus obliqua</i>	Messmate	18x4	0.33	2.1	4.0	Poor	Fair	Semi-mature	Remove	Remove
16	<i>Eucalyptus obliqua</i>	Messmate	24x6	0.61	2.7	7.3	Fair	Fair	Mature	Short	Low
17	<i>Eucalyptus obliqua</i>	Messmate	26x6	0.7	2.8	8.4	Fair	Fair	Mature	Medium	High
18	<i>Eucalyptus obliqua</i>	Messmate	18x3	0.36	2.2	4.3	Fair	Fair	Semi-mature	Medium	Medium
19	<i>Eucalyptus obliqua</i>	Messmate	8x2	0.19	1.8	2.3	Fair	Fair	Young	Short	Medium
20	<i>Eucalyptus obliqua</i>	Messmate	26x12	1.08	3.5	13.0	Fair	Fair	Mature	Medium	Medium
21	<i>Eucalyptus obliqua</i>	Messmate	8x4	0.21	1.8	2.5	Fair	Fair	Young	Medium	Medium
22	<i>Eucalyptus obliqua</i>	Messmate	26x4	0.47	2.5	5.6	Fair	Fair	Mature	Medium	High
23	<i>Eucalyptus obliqua</i>	Messmate	10x4	0.4	2.4	4.8	Fair	Fair	Mature	Short	Medium
24	<i>Eucalyptus obliqua</i>	Messmate	20x8	0.68	2.9	8.2	Fair	Fair	Mature	Medium	High
25	<i>Eucalyptus obliqua</i>	Messmate	10x2	0.22	1.8	2.6	Fair	Fair	Young	Medium	Medium
26	<i>Eucalyptus obliqua</i>	Messmate	15x2	0.2	1.8	2.4	Fair	Fair	Young	Medium	Medium
27	<i>Eucalyptus obliqua</i>	Messmate	24x3	0.44	2.4	5.3	Fair	Fair	Mature	Medium	High

28	<i>Eucalyptus obliqua</i>	Messmate	10x3	0.25	1.9	3.0	Fair	Fair	Young	Short	Low
29	<i>Acacia melanoxylon</i>	Blackwood	18x8	0.51	2.7	6.1	Poor	Fair	Mature	Medium	Medium
30	<i>Acacia mearnsii</i>	Late Black Wattle	10x6	0.25	1.9	3.0	Fair	Fair	Mature	Short	Medium

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12. APPENDIX 2: TREE DESCRIPTORS

12.1 AGE

<u>Category</u>	<u>Description</u>
Young	Juvenile or recently planted approximately 1-7 years.
Semi Mature	Tree is actively growing.
Mature	Tree has reached expected size in situation.
Senescent	Tree is over mature and has started to decline.
Dead	Tree has died.

12.2 HEALTH

<u>Category</u>	<u>Description</u>
Good	Foliage of tree is entire, with good colour, very little sign of pathogens and of good density. Growth indicators are good i.e. Extension growth of twigs and wound wood development. Minimal or no canopy die-back (deadwood).
Fair	Tree is showing one or more of the following symptoms; < 25% dead wood, minor canopy die-back, foliage generally with good colour though some imperfections may be present. Minor pathogen damage present, with growth indicators such as leaf size, canopy density and twig extension growth typical for the species in this location.
Poor	Tree is showing one or more of the following symptoms of tree decline; > 25% deadwood, canopy die back is observable, discoloured or distorted leaves. Pathogens present, stress symptoms are observable such as reduced leaf size, extension growth and canopy density.
Dead or dying	Tree is in severe decline; > 55% deadwood, very little foliage, possibly epicormic shoots, minimal extension growth.

12.3 STRUCTURE

<u>Category</u>	<u>Description</u>
Good	Trunk and scaffold branches show good taper and attachment with minor or no structural defects. Tree is a good example of the species with a well-developed form showing no obvious root problems or pests and diseases.

Fair	Tree shows some minor structural defects or minor damage to trunk e.g. bark missing, there could be cavities present. Minimal damage to structural roots. Tree could be seen as typical for this species.
Poor	There are major structural defects, damage to trunk or bark missing. Co-dominant stems could be present or poor structure with likely points of failure. Girdling or damaged roots obvious. Tree is structurally problematic.
Hazardous	Tree is an immediate hazard with potential to fail; this should be rectified as soon as possible.

12.4 USEFUL LIFE EXPECTANCY (ULE).

LONG ULE; Trees that appears to be retainable with an acceptable level of risk for more than 30 years.

1. Structurally sound trees located in positions that can accommodate future growth.
2. Storm damaged or defective trees that could be made suitable for retention in the long term by remedial tree surgery.
3. Trees of special significance for historical, commemorative or rarity reasons that would warrant extraordinary efforts to secure their long-term retention.

MEDIUM ULE; Trees that appear to be retainable with an acceptable level of risk for 15 to 30 years.

1. Trees that may live between 15 and 30 years.
2. Trees that may live for more than 30 years but would be removed to allow the safe development of more suitable individuals.
3. Trees that may live for more than 30 years but would be removed during the course of normal management for safety and nuisance reasons.
4. Storm damage or defective trees that can be made suitable for retention in the medium term by remedial work.

SHORT ULE; Trees that appear to be retainable with an acceptable level of risk for 5 to 15 years.

1. Trees that may only live for 5 to 15 years.
2. Trees that may live for more than 15 years but would be removed to allow the safe development of more suitable individuals.
3. Trees that may live for more than 15 years but would be removed during the course of normal management for safety and nuisance reasons.
4. Storm damaged or defective trees that require substantial remedial work to make safe and are only suitable for retention in the short term.

REMOVE; Trees with a high level of risk that would need removal within the next 5 years or trees that may be environmental weeds.

1. Dead trees.
2. Dying or suppressed and declining trees through disease or inhospitable conditions.
3. Dangerous trees through instability or recent loss of adjacent trees.
4. Dangerous trees through structural defects including cavities, decay, included bark, wounds or poor form.
5. Damaged trees that are considered unsafe to retain.

6. Trees that will become dangerous after removal of other trees for the above reasons.

12.5 RETENTION VALUE

Retention value is rated into three levels; **REMOVE**, **LOW**, **MEDIUM** and **HIGH**.

REMOVE; Trees that should be removed and offer no retention value (e.g. environmental weeds).

LOW; Trees that offer little in terms of contributing to the future landscape for the reasons of poor health or structural condition, species suitability in relation to unacceptable growth habit, noxious, poisonous or weed species or ULE, or a combination of these characteristics. Should be considered for removal.

MEDIUM; Trees with some beneficial attributes that may benefit the site in relation to botanical, horticultural, historical or local significance but may be limited to some degree by their future growth potential at the site by maintenance requirements now or in the future. These trees should be considered for retention if possible within the development design. They may be modified to allow for construction. (i.e. pruning, crown thinning, etc;)

HIGH; Trees with the potential to positively contribute to the site due to their botanical, horticultural, historical or local significance in combination with good characteristics of structure, health and future development. Trees should be considered for inclusion within development plans.

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13. APPENDIX 3: TREE PROTECTION GUIDELINES

13.1 Tree Protection Zones

The most important consideration for the successful retention of trees is to allow appropriate above and below ground space for the trees to continue to grow. This requires the allocation of Tree Protection Zones (TPZ's) for retained trees.

To successfully retain these trees within the development site, consideration must be given to protecting the trunk, crown and roots of each tree. TPZ's are used to provide adequate space for the preservation of sufficient roots to maintain tree health (particularly important for mature trees) whilst providing a buffer zone between construction activity and the tree trunk and crown. Construction and worksite activity must be controlled within the TPZ area to preserve tree condition.

The method used for determining tree protection zones adopted in this report is the 'Australian Standard for Protection of Trees on development sites' (AS 4970-2009).

The TPZ area is based on the trunk diameter measurement at 1.4 metres from ground level and multiplied by 12 and is a guide for planning purposes. The radius of the TPZ is measured from the centre of the trunk (stem) of the tree.

Encroachment into the TPZ is permissible under certain circumstances although this is dependent on both the site conditions and tree characteristics. Minor encroachment, up to 10% of the TPZ, is generally permissible provided encroachment is compensated for by recruitment of an equal area contiguous with the TPZ. Encroachment greater than 10% is considered major encroachment under AS 4970-2009 and is only permissible if it can be demonstrated that after such encroachment the tree would remain viable.

13.2 General Tree Protection

- Prior to construction works the trees nominated for tree works should be pruned to remove larger dead wood. Pruning works may also identify other tree hazards that require remedial works.
- Installation of tree protection fencing. Once the TPZ's have been determined the next step is to mulch the zone with woodchip and erect tree protection fencing. This must be completed prior to any materials being brought on-site, erection of temporary site facilities or demolition/earth work. The protection fencing must be sturdy and withstand winds and construction impacts. The protection fence should only be moved with the approval of the site supervisor. Other root zone protection methods can be incorporated if the TPZ area needs to be traversed.
- Appropriate signage is to be fixed to the fencing to alert people as to the importance of the TPZ.
- The importance of tree preservation must be communicated to all relevant parties involved with the site.
- Inspection of trees during excavation work.

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13.3 Construction Guidelines

The following are guidelines that must be implemented to minimise the impact of the proposed construction works on the tree to be retained:

- TPZ's are fenced and clearly marked at all times. The actual fence specifications should be a minimum of 1.2 to 1.5 metres of chain mesh or like fence with 1.8 metre posts (e.g. treated pine or star pickets) or like support every 3-4 metres and a top line of high visibility plastic hazard tape. The posts should be strong enough to sustain knocks from on-site excavation equipment. This fence will deter the placement of building materials, entry of heavy equipment and vehicles and also the entry of workers and/or the public into the TPZ. Note: There are many different variations on the construction type and material used for TPZ fences, suffice to say that the fence should satisfy the responsible authority.
- Contractors and site workers should receive written and verbal instruction as to the importance of tree protection and preservation within the site. Successful tree preservation occurs when there is a commitment from all relevant parties involved in designing, constructing and managing a development project. Members of the project team need to interact with each other to minimise the impacts to the trees, either through design decisions or construction practices. The importance of tree preservation must be communicated to all relevant parties involved with the site.
- The consulting arborist is on-site to supervise excavation works around the existing trees where the TPZ will be encroached.
- A layer of organic mulch (woodchips) to a depth of no more than 100mm should be placed over the root systems within the TPZ of trees, which are to be retained so as to assist with moisture retention and to reduce the impact of compaction.
- No persons, vehicles or machinery to enter the TPZ without the consent of the consulting arborist or site manager.
- Where machinery is required to operate inside the TPZ it must be a small skid drive machine (i.e. Dingo or similar) operating only forwards and backwards in a radial direction facing the tree trunk and not altering direction whilst inside the TPZ to avoid damaging, compacting or scuffing the roots.
- Any underground service installations within the allocated TPZ should be bored and utility authorities should common trench where possible.
- No fuel, oil dumps or chemicals shall be allowed in or stored on the TPZ and the servicing and re-fuelling of equipment and vehicles shall be carried out away from the root zones
- No storage of equipment, material or temporary building should take place over the root zone of any tree.
- Nothing whatsoever should be attached to any tree including temporary services wires, nails, screws or any other fixing device.
- Supplementary watering should be provided to all trees through any dry periods during and after the construction process. Proper watering is the most important maintenance task in terms of successfully retaining the designated trees. The areas under the canopy drip lines should be mulched with woodchip to a depth of no more than 100mm. The mulch will help maintain soil moisture levels. Testing with a soil probe in a number of locations around the tree will help

ascertain soil moisture levels and requirements to irrigate. Water needs to be applied slowly to avoid runoff. A daily watering with 5 litres of water for every 30mm of trunk calliper may provide the most even soil moisture level for roots (Watson and Himelick, 1997), however light frequent irrigations should be avoided. Irrigation should wet the entire root zone and be allowed to dry out prior to another application. Watering should continue from October until April.

13.4 Exploratory Excavation

The most reliable way to determine root disturbance is to find out where the roots are in relation to the demolition, excavation or construction works that will take place (Matheny & Clark, 1998).

Exploratory excavation prior to commencement of construction can help establish the extent of the root system and where it may be appropriate to excavate or build. This also allows management decisions to be made and allows time for redesign works if required.

Any exploratory excavation within the allocated TPZ is to be undertaken with due care of the roots. Minor exploration is possible with hand tools. More extensive exploration may require the use of high-pressure water or air excavation techniques. Either hydraulic or pneumatic excavation techniques will safely expose tree roots; both have specific benefits dependent on the situation and soil type. An arborist is to be consulted on which system is best suited for the site conditions.

Substantial roots are to be exposed and left intact. Once roots are exposed decisions can be made regarding the management of the tree. Decisions will be dependent on the tree species, age and condition, relative tolerance to root loss and the amount of root system exposed and requiring pruning.

Other alternative measures to encroaching upon the TPZ may include boring or tunnelling.

13.5 How to determine the diameter of a substantial root

The size of a substantial root will vary according to the distance of the exposed root to the trunk of the tree. The further away from the trunk of the tree that a root is, the less significant the root is likely to be to the tree's health and stability.

The determination of what is a substantial root is often difficult because the form, depth and spread of roots will vary between species, sites and soil conditions. However, because smaller roots and connected to larger roots in a framework, there can be no doubt that if larger roots are severed, the smaller roots attached to them will die. Therefore, the larger the root, the more significant it may be.

Gilman (1997) suggests that trees may contain 4-11 major lateral roots and that the five largest lateral roots account (act as a conduit) for 75% of the total root system. These large lateral roots quickly taper within a distance to the tree, this distance could be referred to as the Root Plate Radius (Mattheck & Breloer, 1994). Within the Root Plate Radius (RPR) distance, all roots and the soil surrounding the roots are deemed significant.

No root or soil disturbance is permitted within the RPR. In the area outside the RPR, the tree may tolerate the loss of one or a number of roots. The table below highlights the size of tree roots, outside the RPR that would be deemed substantial for various tree heights. The assessment of combined root loss within the TPZ would need to be undertaken by an arborist on an individual basis because the location of the tree, its condition and environment would need to be assessed.

Table 1: *Estimated significant root sizes outside RPR*

Height of tree	Diameter of root
Less than 5m	≥30mm
Between 5m - 15m	≥50mm
More than 15m	≥70mm

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Attachment 2 – Bushfire Management Plan

For **89 Bellbird Crescent, Emerald**

Prepared by [REDACTED] Red Eagle Bushfire Protection Services

Version 1 Date 13 February 2020

Version 2 Unchanged, conditional consent by CFA 21 April, 2020, Planning Permit issued

Version 3 Minor Amendment to Planning Permit 23 October, 2024 Changes shown below

Version 4 Minor Amendment to Planning Permit 25 March, 2025 Changes shown below



Blue outline is proposed house site and footprint.

Orange dash line is entrance driveway.

Green line is defendable space = to 50m or to boundary

Red dot is outlet for static water tank

Red / yellow dot is street hydrant

Yellow arrow is North

SPECIFICATIONS

Construction

House will be designed and constructed to minimum BAL 29

Defendable space

Statutory defendable space requirement runs 50m or to the property boundary (blue dotted line) in accordance with the following specifications:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level

Water supply for fire fighting purposes

Provide 10,000 litres of effective water supply for fire fighting purposes which meets the following requirements:

- Is stored in an above ground water tank constructed of concrete or metal.
- All fixed above-ground water pipes and fittings required for fire fighting purposes must be made of corrosive resistant metal.
- Includes a separate outlet for occupant use.
- Where a 10,000 litre water supply is required, fire authority fittings and access must be provided as follows:
 - Be readily identifiable from the building or appropriate identification signs to the satisfaction of the relevant fire authority.
 - Be located within 60 metres of the outer edge of the approved building.
 - The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
 - Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64-millimetre CFA 3 thread per inch male fitting).
 - Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

Vehicle access design and construction

Where fire authority access to the water supply is required under AM 1.3 fire authority vehicles should be able to get within 4 metres of the water supply outlet.

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Changes of Oct 2024 explained

Changes to original approved BMP are now clarified, in accordance with CFA conditional consent 29 April 2020,

“Bushfire Management Plan endorsed

The Bushfire Management Plan prepared by Red Eagle Bushfire Services, drawing no. Version 2 dated October 2018 must be endorsed to form part of the permit and must not be altered unless otherwise agreed in writing by the CFA and the Responsible Authority. ”

Diagram below shows original endorsed plan, overlaid by new footprint in light blue outline

Changes to footprint: now a smaller footprint with straight sides, no corners for ember build up.

Changes to location: now closer to road.

Shorter entrance driveway

No changes to other specifications

Changes to house design are not in conflict with formerly approved BMO Application or BMP



Changes of March 2025 explained

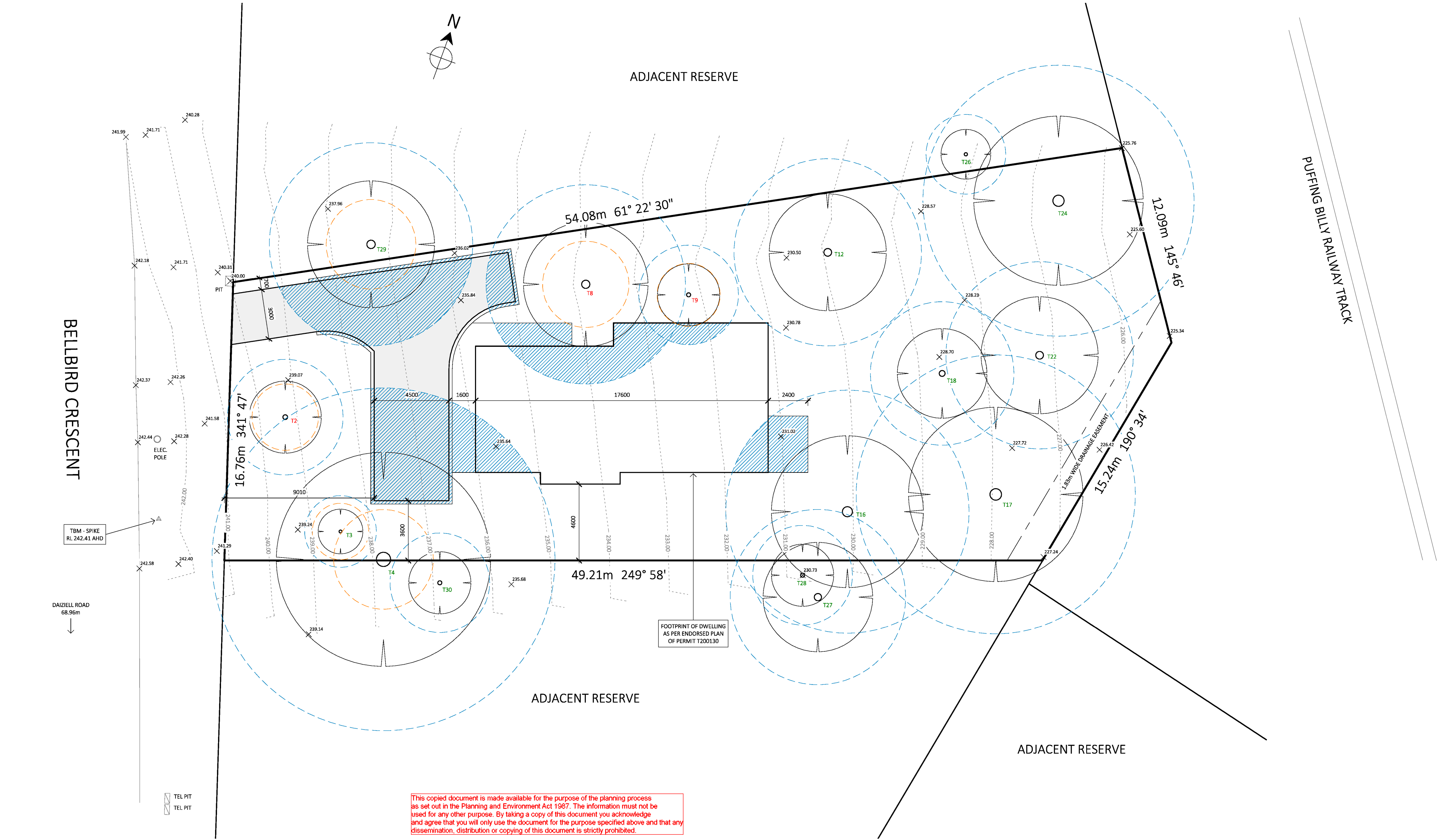
Minor changes to footprint: retains straight sides, no corners for ember build up.

Expand entrance driveway and parking area

Tank location moved

Changes to house design are not in conflict with formerly approved BMO Application or BMP

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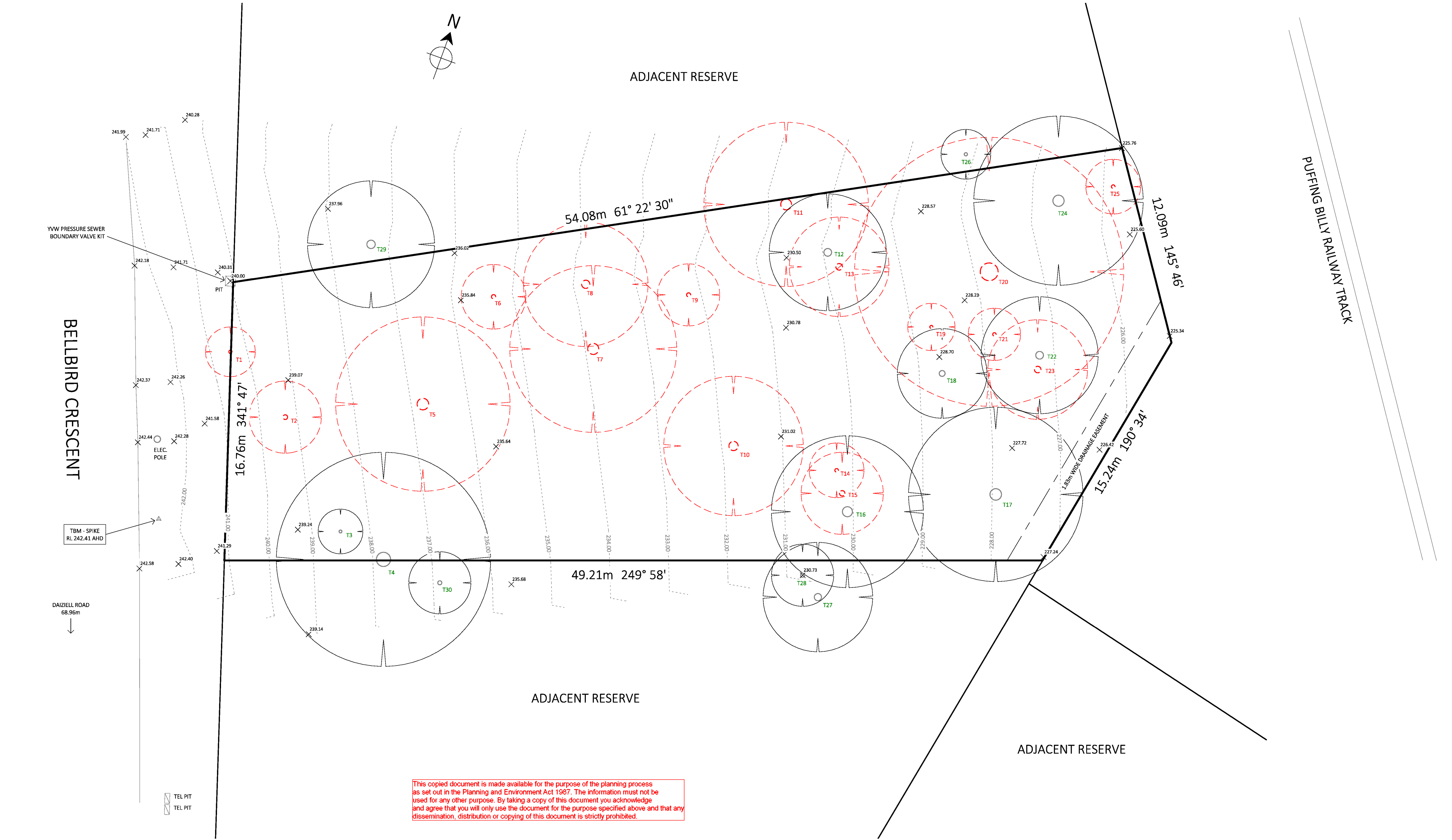
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10	CLIENT REVISIONS	20/03/2025
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PROJECT: PROPOSED DWELLING
89 BELLBIRD CRESCENT, EMERALD
CLIENT: [REDACTED]

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DWN BY: DS	SCALE @ A2: 1 : 150	P01



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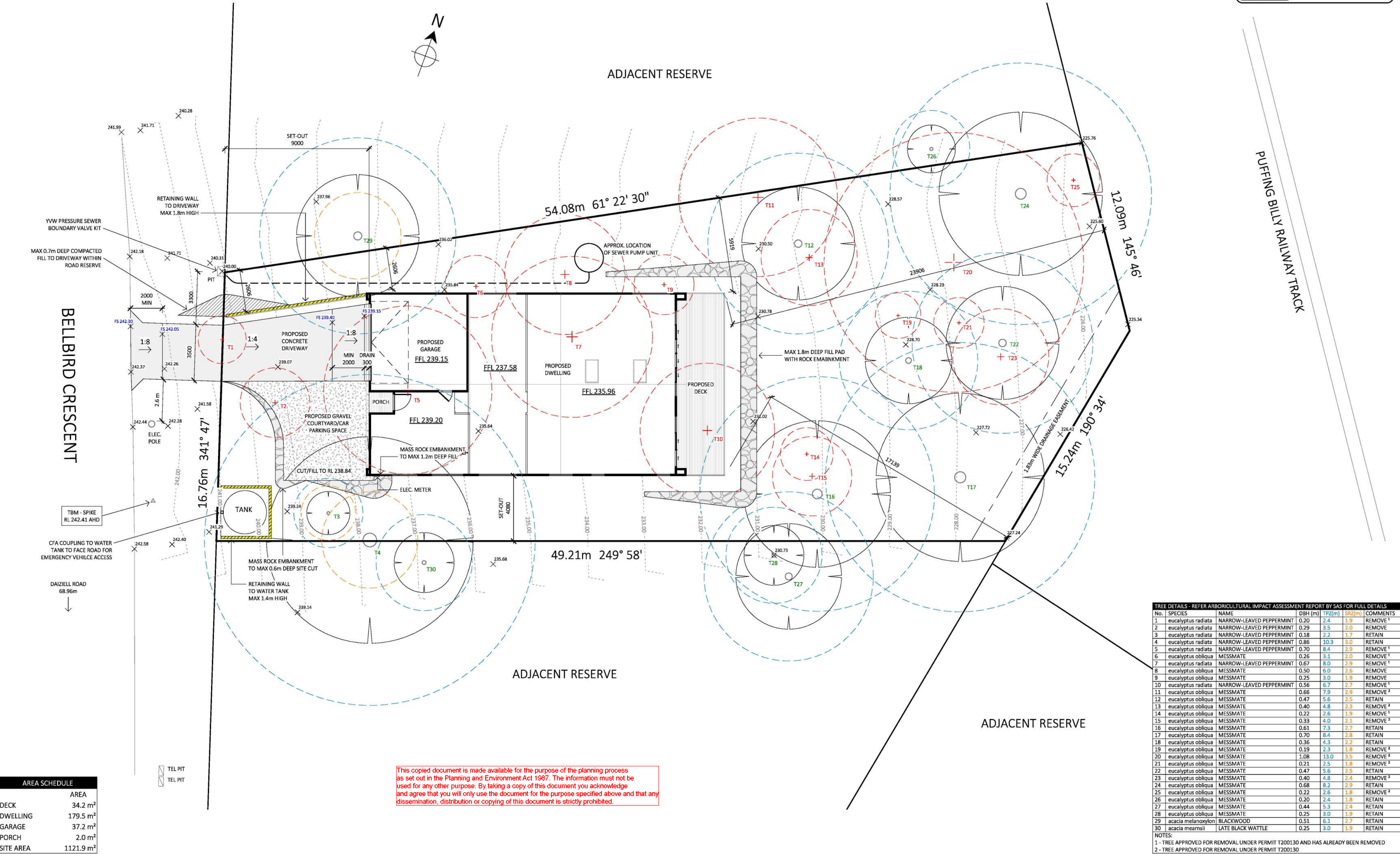
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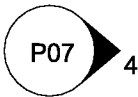
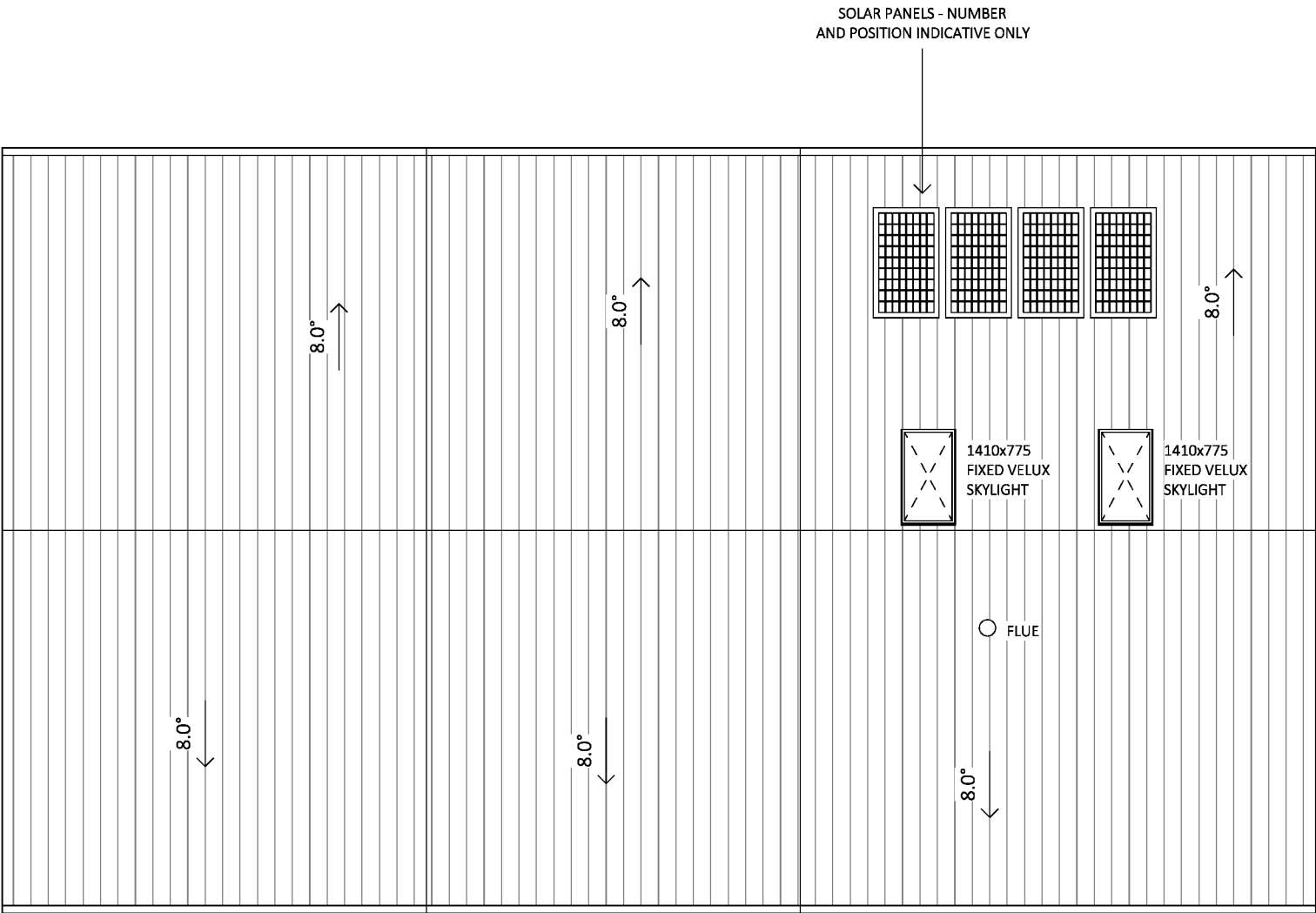
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REVISION: 11
SHEET No.:
P03



SHEET TITLE:		REVISION: 11
FLOOR PLAN		SHEET No.:
PROJECT No.: 24039	PROJECT DATE: 24/07/2024	P04
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REVISION: 11

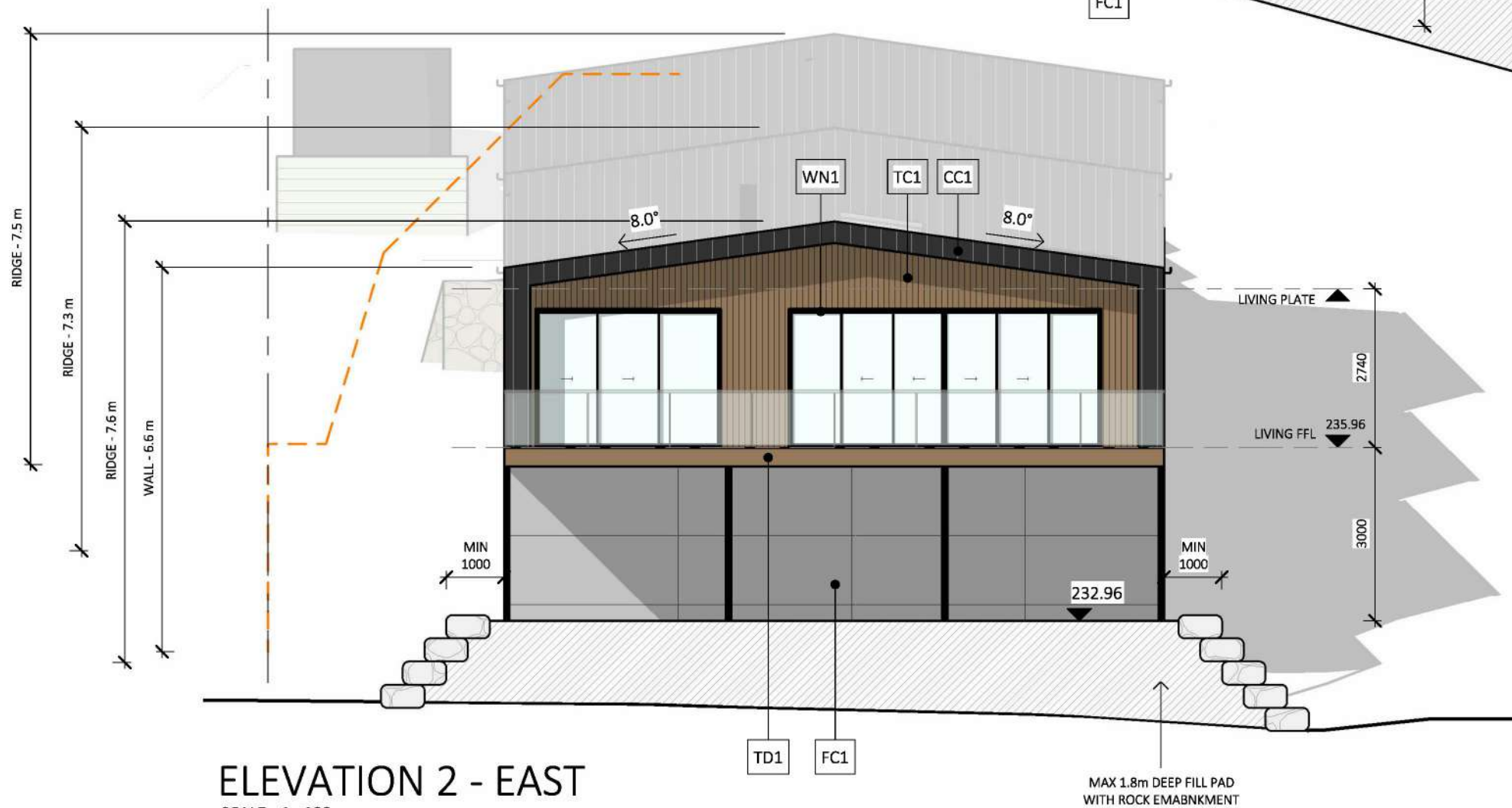
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ELEVATION 1 - SOUTH
SCALE 1 : 100



ELEVATION 2 - EAST
SCALE 1 : 100

MATERIAL SCHEDULE		
CB1	COLORBOND FASCIA, GUTTER, DOWNPIPES - MONUMENT	
CC1	COLORBOND NAILSTRIP CLADDING - MONUMENT	
CD1	COLORBOND GARAGE DOOR - TIMBER LOOK	
CR1	COLORBOND TRIM DECK ROOFING - MONUMENT	
FB1	FACE BRICKWORK - LIGHT GREY	
FC1	FC SHEET CLADDING - LIGHT GREY	
TC1	TIMBER LOOK BATTEN / CASTELLATED CLADDING	
TD1	DECKING - SELECTED HARDWOOD/TIMBER LOOK	
VC1	VERTICAL FC CLADDING (JH OBLIQUE) - MONUMENT	
WN1	WINDOW/DOOR FRAME - BLACK	

REV	DESCRIPTION	DATE
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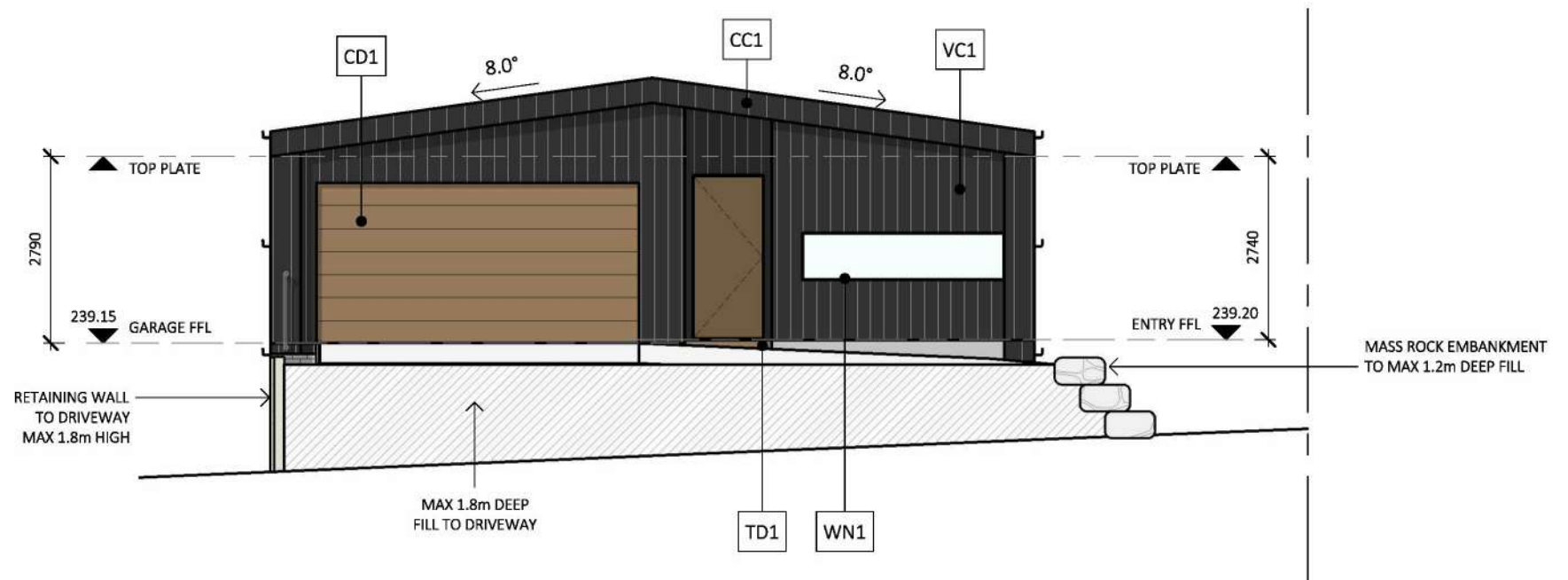
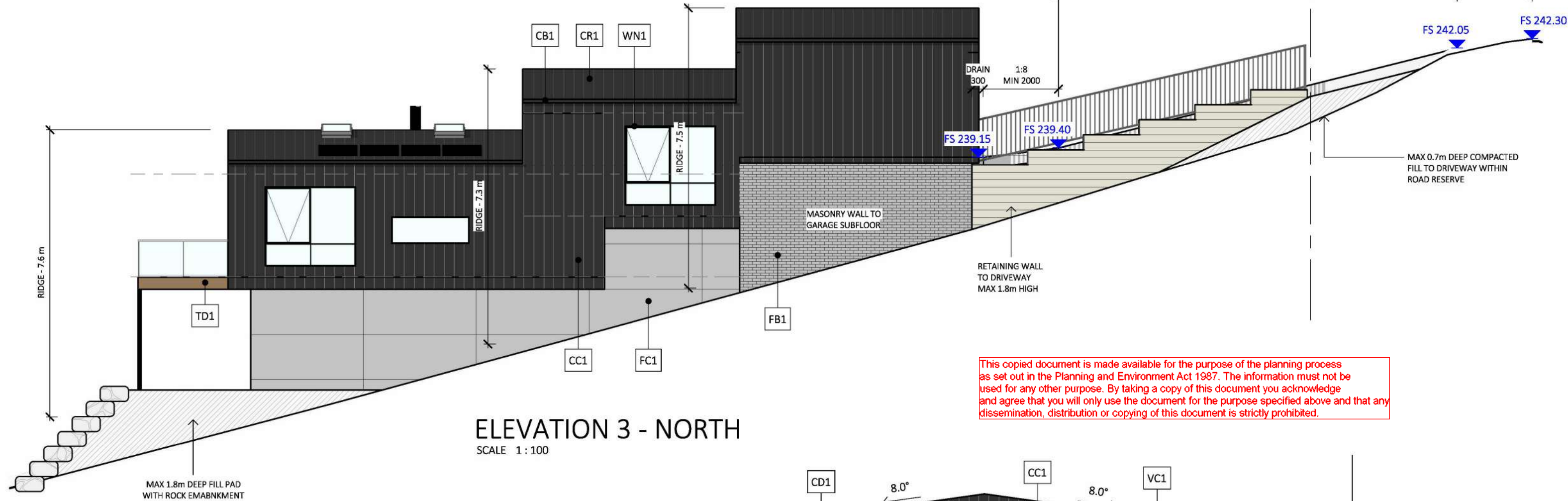
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ELEVATIONS 1 & 2		SHEET No.:
PROJECT No.: 24039	PROJECT DATE: 24/07/2024	P06
DWN BY: DS	SCALE @ A3: 1 : 100	



MATERIAL SCHEDULE

CB1	COLORBOND FASCIA, GUTTER, DOWNPIPES - MONUMENT
CC1	COLORBOND NAILSTRIP CLADDING - MONUMENT
CD1	COLORBOND GARAGE DOOR - TIMBER LOOK
CR1	COLORBOND TRIM DECK ROOFING - MONUMENT
FB1	FACE BRICKWORK - LIGHT GREY
FC1	FC SHEET CLADDING - LIGHT GREY
TC1	TIMBER LOOK BATTEN / CASTELLATED CLADDING
TD1	DECKING - SELECTED HARDWOOD/TIMBER LOOK
VC1	VERTICAL FC CLADDING (JH OBLIQUE) - MONUMENT
WN1	WINDOW/DOOR FRAME - BLACK

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SHEET TITLE: ELEVATIONS 3 & 4		REVISION: 11
PROJECT No.: 24039	PROJECT DATE: 24/07/2024	SHEET No.: P07
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PROJECT No.: 24039	PROJECT DATE: 24/07/2024	SHEET No.: P08
DWN BY: DS	SCALE @ A3:	

Specifications

Subgrade preparation

Site preparation to be carried out in accordance with best horticultural practice and under suitable conditions. Disturbance to indigenous soil structure is to be minimised. The use of machinery that may damage soil structure or profile is not acceptable. Sub-grade to all lawn and planted areas is to be cultivated to a minimum depth of 150mm and shaped to achieve drainage falls prior to topsoiling. Subgrade to be tested prior to preparation and conditioning to determine pH, salinity and gypsum requirement. Any gypsum required is to be distributed at the manufacturers recommended rate and cultivated into the sub-grade at a minimum depth of 150mm. Proposed topping areas to be graded / drained to prevent water discharge into neighbouring properties

Weed control
Remove and dispose of environmental weeds off site prior to subgrade preparation, topsoiling and planting works.

Soil Preparation

Topsoil is to be spread in maximum 150mm layers, lightly compacted by use of a 150 - 200kg roller, or by thoroughly walking until it accords with finished kerb levels or to within 15mm below edging levels to accommodate mulch. Imported topsoil for garden beds is to be medium texture general purpose garden soil and lightly compacted to minimum 300mm depth to garden beds. Soil is to comply with s.a.a. 2223-1978, and as follows:

- free from perennial weeds and their roots, bulbs and rhizomes
- free from building rubble and any other matter deleterious to plant growth
- pH to be 6.0 - 7.0
- texture to be light to medium friable loam
- free from silt material

Imported topsoil for lawn rejuvenation / establishment shall have the above characteristics, but shall be a free draining sandy loam, lightly compacted to minimum 100mm depth

Mulch

The specified mulch for garden beds is to be an aged organic material with 60 - 80 percent of its volume being wood chips particles in a size range of 25 - 50 mm maximum. Mulch is to be spread at a consolidated depth of 75mm

Planting Procedure

If soil to planting hole is dry - fill with water and allow to drain completely. Tree roots are to be teased outwards if matted or circling occurs prior to backfilling. Place tree in centre of hole on firm soil to prevent sinking, ensuring top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Backfill material is to be in a loose, friable state, with no bricks, rocks or foreign material - if sufficient material is not available form the original hole to backfill, a similar soil type must be sourced and used. Soil material must be firmly backfilled in layers to prevent large air pockets from occurring, then thoroughly watered in. Trees to be staked with two 2250mm x 70mm hardwood stakes driven firmly into the ground - stakes must not be placed through the rootball area. Trees are to be secured to each stake with a strong, soft and flexible material, tight enough to support the tree in windy conditions - yet loose enough to stimulate development of a good supportive root system. Tree tie material must not injure tree bark or restrict trunk growth for a minimum period of three years. Slow release fertiliser (36 month formulation) such as 'Osmocote' is to be applied to the top of the rootball area away from the trunk / stem to manufacturers specifications and watered in immediately. All trees to be mulched to a diameter of 1200mm wide and to a depth of 100mm but must not be in contact with the tree trunk. Mulch is to be an aged organic material with 60 - 80 percent of its volume being wood chip particles in a size range of 25 - 50mm maximum. Mulch is to be spread at a consolidated depth of 75mm. The planting hole surface is to be shaped to minimise waterlogging/excessive water retention but retain the mulch material neatly. The site must be left in a clean and safe condition

Plant Establishment Period

The landscape is to be maintained by applying best horticultural practice to promote healthy plant performance for a 13 week establishment period following the approval of Practical Completion by the responsible authority including (but not limited to) the following tasks - Pruning as necessary to maintain plants in a healthy and structurally sound manner, pest and diseases - vegetation to be pest and disease free, mulching, staking and tying - 75mm mulch depth to be maintained around tree bases throughout maintenance period, watering - as often as necessary to ensure healthy and vigorous growth in accordance with current local watering regulations, weeding - maintained in a weed free state over the entire mulch area by spraying or mechanical mean, fertilising - 36 x monthly slow release fertiliser in accordance with manufacturers recommended application rates, replacement of deceased, stolen or vandalised plants beyond repair or regrowth with the same species as specified in the plant schedule within the assigned maintenance period

Irrigation

An in-ground automatic drip irrigation system to be installed to all garden areas and planter boxes (If applicable) in accordance with current local watering regulations

Timber Edging

Timber edging to be 75mm x 25mm treated pine secured to 300mm long treated pine stakes at nom. min 1000mm spacings with galvanised screws and installed to all junctions between garden beds, lawn and topping / pebble areas

Metal edging

proposed 150x5mm metal edging to all garden bed & grass interfaces > 250mm reo bars for support & spot weld joints.

Drainage

Landscape and / or building contractor(s) are responsible for civil and hydraulic computations for landscape building works including, but not limited to surface and sub surface drainage for all landscape areas prior to commencement of works

General

While care has been taken to select tree species with non-invasive root systems it is recommended that root control barriers be installed for any trees located within two metres of any building lines.

Climbing plants (If applicable) are to be trained to supportive mesh, wire or lattice fixed over entire fence section from base to top

Do not scale from plan - contractor to verify all dimensions on site prior to commencing construction

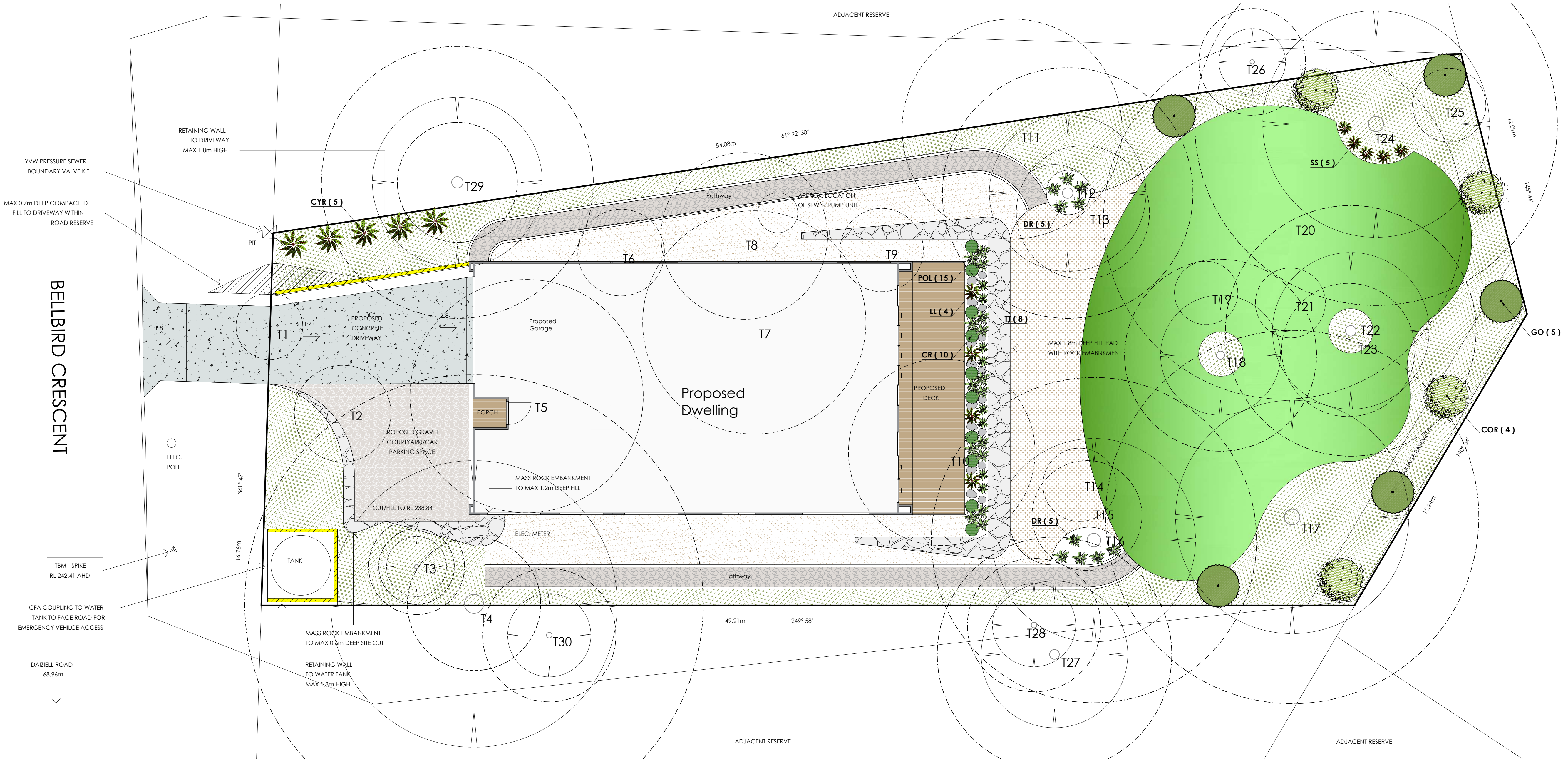
Plants - Quality of Trees and Shrubs

Trees and shrubs shall be healthy nursery stock free from insects, diseases and weeds. The specified plant heights, and pot sizes are minimums. If plant material is unavailable in these sizes, larger stock must be used. Plant substitution is not acceptable unless confirmed by the responsible authority in writing. The contractor is to supply and install semi mature trees which meet the following criteria: Have a minimum planted height to size as indicated in the plant schedule, have a minimum trunk calliper of 50mm at ground level, be undamaged and free of diseases and insect pests, not be root bound or have circling or girdling roots but have roots grown to the edge of - the container, should bear a single straight trunk, strong branching pattern, and full canopy, show healthy, vigorous growth

Protection of Existing Trees

All existing vegetation shown on the endorsed plan (subject site and neighbouring properties) to be retained must be clearly marked before any development (including demolition) commences on the land and that vegetation must not be removed, destroyed or topped without the written consent of the responsible authority. Before the commencement of works (including demolition) start, tree protection barriers must be erected around trees (subject site and neighbouring properties) to form a defined tree protection zone during demolition and construction in accordance with tree protection measures as per AS 4970-2009 (Tree protection in development sites)

Any pruning that is required must be carried out by a trained and competent arborist with a thorough knowledge of tree physiology and pruning methods to carry out pruning to the Australian standard - AS 4373-2007 (Pruning of amenity trees). All tree protection practices must be in accordance with a consulting arborist and / or to the satisfaction of the responsible authority



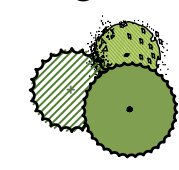
BELBIRD CRESCENT

TBM - SPIKE
RL 242.41 AHD

CFA COUPLING TO WATER
TANK TO FACE ROAD FOR
EMERGENCY VEHICLE ACCESS

DAIRILL ROAD
68.96m

Legend



Proposed evergreen shrubs

Proposed ground cover / low planting



Existing trees to be retained

Existing trees to be removed



Proposed lawn areas

Rock embankment



Proposed concrete driveway

Proposed toppings

Proposed gravel car park

Proposed rock edged pathway

Proposed timber decking

Mulch / existing grass and low level planting

Proposed gravel / crushed rock area

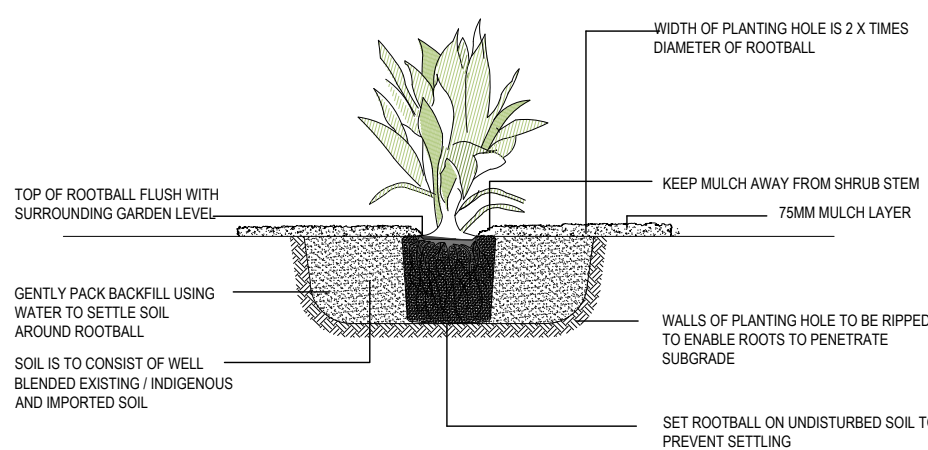
Proposed rocks

Proposed rain water tank

Fences with heights and material as nominated

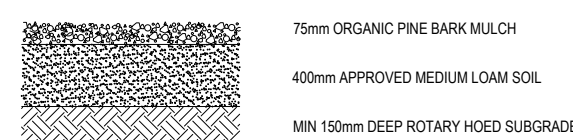
Shrub Planting

detail not drawn to scale

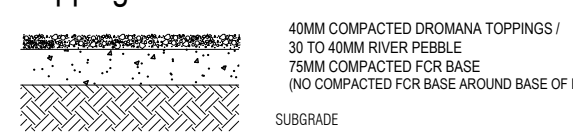


Surface Finishes Detail

Garden Beds



Topping / Pebble areas



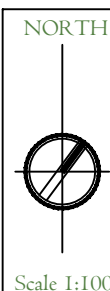
Lawn areas



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Plant Schedule

CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
SHRUBS					
COR	Correa alba	Coastal Correa	4	20cm pot	1.2m x 1.5m
CR	Correa reflexa	Common Correa	10	20cm pot	2m x 1.2m
GO	Goodenia ovata	Hop Goodenia	5	20cm pot	1.5m x 1.5m
TUSSOCKS / GRASSES / EVERGREEN PERENNIALS					
DR	Dianella revoluta var. revoluta	Black-Anther Flax-Lily	10	14cm pot	.6m x .6m
LL	Lomandra longifolia	Spiny Headed Mat Rush	4	14cm pot	1m x 1m
POL	Poa labillardierei var. labillardierei	Common Tussock Grass	15	14cm pot	.8m x .8m
SS	Senecio sepiens	Blue Chalksticks	5	14cm pot	.2m x .9m
TT	Themeda triandra	Kangaroo Grass	8	120cm pot	.8m x .8m
PALMS & CYCADS					
CYR	Cycas revoluta	Cycad	5	30cm pot	1.5m x 1.5m



PROJECT ADDRESS: 89 BELBIRD CRES EMERALD
DATE: 31 03 2025
SHEET SIZE: A1
DESIGNED BY: NJH/MA landscape Arch. UEL/UK
PROJECT NO. # L10692
REV # A
DRAWN BY: A.S.

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Landscape Plan