

Notice of Application for a Planning Permit

The land affected by the application is located at:	L1 TP519016 V6259 F762 38 Aura Vale Road, Menzies Creek VIC 3159
The application is for a permit to:	Buildings and works for an extension to an existing dwelling and the construction of two outbuildings.

A permit is required under the following clauses of the planning scheme:

42.01-2	Construct a building or construct or carry out works
35.06-5	Construct a building or construct or carry out works
44.06-2	Construct a building or construct or carry out works associated with accommodation

APPLICATION DETAILS

The applicant for the permit is:	BW & A National Building Consultants
Application number:	T240633

You may look at the application and any documents that support the application at the office of the Responsible Authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

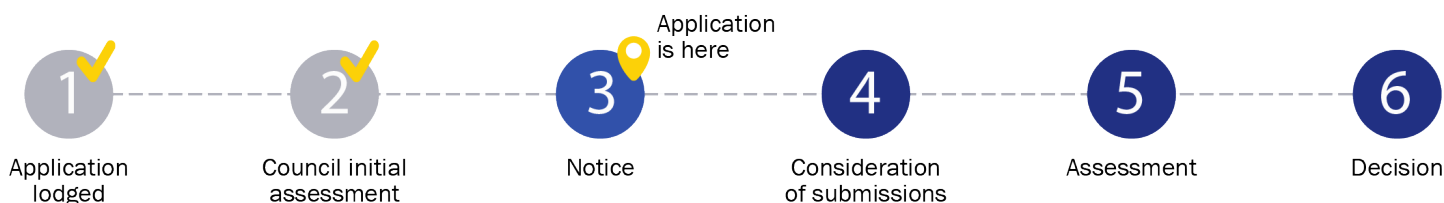
This can be done during office hours and is free of charge.

Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.



HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		03 June 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"> be made to the Responsible Authority in writing; include the reasons for the objection; and state how the objector would be affected. 	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



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Application Summary

Portal Reference A42439PX

Basic Information

Proposed Use	Development of two outbuildings and extension to existing dwelling (retrospective)
Current Use	Existing Dwelling
Cost of Works	\$85,000
Site Address	38 Aura Vale Road Menzies Creek 3159

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

☐ Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	[REDACTED] BW&A National Building Consultants	39 Pine Ave, Mildura VIC 3500	W: 03-5023-5136 E: planning@bwanational.com.au
Owner	[REDACTED]		
Preferred Contact	[REDACTED] BW&A National Building Consultants	39 Pine Ave, Mildura VIC 3500	W: 03-5023-5136 E: planning@bwanational.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 3 More than \$10,000 but not more than \$100,000	\$694.00	100%	\$694.00
Total			\$694.00

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Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
25-11-2024	Alteration statement	TP20240037 - Planning Submission - 38 Aura Vale Road Menzies Creek.pdf
25-11-2024	Site plans	38 Aura Vale Road, Menzies Creek (TP) @A1 (2).pdf
25-11-2024	Additional Document	25164 BMP 38 AURA VALE ROAD MENZIES CREEK V1.0Stamping.pdf
25-11-2024	Additional Document	25164 BMS 38 AURA VALE ROAD MENZIES CREEK V1.0.pdf
26-11-2024	A Copy of Title	TP20240037 - Title - 26-11.pdf
26-11-2024	A Copy of Title	TP20240037 - POS 26-11.pdf

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	
Submission Date	28 November 2024 - 08:51:AM

Declaration

☒ By ticking this checkbox, I declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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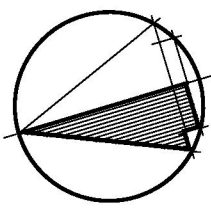
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PRIOR TO ANY PLANNING, CONSTRUCTION, OR DEMOLITION RELATING TO
THIS SITE, A TITLE RE-ESTABLISHMENT SURVEY SHOULD BE CARRIED OUT BY A
LICENSED LAND SURVEYOR TO DETERMINE THE EXACT LOCATION OF THE
TITLE BOUNDARY WITH RESPECT TO THE EXISTING FENCING.

THIS PROPERTY IS IN A TERMITE PRONE AREA.
PROTECTION IS REQUIRED IN ACCORDANCE WITH
THE BUILDING CODE OF AUSTRALIA AND AS3660.1

ALL DOWNPIPES AND DRAINAGE PIPES TO BE
CONNECTED TO LEGAL POINT OF DISCHARGE AS
PER LOCAL AUTHORITIES REQUIREMENTS

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EXISTING SITE PLAN
SCALE 1:500

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EXISTING CONDITIONS PLAN

PROPOSED ADDITIONS & ALTERATIONS

[Redacted text]

NOTES Contractors are to verify all dimensions on site before commencing any work.
Any discrepancies to be referred to iCad Drafting & Design for rectification.
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Amendments	Checked	Date	Survey Details
A. Amended to Council's Request	B.L	13/01/25	Engineering Details

Building Practitioner No: Do Not Scale.		Drg.No. 24-17 A
Designed	L.H / B.L	
Checked	L.H	Date Jan 2025
Scale AS SHOWN @ A1	Sheet 1 of 4	

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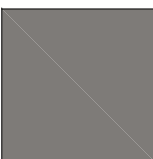
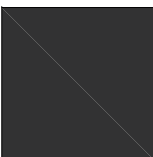

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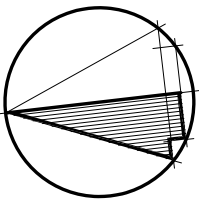


AREA SCHEDULE

EXISTING RESIDENCE	94.32m ²	(10.15 sq's)
EXISTING VERANDAH (removed)	10.97m ²	(1.18 sq's)
PROPOSED ADDITIONAL FLOOR AREA (illegal works)	51.55m ²	(1.18 sq's)
TOTAL FLOOR AREA	145.87 m ²	(16.67 sq's)
PROPOSED DECK	37.73 m ²	(4.06 sq's)
OUTBUILDINGS (illegal works)		
EXISTING SHED	98.70m ²	(10.62 sq's)
EXISTING CHICKEN COOP	47.23m ²	(5.08 sq's)
SITE AREA	751.06 m ²	(80.84 sq's)

Finishes /Materials Schedule

-  MAS-01: BRICK
Recycled Red Bricks
-  WALL CLADDING (ADDITION) Hardies
Axon Woodgrain (133mm) Colorbond
Monument colour
-  WALL CLADDING (ORIGINAL HOUSE)
Painted Colorbond (Wallaby)
-  ROOFING
Colorbond Roof Sheetting (Monument)
-  Window Frames
Colour: Black Aluminium (Double Glazed)



PROPOSED SITE PLAN

SCALE 1:200

EXISTING CONDITIONS PLAN

PROPOSED ADDITIONS & ALTERATIONS
at 38 Aura Vale Road, Menzies Creek
for Jayden Turclicovic & Ashley Hammersley

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Building Practitioner No:
Do Not Scale.

Designed	Drg.No.
Drawn L.H / B.L	24-17 A
Checked L.H	Date Jan 2025
Scale AS SHOWN @ A1	Sheet 2 of 4

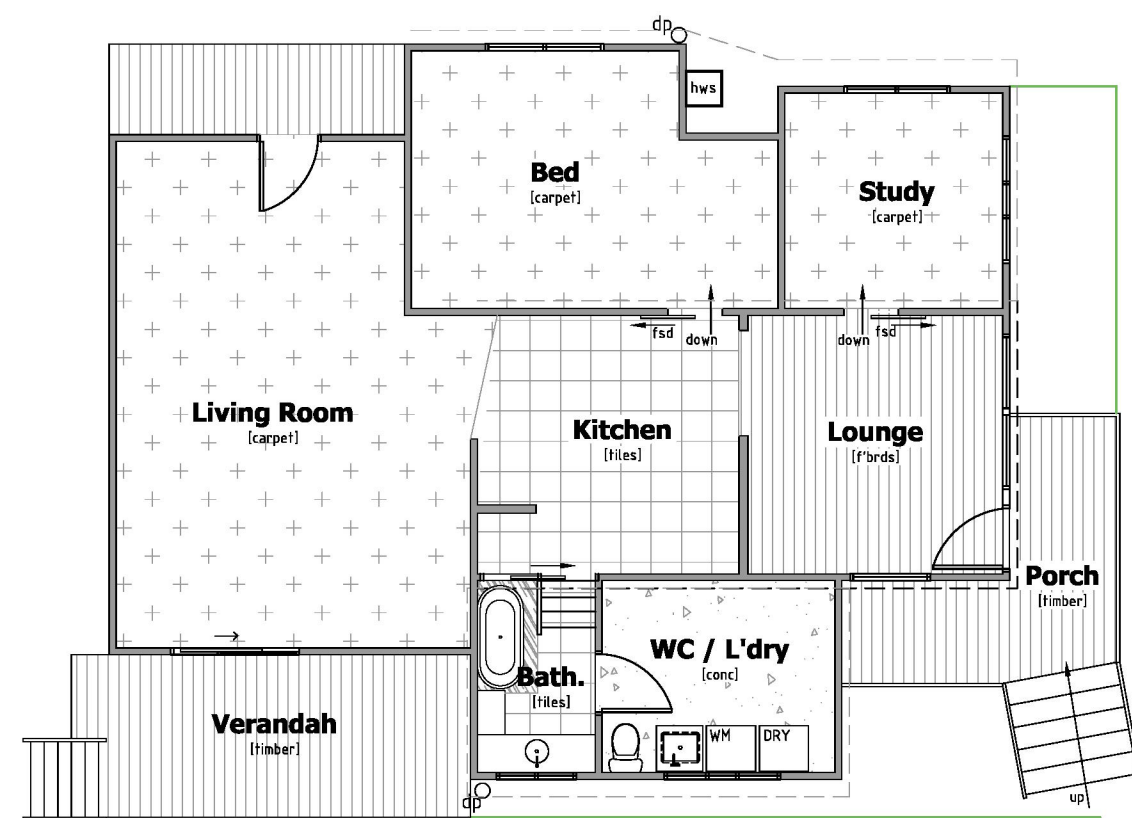


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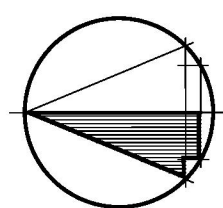
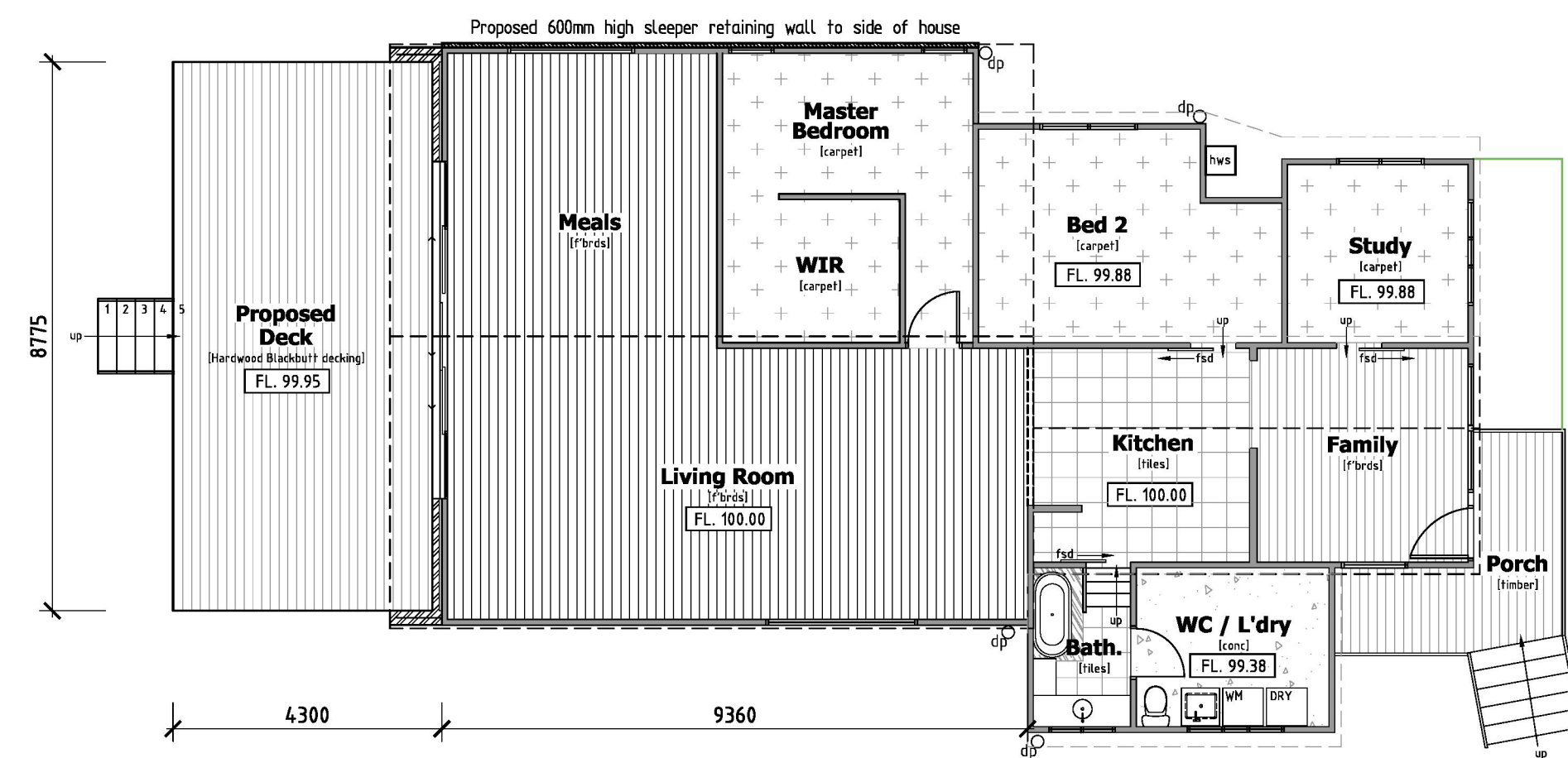
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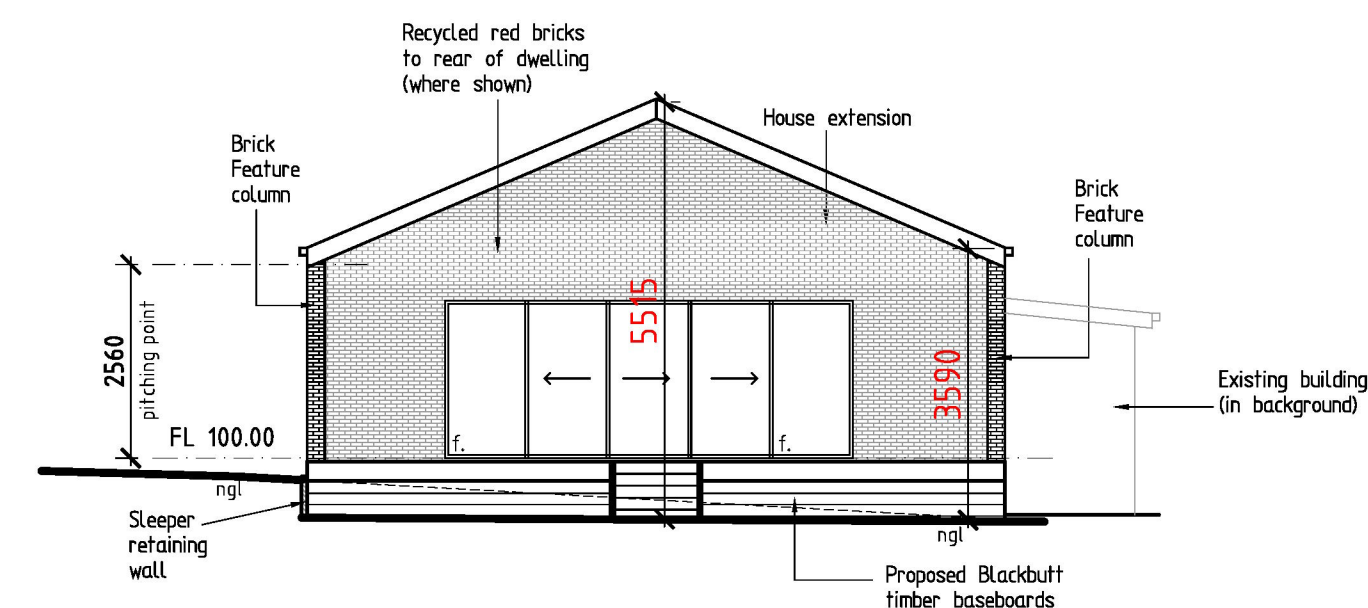
EXISTING FLOOR PLAN (PRE-ILLEGAL WORKS)

SCALE 1:100



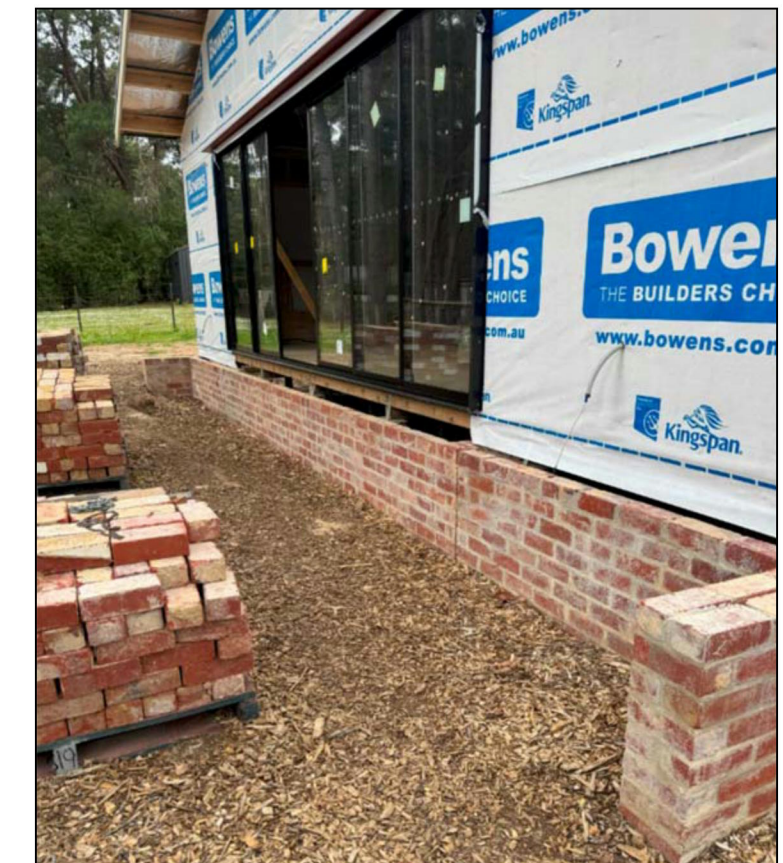
PROPOSED FLOOR PLAN

SCALE 1:100



PROPOSED NORTH ELEVATION

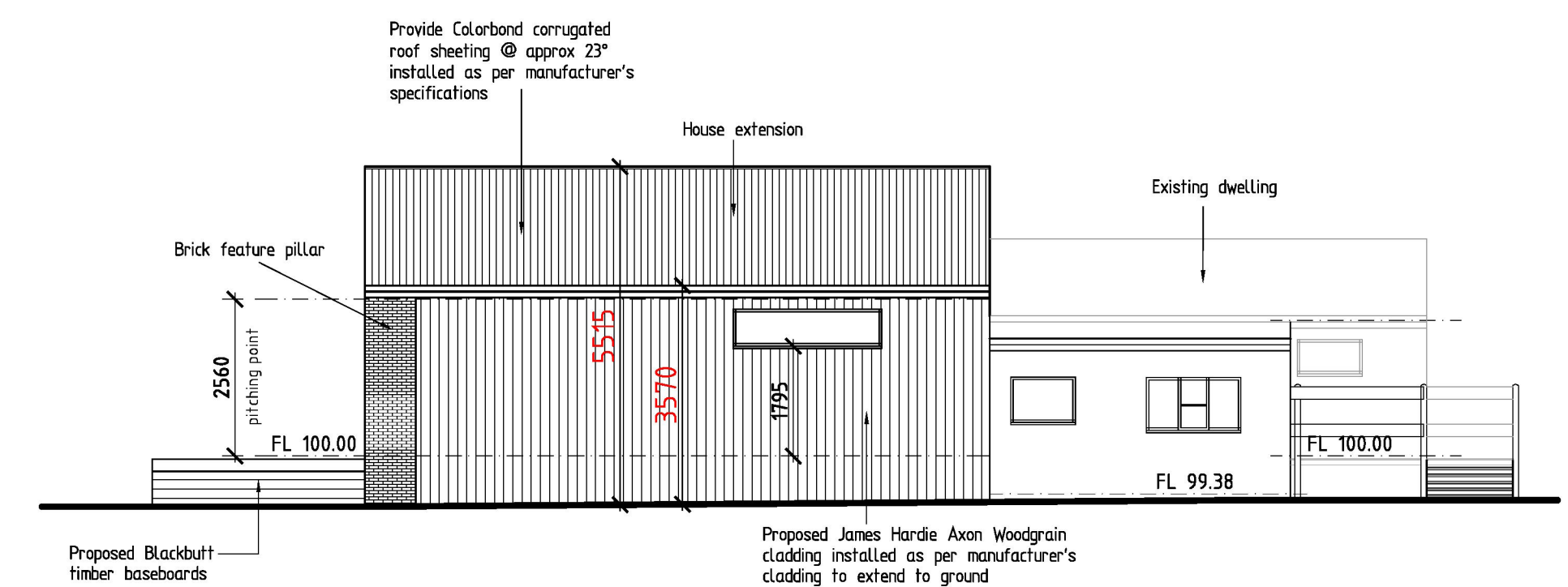
SCALE 1:100



CURRENT NORTH FACING ELEVATION
(UNDER CONSTRUCTION)

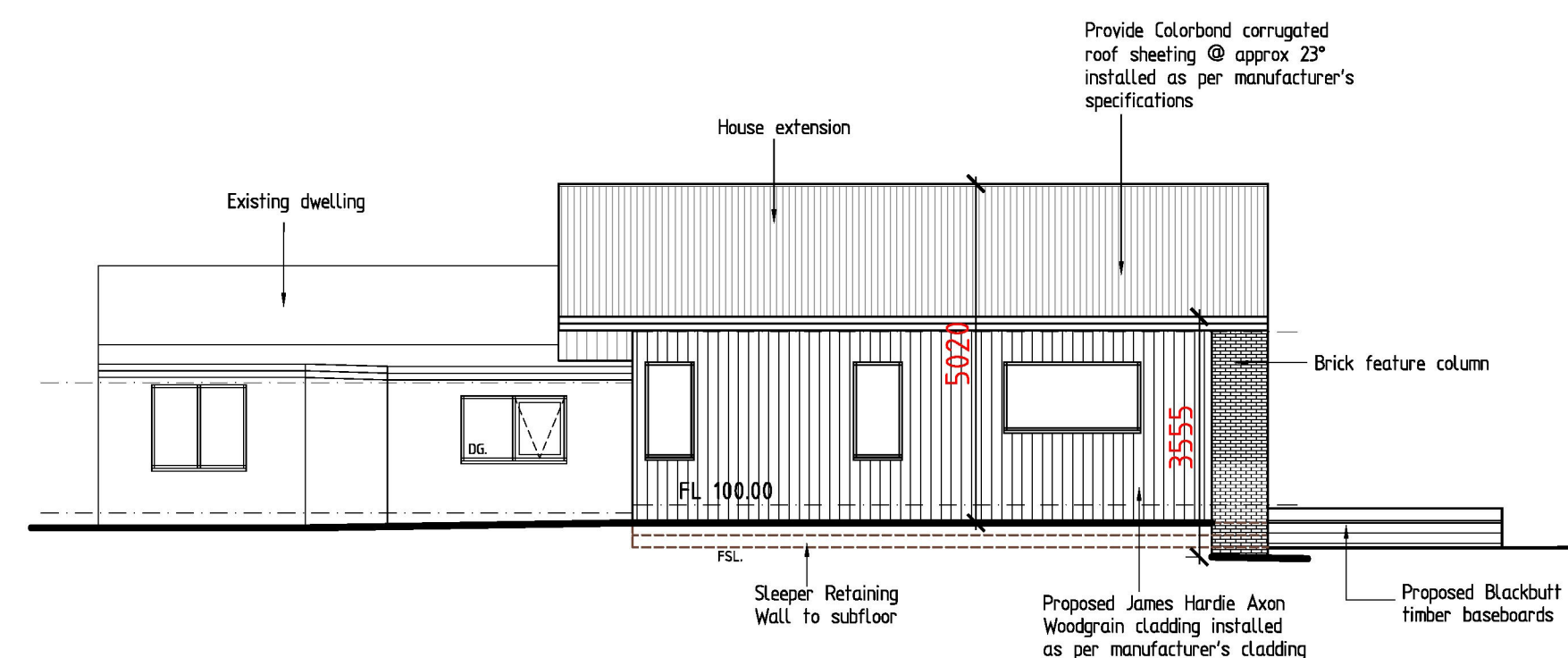


CURRENT EAST FACING ELEVATION
(UNDER CONSTRUCTION)



PROPOSED EAST ELEVATION

SCALE 1:100



PROPOSED WEST ELEVATION

SCALE 1:100

EXISTING CONDITIONS PLAN

PROPOSED ADDITIONS & ALTERATIONS

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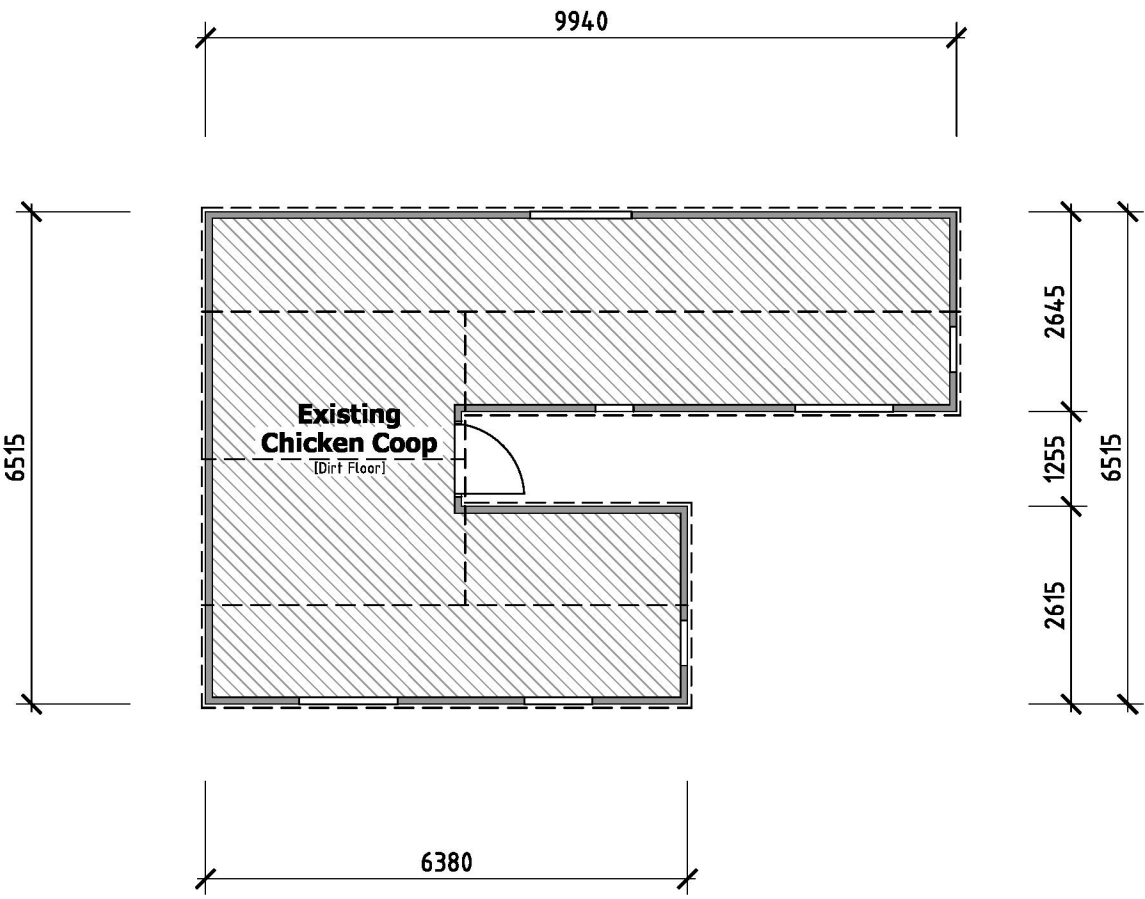
Building Practitioner No:
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Designed	Drawn	Checked	Scale	Drg.No.	Date	Sheet
	L.H / B.L	L.H	AS SHOWN @ A1	24-17 A	Jan 2025	3 of 4

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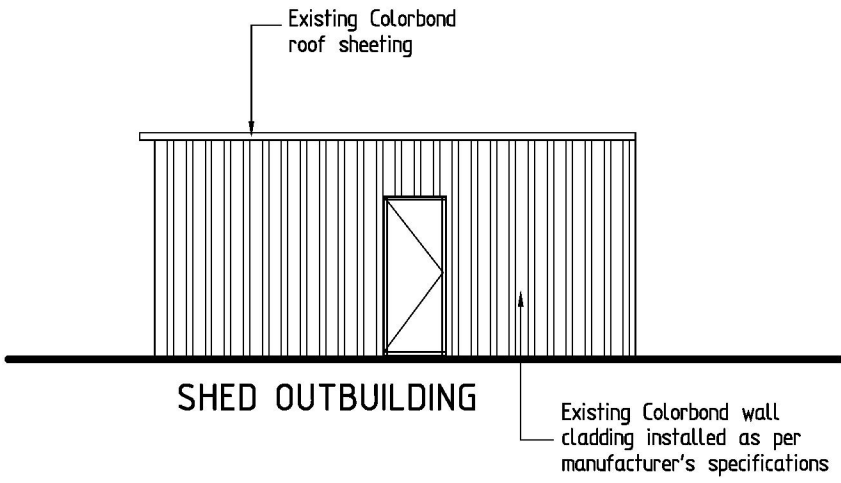
ALL DOWNPIPES AND DRAINAGE PIPES TO BE CONNECTED TO LEGAL POINT OF DISCHARGE AS PER LOCAL AUTHORITIES REQUIREMENTS



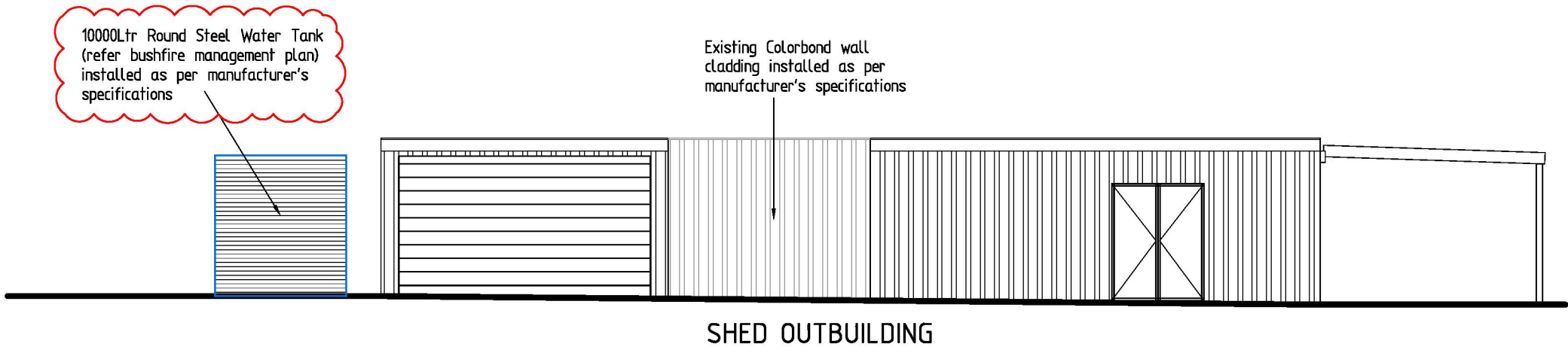
CHICKEN COOP FLOOR PLAN
SCALE 1:100



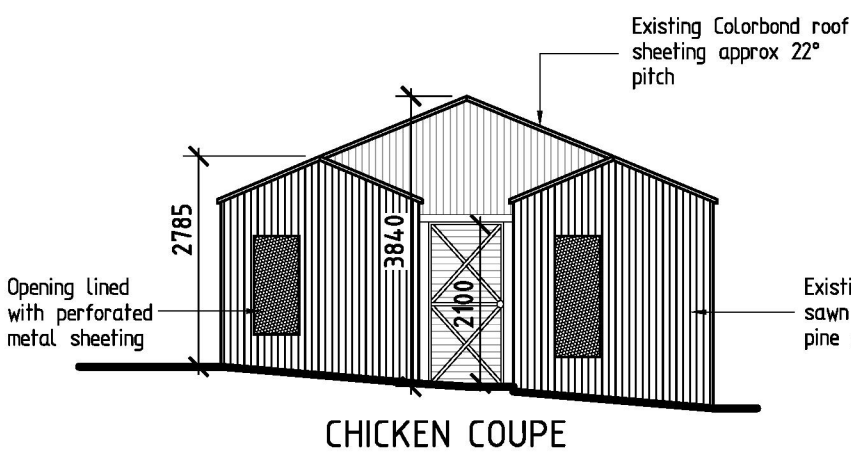
CURRENT SOUTH FACING ELEVATION



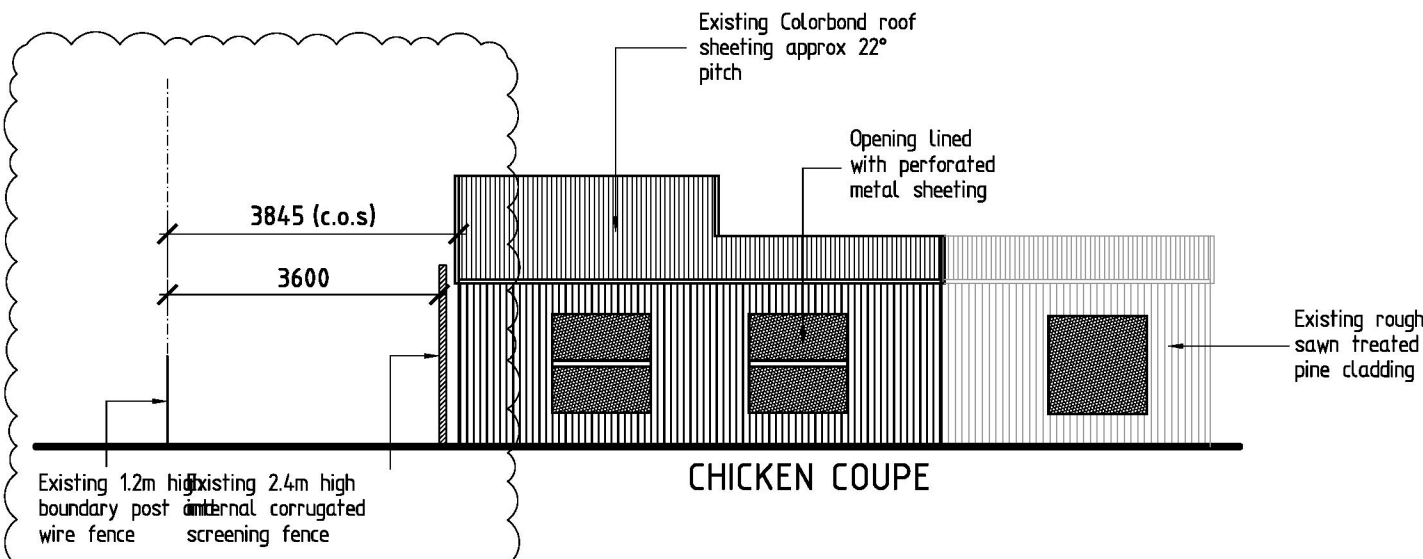
SHED SIDE ELEVATION
SCALE 1:100



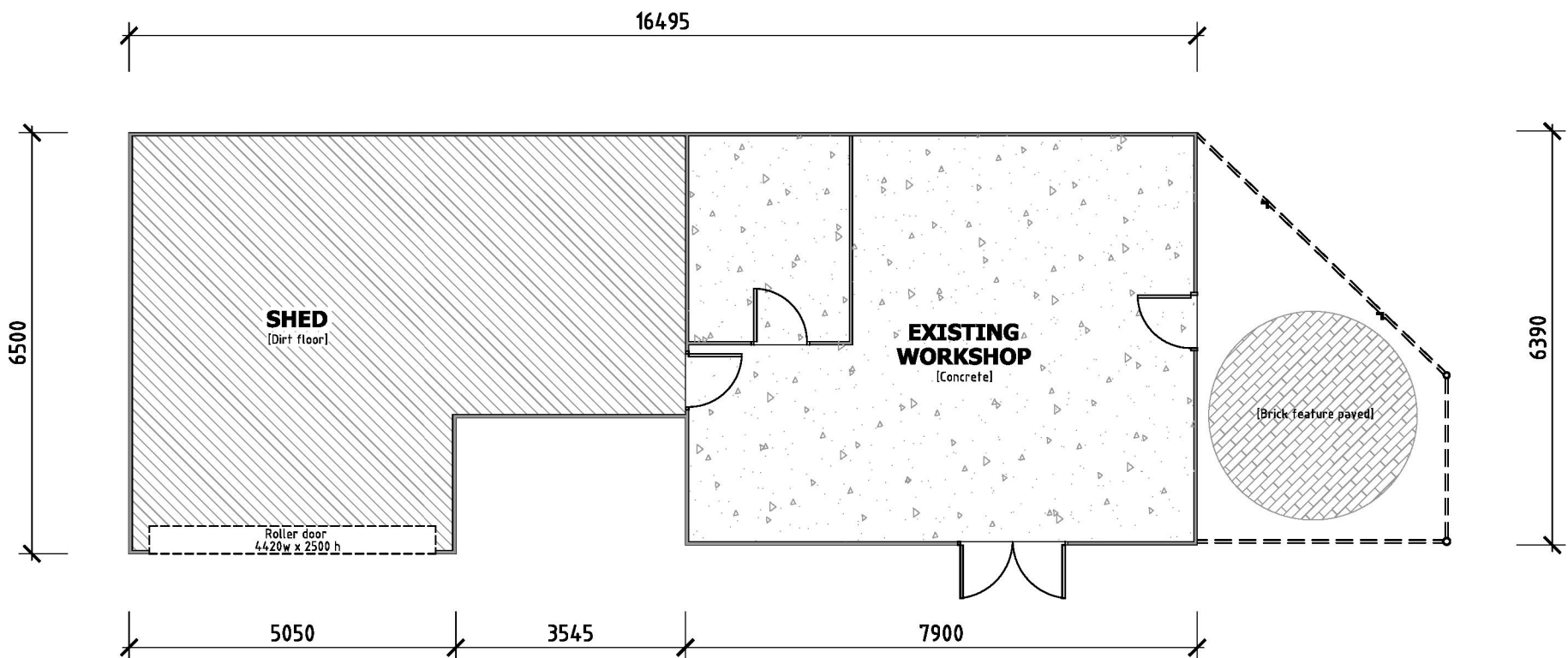
EXISTING SHED FRONT ELEVATION
SCALE 1:100



FRONT ELEVATION
SCALE 1:100



SIDE ELEVATION
SCALE 1:100



EXISTING SHED FLOOR PLAN
SCALE 1:100

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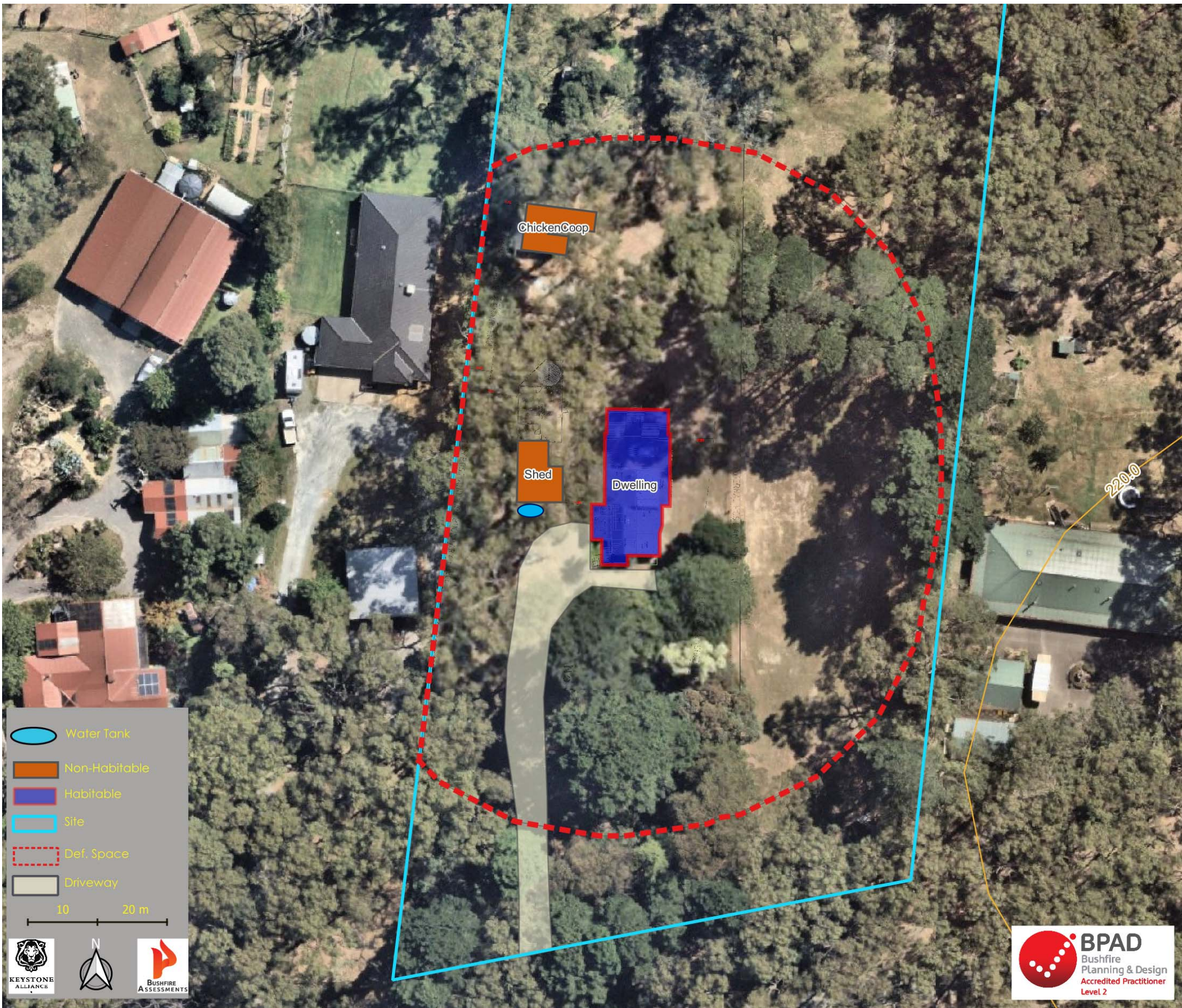
EXISTING CONDITIONS PLAN

PROPOSED ADDITIONS & ALTERATIONS
at 38 Aura Vale Road, Menzies Creek
for [REDACTED]

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Building Practitioner No: Do Not Scale.		Drg.No. 24-17 A
Designed	L.H / B.L	
Checked	L.H	Date Jan 2025
Scale AS SHOWN @ A1	Sheet 4 of 4	



Bushfire Protection Measures

Mandatory Condition
The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

a) Construction Standard for all buildings.
Building designed and constructed to a minimum Bushfire Attack Level of BAL 29

b) Defendable Space
Defendable space for a distance of 39m around the proposed building (or to the property boundary, whichever is the lesser distance) must be provided where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 meters.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

c) Water Supply
The following requirements apply:

- An effective capacity of 10,000 litres
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64-millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

d) Access
Access Required: Yes
The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of nom more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.10) entry and exit angle.

Length of access is greater 100 metres: No
• A turning circle with a minimum radius of eight metres, or
• A driveway encircling the building, or
• The provision of other vehicle turning heads – such as a T or Y Head-which meet the specification of Austroad Design for an 8.8 metre service vehicle.

Length of driveway is greater than 200 metres: No
Where length of access is greater than 100 metres the following design and construction requirements apply:

- Passing bays are required at least every 200 metres that are a minimum 20 metres long and a minimum trafficable width of 6 metres.

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Reference: TP20240037

Planning Report for 38 Aura Vale Road, Menzies Creek



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Proposal

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This application seeks a planning permit for the development of two outbuildings and extension to an existing dwelling (retrospective). Following are the details of the proposal in accordance with the submitted plans including the site plan:



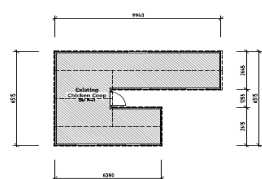
EXISTING SITE PLAN
SCALE 1:200

AREA SCHEDULE		
EXISTING RESIDENCE	94.32m ²	(10.75 sq m)
EXISTING VERANDAH (unverandah)	10.97m ²	(1.18 sq m)
PROPOSED ADDITIONAL FLOOR AREA (legal works)	51.55m ²	(5.55 sq m)
TOTAL FLOOR AREA	145.87m ²	(16.67 sq m)
PROPOSED DECK	37.73m ²	(4.06 sq m)
OUTBUILDINGS (legal works)		
EXISTING SHED	98.70m ²	(10.62 sq m)
EXISTING CHICKEN COOP	47.23m ²	(5.08 sq m)
SITE AREA	151.06m ²	(16.84 sq m)

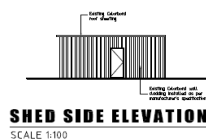
Finishes /Materials Schedule	
	MAS-01: BRICK Recycled Red Bricks
	WALL CLADDING (ADDITION) Hardies Axon Woodgrain (133mm) Colorbond Monument colour
	WALL CLADDING (ORIGINAL HOUSE) Painted Colorbond (Wallaby)
	ROOFING Colorbond Roof Sheetting (Monument)
	Window Frames Colour: Black Aluminium (Double Glazed)

- An outbuilding having an overall area of 98.70m². It is setback 7.76m from the western boundary and located to the west of the dwelling. It is made with colorbond in monument colour with a roller door at the front. It will be used for storage and workshop purposes.
- An outbuilding (chicken coop) having an overall area of 98.70m². It is setback 5.59m from the western boundary and located to the north-west of the dwelling. It is made with colorbond in monument colour with a door at the front.

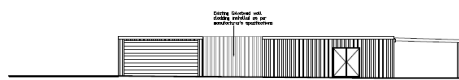
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CHICKEN COOP FLOOR PLAN
SCALE 1:100



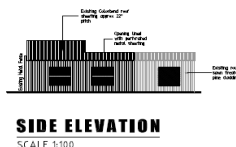
SHED SIDE ELEVATION
SCALE 1:100



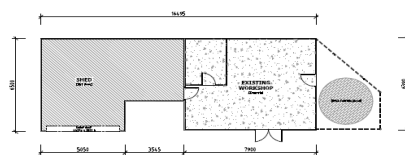
SHED FRONT ELEVATION
SCALE 1:100



FRONT ELEVATION
SCALE 1:100



SIDE ELEVATION
SCALE 1:100



SHED FLOOR PLAN
SCALE 1:100

- The extension to the dwelling is located to the rear of the dwelling comprising extended meals and living area and deck. The area of the proposed extension to the dwelling is 51.55m² and the area of the deck to the rear is 37.73m². It is setback 8.84m from the northern boundary of the lot. The colours and materials are shown on the site plan above.

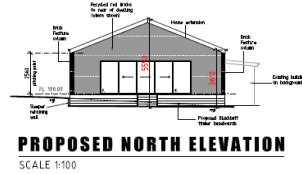
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THIS PLAN SHOULD NOT BE VIEWED AS A RE-ESTABLISHMENT OF TITLE PLAN PRIOR TO ANY PLANNING, CONSTRUCTION, OR DEMOLITION RELATING TO THE SITE. A TITLE RE-ESTABLISHMENT SURVEY SHOULD BE CARRIED OUT BY A LICENSED LAND SURVEYOR TO DETERMINE THE EXACT LOCATION OF THE TITLE BOUNDARY WITH RESPECT TO THE EXISTING FENCING.

THIS PROPERTY IS IN A THUNDER PRONE AREA.
FENCING SHOULD BE ACCORDING WITH
THE FENCING CODE OF AUSTRALIA AND (2004:1)

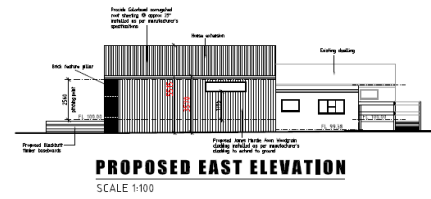
ALL DIMENSIONS AND COORDINATES MUST BE
CONVERTED TO LOCAL POINT OF DISCUSSURE AT
THE LOCAL AUTHORITY'S DISCRETION.



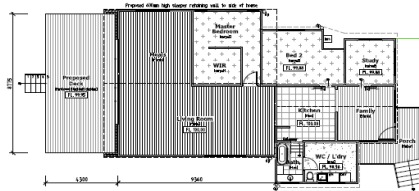
**EXISTING FLOOR PLAN
(PRE-ILLEGAL WORKS)**
SCALE 1:100



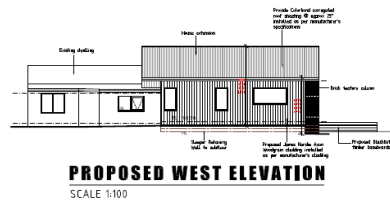
PROPOSED NORTH ELEVATION
SCALE 1:100



PROPOSED EAST ELEVATION
SCALE 1:100



PROPOSED FLOOR PLAN
SCALE 1:100



PROPOSED WEST ELEVATION
SCALE 1:100

No vegetation is required to be removed as part of the application.

Subject Site

Subject site is located on the north side of Aura Vale Road, comprising two contiguous allotments. The site is regular in shape having an area of approximately 1.88 hectares. Lot 1 TP519016 (subject to the application) currently contains a dwelling, setback approximately 60m from the front boundary. A couple of outbuildings associated with the dwelling are located within close proximity of the dwelling as shown on the site plan above. The site is significantly vegetated with the provision of native as well as exotic vegetation scattered within the entire site.

Surrounding area displays a rural residential character on various sized allotments comprising single dwellings with associated outbuildings on significantly vegetated lots.

Relevant Clauses

11.01-1S Settlement

Objective

To promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.

12.05-1S Environmentally Sensitive Area

Objective

To protect and conserve environmentally sensitive areas.

13.02-1S Bushfire Planning

Objective

To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

14.02-1S Catchment planning and management

Objective

To assist the protection and restoration of catchments, waterways, estuaries, bays, water bodies, groundwater, and the marine environment.

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16.01-3S Rural Residential Development

Objective

To identify land suitable for rural residential development.

21.02-2 Landscape

Objective

To recognise and protect the diverse landscape and areas of significant landscape value.

21.02-4 Bushfire Management

Objective

To recognise that areas in the municipality are prone to bushfire and to minimise the potential risk to life, property and the environment.

Siting and Design

Ensure all development has appropriately designed access for emergency vehicles.

Ensure development provides adequate access to water.

Encourage the use of roads as a buffer between housing and bushland.

21.03-5 Rural residential and rural living development

Relevant Objectives

To recognise the demand for rural residential and rural living development, and to provide for this development where it is closely integrated with an existing township or urban area.

To ensure development reflects a high quality of design and does not result in environmental degradation.

35.06 Rural Conservation Zone (Schedule 2)

Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To conserve the values specified in a schedule to this zone.
- To protect and enhance the natural environment and natural processes for their historic, archaeological and scientific interest, landscape, faunal habitat and cultural values.
- To protect and enhance natural resources and the biodiversity of the area.
- To encourage development and use of land which is consistent with sustainable land management and land capability practices, and which takes into account the conservation values and environmental sensitivity of the locality.
- To provide for agricultural use consistent with the conservation of environmental and landscape values of the area.
- To conserve and enhance the cultural significance and character of open rural and scenic non urban landscapes.

A permit is required for buildings and works under the zone.

42.01 Environmental Significance Overlay

Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

Schedule 1 Northern Hills – Statement of environmental significance

The hills to the northern part of the municipality (generally to the north of the Princes Highway) is an area with significant landscape and environmental values. The area is characterised by a geology of Devonian Granitic and Sulrian Sediment origin, moderate to steep slopes, and areas of remnant vegetation. These characteristics contribute to environmental values including landscape quality, water quality, and habitat of botanical and zoological significance. These characteristics are also a significant factor in terms of environmental hazards including erosion and fire risk.

The vegetation supports the ecological processes and biodiversity of this area by forming core habitat areas within a complex network of biolink wildlife corridors. Sites containing threatened flora and fauna are defined as being of botanical and zoological significance. Development within and around these sites need to be appropriately managed to

ensure the long-term protection, enhancement and sustainability of these ecological processes and the maintenance of biodiversity.

A permit is required under this overlay.

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44.06 Bushfire Management Overlay

Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

A permit is required under the overlay as the area of the extension to the dwelling will be greater than 50% of the gross floor area of the existing dwelling.

Assessment

Relevant planning policies are associated with bushfire, significant landscapes, biodiversity and vegetation. Policies include provision of development in established settlements that have capacity for growth having regard to complex ecosystems and landscapes of attractiveness.

The proposal ensures the protection and enhancement of important natural features. It does not result in an unreasonable impact upon landscape values and natural features of this area. It adds to the attractiveness of the area as the scale and design of the development is modest. The development is blend in within the environment as darker and muted tone colours have been proposed.

Local policy further highlights the significance of Northern Hills and surrounds, and the fact that preservation and enhancement of the natural environment is fundamental to the Shire's attractiveness and biodiversity value.

Clauses 13.02 and Clause 21.02-4 hold objectives and strategies for bushfire management. Clause 13.02 of the Planning Scheme prioritises the protection of human life over other provisions. The proposal is located on a property of high-level quality vegetation. The proposal meets the objectives and strategies of bushfire planning policies, by incorporating a bushfire management plan.

Policies in relation to landscape and vegetation protection seeks to ensure that development does not have any impact on the significant landscape of the Northern Hills. The proposal does not impact the landscape as the all the works are low key and setback behind dense vegetation. Muted tone colours are used for construction to assist the blending in of the development within the landscape.

The environmental conditions will not change significantly to accommodate the proposal, and the proposal continues to protect and enhance the environmental values given the overall scale of the development in relation to the size of the land is small. The existing dense vegetation along the boundaries provides adequate screening for the proposal to the adjoining dwellings and from the street. All the components of the proposal are located within 100m from the dwellings to the east and west. Existing vegetation along the boundaries and within the site provides adequate screening for the proposed and further the muted tone colours assist in blending the proposal within the landscape. In addition to this the existing screening fence within the site adjacent to the outbuildings provides reasonable screening without having unreasonable impacts on the amenity of the adjoining property to the west. The height of the structures does not result in any overshadowing or overlooking.

Bushfire Management Overlay is applied to areas with an identified bushfire hazard, which requires the Responsible Authority to ensure development is only permitted where risk to life and property from bushfire can be reduced to an acceptable level, prioritises the protection of human life and strengthens community resilience to fire. A bushfire management plan has been prepared for the dwelling extension which addresses the measures in relation to bushfire including access, defensible space and water for firefighting purposes.

No vegetation removal has been proposed for the proposal. The proposal does not impact the rural character of the area as the adjoining lots in the area are developed in similar manner. Such development is anticipated in the zone for various purposes in association with the residential use of the property. Existing dense vegetation on the site provides adequate screening for the development and the proposal is not visible from any key location sites. Darker muted tone colours have been used to assist the blending in of the development with the natural landscape. No additional wastewater is generated from the development as none of the components of the proposal involves any wastewater related facilities.

Bushfire Management Statement

Pathway 2

Property Address:

**38 Aura Vale Road Menzies Creek
3159**

Prepared for:

Date: May 2025

Ref# 25164/2.0

Prepared by

Bushfire Consultant

Post Graduate Diploma in Bushfire Protection
Western Sydney University

Assessing property in bushfire prone areas since 2010



Bushfire Assessments project: 25164/2.0

Bushfire Assessments

ABN 44 103 792 088

277 Plenty Road, Preston Vic

M: 0450 770 778

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Version Control

Version	Date		Name
1.0	22/11/2024	Analysis, mapping and report compilation	[REDACTED]s Manager, Bushfire Planning and Design
1.0	22/11/2024	Peer review	[REDACTED] Admin
1.0	22/11/2024	Bushfire Assessment and BMP reports	To client
2.0	14/05/2025	Includes Table 7 for non-habitable	To client

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1 Executive Summary

The assessment of this site was undertaken on **May 2025** to determine the Bushfire Attack Level (BAL) in accordance with the Victorian Planning Provisions and AS 3959-2018.

The site is a **residential** lot in a **Rural Conservation Zone** of **Cardinia Shire**

The parcel to be developed has a total area of approximately **3,989m²**.

We are seeking development approval to **construct, alter/extend a habitable and non-habitable building (dwelling, shed, chicken coop)**.

On-site and surrounding area vegetation within the 150m assessment area is classified as **forest**.

Classified vegetation **forest** on a **10° downslope** constructing with a **BAL 29** defensible space around the building is **39m**.

The area close to the site has a bushfire history, and in the event of a bushfire, the impact to the dwelling will be from **ember attack and radiant heat**.

There are several designated NSP in **Cardinia Shire** the **Emerald Worrell Reserve Oval and Car Park Areas** is the closest one.

A **10,000** -litre water tank will be required for firefighting purposes,

Access can meet BMO's access requirements (Appendix 4).



Figure 1 Aerial view of site highlighted parcel to be developed QGIS, data.vic.gov.au, google maps & nearmap

2 Introduction

The proposal seeks development approval to **construct, alter/extend a habitable and non-habitable building (dwelling, shed, chicken coop)** on the land known as; **38 Aura Vale Road Menzies Creek 3159**. The property comprises of one parcel as seen in *Figure 1 & Figure 2*

Keystone Alliance Bushfire Assessments has been engaged by; **Jayden Turcinovic** to provide a Bushfire Management Statement in accordance with Clause 44.06 Bushfire Management Overlay and 53.02 Bushfire Planning Requirements at which is to accompany the planning permit application lodged with **Cardinia Shire**.

This assessment describes the subject site and surrounding area in relation to the risk associated with the Bushfire Attack Level (BAL), together with the relevant planning controls, namely, Australian Standard 3959-2018, "Construction of buildings in bushfire-prone areas."

The parcel to be developed has **a rectangular** shape and an area of approx. **3,989m²** it is located approximately **4.0 km** via road, **west from Emerald's township** in one of **Cardinia Shire** rural areas. The property's static water supply will be from water tanks, it is provided with telecommunication services, is connected to the sealed road network via a compacted gravel road. Vehicular access to the land is via **Aura Vale Road**. (*as in Figures 1 & 2*)

The purpose of the report is to assist in a decision of issuing a planning permit for the construction of the proposed development in a Bushfire Management Overlay.

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3 Site Description

3.1 Site shape, dimensions, size and planning controls

Local government:	Cardinia Shire
Council Property Number:	2046801900
The shape of the site is:	rectangular
The dimensions of the site are:	Please refer to Image 2 Site area
The site has a total area of:	Approximately 3,989m ²
The zoning of the site is:	RURAL CONSERVATION ZONE (RCZ) (CARDINIA) RURAL CONSERVATION ZONE - SCHEDULE 2 (RCZ2) (CARDINIA)
The overlays that apply to the site are: Effected:	BMO & ESO

Assessed by: Paul Apostolos Oikonomidis



Figure 2 Property's area

QGIS data.vic.gov.au, google maps & nearmap

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4 Bushfire hazard site assessment

A vegetation hazard assessment was carried out within a 150m radius from the proposed development. Within this area our interest was directed on the type of vegetation surrounding the proposal the distance from the proposal and the effective slope it stood (see Figure 3 below).

Figure 3 Assessment Area



QGIS nearmap, google maps & data.vic.gov.au

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4.1 Hazard Assessment

The proposed development has been assessed under Victoria's Planning Provisions Clause 44.06, 53.02 and AS 3959 – 2018 "Construction of buildings in bushfire prone areas."

Plot	Vegetation Classification	Effective Slope (degrees)		Separation (m)	BAL	Defendable Space (m)
1	Class A - Forest	5-10	downslope	NA	BAL – 29	39
2	Modified	N/A	N/A	NA	BAL – 29	39 or PB
3	Class A - Forest	5-10	downslope	NA	BAL – 29	39
4	Modified	N/A	N/A	NA	BAL – 29	39 or PB

PB= property boundary

An assessment of the site conditions has categorized this site as **BAL-29** fire risk and a requirement of defendable space around the building is **39m**.

4.2 Vegetation

Forest

Trees 10–30 metres high with foliage cover in the range of 30 per cent to 70 per cent at maturity, predominantly dominated by Eucalypts. Sclerophyllous understorey (vegetation that has hard leaves and short internodes [the distance between leaves along the stem]), small trees, tall scrubs or tall shrubs. Forests generally have several layers of tiered vegetation arranged vertically extending from the surface to the canopy including a pronounced shrubby middle layer in addition to a taller canopy and an underlying layer of grasses, herbs or sedges. AS 3959 Method 1 cannot differentiate between open, closed, tall or short forest. It should all be classified as Class A Forest. Includes plantations, which are classified as Class A Forest.

Modified Vegetation

Much of the vegetation to the north and east of the site has been identified as 'modified vegetation' (see Map 2). Planning Practice Note 65 notes that modified vegetation can occur where fuel loads are high but the vegetation is modified because of urban development, gardens, the way the vegetation is configured (for example, limited or no understorey), or because the fuel loads are different from the fuel loads assumed by AS3959-2009 but the vegetation cannot be excluded as it is not low-threat or low-risk (DTPLI, 2014).

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4.3 Photos of Assessment Area



PLOT1 *vegetation*



PLOT1 *vegetation*

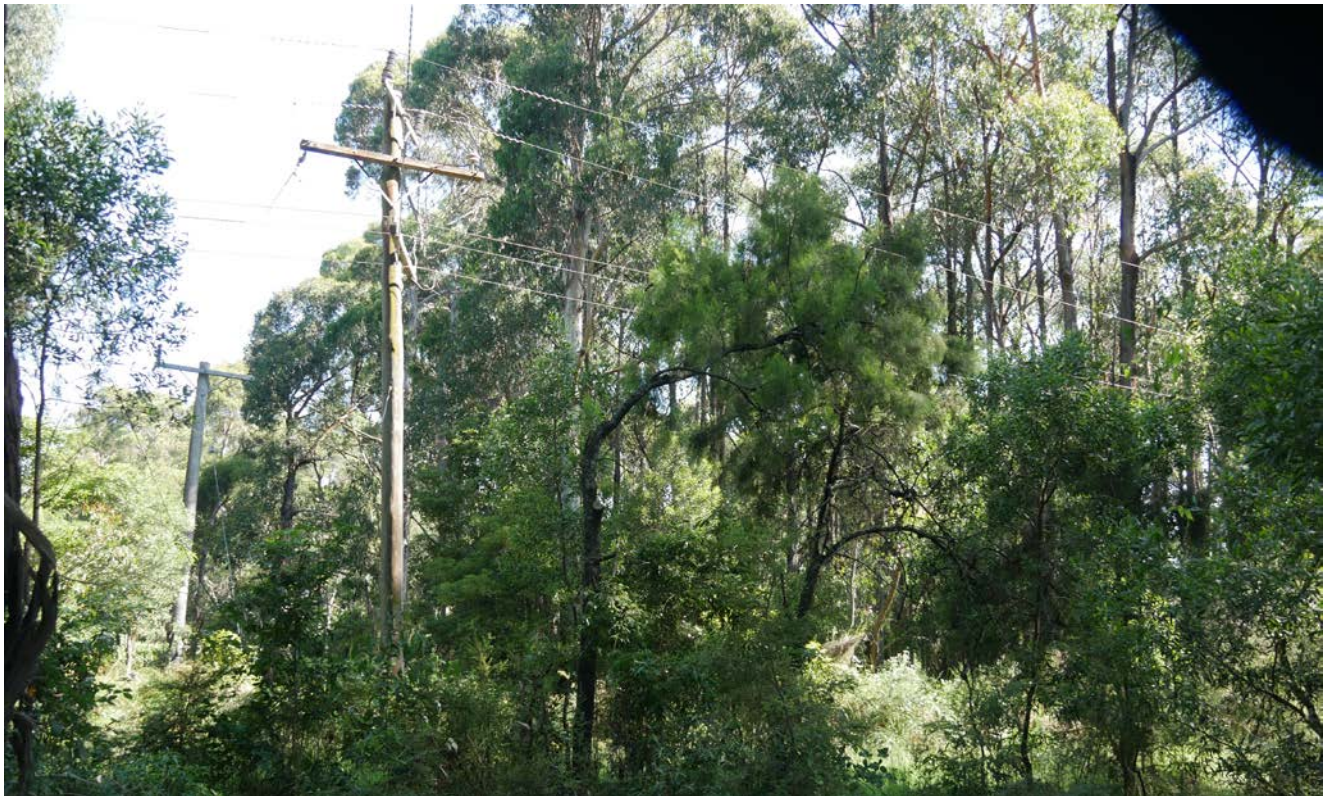


PLOT2 *vegetation*



PLOT2 *vegetation.*

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PLOT3 *vegetation*



PLOT3 *vegetation.*

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PLOT4 *vegetation*



PLOT4 *vegetation.*

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5 Bushfire Hazard Landscape Assessment

5.1 Location description

The area surrounding the subject site is known for its rural and semi-rural character, characterized by a mix of residential properties, farmland, and natural landscapes is located in an area of Victoria, known for its lush forests and natural beauty. The region experiences a temperate climate, with warm summers and cool winters. During the summer months, the area can be prone to bushfires, especially if dry conditions and strong winds are present.

When assessing the bushfire risk at any given time, it is important to consider factors such as weather conditions, topography, and the types of vegetation in the vicinity. From a bushfire perspective, the site is situated in an area that may be susceptible to bushfire risk due to its surroundings and the vegetation present in the region. It is known for its diverse landscapes, including farmland and bushland. Bushland regions contain a significant amount of fuel for fires, including trees, undergrowth, and leaf litter. The region experiences a climate with hot, dry summers and cool, wet winters, which can contribute to the potential for bushfires during the summer months.

Considering the siting of the proposal within the landscape, likelihood of a bushfire event is considered **possible**; signifying the threat could take place sometime in the future. The consequences from a bushfire event are indicated as **moderate**; with no fatalities, localized damage only, a significant financial loss, some medical treatment may be required including hospitalisations.

Due to the type & extent of vegetation surrounding the proposal a potential fire run can take place in extreme weather conditions. A landscape fire is possible approaching from the north or the south.

The main driveway access into the site is from **Aura Vale Road**. This is a dual carriageway, linking to **Menzies Creek's** closest CFA Fire Station located **1.5 km** via road on **Menzies Road** northeast of the entrance driveway.

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5.1.1 Location & Landscape Assessment

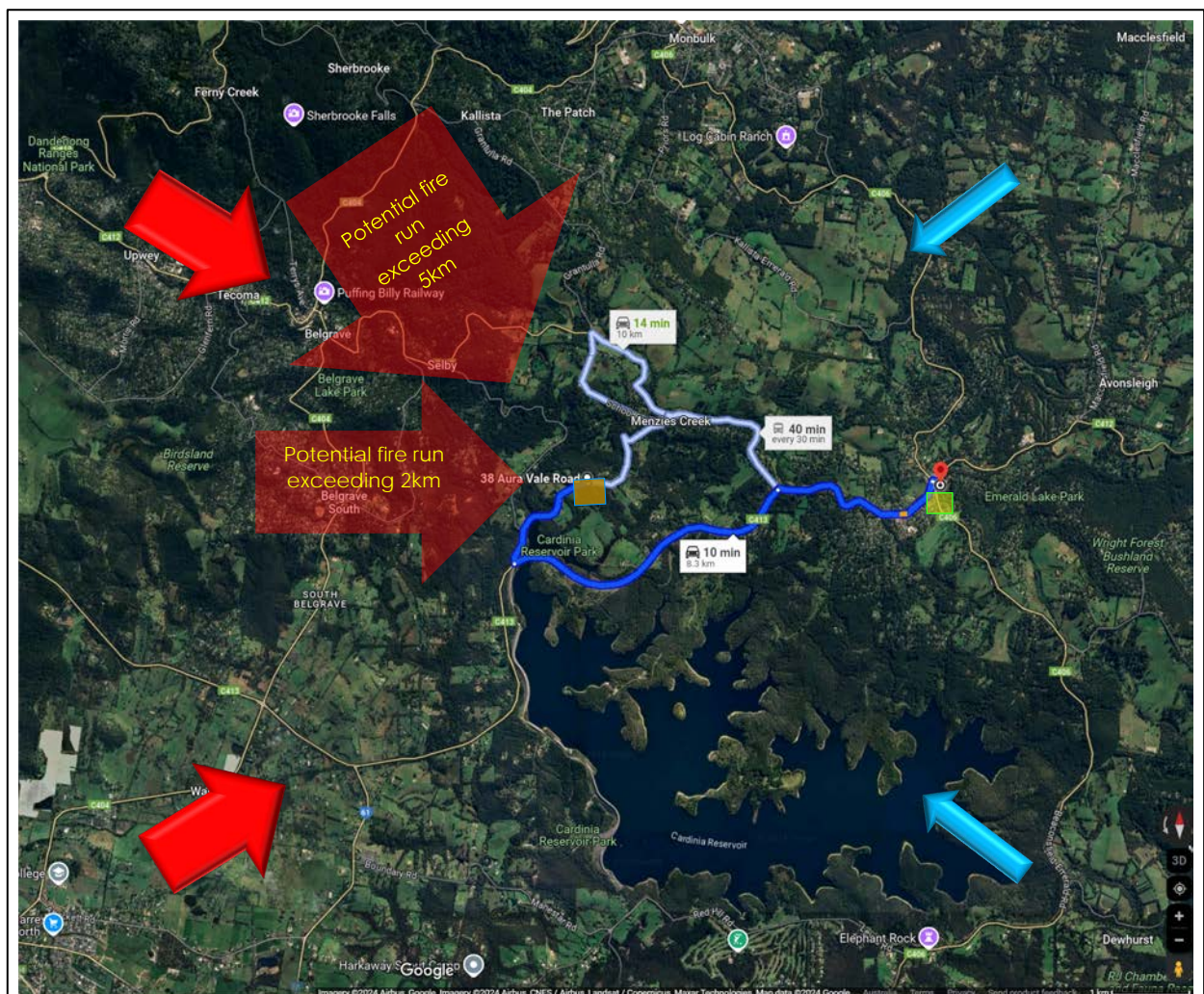






Figure 4 Location of site

Wind Directions	Proposal	Root to NSP	NSP
			
<p>Cardinia Shire has several designated Neighbourhood Safe Places (NSP). The Emerald Worrell Reserve Oval and Car Park Areas is the closest NSP at approx. 8.3km as you can see in <i>Figure 4</i> above.</p>			

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5.1.2 Landscape risk

Clause 13.05 stipulates that new development is only permitted where 'the risk to human life, property and community infrastructure from bushfire can be reduced to an acceptable level'. To assist in defining the risk, four 'broader landscape types', representing different risk levels are described in *"Planning Permit Applications Bushfire Management Overlay Technical Guide Sep. 2017"*.

The four types range from low risk landscapes where there is little hazardous vegetation beyond 150m of the site and extreme bushfire behaviour is not credible, to extreme risk landscapes with limited or no evacuation options.

The Technical Guide outlines four Landscape Types. The local landscape character surrounding the property is most attributable to Landscape **Type 2**;

Table 1- Landscape risk

Broader Landscape Type 1	Broader Landscape Type 2	Broader Landscape Type 3	Broader Landscape Type 4
<ul style="list-style-type: none"> • There is little vegetation beyond 150m of the site (except grasslands and low-threat vegetation). • Extreme bushfire behaviour is not possible. • The type and extent of vegetation is unlikely to result in neighbourhood-scale destruction of property. • Immediate access is available to a place that provides shelter from bushfire. 	<ul style="list-style-type: none"> • The type and extent of vegetation located more than 150 metres from the site may result in neighbourhood-scale destruction as it interacts with the bushfire hazard on and close to a site. • Bushfire can only approach from one aspect and the site is located in a suburban, township or urban m area managed in a minimum fuel condition. • Access is readily available to a place that provides shelter from bushfire. This will often be the surrounding developed area. 	<ul style="list-style-type: none"> • The type and extent of vegetation located more than 150 metres from the site may result in neighbourhood-scale destruction as it interacts with the bushfire hazard on and close to a site. • Bushfire can approach from more than one aspect. • The site is in an area that is not managed in a minimum fuel condition. • Access to an appropriate place that provides shelter from bushfire is not certain. 	<ul style="list-style-type: none"> • The broader landscape presents an extreme risk. • Evacuation options are limited or not available.

5.2 Bushfire History

Cardinia Shire areas are prone to bushfires, the area has been impacted by bushfires in the recent history, bushfires have been recorded in the wider area and in the immediate area surrounding the subject site.

Controlled burns have taken place, a wildfire history has been recorded in the wider areas surrounding the proposal as you can see on Map 2. The immediate area has a fire history, and the publicly available database indicates that the site itself hasn't experienced bushfire.

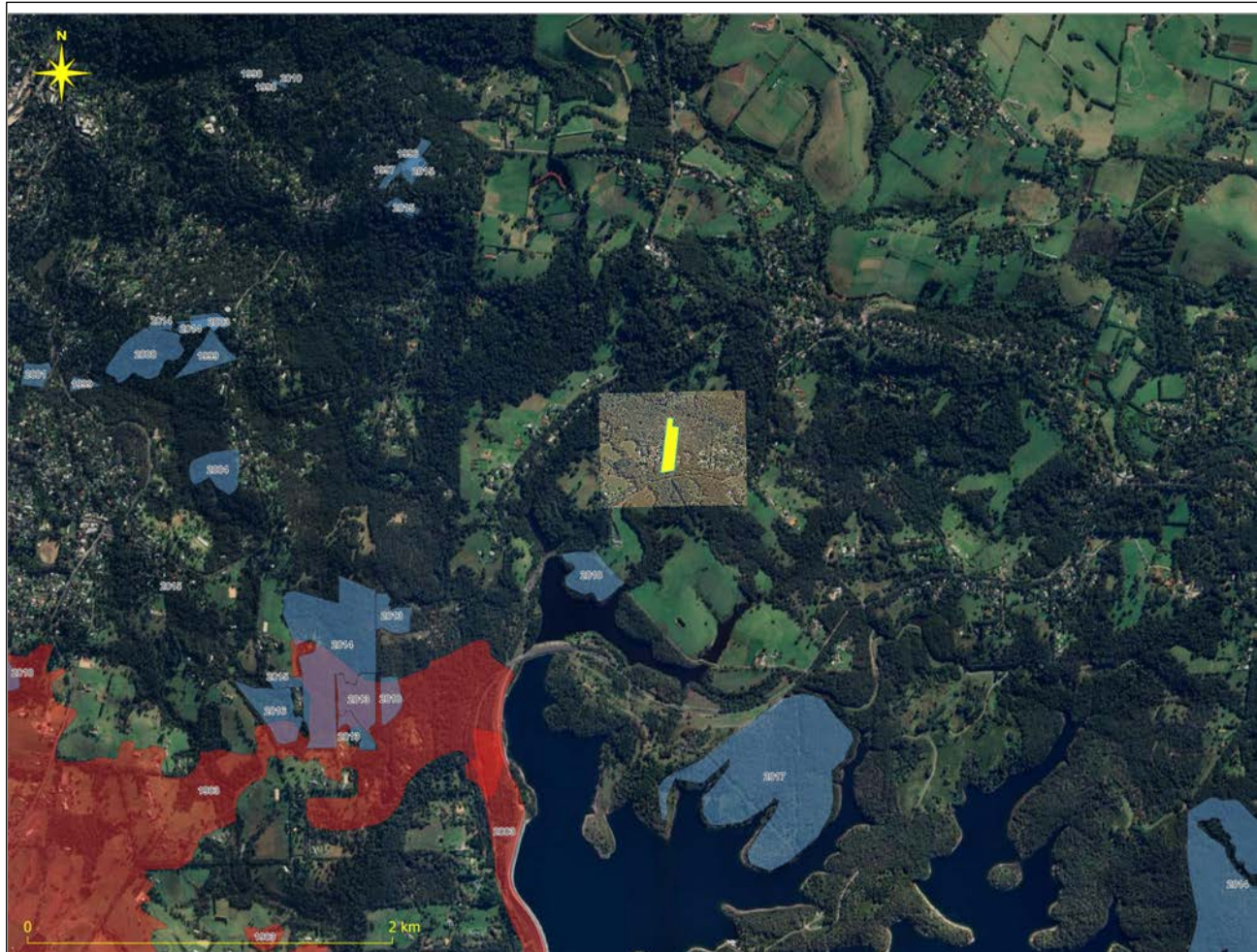


Figure 5 Bushfire history & planned burns around the proposal

QGIS data.vic.gov.au, google maps & nearmap



5.3 Bushfire Scenario

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The most likely bushfire scenarios are those typically associated with the direction of the wind on severe or higher, fire danger days i.e. approach of bushfire from the north, northwest, west or southwest.

Due to the configuration of the surrounding vegetation a bushfire burning for many hours and running across a landscape is not possible. A localised fire is possible and is made more likely due to the urban nature of the location and the potential for arson and illegal activities such as campfires or even a lightning. Any fire that starts may quickly take hold and impact on adjoining properties. The intensity of the bushfire will not be severe and it will not be sustained for any significant length of time.

Hazard vegetation in this occasion is located north from the proposal, the development site will be impacted upon by a landscape scale fire approaching from the west or northwest. A fire from these directions would approach through the forested areas of driven by hot, dry north, north-western winds commonly experienced during summer.

Whilst the north & western forested areas may temperate the speed and intensity of the fire before it impacted the site, under the BMO conditions of low humidity, elevated temperatures and fierce winds, the development could be subjected to significant ember attack and possibly radiant heat. The cleared areas around the development are a considerable asset in this scenario and substantially reduce the threat of radiant heat and flame impacts.

The forested areas to the north & west of the site are a potential hazard to the development and could result in a fire approaching from the north or west, generating significant ember attack and radiant heat.

Whilst the forested area, can cause substantial amounts of embers and burning material to be blown long distances, the development site is sufficiently setback from the hazard such that it will be able to provide appropriate defendable space, commensurate with the risk and proposed construction standard of the building.

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6 Bushfire Management Statement

6.1 Landscape, siting and design objectives

- Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.
- Development is sited to minimise the risk from bushfire.
- Development is sited to provide safe access for vehicles, including emergency vehicles. Building design minimises vulnerability to bushfire attack.

Compliance with these objectives at Clause 53.02-4.1 is proposed via the following Approved measures.

6.1.1 Approved measure 2.1 Landscape

'The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level'.

As identified in Section 5 the landscape is **not one** of extreme bushfire risk. Whilst a landscape scale bushfire could impact the site, the speed and intensity of a fire approaching from the **northwest**, will be somewhat moderated by residential land managed to low fuel levels surroundings of the proposal and of areas of low threat and/or non-vegetated areas.

To the **north & west** there are large contiguous **forested** areas and the possibility of a potential fire run in extreme weather conditions of high temperatures and low humidity is feasible.

It is proposed that the risk can be mitigated to an acceptable level by implementing bushfire protection measures in compliance with the BMO requirements including BAL construction standard, commensurate defensible space, provision of a water supply for firefighting, ensuring good access and egress are available for occupants and emergency services and, most importantly, management planning in the form of a Bushfire Emergency Management Plan.

6.1.2 Approved measure 2.2 Siting

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is in close proximity to a public road.
- Access can be provided to the building for emergency service vehicles.

The proposed development is **an alteration addition to an existing dwelling/ residential lot** with minimal opportunities for considering slope, aspect or orientation in lowering bushfire risk. The proposed **buildings alteration & addition** will be sufficiently distant to achieve **BAL-29** defensible space.

The building will be sufficiently distant from hazardous vegetation such that 'Table 2' to Clause 53.02-5 setbacks are achieved (please refer to Defensible Space Map 3).

The proposed development is close to a public road enabling access and egress in compliance with BMO requirements for emergency vehicles and occupants/visitors.

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6.1.3 Approved measure 2.3 Design

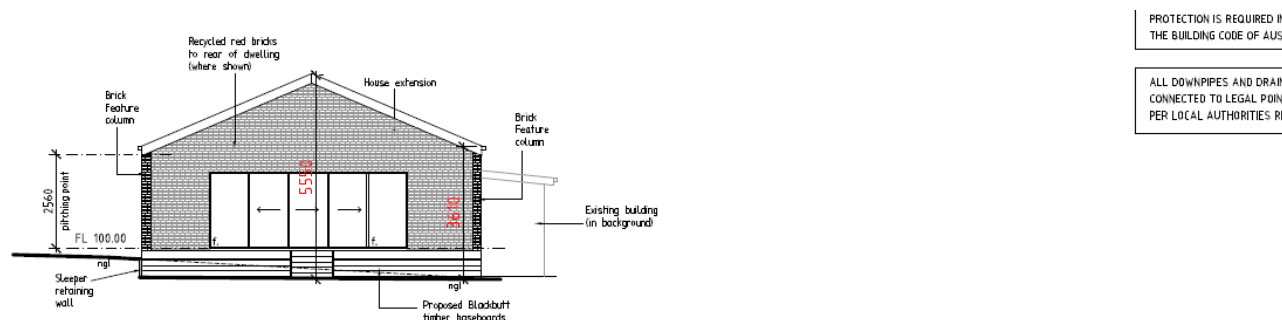
A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.

All BAL standards above BAL-Low are deemed to satisfy the building code requirement that buildings be designed and constructed to reduce the risk of ignition from a bushfire, appropriate to the:

- (a) 'potential for ignition caused by embers, radiant heat or flame generated by a bushfire; and
- (b) intensity of the bushfire attack on the building' (Building Code of Australia 2016).

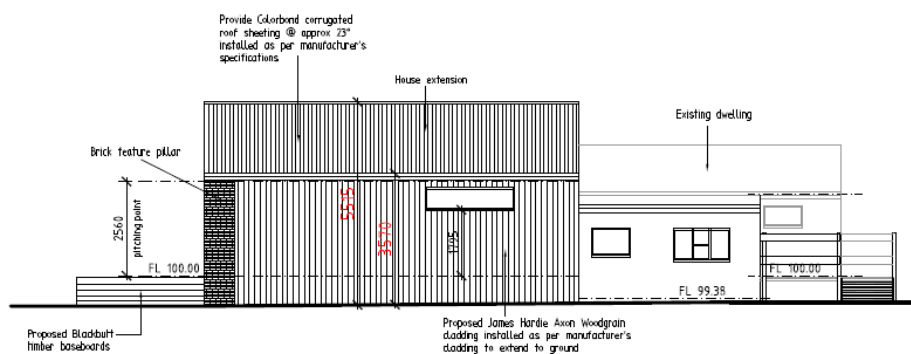
The design of the buildings will aim to facilitate wind flow over the building and easy maintenance (e.g. cleaning of gutters) and avoid complex roof lines which may allow build-up of debris (e.g. accumulation of leaves and bark) and trap embers. Walls and eaves should similarly avoid or minimise re-entrant corners and other features that may trap debris and embers.

The proposal will be constructed with a **BAL-29**.



PROPOSED NORTH ELEVATION

SCALE 1:100



PROPOSED EAST ELEVATION

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6.2 Defendable space and construction objectives

'Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings'.

Compliance with this objective is proposed via the following Approved and Alternative measures.

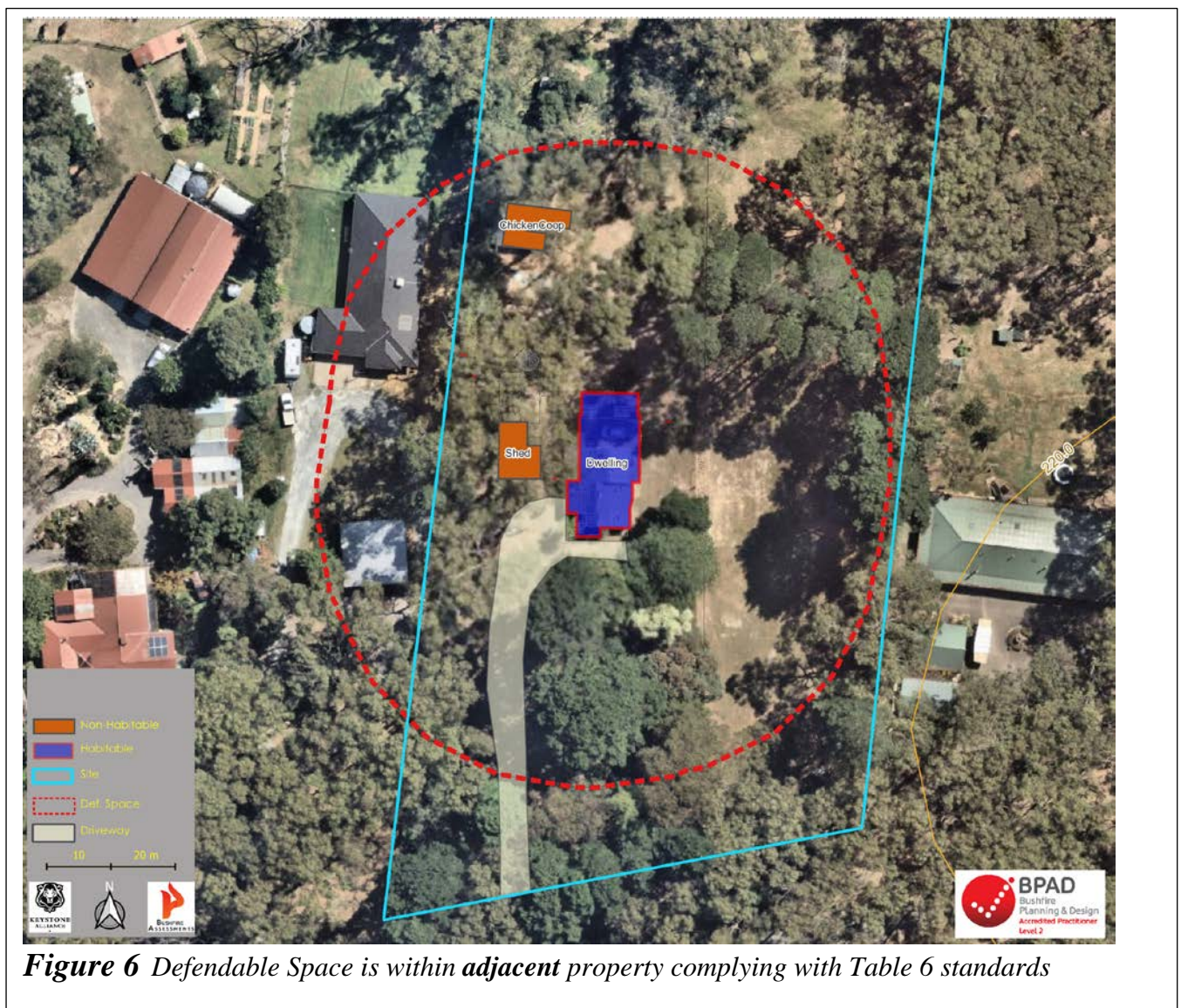
Approved measure 3.1 (AM 3.1) requires that: 'A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with defensible space in accordance with:

- Column A, B or C of Table 2 to Clause 53.02-5 wholly within the title boundaries of the land; or If there are significant siting constraints,
- Column D of Table 2 to Clause 53.02-5.

The building is constructed with a **BAL-29** the bushfire attack level that corresponds to the defensible space of **39m** provided in accordance with Clause 53.02-5 Table 2.

6.2.1 Building defensible space

The habitable building will be constructed with a **BAL-29** vegetation classified as **forest** on an effective slope of flat/upslope, required defensible space from classified vegetation is **39m** from the edges of the proposal as shown in *Figure 6* corresponding to Clause 53.02-5 Table 2.



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6.2.2 Adjoining property defensible space

Alternative measures 3.3 (AltM 3.3)

Adjoining land may be included as defensible space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defensible space.

Required vegetation setback of **39m** meters are achieved within **adjacent** property where vegetation is maintained to low fuel levels as in Clause 53.02-5 Table 6 standards.

6.3 Water supply and access objectives

'A static water supply is provided to assist in protecting the property.

Vehicle access is designed and constructed to enhance safety in the event of a bushfire'.

These objectives can be achieved via Approved measures 4.1 (AM 4.1):

'A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with:

- A static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-5.*
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5'.*

The water supply may be in the same tank as other water supplies if a separate outlet is reserved for firefighting water supplies.

It is proposed that a minimum total capacity of **10,000**-litres be provided as a dedicated static water supply for bushfire firefighting only.

Access

Internal roads will provide access in accordance with the vehicle access design and construction specifications in Table 5 to Clause 53.02-5 (detail provided as Appendix 4).

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7 Clause 13.02-1S Bushfire

Clause 13.02-1S Bushfire has the objective to “*strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life*”. This clause applies to land within the Bushfire Prone Area (BPA), BMO or proposed to be used or developed in a way that may create a bushfire hazard. Clause 13.02-1S contains five strategies to meet the objective, being:

- Protection of human life.
- Bushfire hazard identification and assessment.
- Settlement planning.
- Areas of high biodiversity conservation value; and
- Use and development control in a BPA.

This development addresses the requirements of Clause 13.02-1S in several ways. It is considered that the development can appropriately prioritise the protection of human life by ensuring that the proposed building within the development will not be exposed to a radiant heat flux of more than **29** kilowatts/square metre, which is commensurate to a BAL **29** construction standard.

The lot is **3,989** m² and is required to provide a minimum static water supply of **10,000** - litres as per Table 4 to Clause 53.02-5. Vehicles can easily access the development since it is on a main public road.

This report identifies the bushfire hazard and applies the standard site assessment methodology used in AS3959-2018 and Clause 53.02, which is applied to developments in the BMO and is based on the best available science. The bushfire modelling inputs that form the basis for this methodology factor in vegetation type (e.g., Woodland, Grassland), potential fuel-loads in a long-unburnt vegetation community, weather conditions on higher bushfire risk days (e.g. wind speed, fuel moisture content, days since last rainfall) and the effect of slope gradient on the way fire travels through unmanaged vegetation. The site assessment process and desktop assessment using GIS software has determined the most appropriate vegetation type and commensurate slope category for each section/aspect of unmanaged vegetation.

Non-vegetated areas such as dwellings, roads, driveways and footpaths are considered part of a landscape in which a building would be rated as BAL-LOW (AS3959- 2018). Occupants will be able to move towards areas rated as BAL-LOW by travelling in a generally **eastern** direction into a highly urbanised area, or at the more localised scale, directly **west** on **Aura Vale Road** leading to the closest NSP in **Emerald Worrell Reserve Oval and Car Park Areas**.

The CFA specify that areas where development should not proceed could include:

- Isolated settlements where the size and/or configuration of the settlements will be insufficient to modify fire behaviour and provide protection from a bushfire.
- Where bushfire protection measures will not reduce the risk to an acceptable level.
- Where evacuation (access) is severely restricted.
- Where the extent and potential impact of required bushfire protection measures may be incompatible with other environmental objectives or issues, e.g., vegetation protection, land subject to erosion or landslip’ (CFA, 2015).

None of these criteria or characteristics are applicable to the area of the proposed.

8 Overall Conclusion

The proposed development has been assessed under Clause 53.02 & AS 3959 – 2018.

An assessment of the site conditions & adjoining property has categorised this site as “**BAL 29**” fire risk, with Sections 3 & 7 utilised for the building construction under AS3959 and is subject to the recommendations outlined above.

The proposed development has been sited and designed to avoid on and off-site constraints. AS3959 2018’ Construction of buildings in a bushfire prone area’ describes **risk category for:**

- BAL – 12.5 as: “Ember Attack”
- BAL – 19 as: “Increasing levels of Ember Attack and burning debris ignited by wind borne embers with increasing heat flux between 12.5-19KW”
- **BAL – 29 as: “Increasing levels of Ember Attack and burning debris ignited by wind borne embers with increasing heat flux between 19-29KW”**
- BAL – 40 as: “Increasing levels of Ember Attack and burning debris ignited by wind borne embers with increasing heat flux with the increased likelihood of exposure to flames.
- BAL – FZ as: Direct exposure to flames from fire front in addition to heat flux and ember attack.

The final categorization of this site is subject to the relevant fire authority (CFA/MFB) review and approval.

Overall, the proposed development meets the requirements of the BMO and Clause 53.02– Bushfire Protection: Planning requirements.

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Appendix 1: BMO vegetation management standards

Clause 53.02.5 Table 6 Vegetation management requirement

Vegetation management requirement

Defendable space is provided and is managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3 metres of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Unless specified in a schedule or otherwise agreed in writing to the satisfaction of the relevant fire authority.

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Appendix 2: BMO static water supply requirements

Table 4 from Clause 53.02-5

Table 4 Water supply

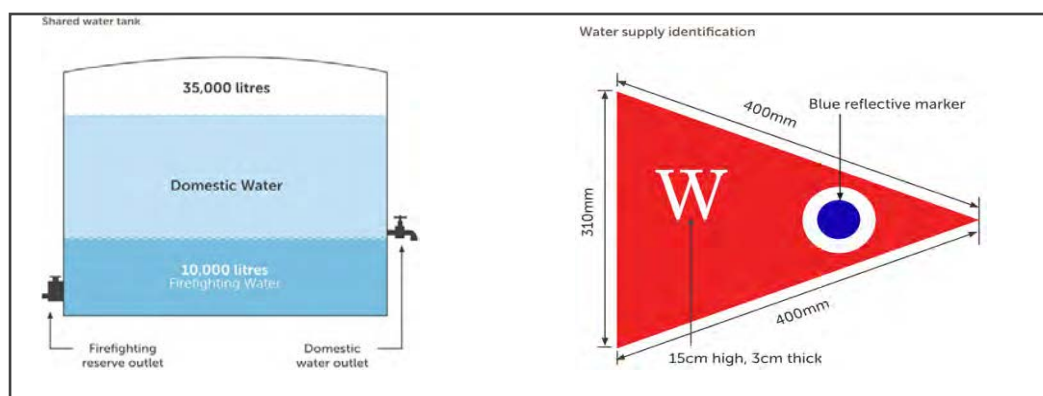
Lot sizes (square meters)	Hydrant available	Capacity (litres)	Fire authority fittings and access required
Less than 500	Not applicable	2,500	No
500-1,000	Yes	5,000	No
500-1,000	No	10,000	Yes
1,001 and above	Not applicable	10,000	Yes

Note 1: A hydrant is available if it is located within 120 metres of the rear of the building

Note 2: Fittings must be in accordance with the published requirements of the relevant fire authority.

Water tank requirements

'The water supply should be stored in an above ground water tank constructed of concrete, steel or corrugated iron. The water supply should be identified. The water supply may be provided in the same water



tank as other water supplies provided they are separated with different outlets'.

CFA Fittings (CFA, 2014b)

'If specified within Table 4 to Clause 53.02-5 (if fire brigade access to your water supply is required), CFA's standard BMO permit conditions require the pipe work, fittings and tank outlet to be a minimum size of 64 mm.

65 mm BSP (British Standard Pipe) is the most common size available. A 65mm fitting is equivalent to the old 2 1/2 inch. A 65 mm BSP (2 1/2 inch) fitting exceeds CFA's requirements and will therefore comply with CFA's standard permit conditions for the BMO.

Diagram 1 below shows some common tank fittings available at most plumbing suppliers which meet the connection requirements. It includes a 65mm tank outlet, two 65 mm ball or gate valves with a 65mm male to 64 mm CFA 3 threads per inch male coupling. This is a special fitting which allows the CFA fire truck to connect to the water supply. An additional ball or gate valve will provide access to the water supply for the resident of the dwelling'

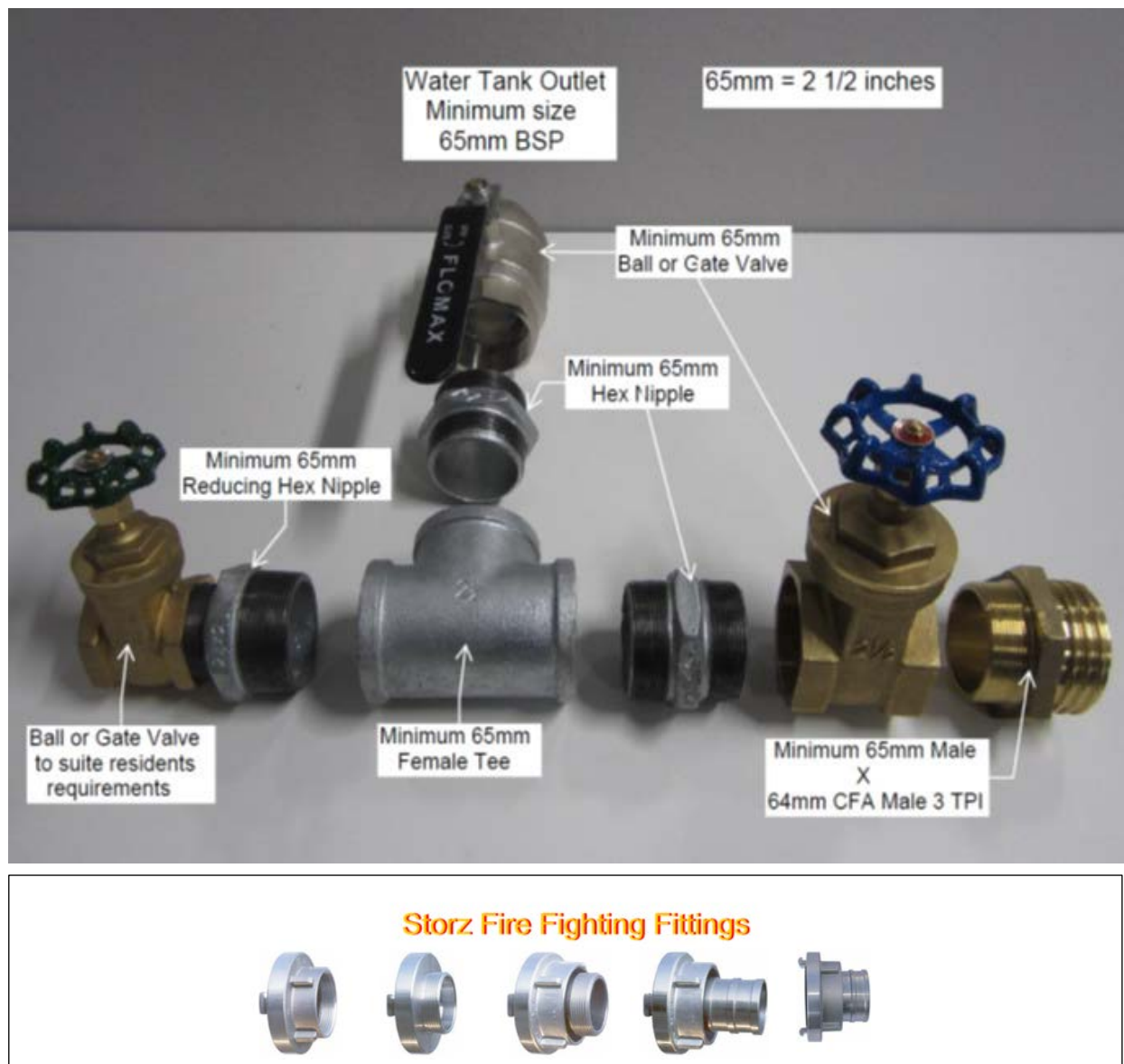


Diagram 1 CFA Standard permit conditions for water supply, in FRV areas pls check if they use same fittings or Storz Fitting apply.

Conditions required for all applications

'Show [xx litres] of effective water supply for firefighting purposes which meets the following requirements:

- Is stored in an above ground water tank constructed of concrete or metal.
- All fixed above-ground water pipes and fittings required for firefighting purposes must be made of corrosive resistant metal'.

Additional conditions to apply if CFA fittings and access is required

'The water supply must also –

- Incorporate a ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 mm CFA 3 thread per inch male fitting).
- The outlet/s of the water tank must be within 4m of the access way and be unobstructed.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of CFA must be provided.
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling)'.

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Appendix 3: BMO access requirements

Where the length of access is greater than 30 metres the following design and construction requirements apply:

- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle.
- A load limit of at least 15 tonnes and be of all-weather construction.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- A cleared area of 0.5 metres is required to allow for the opening of vehicle doors along driveways.

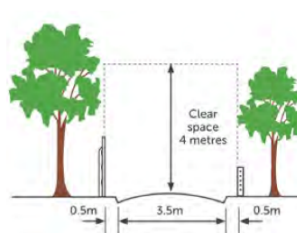
With



Dips and gradients



Encroachments



Practice Note 65 | Preparing and Assessing a Planning Application Under the Bushfire Provisions in Planning Schemes

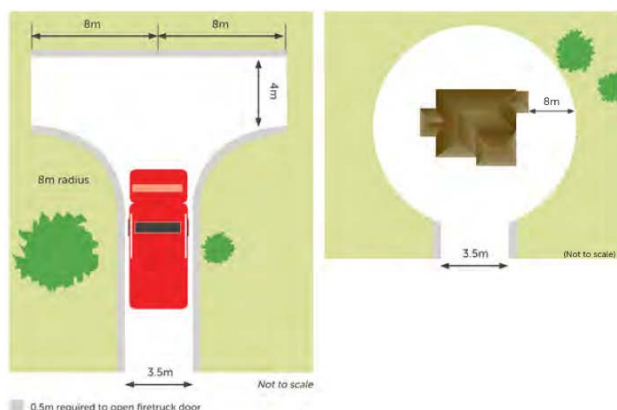
Access between 100 metres to 200 metres in length

In addition to the above:

A turning area for fire fighting vehicles must be provided close to the building by one of the following:

- a turning circle with a minimum radius of 8 metres

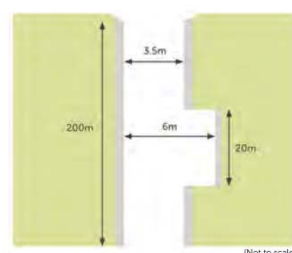
- a driveway encircling the dwelling
- other vehicle turning heads such as a T or Y head which meet the specification of Austroad Design for an 8.8 metre service vehicle.



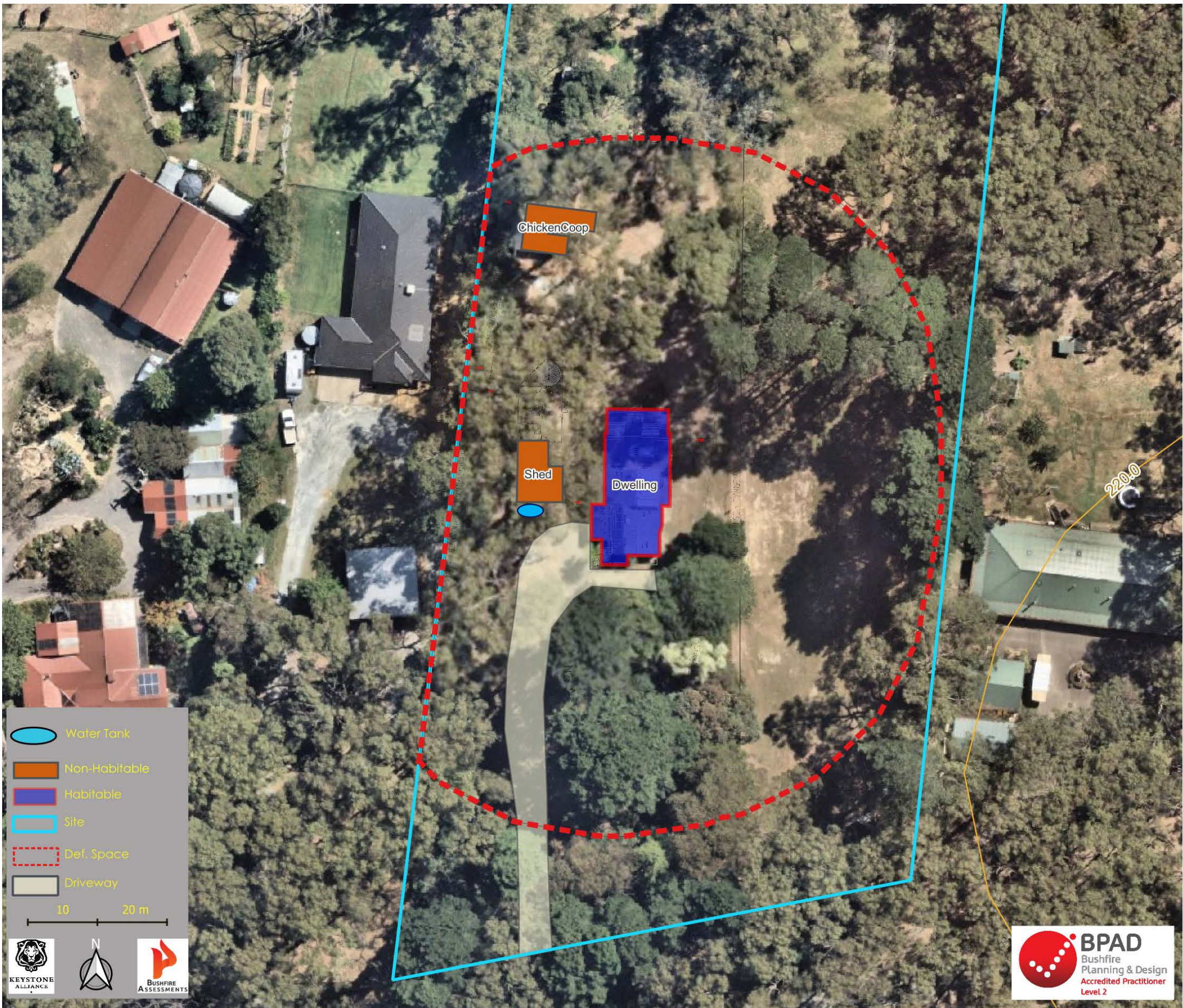
Access greater than 200 metres in length

In addition to the above, passing bays are required at least every 200 metres that are:

- a minimum of 20 metres long
- with a minimum trafficable width of 6 metres.



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Bushfire Protection Measures

Mandatory Condition
The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

a) Construction Standard
Building designed and constructed to a minimum Bushfire Attack Level of BAL 29

b) Construction Standards (Table 7 – outbuilding FRL)
The proposed outbuilding is separated from the adjacent building by a wall that extends to the underside of a non-combustible roof covering and:

- Has a FRL of not less than 60/60/60 for loadbearing walls and -/60/60 for non-load bearing walls when tested from the attached structure side, or
- Is of masonry, earth wall or masonry-veneer construction with the masonry leaf of not less than 90 millimetres in thickness.

Any openings in the wall shall be protected in accordance with the following:

- Doorways – by FRL -/60/30 self-closing fire door
- Windows – by FRL of -/60/- fire windows permanently fixed in the closed position
- Other openings – by FRL of -/60/-

b) Defendable Space
Defendable space for a distance of 39m around the proposed building (or to the property boundary, whichever is the lesser distance) must be provided where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 meters.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

c) Water Supply
The following requirements apply:

- An effective capacity of 10,000 litres
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64-millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

d) Access
Access Required: Yes
The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of nom more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.10) entry and exit angle.

Length of access is greater 100 metres: No

- A turning circle with a minimum radius of eight metres, or
- A driveway encircling the building, or
- The provision of other vehicle turning heads – such as a T or Y Head-which meet the specification of Austroad Design for an 8.8 metre service vehicle.

Length of driveway is greater than 200 metres: No
Where length of access is greater than 100 metres the following design and construction requirements apply:

- Passing bays are required at least every 200 metres that are a minimum 20 metres long and a minimum trafficable width of 6 metres.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 06259 FOLIO 762

Security no : 124120145741G
Produced 26/11/2024 09:34 AM

LAND DESCRIPTION

Lot 1 on Title Plan 519016E.
PARENT TITLE Volume 04721 Folio 027
Created by instrument 1709235 24/10/1938

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP519016E FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

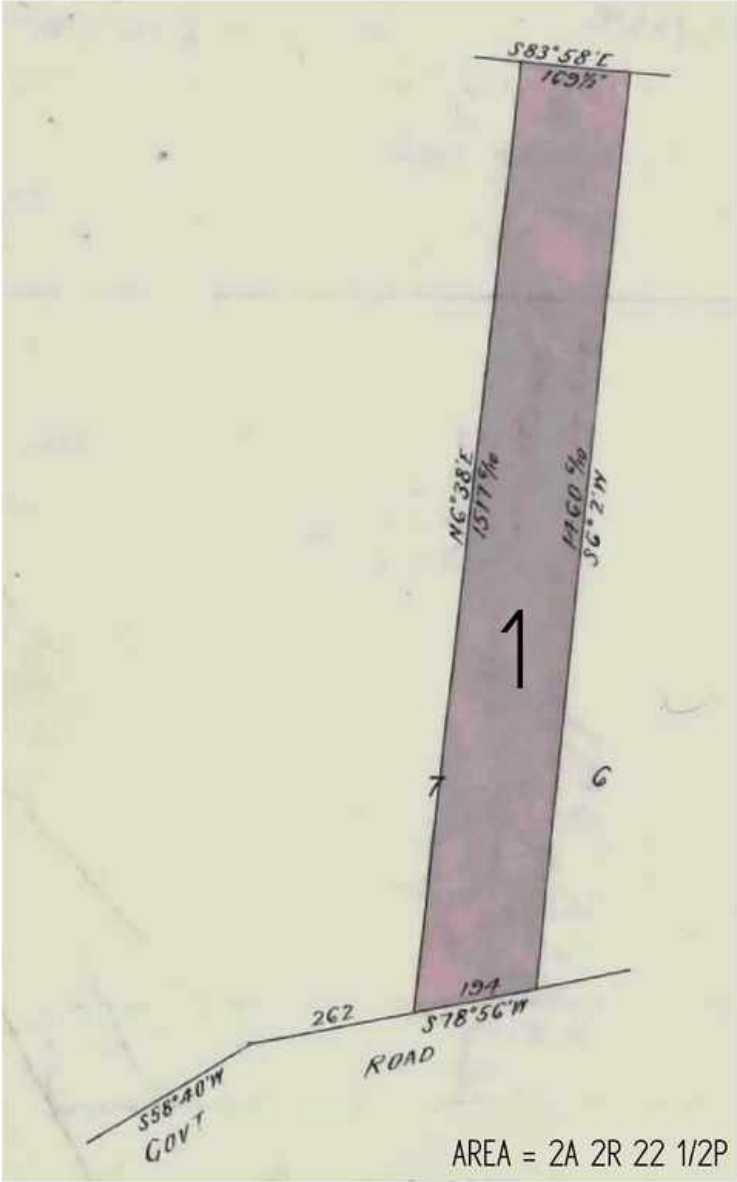
Street Address: 38 AURA VALE ROAD MENZIES CREEK VIC 3159

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

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TITLE PLAN		EDITION 1	TP 519016E						
<div>Location of Land</div> <div>Parish: NARREE WORREN</div> <div>Township:</div> <div>Section:</div> <div>Crown Allotment: 105G(PT)</div> <div>Crown Portion:</div> <div>Last Plan Reference: LP 6920</div> <div>Derived From: VOL 6259 FOL 762</div> <div>Depth Limitation: 50 FEET</div>		<div>Notations</div> <div>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</div>							
<div>Description of Land / Easement Information</div> <div></div> <div>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</div> <div>COMPILED: 05/06/2000</div> <div>VERIFIED: SO'C</div>									
<table><tr><td colspan="2">TABLE OF PARCEL IDENTIFIERS</td></tr><tr><td colspan="2">WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</td></tr><tr><td colspan="2">PARCEL 1 = LOT 7 (PT) ON LP 6920</td></tr></table>				TABLE OF PARCEL IDENTIFIERS		WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962		PARCEL 1 = LOT 7 (PT) ON LP 6920	
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LENGTHS ARE IN LINKS		Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 1 sheets						